
Philadelphia Redevelopment Authority (PRA)

**MARTIN LUTHER KING JR. RECREATION CENTER
ROOF REPLACEMENT**

Addendum

Addendum No. 1

Dated: February 18, 2021

Bid Opening Date: February 25, 2021 (“Revised”)

NOTICE

It is the sole responsibility of the seller to ensure that it has received any and all amendments, and the Philadelphia Redevelopment Authority may in his/her sole discretion reject any quote for which all amendments have not been executed and returned.

PROPOSAL FOR:

Description: Rebuild – MLK Recreation Center Roof Replacement

Project No.: 16366E-02-02

IS AMENDED AS FOLLOWS:

- I.** The Philadelphia Redevelopment Authority (PRA) has extended the due date for the RFP. Applicants must submit proposals no later than **3:00 PM on February 25, 2021**; absolutely no proposals will be accepted after that time. Proposals will only be accepted online, via the electronic portal on PHDC's website: <http://www.phdcphila.org>.
- II.** Applicants are invited to a visit the project site on Wednesday, February 24, 2021 at 9:00 AM. Applicants must email Robert LaBrum at Robert.labrum@phdc.phila.gov if they plan on attending. All Applicants attending will need to fill out the covid screener: <https://www.phila.gov/employee-screener/#/>

III. DRAWING REVISIONS

1. Drawing A-001:
 - a. The following clarification applies to Assembly Type 1 at Roof Area 1A, 3C, & 3D: *“THE ROOFING ASSEMBLY AS DETAILED AND DESCRIBED IN ASSEMBLY TYPE 1 AT ROOF AREA 1A, 3C, & 3D GOVERNS OVER THE DETAILS WITHIN THE A-500 SERIES DRAWINGS. EXISTING LIGHTWEIGHT CONCRETE AT ROOF AREA 1A, 3C, & 3D IS TO BE REMOVED IN ITS ENTIRETY DOWN TO THE EXISTING STRUCTURAL DECK. REFER TO DRAWING A-104 FOR PROPOSED TAPERED LAYOUTS, TYP.”*
2. Drawing D-101:
 - a. Remove drawing D-101 from Attachment D – Project Drawings and replace with drawing D-101 that is included in this amendment.
3. Drawing A-101:
 - a. Remove drawing A-101 from Attachment D – Project Drawings and replace with drawing A-101 that is included in this amendment.

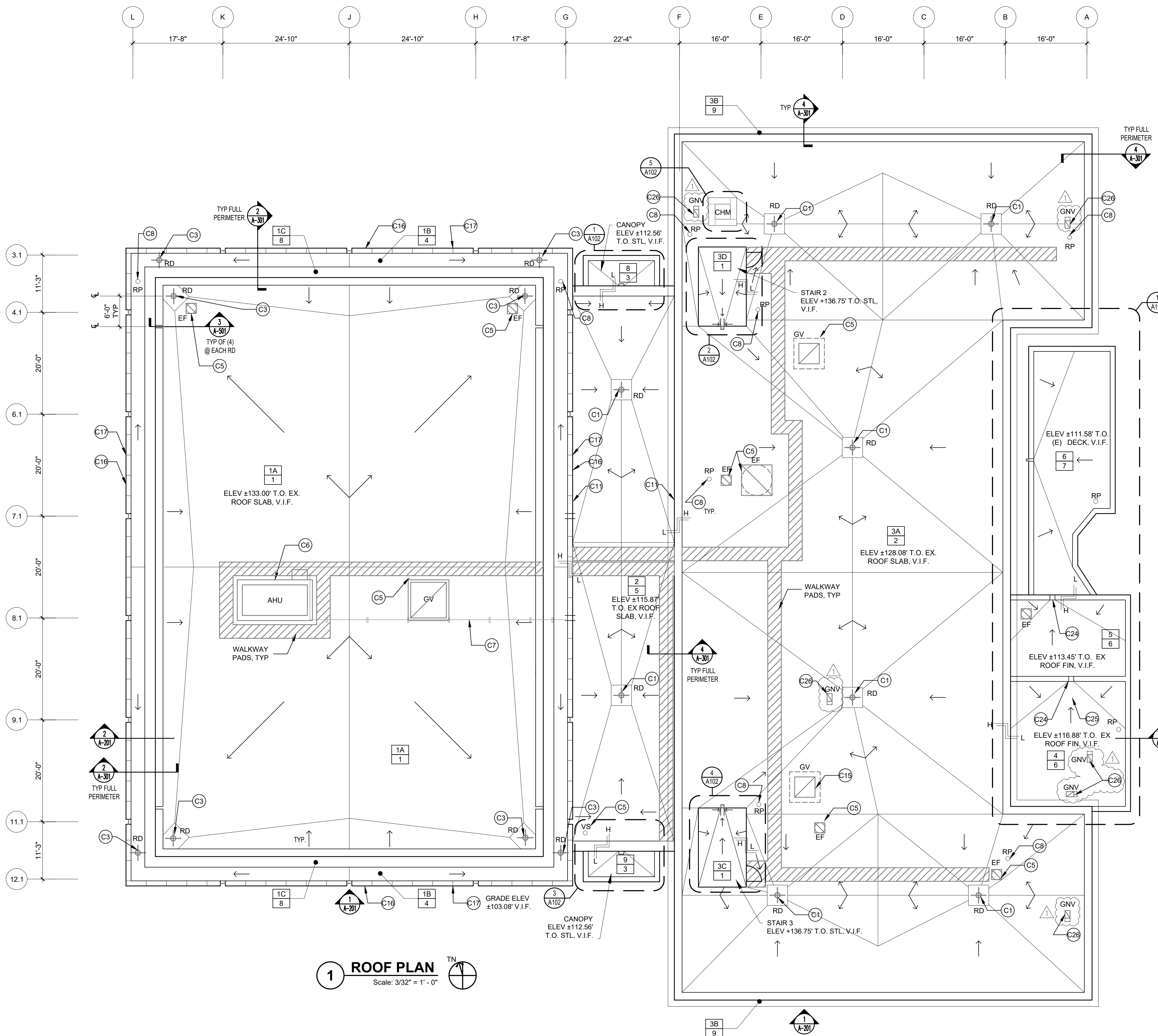
4. Drawing A-102:
 - a. Remove drawing A-102 from Attachment D – Project Drawings and replace with drawing A-102 that is included in this amendment.

5. Drawing A-500.2:
 - a. Remove drawing A-500.2 from Attachment D – Project Drawings and replace with drawing A-102 that is included in this amendment.

IV. ATTACHMENTS

1. Drawing D-101.
2. Drawing A-101.
3. Drawing A-102.
4. Drawing A-500.2.
5. CWA Virtual walk-thru presentation from meeting held on February 5, 2021 (14 pages).
6. Pricing Form (Section 004109) “Revised”.
7. Questions/Answers and Pre-Bid Virtual Attendance List.

***NOTE: SELLER MUST ACKNOWLEDGE RECEIPT OF AMENDMENTS**



1 ROOF PLAN
 Scale: 3/32" = 1' - 0"
 TN

KEY:

 ROOF AREA
 ASSEMBLY TYPE

- CONSTRUCTION GENERAL NOTES:**
- REFER TO ROOF LEGEND ON SHEET G-001 FOR IDENTIFICATION OF EXISTING AND NEW ROOF EQUIPMENT AND FOR REFERENCE KEY TO RELATED ROOFING DETAILS.
 - SEE A-001 FOR ROOF ASSEMBLY TYPES.
 - SEE D-101 FOR ROOF DEMO PLAN.
 - SEE A-104 FOR DRAINAGE, INSULATION LAYOUTS.
 - ALL NOTES REFER TO NEW WORK UNLESS DESIGNATED (E) EXISTING.
 - REFER TO DRAWING G-001 FOR EXISTING SURFACE PREPARATION NOTES.

- CONSTRUCTION KEY NOTES**
- REPLACE DRAIN DOME, CLAMP RING, EXTENSION ADAPTER, AND DRAIN BOLTS. CLEAN DRAIN BOWL. SEE DWG 1,2,3/A-500.1.
 - REPLACE ROOF DRAIN ASSEMBLY. PROVIDE NEW SCUPPER, CONDUCTOR HEAD, DOWNSPOUT WITH CONCRETE SPLASH BLOCK. SEE DTL 2/A-505.
 - REPLACE COMPLETE ROOF DRAIN ASSEMBLY ABOVE AND BELOW DECK. PROVIDE ALL NEW DRAIN PARTS BETWEEN EXISTING LEADER PIPE AND NEW DRAIN DOME. SEE DWG 2,3/A-500.1.
 - REPLACE ROOF DRAIN ASSEMBLY. PROVIDE NEW SCUPPER, CONDUCTOR HEAD, LEADER TO REMAIN. SEE DTL 8/A-504.
 - RAISE EXHAUST FAN/ MECH UNIT AND EXTEND UNIT CURB HEIGHT. PROVIDE NEW FLASHINGS. SEE DWG 3,5/A-500.2
 - PROVIDE NEW CURB FLASHINGS AT EXISTING AHU/ MECH UNIT. SEE DWG 4/A-500.2.
 - RAISE RIGID ELECTRICAL CONDUIT TO ACCOMMODATE ROOF INSTALLATION. COORDINATE TEMPORARY REMOVAL/REINSTALLATION AND DISRUPTIONS TO TENANT WITH PPR. PROVIDE NON-PENETRATING CONDUIT SUPPORTS WITH WALKWAY PAD PROTECTION BELOW.
 - PROVIDE NEW FLASHINGS AT ROOF PENETRATION (RP)/ VENT STACK (VS) PENETRATIONS, TYP. SEE DETAIL 1/A500.2
 - PROVIDE NEWS FLASHINGS AT EXHAUST FAN/ GOOSE VENT PENETRATION, TYP. SEE DETAIL 3/A500.2
 - PROVIDE PITCH POCKET. SEE DETAIL 2/A500.2
 - PROVIDE NEW RAISED THRU WALL FLASHING @ RISING WALL. SEE DTL 2/A-506.
 - PROVIDE NEW FLASHINGS @ RISING WALL. SEE DTL 2/A-504 SIM.
 - RAISE DOOR SILL & PROVIDE NEW FLASHINGS. SEE DETAIL @ A505
 - NOT USED
 - REPLACE DAMAGED GRAVITY VENT WITH NEW GRAVITY VENT, EQUIPMENT CURB & ASSOCIATED FLASHINGS.
 - CLEAN LIMESTONE COPING, TYP
 - REPLACE ALL EXISTING LIMESTONE COPING CAP LEAD JOINT COVERS WITH NEW TO MATCH EXISTING, TYP.
 - COVER EXISTING LIMESTONE COPING WITH NEW MTL COPING CAP ASSEMBLY, TYP
 - NOT USED
 - PROVIDE NEW EDGE MTL FASCIA. SEE DWG 3/A-505.
 - RAKE OUT & REPOINT 100% MASONRY WALL. TYP ALL SIDES. PROVIDE SS HELICAL WALL TIES AND CRACK STITCHING BARS AT JOINTS WITH CRACKS AND SPALLED MORTAR PRIOR TO REPOINTING. (INCLUDE @ 10% OF WALL SURFACES.)
 - REPLACE ALL EXISTING LIMESTONE COPING CAP LEAD JOINT COVERS WITH NEW TO MATCH EXISTING, TYP.
 - PROVIDE NEW DOOR & DOOR HARDWARE. SEE DWG A505.
 - PROVIDE THRU WALL SCUPPER.
 - PROVIDE FILLPATCH OF EXISTING DECK @ ABANDONED DRAIN.
 - RAISE EXISTING GOOSE NECK VENT DUCTWORK. PROVIDE DUCT EXTENSION WITH NEW CURB. SEE DETAIL 6/A-500.2.
 - PROVIDE NEW STAINLESS STEEL CHIMNEY CAP ASSEMBLY.

