

ABE	BREVIATI	SNC				REFERENCE SY			GENERAL NOTES:
A	ABV AFF	ABOVE ABOVE FINISHED FLOOR	L	LF	LINEAR FEET			CTION OF SECTION	1. DO NOT SCALE DRAWINGS.
	AFF ADJ	ABOVE FINISHED FLOOR ADJUSTABLE	М	MAS	MASONRY	WALL/DETAIL SECTION	5		2. THE SCOPE OF WORK FOR TH
	ADJ AL(ALUM)	ALUMINUM	IVI	MAS	MAXIMUM		A8.1 SHEE	T ID NUMBER	SPECIFICATIONS; REFERENC
	APPROX	APPROXIMATE		MECH	MECHANIC(AL)				
	ARCH	ARCHITECTURAL		MFR	MANUFACTURER		DIRI	ECTION OF SECTION	3. CONTRACTOR SHALL OBTAIN
				MIN	MINIMUM			WING ID NUMBER	CONSTRUCTION. THE BUILDIN
В	BTW	BETWEEN		MO	MASONRY OPENING	DETAIL ELEVATION			
_	BLDG	BUILDING		MTD	MOUNTED		SHE	ET ID NUMBER	4. CONTRACTOR SHALL COMPL
	BLKG	BLOCKING		MTL	METAL				REGULATIONS, CODES AND C
	BM	BEAM						DRAWING ID NUMBER	
	BO	BOTTOM OF	Ν	Ν	NORTH				5. CONTRACTOR SHALL CONFIR
				NA	NOT APPLICABLE	(I (A1-7.		LIMIT OF ENLARGEMENT	MECHANICAL, PLUMBING AND
С	CJ	CONTROL JOINT		NIC	NOT IN CONTRACT				
	CLR	CLEAR/ CLEARANCE		NOM	NOMINAL			SHEET ID NUMBER	6. CONTRACTOR SHALL VERIFY
	CMU	CONCRETE MASONRY UNIT		NTS	NOT TO SCALE				IF EXISTING CONDITIONS DO
	COL	COLUMN	-	0.5		DETAIL		1	THE DRAWINGS AND SPECIFI
	CONC	CONCRETE	0	00	ON CENTER	DETAIL			
	CONT	CONTINUOUS		OH	OPPOSITE HAND		λ	/	7. UNLESS OTHERWISE INDICAT
D				OPP	OPPOSITE				NIC, ALL ITEMS, MATERIALS, I CONTRACT WORK.
D	DIA			OTLN	OUTLINE		~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	LIMIT OF REVISION	CUNTRACT WORK.
	DIM DN	DIMENSION DOWN	Р	PNL	PANEL			/ REVISION NUMBER TAG	8. THE DRAWINGS AND SPECIFI
	DN DTL	DETAIL	Р	PNL PNT	PAINEL PAINT(ED)	REVISION	\geq	REVISION NUMBER TAG	KNOW AND UNDERSTAND TH
	DWG	DRAWING		PNT P. T.	PRESSURE TREATED		(\ldots)		SPECIFICATIONS FOR THE RE
	DWG	DRAWING		PT PT	POINT			7	TO THE DRAWINGS FOR THE
E	EA	EACH		PV	PIPE VENT				REPAIRS.
-	EL	ELEVATION		PWD	PLYWOOD				
	ELEC	ELECTRICAL		T WD		DATUM ELEVATION	FINISH FLC		
	EQ	EQUAL	R	RAD	RADIUS	(SECTION/ELEVATION)	T LL. +/- 30.0	5	
	EQPM	EQUIPMENT		REF	REFER TO, REFERENCE				
	ES	EXPOSED STRUCTURE		REQ'D	REQUIRED				
	EXG	EXISTING		REV	REVISION, REVISE(D)	BREAKLINE	V		
	EXP	EXPOSED/EXPANSION		RM	ROOM			\backslash	
	EXT	EXTERIOR		RO	ROUGH OPENING		(1))	
				RWC	RAIN WATER CONDUCTOR				
F	FF	FACTORY FINISH				REFERENCE GRID	(A)	- Q	
	FIN	FINISH(ED)	S	SIM	SIMILAR	REFERENCE GRID	(n)	L	
	FLG	FLASHING		SSTL	STAINLESS STEEL		Ç		
	FLR	FLOOR(ING)		STN	STAIN(ED)		-		
	FT	FOOT (FEET)		STL STRUC	STEEL	MATERIAL SYM	ROLS		
C	CA	GAUGE			STRUCTURAL				
G	GA GALV(GAL)	GAUGE GALVANIZED		SUSP	SUSPENDED				
	GALV(GAL)	GALVANIZED	т	TO	TOP OF				
Н	HM	HOLLOW METAL	I	THK	THICK(NESS)				
11	HOR	HORIZONTAL		TYP	TYPICAL	CONCRETE MASONRY	CONCRETE	STEEL (LARGE SCALE)	
	HR	HOUR				UNITS		(LARGE SCALE)	
	HT	HEIGHT	U	UNO	UNLESS NOTED OTHERWISE				
	HVAC	HEATING/VENTILATION/	2						
		AIR CONDITIONING	V	VAR	VARIES/VARIOUS				
		-		VIF	VERIFY IN FIELD	BRICK	BLOCKING	ROUGH CARPENTRY	
I	INCL	INCLUDING							
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	INT	INTERIOR		WD	WOOD				
						RIGID INSULATION	PLYWOOD		
	JT	JOINT	Х	XPS	EXTRUDED POLYSTYRENE		(LARGE SCALE)		1

CITY OF PHILADELPHIA PHILADELPHIA PARKS & RECREATION

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - TUMAR ALEXANDER COMMISSIONER- DEPARTMENT OF PARKS & RECREATION - KATHRYN OTT LOVELL

SIMONS RECREATION CENTER **ROOF REPLACEMENT**

PROJECT NO. 16-18-4960-01

SIMONS RECREATION CENTER 1601-35 EAST WALNUT LANE PHILADELPHIA, PA 19138

CONSTRUCTION DOCUMENTS

SMPARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

STEPHEN McLAUGHLIN ROOFING CONSULTANT 134 WEST GLOUCESTER PIKE BARRINGTON, NEW JERSEY 08007 856 287 2424 fax 856 547 0643 roofdr118@aol.com

ANN ROTHMANN STRUCTURAL ENGINEERING 100 E. LANCASTER AVENUE, SUITE 203 WAYNE, PENNSYLVANIA 19087 610 688 2566 ann@arstructural.com

LOCATION PLAN

VJ ASSOCIATES COST CONSULTANT 1818 MARKET STREET, SUITE 3300 PHILADELPHIA, PENNSYLVANIA 19103 215 268 3993 syorio@vjassociates.com

WORK FOR THIS PROJECT IS DEFINED BY THE DRAWINGS AND NS; REFERENCE TO BOTH IS REQUIRED.

SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF N. THE BUILDING PERMIT SHALL BE PROVIDED BY THE OWNER.

SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL , CODES AND ORDINANCES.

SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN PLUMBING AND ELECTRICAL CONDITIONS.

SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. ONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH S AND SPECIFICATIONS, NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.

RWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING , MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE)RK.

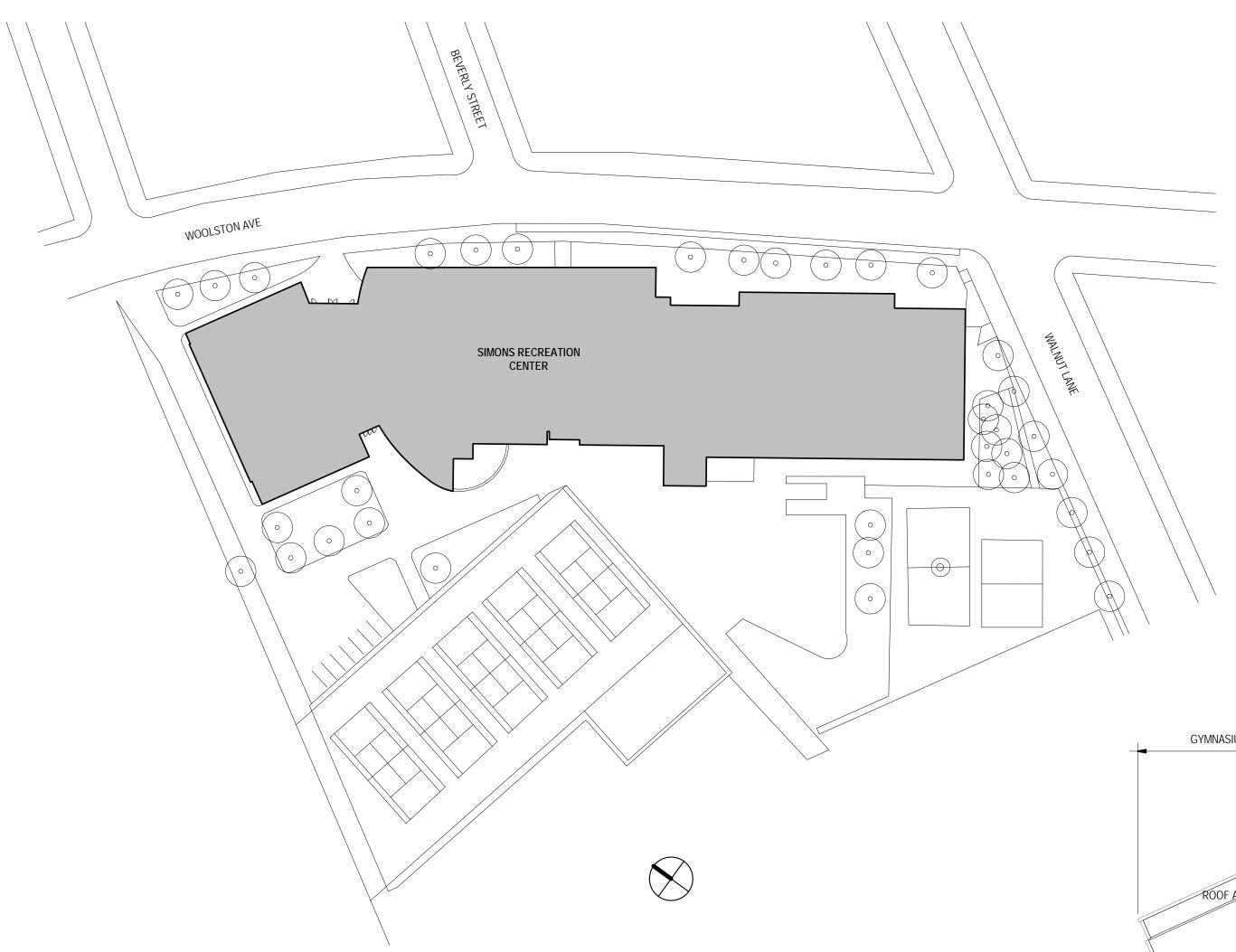
S AND SPECIFICATIONS CONTAIN THE REQUIREMENTS FOR THE WORK. DERSTAND THE DRAWINGS AND SPECIFICATIONS. REFER TO THE NS FOR THE REQUIREMENTS OF THE WORK AND THE CONTRACT. REFER NGS FOR THE ASSEMBLY OF THE MATERIALS, REPLACEMENTS, AND



