

CHEW PLAYGROUND FIELD IMPROVEMENTS

1800 WASHINGTON AVENUE, PHILADELPHIA, PA 19146

BID DOCUMENTS
ISSUED 02/04/2022

PROPERTY ADDRESS:

CHEW PLAYGROUND
1800 WASHINGTON AVE
PHILADELPHIA, PA 19146

PROPERTY OWNER:



PHILADELPHIA PARKS & RECREATION DEPARTMENT
1515 ARCH STREET
SUITE #10
PHILADELPHIA, PA 19102

PROJECT MANAGER:



REBUILD PHILADELPHIA
1515 ARCH STREET
MEZZANINE LEVEL
PHILADELPHIA, PA 19107

PROJECT PARTNERS:

PROJECT TITLE:

**CHEW
PLAYGROUND
FIELD
RENOVATION**

CIVIL ENGINEER:



REVISIONS:

DATE: ISSUE:

SEAL:

SUBMISSION:

BID DOCUMENTS

DRAWING TITLE:

**COVER SHEET
AND GENERAL NOTES**

DATE:

02/04/2022

SCALE:

N/A

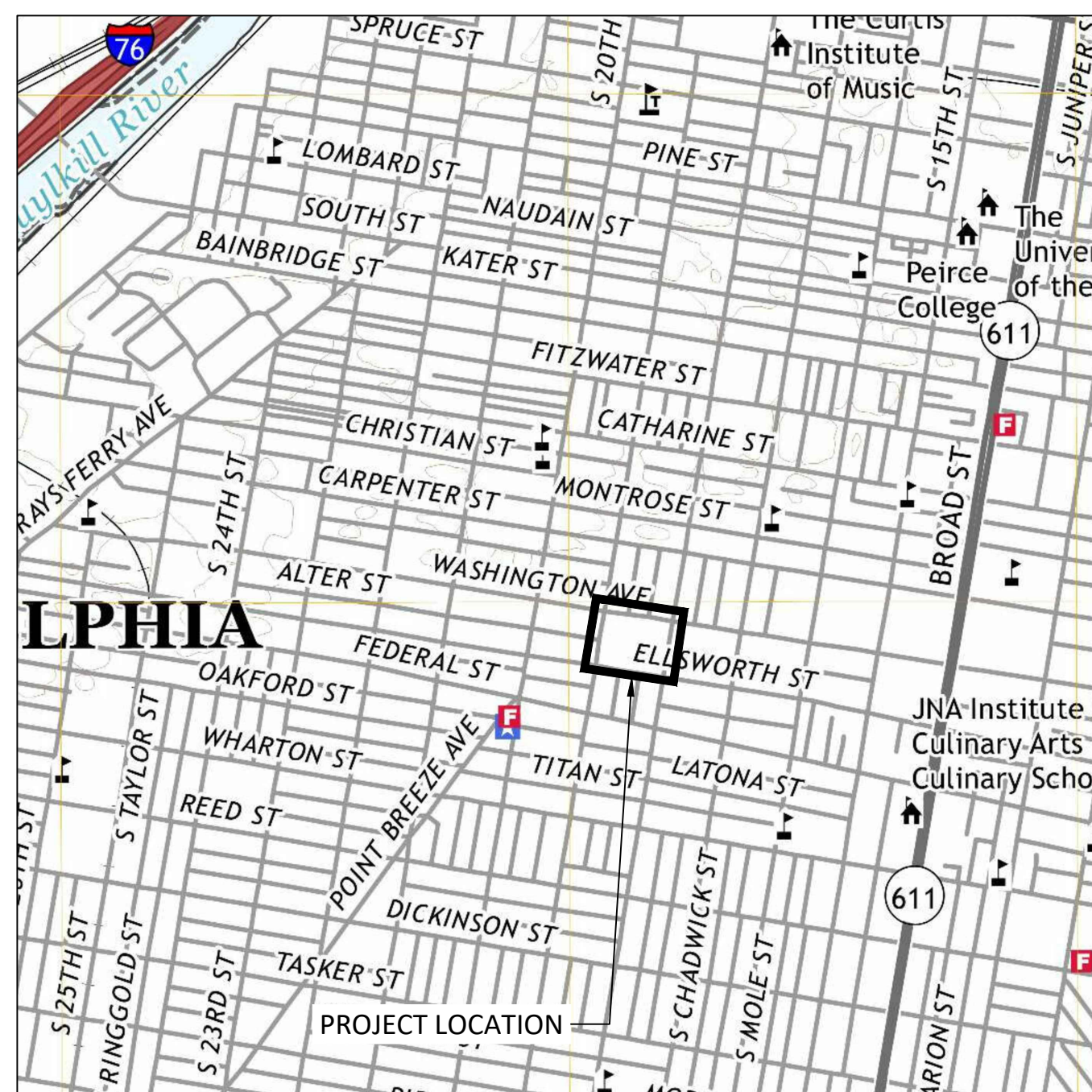
DRAWN BY:

MJR

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AMM

C-001



GENERAL NOTES

- EXISTING SITE CONDITIONS, TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON HAS BEEN COMPILED FROM EXISTING INFORMATION AND FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY HAVE CHANGED AND UNDOCUMENTED CONDITIONS MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE WORK COMMENCES. THE CONTRACTOR MUST BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO BEGINNING WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE CONSTRUCTION ACTIVITIES HAVE COMMENCED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, EXACT LOCATIONS, SIZE AND ELEVATIONS OF ALL UTILITIES OR OTHER STRUCTURES BEFORE STARTING WORK. MANY UNDERGROUND UTILITY LOCATIONS AS SHOWN ARE APPROXIMATE, AND INFORMATION MAY BE MISSING. THIS NOTICE IS GIVEN PER ACT 199 OF 2004 OF THE COMMONWEALTH OF PA. CONTACT PA ONE CALL SYSTEM 1-800-242-1776.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND SHALL ENSURE THAT SITE(S) RECEIVING EXCESS MATERIAL HAVE AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN THAT COMPLIES WITH THE CONDITIONS OF CHAPTER 102 AND/OR OTHER FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 102. IN THE EVENT OF CONFLICT BETWEEN THESE REQUIREMENTS AND POLLUTION CONTROL LAWS, RULES, AND REGULATIONS OF OTHER STATE, LOCAL, OR FEDERAL REGULATIONS, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- THE CONTRACTOR SHALL PROCURE AND PAY ALL PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE EXECUTION OF THIS CONTRACT. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES RELATING TO THE PERFORMANCE OF THE WORK, THE PROTECTION OF ADJACENT PROPERTY, AND THE MAINTENANCE OF PASSAGES.
- CONTRACTOR SHALL EXERCISE CARE TO PROTECT FROM DAMAGE EXISTING WORK, EXISTING SITE IMPROVEMENTS, EXISTING VEGETATION, ABOVE AND BELOW GRADE UTILITIES, AND ALL WORK PERFORMED. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER OR OWNER'S REPRESENTATIVE.
- IF APPLICABLE, FULLY PROTECT ALL EXISTING OR NEW TREE ROOT ZONES DURING ALL CONSTRUCTION ACTIVITIES. AT NO TIME SHALL CONSTRUCTION ACTIVITIES TAKE PLACE OR MATERIALS BE STORED WITHIN TREE DRIPLINE ZONES. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SEE TREE PROTECTION DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR MUST ACCESS THE PROJECT WORK AREA IN COORDINATION WITH THE OWNER. THE FACILITY WILL CONTINUE TO BE IN OPERATION DURING CONSTRUCTION. WORK MAY NOT INTERFERE WITH NORMAL OPERATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. MAINTAIN SAFE VEHICULAR FLOW AND PEDESTRIAN ACCESS TO AND AROUND SITE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, THE PROJECT MANAGER HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.
- ALL SECURITY WORKERS AND CONSTRUCTION MATERIALS TO BE PROVIDED BY THE CONTRACTOR AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE SITE AT ALL TIMES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND ALL REGULATIONS APPURTENANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PROJECT SPECIFICATIONS INCLUDING CURRENT APPLICABLE STANDARDS AND REQUIREMENTS. WHERE ANY STANDARDS SEEM IN CONFLICT WITH THESE DRAWINGS, NOTIFY THE PROJECT ENGINEER FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) PUBLICATIONS OF THE LATEST REVISION. NO TRENCHES OR EXCAVATION SHALL BE OPEN WHILE WORK IS NOT IN PROGRESS.

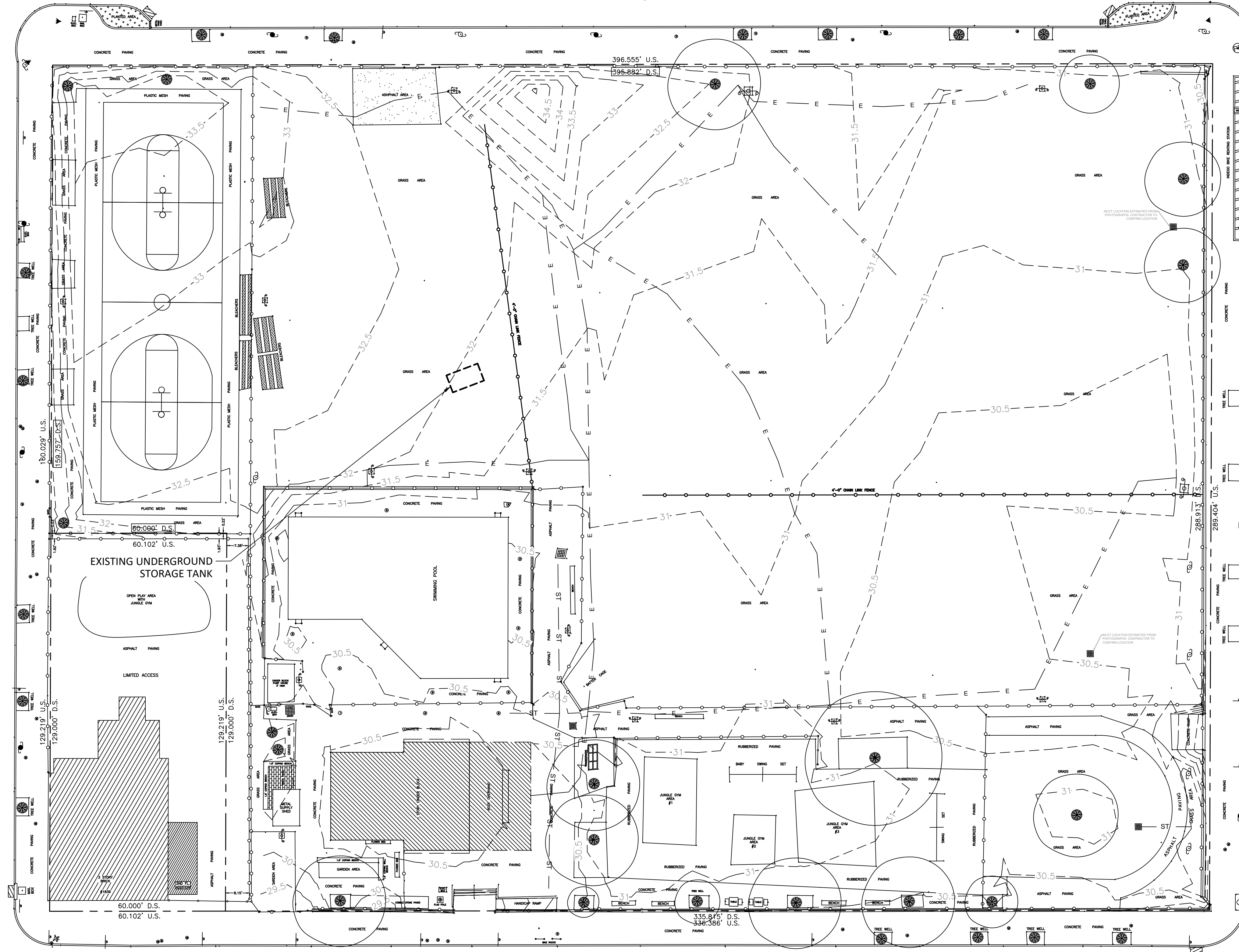
SHEET LIST	
C-	001 COVER SHEET
C-	101 EXISTING CONDITIONS PLAN
C-	201 DEMOLITION PLAN
C-	301 EROSION AND SEDIMENT CONTROL PLAN
C-	311 EROSION AND SEDIMENT CONTROL DETAILS
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L-	102 PLANTING PLAN
L-	401 SOFTBALL FIELD ENLARGEMENT AND DETAILS
L-	402 MULTI-SPORT FIELD LAYOUT ENLARGEMENT
L-	501 SITE & PLANTING DETAILS

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, THE TOWNSHIP OF MIDDLETOWN HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.

ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004 OR LATER.



WASHINGTON LEGALLY OPEN / ON CITY PLAN AVENUE
 100' WIDE / 13'-79'-8"
 N75°21'12" W



ELLSWORTH LEGALLY OPEN / ON CITY PLAN STREET
 50' WIDE / 12'-26'-12"
 S75°19'51" E

EXISTING CONDITIONS LEGEND:

- PROPERTY LINE
- EXISTING FENCE
- EXISTING CURBSIDE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING ELECTRIC LINE
- EXISTING STORM SEWER LINE
- WATER SHUT OFF
- GAS SHUT OFF
- VENT CAP (SEWER SERVICE)
- BUILDING DIMENSION
- CHAIN LINK FENCE
- UTILITY POLE
- CONCRETE
- XX" WIDE AT BHD TREE
- CITY PLAN ELEVATION
- BELL TELEPHONE MANHOLE (VERIZON)
- KEYSTONE TELEPHONE MANHOLE
- PECO ENERGY MANHOLE (EXELON)
- ELECTIC BUREAU MANHOLE
- STEAM GRATE/MANHOLE
- HIGH PRESURE FIRE SERVICE MANHOLE
- STORM SEWER MANHOLE
- SANITARY/COMBINATION SEWER MANHOLE
- WATER MANHOLE
- PRT/PTC/SEPTA MANHOLE (SEPTA)
- CITY MANHOLE (ELECTRIC)
- PHILA. GAS WORKS MANHOLE
- UNIDENTIFIED MANHOLE
- TELEPHONE (PAY)
- WATER & SEWER SERVICE CAPS
- WATER, SEWER & GAS SERVICE CAPS
- FIRE HYDRANT
- HIGH PRESURE FIRE HYDRANT
- DRAIN
- OPENMOUTH INLET
- OPEN MOUTH GRATE INLET
- CATCH BASIN/GRATE INLET
- CITY #3 INLET
- CITY #2 INLET
- CABLE TV VAULT
- LIGHT STANDARD
- TROLLEY WIRE SUPPORT POLE (SEPTA)
- UTILITY POLE/LIGHT
- SIGN POST
- TRAFFIC SIGNAL
- PARKING METER
- FILLER CAP OIL
- MARSH
- BRUSH
- TREE
- SOUTHEASTERN PA. TRANSPORTATION AUTH.

18 TH NOT LEGALLY OPEN / ON CITY PLAN STREET
 50' WIDE / 12'-26'-12"
 N14°55'55" E

19 TH NOT LEGALLY OPEN / ON CITY PLAN STREET
 50' WIDE / 12'-26'-12"
 S14°55'08" W

PROPERTY ADDRESS:
 CHEW PLAYGROUND
 1800 WASHINGTON AVE
 PHILADELPHIA, PA 19146

PROPERTY OWNER:
 PHILADELPHIA PARKS & RECREATION
 PHILADELPHIA PARKS & RECREATION DEPARTMENT
 1515 ARCH STREET
 SUITE #10
 PHILADELPHIA, PA 19102

PROJECT MANAGER:
 Rebuild PHILADELPHIA
 REBUILD PHILADELPHIA
 1515 ARCH STREET
 MEZZANINE LEVEL
 PHILADELPHIA, PA 19107

PROJECT PARTNERS:

PROJECT TITLE:
CHEW PLAYGROUND FIELD RENOVATION

CIVIL ENGINEER:
 meliora
 Civil, Water Resources, and Structural Engineering
 259 Morgan St., Pottsville, PA 19460
 P: 610.933.0123 | www.melioradesign.com

REVISIONS:

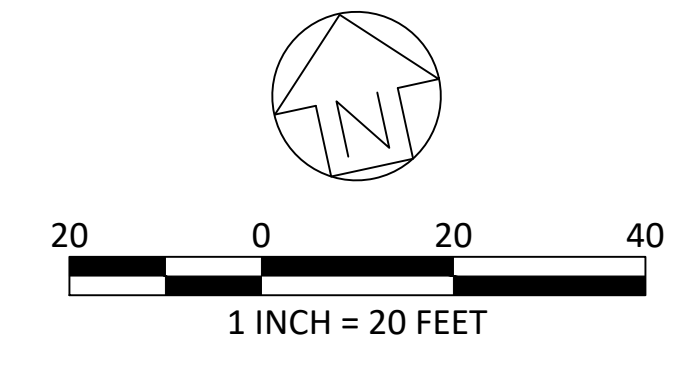
DATE:	ISSUE:

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DRAWING TITLE:
EXISTING CONDITIONS PLAN

DATE: 02/04/2022	DRAWING NO: C-101
SCALE: 1"=20'	
DRAWN BY: MJR	
CHECKED BY: AMM	



62,121 SF CLEARING AND GRUBBING

WASHINGTON AVENUE

LEGALLY OPEN / ON CITY PLAN
100' WIDE / 13'-79'-8"
N75°21'12"W

63828 SF LIMIT OF DISTURBANCE
67,010 SF TOTAL LIMIT OF DISTURBANCE

EXISTING WALL TO REMAIN

560 SF ASPHALT REMOVAL

560 SF VACUUM EXCAVATION

LEGEND

- LIMIT OF DISTURBANCE
- PROJECT SITE AREA
- ASPHALT DEMOLITION
- EXTENT OF SOIL REMOVAL (18" DEEP)
- VACUUM EXCAVATION
- TREE REMOVAL
- FENCE REMOVAL

EXISTING BLEACHERS
TO BE REMOVED BY CONTRACTOR

272 SF VACUUM EXCAVATION

446 SF VACUUM EXCAVATION

429 SF VACUUM EXCAVATION

ADD ALT #8.0: CONTRACTOR TO
REMOVE TREE IF CONFIRMED DEAD

ADD ALT #4.0: CONTRACTOR TO CHECK
ALL EXISTING FENCE POSTS AND TIE ANY
PORTIONS OF FENCE TO POST WHEREVER
CONNECTIONS ARE MISSING.

NOTES:

1. ALL EXISTING FEATURES (LIGHT POLES, FENCES, UTILITY POLES, WALLS, ETC.) WITHIN LIMIT OF DISTURBANCE TO REMAIN UNLESS NOTED OTHERWISE.

19TH STREET

NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26'-12"
S14°55'08"W

18TH STREET

NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26'-12"
N14°55'55"E

ADD ALT #3.0: CONTRACTOR TO REMOVE
ALL WEEDS, VINES, AND OTHER
VEGETATION GROWN ALONG ALL OF
THE POOL FENCES, TYP. INCLUDES SMALL
TREE BY POOL GATE WHICH OBSTRUCTS
GATE FROM OPENING

EXISTING UNDERGROUND
STORAGE TANK TO BE REMOVED
SEE SPECIFICATIONS FOR
REMOVAL DETAILS

REMOVE EXISTING
CHAINLINK FENCE
125 LF

REMOVE EXISTING CHAINLINK FENCE
191 LF

EXISTING FENCE TO REMAIN

ADD ALT #3.0: CONTRACTOR TO
REMOVE ALL WEEDS, VINES,
AND OTHER VEGETATION
GROWN ALONG ALL OF THE SITE
PERIMETER FENCES, TYP.

BASE SOIL EXCAVATION
TO 18" DEPTH AND REMOVAL
63,089 SF

659 SF VACUUM EXCAVATION

2,278 SF CLEARING AND GRUBBING

ELLSWORTH STREET

LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26'-12"
S75°19'51"E

245 SF VACUUM EXCAVATION

245 SF LIMIT OF DISTURBANCE
67,010 SF TOTAL LIMIT OF DISTURBANCE

2,937 SF LIMIT OF DISTURBANCE
67,010 SF TOTAL LIMIT OF DISTURBANCE

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SUITE #10
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PROJECT MANAGER:



REBUILD PHILADELPHIA
1515 ARCH STREET
MEZZANINE LEVEL
PHILADELPHIA, PA 19107

PROJECT PARTNERS:

PROJECT TITLE:

CHEW PLAYGROUND FIELD RENOVATION

CIVIL ENGINEER:



Civil, Water Resources, and Structural Engineering
359 Morgan St., Pottsville, PA 19460
P: 610.933.0123 | www.melioradesign.com

REVISIONS:

DATE: ISSUE:

DATE	ISSUE

SEAL:



SUBMISSION:

BID DOCUMENTS

DRAWING TITLE:

DEMOLITION PLAN

DATE:

02/04/2022

SCALE:

1"=20'

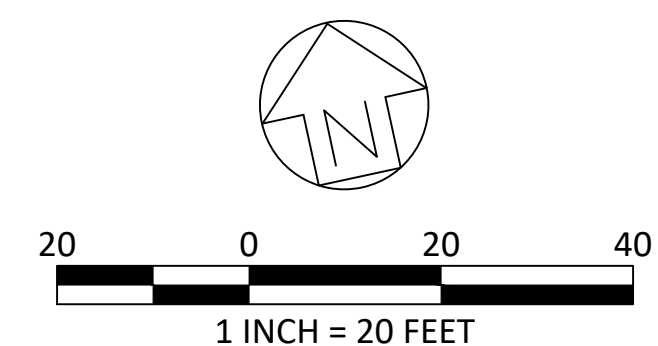
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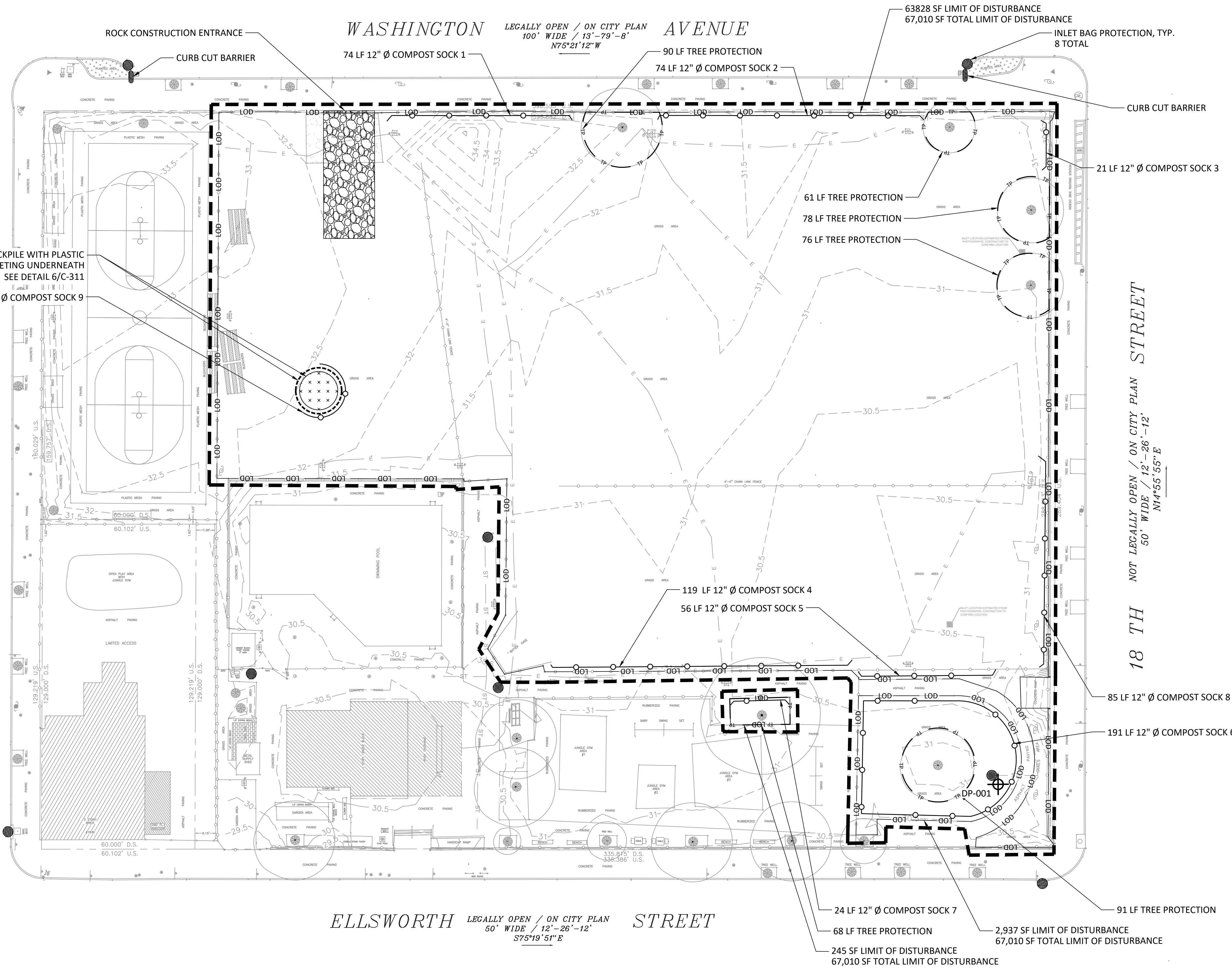
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AMM

