

ZIEHLER PLAYGROUND

PROJECT #: 16640E-01-02

PWD PROJECT #: S-50329-G
200-64 E OLNEY AVE,
PHILADELPHIA, PA 19120

PREPARED FOR:
PHILADELPHIA PARKS & RECREATION
REBUILD PHILADELPHIA

PREPARED BY:
SALT DESIGN STUDIO - LANDSCAPE ARCHITECT
IAN SMITH DESIGN GROUP - ARCHITECT
MELIORA DESIGN - CIVIL ENGINEER
MILLER DESIGN GROUP - LIGHTING DESIGNER
MARK ULRICK ENGINEERS, INC. - MEP
D'HUY ENGINEERING - STRUCTURAL

ISSUE FOR BIDDING
AUGUST 15, 2022

**SEE SHEET G002 FOR
SUMMARY OF DEDUCT ALTS**

DRAWING LIST:

- COVER
- G001 GENERAL NOTES AND ABBREVIATIONS
- G002 OVERALL SITE PLAN - SUMMARY OF WORK
- V-1 EXISTING CONDITIONS
- V-2 EXISTING CONDITIONS
- V-3 EXISTING CONDITIONS
- V-4 EXISTING CONDITIONS

CIVIL:

- C-101 EROSION & SEDIMENTATION CONTROL PLAN - SHEET 1
- C-102 EROSION & SEDIMENTATION CONTROL PLAN - SHEET 2
- C-111 EROSION & SEDIMENTATION CONTROL NOTES - SHEET 1
- C-112 EROSION & SEDIMENTATION CONTROL NOTES - SHEET 2
- C-113 EROSION & SEDIMENTATION CONTROL NOTES - SHEET 3
- C-121 EROSION & SEDIMENTATION CONTROL DETAILS - SHEET 1
- C-122 EROSION & SEDIMENTATION CONTROL DETAILS - SHEET 2
- C-201 UTILITY REMOVALS PLAN
- C-301 UTILITY PLAN - SHEET 1
- C-302 UTILITY PLAN - SHEET 2
- C-311 UTILITY DETAILS
- C-401 GRADING PLAN - SHEET 1
- C-402 GRADING PLAN - SHEET 2

LANDSCAPE ARCHITECTURE:

- L-101 SITE REMOVALS & DEMOLITION PLAN
- L-102 SITE LAYOUT PLAN
- L-103 SITE MATERIALS PLAN
- L-104 SITE FURNISHINGS & EQUIPMENT PLAN
- L-105 PLANTING PLAN
- L-401 PAVEMENT AND SAFETY SURFACE PATTERN ENLARGEMENT PLAN
- L-402 PLAYGROUND EQUIPMENT AND FURNISHINGS ENLARGEMENT PLAN
- L-501 PAVING DETAILS
- L-502 BERM DETAILS
- L-503 FENCING DETAILS
- L-504 FURNISHINGS DETAILS
- L-505 SITE LIGHTING FOUNDATION DETAILS
- L-506 PLANTING DETAILS

PHILADELPHIA WATER DEPARTMENT GREEN STORMWATER INFRASTRUCTURE (PWD GSI):

- T-1 PWD INDEX SHEET
- G-1 STORMWATER AND GRADING PLAN
- G-2 STORMWATER PROFILES - SHEET 1
- G-3 STORMWATER PROFILES - SHEET 2
- G-4 STORMWATER PROFILES - SHEET 3
- G-5 STORMWATER PROFILES - SHEET 4
- G-6 STORMWATER DETAILS - SHEET 1
- G-7 STORMWATER DETAILS - SHEET 2
- G-8 STORMWATER DETAILS - SHEET 3
- G-9 STORMWATER NOTES
- DA-1 DRAINAGE AREA MAP - SHEET 1
- DA-2 DRAINAGE AREA MAP - SHEET 2
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS

ARCHITECTURE:

- AD1.00 EXISTING BUILDING PROPOSED DEMOLITION FLOOR PLAN
- AD2.00 EXISTING BUILDING PROPOSED DEMOLITION BUILDING ELEVATIONS
- AD2.01 EXISTING BUILDING PROPOSED DEMOLITION BUILDING ELEVATIONS
- A0.01 PARTITION TYPES
- A0.10 EXISTING BUILDING PROPOSED EGRESS PLAN
- A1.00 EXISTING BUILDING PROPOSED FLOOR PLAN
- A1.01 EXISTING BUILDING PROPOSED ROOF PLAN
- A1.02 EXISTING BUILDING PROPOSED ROOF DETAILS
- A1.10 EXISTING PROPOSED REFLECTED CEILING PLAN
- A2.00 EXISTING BUILDING PROPOSED BUILDING ELEVATIONS
- A2.01 EXISTING BUILDING PROPOSED BUILDING ELEVATIONS
- A3.00 EXISTING BUILDING PROPOSED BUILDING SECTIONS
- A6.00 PROPOSED DOOR AND WINDOW DETAILS AND SCHEDULES
- A6.01 PROPOSED TOILET ROOM DETAILS AND SCHEDULES
- A9.00 EXISTING BUILDING PROPOSED FINISHES PLAN
- A9.01 EXISTING BUILDING PROPOSED MILLWORK ELEVATIONS
- A9.02 EXISTING BUILDING PROPOSED MILLWORK DETAILS
- A9.03 SIGNAGE SCHEDULE

STRUCTURAL:

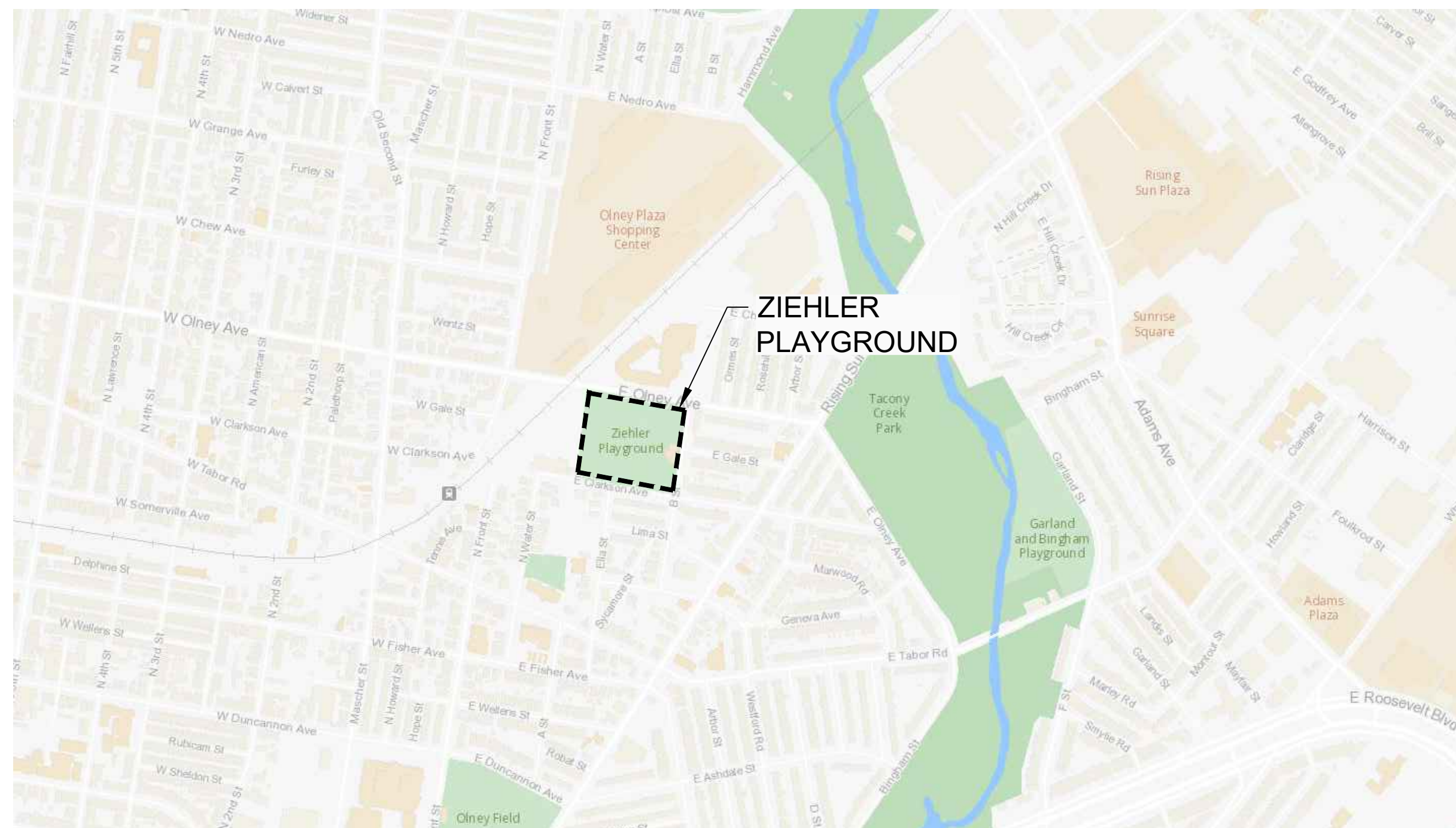
- S1 CANOPY PLAN AND SECTIONS
- S2 MAIN ROOF PLAN
- S3 MAIN ROOF SECTIONS
- S4 PLAYGROUND PLAN & DETAILS
- S5 GENERAL NOTES