APPROVED:

ARCHITECT/ENGINEER OF RECORD DATE

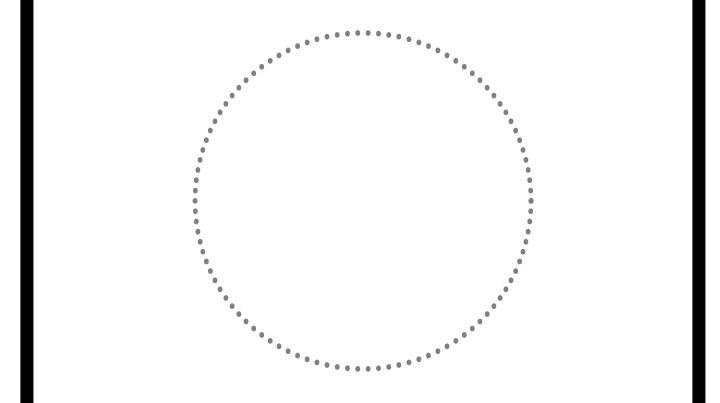
APPROVED FOR BID:

REBUILD PROJECT MANAGER DATE

Designer:



Seal:



Key Plan:

1	AMENDMENT NO. 1	02/11/21
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REVISION	DESCRIPTION	DATE
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Project:
MLK RECREATION CENTER ROOF REPLACEMENT