C-201



19TH NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26"-12'
S14°55'08"W



LEGEND

- LOD — LIMIT OF DISTURBANCE
- P — PROJECT SITE AREA
- INLET BAG PROTECTION
- CURB CUT BARRIER
- TP — TREE PROTECTION
- COMPOST SOCK
- ▨ ROCK CONSTRUCTION ENTRANCE
- ⊗ TOPSOIL STOCKPILE
- DP-001 DISCHARGE POINT

- NOTES:**
- WITH THE EXCEPTION OF SITES ENROLLED IN DEP'S LAND RECYCLING AND ENVIRONMENTAL REMEDIATION STANDARDS (ACT 2) PROGRAM AND SITES WITH DEP WASTE MANAGEMENT GENERAL PERMIT (WMGR096) APPROVAL TO USE REGULATED FILL, ALL FILL MATERIAL IMPORTED TO THE SITE MUST MEET THE DEFINITION OF CLEAN FILL, AS DEFINED IN THE NPDES PERMIT. REGULATED FILL MAY ONLY BE USED ON ACT 2 SITES, IN ACCORDANCE WITH STANDARDS ESTABLISHED BY THAT PROGRAM, AND ON SITES WITH DEP GENERAL PERMIT WMGR096 APPROVAL.
 - THE PERMITTEE SHALL CONDUCT ENVIRONMENTAL DUE DILIGENCE TO VERIFY THAT SOILS EXCAVATED ON-SITE THAT IS USED TO ESTABLISH FINAL GRADE AND FILL IMPORTED TO THE PROJECT SITE IS CONSIDERED CLEAN FILL. IF DUE DILIGENCE RESULTS IN EVIDENCE OF A RELEASE, AS DEFINED IN DEP'S MANAGEMENT OF FILL POLICY (285-2182-773), THAT HAS AFFECTED THE FILL MATERIAL, THE PERMITTEE SHALL TEST THE MATERIAL TO DETERMINE WHETHER THE MATERIAL QUALIFIES AS CLEAN FILL, AND DEP'S ELECTRONIC FORM FP-001 (CERTIFICATION OF CLEAN FILL) MUST BE COMPLETED, RETAINED BY THE PERMITTEE OR THE PROPERTY OWNER ON-SITE, AND BE MADE AVAILABLE TO DEP/CCD UPON REQUEST.
 - IF THE PERMITTEE BECOMES AWARE DURING EARTH DISTURBANCE ACTIVITIES THAT SOILS IN THE AREA OF EARTH DISTURBANCE CONTAIN CONCENTRATIONS OF REGULATED SUBSTANCES EXCEEDING THE RESIDENTIAL MEDIUM-SPECIFIC CONCENTRATIONS FOR SOIL IN 25 PA. CODE CHAPTER 250, THAT WERE NOT PREVIOUSLY DISCLOSED TO DEP/CCD, THE PERMITTEE SHALL NOTIFY DEP/CCD IN ACCORDANCE WITH PART A III.D OF THE NPDES PERMIT AND CEASE EARTH DISTURBANCE ACTIVITIES IN AREAS OF KNOWN SOIL CONTAMINATION UNTIL AUTHORIZED TO RESUME BY DEP/CCD.
 - IF THE PERMITTEE ENCOUNTERS GROUNDWATER DURING EXCAVATION THAT THE PERMITTEE KNOWS OR HAS REASON TO BELIEVE IS CONTAMINATED BY ONE OR MORE POLLUTANTS AT CONCENTRATIONS EXCEEDING WATER QUALITY CRITERIA CONTAINED IN 25 PA. CODE CHAPTER 93, THAT WERE NOT PREVIOUSLY DISCLOSED TO DEP/CCD, THE PERMITTEE SHALL NOTIFY DEP/CCD IN ACCORDANCE WITH PART A III.D OF THE NPDES PERMIT. CONTAMINATED GROUNDWATER MAY NOT BE PUMPED OR OTHERWISE DIVERTED TO SURFACE WATERS UNLESS SPECIFICALLY AUTHORIZED BY DEP/CCD.

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PROJECT PARTNERS:

PROJECT TITLE:
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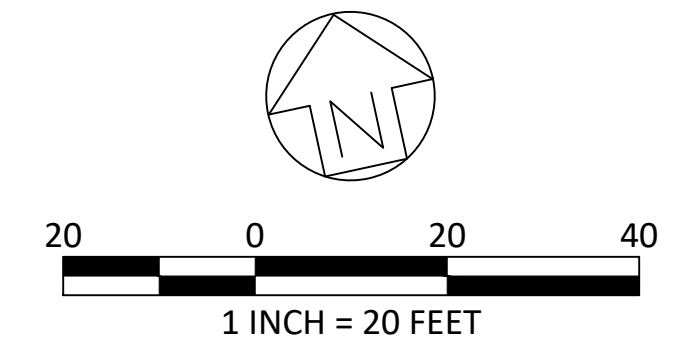
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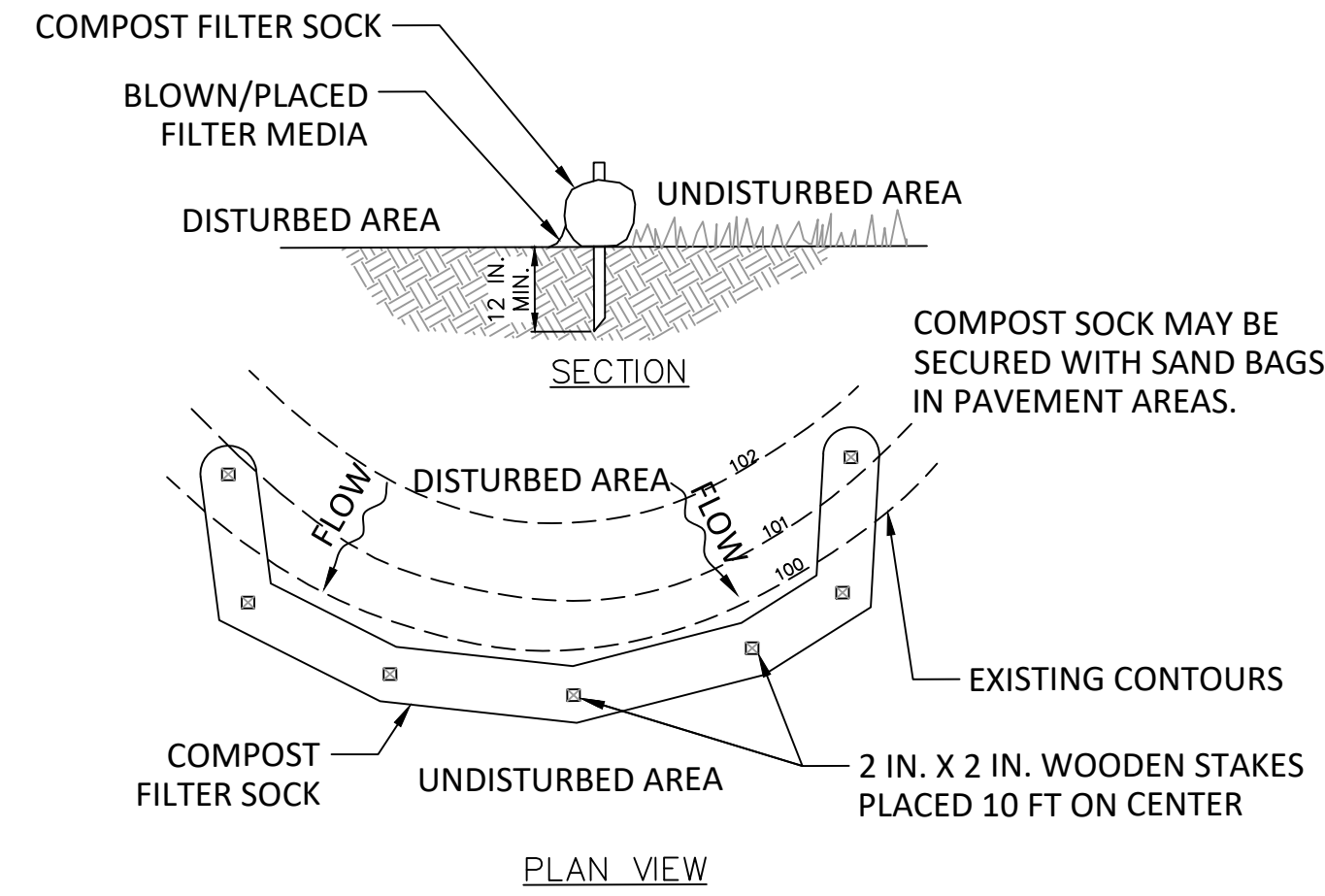

SUBMISSION:
BID DOCUMENTS

DRAWING TITLE:
EROSION AND SEDIMENTATION CONTROL PLAN

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SCALE: 1"=20'	
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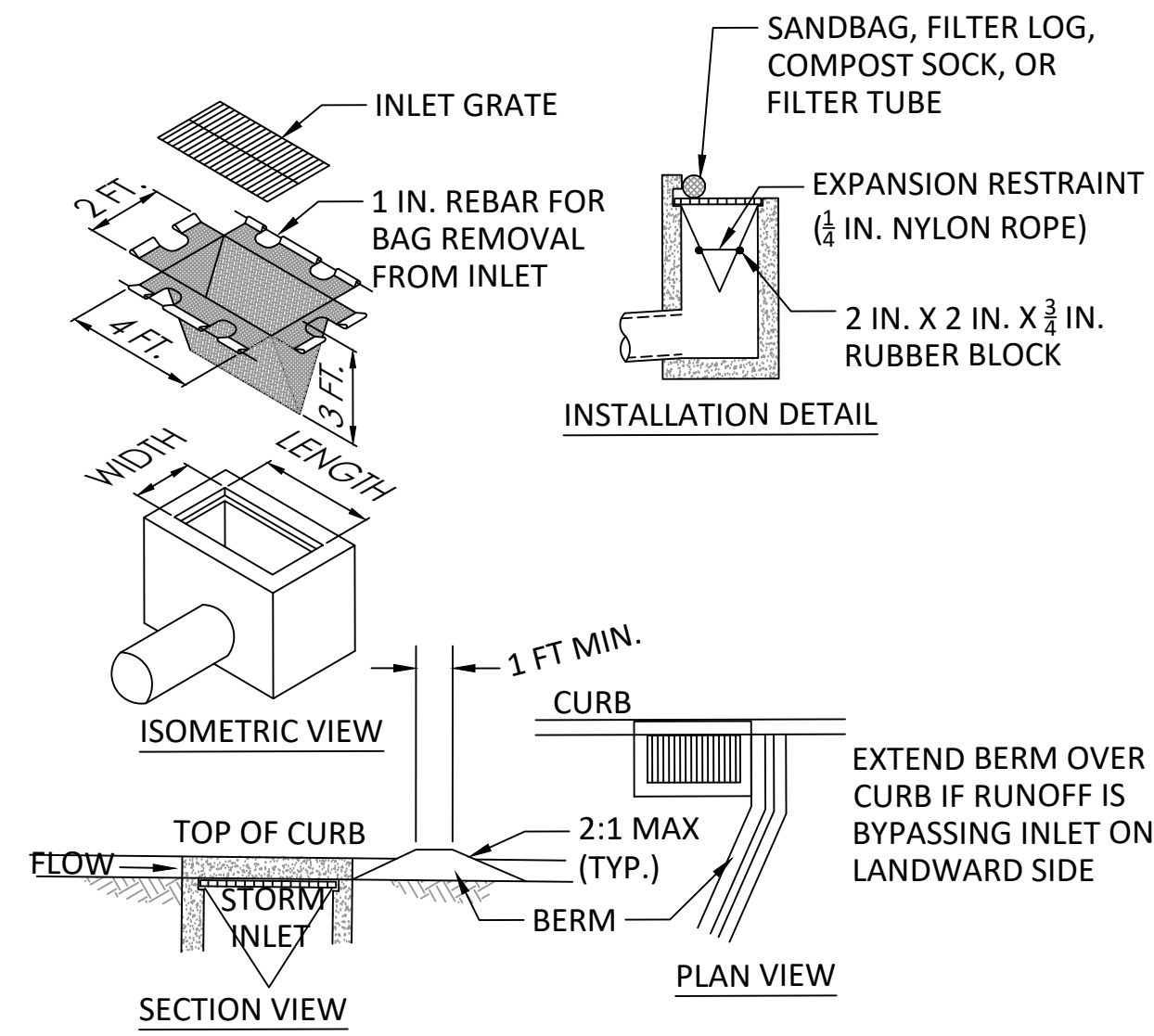


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LAYOUT TAB: C-301 EROSION AND SEDIMENTATION CONTROL PLAN
Mark A. Dimonte



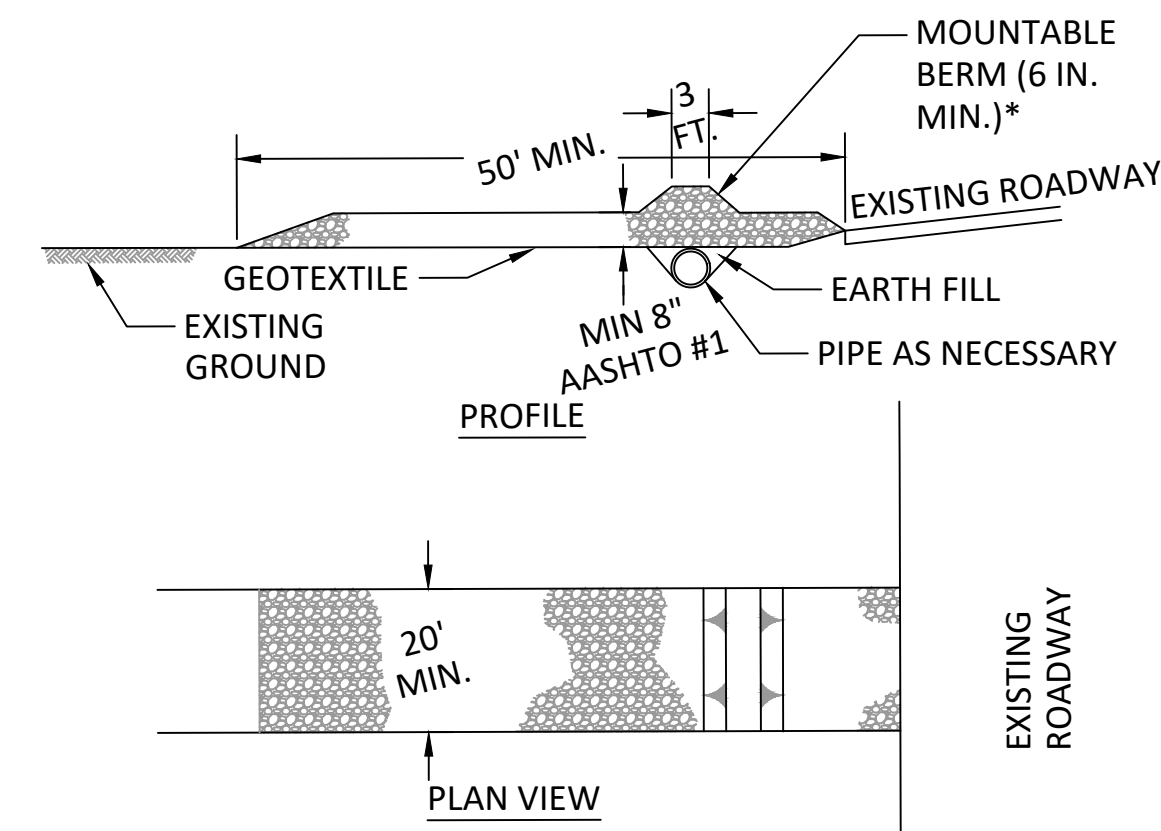
- NOTES:
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 - COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 - SOME OBJECTS OF CONSIDERABLE MASS (I.E. CONCRETE BLOCKS, SAND BAGS, ETC.) MUST BE USED IMMEDIATELY DOWNSLOPE OF COMPOST SOCKS PLACED ON PAVED SURFACES (AT THE SAME INTERVALS AS RECOMMENDED BY THE MANUFACTURER FOR STAKES) IN ORDER TO SECURE SOCKS IN PLACE.

1 COMPOST SOCK
C-311 NTS



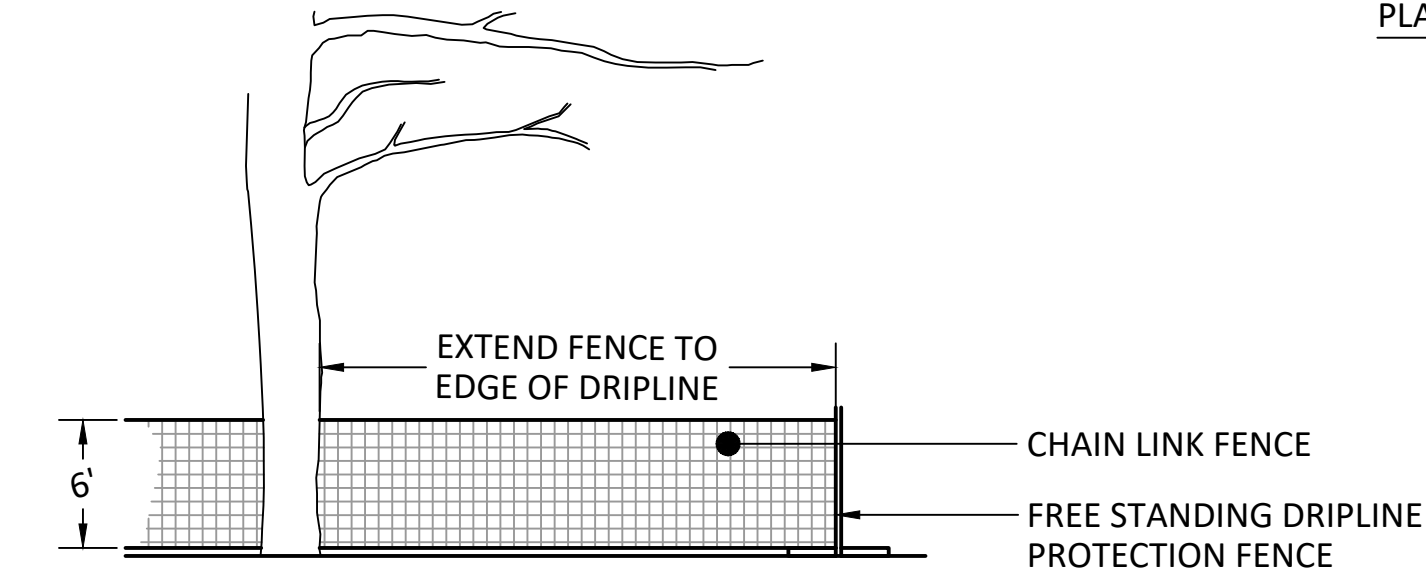
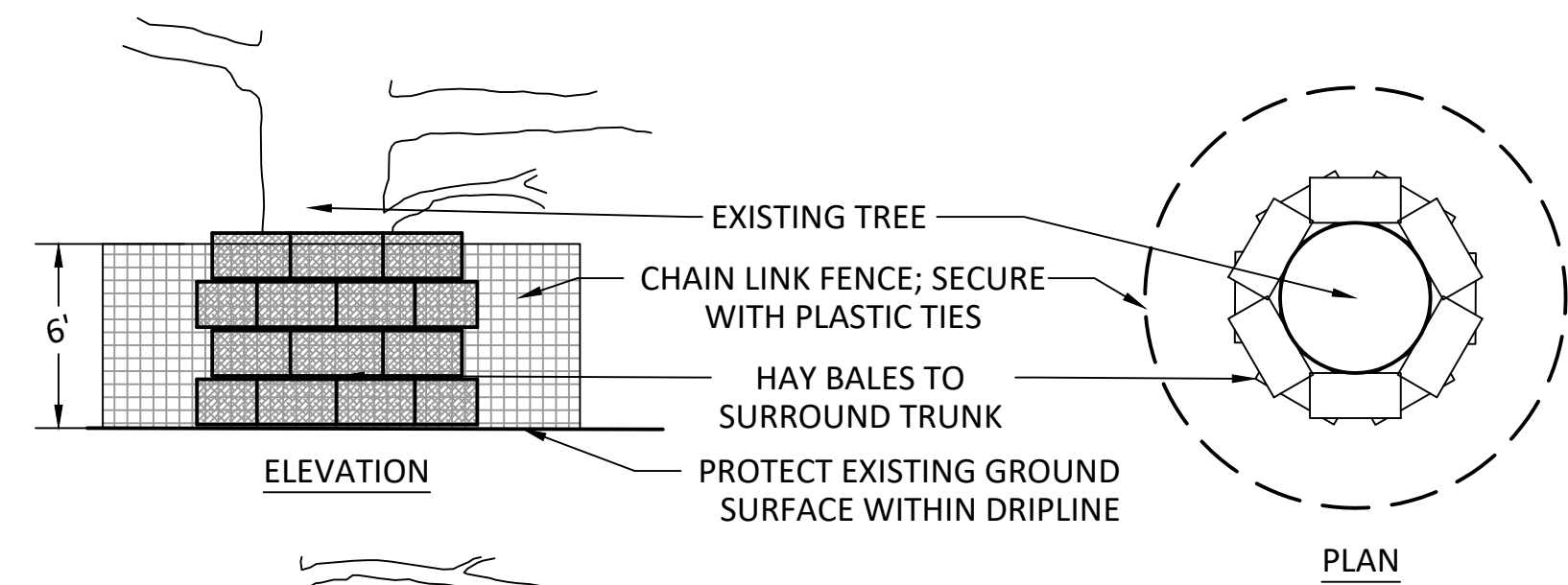
- NOTES:
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 - INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 - ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 - AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 - INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 - DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

2 FILTER BAG INLET PROTECTION
C-311 NTS

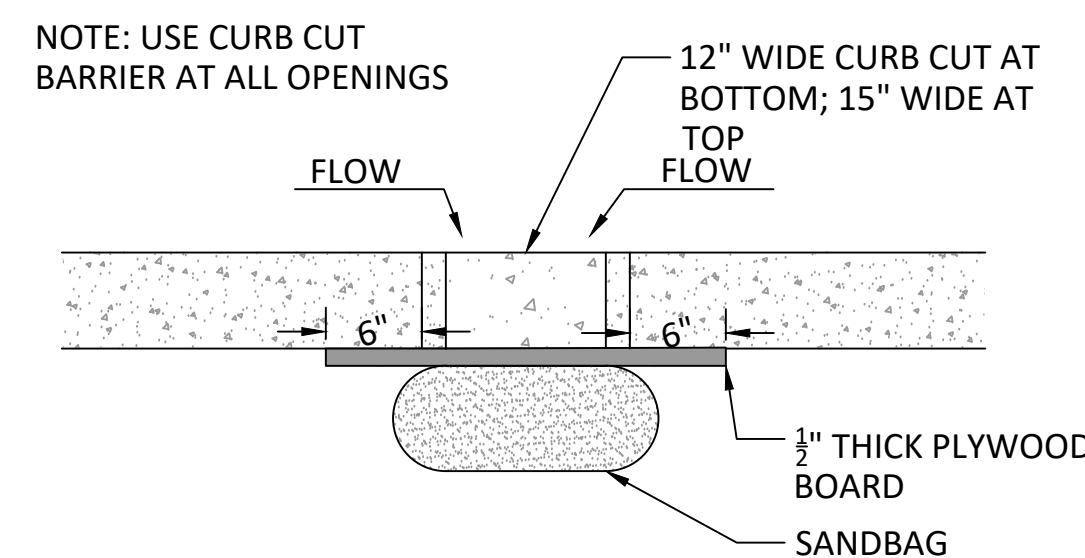


- NOTES:
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 - RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
 - MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
 - MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

