



CITY OF PHILADELPHIA

PHILADELPHIA PARKS & RECREATION

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - TUMAR ALEXANDER

COMMISSIONER- DEPARTMENT OF PARKS & RECREATION - KATHRYN OTT LOVELL

SIMONS RECREATION CENTER

ROOF REPLACEMENT

PROJECT NO. 16-18-4960-01

SIMONS RECREATION CENTER
1601-35 EAST WALNUT LANE
PHILADELPHIA, PA 19138

CONSTRUCTION DOCUMENTS

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ABBREVIATIONS			
A	ABV	ABOVE	L LF LINEAR FEET
	AFF	ABOVE FINISHED FLOOR	
	ADJ	ADJUSTABLE	M MAS MASONRY
	AL(ALUM)	ALUMINUM	MAX MAXIMUM
	APPROX	APPROXIMATE	MECH MECHANICAL
	ARCH	ARCHITECTURAL	MFR MANUFACTURER
B	BTW	BETWEEN	MIN MINIMUM
	BLDG	BUILDING	MO MASONRY OPENING
	BLKG	BLOCKING	MTD MOUNTED
	BM	BEAM	MTL METAL
	BO	BOTTOM OF	N N NORTH
			NA NOT APPLICABLE
C	CJ	CONTROL JOINT	NIC NOT IN CONTRACT
	CLR	CLEAR CLEARANCE	NOM NOMINAL
	CMU	CONCRETE MASONRY UNIT	NTS NOT TO SCALE
	COL	COLUMN	O OC ON CENTER
	CONC	CONCRETE	OH OPPOSITE HAND
	CONT	CONTINUOUS	OPP OPPOSITE
D	DIA	DIAMETER	OTLN OUTLINE
	DIM	DIMENSION	P PNL PANEL
	DN	DOWN	PNT PAINT(ED)
	DTL	DETAIL	P.T. PRESSURE TREATED
	DWG	DRAWING	PT POINT
E	EA	EACH	PV PIPE VENT
	EL	ELEVATION	PWD PLYWOOD
	ELEC	ELECTRICAL	R RAD RADIUS
	EQ	EQUAL	REF REFER TO, REFERENCE
	EQPM	EQUIPMENT	REQ'D REQUIRED
	ES	EXPOSED STRUCTURE	REV REVISION, REVISE(D)
	EXG	EXISTING	RM ROOM
	EXP	EXPOSED/EXPANSION	RO ROUGH OPENING
	EXT	EXTERIOR	RWC RAIN WATER CONDUCTOR
F	FF	FACTORY FINISH	S SIM SIMILAR
	FIN	FINISH(ED)	SSTL STAINLESS STEEL
	FLG	FLASHING	STN STAIN(ED)
	FLR	FLOORING	STL STEEL
	FT	FOOT FEET	STRUC STRUCTURAL
G	GA	GAUGE	SUSP SUSPENDED
	GALV(GAL)	GALVANIZED	T TO TOP OF
H	HM	HOLLOW METAL	THK THK(NESS) TYPICAL
	HOR	HORIZONTAL	UNO UNLESS NOTED OTHERWISE
	HR	HOUR	VAR VARIES/VARIOUS
	HT	HEIGHT	VIF VERIFY IN FIELD
	HVAC	HEATING/VENTILATION/ AIR CONDITIONING	W W WITH
I	INCL	INCLUDING	W/O WITHOUT
	INFO	INFORMATION	WD WOOD
	INS	INSULATE(D),(ION)	X XPS EXTRUDED POLYSTYRENE
	INT	INTERIOR	
J	JT	JOINT	

REFERENCE SYMBOLS	
WALL/DETAIL SECTION	DIRECTION OF SECTION DRAWING ID NUMBER SHEET ID NUMBER
DETAIL ELEVATION	DIRECTION OF SECTION DRAWING ID NUMBER SHEET ID NUMBER
DETAIL	DRAWING ID NUMBER LIMIT OF ENLARGEMENT SHEET ID NUMBER
REVISION	DRAWING ID NUMBER LIMIT OF REVISION REVISION NUMBER TAG
DATUM ELEVATION (SECTION/ELEVATION)	FINISH FLOOR EL. +7.58105
BREAKLINE	1
REFERENCE GRID	A 1
MATERIAL SYMBOLS	
CONCRETE MASONRY UNITS	CONCRETE
BRICK	BLOCKING
RIGID INSULATION	PLYWOOD (LARGE SCALE)
STEEL (LARGE SCALE)	ROUGH CARPENTRY

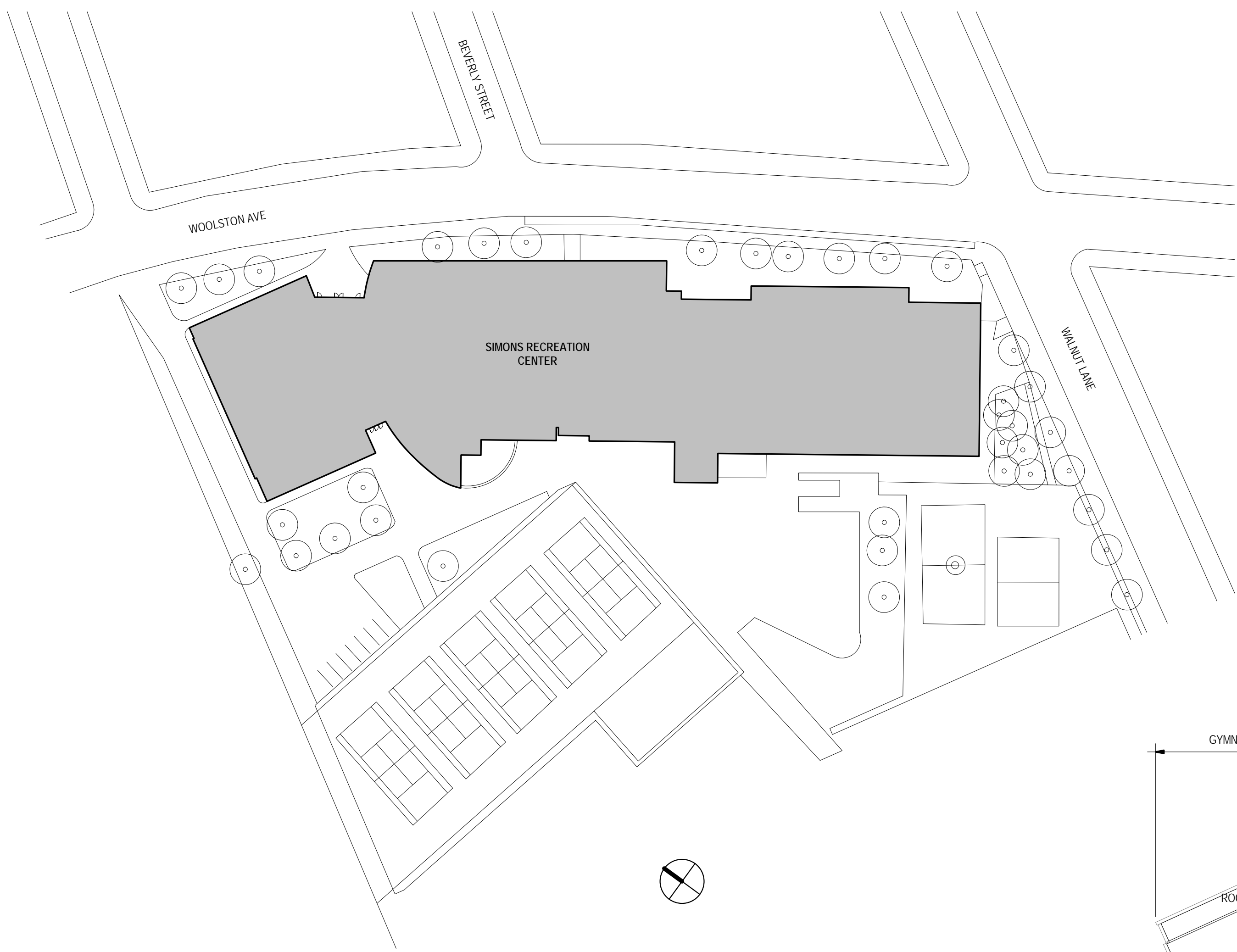
GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- THE SCOPE OF WORK FOR THIS PROJECT IS DEFINED BY THE DRAWINGS AND SPECIFICATIONS; REFERENCE TO BOTH IS REQUIRED.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION. THE BUILDING PERMIT SHALL BE PROVIDED BY THE OWNER.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.
- CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE DESIGN PROFESSIONAL IMMEDIATELY.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING N.C. ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT WORK.
- THE DRAWINGS AND SPECIFICATIONS CONTAIN THE REQUIREMENTS FOR THE WORK. KNOW AND UNDERSTAND THE DRAWINGS AND SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR THE REQUIREMENTS OF THE WORK AND THE CONTRACT. REFER TO THE DRAWINGS FOR THE ASSEMBLY OF THE MATERIALS, REPLACEMENTS, AND REPAIRS.