Sheet Title:
ROOF PLAN

Submission:
FINAL PRICING SET

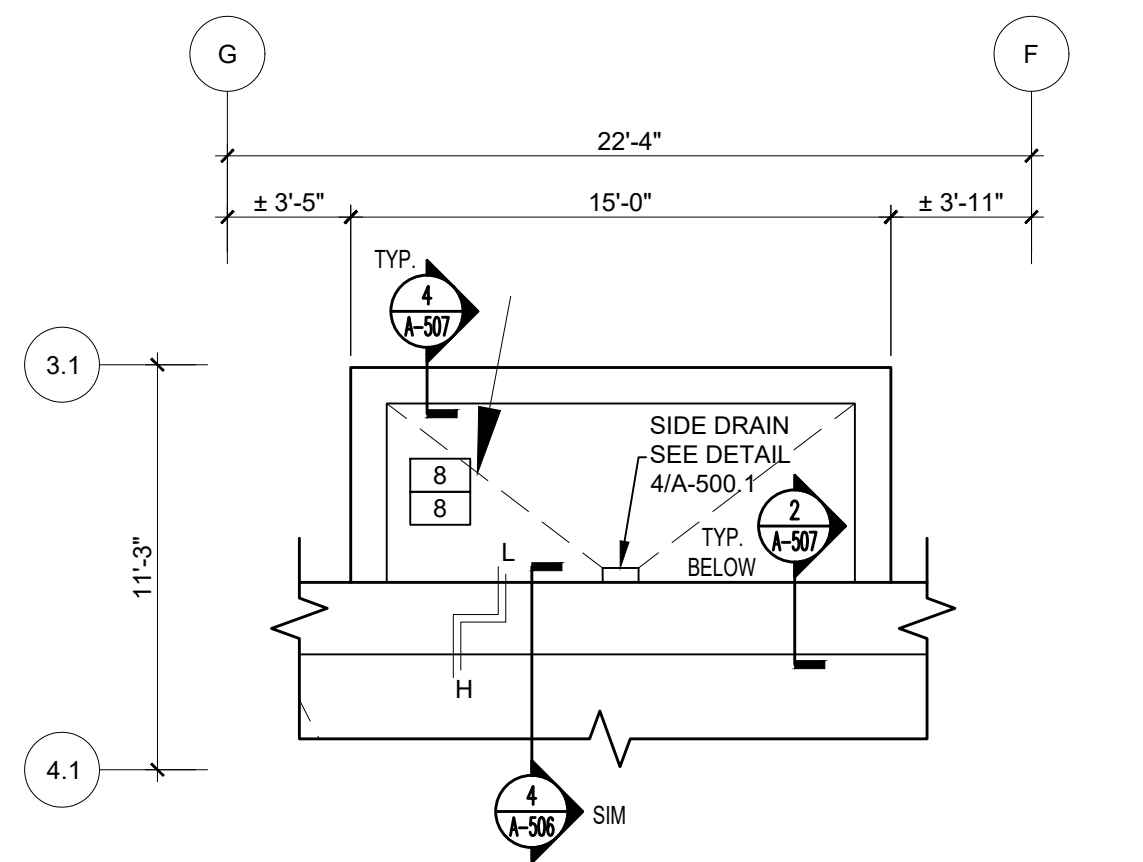
Engineering Manager:
TARA RASHEED

Consultant:
CONVERSE WINKLER ARCHITECTURE

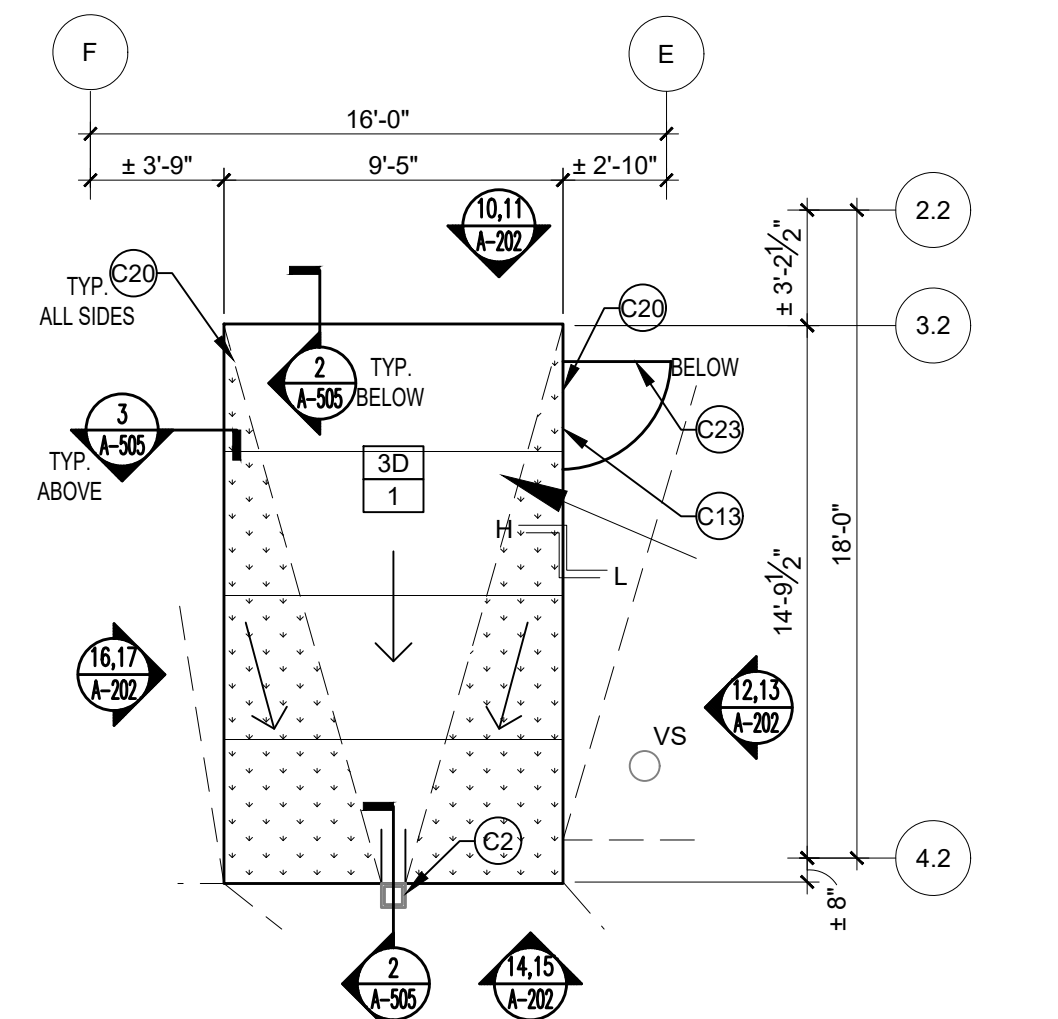
Task No.: Drawn By: **DG**

Date: **SEPT. 4, 2020** Checked By: **AB**

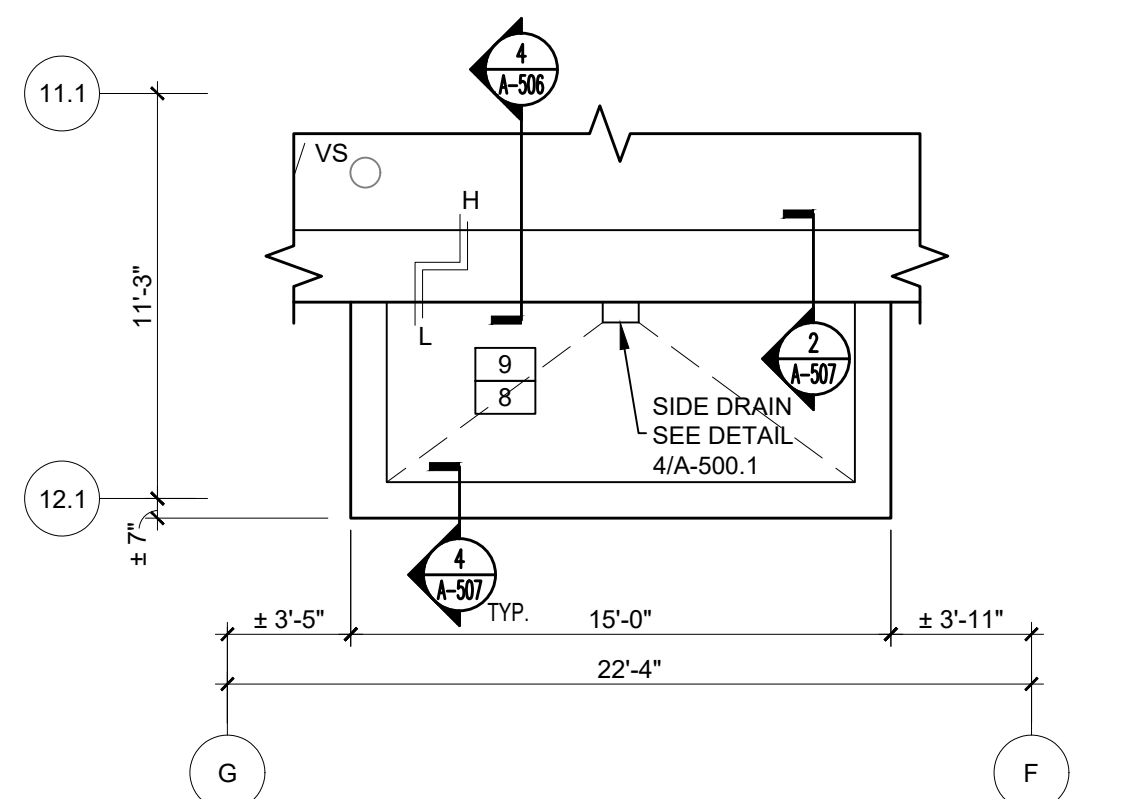
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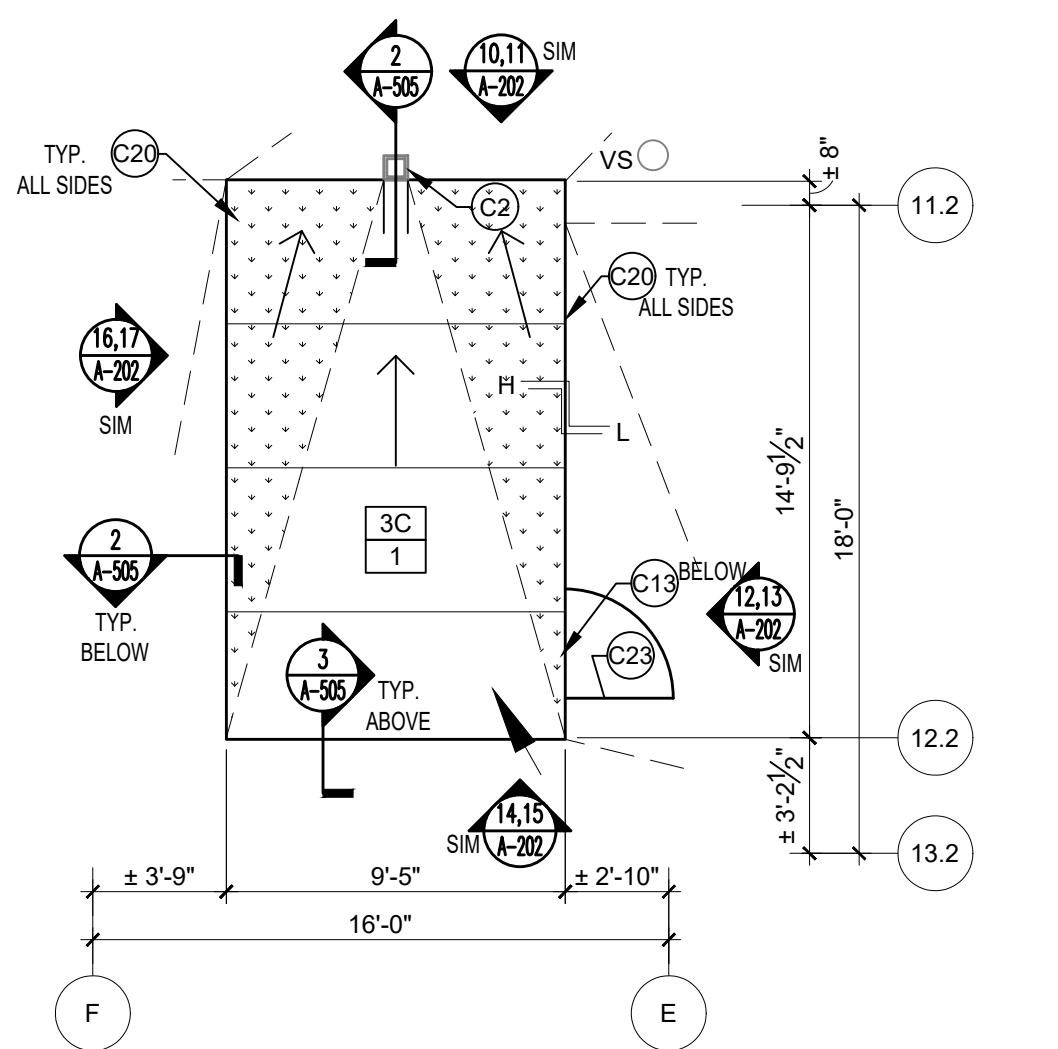
1 ROOF PLAN - NORTH CANOPY ^{TN}
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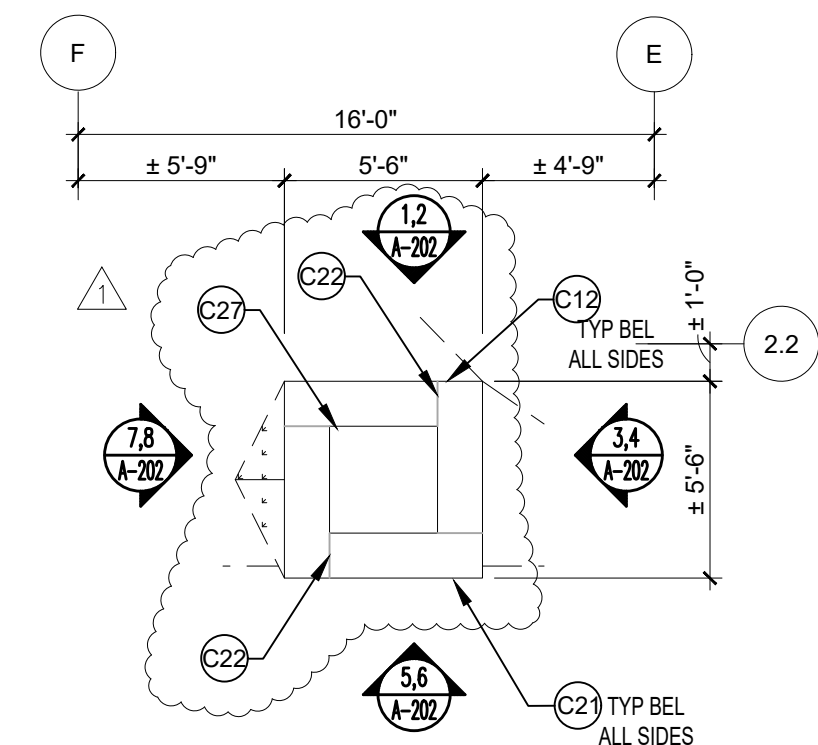
2 ROOF PLAN - STAIR 2 OVERRUN ^{TN}
Scale: 3/16" = 1' - 0"



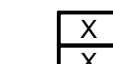

3 ROOF PLAN - SOUTH CANOPY ^{TN}
Scale: 3/16" = 1' - 0"



4 ROOF PLAN - STAIR 3 OVERRUN ^{TN}
Scale: 3/16" = 1' - 0"



5 ROOF PLAN - CHIMNEY ^{TN}
Scale: 3/16" = 1' - 0"

KEY:
 ROOF AREA
 ASSEMBLY TYPE

CONSTRUCTION GENERAL NOTES:

- REFER TO ROOF LEGEND ON SHEET G-001 FOR IDENTIFICATION OF EXISTING AND NEW ROOF EQUIPMENT AND FOR REFERENCE KEY TO RELATED ROOFING DETAILS.
- SEE A-001 FOR ROOF ASSEMBLY TYPES.
- SEE D-101 FOR ROOF DEMO PLAN.
- SEE A-104 FOR DRAINAGE, INSULATION LAYOUTS.
- ALL NOTES REFER TO NEW WORK UNLESS DESIGNATED (E) EXISTING.
- REFER TO DRAWING G-001 FOR EXISTING SURFACE PREPARATION NOTES.

CONSTRUCTION KEY NOTES

- (C1) REPLACE DRAIN DOME, CLAMP RING, EXTENSION ADAPTER, AND DRAIN BOLTS. CLEAN DRAIN BOWL. SEE DWG 1,2,3/A-500.1.
- (C2) REPLACE ROOF DRAIN ASSEMBLY. PROVIDE NEW SCUPPER, CONDUCTOR HEAD, DOWNSPOUT WITH CONCRETE SPLASH BLOCK. SEE DTL 2/A-505.
- (C3) REPLACE COMPLETE ROOF DRAIN ASSEMBLY ABOVE AND BELOW DECK. PROVIDE ALL NEW DRAIN PARTS BETWEEN EXISTING LEADER PIPE AND NEW DRAIN DOME. SEE DWG 2,3/A-500.1.
- (C4) REPLACE ROOF DRAIN ASSEMBLY. PROVIDE NEW SCUPPER, CONDUCTOR HEAD. LEADER TO REMAIN. SEE DTL 8/A-504.
- (C5) RAISE EXHAUST FAN/ MECH UNIT AND EXTEND UNIT CURB HEIGHT. PROVIDE NEW FLASHINGS. SEE DWG 3,5/A-500.2
- (C6) PROVIDE NEW CURB FLASHINGS AT EXISTING AHU/ MECH UNIT. SEE DWG 4/A-500.2.
- (C7) RAISE RIGID ELECTRICAL CONDUIT TO ACCOMMODATE ROOF INSTALLATION. COORDINATE TEMPORARY REMOVAL/REINSTALLATION AND DISRUPTIONS TO TENANT WITH PPR. PROVIDE NON-PENETRATING CONDUIT SUPPORTS WITH WALKWAY PAD PROTECTION BELOW.
- (C8) PROVIDE NEW FLASHINGS AT ROOF PENETRATION (RP) VENT STACK (VS) PENETRATIONS, TYP. SEE DETAIL 1/A500.2
- (C9) PROVIDE NEWS FLASHINGS AT EXHAUST FAN/ GOOSE VENT PENETRATION, TYP. SEE DETAIL 3/A500.2
- (C10) PROVIDE PITCH POCKET. SEE DETAIL 2/A500.2
- (C11) PROVIDE NEW RAISED THRU WALL FLASHING @ RISING WALL. SEE DTL 2/A-506.
- (C12) PROVIDE NEW FLASHINGS @ RISING WALL. SEE DTL 2/A-504 SIM.
- (C13) RAISE DOOR SILL & PROVIDE NEW FLASHINGS. SEE DETAIL @ A505
- (C14) NOT USED
- (C15) REPLACE DAMAGED GRAVITY VENT WITH NEW GRAVITY VENT, EQUIPMENT CURB & ASSOCIATED FLASHINGS.
- (C16) CLEAN LIMESTONE COPING, TYP
- (C17) REPLACE ALL EXISTING LIMESTONE COPING CAP LEAD JOINT COVERS WITH NEW TO MATCH EXISTING, TYP.
- (C18) COVER EXISTING LIMESTONE COPING WITH NEW MTL COPING CAP ASSEMBLY, TYP
- (C19) NOT USED
- (C20) PROVIDE NEW EDGE MTL FASCIA. SEE DWG 3/A-505.
- (C21) RAKE OUT & REPOINT 100% MASONRY WALL, TYP ALL SIDES. PROVIDE SS HELICAL WALL TIES AND CRACK STITCHING BARS AT JOINTS WITH CRACKS AND SPALLED MORTAR PRIOR TO REPOINTING. (INCLUDE @ 10% OF WALL SURFACES.)
- (C22) REPLACE ALL EXISTING LIMESTONE COPING CAP LEAD JOINT COVERS WITH NEW TO MATCH EXISTING, TYP.
- (C23) PROVIDE NEW DOOR & DOOR HARDWARE. SEE DWG A505.
- (C24) PROVIDE THRU WALL SCUPPER.
- (C25) PROVIDE FILLPATCH OF EXISTING DECK @ ABANDONED DRAIN.
- (C26) RAISE EXISTING GOOSE NECK VENT DUCTWORK. PROVIDE DUCT EXTENSION WITH NEW CURB. SEE DETAIL 6/A-500.2.
- (C27) PROVIDE NEW STAINLESS STEEL CHIMNEY CAP ASSEMBLY.