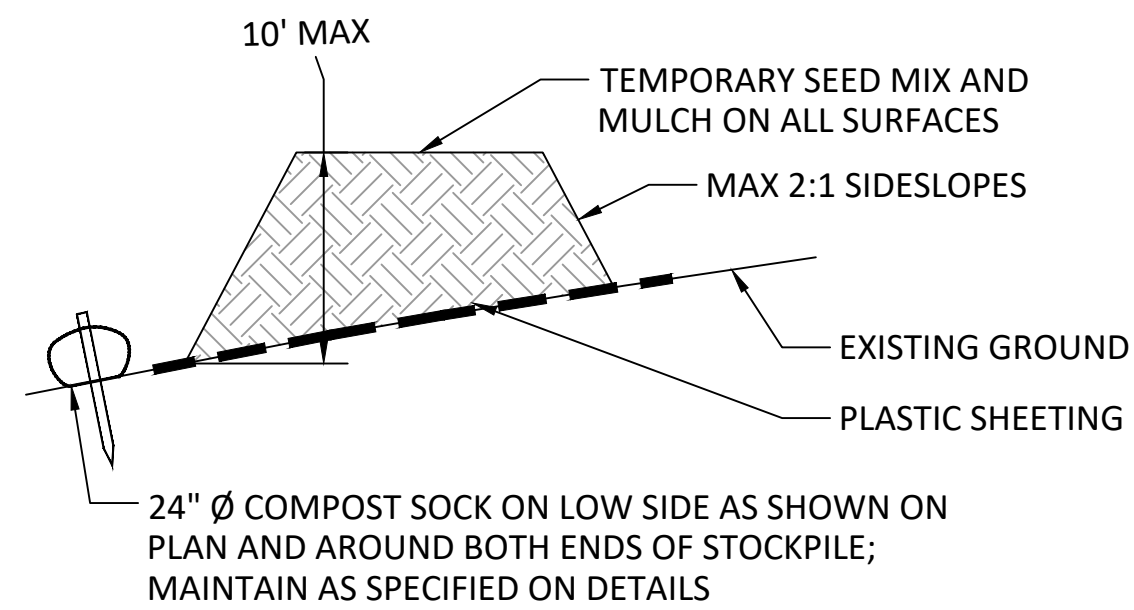
3 ROCK CONSTRUCTION ENTRANCE
C-311 NTS



4 TREE PROTECTION FENCE
C-311 NTS



5 CURB CUT BARRIER
C-311 NTS



- MAINTENANCE NOTES:
- TEMPORARILY STOCKPILE TOPSOIL OR EXCAVATED SOIL MATERIAL AS NEEDED AT LOCATIONS SHOWN FOR EACH PHASE OF CONSTRUCTION. EXCESS EXCAVATED MATERIAL SHALL BE PERMANENTLY REMOVED FROM THE SITE.
 - HEIGHT AND SIDESLOPES SHALL NOT EXCEED MAXIMUM VALUES SHOWN ON DETAIL.
 - INSTALL COMPOST SOCK PRIOR TO STOCKPILING OF MATERIAL. REPLACE ANY COMPOST SOCK REMOVED FOR VEHICULAR ACCESS AFTER EACH WORK DAY.
 - APPLY SEED AND MULCH WHEN PILE IS NOT SUBJECT TO VEHICULAR ACCESS FOR SEVEN DAYS OR MORE.

6 TEMPORARY SOIL STOCKPILE
C-311 NTS

PROPERTY ADDRESS:

CHEW PLAYGROUND
1800 WASHINGTON AVE
PHILADELPHIA, PA 19146

PROPERTY OWNER:



PHILADELPHIA PARKS & RECREATION DEPARTMENT
1515 ARCH STREET
SUITE #10
PHILADELPHIA, PA 19102

PROJECT MANAGER:



REBUILD PHILADELPHIA
1515 ARCH STREET
MEZZANINE LEVEL
PHILADELPHIA, PA 19107

PROJECT PARTNERS:

PROJECT TITLE:

CHEW PLAYGROUND FIELD RENOVATION

CIVIL ENGINEER:



REVISIONS:

DATE: ISSUE:

DATE	ISSUE

SEAL:



SUBMISSION:

BID DOCUMENTS

DRAWING TITLE:

EROSION AND SEDIMENTATION CONTROL DETAILS

DATE:

02/04/2022

SCALE:

N.T.S.

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MJR

CHECKED BY:

AMM

C-311

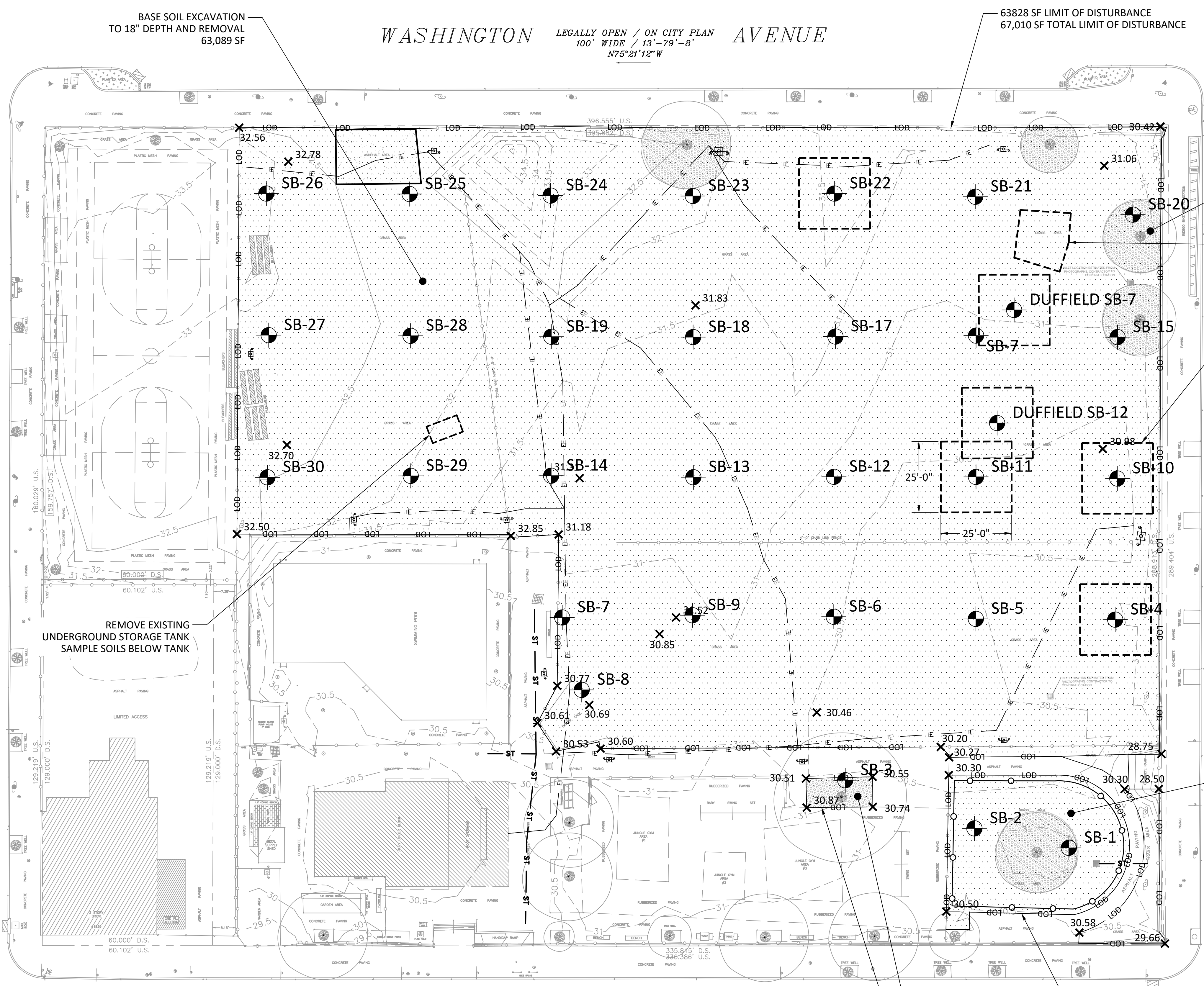
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PLOTTED BY: Mark A. Dimonte
LAYOUT TAB: C-311 EROSION AND SEDIMENTATION CONTROL DETAILS

19TH NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26"-12"
S14°55'08"W

WASHINGTON LEGALLY OPEN / ON CITY PLAN
100' WIDE / 13'-79'-8"
N75°21'12"W

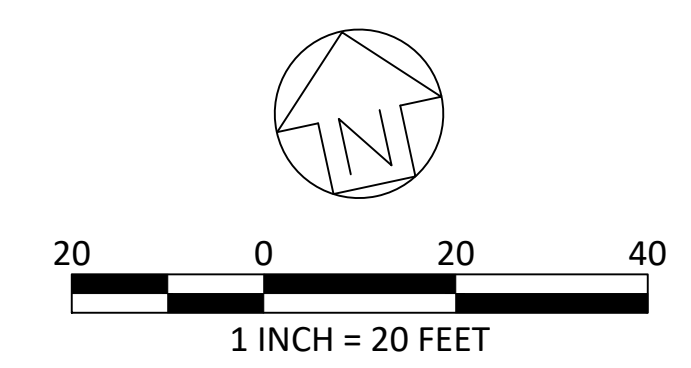
ELLSWORTH LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26"-12"
S75°19'51"E

18TH NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26"-12"
N14°55'55"E



LEGEND

- LOD — LIMIT OF DISTURBANCE
- SB-14 — SOIL TESTING LOCATION
- [Dotted Area] — EXTENT OF SOIL REMOVAL
- [Dashed Line] — EXTENDED EXCAVATION
- E — EXISTING ELECTRIC LINE
- ST — EXISTING STORM LINE



VACUUM EXCAVATION AROUND TREE ROOTS. SEE DEMO PLAN

CONTRACTOR TO INVESTIGATE AREA FOR POTENTIAL ANOMALIES DURING SOILS REMOVAL

EXTEND EXCAVATION DEPTH BEYOND 18" SEE NOTES FOR DEPTH OF EXTENDED EXCAVATION

BASE SOIL EXCAVATION TO 18" DEPTH AND REMOVAL 2,937 SF

BASE SOIL EXCAVATION TO 18" DEPTH AND REMOVAL 245 SF

2,937 SF LIMIT OF DISTURBANCE 67,010 SF TOTAL LIMIT OF D

NOTES:

- INSTALL HIGH VISIBILITY GEOTEXTILE AT THE BOTTOM ACROSS ENTIRE AREA WHERE CONTAMINATED SOILS HAVE BEEN EXCAVATED TO CREATE BARRIER BETWEEN IN-SITU SOILS AND CLEAN FILL.
- EXISTING SITE CONDITIONS, TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON HAS BEEN COMPILED FROM EXISTING INFORMATION AND FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY HAVE CHANGED AND UNDOCUMENTED CONDITIONS MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE WORK COMMENCES. THE CONTRACTOR MUST BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO BEGINNING WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE CONSTRUCTION ACTIVITIES HAVE COMMENCED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, EXACT LOCATIONS, SIZE AND ELEVATIONS OF ALL UTILITIES OR OTHER STRUCTURES BEFORE STARTING WORK. MANY UNDERGROUND UTILITY LOCATIONS AS SHOWN ARE APPROXIMATE, AND INFORMATION MAY BE MISSING.
- EXCAVATE BELOW ELECTRICAL CONDUITS, DEPTH UNKNOWN, AND INSTALL GEOTEXTILE BARRIER BELOW TO ALLOW FOR FUTURE MAINTENANCE.
- SB-4, SB-10, SB-11, AND SB-22: EXCAVATE AND REMOVE SOIL AT DOWN TO 24" DEPTH IN A 25' X 25' AREA SURROUNDING THE LOCATION OF THE BORINGS. NO FURTHER SAMPLING WILL BE REQUIRED.
- DUFFIELD SB-7 AND SB-12: EXCAVATE AND REMOVE SOIL AT DOWN TO 48" DEPTH IN A 25' X 25' AREA SURROUNDING THE LOCATION OF THE BORING. SAMPLE THE AREA AGAIN TO DETERMINE IF THE HOTSPOT HAS BEEN SUFFICIENTLY REDUCED. IF THE HOTSPOT STILL REMAINS, REMOVE AN ADDITIONAL 24 INCHES OVER THE 25' X 25' AREA AND SAMPLE AGAIN. CONDUCT DISCUSSIONS WITH THE CITY TO DETERMINE WHEN TO HALT SOIL REMOVAL EFFORTS.
- DUFFIELD SB-7: CONTRACTOR SHOULD EXCAVATE AT DOWN TO 48" DEPTH AND BE PREPARED TO EXCAVATE ADDITIONAL SOIL NEAR THE TEST LOCATION DUE TO ELEVATED LEAD CONCENTRATIONS. CONTRACTOR TO DETERMINE IF SOIL IS HAZARDOUS OR NON-HAZARDOUS.

Sample ID	Max depth of noncompliance	Arsenic (mg/kg)	Lead (mg/kg)	Benzo(a)pyrene (µg/kg)	Bis(2-chloroethyl) Ether (µg/kg)	Dibenz(a,h)anthracene (µg/kg)
SB-1	18"-24"	23	--	--	--	--
SB-2	--	--	--	--	--	--
SB-3	48"-72"	--	--	<4140	<1410	<1410
SB-4	24"-48"	16.7	12000	--	--	--
SB-5	0"-6"	--	--	3450	--	--
SB-6	18"-24"	--	475	--	--	--
SB-7	18"-24"	16.4	608	--	--	--
SB-8	--	--	--	--	--	--
SB-9	18"-24"	--	--	2990	--	--
SB-10	18"-24"	57.1	3320	834	--	--
SB-11	24"-48"	95.9	1620	--	--	--
SB-12	18"-24"	12.6	--	<4320	<4320	<4320
SB-13	--	--	--	--	--	--
SB-14	24"-48"	15.6	--	1510	--	--
SB-15	24"-48"	--	501	--	--	--
SB-16	18"-24"	25	--	--	--	--
SB-17	24"-48"	13.9	882	--	--	--
SB-18	0"-6"	--	--	1760	--	--
SB-19	0"-6"	16.8	--	--	--	--
SB-20	18"-24"	--	--	1510	--	--
SB-21	18"-24"	--	--	--	--	--
SB-22	18"-24"	15.8	5140	2660	--	--
SB-23	--	--	--	--	--	--
SB-24	24"-48"	12.7	527	6150	--	--
SB-25	18"-24"	20.1	--	--	--	--
SB-26	24"-48"	13.2	936	4720	--	--
SB-27	18"-24"	227	513	--	--	--
SB-28	0"-6"	42.3	--	--	--	--
SB-29	0"-6"	15.4	--	--	--	--
SB-30	18"-24"	44.1	1810	1780	--	--

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REBUILD PHILADELPHIA
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PROJECT PARTNERS:

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CIVIL ENGINEER:
meliora
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P: 610.933.0123 | www.melioradesign.com

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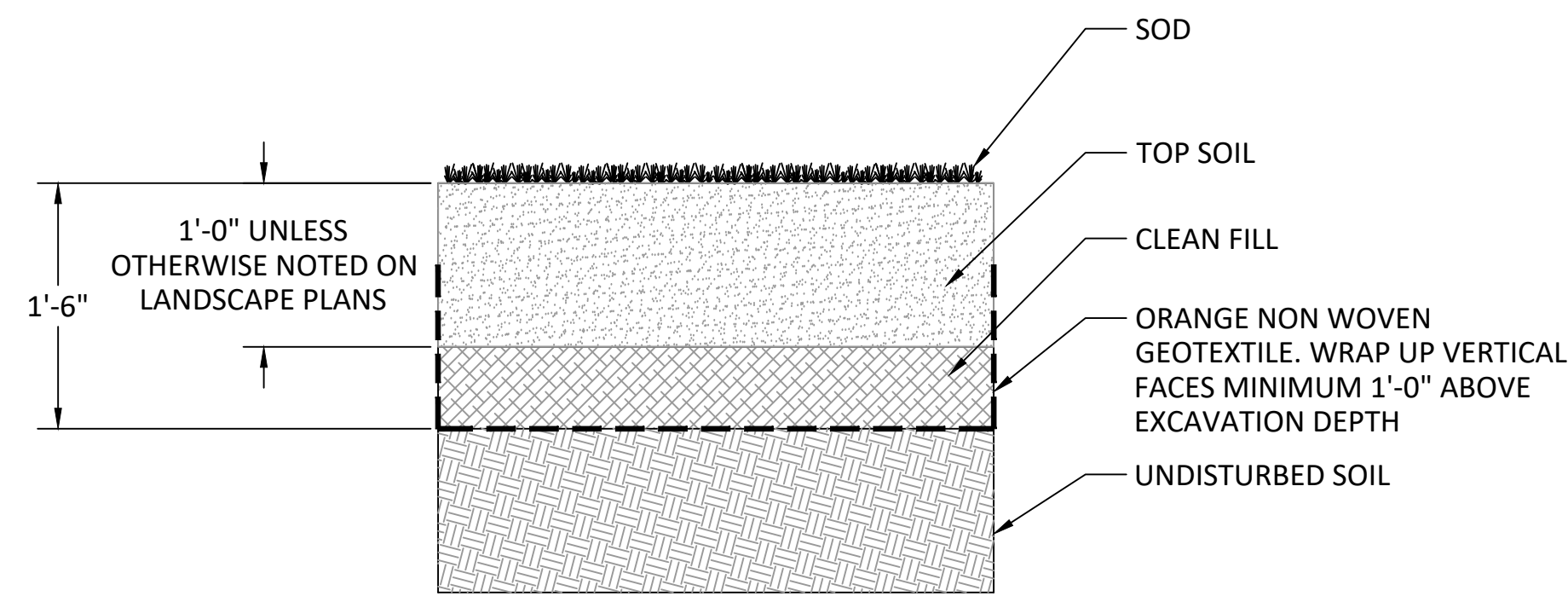
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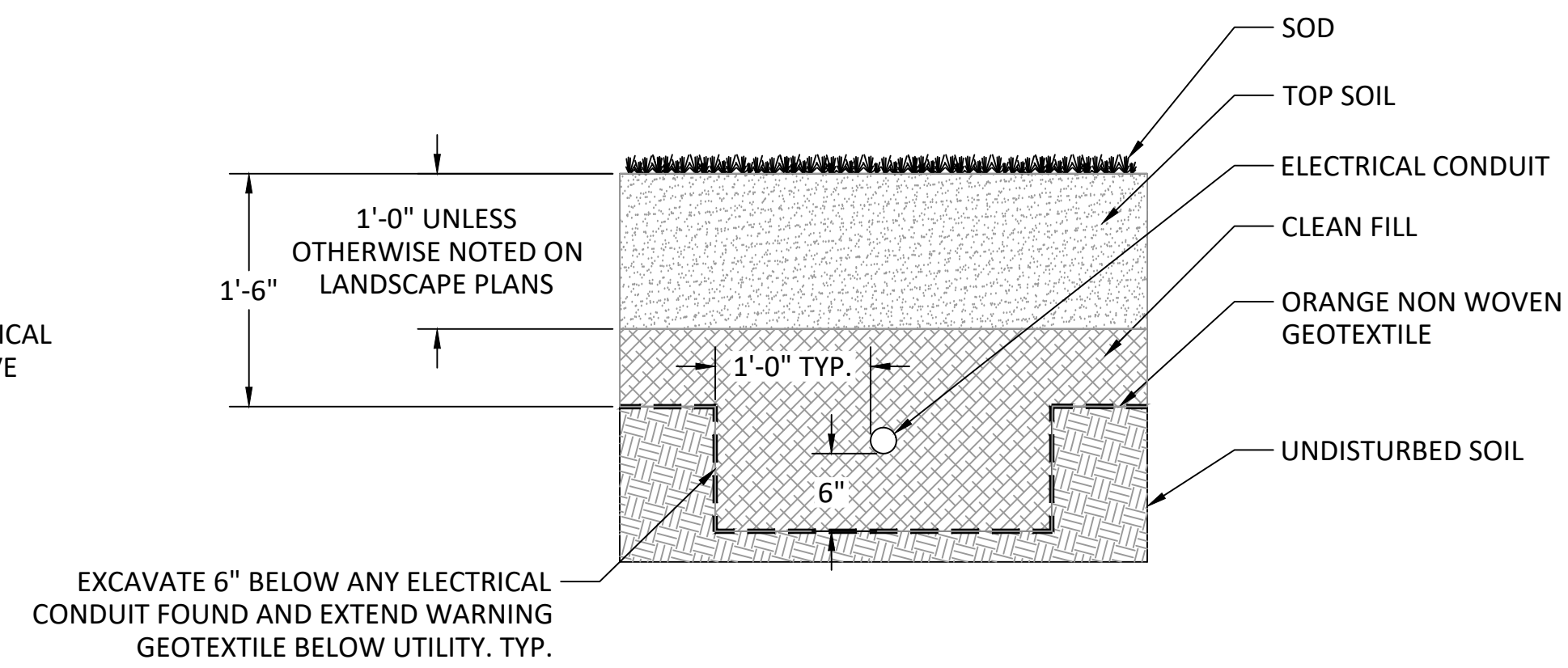
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DRAWN BY: MJR
CHECKED BY: AMM

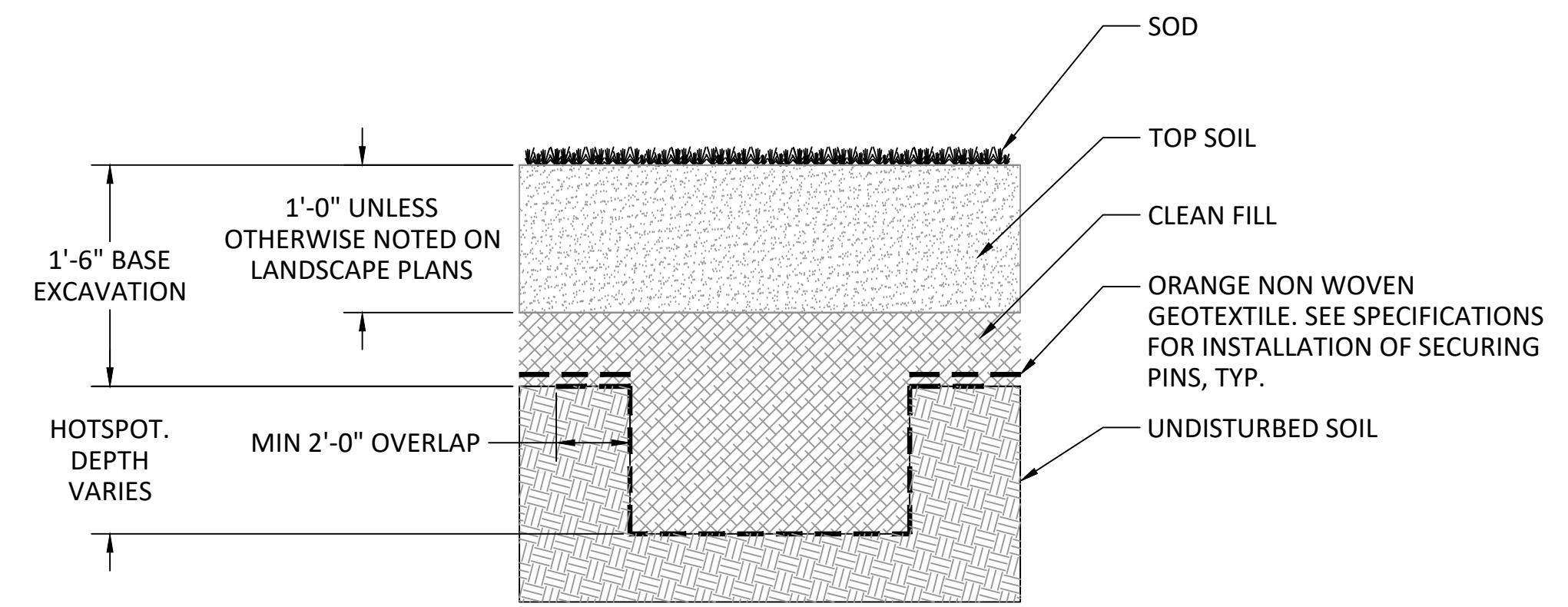
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C-321