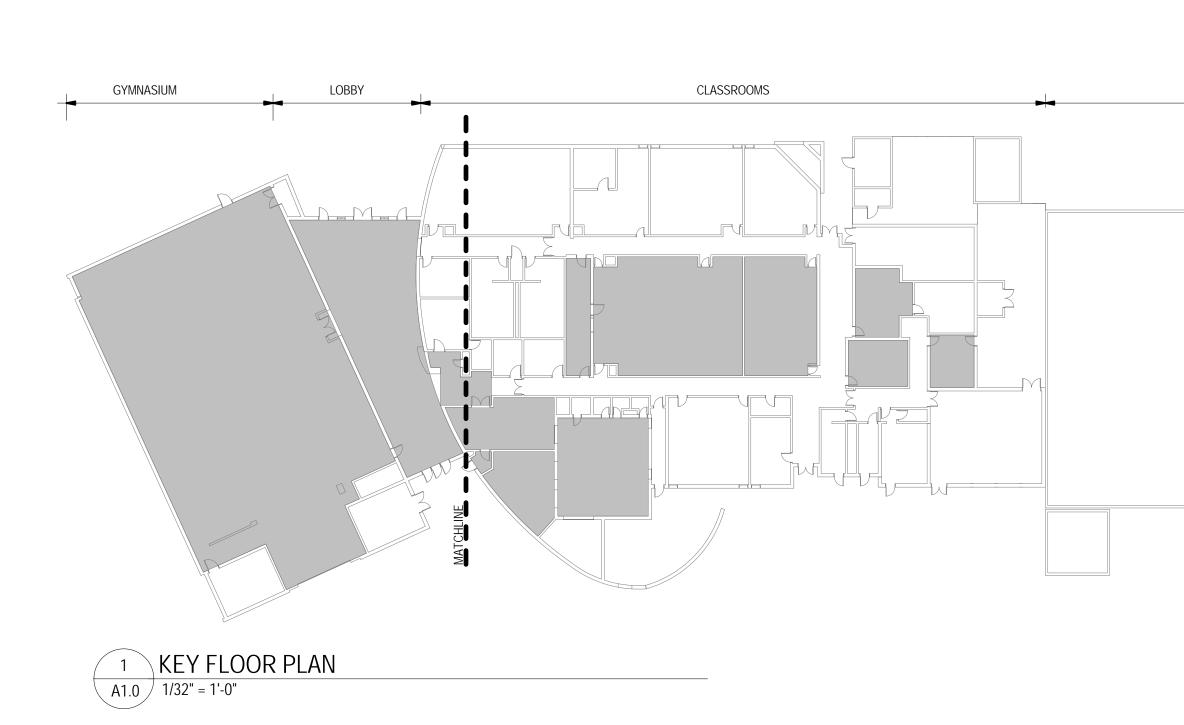


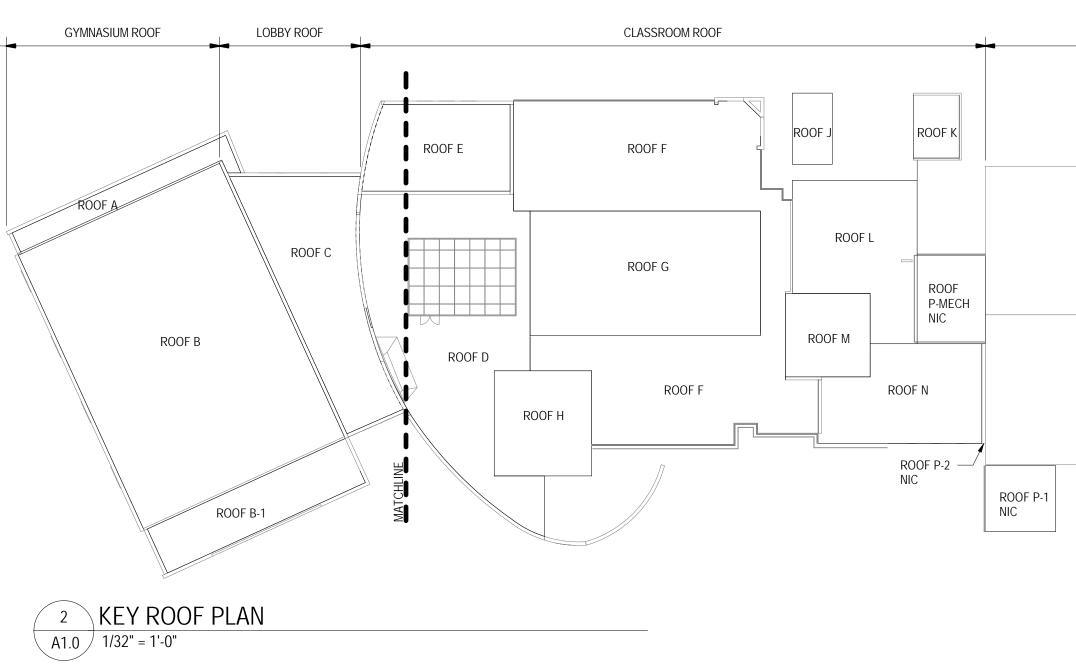
COMMISSIONER/PARKS AND RECREATION DEPUTY COMMISSIONER/CAPITAL PROJECTS PROJECT DIRECTOR ART COMMISSION HISTORICAL COMMISSION SEALS CITY OF PHILADELPHIA PHILADELPHIA PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA PROJECT NO. DRAWING NO. 16-18-4960-01 11/13/2020 SCALE AS NOTED DRAWN BY AS NOTED CHECKED B AS NOTED FILE:F:\CPOFORMS\PREDESIGN\24x36DWGS ALL DIMENSIONS AND CONDITIONS SHALL BE Verified by the contractor at the site before proceeding with the work

PROJECT APPROVED

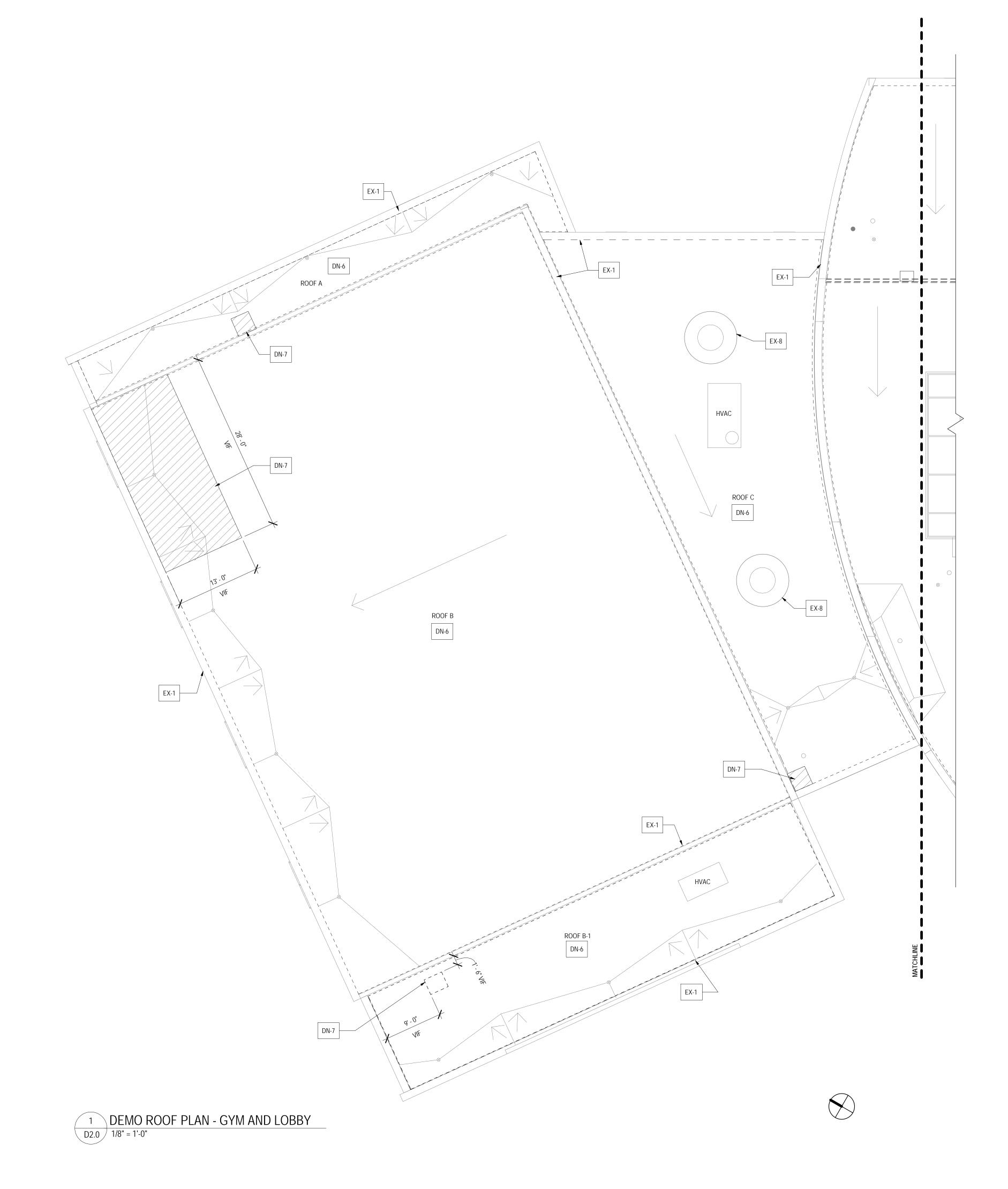








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			856 287 2424 steve@stevemcla	aughlin.biz		
			Ann Rothmann S	tructural Engineering ter Avenue, Suite 203 vania 19087	3	
	$\langle \mathbf{x} \rangle$		610 688 2566 <u>COST CONSULT</u> VJ Associates			
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			DRAWING TITLE			
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			CON	TACTOR AT THE SI	TE BEFORE PROCEE	EDING WITH THE WORK



GENERAL DEMO NOTES:

- 1 CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.
- 2 PERFORM DISASSEMBLY AND REMOVALS IN A CONTROLLED MANNER: WITHOUT UNNECESSARY CUTS; WITHOUT DAMAGE TO THE SITE, STRUCTURE, OR FEATURES; WITHOUT DAMAGE TO THE MATERIALS OR CONSTRUCTION TO REMAIN.
- 3 PROMPTLY RESTORE, REPLACE, OR REINSTALL ANY ITEMS DEMOLISHED WHERE NOT SCHEDULED TO BE DEMOLISHED, OR DAMAGED BY ANY DEMOLITION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER. SECURE DESIGN PROFESSIONAL'S APPROVAL PRIOR TO CONDUCTING REMEDIAL WORK.
- 4 POINT LOADING OF EXISTING ROOF DECK MUST BE AVOIDED.
- 5 COMPLETELY REMOVE ROOFING ASSEMBLY AND ACCESSORIES DOWN TO EXG PERLITE, UNO. EXISTING ROOF DECK TO REMAIN. COUNTERFLASHINGS TO BE REUSED. CONTRACTOR TO PROTECT EXG ROOF AND MAINTAIN WATER-TIGHT CONDITIONS THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 6 EXG EQUIPMENT CURBS TO REMAIN. PROVIDE NEW EXTENDER BLOCKING AS REQUIRED.
- 7 DISCONNECT AND RECONNECT EXG HVAC EQUIPMENT AS NECESSARY TO FACILITATE ROOF REPLACEMENT WORK.
- 8 UNLESS NOTED OTHERWISE, EXG PENETRATIONS THROUGH ROOF SHALL REMAIN AND BE PROTECTED.
- 9 ALL EXG ROOF DRAINS ARE TO REMAIN. CONTRACTOR TO REMOVE DEBRIS & FLUSH LINES. NOTIFY OWNER/ARCH OF ANY DRAINAGE ISSUES.