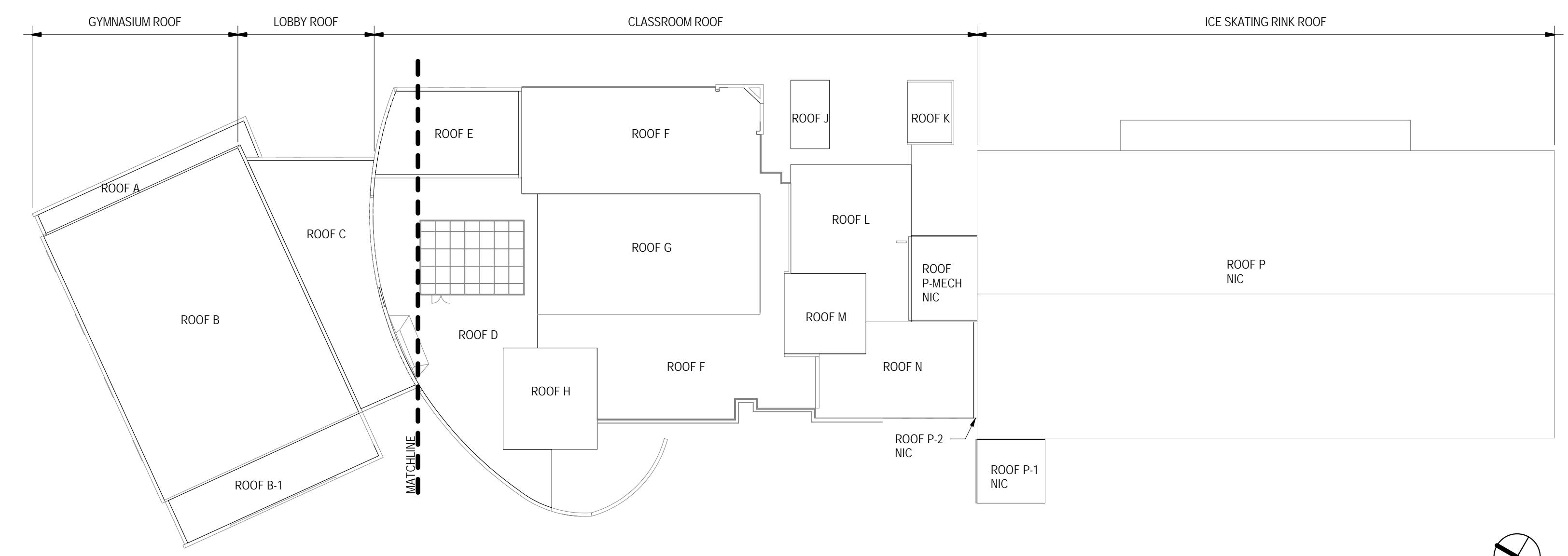


DRAWING LIST	
Sheet Number	Sheet Name
CS	COVER SHEET
GENERAL	
CS	COVER SHEET
ARCHITECTURAL	
A1.0	KEY PLAN AND SITE PLAN
D2.0	GYM & LOBBY DEMO ROOF PLAN
D2.1	CLASSROOMS DEMO ROOF PLAN
A2.0	GYM & LOBBY FLOOR PLAN
A2.1	CLASSROOMS FLOOR PLAN
A2.2	GYM & LOBBY ROOF PLAN
A2.3	CLASSROOMS ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A7.0	ROOF ACCESS - LADDERS
A8.0	ROOF TYPES & DETAILS
A8.1	WALL SECTIONS AND EXTERIOR DETAILS
A8.2	WALL SECTIONS AND EXTERIOR DETAILS
MECHANICAL	
H200	HVAC NOTES AND DEMOLITION PLAN
H300	HVAC NEW WORK ROOF PLAN

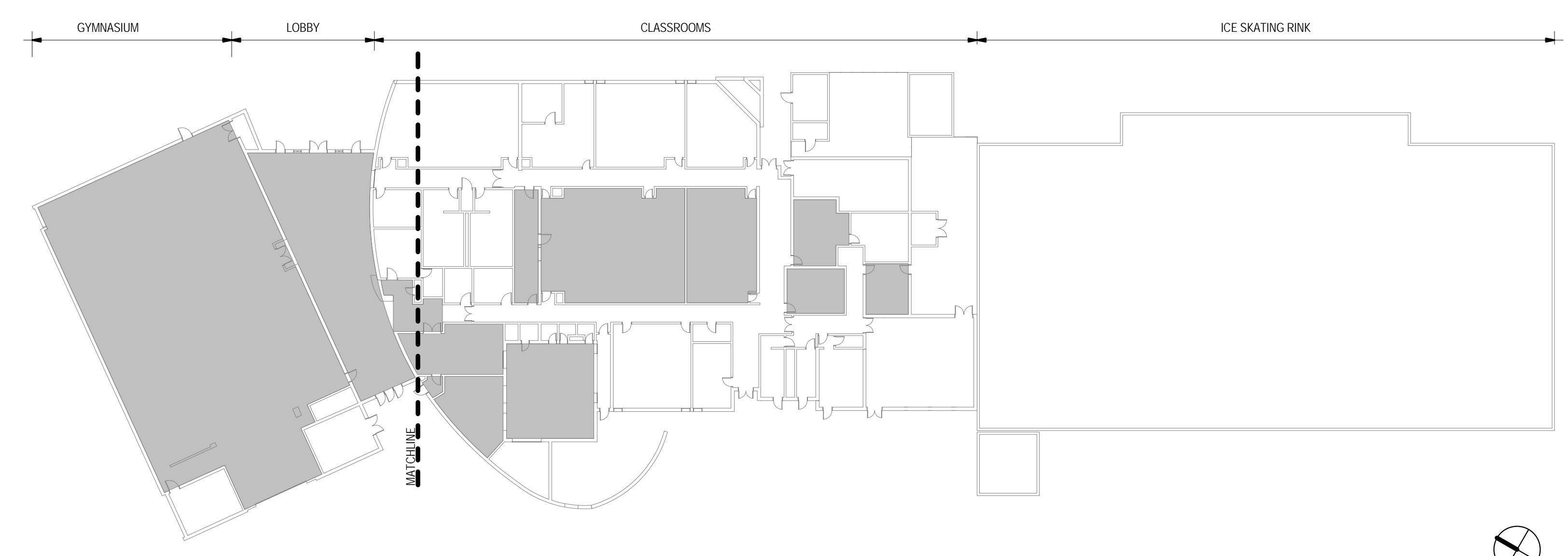
PROJECT APPROVED	
COMMISSIONER/PARKS AND RECREATION	
DEPUTY COMMISSIONER/CAPITAL PROJECTS	
PROJECT DIRECTOR	
ART COMMISSION	
HISTORICAL COMMISSION	
SEALS	
CITY OF PHILADELPHIA PHILADELPHIA PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA	
PROJECT NO. 16-18-4960-01	DRAWING NO. CS-1
DATE 11/13/2020	SCALE AS NOTED
DRAWN BY AS NOTED	CHECKED BY AS NOTED
<small>NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.</small>	



3 EXISTING SITE PLAN
A1.0 1" = 60'-0"



2 KEY ROOF PLAN
A1.0 1/32" = 1'-0"



1 KEY FLOOR PLAN
A1.0 1/32" = 1'-0"

REVISIONS

ISSUE	DATE	REVISIONS



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PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**SIMONS RECREATION CENTER
ROOF REPLACEMENT**