1 TYPICAL DETAIL
C-322 WARNING GEOTEXTILE NTS



2 TYPICAL DETAIL
C-322 WARNING GEOTEXTILE AT ELECTRICAL CONDUIT NTS



3 TYPICAL DETAIL
C-322 WARNING GEOTEXTILE AT HOTSPOT NTS

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CIVIL ENGINEER:



REVISIONS:

DATE: ISSUE:

DATE	ISSUE

SEAL:



SUBMISSION:

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REMEDATION DETAILS

DATE:

02/04/2022

SCALE:

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C-322

WASHINGTON AVE

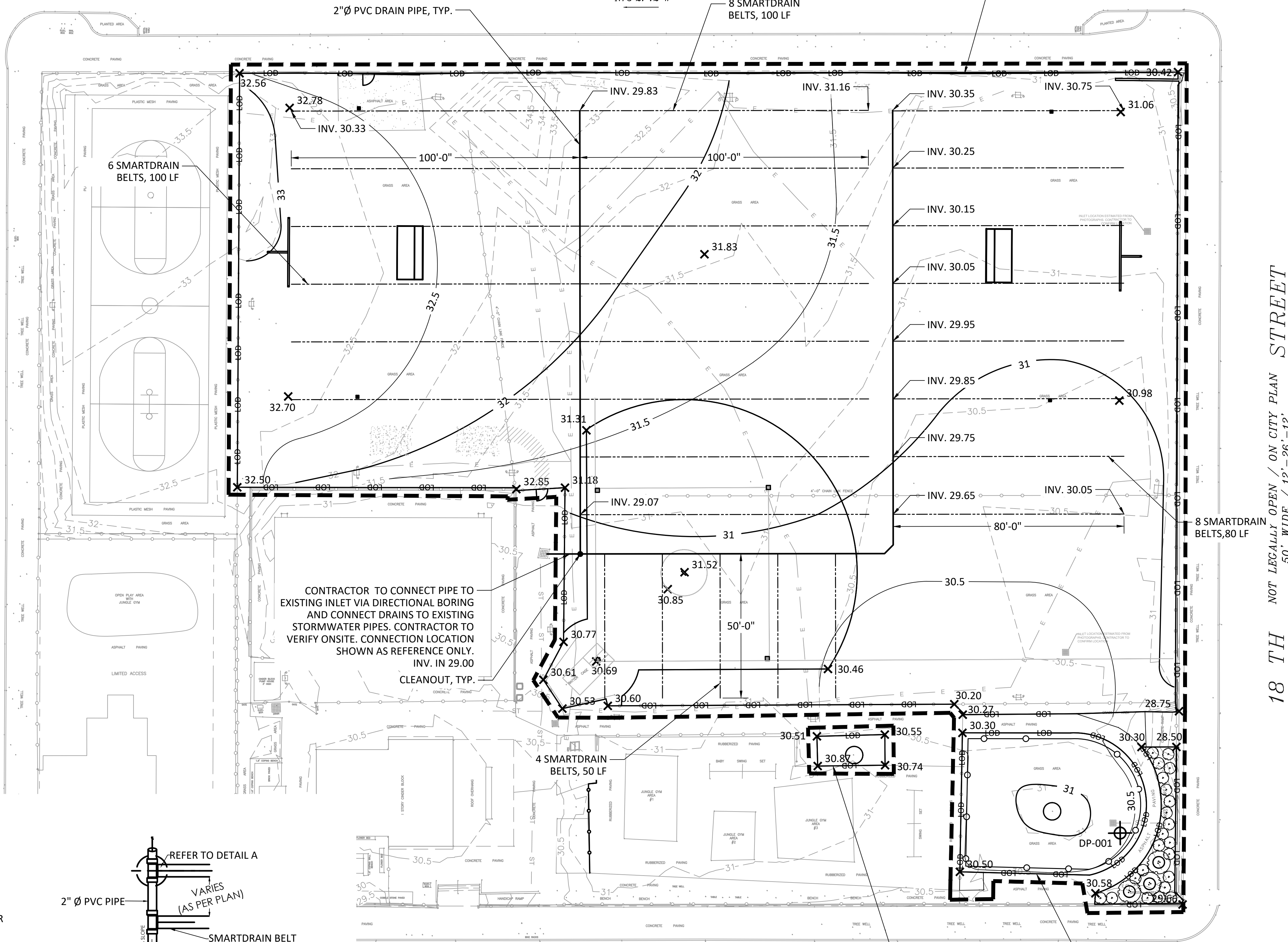
LEGALLY OPEN / ON CITY PLAN
100' WIDE / 13'-79'-8"
N75°21'12"W

63828 SF LIMIT OF DISTURBANCE
67,010 SF TOTAL LIMIT OF DISTURBANCE

- LEGEND**
- LOD ---
 - PROJECT SITE AREA ---
 - 31 --- PROPOSED MAJOR CONTOUR
 - 30.5 --- PROPOSED MINOR CONTOUR
 - GROUND LEVEL IMPERVIOUS ---
 - DP-001 DISCHARGE POINT
 - SOLID PIPE ---
 - SMARTDRAIN ---
 - CLEANOUT

19TH NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26'-12"
S14°55'08"W

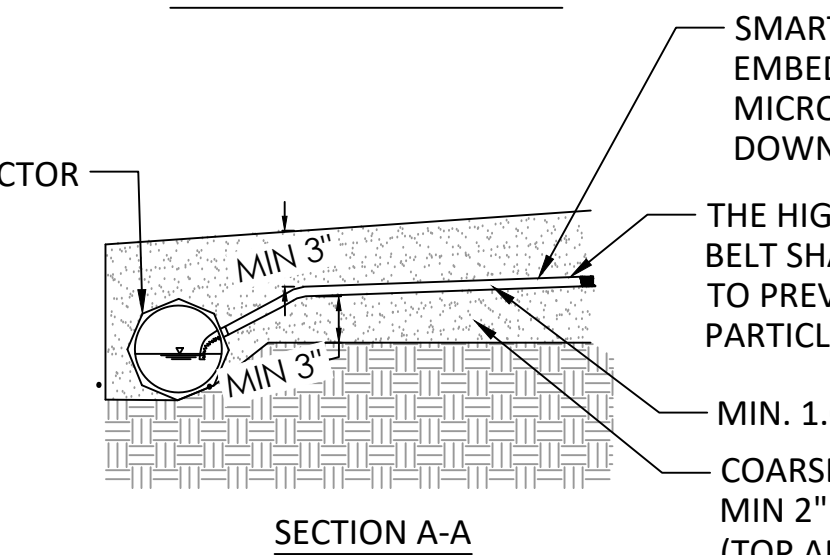
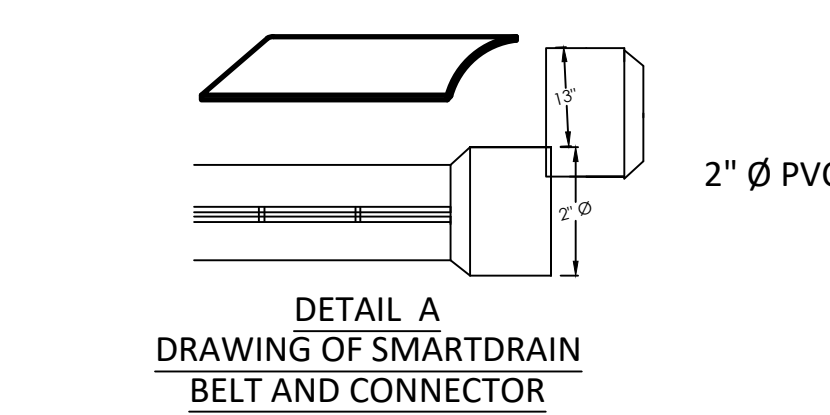
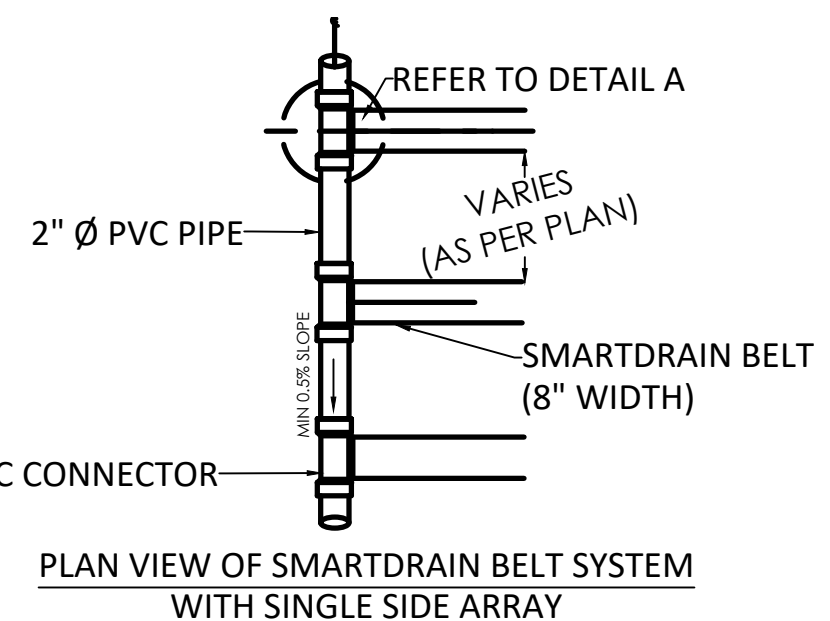
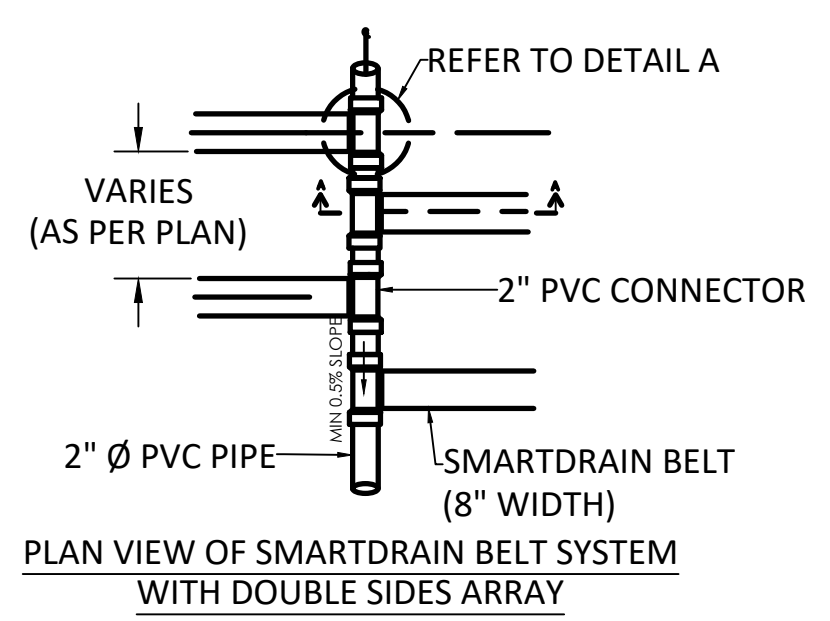
18TH NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26'-12"
N14°55'55"E



NOTES:

- WITH THE EXCEPTION OF SITES ENROLLED IN DEP'S LAND RECYCLING AND ENVIRONMENTAL REMEDIATION STANDARDS (ACT 2) PROGRAM AND SITES WITH DEP WASTE MANAGEMENT GENERAL PERMIT (WMGR096) APPROVAL TO USE REGULATED FILL, ALL FILL MATERIAL IMPORTED TO THE SITE MUST MEET THE DEFINITION OF CLEAN FILL, AS DEFINED IN THE NPDES PERMIT. REGULATED FILL MAY ONLY BE USED ON ACT 2 SITES, IN ACCORDANCE WITH STANDARDS ESTABLISHED BY THAT PROGRAM, AND ON SITES WITH DEP GENERAL PERMIT WMGR096 APPROVAL.
- THE PERMITTEE SHALL CONDUCT ENVIRONMENTAL DUE DILIGENCE TO VERIFY THAT SOILS EXCAVATED ON-SITE THAT IS USED TO ESTABLISH FINAL GRADE AND FILL IMPORTED TO THE PROJECT SITE IS CONSIDERED CLEAN FILL. IF DUE DILIGENCE RESULTS IN EVIDENCE OF A RELEASE, AS DEFINED IN DEP'S MANAGEMENT OF FILL POLICY (285-2182-773), THAT HAS AFFECTED THE FILL MATERIAL, THE PERMITTEE SHALL TEST THE MATERIAL TO DETERMINE WHETHER THE MATERIAL QUALIFIES AS CLEAN FILL, AND DEP'S ELECTRONIC FORM FP-001 (CERTIFICATION OF CLEAN FILL) MUST BE COMPLETED, RETAINED BY THE PERMITTEE OR THE PROPERTY OWNER ON-SITE, AND BE MADE AVAILABLE TO DEP/CCD UPON REQUEST.
- IF THE PERMITTEE BECOMES AWARE DURING EARTH DISTURBANCE ACTIVITIES THAT SOILS IN THE AREA OF EARTH DISTURBANCE CONTAIN CONCENTRATIONS OF REGULATED SUBSTANCES EXCEEDING THE RESIDENTIAL MEDIUM-SPECIFIC CONCENTRATIONS FOR SOIL IN 25 PA. CODE CHAPTER 250, THAT WERE NOT PREVIOUSLY DISCLOSED TO DEP/CCD, THE PERMITTEE SHALL NOTIFY DEP/CCD IN ACCORDANCE WITH PART A I.I.D. OF THE NPDES PERMIT AND CEASE EARTH DISTURBANCE ACTIVITIES IN AREAS OF KNOWN SOIL CONTAMINATION UNTIL AUTHORIZED TO RESUME BY DEP/CCD.
- IF THE PERMITTEE ENCOUNTERS GROUNDWATER DURING EXCAVATION THAT THE PERMITTEE KNOWS OR HAS REASON TO BELIEVE IS CONTAMINATED BY ONE OR MORE POLLUTANTS AT CONCENTRATIONS EXCEEDING WATER QUALITY CRITERIA CONTAINED IN 25 PA. CODE CHAPTER 93, THAT WERE NOT PREVIOUSLY DISCLOSED TO DEP/CCD, THE PERMITTEE SHALL NOTIFY DEP/CCD IN ACCORDANCE WITH PART A I.I.D. OF THE NPDES PERMIT. CONTAMINATED GROUNDWATER MAY NOT BE PUMPED OR OTHERWISE DIVERTED TO SURFACE WATERS UNLESS SPECIFICALLY AUTHORIZED BY DEP/CCD.

CONTRACTOR TO CONNECT PIPE TO EXISTING INLET VIA DIRECTIONAL BORING AND CONNECT DRAINS TO EXISTING STORMWATER PIPES. CONTRACTOR TO VERIFY ONSITE. CONNECTION LOCATION SHOWN AS REFERENCE ONLY.
INV. IN 29.00
CLEANOUT, TYP.



UNLESS OTHERWISE APPROVED BY THE ENGINEER, FINE AGGREGATE FOR THE SMART DRAIN UNDERDRAIN SYSTEM SHALL BE CLEAN COARSE (0.5-2 MM) DRAINAGE SAND WITH 100% PASSING THE NO. 10 SIEVE AND 0% PASSING THE NO. 40 SIEVE.

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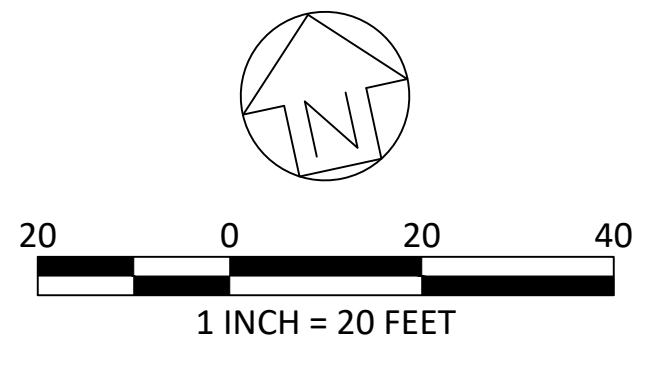
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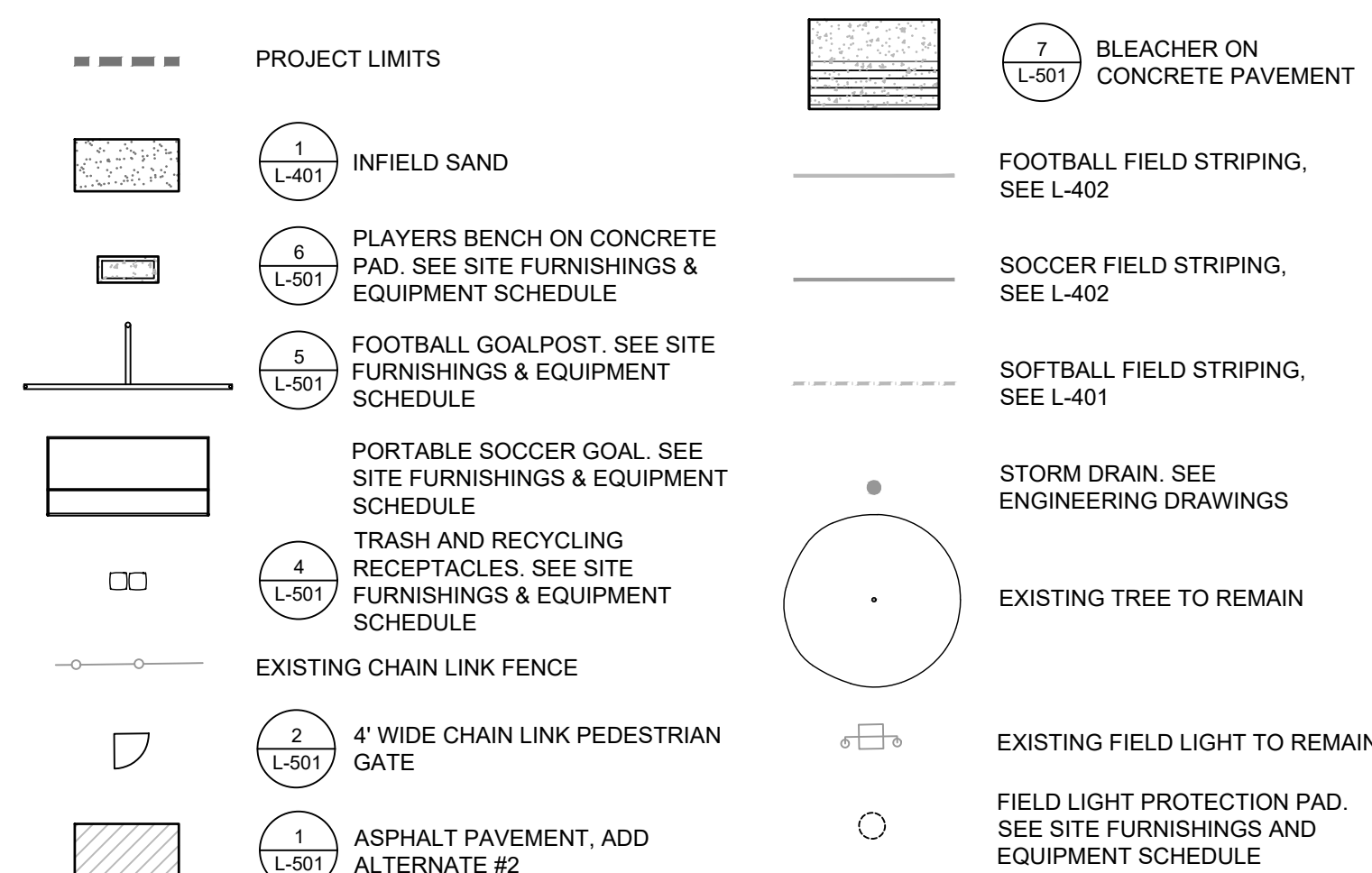
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DATE: 02/04/2022	DRAWING NO: C-401
SCALE: 1"=20'	
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LEGEND:



SITE LAYOUT, MATERIALS, AND FURNISHINGS NOTES:

- SITE SURVEY DATA WAS PROVIDED BY MELIORA DESIGN TO SALT DESIGN STUDIO ON MARCH 15, 2021.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
- VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO ENGINEER AND LANDSCAPE ARCHITECT.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- CONTACT UTILITY COMPANIES AS REQUIRED BY STATE AND LOCAL REGULATIONS BEFORE DIGGING TO LOCATE AND MARK EXISTING UTILITIES.
- COORDINATE ALL UTILITY WORK WITH THE LOCATIONS AND FINAL GRADES OF ALL OTHER WORK AS SHOWN ON THE ENGINEER'S DRAWINGS. WHERE CONFLICTS OCCUR, NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF UTILITIES TO MAKE ADJUSTMENTS AS REQUIRED. IF NEW UTILITIES HAVE BEEN INSTALLED IN CONFLICT WITH CURBS, WALLS, PAVING, OR OTHER STRUCTURES AT DEPTHS TOO SHALLOW FOR PROPER COVER BENEATH NEW GRADES OR INCORRECT FINISHED GRADE, THEY SHALL BE ADJUSTED OR REMOVED AND REPLACED AS NECESSARY AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, OBJECT, FENCE, CENTERLINE OF FIELD STRIPING, OR OBJECT CENTERLINE, UNLESS NOTED OTHERWISE NOTED.
- ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
- LAY OUT SOFTBALL FIELD PER PENNSYLVANIA INTERSCHOLASTIC ATHLETIC ASSOCIATION OFFICIAL SOFTBALL FIELD GUIDELINES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE FURNISHINGS, EQUIPMENT AND FIELD STRIPING ACCORDING TO DRAWINGS AND COORDINATED WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY CIRCUMFERENCE OF FIELD LIGHT POLES TO RECEIVE PROTECTION PAD AND COORDINATE WITH MANUFACTURER FOR PADDING SIZES. MIN. HEIGHT OF PADDING SHALL BE 6'.
- CONTRACTOR AND OWNER OR LANDSCAPE ARCHITECT SHALL REVIEW CONDITION AND LOCATIONS OF ALL EXISTING WASTE RECEPTACLES IN FIELD. CONTRACTOR SHALL RELOCATE WASTE RECEPTACLES IN FIELD AS DIRECTED BY OWNER OR LANDSCAPE ARCHITECT. CONTRACTOR SHALL RECYCLE OR LEGALLY DISPOSE WASTE RECEPTACLES DETERMINED TO BE DAMAGED AND NOT SUITED FOR FURTHER USE.
- ADD ALTERNATE #4: CONTRACTOR AND OWNER SHALL REVIEW CONDITION OF EXISTING TIE WIRES SECURING CHAIN LINK FABRIC TO FENCE POSTS. CONTRACTOR SHALL REPAIR/REPLACE/REATTACH TIE WIRES AS DIRECTED BY OWNER TO SECURE CHAIN LINK FABRIC TO POSTS.
- ADD ALTERNATE #6: INSTALL NEW BALL PROTECTION NETTING ON AND BETWEEN 3 EXISTING POLES ALONG FENCELINE. SUBMIT PRODUCT DATA FOR NETTING TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL SUBMIT PRODUCT DATA FOR ALL SITE FURNISHINGS AND EQUIPMENT TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT.