KEYED DEMO NOTES:

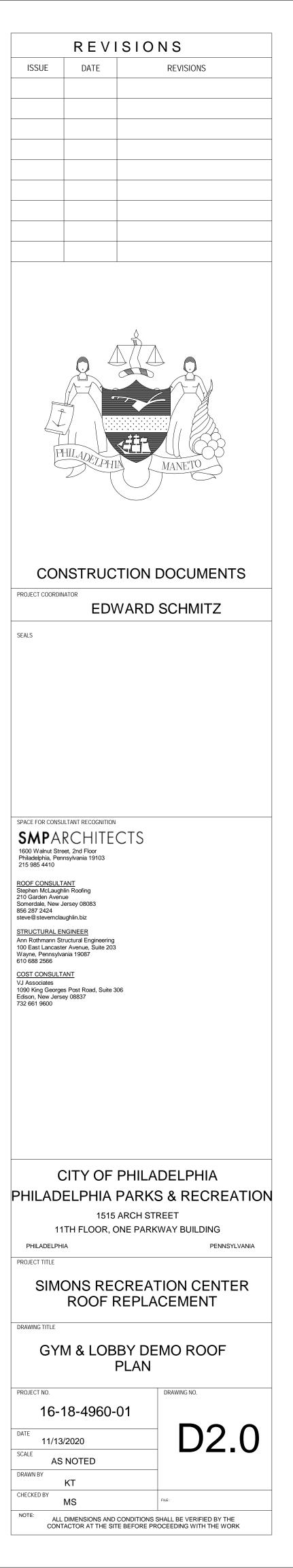
- DN-1 REMOVE EXG FENCING, SUPPORTS, AND STL
- DUNNAGE DN-2 REMOVE EXG MASONRY CHIMNEY AND
- ASSOCIATED FLUE DN-3 REMOVE AND SALVAGE EXG SCREEN
- SEGMENTS FOR REINSTALLATION
- DN-4 REMOVE AND SALVAGE SSTL GUTTERS FOR REINSTALLATION
- DN-5 REMOVE AND SALVAGE VANDAL SCREEN FOR REINSTALLATION IF NECESSARY FOR ROOF REPLACEMENT
- DN-6 REMOVE ALL EXG SBS ROOFING MATERIALS, PIPE FLASHINGS, AND OTHER ROOF RELATED ITEMS DOWN TO PERLITE. REUSE EXG FLASHING, COUNTERFLASHING, AND REGLETS WHERE POSSIBLE
- DN-7 REMOVE ALL EXG SBS ROOFING MATERIALS, PIPE FLASHINGS AND OTHER ROOF RELATED ITEMS DOWN TO ROOF DECK. REUSE EXG FLASHING, COUNTERFLASHING, AND REGLETS WHERE POSSIBLE
- DN-8 REMOVE AND SALVAGE WINDOW GUARDS FOR REINSTALLATION
- DN-9 REMOVE MASONY WALL DOWN TO MIN 18"
- ABOVE ROOF SURFACE DN-10 REMOVE EXISTING SSTL GUTTER AND
- DOWNSPOUTS
- DN-11 REMOVE EXISTING ROOF HATCH DN-12 REMOVE EXISTING ROOF DECK TO EXTENTS SHOWN. COORDINATE SIZE AND LOCATION WITH EXISTING CONDITIONS, DETAIL 3/A7.0, AND LADDER AND HATCH MANUFACTURER.

KEYED EXISTING NOTES

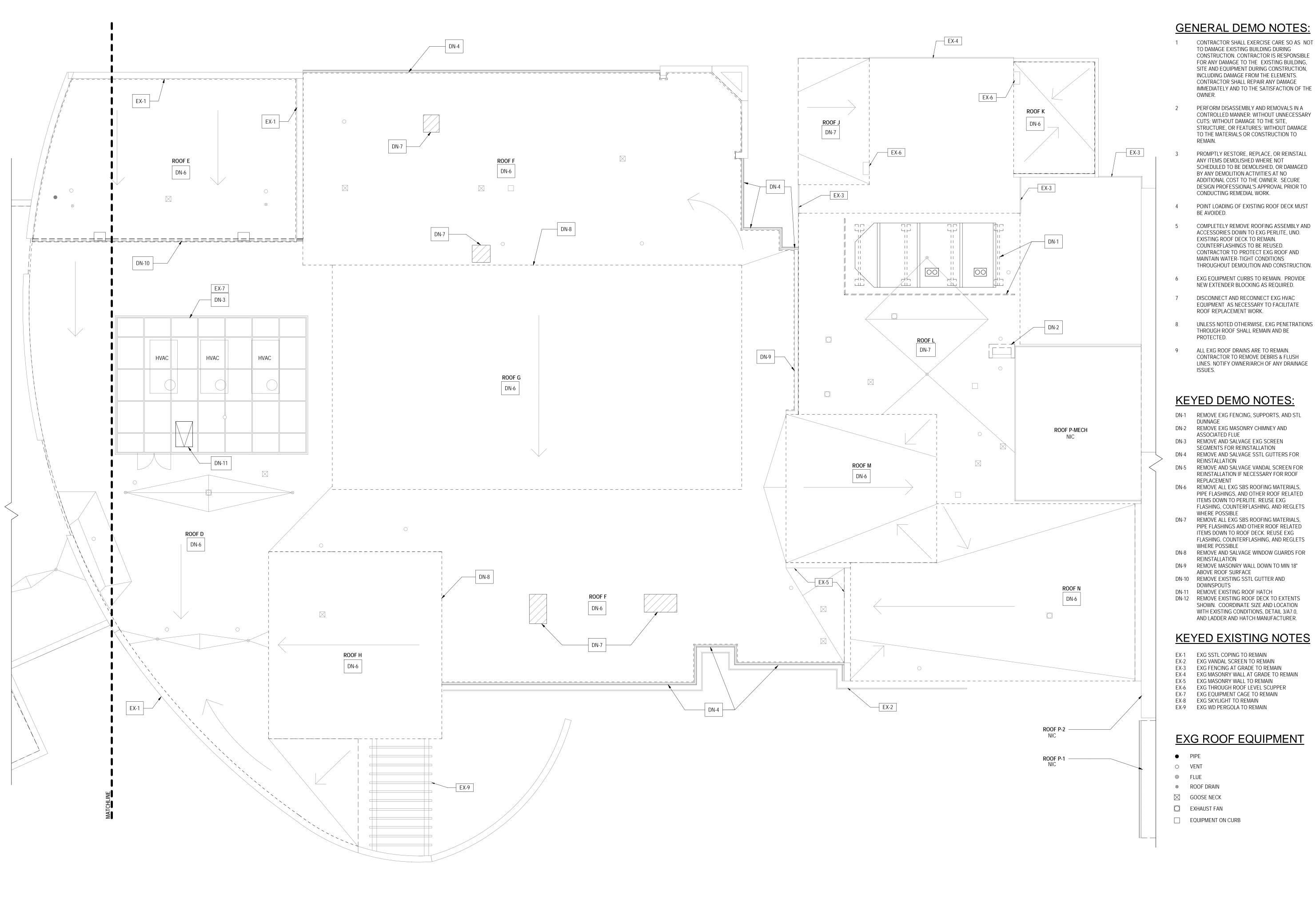
- EX-1EXG SSTL COPING TO REMAINEX-2EXG VANDAL SCREEN TO REMAIN
- EX-3 EXG FENCING AT GRADE TO REMAIN
- EX-4 EXG MASONRY WALL AT GRADE TO REMAIN EX-5 EXG MASONRY WALL TO REMAIN
- EX-6 EXG THROUGH ROOF LEVEL SCUPPER
- EX-7EXG EQUIPMENT CAGE TO REMAINEX-8EXG SKYLIGHT TO REMAIN
- EX-9 EXG WD PERGOLA TO REMAIN

EXG ROOF EQUIPMENT

- PIPE
- O VENT
- ◎ FLUE⊗ ROOF DRAIN
- GOOSE NECK
- EXHAUST FAN
- EQUIPMENT ON CURB





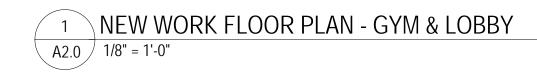


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Philadelphia, Pen 215 985 4410			
ROOF CONSULT Stephen McLaugh 210 Garden Aven	nlin Roofing		
Somerdale, New J 856 287 2424 steve@stevemcla	Jersey 08083		
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VJ Associates 1090 King George Edison, New Jers, 732 661 9600 PHILAD PHILADELPH PROJECT TITLE SIMC DRAWING TITLE CLLA PROJECT NO. 16-1 DATE 11/13 SCALE AS DRAWN BY CHECKED BY	CITY OF ELPHIA 1515 ITH FLOOR, C ASSROO 18-4960- 1/2020	PHILADELPHIA PARKS & RECI ARCH STREET INE PARKWAY BUILDIN F CREATION CEI REPLACEMENT VIS DEMO ROO PLAN	REATIO G IENNSYLVANIA NTER

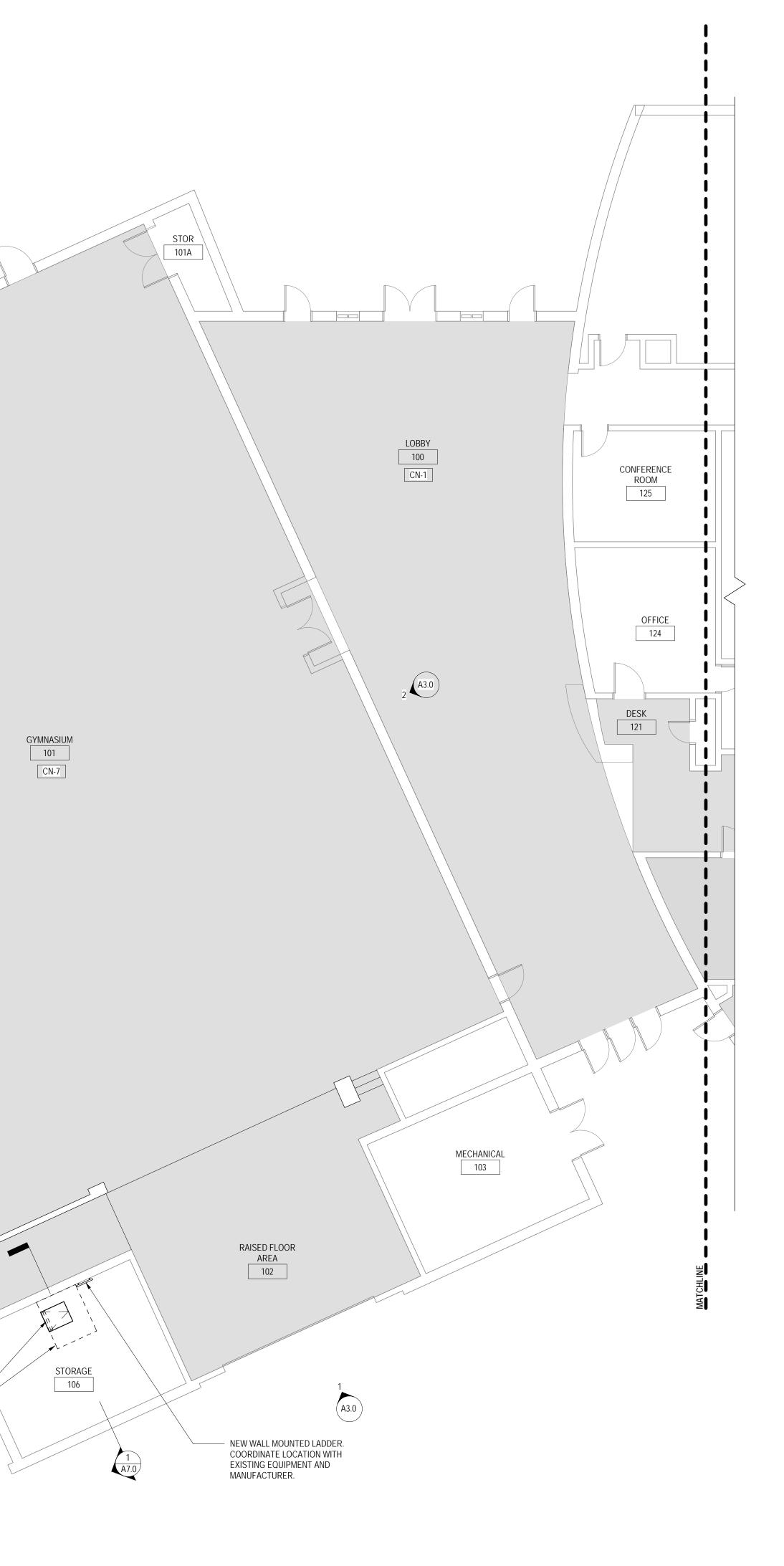
NEW PLATFORM, LADDER, AND ROOF — HATCH ABOVE. COORDINATE LOCATION WITH EXISTING STRUCTURE AND MANUFACTURER.