APPROVED:

ARCHITECT/ENGINEER OF RECORD DATE

APPROVED FOR BID:

REBUILD PROJECT MANAGER DATE

Designer:



Seal:

Key Plan:

REVISION	DESCRIPTION	DATE
1	AMENDMENT NO. 1	02/11/21

Project:

**MLK RECREATION CENTER
ROOF REPLACEMENT**

Sheet Title:

**ENLARGED
ROOF PLANS**

Submission: **FINAL PRICING SET**

Engineering Manager: **TARA RASHEED**

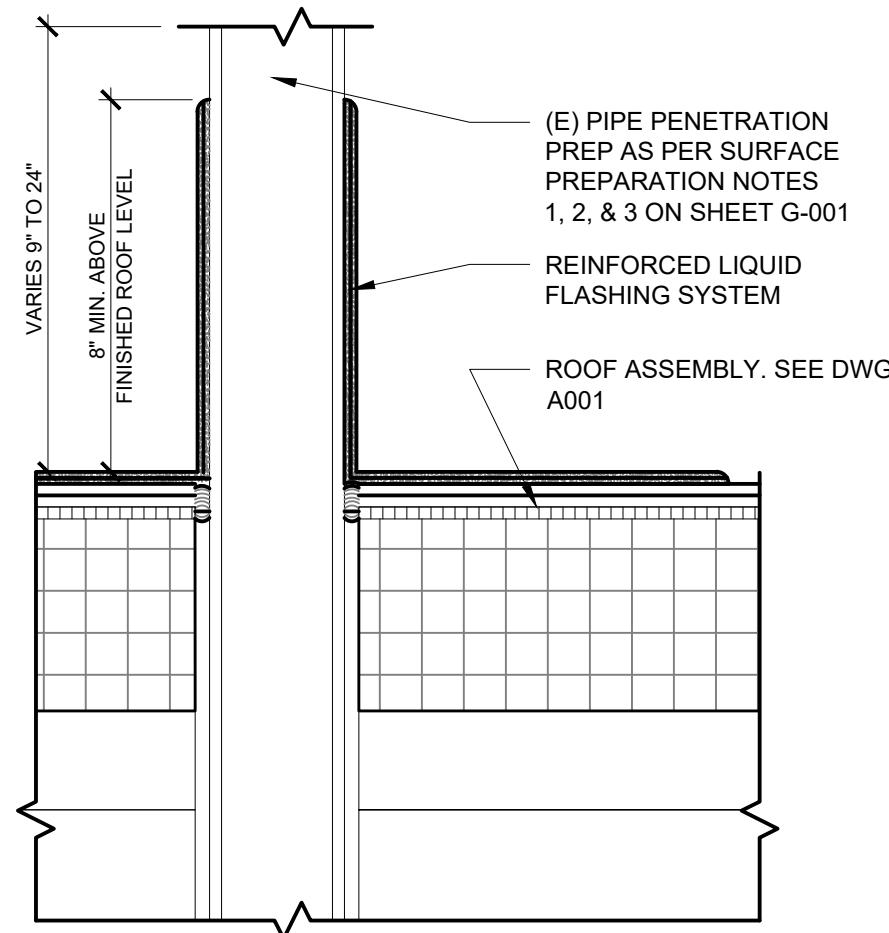
Consultant: **CONVERSE WINKLER ARCHITECTURE**

Task No.: _____ Drawn By: **DG**

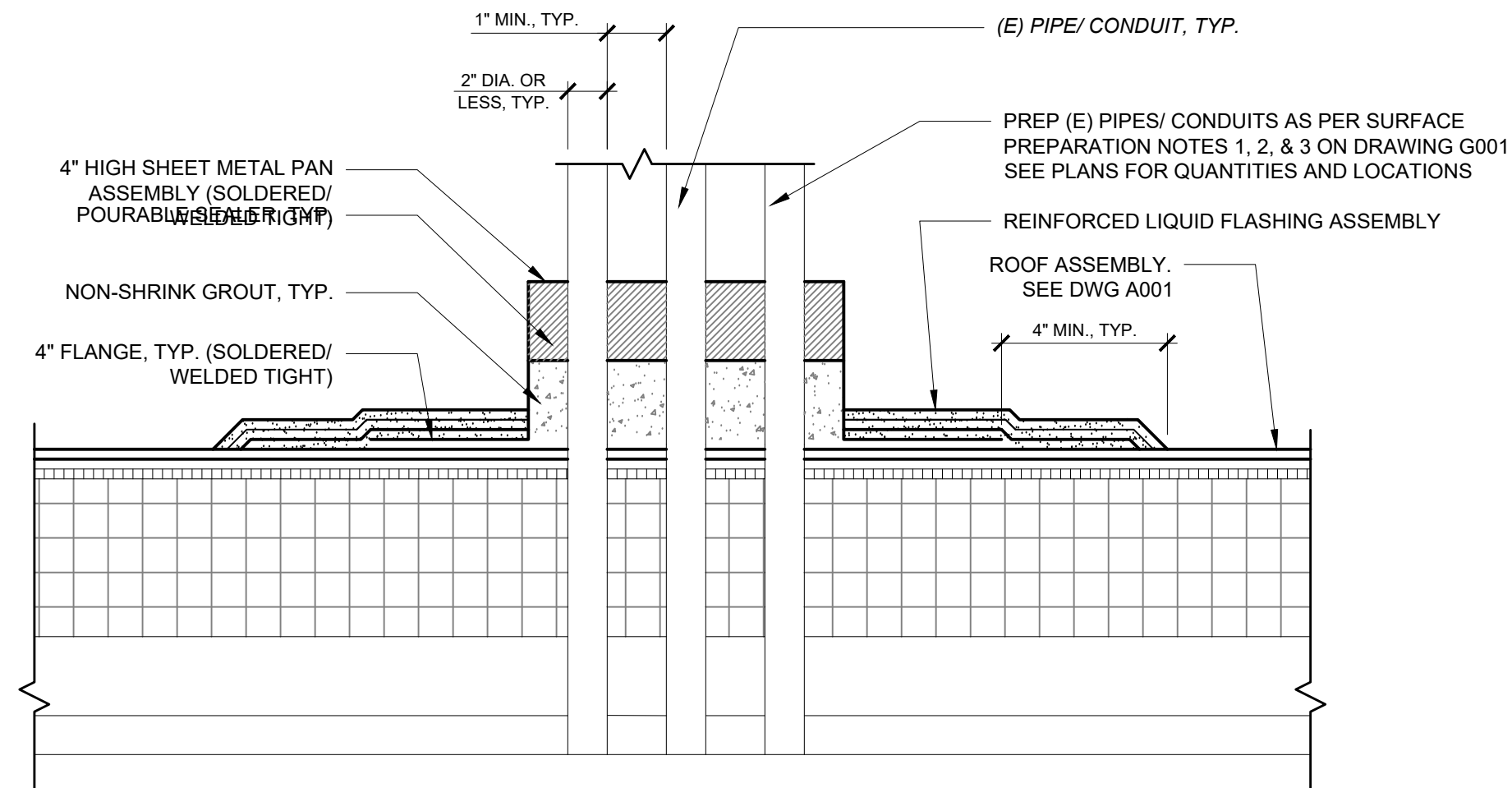
Date: **SEPT. 4, 2020** Checked By: **AB**

Work No.: **16366E-02-02
CW-1909.02** Drawing No.: **A-102**

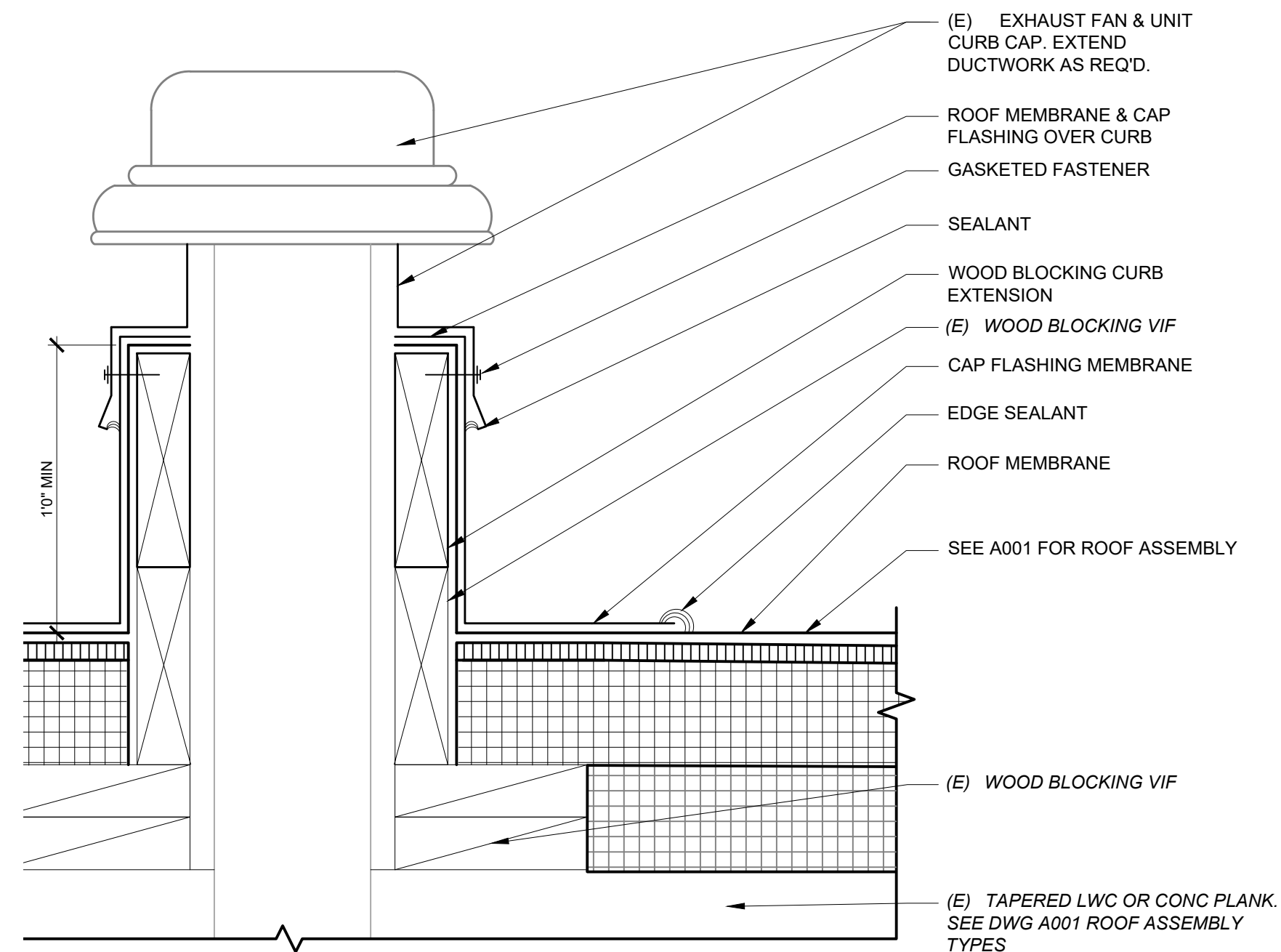
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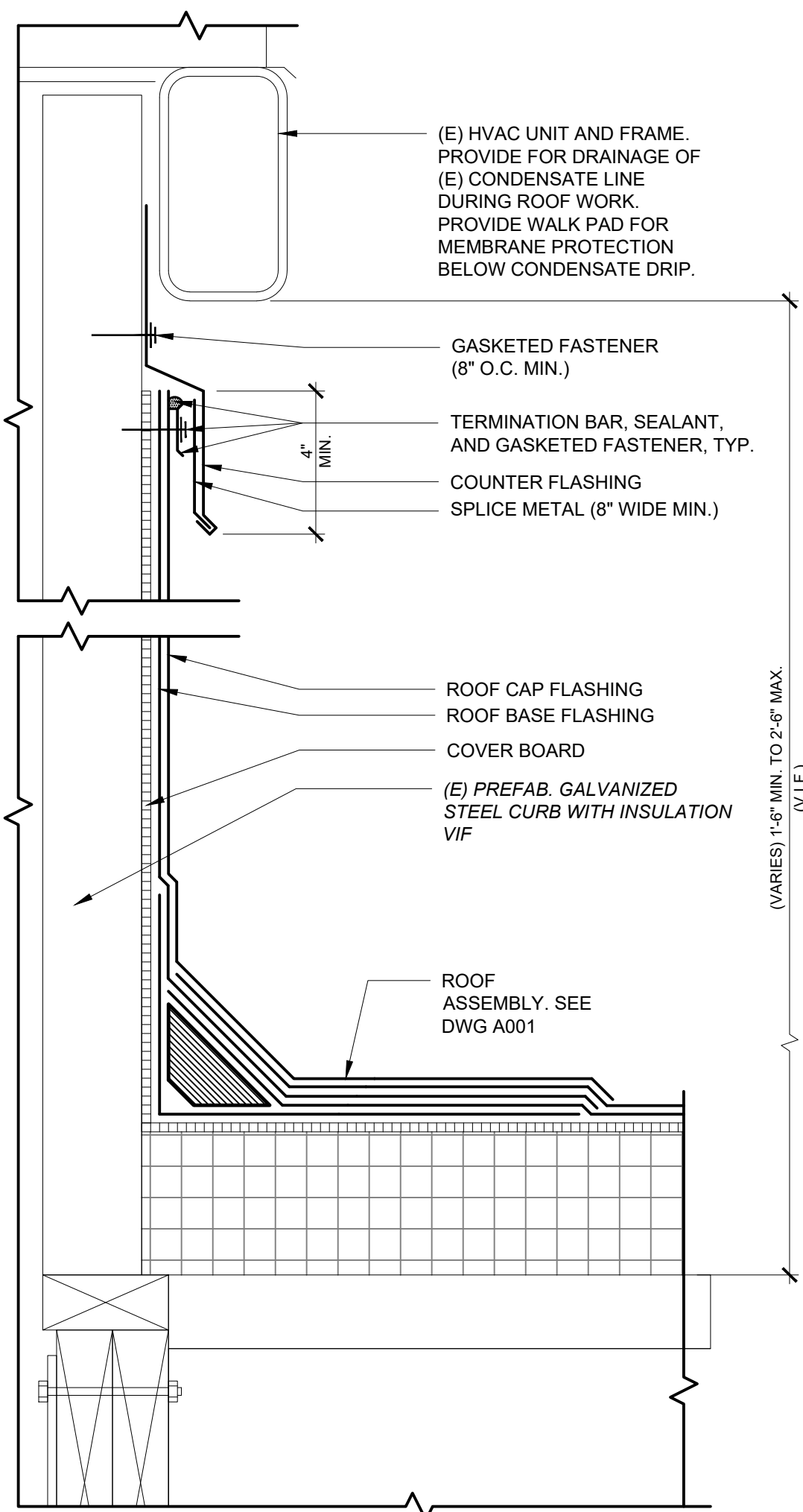
1 FLASHING @ ROOF PENETRATION
Scale: 3" = 1' - 0"