SITE FURNISHINGS AND EQUIPMENT SCHEDULE:

ITEM	QTY	PRODUCT NAME & MODEL NUMBER	MANUFACTURER	OPTIONS, FINISHES & COLORS	INSTALLATION
FOOTBALL GOALPOST	1	FBGP-520, ALUMINUM FOOTBALL GOAL POST, HIGH SCHOOL WIDTH (SOLD AS PAIR)	JAYPRO SPORTS	GOAL POST COLOR: YELLOW; GROUND SLEEVE HEIGHT ADJUSTER (FBGPGS-8, SOLD AS PAIR)	SEMI-PERMANENT GROUND SLEEVE WITH HEIGHT ADJUSTER. INSTALL PER MANUFACTURER'S INSTRUCTIONS
FOOTBALL GOALPOST PROTECTOR PAD	1	PPP-800, 6" THICK PROTECTOR PAD (SOLD AS PAIR)	JAYPRO SPORTS	COLOR: BLACK	PER MANUFACTURER'S INSTRUCTIONS
FOOTBALL GOALPOST GROUND SLEEVE HEIGHT ADJUSTER	1	FBGPGS-8 (SOLD AS PAIR)	JAYPRO SPORTS		SEMI-PERMANENT GROUND SLEEVE WITH HEIGHT ADJUSTER. INSTALL AT FOOTBALL GOALPOSTS PER MANUFACTURER'S INSTRUCTIONS
END ZONE PLYLONS	1	FBPYN, FREE STANDING PLYLONS (SET OF 4)	JAYPRO SPORTS	COLOR: ORANGE	FREESTANDING
PORTABLE SOCCER GOAL	1	CC185, 6'-6" H X 18'-6" W X 2' B X 6" D CLASSIC CLUB GOAL (SET OF 2)	JAYPRO SPORTS	PACKAGE INCLUDES NETS AND PORTABLE IN-GROUND SAS-95 ANCHORS	FREESTANDING
SOCCER GOAL WHEEL KIT	1	CSGWK (SET OF 2)	JAYPRO SPORTS		INSTALL ON GOALS PER MANUFACTURER'S INSTRUCTIONS
PORTABLE SOCCER GOAL ANCHOR	2	SWB-454 SANDBAG ANCHOR, SADDLE BAG WITH STEEL HANDLE (SET OF 4)	JAYPRO SPORTS	MANUFACTURER STANDARD	FILL WITH SAND
BASE	1	BB-200 BASEBALL BASE SET - FLEX STYLE (15" L X 15" W X 3" H) (SET OF 3)	JAYPRO SPORTS	MANUFACTURER STANDARD	PER MANUFACTURER'S INSTRUCTIONS
HOME PLATE	1	HP-200 HOME PLATE - MAJOR LEAGUE (1 1/2" ANCHOR)	JAYPRO SPORTS	MANUFACTURER STANDARD	PER MANUFACTURER'S INSTRUCTIONS
PITCHING RUBBER	1	PR-424 24" REMOVABLE PITCHING RUBBER	JAYPRO SPORTS	MANUFACTURER STANDARD	PER MANUFACTURER'S INSTRUCTIONS
FIELD LIGHT PROTECTION PAD	8	2" THICK HEXAGON PADDING	RESILITE	GROMMET TABS FOR ANTI-THEFT PROTECTION; COLOR: BLACK	PER MANUFACTURER'S INSTRUCTIONS
PLAYERS BENCH	4	BENCH 105-60D	DU MOR	6' BACKLESS BENCH, DOUGLAS FIR	S-1 EMBEDMENT PER MANUFACTURER'S INSTRUCTIONS
BLEACHERS	2	RECREATION RESOURCE USA LSG 3-15 FRAME SET	RECREATION RESOURCE	MANUFACTURER STANDARD GALVANIZED STEEL FRAME. SEE BLEACHER DETAIL FOR SEATING AND FOOT PLANK REQUIREMENTS	PERMANENT INSTALLATION ON CONCRETE FOUNDATION PER MANUFACTURER'S INSTRUCTIONS
TRASH RECEPTACLE	1	157-32-FTO	DU MOR	32-GALLON STEEL RECEPTACLE, TOP DEPOSIT; CONTAINER COLOR: BLACK	ANCHORED PER MANUFACTURER'S INSTRUCTIONS
RECYCLING RECEPTACLE	1	157-32-FTO-RC	DU MOR	32-GALLON STEEL RECEPTACLE, TOP DEPOSIT; RECYCLE LID; CONTAINER COLOR: RECYCLE BLUE	ANCHORED PER MANUFACTURER'S INSTRUCTIONS

PROPERTY ADDRESS:

CHEW PLAYGROUND
1800 WASHINGTON AVE
PHILADELPHIA, PA 19146

PROPERTY OWNER:



PHILADELPHIA PARKS & RECREATION DEPARTMENT
1515 ARCH STREET
SUITE #10
PHILADELPHIA, PA 19102

PROJECT MANAGER:



REBUILD PHILADELPHIA
1515 ARCH STREET
MEZZANINE LEVEL
PHILADELPHIA, PA 19107

PROJECT PARTNERS:

SALT DESIGN STUDIO
4100 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19127

PROJECT TITLE:

CHEW PLAYGROUND FIELD RENOVATION

CIVIL ENGINEER:



REVISIONS:

DATE: ISSUE:

SEAL:

SUBMISSION:

BID DOCUMENTS

DRAWING TITLE:

SITE LAYOUT MATERIALS & FURNISHINGS PLAN

DATE:

DRAWING NO:

02/04/22

L-101

SCALE:

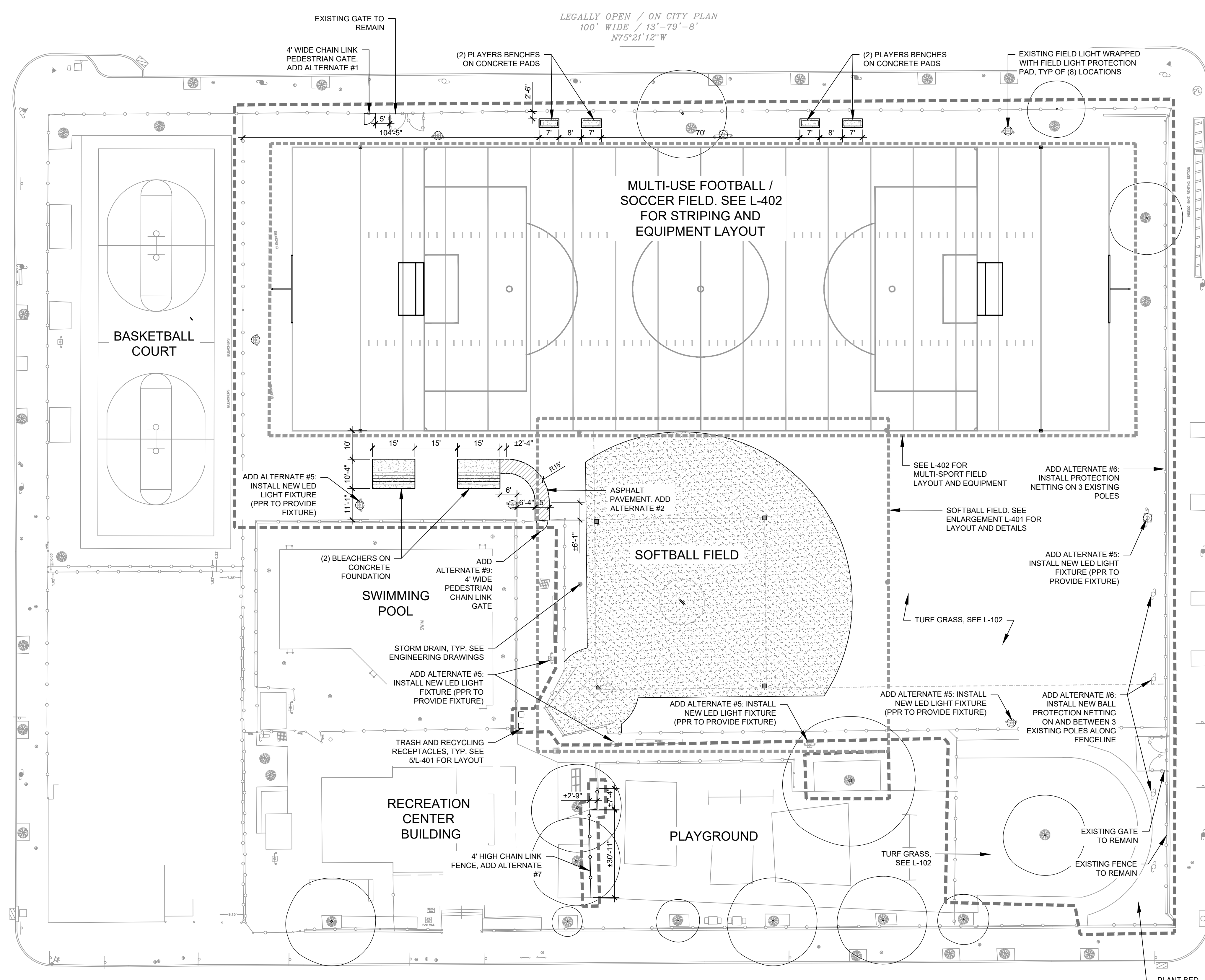
AS NOTED

DRAWN BY:

SB/GA

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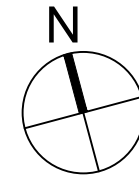
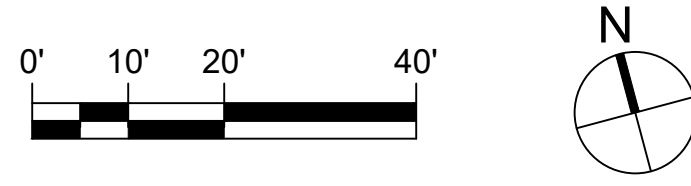
NOT LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26'-12"
S14°55' 08" W

LEGALLY OPEN / ON CITY PLAN
100' WIDE / 13'-79'-8"
N75°21' 12" W

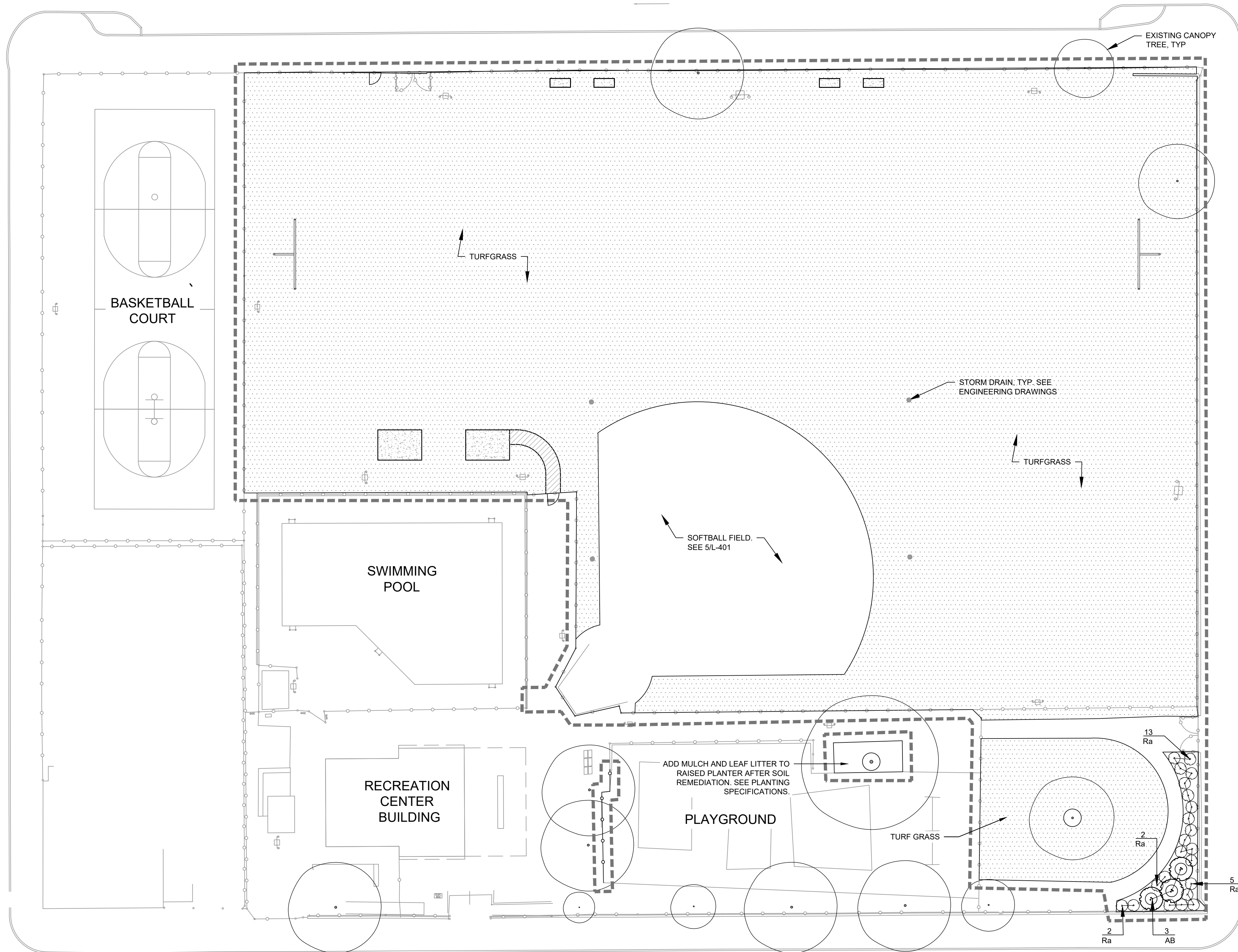
LEGALLY OPEN / ON CITY PLAN
50' WIDE / 12'-26'-12"
S75°19' 51" E

1 SITE LAYOUT, MATERIALS & FURNISHINGS PLAN

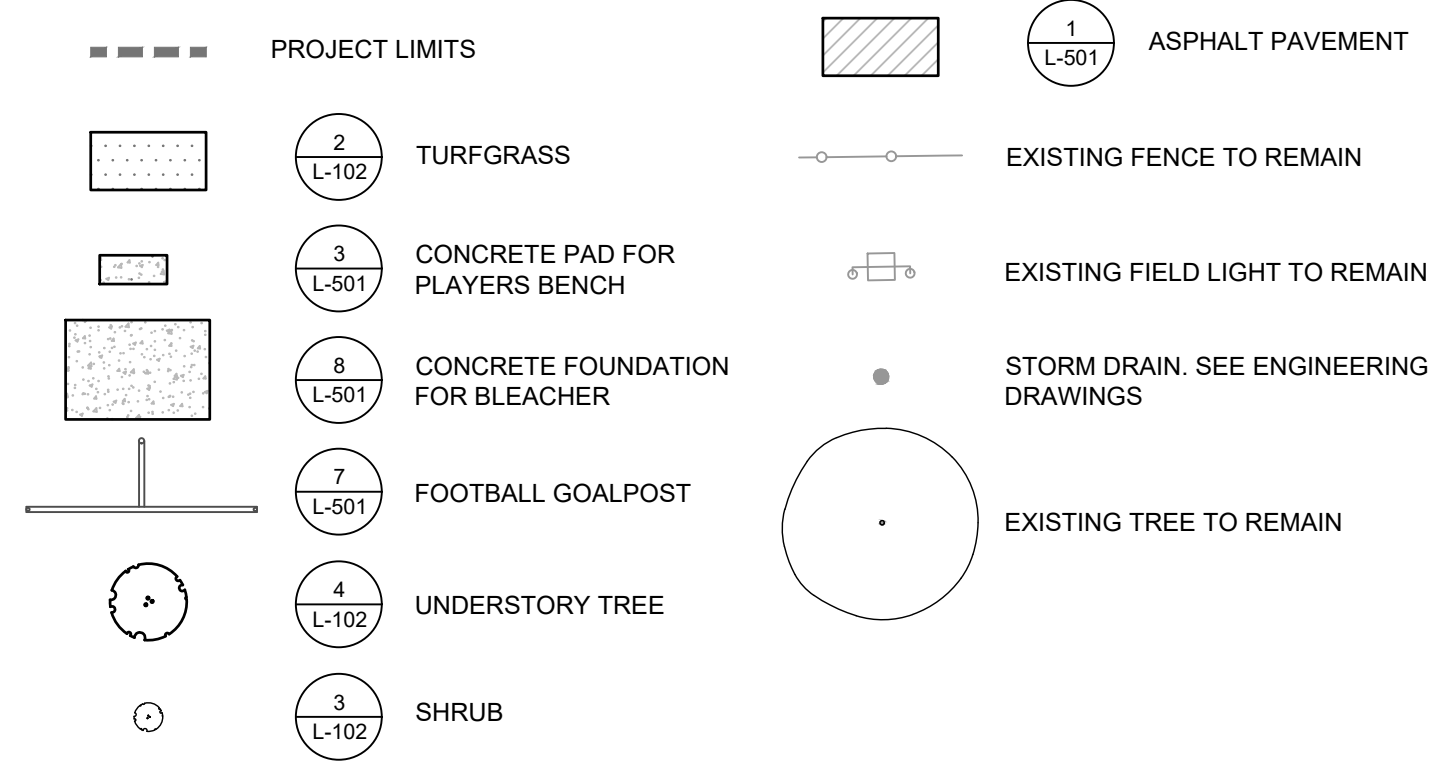
SCALE: 1" = 20'-0"



LEGALLY OPEN / ON CITY PLAN
100' WIDE / 13'-79'-8"
N75°21'12"W



LEGEND:

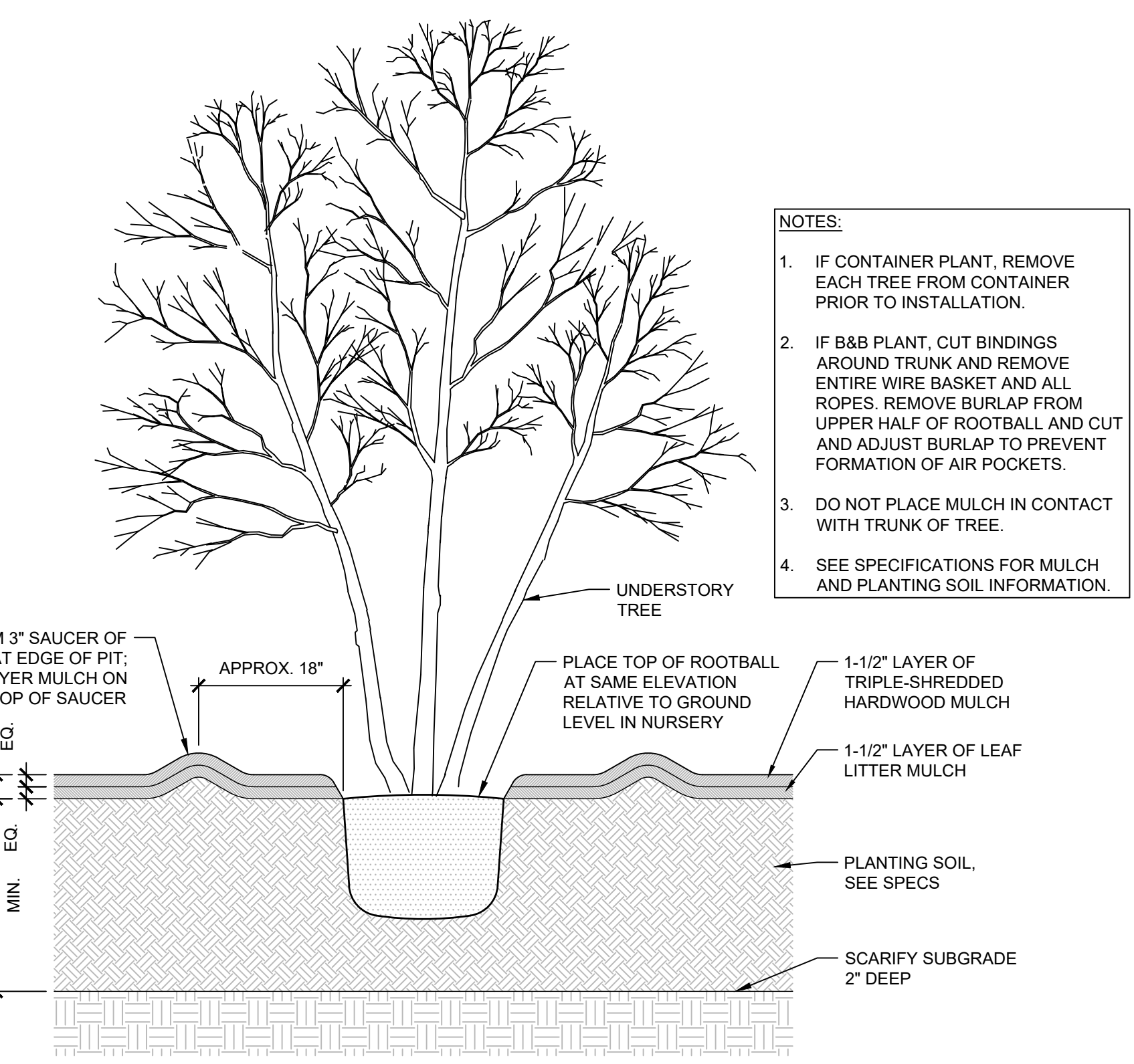


SITE PLANTING NOTES:

- SITE SURVEY DATA WAS PROVIDED BY MELIORA DESIGN TO SALT DESIGN STUDIO ON MARCH 15, 2021.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND SUBTERRANEAN ELEMENTS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR RELOCATION INSTRUCTIONS IF A PLANT IS LOCATED WITHIN 3'-0" OF AN UNDERGROUND UTILITY.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCING AND MEASURES AS INDICATED ON ENGINEER'S PLANS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
- ALL EXISTING GRASS AND ROOTS OF REMOVED VEGETATION SHALL BE COMPLETELY REMOVED FROM SITE PRIOR TO INSTALLATION OF NEW PLANTS.
- THERE WILL BE NO PLANT SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT THE APPROVAL OF LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER RETENTION IN TREE OR SHRUB PITS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SOIL LOSS AS INDICATED ON ENGINEER'S PLANS.
- ALL IMPORTED PLANTING SOIL MUST BE TESTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
- SEE PLANT SCHEDULE FOR PLANT SIZES, QUANTITIES, SPECIES AND CONDITION.
- TREE AND SHRUB LOCATIONS SHALL BE STAKED OR FLAGGED IN FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING PLANT INSTALLATION.
- ALL TREES SHALL HAVE MIN. 24" APPROVED PLANTING SOIL AROUND ROOTBALL. ALL SHRUBS SHALL HAVE MIN. 18" APPROVED PLANTING SOIL AROUND ROOTBALL.
- CONTRACTOR SHALL INSTALL IRRIGATION BAGS FOR ALL NEW TREES IMMEDIATELY UPON COMPLETION OF INSTALLATION.
- MULCH, COMPOST AND/OR LEAF LITTER IS TO BE INSTALLED AS INDICATED ON DETAILS AND IN SPECIFICATIONS.