(A3.0)

CN-6



A3.0 4



GENERAL INTERIOR CONSTRUCTION NOTES:

- 1 INTERIOR REPAIR WORK IS LIMITED TO AREAS WITH WATER DAMAGE. -WALLS: U.N.O., PREP AND REPAINT IN GYMNASIUM PREP & REPAINT WALLS IN NE CORNER ONLY -<u>GWB CEILINGS</u>: PATCH DAMAGED AREAS, PREP & REPAINT ENTIRE CEILING -<u>ACOUSTIC CEILING TILE/GRID</u>: REPLACE DAMAGED CEILING TILES TO MATCH EXG
- 2 WHERE WALLS HAVE EXG GRAPHICS TO REMAIN, COORD AREAS OF REPAINTING WITH OWNER/ARCH

ROOMS IMPACTED BY ROOF LEAKS =

KEYED CONSTRUCTION NOTES

- CN-1 PATCH GWB CEILING AS NECESSARY. PREP AND REPAINT.
 CN-2 REPLACE ALL ACT CEILING TILES IN ROOM
 CN-3 PREP AND REPAINT WALLS

- CN-3PREP AND REPAINT EAST WALLCN-4PREP AND REPAINT EAST WALL ONLYCN-5PREP AND REPAINT SOUTH WALL ONLYCN-6PREP AND REPAINT WALLS IN NORTHEAST

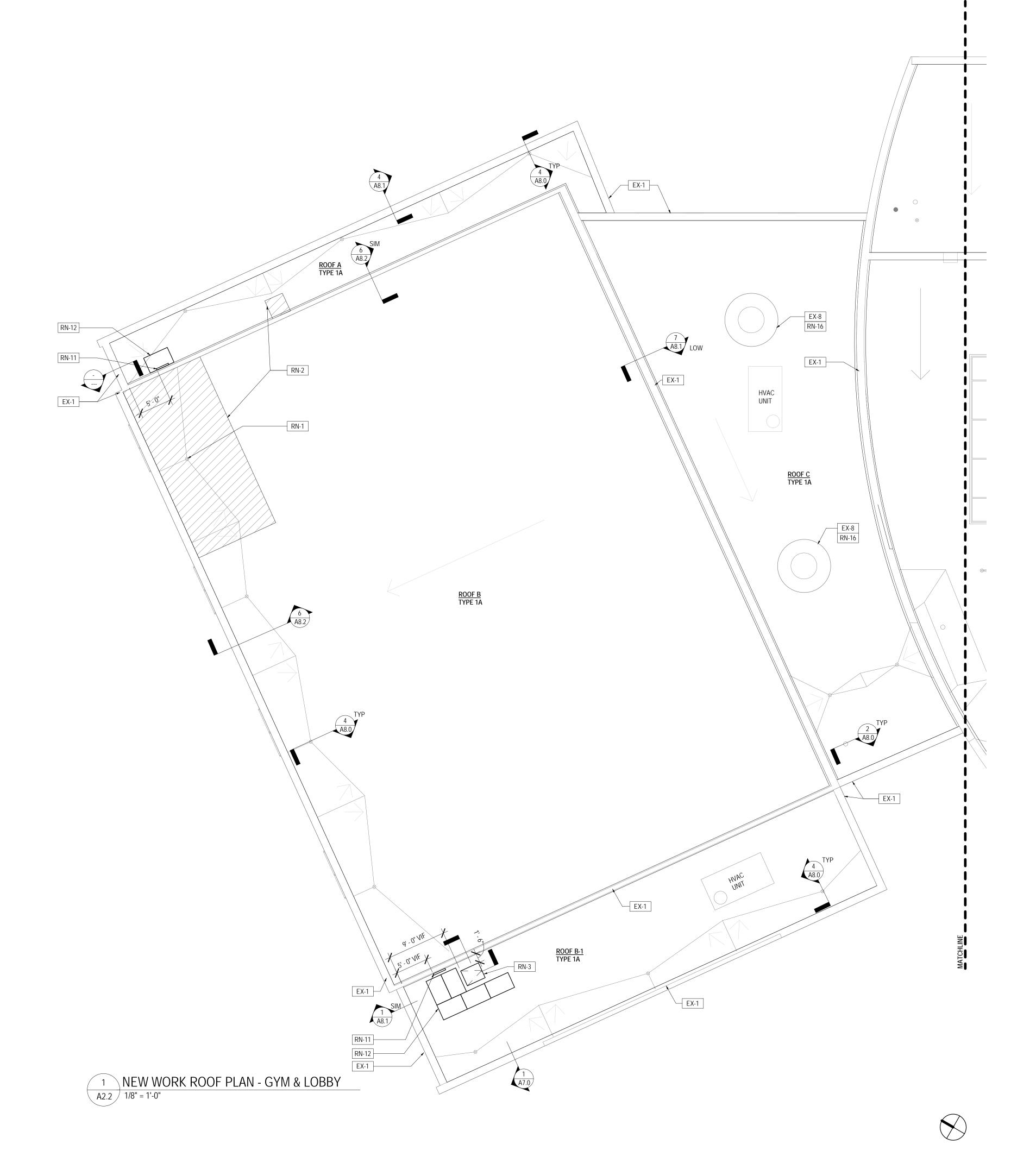
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CORNER ONLY CN-7 SCRAPE, PREP, AND REPAINT METAL DECK





NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



GENERAL ROOF NOTES

1. PROVIDE P.T. WOOD BLOCKING AND ANCHORING TO MEET ES-1 ANSI/SPRI REQUIREMENTS.

2. DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.

3. REPRESENTATIVE DETAILS, PROFILES, AND DIMENSIONS NOTED ARE APPROXIMATE. FIELD VERIFY CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO PREPARING SHOP DRAWINGS.

4. ALL EXG ROOF DRAINS TO REMAIN. TIE INTO NEW ROOFING, PROVIDE EXTENDER COLLAR IF NECESSARY, AND PROVIDE NEW CAST IRON STRAINER, TYP. CONTRACTOR TO REMOVE DEBRIS & FLUSH LINES. NOTIFY OWNER/ARCH OF ANY DRAINAGE ISSUES.

5. SEE DRAWING 7/A8.0 FOR ROOF TYPES.

6. ALL EXG MASONRY ABOVE THE ROOF SHOULD BE PREPPED, PRIMED, AND REPAINTED.

7. WHERE POSSIBLE REUSE EXISTING FLASHING, COUNTER-FLASHING, AND REGLETS.

8. WHERE EXG ROOF EDGE MTL / COUNTERFLASHING IS TO REMAIN, TIE IN NEW ROOFING PER MFR'S RECOMMENDATIONS.

9. PLYWOOD FASCIAS ARE TO REMAIN. REPLACE DAMAGED SECTIONS. PREP AND PRIME EXG AND NEW.

10. EXG EQUIPMENT CURBS TO REMAIN. PROVIDE NEW EXTENDER BLOCKING AS REQUIRED

KEYED ROOF NOTES

RN-1	EXG ROOF DRAIN IS CLOGGED / BLOCKED.
	REMOVE DEBRIS, FLUSH LINE, AND CLEAN.
RN-2	PROVIDE NEW INSULATION IN AREA OF
	REMOVAL.
RN-3	NEW ROOF HATCH
RN-4	NOT USED
RN-5	CLEAN AND REINSTALL EXG SSTL GUTTERS,
	PROVIDE NEW GUTTER SCREENS
RN-6	NEW ALUMINUM COPING ON LOWERED
	MASONRY WALL
RN-7	REINSTALL WINDOW GUARDS AFTER ALL
	HOLES HAVE BEEN SEALED AND JOINTS
	RECAULKED. AT ROOF H, PROVIDE METAL
	FLASHING SILL TO CAP MASONRY
RN-8	NEW RAISED ROOF EDGE
RN-9	NEW FLUE AND CAP. SEE MEP DWGS.
RN-10	REPLACE DAMAGED PLYWOOD FASCIA BOARD
	AND COVER ALL PLYWOOD FASCIA BOARD
	WITH NEW ALUMINUM FASCIA.
RN-11	NEW WALL MOUNTED LADDER
RN-12	NEW ROOF WALKWAY PADS
RN-13	NEW ROOF HATCH WITH INTEGRAL GUARD
	RAILS IN EXISTING ROOF OPENING
RN-14	NEW SSTL RWC. CONNECT TO EXG BOOT.
RN-15	NEW THROUGH ROOF LEVEL SCUPPER

KEYED EXISTING NOTES

RN-16 RECAULK AND SEAL EXISTING SKYLIGHTS

- EX-1 EXG SSTL COPING TO REMAIN
 EX-2 EXG VANDAL SCREEN TO REMAIN
 EX-3 EXG FENCING AT GRADE TO REMAIN
 EX-4 EXG MASONRY WALL AT GRADE TO REMAIN
 EX-5 EXG MASONRY WALL TO REMAIN
 EX-6 EXG THROUGH ROOF LEVEL SCUPPER
 EX-7 EXG EQUIPMENT CAGE TO REMAIN
 EX-8 EXG SKYLIGHT TO REMAIN
 EX-9 EXG WD PERGOLA TO REMAIN

EXG ROOF EQUIPMENT

- PIPE
- O VENT
- ◎ FLUE
- ⊗ ROOF DRAIN
- GOOSE NECK
- EXHAUST FAN
- EQUIPMENT ON CURB

DESIGN CRITERIA

GOVERNING CODE: INTERNATIONAL EXISTING BUILDING CODE 2018 (LEVEL 1 ALTERNATION)

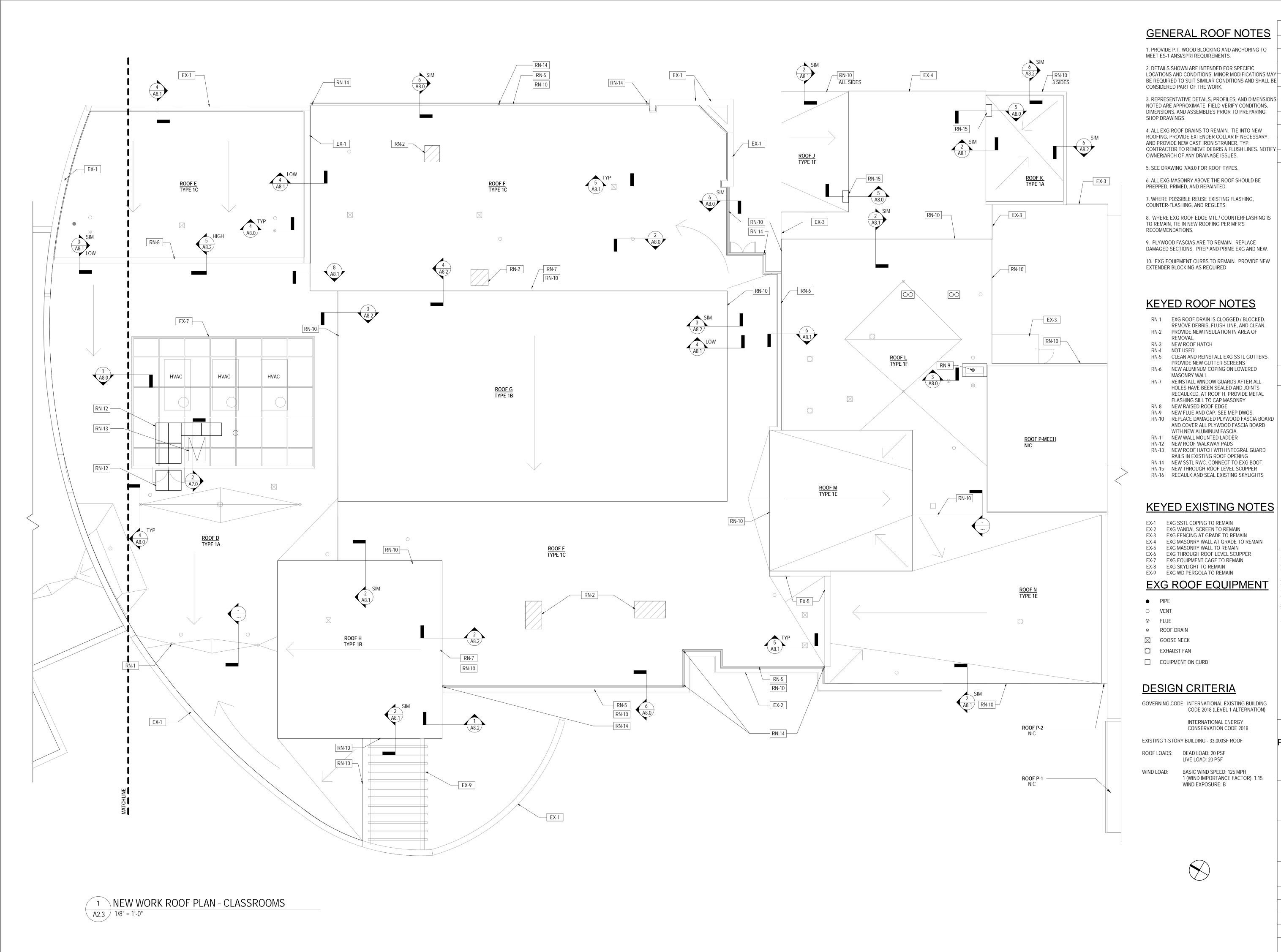
INTERNATIONAL ENERGY CONSERVATION CODE 2018