DRAWING TITLE
KEY PLAN AND SITE PLAN

PROJECT NO.
16-18-4960-01

DATE
11/13/2020

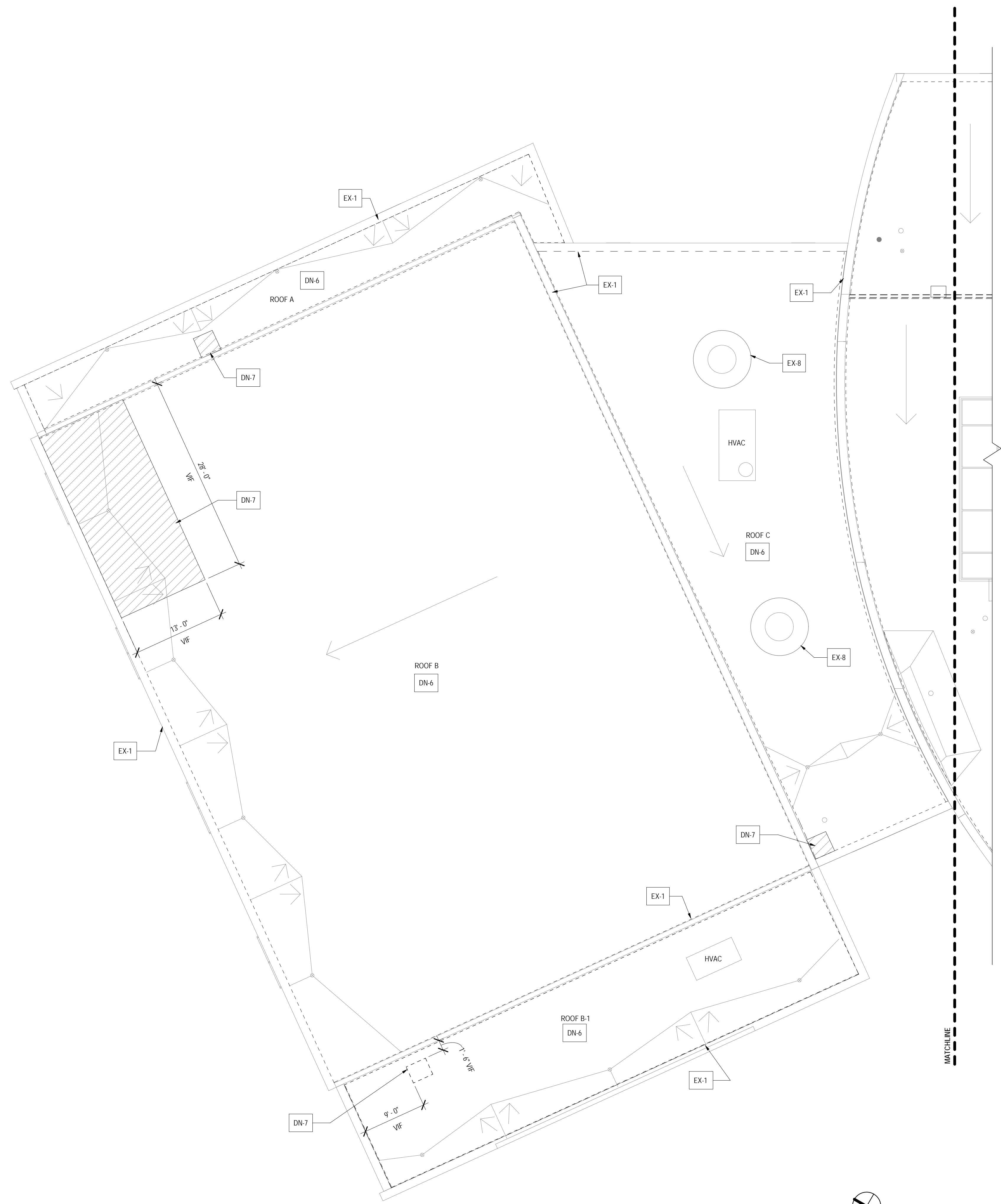
SCALE
AS NOTED

DRAWN BY
MW

CHECKED BY
MS

DRAWING NO.
A1.0

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1 DEMO ROOF PLAN - GYM AND LOBBY
 D2.0 1/8" = 1'-0"

GENERAL DEMO NOTES:

- 1 CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.
- 2 PERFORM DISASSEMBLY AND REMOVALS IN A CONTROLLED MANNER: WITHOUT UNNECESSARY CUTS; WITHOUT DAMAGE TO THE SITE, STRUCTURE, OR FEATURES; WITHOUT DAMAGE TO THE MATERIALS OR CONSTRUCTION TO REMAIN.
- 3 PROMPTLY RESTORE, REPLACE, OR REINSTALL ANY ITEMS DEMOLISHED WHERE NOT SCHEDULED TO BE DEMOLISHED, OR DAMAGED BY ANY DEMOLITION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER. SECURE DESIGN PROFESSIONAL'S APPROVAL PRIOR TO CONDUCTING REMEDIAL WORK.
- 4 POINT LOADING OF EXISTING ROOF DECK MUST BE AVOIDED.
- 5 COMPLETELY REMOVE ROOFING ASSEMBLY AND ACCESSORIES DOWN TO EXG PERLITE, UNO. EXISTING ROOF DECK TO REMAIN. COUNTERFLASHINGS TO BE REUSED. CONTRACTOR TO PROTECT EXG ROOF AND MAINTAIN WATER-TIGHT CONDITIONS THROUGHOUT DEMOLITION AND CONSTRUCTION.
- 6 EXG EQUIPMENT CURBS TO REMAIN. PROVIDE NEW EXTENDER BLOCKING AS REQUIRED.
- 7 DISCONNECT AND RECONNECT EXG HVAC EQUIPMENT AS NECESSARY TO FACILITATE ROOF REPLACEMENT WORK.
- 8 UNLESS NOTED OTHERWISE, EXG PENETRATIONS THROUGH ROOF SHALL REMAIN AND BE PROTECTED.
- 9 ALL EXG ROOF DRAINS ARE TO REMAIN. CONTRACTOR TO REMOVE DEBRIS & FLUSH LINES. NOTIFY OWNER/ARCH OF ANY DRAINAGE ISSUES.

KEYED DEMO NOTES:

- DN-1 REMOVE EXG FENCING, SUPPORTS, AND STL DUNNAGE
- DN-2 REMOVE EXG MASONRY CHIMNEY AND ASSOCIATED FLUE
- DN-3 REMOVE AND SALVAGE EXG SCREEN SEGMENTS FOR REINSTALLATION
- DN-4 REMOVE AND SALVAGE SSSL GUTTERS FOR REINSTALLATION
- DN-5 REMOVE AND SALVAGE VANDAL SCREEN FOR REINSTALLATION IF NECESSARY FOR ROOF REPLACEMENT
- DN-6 REMOVE ALL EXG SBS ROOFING MATERIALS, PIPE FLASHINGS, AND OTHER ROOF RELATED ITEMS DOWN TO PERLITE. REUSE EXG FLASHING, COUNTERFLASHING, AND REGLETS WHERE POSSIBLE
- DN-7 REMOVE ALL EXG SBS ROOFING MATERIALS, PIPE FLASHINGS AND OTHER ROOF RELATED ITEMS DOWN TO ROOF DECK. REUSE EXG FLASHING, COUNTERFLASHING, AND REGLETS WHERE POSSIBLE
- DN-8 REMOVE AND SALVAGE WINDOW GUARDS FOR REINSTALLATION
- DN-9 REMOVE MASONRY WALL DOWN TO MIN 18" ABOVE ROOF SURFACE
- DN-10 REMOVE EXISTING SSSL GUTTER AND DOWNSPOUTS
- DN-11 REMOVE EXISTING ROOF HATCH
- DN-12 REMOVE EXISTING ROOF DECK TO EXTENTS SHOWN. COORDINATE SIZE AND LOCATION WITH EXISTING CONDITIONS, DETAIL 3147.0, AND LADDER AND HATCH MANUFACTURER.

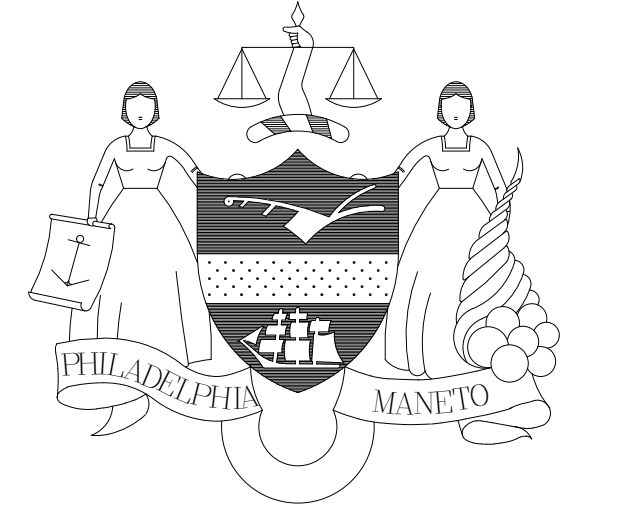
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- EX-6 EXG THROUGH ROOF LEVEL SCUPPER
- EX-7 EXG EQUIPMENT CAGE TO REMAIN
- EX-8 EXG SKYLIGHT TO REMAIN
- EX-9 EXG WD PERGOLA TO REMAIN