MEP:

- E0.0 LEGEND, ABBREVIATIONS & NOTES
- E-0.1 SITE PLAN - ELECTRICAL
- E-0.2 SITE PLAN - DETAILS AND POWER RISER DIAGRAM
- E-1.0 EXISTING FIRST FLOOR PLAN - ELECTRICAL DEMOLITION
- E-1.1 PROPOSED FLOOR PLAN - LIGHTING CONNECTIONS NEW WORK
- E-1.2 PROPOSED FLOOR PLAN EQUIPMENT CONNECTIONS - POWER NEW WORK
- E-1.3 PROPOSED ROOF PLAN - ELECTRICAL NEW WORK
- E-3.1 SCHEDULES AND DETAILS
- M-0 MECHANICAL SYMBOLS, ABBREVIATIONS & GENERAL NOTES
- M-1.0 MECHANICAL FLOOR PLAN NEW WORK
- M-1.1 MECHANICAL ROOF PLAN
- M-2 MECHANICAL SCHEDULES
- M-3 MECHANICAL DETAILS
- P-0 PLUMBING SYMBOLS, ABBREVIATIONS & GENERAL NOTES
- PD-1.0 PLUMBING DEMOLITION PLAN
- P-1.0 PLUMBING FLOOR PLAN NEW WORK
- P-1.1 PLUMBING RISER DIAGRAM AND SCHEDULE

LIGHTING:

- EL-101 FIELD & SITE LIGHTING PLAN
- EL-102 SITE LIGHTING PLAN
- EL-103 INTERIOR LIGHTING PLAN
- EL-501 LIGHTING DETAILS
- EL-502 INTERIOR LIGHTING CONTROLS PLAN
- EL-701 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY
- EL-702 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY
- EL-703 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY
- EL-704 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY
- EL-705 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY
- EL-706 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY
- EL-707 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY
- EL-708 FIELD LIGHTING - COOPER AIMING DIAGRAM AND CALCULATION SUMMARY



N
LOCATION MAP
(NOT TO SCALE)

GENERAL NOTES:

THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.

THE PROJECT PARCEL IS KNOWN AS ZIEHLER PLAYGROUND AND RECREATION CENTER, LOCATED AT 200-64 E. OLNEY AVENUE, PHILADELPHIA, PA 19120.