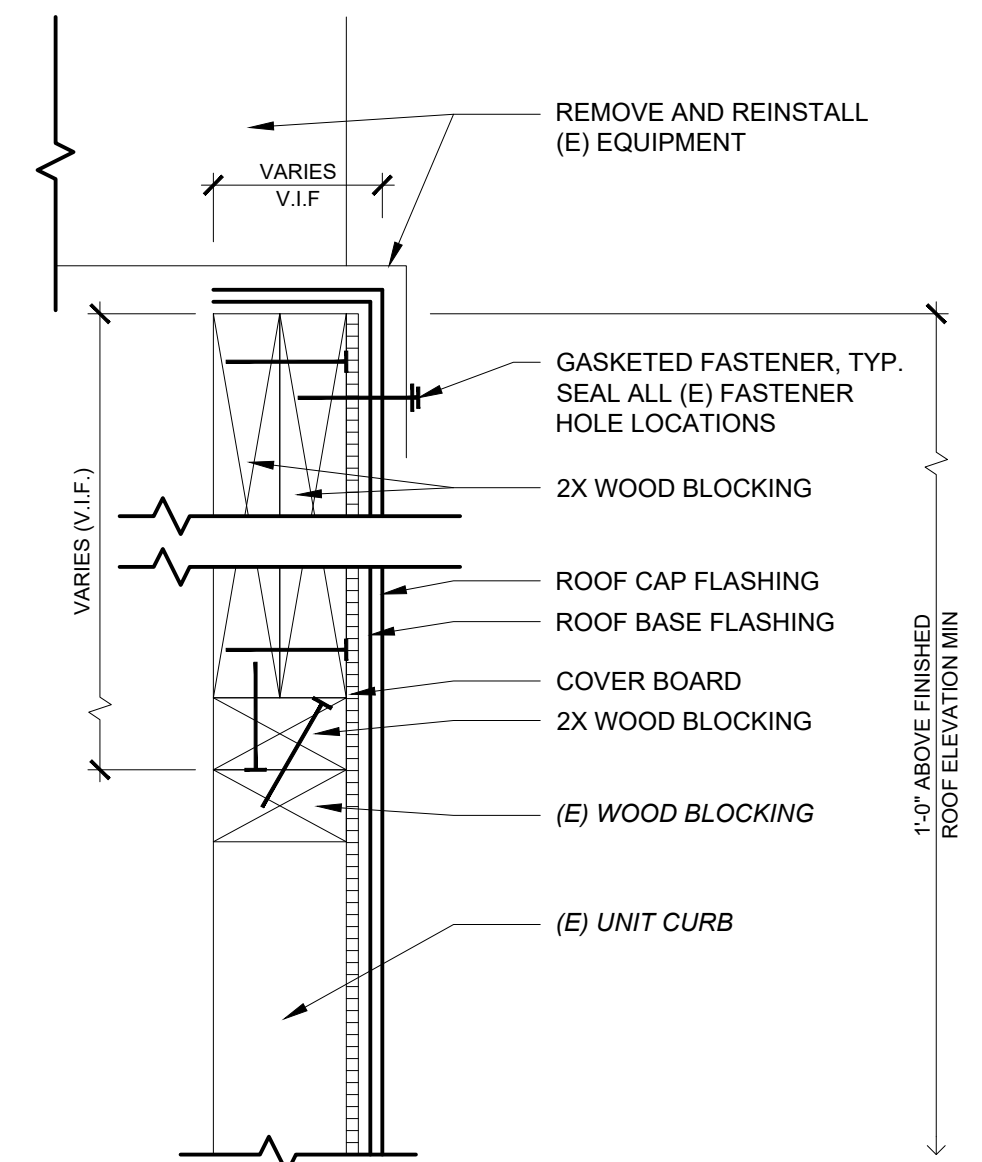
2 PITCH POCKET DETAIL
Scale: 3" = 1' - 0"



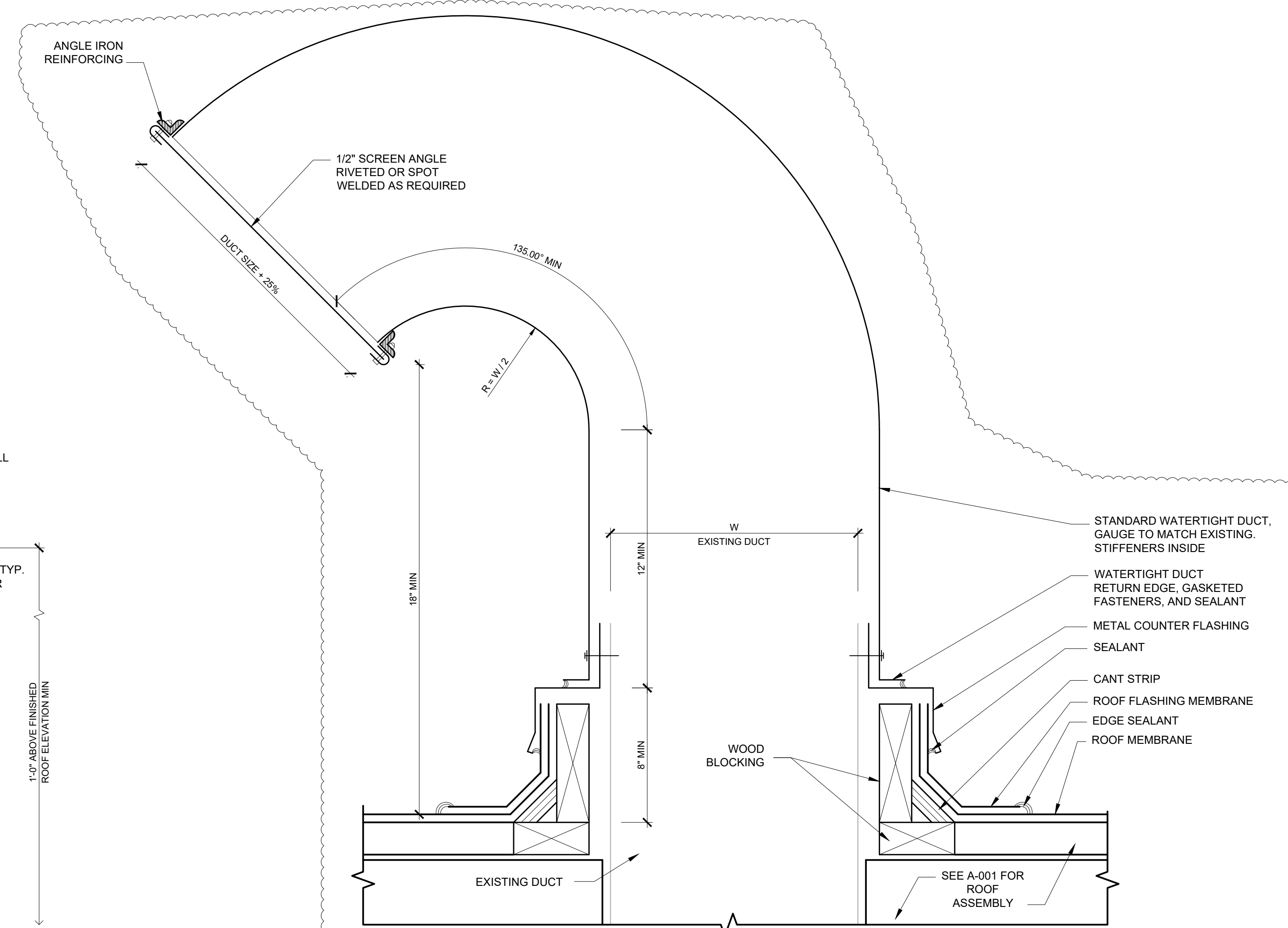
3 EXHAUST FAN/ GOOSENECK VENT CURB EXTENSION
Scale: 3" = 1' - 0"