EXG ROOF EQUIPMENT

- PIPE
- VENT
- ⊙ FLUE
- ⊗ ROOF DRAIN
- ⊠ GOOSE NECK
- ⊞ EXHAUST FAN
- EQUIPMENT ON CURB

REVISIONS		
ISSUE	DATE	REVISIONS



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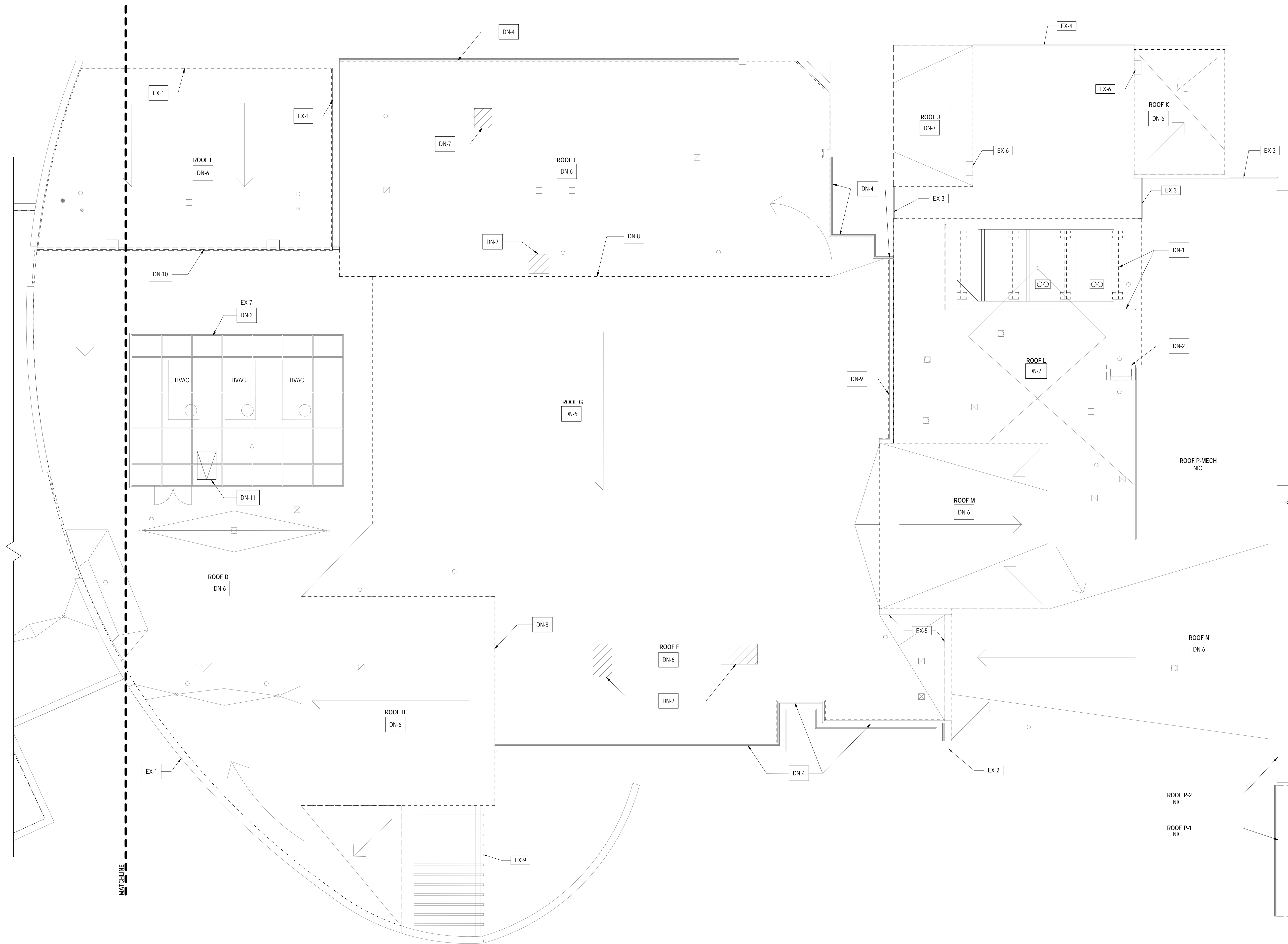
CITY OF PHILADELPHIA
PHILADELPHIA PARKS & RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
SIMONS RECREATION CENTER
ROOF REPLACEMENT

DRAWING TITLE
GYM & LOBBY DEMO ROOF PLAN

PROJECT NO. 16-18-4960-01	DRAWING NO. D2.0
DATE 11/13/2020	SCALE AS NOTED
DRAWN BY KT	CHECKED BY MS

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- 9 ALL EXG ROOF DRAINS ARE TO REMAIN. CONTRACTOR TO REMOVE DEBRIS & FLUSH LINES. NOTIFY OWNER/ARCH OF ANY DRAINAGE ISSUES.

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- DN-12 REMOVE EXISTING ROOF DECK TO EXTENTS SHOWN. COORDINATE SIZE AND LOCATION WITH EXISTING CONDITIONS, DETAIL 3A7.0, AND LADDER AND HATCH MANUFACTURER.

KEYED EXISTING NOTES

- EX-1 EXG SSSL COPING TO REMAIN
- EX-2 EXG VANDAL SCREEN TO REMAIN
- EX-3 EXG FENCING AT GRADE TO REMAIN
- EX-4 EXG MASONRY WALL AT GRADE TO REMAIN
- EX-5 EXG MASONRY WALL TO REMAIN
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- EX-7 EXG EQUIPMENT CAGE TO REMAIN
- EX-8 EXG SKYLIGHT TO REMAIN
- EX-9 EXG WD PERGOLA TO REMAIN

EXG ROOF EQUIPMENT

- PIPE
- VENT
- ⊙ FLUE
- ⊙ ROOF DRAIN
- ⊠ GOOSE NECK
- ⊠ EXHAUST FAN
- EQUIPMENT ON CURB

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
EDWARD SCHMITZ

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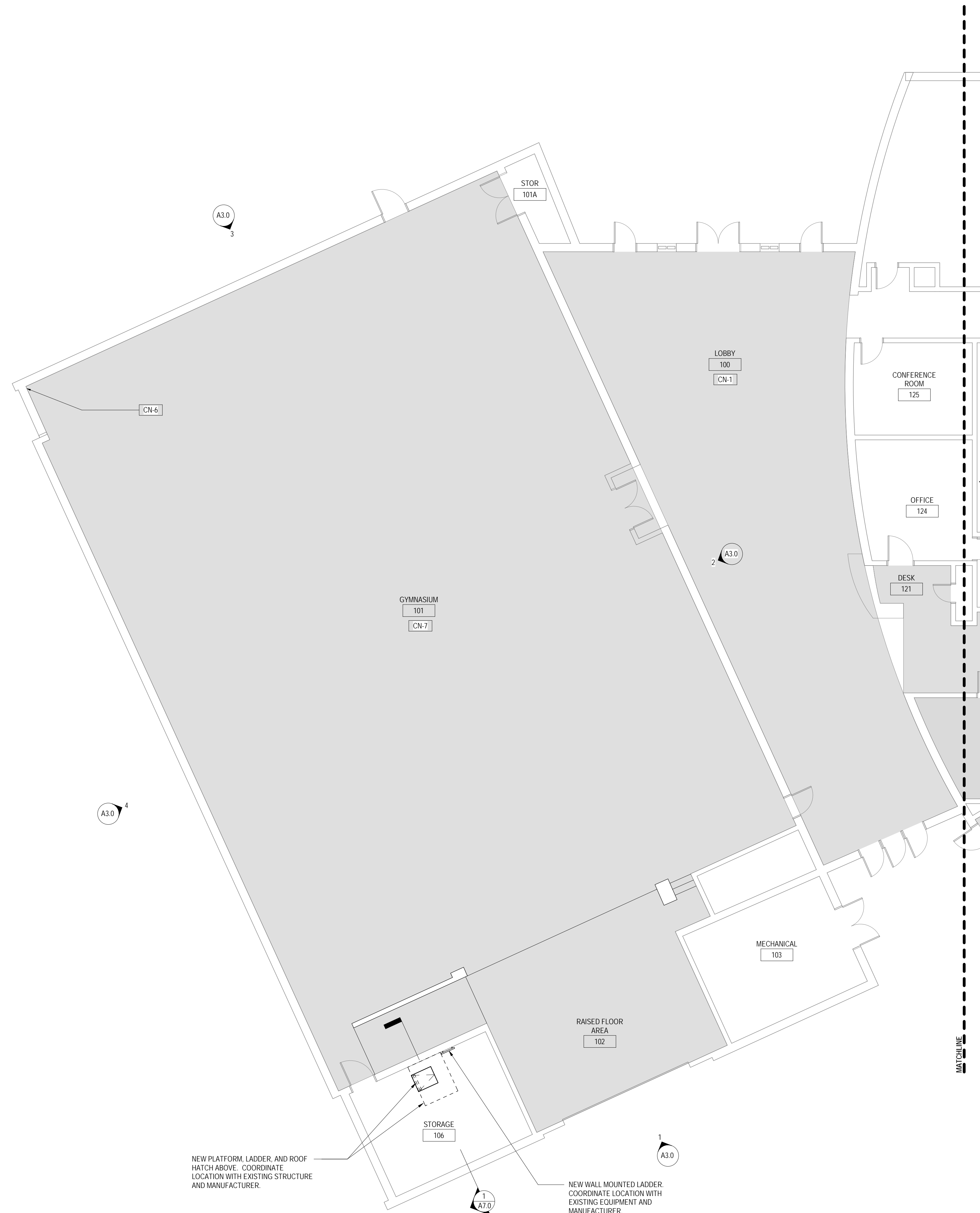
PROJECT TITLE
**SIMONS RECREATION CENTER
ROOF REPLACEMENT**