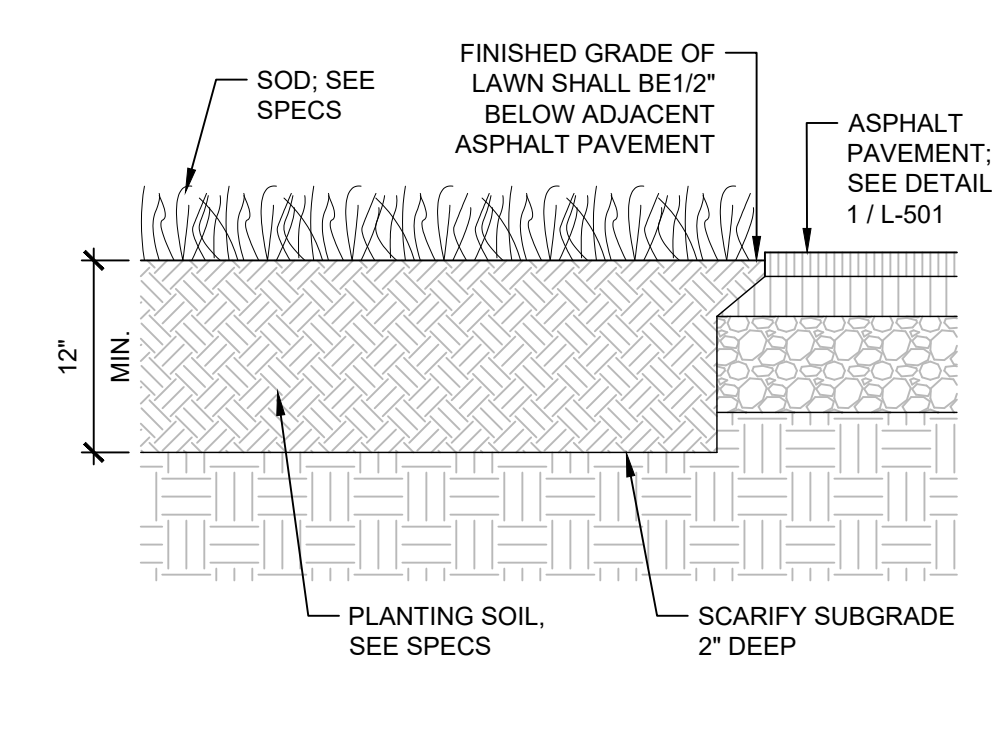
PLANT SCHEDULE:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
UNDERSTORY TREES						
AB	3	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Serviceberry	8-10' HT.	B&B, 3 CANES	AS SHOWN
3 TOTAL UNDERSTORY TREES						
SHRUBS						
Ra	22	<i>Rhus aromatica 'Gra-Low'</i>	Fragrant Sumac	#3	CONTAINER	AS SHOWN; 48" O.C.
22 TOTAL SHRUBS						



- NOTES:
- IF CONTAINER PLANT, REMOVE EACH TREE FROM CONTAINER PRIOR TO INSTALLATION.
 - IF B&B PLANT, CUT BINDINGS AROUND TRUNK AND REMOVE ENTIRE WIRE BASKET AND ALL ROPES. REMOVE BURLAP FROM UPPER HALF OF ROOTBALL AND ADJUST BURLAP TO PREVENT FORMATION OF AIR POCKETS.
 - DO NOT PLACE MULCH IN CONTACT WITH TRUNK OF TREE.
 - SEE SPECIFICATIONS FOR MULCH AND PLANTING SOIL INFORMATION.

1 PLANTING PLAN

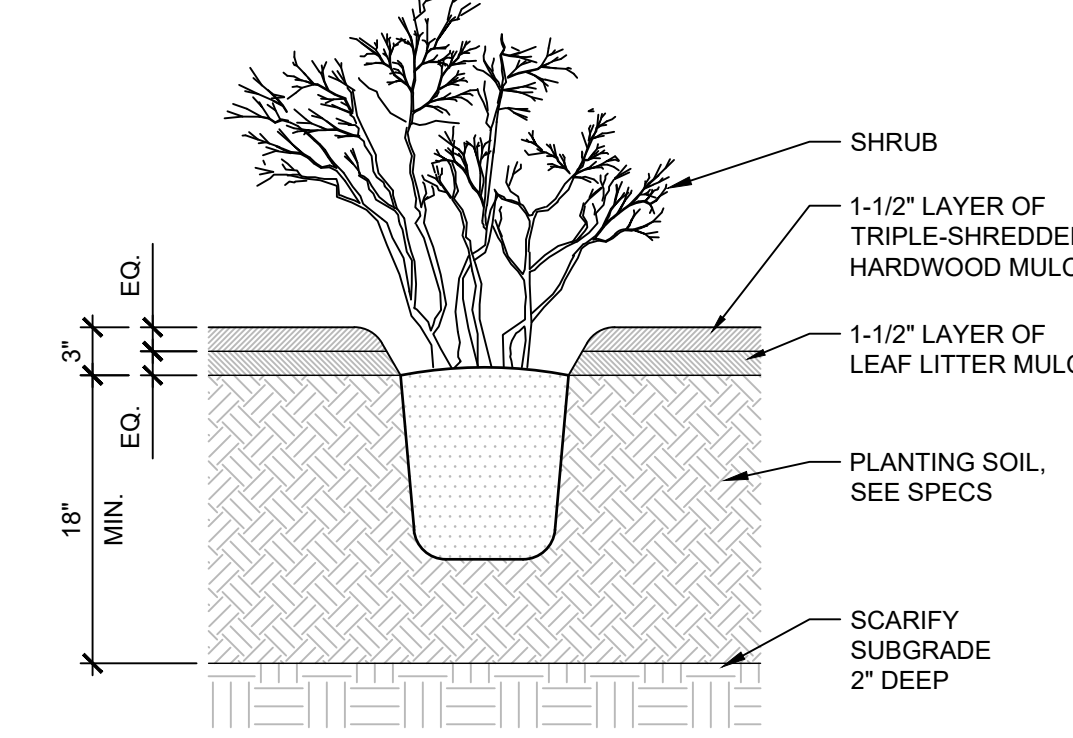


- NOTES:
- EXCAVATION WITHIN DEPAVED AREAS FOR LAWN INSTALLATION SHALL INCLUDE REMOVAL OF ENTIRE PAVING SECTION INCLUDING ASPHALT AND SUBBASE MATERIAL UNTIL SUBGRADE IS REACHED. DO NOT UNDERMINE CURBS OR PAVEMENT AREAS TO REMAIN.
 - INSTALL MINIMUM OF 12" PLANTING SOIL IN ALL AREAS TO RECEIVE LAWN.
 - GRADE LAWN UNIFORMLY.
 - SEE SPECIFICATIONS PLANTING SOIL INFORMATION.
 - SEE ENGINEERING DRAWINGS FOR SUBGRADE REQUIREMENTS UNDER PLANTING SOIL.

2 TURFGRASS PLANTING

SCALE: 1" = 1'-0"

3 SHRUB PLANTING



- NOTES:
- REMOVE EACH SHRUB FROM CONTAINER PRIOR TO INSTALLATION.
 - DO NOT PLACE MULCH IN CONTACT WITH STEMS OF SHRUBS.
 - SEE SPECIFICATIONS FOR MULCH AND PLANTING SOIL INFORMATION.

3 SHRUB PLANTING

SCALE: 1" = 1'-0"

4 UNDERSTORY TREE PLANTING

SCALE: 3/4" = 1'-0"

PROPERTY ADDRESS:
CHEW PLAYGROUND
1800 WASHINGTON AVE
PHILADELPHIA, PA 19146

PROPERTY OWNER:
PHILADELPHIA PARKS & RECREATION
PHILADELPHIA PARKS & RECREATION DEPARTMENT
1515 ARCH STREET
SUITE #10
PHILADELPHIA, PA 19102

PROJECT MANAGER:
Rebuild PHILADELPHIA
REBUILD PHILADELPHIA
1515 ARCH STREET
MEZZANINE LEVEL
PHILADELPHIA, PA 19107

PROJECT PARTNERS:
SALT DESIGN STUDIO
4100 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19127

PROJECT TITLE:
CHEW PLAYGROUND FIELD RENOVATION

CIVIL ENGINEER:
meliora
Civil, Water Resources, and Structural Engineering
259 Morgan St., Pheasantville, PA 19460
P: 610.933.0123 | www.melioradesign.com

REVISIONS:
DATE: ISSUE:

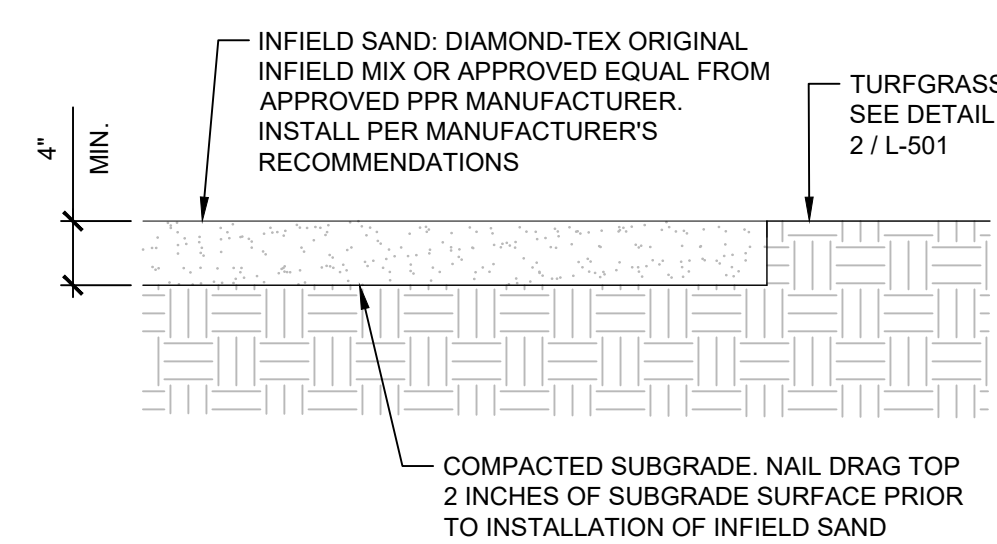
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SUBMISSION:
BID DOCUMENTS

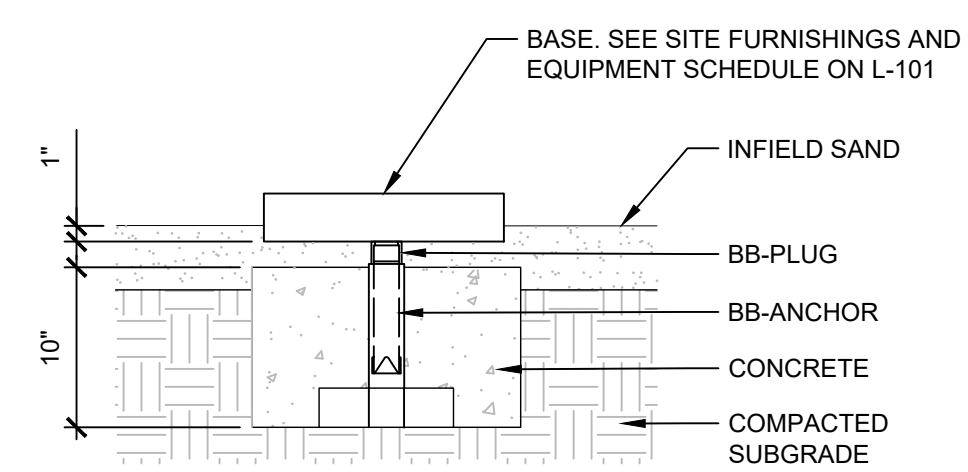
DRAWING TITLE:
PLANTING PLAN AND PLANTING DETAILS

DATE: 02/04/22
SCALE: AS NOTED
DRAWN BY: SB/GA
CHECKED BY: SPS

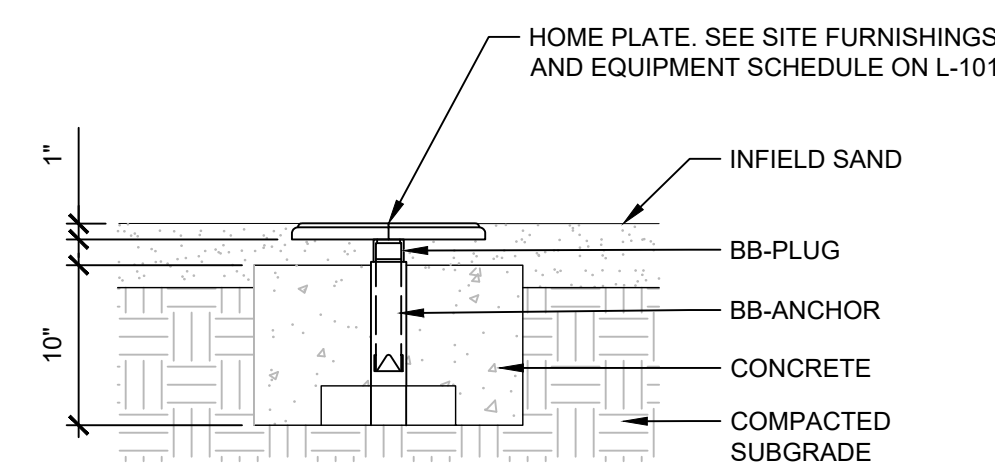
DRAWING NO:
L-102



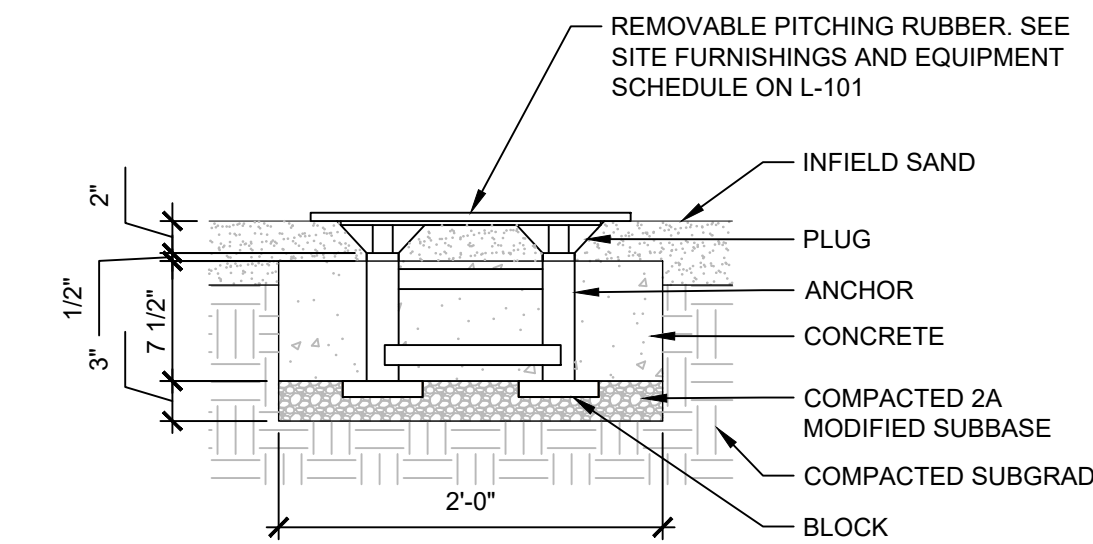
1 INFIELD SAND SCALE: 1"=1'-0"



2 BASE SCALE: 1"=1'-0"



3 HOME PLATE SCALE: 1"=1'-0"



4 PITCHING RUBBER SCALE: 1"=1'-0"

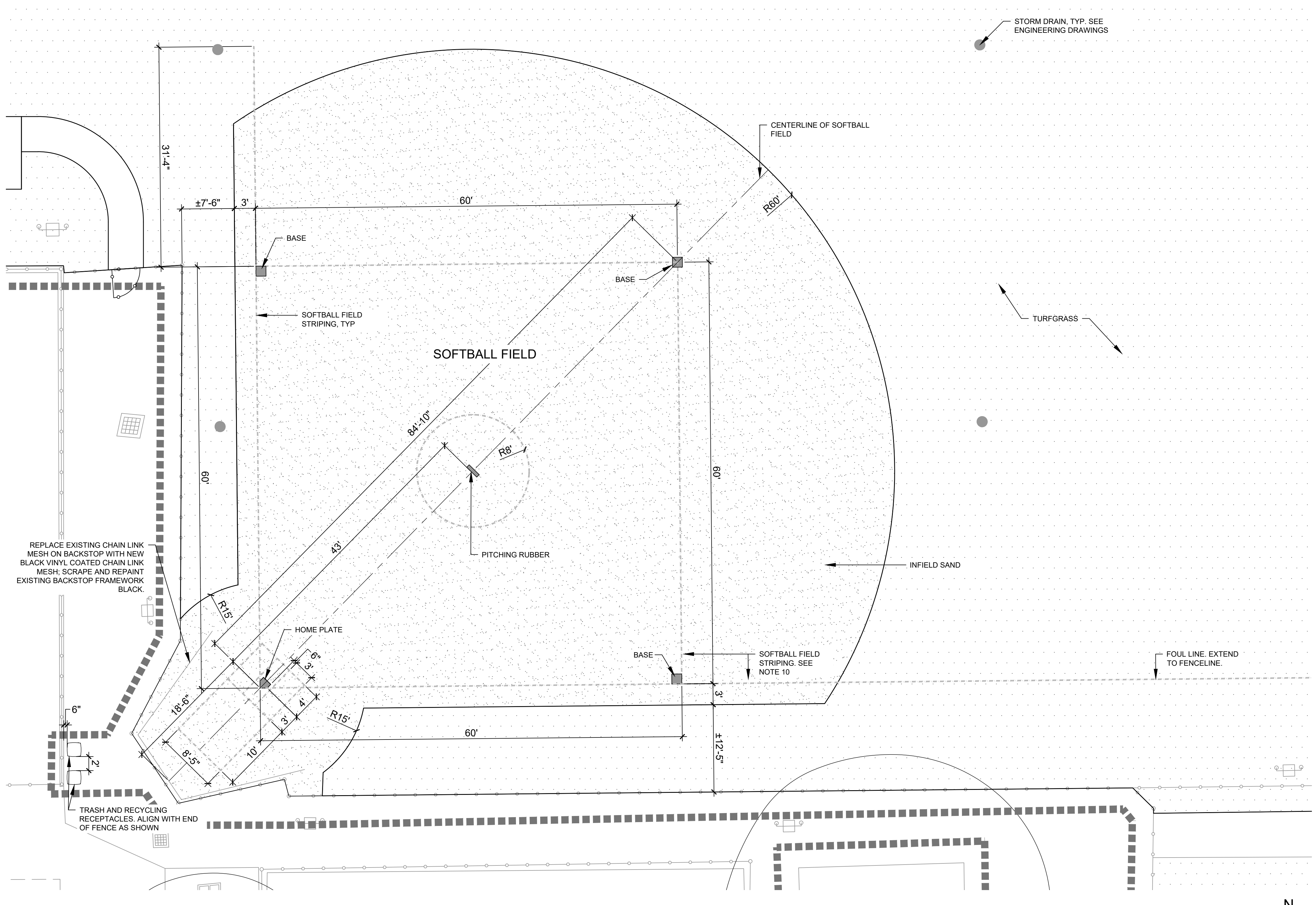
SOFTBALL FIELD INSTALLATION NOTES:
 INSTALL BASES, HOME PLATE, AND PITCHING RUBBER PER MANUFACTURER'S INSTRUCTIONS.

LEGEND:

- ■ ■ ■ PROJECT LIMITS
- 1 L-401** INFIELD SAND
- 2 L-102** TURFGRASS
- 4 L-501** TRASH AND RECYCLING RECEPTACLES. SEE SITE FURNISHINGS & EQUIPMENT SCHEDULE
- — — — — EXISTING CHAIN LINK FENCE
- EXISTING FIELD LIGHT TO REMAIN
- STORM DRAIN. SEE ENGINEERING DRAWINGS

SOFTBALL FIELD ENLARGEMENT NOTES

1. SITE SURVEY DATA WAS PROVIDED BY MELIORA DESIGN TO SALT DESIGN STUDIO ON MARCH 15, 2021.
2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
3. VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO ENGINEER AND LANDSCAPE ARCHITECT.
4. THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
5. DO NOT SCALE DRAWINGS.
6. DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, OBJECT, FENCE, OR OBJECT CENTERLINE, UNLESS NOTED OTHERWISE.
7. ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
8. LAY OUT SOFTBALL FIELD PER PENNSYLVANIA INTERSCHOLASTIC ATHLETIC ASSOCIATION OFFICIAL SOFTBALL FIELD REGULATIONS.
9. CONTRACTOR SHALL INSTALL ALL SITE FURNISHINGS AND EQUIPMENT AND FIELD STRIPING ACCORDING TO DRAWINGS AND COORDINATED WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
10. CONTRACTOR SHALL STRIPE SOFTBALL FIELD. FIELD STRIPING PAINT SHALL BE FAST-DRYING, WATER-BASED FORMULA SPECIFICALLY MANUFACTURED FOR ATHLETIC FIELD STRIPING APPLICATIONS. SUBMIT PRODUCT DATA TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. APPLY FIELD STRIPING PAINT PER MANUFACTURER'S INSTRUCTIONS.
 - 10.1. SOFTBALL FIELD STRIPING SHALL BE SOLID LINES, 4" WIDE. COLOR: WHITE.
11. CONTRACTOR SHALL SUBMIT PRODUCT DATA FOR ALL SOFTBALL FIELD EQUIPMENT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT.
12. CONTRACTOR SHALL SUBMIT PRODUCT DATA FOR INFIELD SAND TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.



5 SOFTBALL FIELD LAYOUT, MATERIALS, AND FURNISHINGS ENLARGEMENT PLAN SCALE: 1/8" = 1'-0"



PROPERTY ADDRESS:

CHEW PLAYGROUND
 1800 WASHINGTON AVE
 PHILADELPHIA, PA 19146

PROPERTY OWNER:



PHILADELPHIA PARKS & RECREATION DEPARTMENT
 1515 ARCH STREET
 SUITE #10
 PHILADELPHIA, PA 19102

PROJECT MANAGER:



REBUILD PHILADELPHIA
 1515 ARCH STREET
 MEZZANINE LEVEL
 PHILADELPHIA, PA 19107

PROJECT PARTNERS:

SALT DESIGN STUDIO
 4100 MAIN STREET, SUITE 201
 PHILADELPHIA, PA 19127

PROJECT TITLE:

CHEW PLAYGROUND FIELD RENOVATION

CIVIL ENGINEER:



REVISIONS:

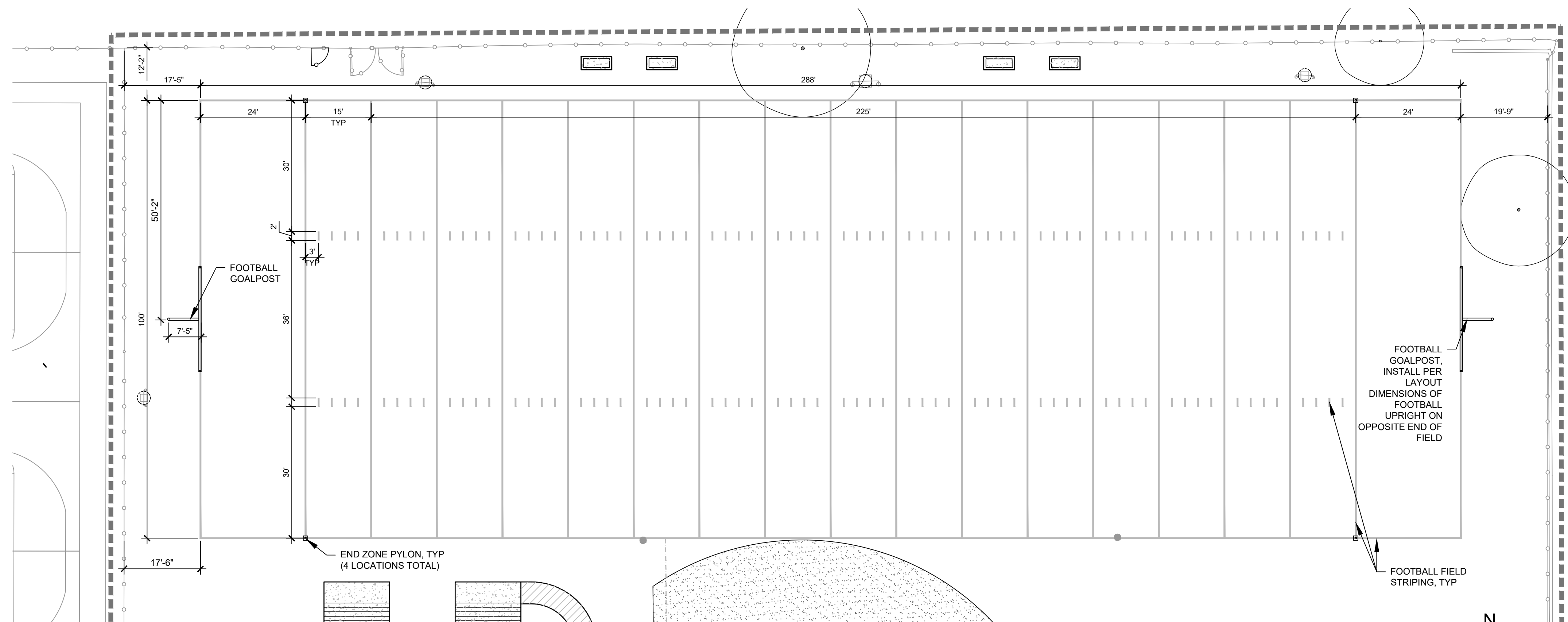
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SUBMISSION:

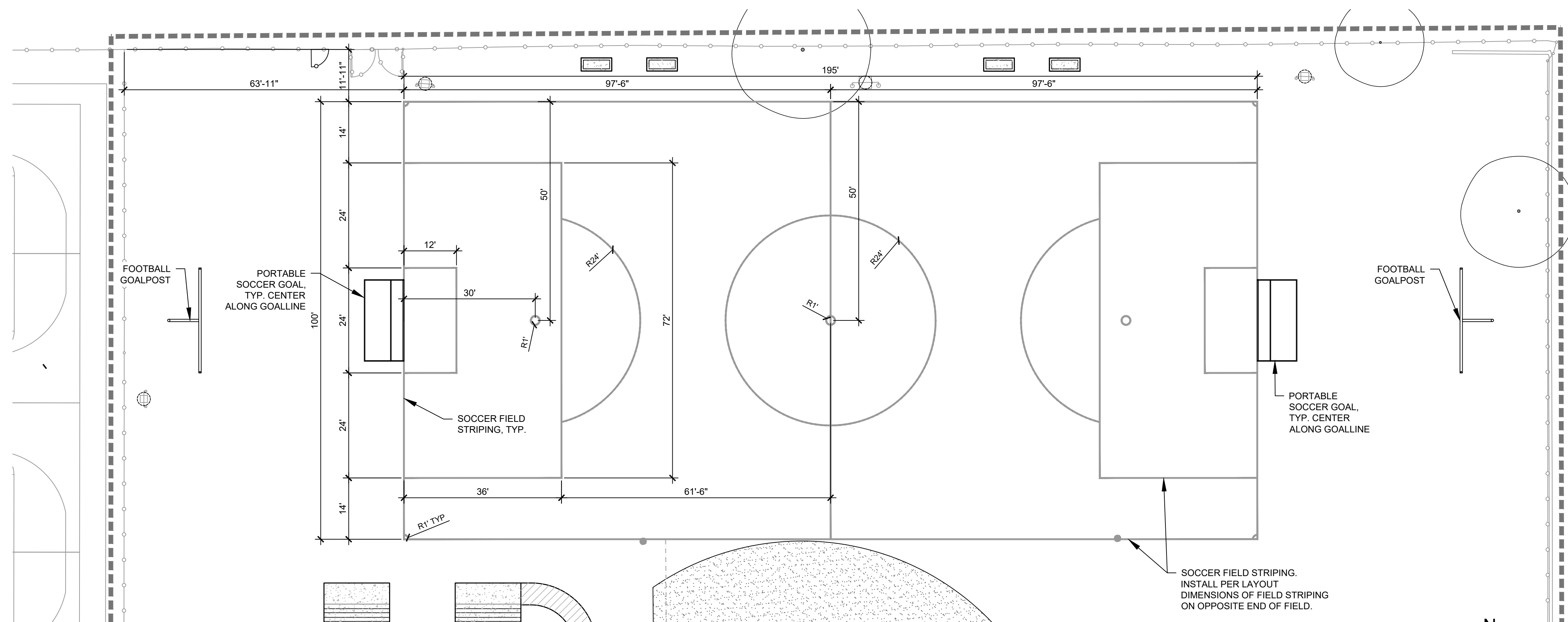
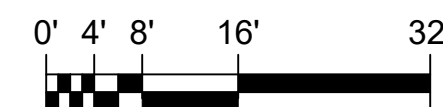
BID DOCUMENTS
SOFTBALL FIELD ENLARGEMENT AND DETAILS

DATE:	DRAWING NO.:
02/04/22	L-401
SCALE: AS NOTED	
DRAWN BY: SB/GA	
CHECKED BY: SPS	



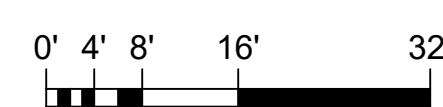
1 FOOTBALL FIELD LAYOUT, MATERIALS AND FURNISHINGS PLAN

SCALE: 1/16" = 1'-0"



2 SOCCER FIELD LAYOUT, MATERIALS AND FURNISHINGS PLAN

SCALE: 1/16" = 1'-0"



LEGEND:

- PROJECT LIMITS
- 1 L-401 INFIELD SAND
- 4 L-501 PLAYERS BENCH ON CONCRETE PAD. SEE SITE FURNISHINGS & EQUIPMENT SCHEDULE
- 5 L-501 FOOTBALL GOALPOST. SEE SITE FURNISHINGS & EQUIPMENT SCHEDULE
- PORTABLE SOCCER GOAL. SEE SITE FURNISHINGS & EQUIPMENT SCHEDULE
- 5 L-501 TRASH AND RECYCLING RECEPTACLES. SEE SITE FURNISHINGS & EQUIPMENT SCHEDULE
- EXISTING CHAIN LINK FENCE
- 2 L-501 4' WIDE CHAIN LINK PEDESTRIAN GATE
- EXISTING FIELD LIGHT TO REMAIN
- FIELD LIGHT PROTECTION PAD. SEE SITE FURNISHINGS & EQUIPMENT SCHEDULE
- END ZONE PYLON. SEE SITE FURNISHINGS & EQUIPMENT SCHEDULE
- 7 L-501 BLEACHER ON CONCRETE FOUNDATION
- FOOTBALL FIELD STRIPING
- SOCCER FIELD STRIPING
- SOFTBALL FIELD STRIPING
- STORM DRAIN, SEE ENGINEERING DRAWINGS
- EXISTING TREE TO REMAIN

SITE LAYOUT NOTES:

1. SITE SURVEY DATA WAS PROVIDED BY MELIORA DESIGN TO SALT DESIGN STUDIO ON MARCH 15, 2021.
2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
3. VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO ENGINEER AND LANDSCAPE ARCHITECT.
4. THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
5. DO NOT SCALE DRAWINGS.
6. CONTACT UTILITY COMPANIES AS REQUIRED BY STATE AND LOCAL REGULATIONS BEFORE DIGGING TO LOCATE AND MARK EXISTING UTILITIES.
7. COORDINATE ALL UTILITY WORK WITH THE LOCATIONS AND FINAL GRADES OF ALL OTHER WORK AS SHOWN ON THE ENGINEER'S DRAWINGS. WHERE CONFLICTS OCCUR, NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF UTILITIES TO MAKE ADJUSTMENTS AS REQUIRED. IF NEW UTILITIES HAVE BEEN INSTALLED IN CONFLICT WITH CURBS, WALLS, PAVING, OR OTHER STRUCTURES AT DEPTHS TOO SHALLOW FOR PROPER COVER BENEATH NEW GRADES OR INCORRECT FINISHED GRADE, THEY SHALL BE ADJUSTED OR REMOVED AND REPLACED AS NECESSARY AT CONTRACTOR'S EXPENSE.
8. DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, OBJECT, FENCE, CENTERLINE OF FIELD STRIPING, OR OBJECT CENTERLINE, UNLESS NOTED OTHERWISE.
9. ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
10. LAY OUT SOCCER FIELD PER USA SOCCER FEDERATION REGULATIONS FOR "U9/U10" AGE GROUP.
11. CONTRACTOR SHALL FURNISH AND INSTALL ALL SITE FURNISHINGS, EQUIPMENT AND FIELD STRIPING ACCORDING TO DRAWINGS AND COORDINATED WITH MANUFACTURER'S INSTALLATION REQUIREMENTS.
12. CONTRACTOR SHALL FIELD VERIFY CIRCUMFERENCE OF FIELD LIGHT POLES TO RECEIVE PROTECTION PAD AND COORDINATE WITH MANUFACTURER FOR PADDING SIZES. MIN. HEIGHT OF PADDING SHALL BE 6".
13. CONTRACTOR SHALL STRIPE FIELDS FOR BOTH FOOTBALL AND SOCCER. FIELD STRIPING PAINT SHALL BE FAST-DRYING, WATER-BASED FORMULA SPECIFICALLY MANUFACTURED FOR ATHLETIC FIELD STRIPING APPLICATIONS. SUBMIT PRODUCT DATA TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. APPLY FIELD STRIPING PAINT PER MANUFACTURER'S INSTRUCTIONS.
 - 13.1. FOOTBALL FIELD STRIPING SHALL BE SOLID LINES, 4" WIDE. COLOR: WHITE.
 - 13.2. SOCCER FIELD STRIPING SHALL BE SOLID LINES, 4" WIDE. COLOR: YELLOW.
14. CONTRACTOR SHALL LAY OUT FIELD STRIPING FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION

PROPERTY ADDRESS:

CHEW PLAYGROUND
1800 WASHINGTON AVE
PHILADELPHIA, PA 19146

PROPERTY OWNER:



PHILADELPHIA PARKS & RECREATION DEPARTMENT
1515 ARCH STREET
SUITE #10
PHILADELPHIA, PA 19102

PROJECT MANAGER:



REBUILD PHILADELPHIA
1515 ARCH STREET
MEZZANINE LEVEL
PHILADELPHIA, PA 19107

PROJECT PARTNERS:

SALT DESIGN STUDIO
4100 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19127

PROJECT TITLE:

**CHEW
PLAYGROUND
FIELD
RENOVATION**

CIVIL ENGINEER:



REVISIONS:

DATE: ISSUE:

SEAL:

SUBMISSION:

BID DOCUMENTS

DRAWING TITLE:

**MULTI-SPORT FIELD
LAYOUT ENLARGEMENT**

DATE:

02/04/22

SCALE:

AS NOTED

DRAWN BY:

SB/GA

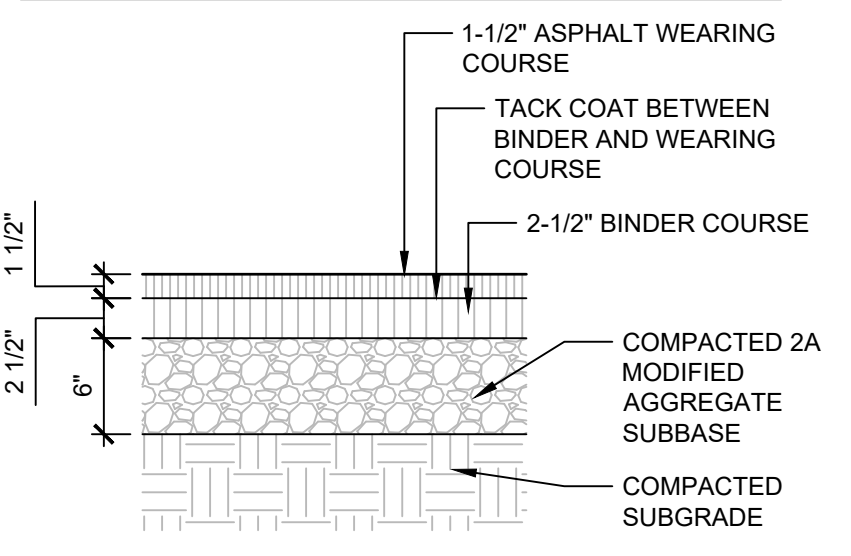
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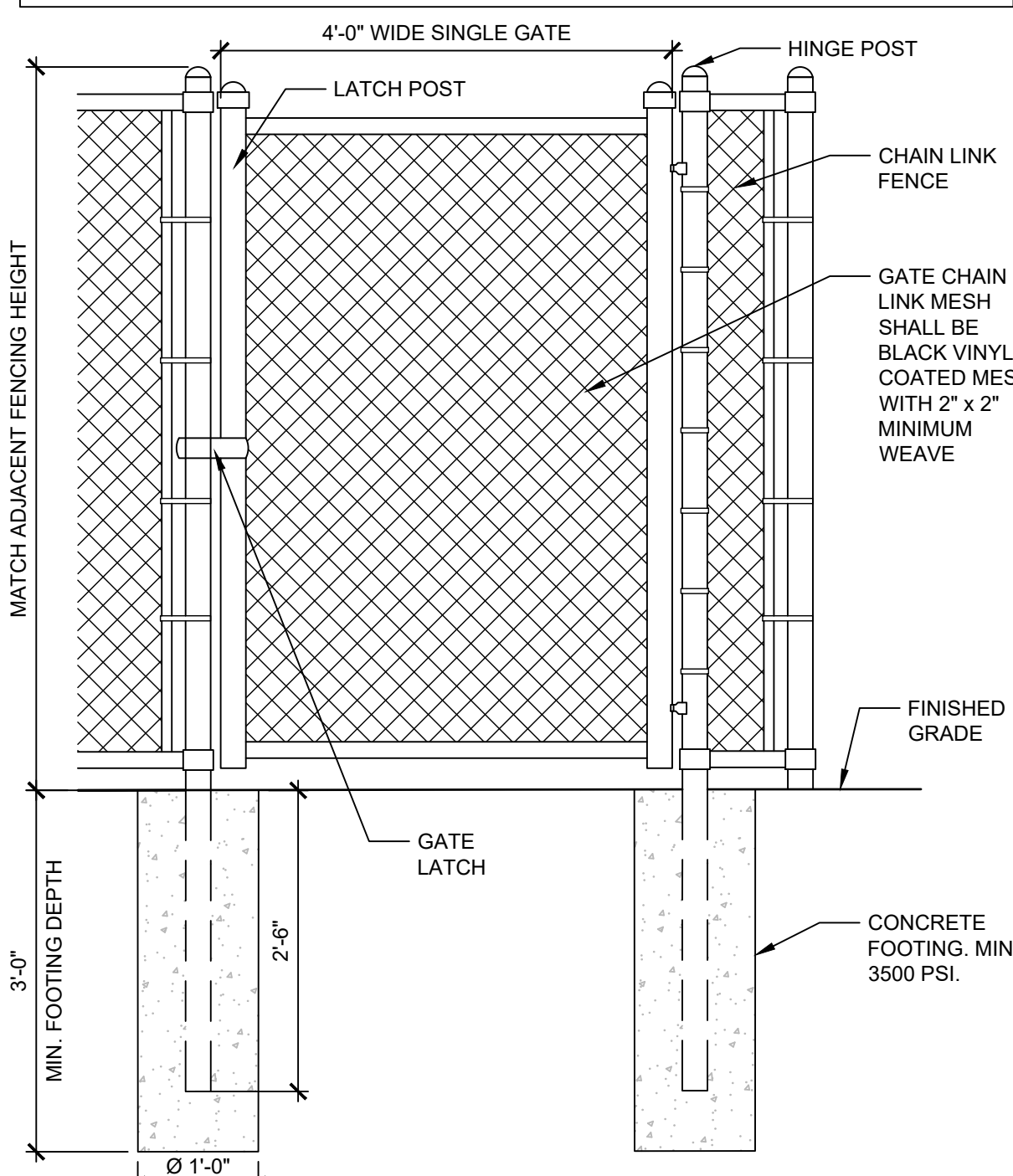
L-402

- ASPHALT PAVEMENT NOTES:**
1. NEW ASPHALT PAVEMENT SHALL MEET PENNDOT PUB 408 STANDARDS.
 2. AGGREGATE SUBBASE SHALL BE COMPACTED TO 95% STANDARD PROCTOR COMPACTION, PER ASTM REQUIREMENTS.
 3. SUBMIT MATERIAL CERTIFICATES FOR AGGREGATES, ASPHALT BINDER, ASPHALT CEMENT, AND TACK COAT TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
 4. SUBMIT HOT-MIX ASPHALT DESIGN, INCLUDING CERTIFICATION, TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.



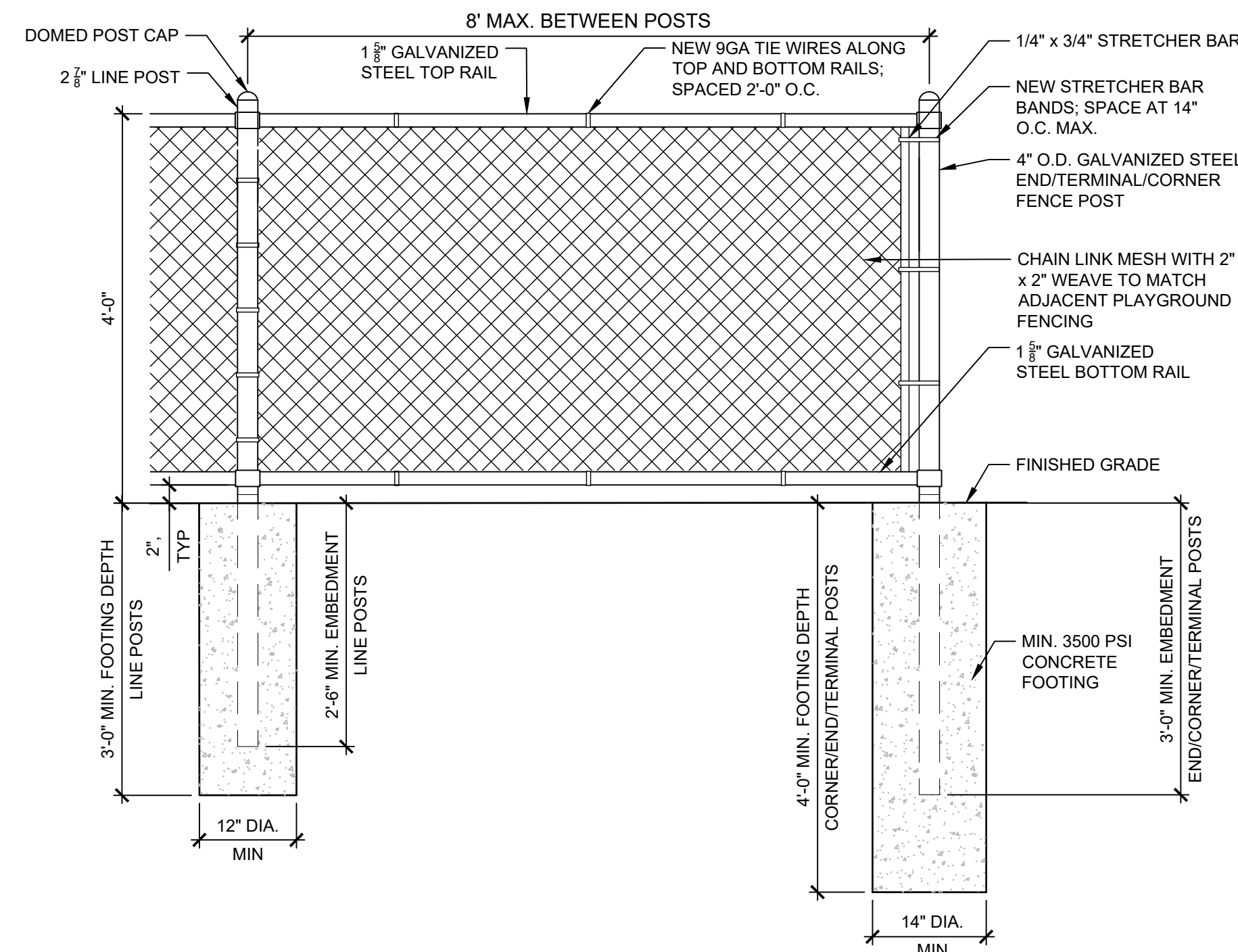
1 ASPHALT PAVEMENT
SCALE: 1" = 1'-0"

- NOTES:**
1. ADD ALTERNATE #1: FURNISH AND INSTALL 4' WIDE PEDESTRIAN GATE ALONG WASHINGTON AVENUE WHERE SHOWN ON DRAWINGS.
 2. ADD ALTERNATE #9: FURNISH AND INSTALL 4' WIDE PEDESTRIAN GATE LEADING TO BLEACHERS WHERE SHOWN ON DRAWINGS.
 3. GATE SHALL BE FROM APPROVED PPR FENCING MANUFACTURER.
 4. ALL NEW FRAMING, CHAIN LINK MESH, ACCESSORIES, ETC. TO BE BLACK.
 5. GATE HINGES SHALL PROVIDE 90-DEGREE OUTWARD SWING. ADJUST GATES TO OPERATE SMOOTHLY, EASILY, QUIETLY, FREE OF BINDING, WARP, EXCESSIVE DEFLECTION, DISTORTION, NONALIGNMENT, MISPLACEMENT, DISRUPTION, OR MALFUNCTION THROUGHOUT ENTIRE OPERATIONS RANGE.
 6. CONTRACTOR SHALL SUBMIT PRODUCT DATA AND SHOP DRAWINGS OF CHAIN LINK GATE PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
 7. CONFIRM LATCHES ENGAGE ACCURATELY AND SECURELY WITHOUT FORCING OR BINDING. LUBRICATE HARDWARE AND OTHER MOVING PARTS.



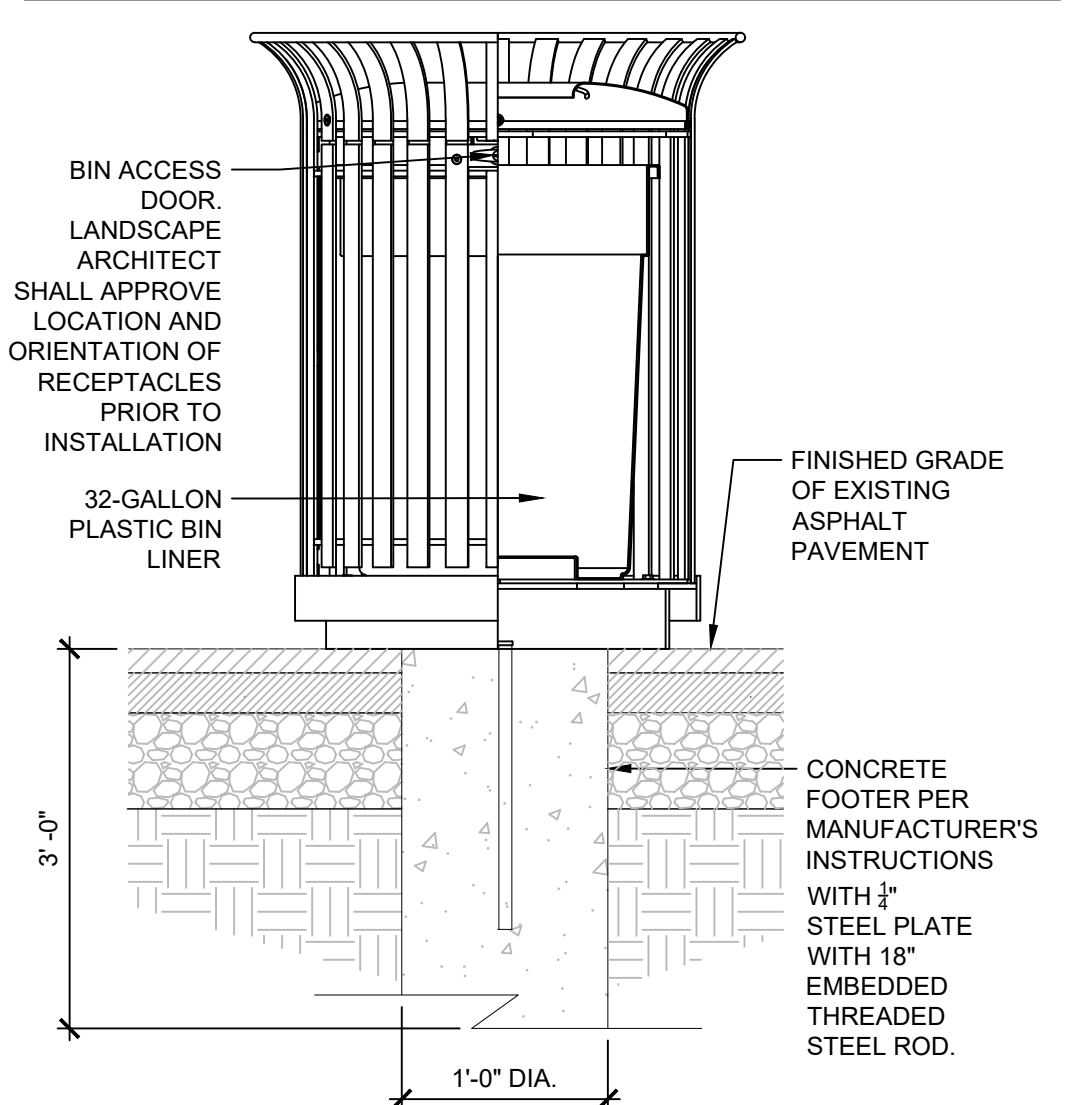
2 4' WIDE CHAIN LINK PEDESTRIAN GATE
SCALE: 1/2" = 1'-0"

- NOTES:**
1. CHAIN LINK FENCING SHALL BE FROM APPROVED PPR FENCING MANUFACTURER.
 2. CONTRACTOR SHALL VERIFY LAYOUT INFORMATION FOR CHAIN LINK FENCING AS SHOWN ON DRAWINGS IN RELATION TO ADJACENT FENCING AND SITE ELEMENTS. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
 3. ALL NEW FRAMING, POSTS, CHAIN LINK MESH, ACCESSORIES, ETC. SHALL BE POWDERCOATED BLACK.
 4. CONTRACTOR TO SUBMIT PRODUCT DATA AND SHOP DRAWINGS OF CHAIN LINK FENCING PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
 1. SHOP DRAWINGS SHALL INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, POST SPACING, MOUNTING/INSTALLATION, ATTACHMENTS TO OTHER WORK, ACCESSORIES, AND HARDWARE AS NEEDED.
 2. SUBMITTAL SHALL INCLUDE ANALYSIS OF STRUCTURAL PERFORMANCE OF FENCING AND GATE FRAMEWORKS, SIGNED AND SEALED BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER IN THE STATE OF PENNSYLVANIA.