1. THE PROPERTY AND PROJECT OWNER IS THE PHILADELPHIA DEPARTMENT OF PARKS AND RECREATION (PPR).
2. UNLESS DESIGNATED AS "ISSUED FOR CONSTRUCTION", THE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT SO THAT THE PROPER ISSUE OF PLANS CAN BE SUPPLIED.
3. THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, LAWS, AND ORDINANCES OF ALL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT PARCEL. ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY TO COMPLY WITH THE REQUIREMENTS SHALL BE PROVIDED WITHOUT ADDITIONAL COSTS TO THE OWNER.
4. ALL PERMITS FOR CONSTRUCTION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF ALL WORK.
5. THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMITS, FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND TESTING REQUIRED IN THE SPECIFICATIONS.
7. WITHIN THREE (3) DAYS OF NOTICE TO PROCEED, THE CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULE OF CONSTRUCTION SEQUENCING.
8. THE CONTRACTOR SHALL INCLUDE ALL PREPARATORY AND ASSOCIATED SUPPLEMENTARY WORK TO PROVIDE A COMPLETE AND FINISHED INSTALLATION.
9. THE CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND DISCUSS ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE DESIGN PROFESSIONAL PRIOR TO THE START OF ANY WORK.
10. PPR, AND ALL OTHER APPROPRIATE AUTHORITIES, SHALL BE NOTIFIED A MINIMUM OF FORTY-EIGHT (48) HOURS IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION OF ANY IMPROVEMENTS UNDER ITS JURISDICTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SECURE PROJECT SITE AND SAFE CONSTRUCTION AREA, AND PROVIDING FOR ALTERNATE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW AROUND THE CONSTRUCTION SITE.
12. ALL SURROUNDING TRAFFIC CIRCULATION SHALL MEET THE REQUIREMENTS OF THE CITY OF PHILADELPHIA, THE STATE OF PENNSYLVANIA, AND ANY OTHER GOVERNING AUTHORITIES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING REQUIRED TRAFFIC WARNING SIGNS, BARRICADES, AND ANY AND ALL SAFETY MEASURES AS MAY BE REQUIRED BY LOCAL CODE, OSHA, AND PENNDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
14. THE CONTRACTOR SHALL COORDINATE AND PROVIDE NECESSARY SIDEWALK CLOSURES AND PEDESTRIAN DETOURS AS REQUIRED.
15. THE CONTRACTOR SHALL DISCONNECT AND / OR REMOVE ANY EXISTING PLUMBING, ELECTRICAL, FIXTURES, WIRE, CONDUITS, OR OTHER UTILITIES WHICH MIGHT INTERFERE WITH THE WORK OF THIS CONTRACT. AFTER NEW WORK IS COMPLETED, THE DISCONNECTED OR REMOVED ITEMS SHALL BE REINSTALLED BY THE CONTRACTOR AT THE SAME LOCATION OR AT NEW LOCATION AS DIRECTED. CONTRACTOR SHALL FURNISH ALL NECESSARY NEW MATERIALS / HARDWARE FOR COMPLETION OF WORK.
16. DURING WINTER MONTHS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SNOW AND ICE REMOVAL AND THE COMPLETE MAINTENANCE OF EXISTING PAVEMENTS WITHIN THE PROJECT LIMITS UTILIZED FOR CONSTRUCTION PURPOSES BY ALL TRADES. PAVEMENTS SHALL BE KEPT FREE OF OBSTRUCTIONS AND KEPT IN A SMOOTH RIDING CONDITION AT ALL TIMES. ALL POTHOLES, WASHOUTS, GAVE-INS, ETC. DEVELOPING DURING THIS PERIOD SHALL BE PROPERLY FILLED IN WITH MATERIAL APPROVED BY THE OWNER.
17. WHERE MANUFACTURERS NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS, IT SHALL BE CONSTRUED TO MEAN THE ESTABLISHING OF QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. SUBSTITUTIONS OF PRODUCT SPECIFICATIONS THAT NOTE "OR APPROVED EQUAL" MUST BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMONSTRATE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT THAT THE SUBSTITUTION IS EQUAL.
18. THE CONTRACTOR IS TO EXERCISE CARE IN ALL OPERATIONS TO PROTECT, TREES, FENCES, LIGHTS, SIGNS, PAVEMENTS, WALLS, UTILITIES, AND OTHER SITE FEATURES TO REMAIN. ANY DAMAGE RESULTING FROM THE WORK MUST BE RESTORED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE DESIGN PROFESSIONAL AND OWNER.
19. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING SITE FEATURES TO REMAIN THAT ARE DAMAGED OR EXPOSED DUE TO WORK OR REMOVALS. ANY PATCHING OR REPAIRING SHOULD RESULT IN FINISHES THAT MATCH THE PREVIOUSLY EXISTING CONDITIONS.
20. CONTRACTOR SHALL PROVIDE THE OWNER WITH AS-BUILT DRAWINGS OF ALL WORK AT THE COMPLETION OF THE PROJECT IN FORMAT AS AGREED UPON WITH OWNER.

NOTES ON USE OF PLANS:

1. DRAWINGS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS MUST BE VERIFIED ON THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK.
 - 2.1. ANY CONFLICTS, ERRORS, AMBIGUITIES, OR DISCREPANCIES IN THE DRAWINGS OR SPECIFICATIONS SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
 - 2.2. NO CHANGES OF THE WORK ARE PERMISSIBLE WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
 - 2.3. NO WORK SHALL PROCEED UNTIL DISCREPANCIES OR CONFLICTS HAVE BEEN RESOLVED.
3. THE DRAWINGS CONTAIN DATA INTENDED SPECIFICALLY FOR THE NOTED PROJECT LIMITS. THEY ARE NOT INTENDED FOR USE ON EXTENSIONS OF THIS PROJECT OR FOR REUSE ON ANY OTHER PROJECT.
4. MODIFICATION OF THE DRAWINGS OR ANY OTHER PORTION THEREOF IS PROHIBITED.
5. ALL WORK ON THE DRAWINGS SHALL BE CONSIDERED NEW WORK, WHETHER STATED OR NOT, EXCEPT WHERE SPECIFICALLY NOTED AS "EXISTING TO REMAIN".
6. ELECTRONIC FILES OF THE PLAN DRAWINGS ARE AVAILABLE UPON REQUEST FOR LAYOUT PURPOSES. THE GRAPHICAL INFORMATION CONTAINED IN ELECTRONIC FILES IS INTENDED AS DRAWING DATA ONLY; IT IS NOT INTENDED TO SERVE AS SURVEY LAYOUT DATA.