DRAWING TITLE
**CLASSROOMS DEMO ROOF
PLAN**

PROJECT NO. 16-18-4960-01	DRAWING NO. D2.1
DATE 11/13/2020	
SCALE AS NOTED	
DRAWN BY MW	
CHECKED BY MS	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

1 DEMO ROOF PLAN - CLASSROOMS
D2.1 1/8" = 1'-0"



GENERAL INTERIOR CONSTRUCTION NOTES:

- INTERIOR REPAIR WORK IS LIMITED TO AREAS WITH WATER DAMAGE.
 -WALLS: U.N.O. PREP AND REPAINT IN GYMNASIUM PREP & REPAINT WALLS IN NE CORNER ONLY
 -GWB CEILINGS: PATCH DAMAGED AREAS, PREP & REPAINT ENTIRE CEILING
 -ACOUSTIC CEILING TILE GRID: REPLACE DAMAGED CEILING TILES TO MATCH EXG
- WHERE WALLS HAVE EXG GRAPHICS TO REMAIN, COORD AREAS OF REPAINTING WITH OWNER/ARCH

ROOMS IMPACTED BY ROOF LEAKS =

KEYED CONSTRUCTION NOTES

- CN-1 PATCH GWB CEILING AS NECESSARY. PREP AND REPAINT.
- CN-2 REPLACE ALL ACT CEILING TILES IN ROOM
- CN-3 PREP AND REPAINT WALLS
- CN-4 PREP AND REPAINT EAST WALL ONLY
- CN-5 PREP AND REPAINT SOUTH WALL ONLY
- CN-6 PREP AND REPAINT WALLS IN NORTHEAST CORNER ONLY
- CN-7 SCRAPE, PREP, AND REPAINT METAL DECK

1 NEW WORK FLOOR PLAN - GYM & LOBBY
 A2.0 1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS

CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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SEALS

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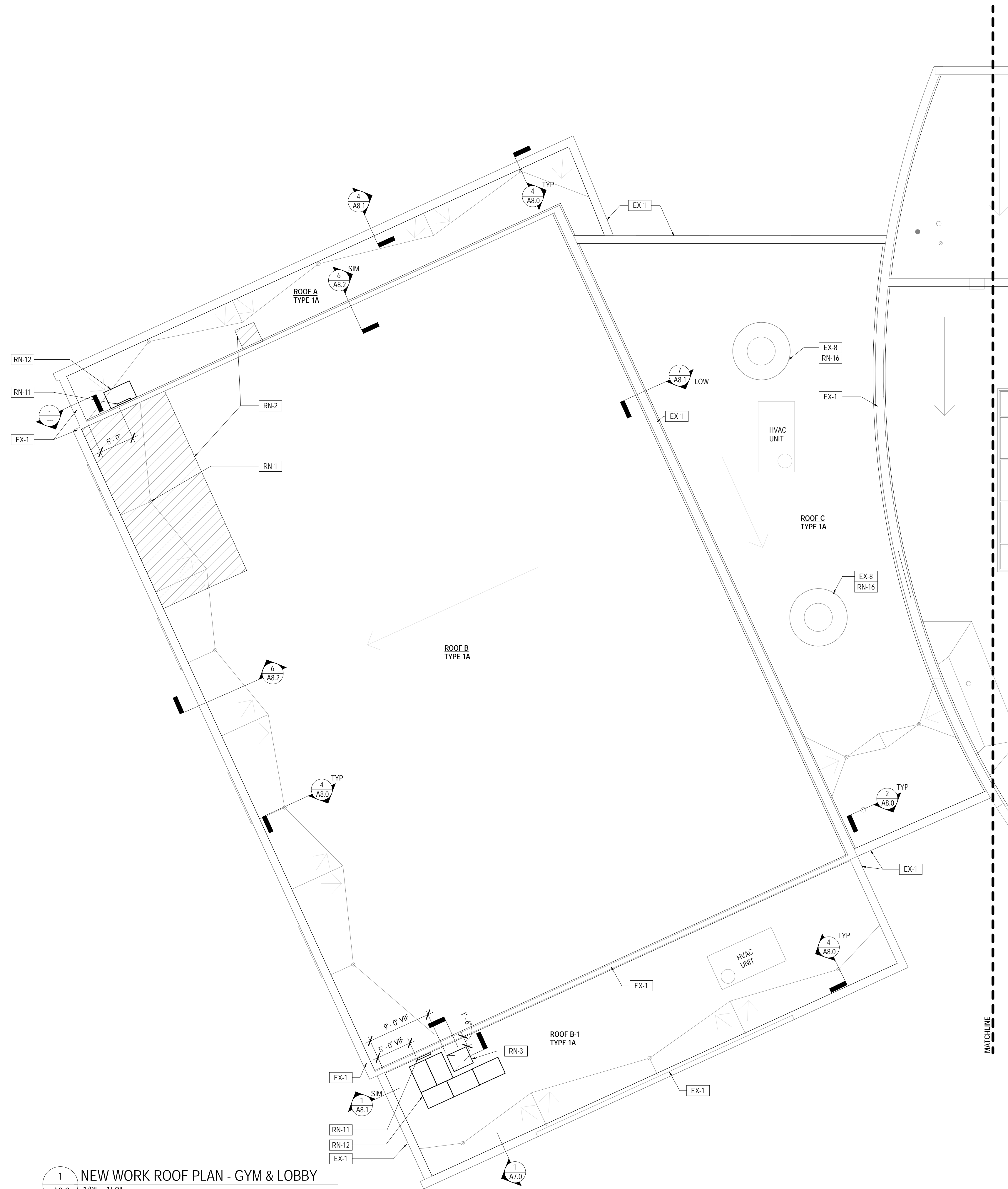
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PROJECT TITLE
SIMONS RECREATION CENTER ROOF REPLACEMENT

DRAWING TITLE
GYM & LOBBY FLOOR PLAN

PROJECT NO. 16-18-4960-01	DRAWING NO. A2.0
DATE 11/13/2020	A2.0
SCALE AS NOTED	
DRAWN BY KT	
CHECKED BY MS	PLD

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



1 NEW WORK ROOF PLAN - GYM & LOBBY
A2.2 1/8" = 1'-0"

GENERAL ROOF NOTES

1. PROVIDE P.T. WOOD BLOCKING AND ANCHORING TO MEET ES-1 ANSIS/PRI REQUIREMENTS.
2. DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.
3. REPRESENTATIVE DETAILS, PROFILES, AND DIMENSIONS NOTED ARE APPROXIMATE. FIELD VERIFY CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO PREPARING SHOP DRAWINGS.
4. ALL EXG ROOF DRAINS TO REMAIN. TIE INTO NEW ROOFING, PROVIDE EXTENDER COLLAR IF NECESSARY, AND PROVIDE NEW CAST IRON STRAINER. TYP. CONTRACTOR TO REMOVE DEBRIS & FLUSH LINES. NOTIFY OWNER/ARCH OF ANY DRAINAGE ISSUES.
5. SEE DRAWING 7/A8.0 FOR ROOF TYPES.
6. ALL EXG MASONRY ABOVE THE ROOF SHOULD BE PREPPED, PRIMED, AND REPAINTED.
7. WHERE POSSIBLE REUSE EXISTING FLASHING, COUNTER-FLASHING, AND REGLETS.
8. WHERE EXG ROOF EDGE MTL / COUNTERFLASHING IS TO REMAIN, TIE IN NEW ROOFING PER MFR'S RECOMMENDATIONS.
9. PLYWOOD FASCIAE ARE TO REMAIN. REPLACE DAMAGED SECTIONS. PREP AND PRIME EXG AND NEW.
10. EXG EQUIPMENT CURBS TO REMAIN. PROVIDE NEW EXTENDER BLOCKING AS REQUIRED.