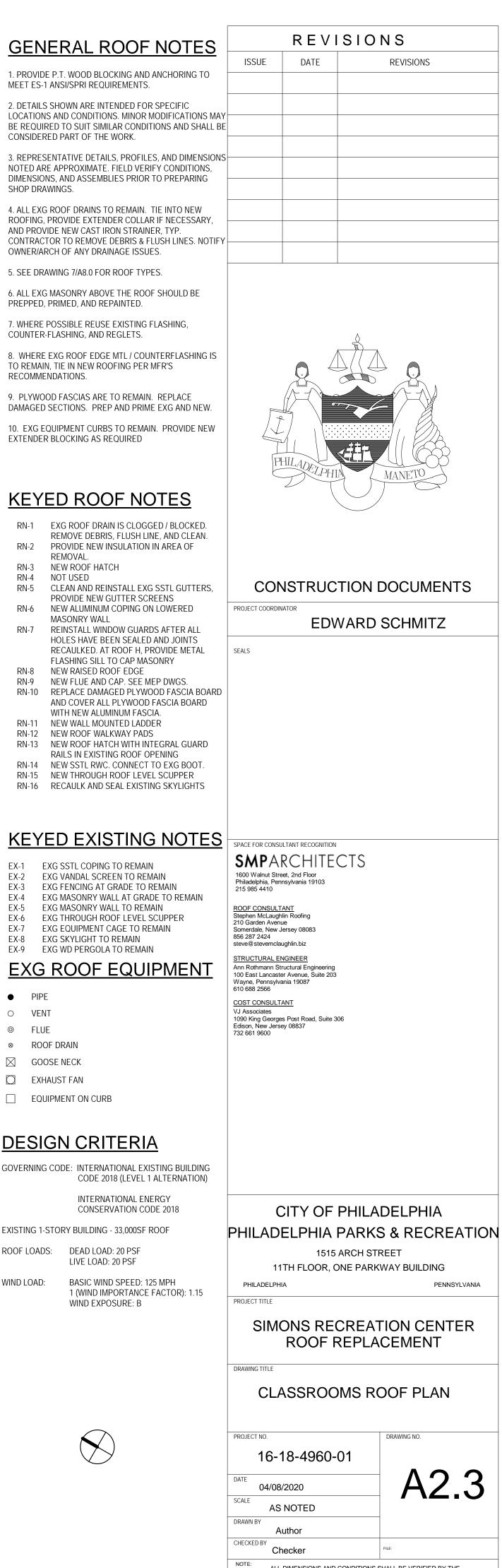
EXISTING 1-STORY BUILDING - 33,000SF ROOF

ROOF LOADS:	DEAD LOAD: 20 PSF
	LIVE LOAD: 20 PSF

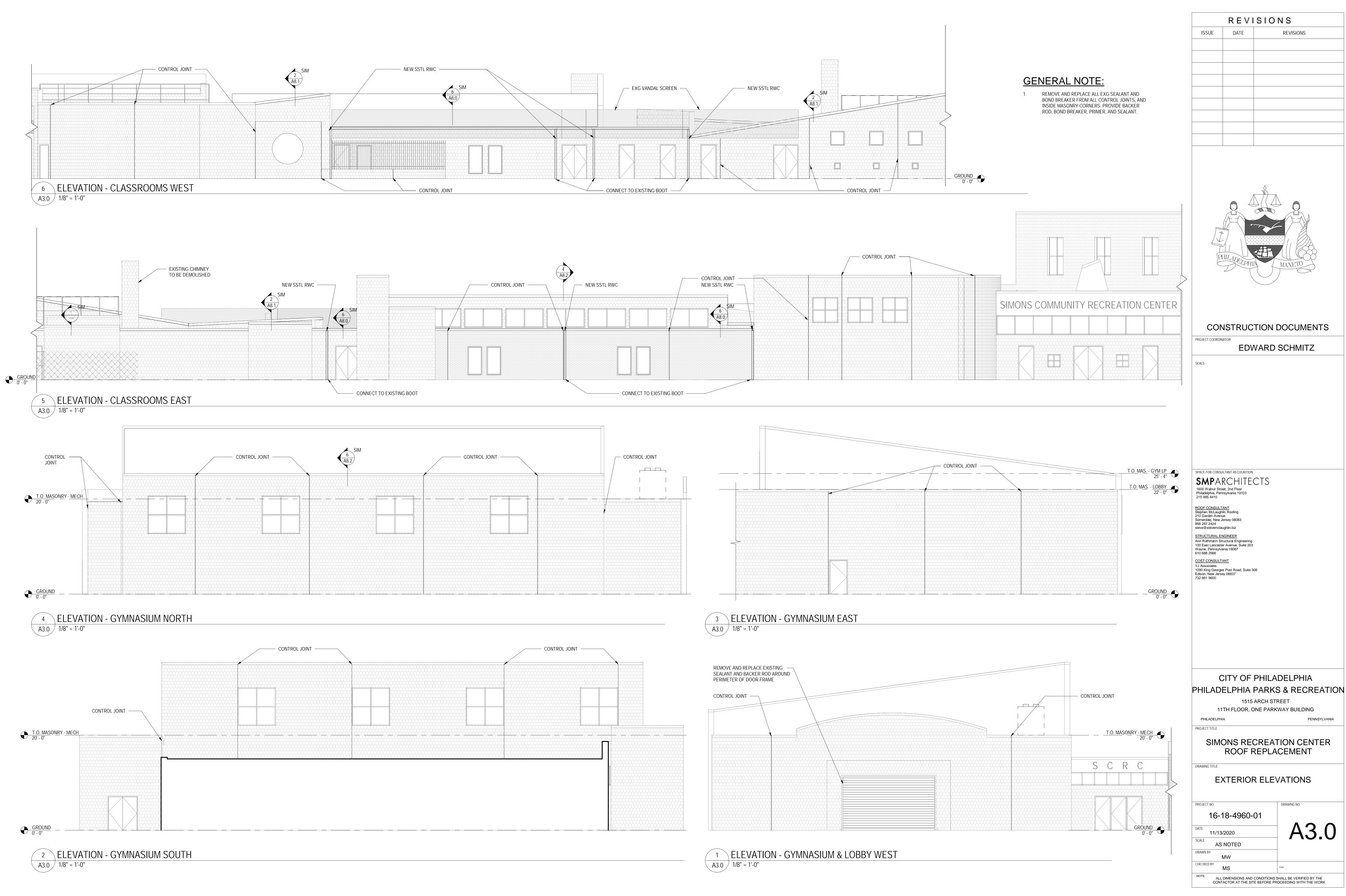
WIND LOAD: BASIC WIND SPEED: 125 MPH 1 (WIND IMPORTANCE FACTOR): 1.15 WIND EXPOSURE: B

ISSUE	R E V I DATE	SIONS REVISIONS
	HILADELPHI	A MANETO
CON	ISTRUC	TION DOCUMENTS
PROJECT COORDIN		VARD SCHMITZ
SEALS		
SMPA 1600 Walnut Stre Philadelphia, Pen 215 985 4410 ROOF CONSULT Stephen McLaugh 210 Garden Avem Somerdale, New J 856 287 2424 steve@stevemcla <u>STRUCTURAL EI</u> Ann Rothmann St 100 East Lancaste Wayne, Pennsylve 610 688 2566 <u>COST CONSULT</u> VJ Associates	nsylvania 19103 ANT lin Roofing le ersey 08083 lghlin.biz JGINEER ructural Engineering r Avenue, Suite 203 inia 19087 ANT s Post Road, Suite 3	CTS
PHILAD 11 PHILADELPH PROJECT TITLE SIMO DRAWING TITLE	ELPHIA 1515 TH FLOOR, C A DNS REC ROOF F	PHILADELPHIA PARKS & RECREATION ARCH STREET DNE PARKWAY BUILDING PENNSYLVANIA CREATION CENTER REPLACEMENT
PROJECT NO.	18-4960-	DRAWING NO.
DATE 11/13	/2020	A2.2
SCALE AS	NOTED	
CHECKED BY	MS	FILE:
ALL		CONDITIONS SHALL BE VERIFIED BY THE TE BEFORE PROCEEDING WITH THE WORK





ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



STRUCTURAL NOTES

GENERAL NOTES

1. THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL BUILDING CODE (IBC), 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND APPLICABLE LOCAL REGULATIONS. ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THESE REQUIREMENTS.

2. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION OF FALSE WORK, FORMWORK, STAGING, BRACING, SHEETING, AND SHORING, ETC.

3. WHERE NEW LOADS ARE BEING ADDED TO EXISTING STRUCTURE, THE INTEGRITY OF THE EXISTING STRUCTURE AND FOUNDATIONS SHALL BE VERIFIED BY THE CONTRACTOR. REPORT ANY CRACKING, SETTLEMENT, DETERIORATION, AND SUBSTANDARD QUALITY OF EXISTING CONSTRUCTION OR MATERIALS SHALL BE REPORTED TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION.

4. TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS ON DRAWINGS BEFORE ORDERING MATERIALS. 5. NOTIFY ENGINEER IMMEDIATELY IF ANY EXISTING CONDITIONS CONFLICT WITH STRUCTURAL

INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS.

6. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

7. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR WORK THAT SHE DOES NOT REVIEW AND/OR WORK NOT COMPLETED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S PLANS AND /OR SPECIFICATIONS.

8. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR CLARIFICATION.

9. SUBMIT SHOP DRAWINGS AT LEAST 10 BUSINESS DAYS BEFORE DATE REVIEWED SUBMITTALS WILL BE NEEDED. SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT HE HAS VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.

10. THE STRUCTURAL ENGINEER'S REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO FOLLOW THE INTENT OF THE CONTRACT DRAWINGS, UNLESS A WRITTEN REQUEST FOR A CHANGE HAS BEEN PREVIOUSLY SUBMITTED AND APPROVED BY THE STRUCTURAL ENGINEER.

11. SPECIAL INSPECTIONS OF STRUCTURAL ELEMENTS ARE REQUIRED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, CHAPTER 17, AS FOLLOWS: STEEL - FIELD WELDING INSPECTION REQUIRED PER AISC360-16. THE CONTRACTOR SHALL FACILITATE THESE INSPECTIONS BY SCHEDULING THE INSPECTIONS TO COORDINATE WITH THE WORK BEING PERFORMED BY THEIR SUB-CONTRACTORS

12. THE INDEPENDENT TESTING AGENCY SHALL PERFORM INSPECTIONS AND SUBMIT REPORTS TO THE ENGINEER OF RECORD (EOR) WITHIN 72 HOURS OF INSPECTION. ANY INADEQUACIES FOUND BY THE INSPECTOR SHALL BE REPORTED TO THE EOR WITHIN 24 HOURS.

STEEL 1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:

A. AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS," CURRENT EDITION. B. THE AMERICAN WELDING SOCIETY (AWS D1.1) "CODE FOR WELDING IN BUILDING CONSTRUCTION," CURRENT EDITION.

2. INSTALLER QUALIFICATIONS: ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STRUCTURAL STEEL WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.

3. FABRICATOR QUALIFICATIONS: ENGAGE A FIRM EXPERIENCED IN FABRICATING STRUCTURAL STEEL SIMILAR TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO FABRICATE STRUCTURAL STEEL WITHOUT DELAYING THE WORK.

4. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:

- A. PLATES AND ANGLES: ASTM A36, FY=36 KSI. B. W, WT & C SHAPES: ASTM A992, FY=50 KSI.
- B. HSS STRUCTURAL TUBING: ASTM A500 GRADE B, FY=46 KSI.
- C. STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E GRADE B SPECIFICATIONS.
- [STD. = SCHEDULE 40; XS = SCHEDULE 80; DS = SCHEDULE 160]
- D. BOLTED CONNECTIONS (STEEL TO STEEL): ASTM A325-N, (3/4" DIAM.), U.N.O.

5. ALL PROVISIONS OF THE LATEST "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", SHALL GOVERN.

- 6. BOLTS TO BE USED ON THE EXTERIOR SHALL BE HOT DIPPED GALVANIZED AND FIELD PAINTED.
- 7. ANCHORAGE BOLTS AND FITTINGS IN MASONRY SHALL BE GALVANIZED.

8. WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE A.W.S. SUBMIT WELDER CERTIFICATES TO ENGINEER FOR RECORD.

9. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX. ALL WELDING SHALL CONFORM TO THE A.W.S. STANDARD CODE.

10. ALL SHOP AND FIELD WELDS SHALL BE 1/4" FILLET WELDS MINIMUM, U.N.O.

11. MINIMUM CENTER-CENTER SPACING BETWEEN BOLTS SHALL BE 3". MINIMUM EDGE DISTANCE SHALL BE 1-1/4" FROM CENTER OF BOLTS TO EDGE OF STEEL.

12. STEEL SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP.

13. SHOP PRIME ALL STEEL.

14. TOUCH UP FIELD WELDS AND ANY DAMAGED AREAS OF PAINT WITH A ZINC RICH PAINT, IN FIELD AFTER WELDING.

15. PRIOR TO FIELD WELDING, GALVANIZED MEMBERS SHALL HAVE ZINC COATING GROUND SMOOTH IN WELD AREAS, (ZINC COATING IS NOT TO CONTAMINATE WELD FUSION METAL). AFTER WELDING, COAT AFFECTED SURFACE WITH ZINC RICH COATING.

16. SHOP DRAWINGS FOR ALL MATERIALS TO BE SUBMITTED TO THE OWNER & ENGINEER FOR REVIEW PRIOR TO START OF FABRICATION OR COMMENCEMENT OF WORK. INCLUDE ERECTION LAYOUT, PIECE DRAWINGS, MATERIAL SPECIFICATIONS, AND CONNECTION DETAILS. INDICATE PROFILES, SIZES, SPACING, LOCATIONS OF STRUCTURAL MEMBERS, OPENINGS, ATTACHMENTS, AND FASTENERS. INDICATE WELDED CONNECTIONS WITH AWS A2.4 WELDING SYMBOLS. INDICATE NET WELD LENGTHS. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

17. ENGAGE INDEPENDENT TESTING SERVICE TO INSPECT ALL FIELD CONNECTIONS. ALL FIELD WELDS SHALL BE INSPECTED BY AN AGENCY QUALIFIED BY THE A.W.S. SUBMIT TEST REPORTS TO ENGINEER FOR APPROVAL.

STEEL DECK

1. ALL STEEL DECK WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION.

2. ROOF DECK SHALL BE 1-1/2" - 20 GAGE GALVANIZED (G60) WIDE RIB (TYPE B) STEEL DECK.

3. ALL STEEL DECK UNITS AND ACCESSORY ITEMS SHALL BE FORMED FROM STEEL SHEETS CONFORMING TO ASTM A446 OR A611 WITH A MINIMUM YIELD STRENGTH OF 33 KSI. BEFORE FORMING, THE STEEL SHEET SHALL RECEIVE A PROTECTIVE METAL COATING OR ZINC CONFORMING TO ASTM A525, GRADE 60.

4. ALL UNFRAMED DECK OPENINGS LARGER THAN 6" SHALL BE REINFORCED AS FOLLOWS: A. HOLES 6" - 12": 16 GAUGE FLAT SHEET EXTENDING 6" BEYOND HOLE ON ALL SIDES.

B. HOLES 12"- 18": 1-3/4" X 1-3/4" X 1/4" STEEL ANGLES EXTENDING 16" BEYOND HOLE IN BOTH DIRECTIONS.

NOTE: ALL REINFORCEMENT SHALL BE WELDED ALL AROUND TO TOP SIDE OF DECK.

5. PLACE DECK PANELS ON SUPPORTING FRAMING AND ADJUST TO FINAL POSITION WITH ENDS ACCURATELY ALIGNED AND BEARING ON SUPPORTING FRAMING BEFORE BEING PERMANENTLY FASTENED. DO NOT STRETCH OR CONTRACT SIDE LAP INTERLOCKS.

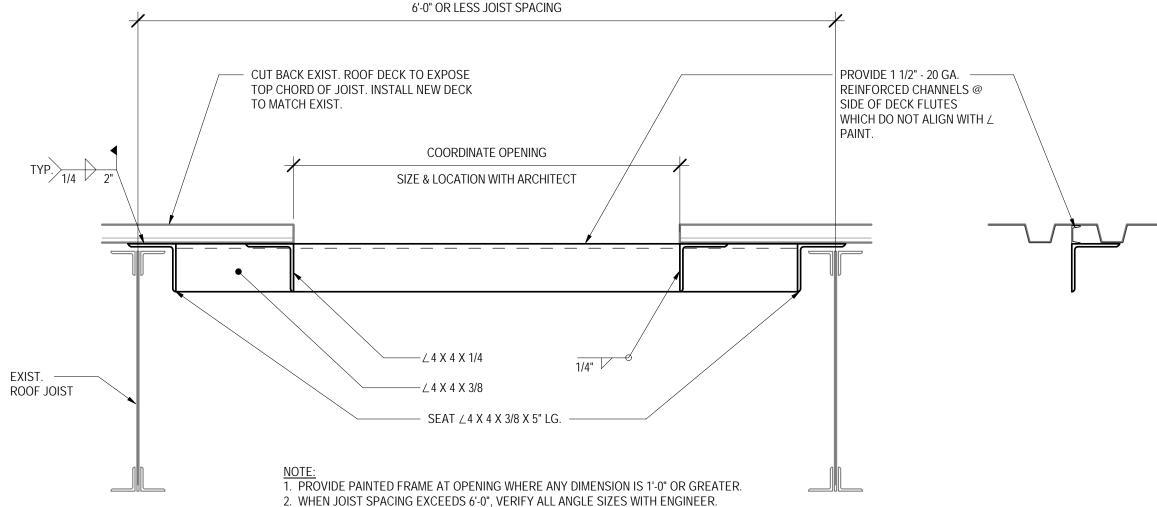
6. INSTALL DECK ENDS OVER SUPPORTING FRAMING WITH A MINIMUM END BEARING OF 1-1/2 INCHES

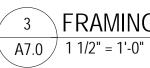
7. FASTEN TO SUPPORTING FRAMING WITHOUT WARP OR DEFLECTION WITH 5/8" PUDDLE WELDS, OR MECHANICAL FASTENERS @ 12" OC, AND AT BEARING ENDS, AND AT EVERY OTHER TRANSVERSE FLUTE.

8. FASTEN SIDE LAPS @ 12" OC.

9. PREPARE AND REPAIR DAMAGED GALVANIZED COATINGS ON BOTH SURFACES WITH GALVANIZED REPAIR PAINT ACCORDING TO ASTM A 780 AND THE MANUFACTURER'S INSTRUCTIONS.

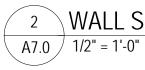
10. DO NOT PROVIDE WELD WASHERS FOR STEEL 22 GAGE OR THICKER.