4 ROOF DTL @ NON REMOVABLE UNIT
Scale: 3" = 1' - 0"

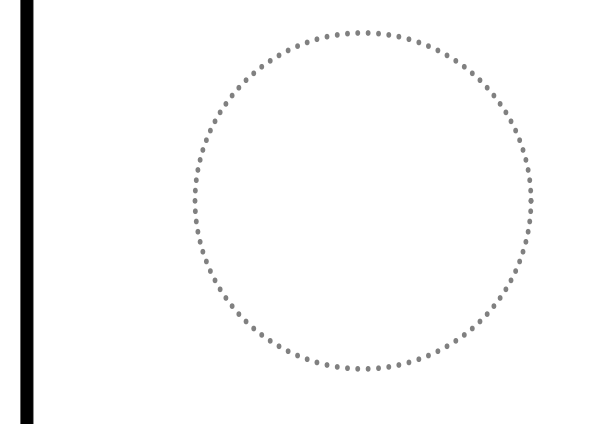


5 CURB EXTENSION @ REMOVABLE UNIT
Scale: 3" = 1' - 0"



6 GOOSENECK VENT DETAIL
Scale: 3" = 1' - 0"

APPROVED: _____
ARCHITECT/ENGINEER OF RECORD DATE _____
APPROVED FOR BID: _____
REBUILD PROJECT MANAGER DATE _____

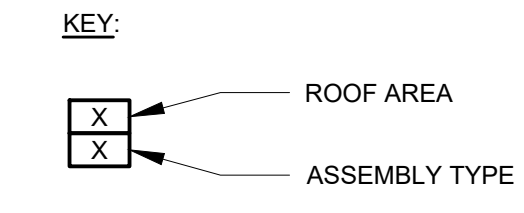
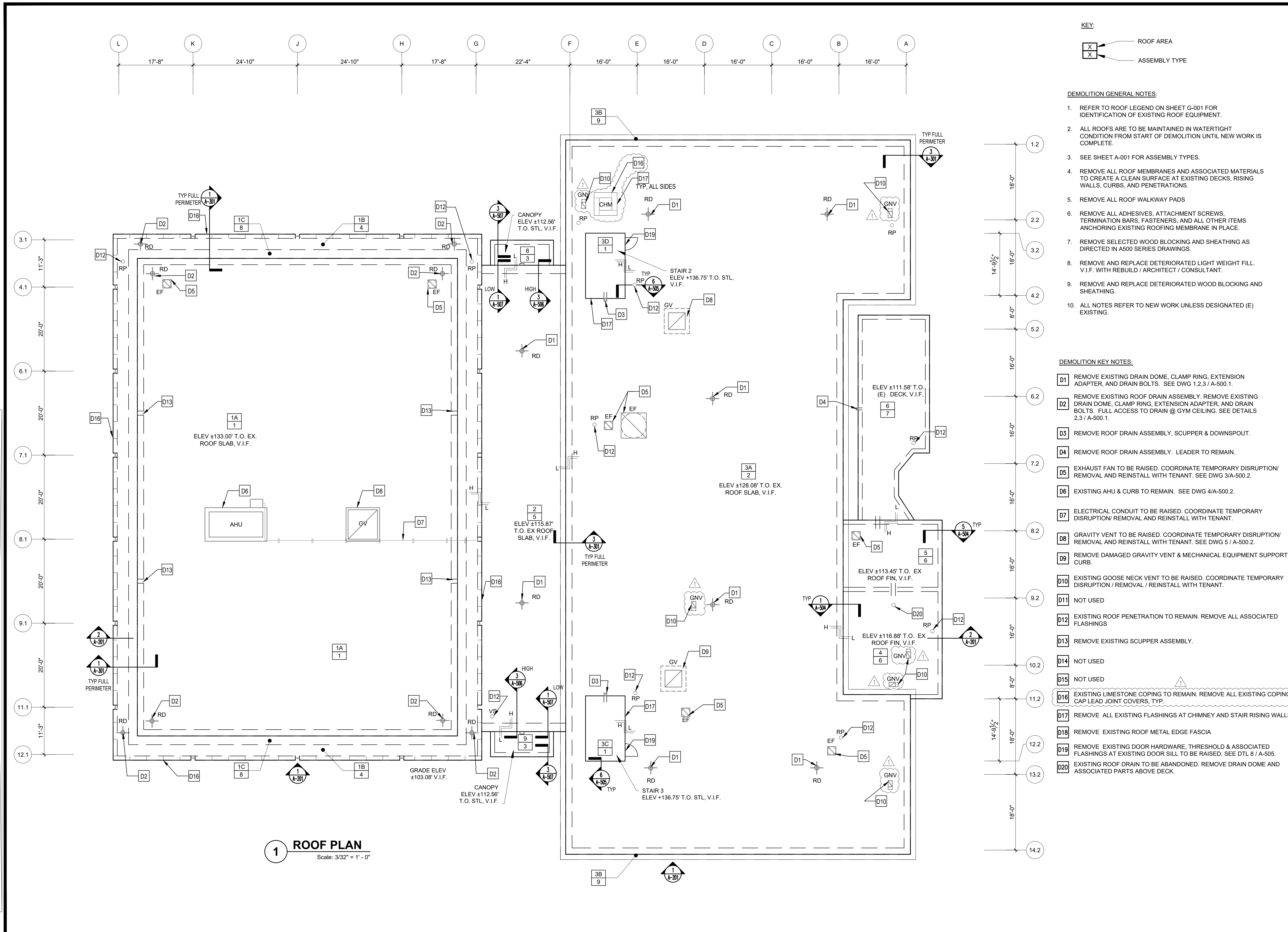


REVISION	DESCRIPTION	DATE
1	AMENDMENT NO. 1	02/11/21

Project: **MLK RECREATION CENTER ROOF REPLACEMENT**

Sheet Title: **TYPICAL DETAILS**

Submission: **FINAL PRICING SET**
Engineering Manager: **TARA RASHEED**
Consultant: **CONVERSE WINKLER ARCHITECTURE**
Task No.: _____ Drawn By: **TN**
Date: **SEPT. 4, 2020** Checked By: **AB**
Work No.: **16366E-02-02** Drawing No.: **A-500.2**
CW-1909.02



- DEMOLITION GENERAL NOTES:**
- REFER TO ROOF LEGEND ON SHEET G-001 FOR IDENTIFICATION OF EXISTING ROOF EQUIPMENT.
 - ALL ROOFS ARE TO BE MAINTAINED IN WATERTIGHT CONDITION FROM START OF DEMOLITION UNTIL NEW WORK IS COMPLETE.
 - SEE SHEET A-001 FOR ASSEMBLY TYPES.
 - REMOVE ALL ROOF MEMBRANES AND ASSOCIATED MATERIALS TO CREATE A CLEAN SURFACE AT EXISTING DECKS, RISING WALLS, CURBS, AND PENETRATIONS.
 - REMOVE ALL ROOF WALKWAY PADS
 - REMOVE ALL ADHESIVES, ATTACHMENT SCREWS, TERMINATION BARS, FASTENERS, AND ALL OTHER ITEMS ANCHORING EXISTING ROOFING MEMBRANE IN PLACE.
 - REMOVE SELECTED WOOD BLOCKING AND SHEATHING AS DIRECTED IN A500 SERIES DRAWINGS.
 - REMOVE AND REPLACE DETERIORATED LIGHT WEIGHT FILL V.I.F. WITH REBUILD / ARCHITECT / CONSULTANT.
 - REMOVE AND REPLACE DETERIORATED WOOD BLOCKING AND SHEATHING.
 - ALL NOTES REFER TO NEW WORK UNLESS DESIGNATED (E) EXISTING.

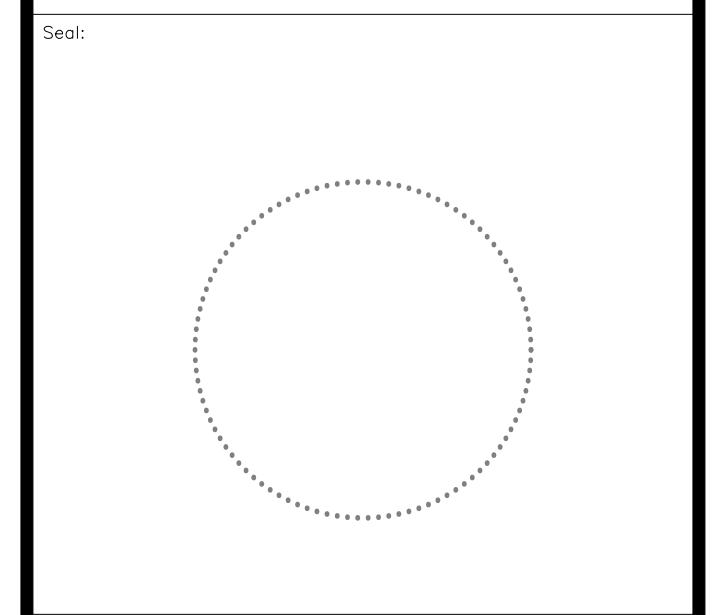
- DEMOLITION KEY NOTES:**
- D1** REMOVE EXISTING DRAIN DOME, CLAMP RING, EXTENSION ADAPTER, AND DRAIN BOLTS. SEE DWG 1,2,3 / A-500.1.
 - D2** REMOVE EXISTING ROOF DRAIN ASSEMBLY. REMOVE EXISTING DRAIN DOME, CLAMP RING, EXTENSION ADAPTER, AND DRAIN BOLTS. FULL ACCESS TO DRAIN @ GYM CEILING. SEE DETAILS 2,3 / A-500.1.
 - D3** REMOVE ROOF DRAIN ASSEMBLY, SCUPPER & DOWNSPOUT.
 - D4** REMOVE ROOF DRAIN ASSEMBLY. LEADER TO REMAIN.
 - D5** EXHAUST FAN TO BE RAISED. COORDINATE TEMPORARY DISRUPTION/ REMOVAL AND REINSTALL WITH TENANT. SEE DWG 3/A-500.2.
 - D6** EXISTING AHU & CURB TO REMAIN. SEE DWG 4/A-500.2.
 - D7** ELECTRICAL CONDUIT TO BE RAISED. COORDINATE TEMPORARY DISRUPTION/ REMOVAL AND REINSTALL WITH TENANT.
 - D8** GRAVITY VENT TO BE RAISED. COORDINATE TEMPORARY DISRUPTION/ REMOVAL AND REINSTALL WITH TENANT. SEE DWG 5 / A-500.2.
 - D9** REMOVE DAMAGED GRAVITY VENT & MECHANICAL EQUIPMENT SUPPORT CURB.
 - D10** EXISTING GOOSE NECK VENT TO BE RAISED. COORDINATE TEMPORARY DISRUPTION / REMOVAL / REINSTALL WITH TENANT.
 - D11** NOT USED
 - D12** EXISTING ROOF PENETRATION TO REMAIN. REMOVE ALL ASSOCIATED FLASHINGS
 - D13** REMOVE EXISTING SCUPPER ASSEMBLY.
 - D14** NOT USED
 - D15** NOT USED
 - D16** EXISTING LIMESTONE COPING TO REMAIN. REMOVE ALL EXISTING COPING CAP LEAD JOINT COVERS, TYP.
 - D17** REMOVE ALL EXISTING FLASHINGS AT CHIMNEY AND STAIR RISING WALLS.
 - D18** REMOVE EXISTING ROOF METAL EDGE FASCIA
 - D19** REMOVE EXISTING DOOR HARDWARE, THRESHOLD & ASSOCIATED FLASHINGS AT EXISTING DOOR SILL TO BE RAISED. SEE DTL 8 / A-505.
 - D20** EXISTING ROOF DRAIN TO BE ABANDONED. REMOVE DRAIN DOME AND ASSOCIATED PARTS ABOVE DECK.

APPROVED: _____

ARCHITECT/ENGINEER OF RECORD _____ DATE _____

APPROVED FOR BID: _____

REBUILD PROJECT MANAGER _____ DATE _____



Key Plan:

REVISION	DESCRIPTION	DATE
1	AMENDMENT NO. 1	02/11/21

Project: **MLK RECREATION CENTER ROOF REPLACEMENT**

Sheet Title: **ROOF PLAN DEMOLITION**

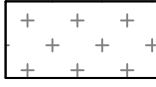
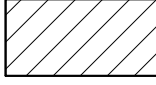
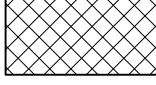

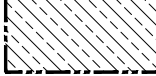
Submission:	FINAL PRICING SET
Engineering Manager:	TARA RASHEED
Consultant:	CONVERSE WINKLER ARCHITECTURE
Task No.:	Drawn By: TN
Date: SEPT. 4, 2020	Checked By: AB
Work No.: 16366E-02-02 CW-1909.02	Drawing No.: D-101