KEYED ROOF NOTES

- RN-1 EXG ROOF DRAIN IS CLOGGED / BLOCKED. REMOVE DEBRIS, FLUSH LINE, AND CLEAN.
- RN-2 PROVIDE NEW INSULATION IN AREA OF REMOVAL.
- RN-3 NEW ROOF HATCH
- RN-4 NOT USED
- RN-5 CLEAN AND REINSTALL EXG SSTL GUTTERS. PROVIDE NEW GUTTER SCREENS.
- RN-6 NEW ALUMINUM COPING ON LOWERED MASONRY WALL.
- RN-7 REINSTALL WINDOW GUARDS AFTER ALL HOLES HAVE BEEN SEALED AND JOINTS RECAULKED. AT ROOF H, PROVIDE METAL FLASHING SILL TO CAP MASONRY.
- RN-8 NEW RAISED ROOF EDGE.
- RN-9 NEW FLUE AND CAP. SEE MEP DWGS.
- RN-10 REPLACE DAMAGED PLYWOOD FASCIA BOARD AND COVER ALL PLYWOOD FASCIA BOARD WITH NEW ALUMINUM FASCIA.
- RN-11 NEW WALL MOUNTED LADDER.
- RN-12 NEW ROOF WALKWAY PADS.
- RN-13 NEW ROOF HATCH WITH INTEGRAL GUARD RAILS IN EXISTING ROOF OPENING.
- RN-14 NEW SSTL RWIC. CONNECT TO EXG BOOT.
- RN-15 NEW THROUGH ROOF LEVEL SCUPPER.
- RN-16 RECAULK AND SEAL EXISTING SKYLIGHTS.

KEYED EXISTING NOTES

- EX-1 EXG SSTL COPING TO REMAIN
- EX-2 EXG VANDAL SCREEN TO REMAIN
- EX-3 EXG FENCING AT GRADE TO REMAIN
- EX-4 EXG MASONRY WALL AT GRADE TO REMAIN
- EX-5 EXG MASONRY WALL TO REMAIN
- EX-6 EXG THROUGH ROOF LEVEL SCUPPER
- EX-7 EXG EQUIPMENT CAGE TO REMAIN
- EX-8 EXG SKYLIGHT TO REMAIN
- EX-9 EXG WD PERGOLA TO REMAIN

EXG ROOF EQUIPMENT

- PIPE
- VENT
- ⊙ FLUE
- ⊗ ROOF DRAIN
- ⊕ GOOSE NECK
- ⊞ EXHAUST FAN
- EQUIPMENT ON CURB

DESIGN CRITERIA

GOVERNING CODE: INTERNATIONAL EXISTING BUILDING CODE 2018 (LEVEL 1 ALTERNATION)

INTERNATIONAL ENERGY CONSERVATION CODE 2018

EXISTING 1-STORY BUILDING - 33,000SF ROOF

ROOF LOADS: DEAD LOAD: 20 PSF
LIVE LOAD: 20 PSF

WIND LOAD: BASIC WIND SPEED: 125 MPH
1 (WIND IMPORTANCE FACTOR): 1.15
WIND EXPOSURE: B

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

EDWARD SCHMITZ

SEALS

SPACE FOR CONSULTANT RECOGNITION

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CITY OF PHILADELPHIA
PHILADELPHIA PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

SIMONS RECREATION CENTER
ROOF REPLACEMENT

DRAWING TITLE

GYM & LOBBY ROOF PLAN

PROJECT NO.
16-18-4960-01

DATE
11/13/2020

SCALE
AS NOTED

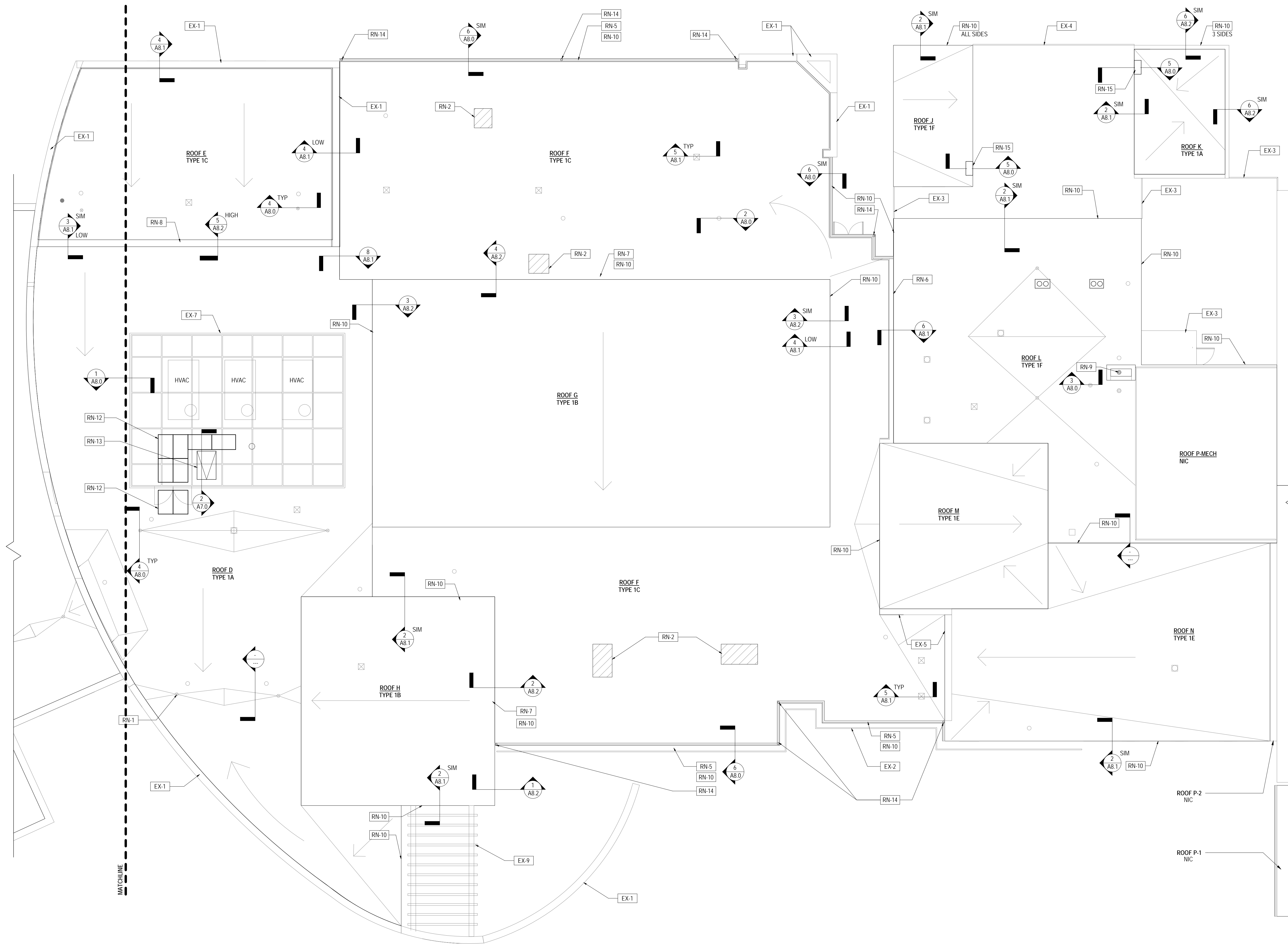
DRAWN BY
KT

CHECKED BY
MS

DRAWING NO.

A2.2

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



GENERAL ROOF NOTES

1. PROVIDE P.T. WOOD BLOCKING AND ANCHORING TO MEET ES-1 ANSIS/SPRI REQUIREMENTS.
2. DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.
3. REPRESENTATIVE DETAILS, PROFILES, AND DIMENSIONS NOTED ARE APPROXIMATE. FIELD VERIFY CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO PREPARING SHOP DRAWINGS.
4. ALL EXG ROOF DRAINS TO REMAIN. TIE INTO NEW ROOFING. PROVIDE EXTENDER COLLAR IF NECESSARY, AND PROVIDE NEW CAST IRON STRAINER, TYP. CONTRACTOR TO REMOVE DEBRIS & FLUSH LINES. NOTIFY OWNER/ARCH OF ANY DRAINAGE ISSUES.
5. SEE DRAWING 7/A8.0 FOR ROOF TYPES.
6. ALL EXG MASONRY ABOVE THE ROOF SHOULD BE PREPPED, PRIMED, AND REPAINTED.
7. WHERE POSSIBLE REUSE EXISTING FLASHING, COUNTER-FLASHING, AND REGLETS.
8. WHERE EXG ROOF EDGE MTL / COUNTERFLASHING IS TO REMAIN, TIE IN NEW ROOFING PER MFR'S RECOMMENDATIONS.
9. PLYWOOD FASCIAS ARE TO REMAIN. REPLACE DAMAGED SECTIONS. PREP AND PRIME EXG AND NEW.
10. EXG EQUIPMENT CURBS TO REMAIN. PROVIDE NEW EXTENDER BLOCKING AS REQUIRED.