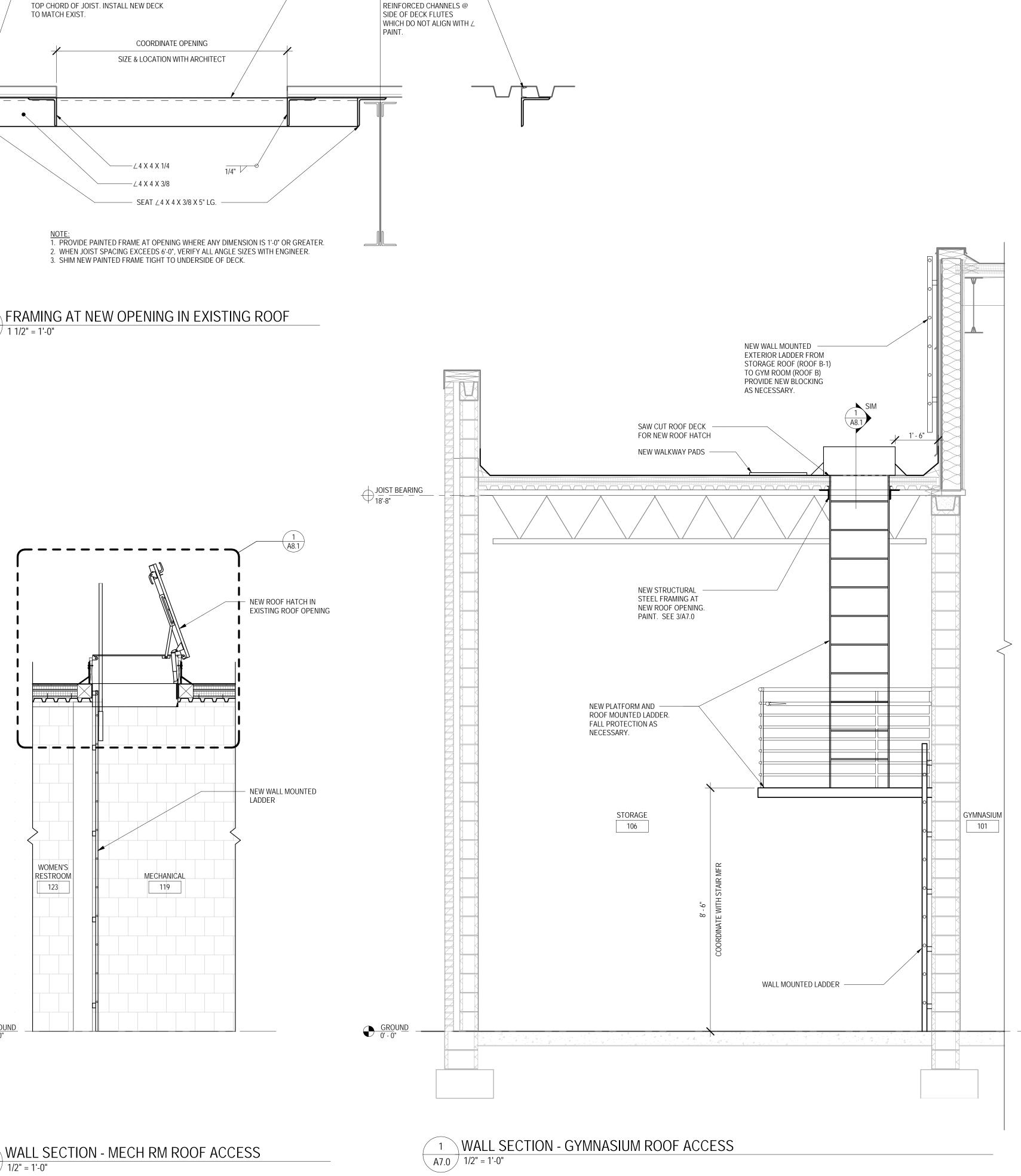




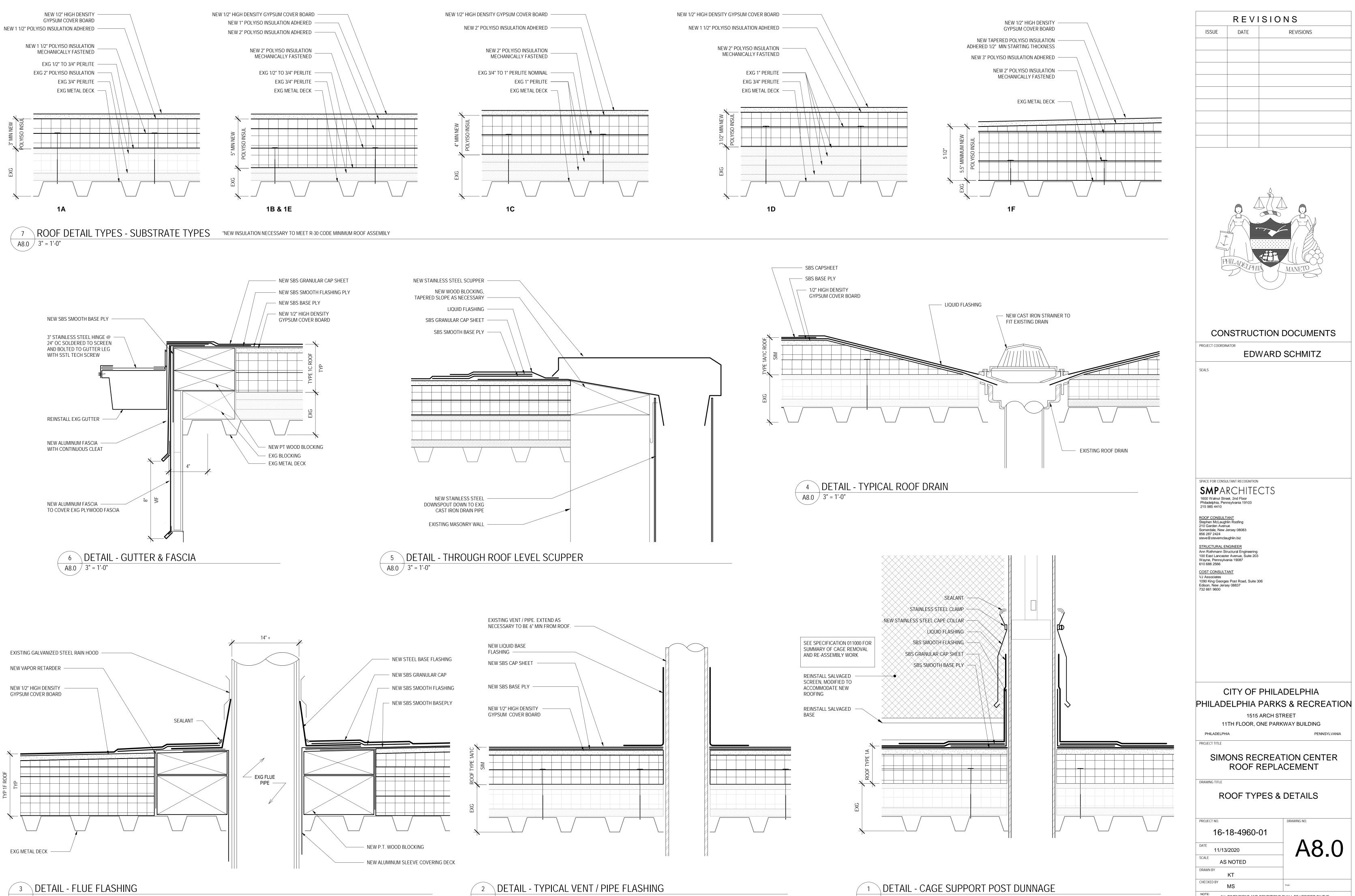


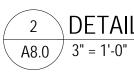
GROUND 0' - 0"







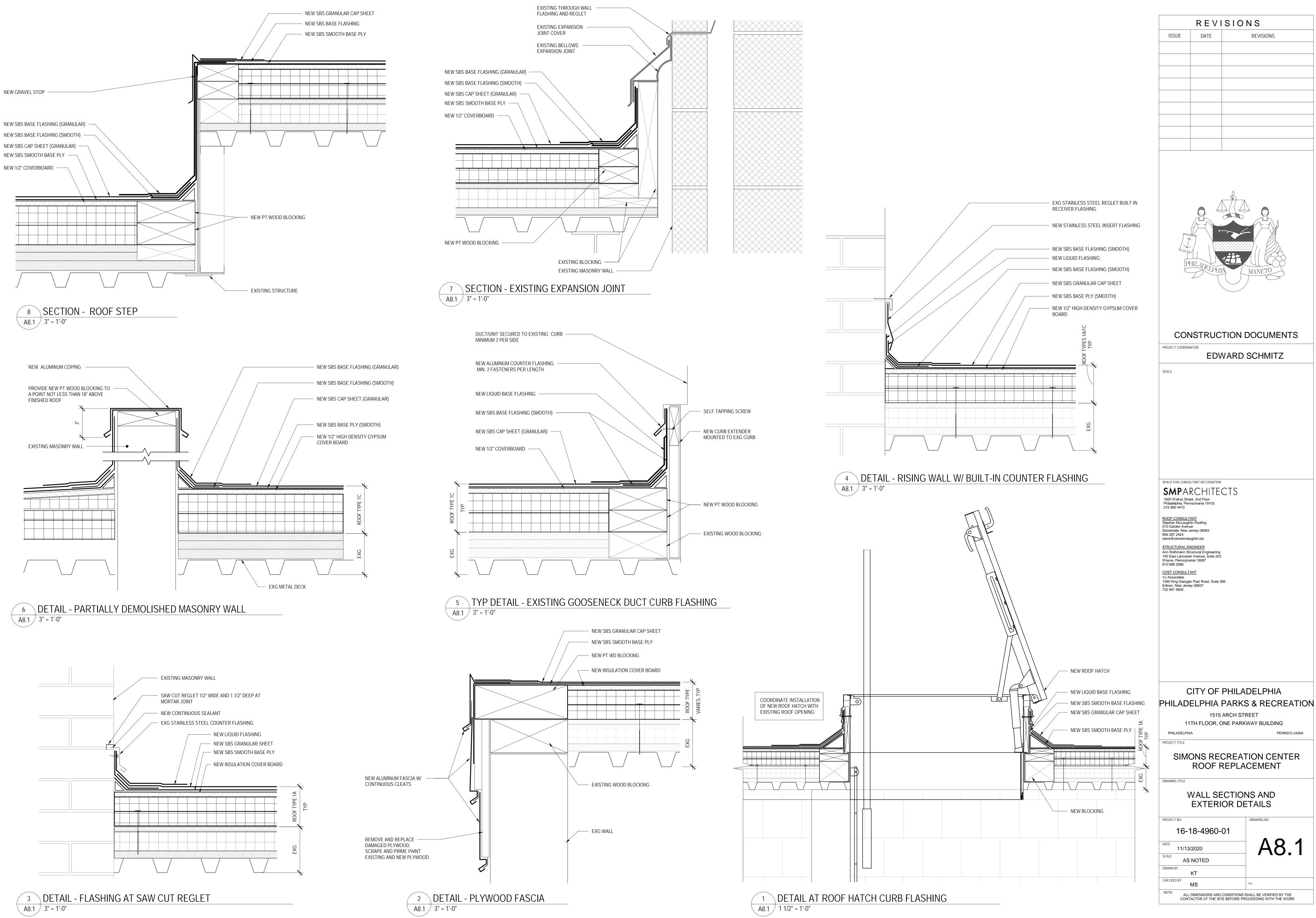


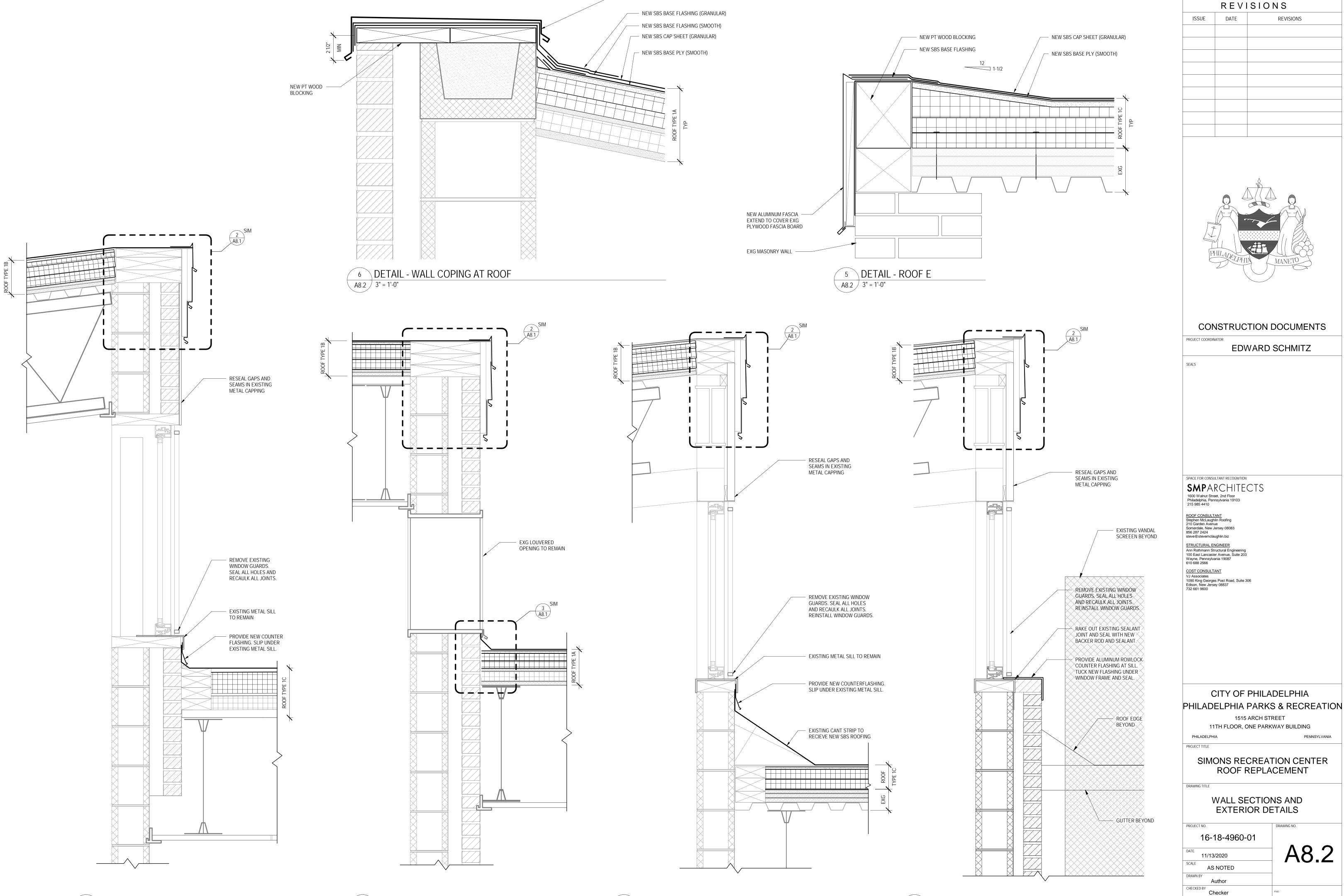


A8.0 3" = 1'-0"



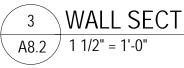
ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





- NEW SLOPED ALUMINUM COPING

4 WALL SECTION - CLERESTORY ROOF G A8.2 1 1/2" = 1'-0"



² WALL SECTION - CLERESTORY ROOF H @ ROOF F A8.2 1 1/2" = 1'-0"

1 WALL SECTION - CLERESTORY ROOF H @ EXT WALL A8.2 1 1/2" = 1'-0"

NOTE:

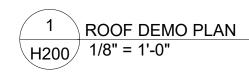
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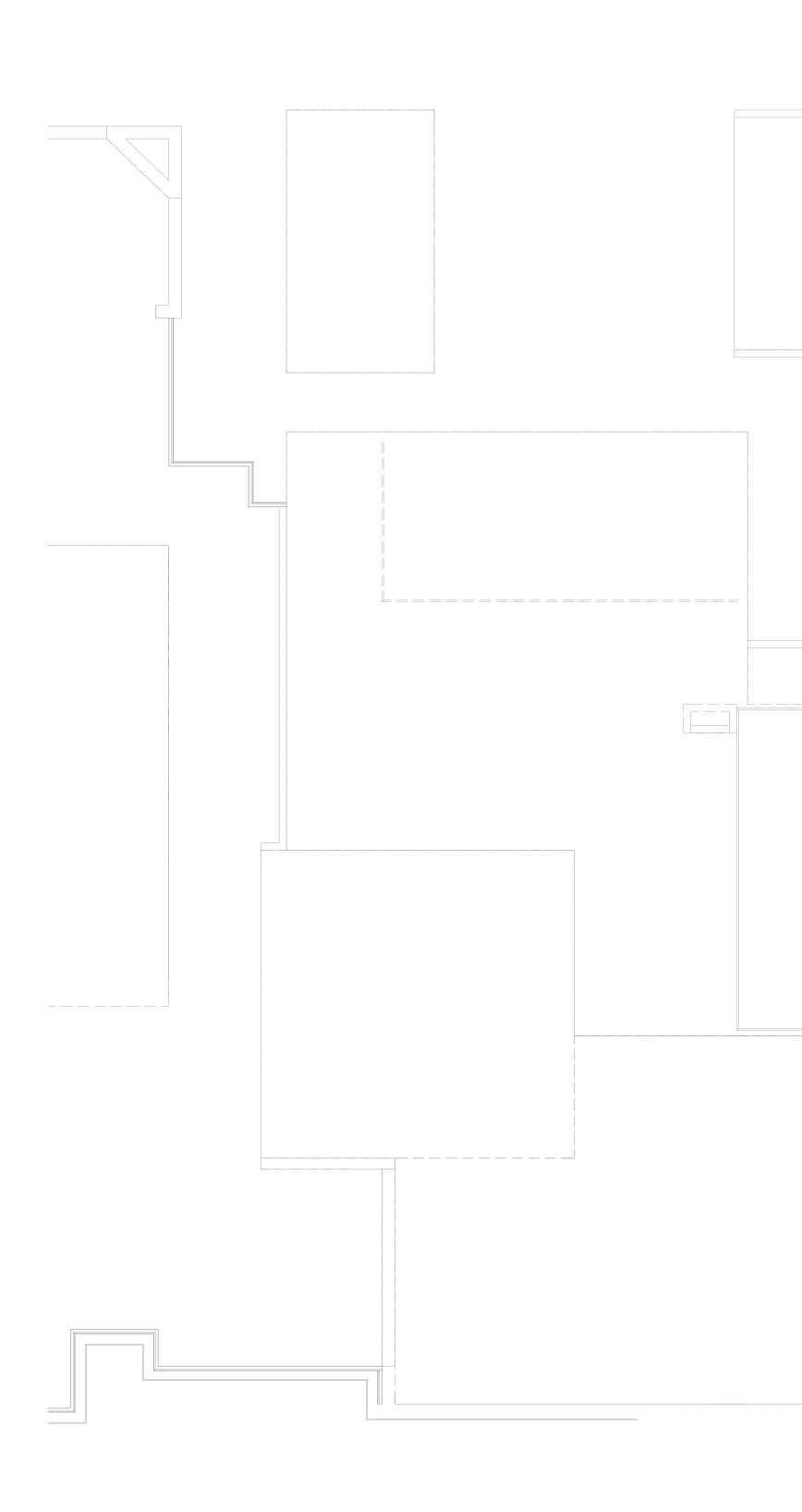
HVAC GENERAL NOTES:

- EXAMINE JOB SITE AND VERIFY ALL SITE CONDITIONS PRIOR TO SIGNING CONTRACT. BRING ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 2. THE DRAWINGS ARE DIAGRAMMATIC. COORDINATE IN THE FIELD, WITH THE ARCHITECT AND WITH ALL TRADES, THE EXACT LOCATION OF EQUIPMENT, DUCTWORK, AND PIPING.
- 3. PERFORM WORK IN ACCORDANCE WITH RULES, REGULATIONS, STANDARDS, CODES, ORDINANCES, AND LAWS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS, AND OTHER AUTHORITIES HAVING JURISDICTION AND BE RESPONSIBLE FOR COMPLIANCE THEREWITH.
- 4. OBTAIN ALL NECESSARY APPROVALS, PERMITS AND INSPECTIONS. PAY ALL ASSOCIATED FEES.
- CONTRACTOR'S SHALL MAINTAIN A NOTATED SET OF "AS-BUILT" DRAWINGS ONSITE SHOWING ALL DEVIATIONS FROM THE CONTRACT DRAWINGS AND SHALL TURN THEM OVER TO THE ARCHITECT/ENGINEER UPON SUBSTANTIAL COMPLETION.
- 6. ALL MATERIALS SHALL BE NEW AND OF COMMERCIAL GRADE AND BEAR THE UNDERWRITER'S LABEL WHERE APPLICABLE.
- OBTAIN APPROVAL FROM THE BUILDING OWNER'S REPRESENTATIVE PRIOR TO ANY INTERRUPTION OF BUILDING SYSTEMS. COORDINATE ACCEPTABLE WORKING HOURS WITH SAME.

VENTING:

- A. VENT FOR GAS/OIL FIRED EQUIPMENT SHALL BE TYPE "B", DOUBLE WALLED, STAINLESS STEEL OR ALUMINUM INNER WALL. PROVIDE ALL PIPE FITTINGS, STACK CAP, VENTILATED ROOF THIMBLE, DRAIN SECTION, FLASHING COLLARS, AND STACK SUPPORTS REQUIRED FOR A COMPLETE INSTALLATION.
 B.
- PROVIDE GUY WIRES FOR STABILITY ANCHORED TO BUILDING STRUCTURE WITH METHODS APPROVED BY THE ARCHITECT/STRUCTURAL ENGINEER.
- C. SUBMIT SPECIFIC PRODUCTS AND SHOP DRAWINGS FROM THE MANUFACTURER FOR REVIEW AND APPROVAL. PROVIDE PRODUCTS FROM VAN PACKER, SELKIRK, OR METALFAB.

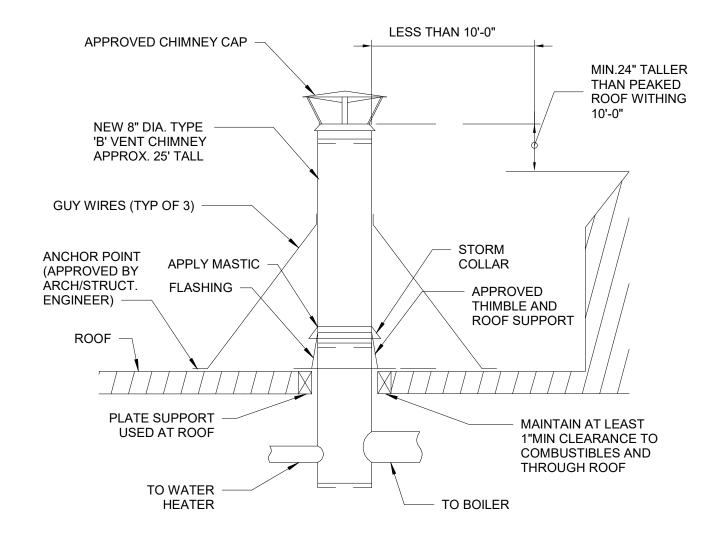


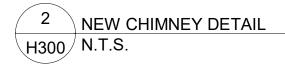


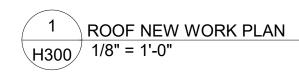
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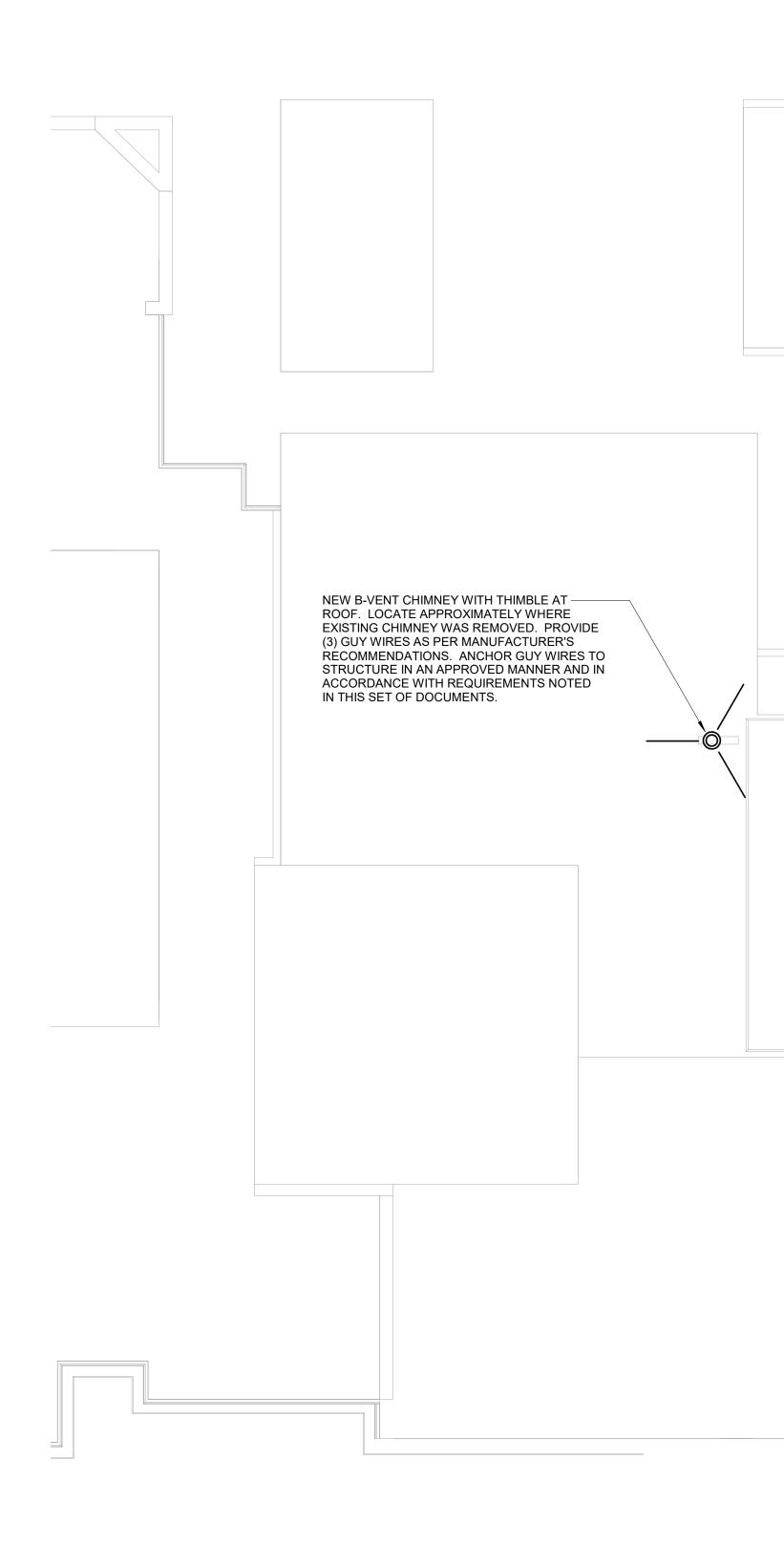
SHEET NOTES:

- 1. VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO BEGINNING THE WORK OR ORDERING MATERIALS
- 2. SUBMIT MANUFACTURER'S INFORMATION AND SHOP DRAWING (INCLUDING SUPPORT AND ANCHORING DETAILS) FOR APPROVAL.
- 3. COORDINATE STRCUTURAL ANCHOR POINTS WITH OWNER/ARCHITECT/STRUCTURAL ENGINEER.
- 4. SEE SPECIFICATIONS FOR ALL WORK REQUIRED.
- 5. CONNECT EXISTING BOILER AND WATER HEATER TO THE NEW CHIMNEY. PROVIDE ALL REQUIRED EXTENSIONS AND FITTINGS.









ISSUE DATE	
	REVISIONS
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PHILADELPHIA	MANETO
CONSTRUCTION I	DOCUMENTS
PROJECT COORDINATOR	SCHNIT7
SEALS	
SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia Pennsylvania 19103	
Philadelphia, Pennsylvania 19103 215 985 4410	
ROOF CONSULTANT Stephen McLaughlin Roofing 210 Garden Avenue	
Somerdale, New Jersey 08083 856 287 2424	
steve@stevemclaughlin.biz	
STRUCTURAL ENGINEER Ann Rothmann Structural Engineering	
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