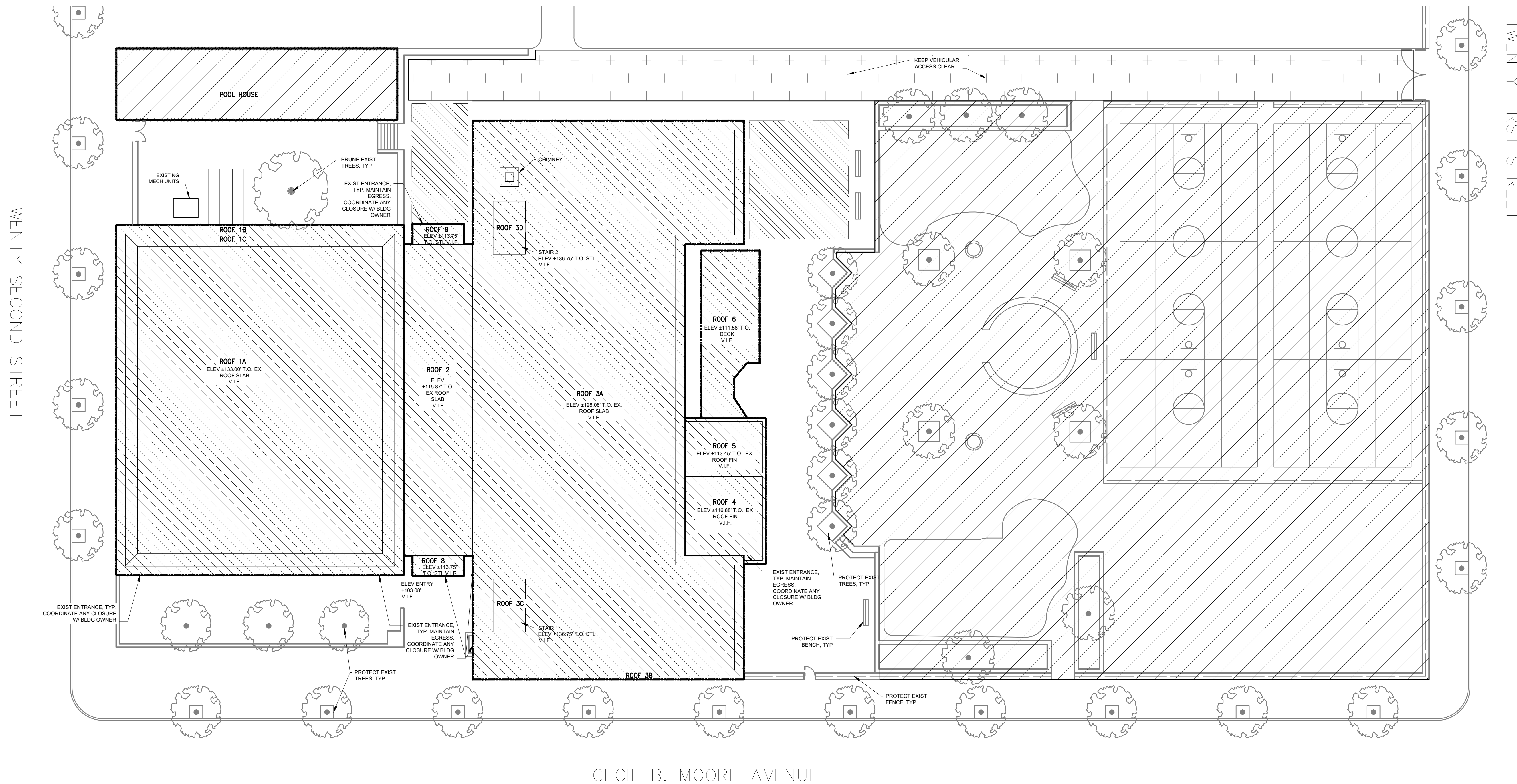
STAGING/PHASING GENERAL NOTES:

1. THE CONTRACTOR SHALL STAGE ALL CONSTRUCTION AS SHOWN ON THE STAGING LAYOUT DRAWING, AND IN COORDINATION WITH REBUILD/THE DEPT OF PARKS & RECREATION (D.P.R.) FINAL STAGING LOCATION AREAS AND QUANTITIES ARE AT THE DISCRETION OF REBUILD/D.P.R. SPECIFIC STAGING TASKS REQUIRING APPROVAL BY REBUILD / PPR INCLUDE THE FOLLOWING.

- A. VEHICULAR ACCESS ROUTES AND HOURS OF OPERATION.
- B. VEHICULAR STORAGE/PARKING AREAS.
- C. WASTE RECEPTACLE LOCATIONS AND DELIVERY/REMOVAL SCHEDULES.
- D. MATERIAL STORAGE AREAS ON ROOFS.
- E. OFF-SITE MATERIAL & EQUIPMENT STORAGE.
- F. TEMPORARY PROTECTION OF EXISTING ROOFS AGAINST WEAR.
- G. TEMPORARY STRUCTURES, INCLUDING SCAFFOLDING TO PROVIDE ROOF ACCESS.
- H. COORDINATION WITH REBUILD / PPR & TENANTS REGARDING ROOFTOP SERVICES, EXHAUSTS, LIGHTS, ETC.
- I. CRANE PLACEMENT, LOADING, OPERATING CRITERIA AND OPERATING HOURS.
- J. FIRE PROTECTION REQUIREMENTS.
- K. MAINTENANCE OF SECURITY.
- L. EMERGENCY EXIT PROVISIONS.
- M. OVERALL OPERATIONAL SCHEDULE.

PLAN LEGEND

-  NO PARKING FOR CONTRACTOR VEHICLES
-  AREAS NOT IN CONTRACT
-  TEMPORARY PROTECTION (PROTECT AREAS AT GRADE)
-  STAGING/LAYDOWN AREA 1 AT GRADE LEVEL -
-  AREA OF WORK



Z:\CWA Projects\CW-1909 Rebuild Philadelphia On-Call\1909.02 MLK Recreation Center Roof\04 drawings\AutoCad\G003.dwg 09/04/2020

TWENTY SECOND STREET

TWENTY FIRST STREET

CECIL B. MOORE AVENUE

1 SITE PLAN 
Scale: 1/16" = 1' - 0"

APPROVED:

ARCHITECT/ENGINEER OF RECORD DATE

APPROVED FOR BID:

REBUILD PROJECT MANAGER DATE

Designer:

 **CONVERSE WINKLER ARCHITECTURE**

Seal:

Key Plan:

REVISION	DESCRIPTION	DATE

Project: **MLK RECREATION CENTER ROOF REPLACEMENT**

Sheet Title: **SITE PLAN STAGING & PHASING**

Submission: **FINAL PRICING SET**

Engineering Manager: **TARA RASHEED**

Consultant: **CONVERSE WINKLER ARCHITECTURE**

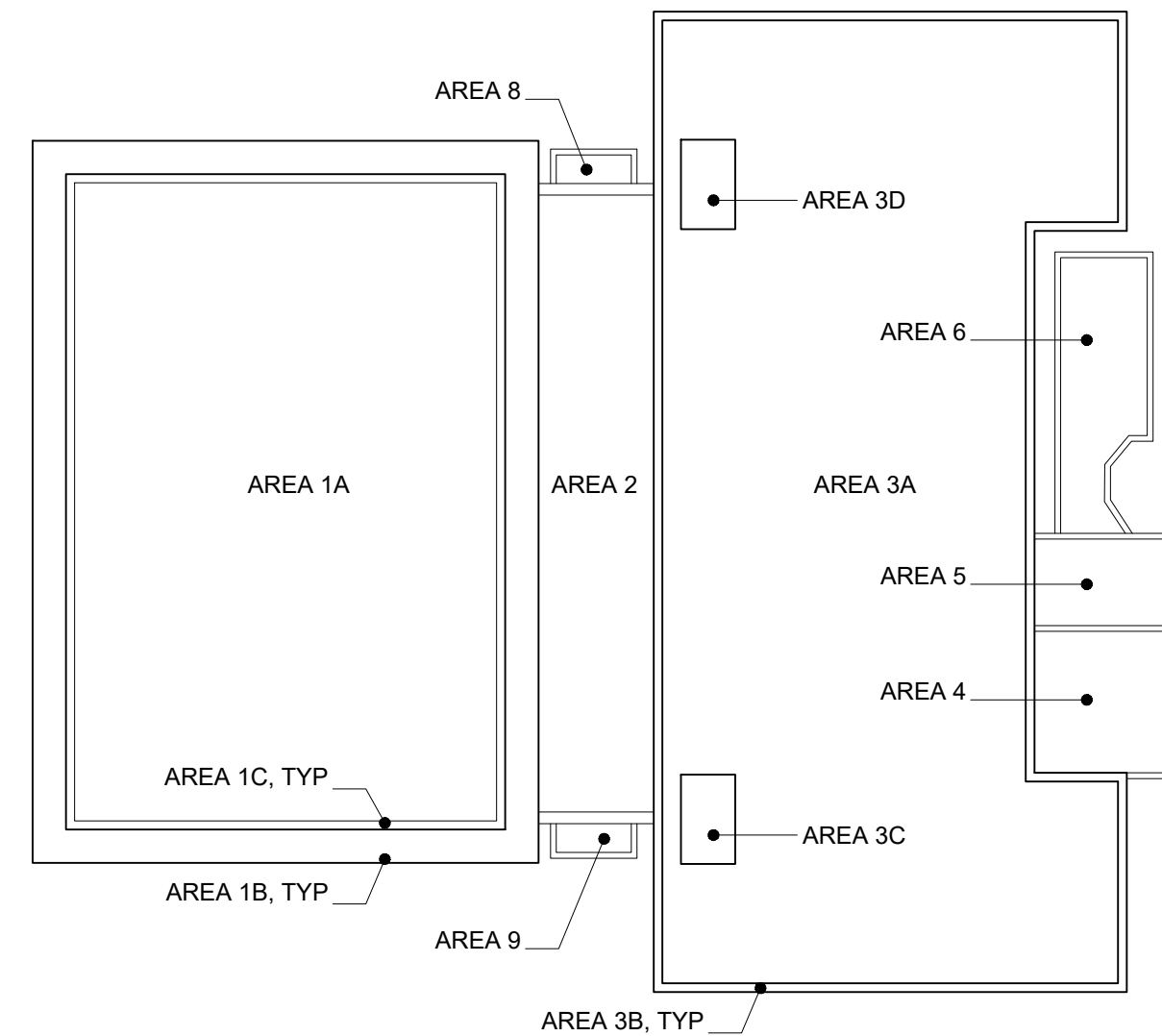
Task No.: **TN**

Date: **SEPT. 4, 2020** Checked By: **AB**

Work No.: **16366E-02-02 CW-1909.02** Drawing No.: **G-003**

Sheet No.: of 22

	ASSEMBLY TYPE 1 AREAS: 1A, 3C, 3D	ASSEMBLY TYPE 2 AREAS: 3A	ASSEMBLY TYPE 3 AREAS: 8, 9	ASSEMBLY TYPE 4 AREAS: 18	
EXISTING ROOF CONSTRUCTION	<p>SECTIONS</p> <ul style="list-style-type: none"> (E) 4-PLY (BUR) BUILT-UP ROOFING ASSEMBLY (E) TAPERED + FLAT INSULATION BOARDS (1/8" FT SLOPE) (E) ASPHALT (E) 1/2" FIBERBOARD @ AREAS 3C & 3D (E) LWC @ AREA 1A V.I.F. THICKNESS (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<p>SECTIONS</p> <ul style="list-style-type: none"> (E) SBS MB GRANULATED CAP SHEET (E) 4-PLY (BUR) BUILT-UP ROOF ASSEMBLY (E) TAPERED LWC, THICKNESS: +/- 1" MIN. @ DRAINS, +/- 5" MAX. @ HIGH POINT, (+/- 1/8" FT SLOPE) (E) ±1" RIGID INSULATION (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<p>SECTIONS</p> <ul style="list-style-type: none"> (E) 4-PLY (BUR) BUILT-UP ROOF ASSEMBLY (E) TAPERED LWC, THICKNESS: 1" MIN @ DRAIN, +/- 2" MAX @ HIGH POINT (+/- 1/8" FT SLOPE) (E) ±1/2" FIBERBOARD (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<p>SECTIONS</p> <ul style="list-style-type: none"> (E) 4-PLY (BUR) BUILT-UP ROOF ASSEMBLY (E) TAPERED LWC, THICKNESS: +/- 1" MIN. @ DRAINS, +/- 6 1/2" MAX. @ SHORT-SIDE RIDGE, +/- 8 3/4" MAX. @ LONG-SIDE RIDGE (+/- 1/8" FT SLOPE) V.I.F. (E) ±1" RIGID INSULATION V.I.F. (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	EXISTING ROOF CONSTRUCTION
DEMO. LITIGATION	REMOVE (E) 4-PLY BUR ASSEMBLY, (E) TAPERED + FLAT BOARD INSULATION, (E) ASPHALT, & (E) FIBERBOARD (REMOVALS SIMILAR @ ROOF AREA 3C & 3D).	REMOVE (E) SBS MB GRANULATED CAP SHEET & (E) 4-PLY BUR ROOF ASSEMBLY.	REMOVE (E) 4-PLY BUR ROOF ASSEMBLY, & (E) 1/2" THK. FIBERBOARD.	REMOVE (E) 4-PLY BUR ROOF ASSEMBLY	DEMO. LITIGATION
PROPOSED ROOF CONSTRUCTION	<p>INSULATION R-VALUE: R-30 MIN.</p> <ul style="list-style-type: none"> SINGLE PLY PVC MEMBRANE (ADHERED) 1/4" COVER BOARD (ADHERED) 1/4" FT TAPERED + FLAT POLYISO INSULATION (ADHERED) SBS MB BASE SHEET (TORCH APPLIED) (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<p>INSULATION R-VALUE: R-30 MIN.</p> <ul style="list-style-type: none"> SINGLE PLY PVC (ADHERED) 1/4" COVER BOARD (ADHERED) SBS MB ANCHOR SHEET (MECHANICALLY FASTENED) 2 6" THK FLAT POLYISO (ADHERED) 2 6" THK FLAT POLYISO (ADHERED) (E) TAPERED LWC, THICKNESS: +/- 1" MIN. @ DRAINS, +/- 5" MAX. @ HIGH POINT, (+/- 1/8" FT SLOPE) (E) ±1" RIGID INSULATION (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<p>CANOPY ROOF AREA IS OVER UNCONDITIONED EXTERIOR SPACE.</p> <ul style="list-style-type: none"> SINGLE PLY PVC (ADHERED) 1/4" COVER BOARD (ADHERED) ANCHOR SHEET (MECHANICALLY FASTENED) (E) TAPERED LWC (+/- 1/8" FT SLOPE) (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<ul style="list-style-type: none"> LIQUID APPLIED MEMBRANE TOP COAT REINFORCEMENT FLEECE LIQUID APPLIED MEMBRANE BASE COAT 1/4" COVER BOARD (ADHERED) 1" FLAT POLYISO (ADHERED) 1" FLAT POLYISO (ADHERED) SBS MB ANCHOR SHEET (MECHANICALLY FASTENED) (E) TAPERED LWC (+/- 1/8" FT SLOPE) (E) ±1" RIGID INSULATION (E) 2" CONCRETE ROOF PLANKS 	PROPOSED ROOF CONSTRUCTION