KEYED ROOF NOTES

- RN-1 EXG ROOF DRAIN IS CLOGGED / BLOCKED. REMOVE DEBRIS, FLUSH LINE, AND CLEAN. PROVIDE NEW INSULATION IN AREA OF REMOVAL.
- RN-2 NEW ROOF HATCH NOT USED
- RN-3 CLEAN AND REINSTALL EXG SSSL GUTTERS. PROVIDE NEW GUTTER SCREENS
- RN-4 NEW ALUMINUM COPING ON LOWERED MASONRY WALL
- RN-5 REINSTALL WINDOW GUARDS AFTER ALL HOLES HAVE BEEN SEALED AND JOINTS RECAULKED. AT ROOF H, PROVIDE METAL FLASHING SILL TO CAP MASONRY
- RN-6 NEW RAISED ROOF EDGE
- RN-7 NEW FLUE AND CAP. SEE MEP DWGS
- RN-8 REPLACE DAMAGED PLYWOOD FASCIA BOARD AND COVER ALL PLYWOOD FASCIA BOARD WITH NEW ALUMINUM FASCIA
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- RN-11 NEW ROOF HATCH WITH INTEGRAL GUARD RAILS IN EXISTING ROOF OPENING
- RN-12 NEW SSSL RWC. CONNECT TO EXG BOOT.
- RN-13 NEW THROUGH ROOF LEVEL SCUPPER
- RN-14 RECAULK AND SEAL EXISTING SKYLIGHTS

KEYED EXISTING NOTES

- EX-1 EXG SSSL COPING TO REMAIN
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- ⊠ EXHAUST FAN
- EQUIPMENT ON CURB

DESIGN CRITERIA

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INTERNATIONAL ENERGY CONSERVATION CODE 2018

EXISTING 1-STORY BUILDING - 33,000SF ROOF

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LIVE LOAD: 20 PSF

WIND LOAD: BASIC WIND SPEED: 125 MPH
1 (WIND IMPORTANCE FACTOR); 1.15 WIND EXPOSURE: B

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
EDWARD SCHMITZ

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CITY OF PHILADELPHIA
PHILADELPHIA PARKS & RECREATION

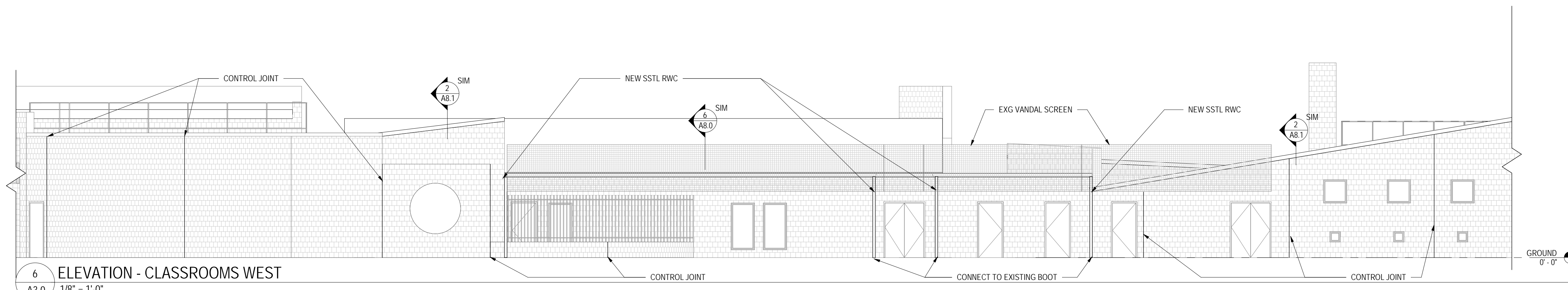
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