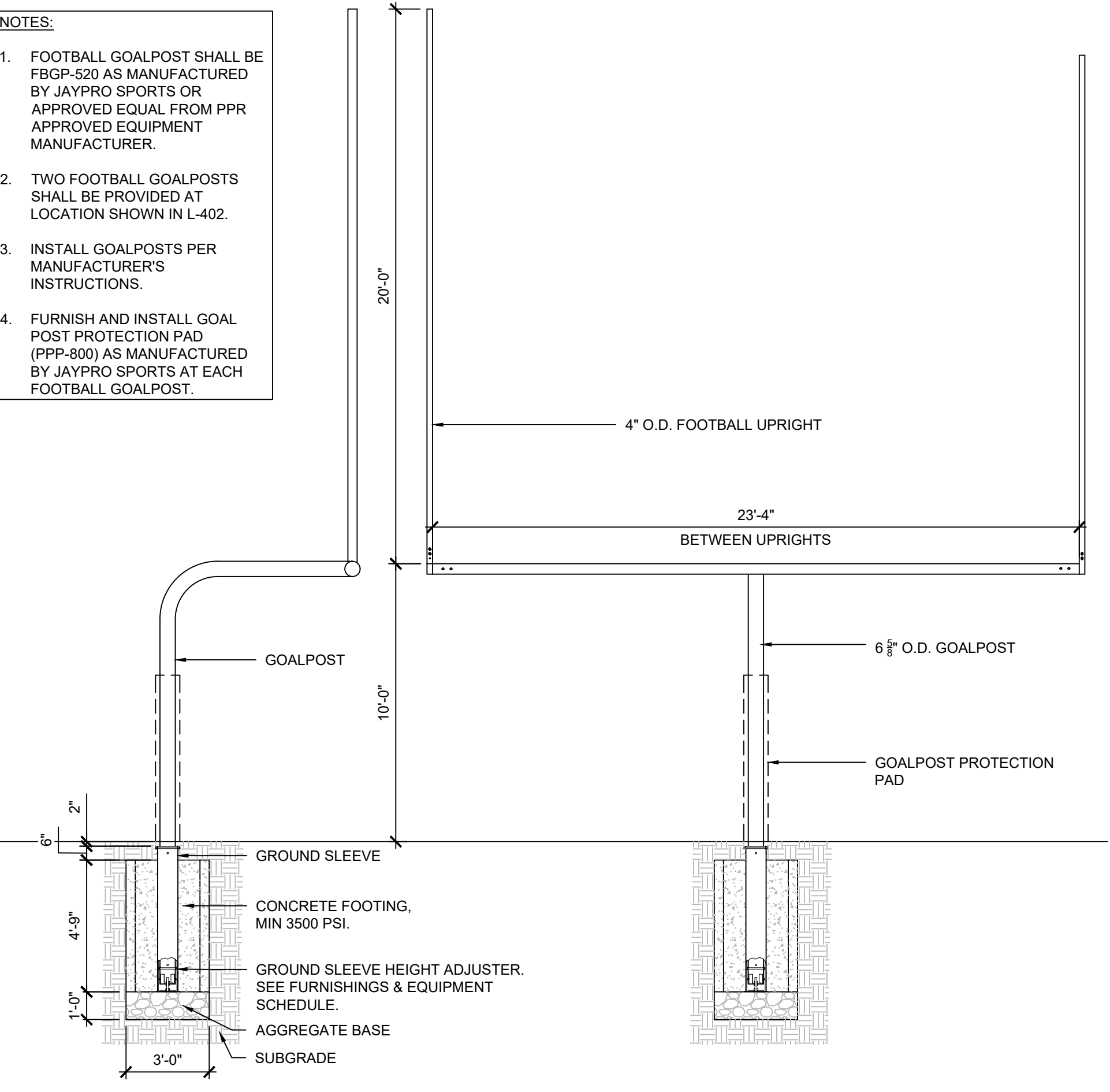
3 4' H CHAIN LINK FENCE
SCALE: 3/4" = 1'-0"

- NOTES:**
1. RECEPTACLE MODEL 157-32 FTO MANUFACTURED BY DUMOR, INC.
 2. TWO RECEPTACLES SHALL BE PROVIDED AT LOCATION SHOWN IN L-401
 1. RECEPTACLES SHALL BE PLACED DIRECTLY ADJACENT TO ONE ANOTHER, 3" APART.
 2. ONE RECEPTACLE SHALL BE COLOR: BLACK FOR TRASH DISPOSAL.
 2. ONE RECEPTACLE SHALL BE COLOR: 'RECYCLE BLUE' FOR RECYCLING.
 3. INSTALL RECEPTACLES PER MANUFACTURER'S INSTRUCTIONS.

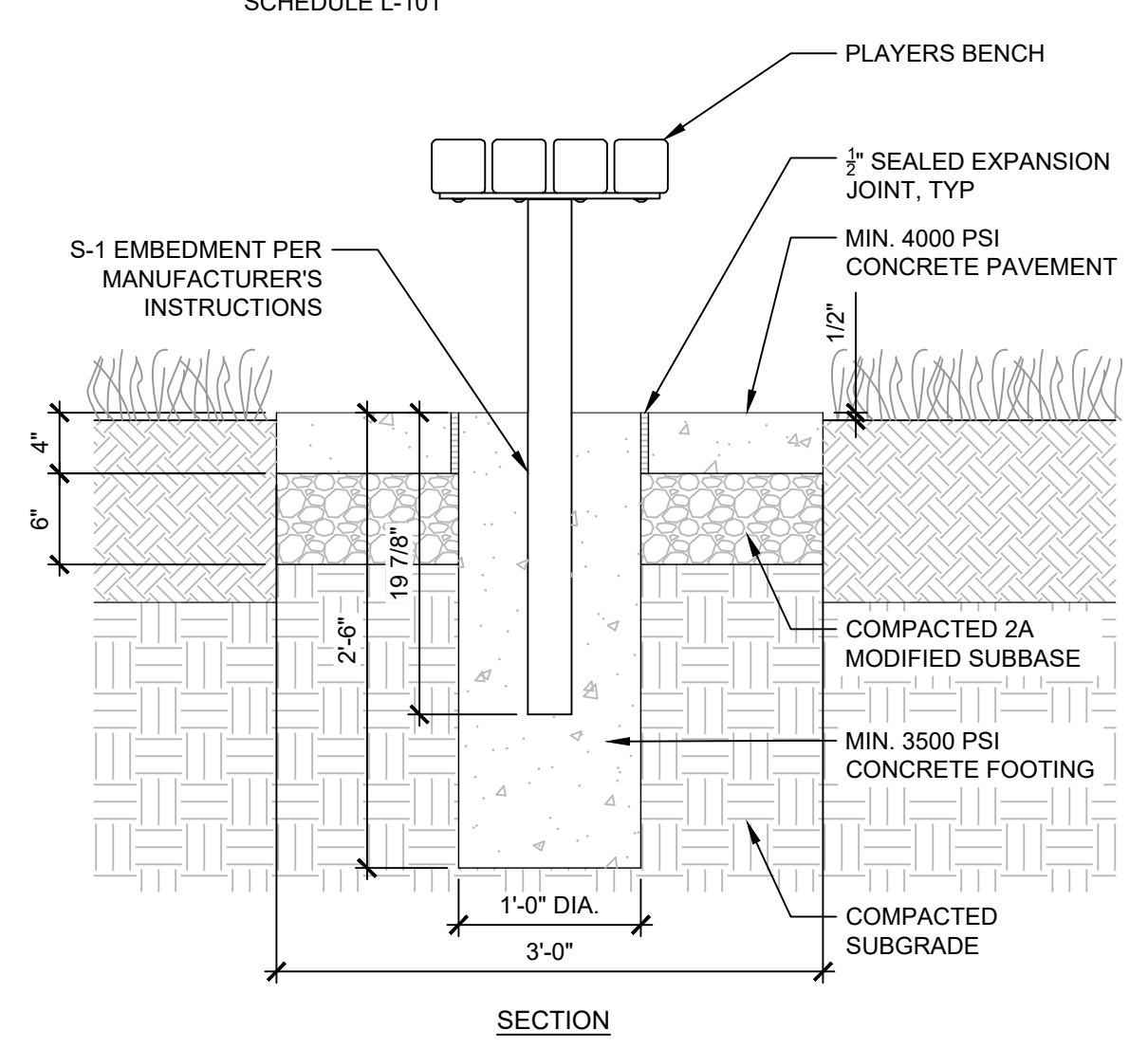
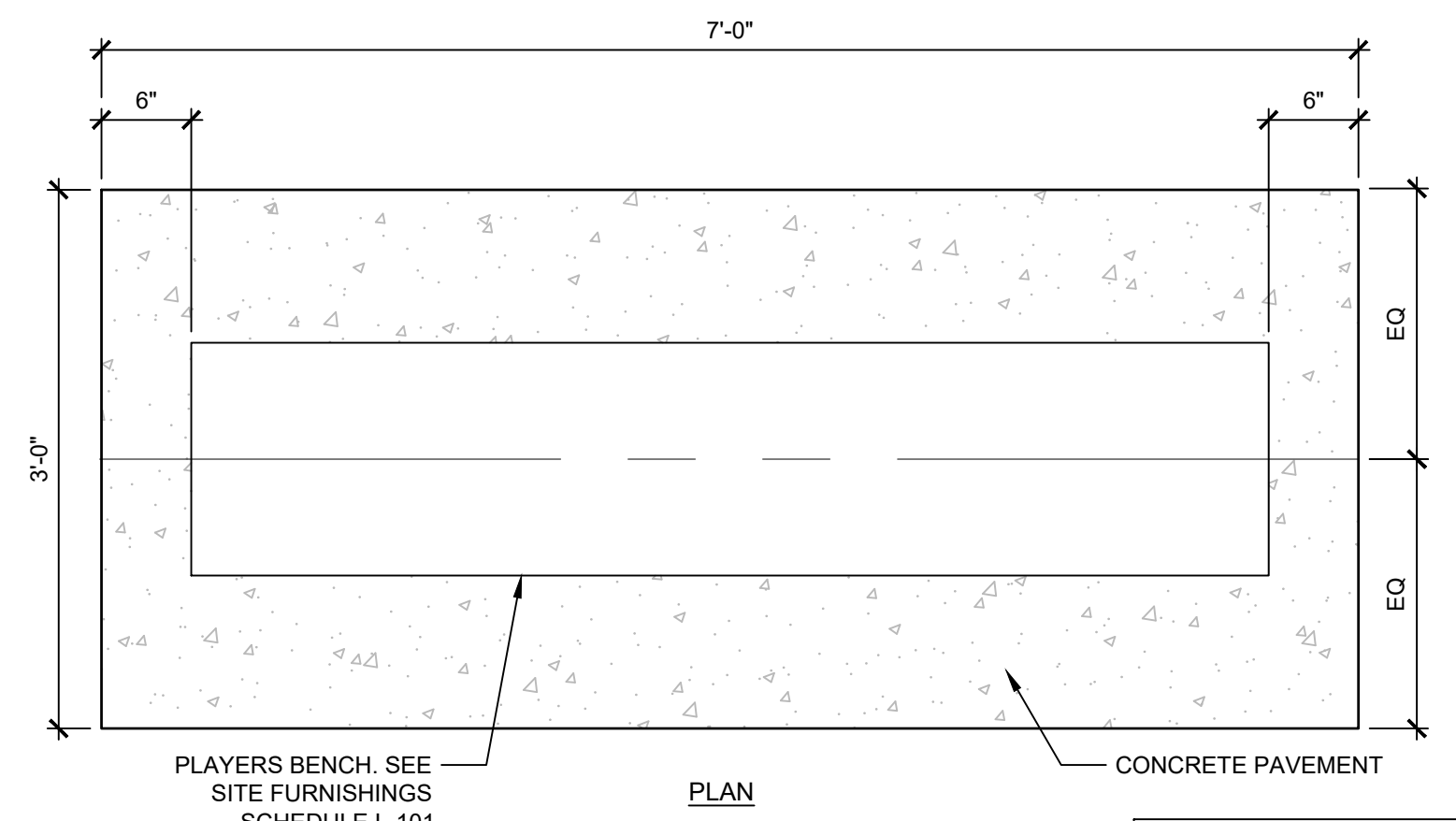


4 TRASH & RECYCLING RECEPTACLE
SCALE: 1/2" = 1'-0"

- NOTES:**
1. FOOTBALL GOALPOST SHALL BE FBGP-520 AS MANUFACTURED BY JAYPRO SPORTS OR APPROVED EQUAL FROM PPR APPROVED EQUIPMENT MANUFACTURER.
 2. TWO FOOTBALL GOALPOSTS SHALL BE PROVIDED AT LOCATION SHOWN IN L-402.
 3. INSTALL GOALPOSTS PER MANUFACTURER'S INSTRUCTIONS.
 4. FURNISH AND INSTALL GOAL POST PROTECTION PAD (PPP-800) AS MANUFACTURED BY JAYPRO SPORTS AT EACH FOOTBALL GOALPOST.



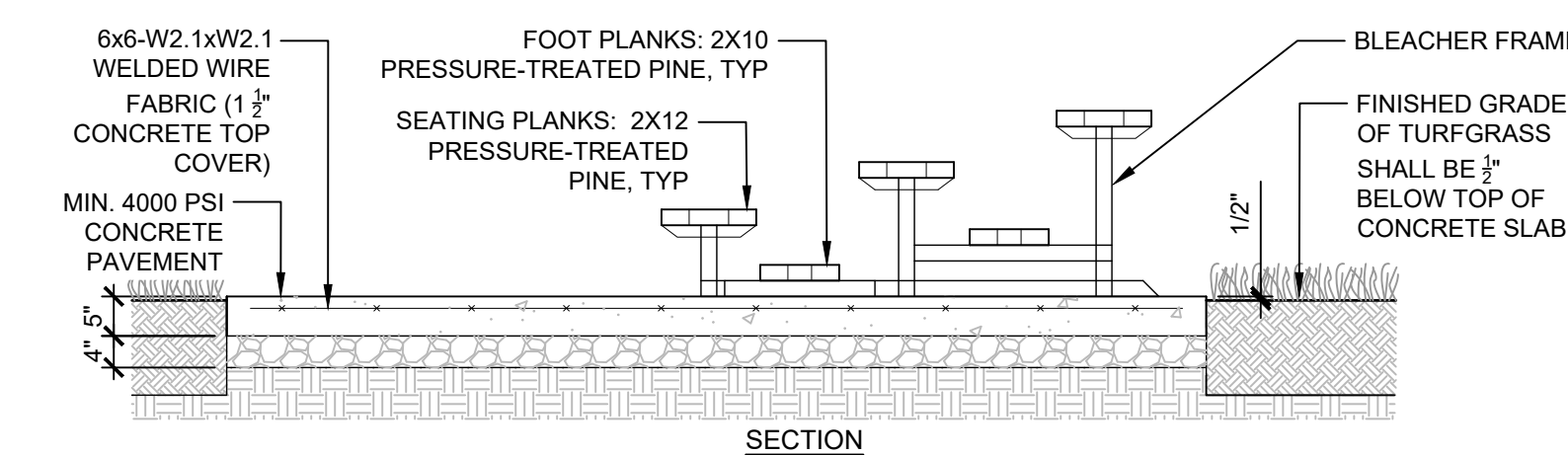
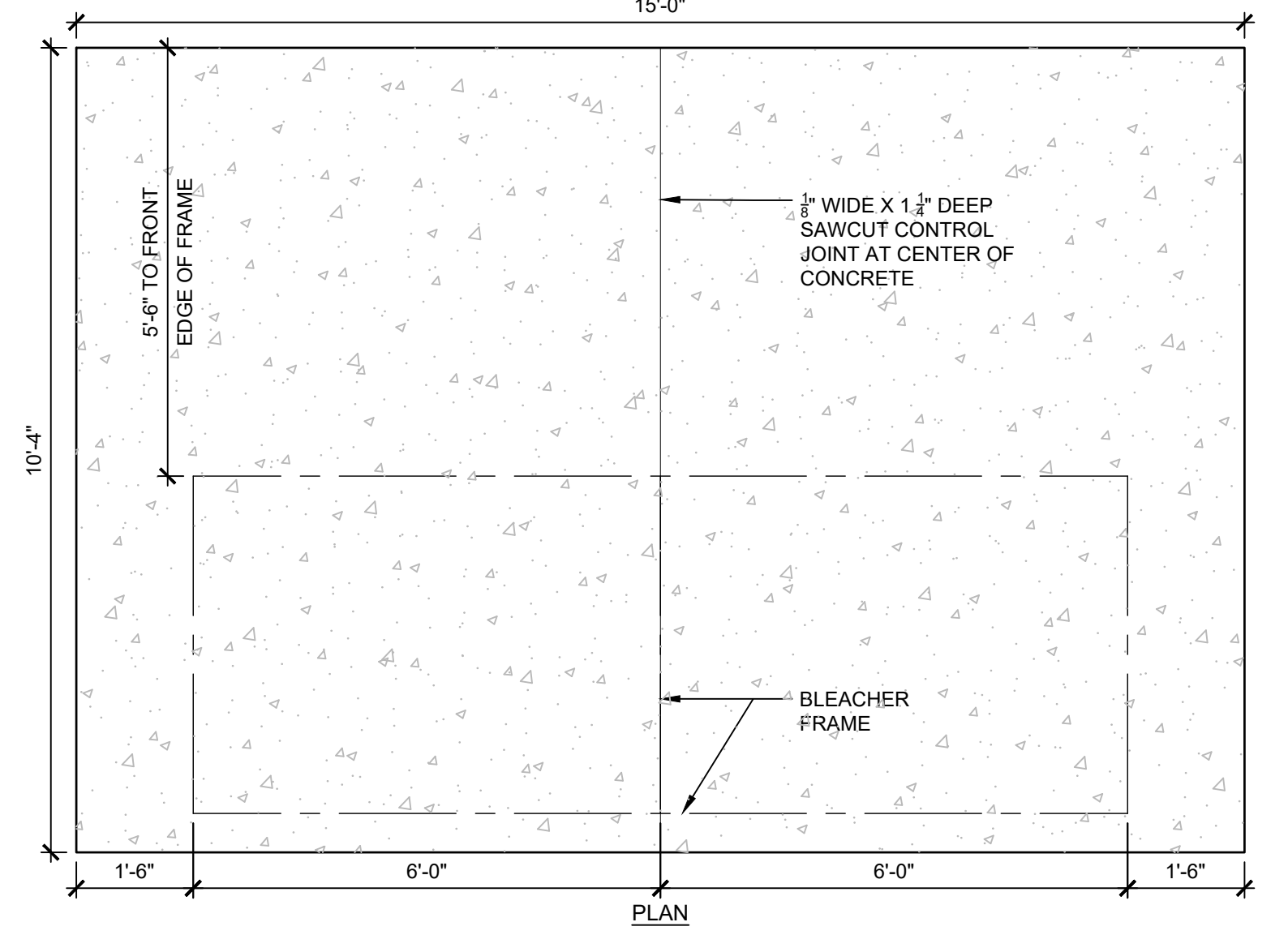
5 FOOTBALL GOALPOST
SCALE: 1/4" = 1'-0"



6 PLAYERS BENCH
SCALE: 1" = 1'-0"

- CONCRETE PAVEMENT NOTES:**
1. CONCRETE PAVEMENT SHALL BE MIN. 4,000 PSI AT 28 DAYS.
 2. PROVIDE NON-SLIP MEDIUM BROOM TYPE FINISH.
 3. CONCRETE PAVEMENT SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - ACI 117
 - PENNDOT PUB 408
 - CONCRETE SHALL CONTAIN WATER-REDUCING, PLASTICIZING ADMIXTURE
 - CONCRETE SHALL CONTAIN AIR-ENTRAINING ADMIXTURE TO PROVIDE 5%-7% AIR ENTRAINMENT.
 - MAXIMUM CHLORIDE CONTENT SHALL BE 0.15%
 - MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45
 - MAXIMUM DESIGN SLUMP: 3 INCHES WITHOUT SUPER PLASTICIZERS.
 - AGGREGATE SIZE: 3/4" WITH DESIGNATION OF 4S BY ASTM
 4. SUBMIT PRODUCT DATA, MATERIAL CERTIFICATES, AND MATERIAL TEST REPORTS FOR ALL CONCRETE PAVEMENT COMPONENTS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. PRODUCTS INCLUDE, BUT NOT LIMITED TO:
 - CEMENTITIOUS MATERIALS
 - ADMIXTURES
 - CURING COMPOUNDS
 5. SUBMIT CONCRETE DESIGN MIXTURE TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.

- NOTES:**
1. BLEACHER FRAME SHALL BE LSG 3-15 FRAME SET AS MANUFACTURED BY RECREATION RESOURCE USA.
 1. CONTACT: KEVIN UMBREIT; P: 610-444-4402; E: KEVINU@RECREATION-RESOURCE.COM
 2. ASSEMBLE BLEACHER FRAME AND ANCHOR TO FOUNDATION PER MANUFACTURER'S INSTRUCTIONS.
 3. CONTRACTOR SHALL FURNISH AND INSTALL SEATING AND FOOT PLANKS REQUIRED FOR COMPLETE INSTALLATION ON BLEACHER. PROCURE WOOD PLANKS LOCALLY.
 1. SEATING PLANKS: 2X12 (NOMINAL) PRESSURE TREATED PINE.
 2. FOOT PLANTS: 2 X 10 (NOMINAL) PRESSURE TREATED PINE.
 3. GALVANIZED HARDWARE, INCLUDING 2 1/2" OR 3" CARRIAGE BOLTS, LOCK WASHERS, AND HEX NUTS FOR ATTACHMENT OF PLANKS TO FRAME.
 4. SUBMIT PRODUCT INFORMATION FOR BLEACHER TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
 5. REFER TO CONCRETE PAVEMENT NOTES IN DETAIL 6/L-501 FOR CONCRETE PAVEMENT REQUIREMENTS.



7 BLEACHER ON CONCRETE PAVEMENT
SCALE: 1/2" = 1'-0"

PROPERTY ADDRESS:

CHEW PLAYGROUND
1800 WASHINGTON AVE
PHILADELPHIA, PA 19146

PROPERTY OWNER:
FIND YOUR PATH PHILADELPHIA PARKS & RECREATION
PHILADELPHIA PARKS & RECREATION DEPARTMENT
1515 ARCH STREET
SUITE #10
PHILADELPHIA, PA 19102

PROJECT MANAGER:
Rebuild PHILADELPHIA
REBUILD PHILADELPHIA
1515 ARCH STREET
MEZZANINE LEVEL
PHILADELPHIA, PA 19107

PROJECT PARTNERS:
SALT DESIGN STUDIO
4100 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19127

PROJECT TITLE:
CHEW PLAYGROUND FIELD RENOVATION

CIVIL ENGINEER:
meliora
Civil, Water Resources, and Structural Engineering
259 Morgan St., Ploetsville, PA 19460
P: 610.933.0123 | www.melioradesign.com

REVISIONS:

DATE:	ISSUE:

SEAL:

SUBMISSION:

BID DOCUMENTS

DRAWING TITLE:
SITE DETAILS

DATE: 02/04/22
SCALE: AS NOTED
DRAWN BY: SB/GA
CHECKED BY: SPS

DRAWING NO:
L-501