ROOF AREA KEY PLAN

	ASSEMBLY TYPE 5 AREAS: 2	ASSEMBLY TYPE 6 AREAS: 4, 5	ASSEMBLY TYPE 7 AREAS: 6	ASSEMBLY TYPE 8 AREAS: 1C	ASSEMBLY TYPE 9 AREAS: 3B	
EXISTING ROOF CONSTRUCTION	<p>SECTIONS</p> <ul style="list-style-type: none"> (E) 4-PLY (BUR) BUILT-UP ROOF ASSEMBLY (E) ±1" RIGID INSULATION (E) TAPERED LWC, THICKNESS: +/- 1" MIN. @ DRAINS, +/- 5" MAX. @ HIGH POINT, (+/- 1/8" FT SLOPE) (E) ±1" RIGID INSULATION (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<p>SECTIONS</p> <ul style="list-style-type: none"> (E) 4-PLY (BUR) BUILT-UP ROOF ASSEMBLY (E) 1.9" THK. TAPERED (+/- 1/8" FT SLOPE) + FLAT BOARD INSULATION (E) 1/2" FIBERBOARD (E) 1 1/2" METAL ROOF DECKING 	<p>SECTIONS</p> <ul style="list-style-type: none"> (E) 4-PLY (BUR) BUILT-UP ROOF ASSEMBLY (E) +/- 1/2" FIBERBOARD (E) METAL ROOF DECKING 	REFER TO DWG A-501 & A-502.	REFER TO DWG A-503.	EXISTING ROOF CONSTRUCTION
DEMO. LITIGATION	REMOVE (E) 4-PLY BUR ROOF ASSEMBLY & RIGID INSULATION. LWC TO REMAIN.	REMOVE (E) 4-PLY BUR ROOF ASSEMBLY, (E) 1.9" THK. TAPERED + FLAT BOARD INSULATION & (E) FIBERBOARD.	REMOVE (E) 4-PLY BUR ROOF ASSEMBLY, (E) +/- 1/2" FIBERBOARD, (E) METAL ROOF DECKING.	REMOVE (E) SLOPED BATTEN SEAM METAL PANEL ASSEMBLY AND ALL (E) MEMBRANE LAYERS DOWN TO (E) SLOPED PRE-CAST CONCRETE ROOF PLANKS	REMOVE SLOPED BATTEN SEAM METAL PANEL ASSEMBLY AND ALL MEMBRANE LAYERS DOWN TO EXISTING 2X4 WOOD BLOCKING	DEMO. LITIGATION
PROPOSED ROOF CONSTRUCTION	<p>INSULATION R-VALUE: R-30 MIN.</p> <ul style="list-style-type: none"> SBS MB GRANULATED CAP SHEET SBS MB INTERMEDIATE PLY SBS MB BASE PLY 1/4" COVER BOARD (ADHERED) SBS MB ANCHOR SHEET (MECHANICALLY FASTENED) 2 6" THK FLAT POLYISO (ADHERED) 2 6" THK FLAT POLYISO (ADHERED) (E) TAPERED LWC, THICKNESS: +/- 1" MIN. @ DRAINS, +/- 5" MAX. @ HIGH POINT, (+/- 1/8" FT SLOPE) (E) ±1" RIGID INSULATION (E) PRE-CAST CONCRETE ROOF PLANKS (THICKNESS VARIES: 2" MIN. - 2 3/4" MAX.) 	<ul style="list-style-type: none"> SBS MB GRANULATED CAP SHEET SBS MB BASE SHEET (MECHANICALLY FASTENED) 1/4" COVER BOARD (MECHANICALLY FASTENED) 1/4" FT TAPERED + FLAT POLYISO INSULATION, THICKNESS: 1" MIN @ DRAINS, 2" MAX @ HIGH POINT (MECHANICALLY FASTENED) VAPOR BARRIER (ADHERED) 1/2" HD BOARD (E) 1 1/2" METAL ROOF DECKING 	<p>CANOPY ROOF AREA IS OVER UNCONDITIONED EXTERIOR SPACE.</p> <ul style="list-style-type: none"> SBS MB GRANULATED CAP SHEET SBS MB BASE SHEET 1/4" COVER BOARD (MECHANICALLY FASTENED) 1/4" FT TAPERED POLYISO INSULATION (MECHANICALLY FASTENED) 1/2" HD BOARD METAL ROOF DECK 	REFER TO DWG A-501 & A-502.	REFER TO DWG A-503.	PROPOSED ROOF CONSTRUCTION

APPROVED:

ARCHITECT/ENGINEER OF RECORD DATE

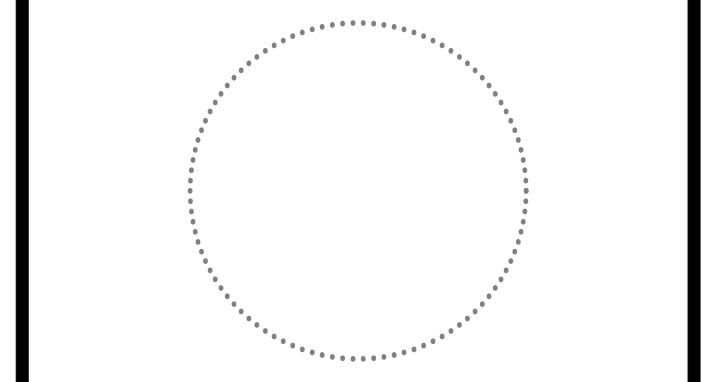
APPROVED FOR BID:

REBUILD PROJECT MANAGER DATE

Designer:



Seal:



Key Plan:

REVISION	DESCRIPTION	DATE

Project: **MLK RECREATION CENTER ROOF REPLACEMENT**

Sheet Title: **ROOF ASSEMBLY TYPES**

Submission: **FINAL PRICING SET**

Engineering Manager: **TARA RASHEED**

Consultant: **CONVERSE WINKLER ARCHITECTURE**

Task No.: Drawn By: **TN**

Date: **SEPT. 4, 2020** Checked By: **AB**

Work No.: **16366E-02-02 CW-1909.02** Drawing No.: **A-001**

Sheet No.: of **22**



Front Entry Canopy - Area 9



Front Entry Canopy Roof - Area 9



Corridor Link Roof - Area 2



[Corridor Link @ Area 1A - 3A Roof](#)



Gym Structure @ Area 1A Roof



Gym - Area 1A Roof



Gym Roof - Area 1B Gutter & 1C Mansard



Rec Center - Area 3A Roof (1)



Rec Center - Area 3A Roof (2)



Rec Center - Area 3B Mansard Roof



Rec Center - Area 4 - 5



Area 6 Roof

SECTION 004109
PRICING

To the Procurement Commissioner:

I, the undersigned Seller, hereby propose to furnish all the labor, materials and equipment, perform the whole of the work, and submit to all conditions, as represented, intended and implied, both particularly and generally, by the Plans, Special Specifications, Standard Specifications, Standard Details, Standard Contract Requirements, Form of Agreement, the Ordinance authorizing the work and this bid at the prices herein stated, and agrees that each item bid shall be complete in itself, and the City may increase or diminish the amount of work thereunder, or omit the item without invalidating the unit price bid for it or any other item, on the following terms to wit:

BID AMOUNT

I will complete the Work in accordance with the Contract Documents for the following Bid Amount as defined in Section 007200, Standard Contract Requirements. (Insert Bid Amount in words as well as figures.)

BASE BID AMOUNT \$ _____

_____ Dollars

Mobilization/Demobilization	\$ _____
Temporary Protection and Facilities	\$ _____
Re-Roof for PVC Assembly at Roof Areas 1A, 3A, 3C, 3D, 8, 9 w/ all related Curbs, Penetrations, Flashings, Edge Metal & Drains	\$ _____
Re-Roof for Liquid Applied Assembly at Roof Area 1B w/ all related Flashings, Penetrations & Drains	\$ _____
Re-Roof for Modified Bitumen Assembly at Roof Areas 2, 4, 5, 6 w/ all related Curbs, Penetrations, Flashings, Edge Metal & Drains	\$ _____
Metal Roof & Soffit Assembly at Roof Areas 1C, 3B	\$ _____
Rooftop Equipment Modifications to Accommodate Roof Assemblies	\$ _____
Masonry Replacement, Repairs & Cleaning	\$ _____
Replacement of Steel Deck at Roof Area 6	\$ _____
Replacement Lighting at Roof Area 6	\$ _____

Furnish & Installation of Stair 2 & 3 Door & Ceiling Work	\$ _____
General Conditions	\$ _____
TOTAL BASE BID	\$ _____

Amendments Received and Included:

Amendment # _____ Issue Date: _____

Amendment # _____ Issue Date: _____

Duration of Work: _____ **Months**

Duration of Work: _____ **Man Days**

MLK Recreation Center Roof Replacment RFP
Questions/Answers, Pre-Bid Virtual Attendance:

1. On the plan on page A-001 On the Assembly Type 1 detail the existing shows there is lightweight concrete and the proposed shows that it is removed. Nowhere else on the plan shows that to be removed. Can you clarify? **Existing Tapered Lightweight Concrete at Roof Area 1A, 3C, & 3D associated with Roof Assembly Type 1 is to be fully removed down to the existing structural deck.**

2. Pre-Bid Virtual Attendance:
 - T Rasheed- Rebuild
 - R LaBrum- PHDC/PRA
 - S. Thompsonowak- Rebuild
 - N. C. Jackson- Rebuild
 - Beth Perkowski- PPR
 - Carrie Strehle- Promatech
 - Matt Ott- DA North
 - Liam Doyle- US Roofing
 - Craig Burman- Russ Kelly Associates
 - Mike Steinberg- US Roofing
 - John Gannon- Ganter Roofing
 - Andrew Burdin
 - Patrick McCullough- MD Roofing
 - Mark Nuzzi- AWOC Inc.