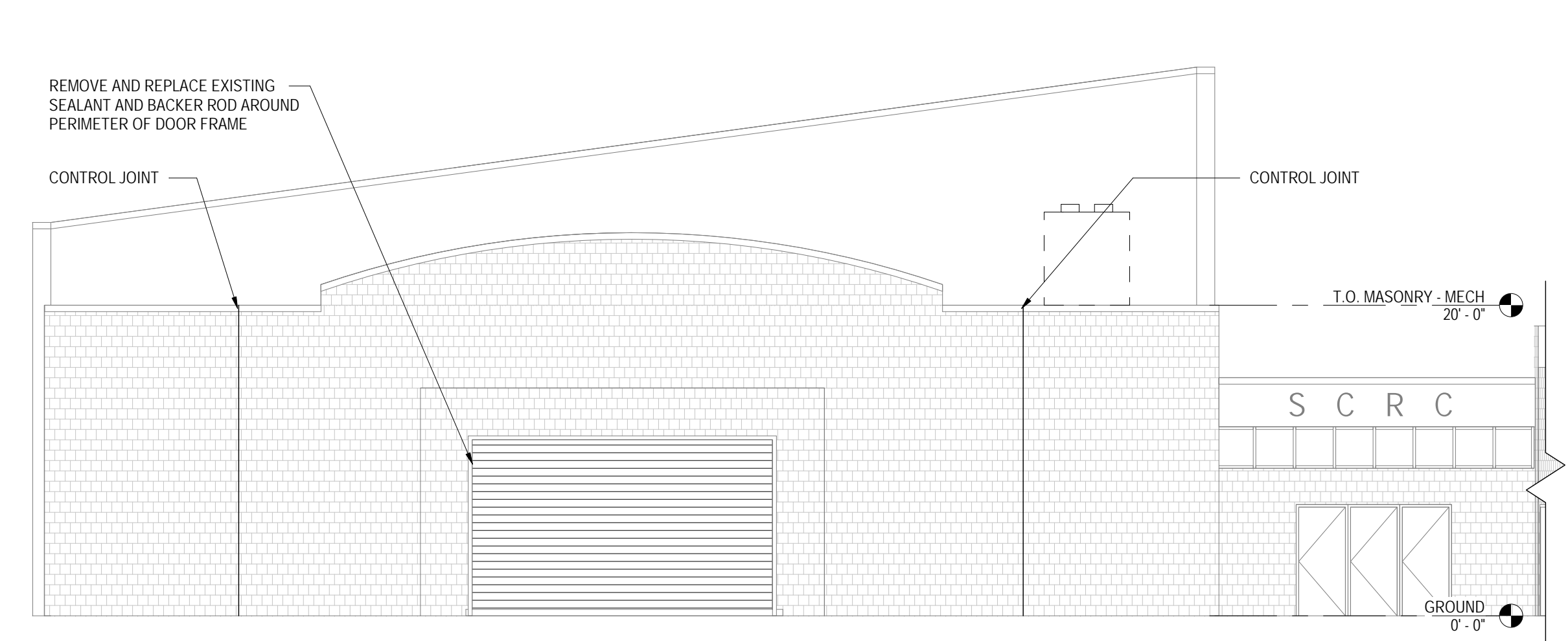
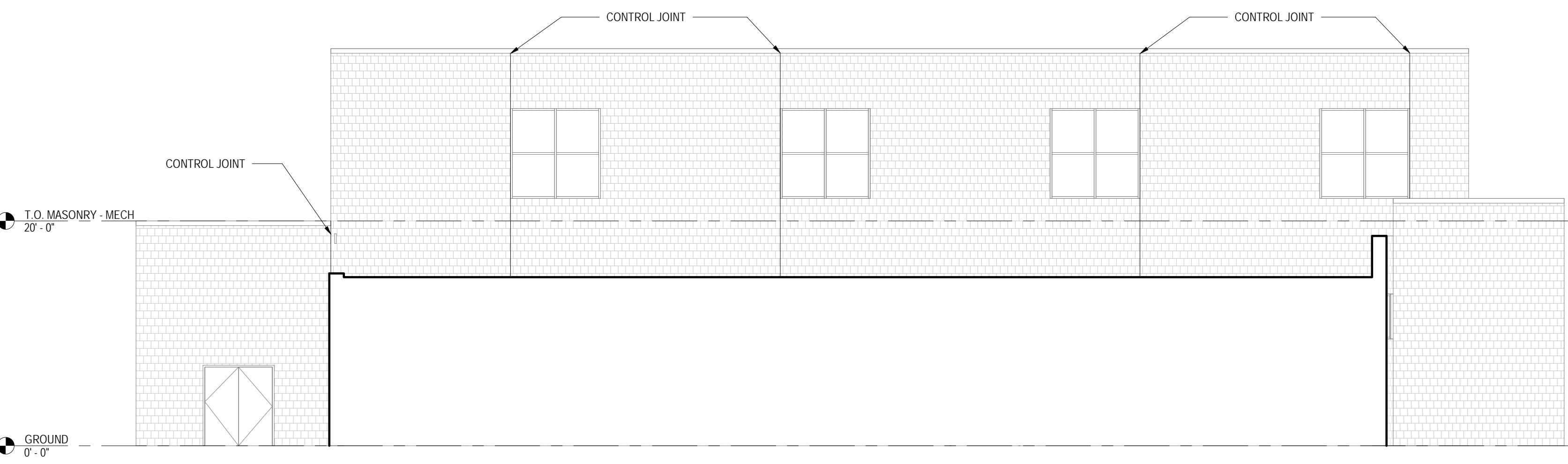
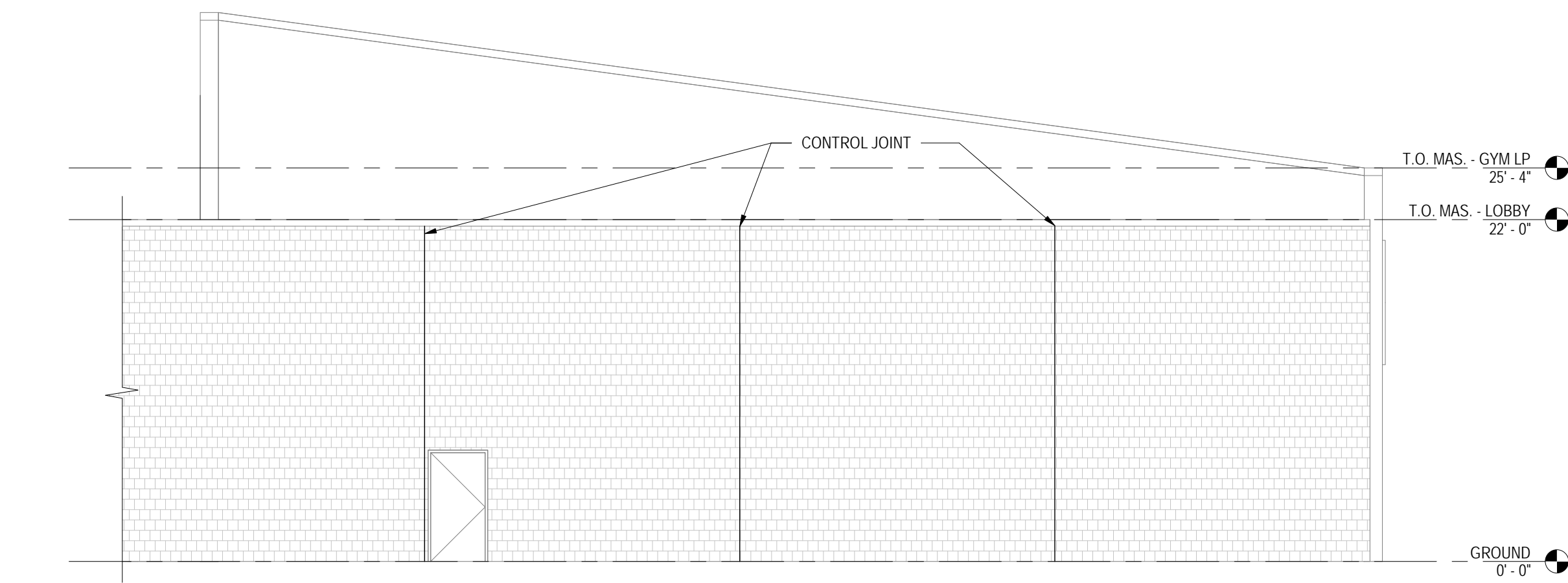
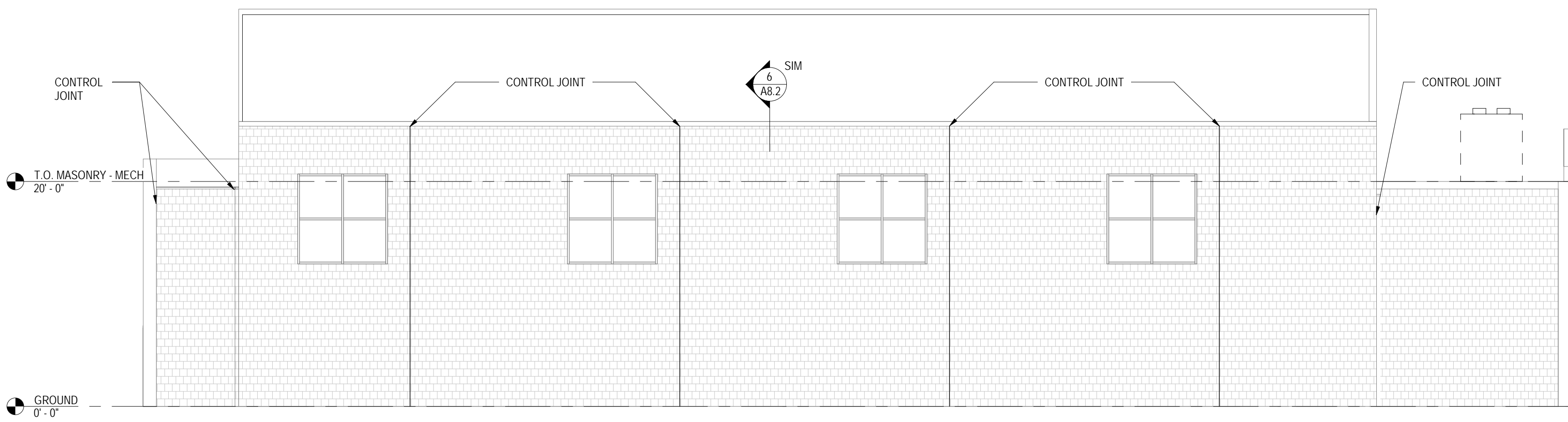
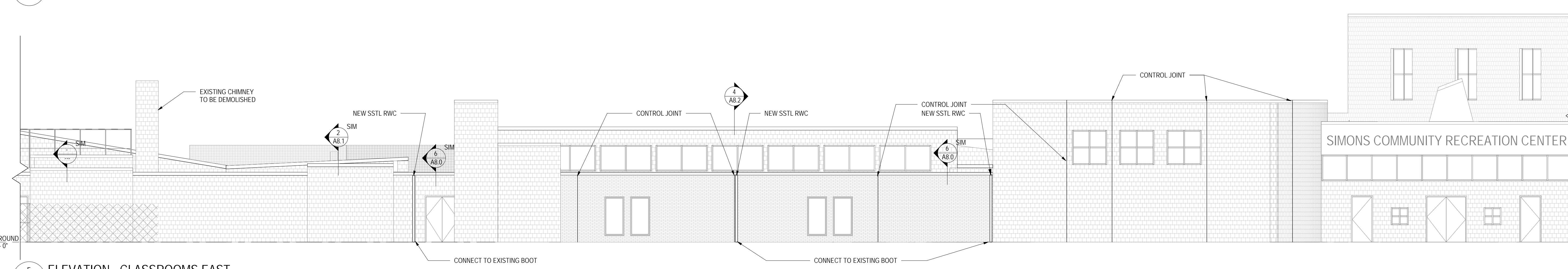
PROJECT TITLE
**SIMONS RECREATION CENTER
ROOF REPLACEMENT**

DRAWING TITLE	
CLASSROOMS ROOF PLAN	
PROJECT NO. 16-18-4960-01	DRAWING NO. A2.3
DATE 04/08/2020	SCALE AS NOTED
DRAWN BY Author	CHECKED BY Checker
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	

1 NEW WORK ROOF PLAN - CLASSROOMS
A2.3 1/8" = 1'-0"



GENERAL NOTE:
1 REMOVE AND REPLACE ALL EXG SEALANT AND BOND BREAKER FROM ALL CONTROL JOINTS, AND INSIDE MASONRY CORNERS. PROVIDE BACKER ROD, BOND BREAKER, PRIMER, AND SEALANT.



REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
EDWARD SCHMITZ

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CITY OF PHILADELPHIA
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
SIMONS RECREATION CENTER ROOF REPLACEMENT

DRAWING TITLE
EXTERIOR ELEVATIONS

PROJECT NO. 16-18-4960-01	DRAWING NO. A3.0
DATE 11/13/2020	
SCALE AS NOTED	
DRAWN BY MW	
CHECKED BY MS	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