CONTRACTOR SURVEY NOTES:

1. SITE SURVEY DATA WAS PROVIDED BY RODRIGUEZ CONSULTING, LLC TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
2. THE CONTRACTOR SHALL PROVIDE SUFFICIENT SURVEY CONTROL SUCH THAT IT CAN BE VERIFIED AT ALL TIMES THAT CONSTRUCTION IS BEING ACCOMPLISHED AT THE PROPER LOCATION AND GRADE. THE WORK SHALL NOT VARY MORE THAN 1/2-INCH FROM THE LINES AND GRADES SHOWN ON THE PLANS.

STANDARD ABBREVIATIONS:

AC.	acres	L.	length (of curve)
ADD.	addendum	LT.	light
ADJ.	adjustable	L.F.	linear feet
AGG.	aggregate	L.P.	low point
ALT.	alternate		
ALUM.	aluminum	M.H.	manhole
ANC.	anchor, anchorage	MFR.	manufacture(er)
ANOD.	anodized	MAX.	maximum
APPROX.	approximate	MECH.	mechanic(al)
ARCH.	architect(ural)	MED.	medium
A.D.	area drain	MTL.	metal
ASPH.	asphalt	M.	meter(s)
		MM.	millimeter(s)
B&B	balled and burlapped	MIN.	minimum
B.M.	bench mark	MISC.	miscellaneous
BIT.	bituminous	MOD.	modular
BLK.	block		
BTM.	bottom	N	north
B.C.	bottom of curb	NOM.	nominal
B.W.	bottom of wall	N.I.C.	not in contract
BRK.	brick	N.T.S.	not to scale
BLDG.	building	NO.	number
CAL.	caliper	O.C.	on center(s)
CK.	caulk(ing) caulk(ing)	OPP.	opposite
C.I.	cast iron	O.H.	opposite hand
C.I.P.C.	cast-in-place concrete	O.D.	outside diameter
C.B.	catch basin		
CEM.	cement	PTD.	paint(ed)
C.L.	center line	PVG.	pave(ing)
CM.	centimeter(s)	PVMT.	pavement
CHAM.	chamfer	PERF.	perforate(d)
C.L.F.	chain link fence	PL.	plate
CIR.	circle	PT.	point
CIRC.	circumference	P.V.C.	polyvinyl chloride
CLR.	clear(ance)	P.S.F.	pounds per square foot
CONC.	concrete	P.S.I.	pound per square inch
C.M.U.	concrete masonry unit	P.C.C.	point of compound curvature
CONST.	construction	P.O.C.	point of curvature
CONT.	container	P.I.	point of intersection
C.L.L.	contract limit line	P.R.C.	point of reverse curvature
C.J.	contraction joint	P.O.T.	point of tangent
C.M.P.	corrugated metal pipe	P.V.I.	point of vertical intersection
CORR.	corrugated	P.V.T.	point of vertical tangent
CS.	countersink	PL	property line
CRS.	course(s)		
		R.	radius
C.F.	cubic foot	RL.	rail(ing)
C.Y.	cubic yard	R.W.C.	rainwater conductor
		REF.	reference
		REBAR	reinforcement bar
DP.	dampproofing	R.C.P.	reinforced concrete pipe
D	degree of curvature	REINF.	reinforcing
DEMO.	demolish, demolition	REV.	revision(s), revised
DEP.	depressed	R.E.	rim elevation
DTL.	detail	REQ.	required
DIAG.	diagonal	R.O.W.	right of way
DIAM.	diameter	RIS.	riser
D.B.H.	diameter breast height	RD.	road
DIM.	dimension		
DIV.	division	S	south
DS.	downspout	SAN.	sanitary
D.T.	drain tile	SCH.	schedule
DWVG.	drawing	SC.	score line
D.F.	drinking fountain	SEC.	section
		SHT.	sheet
E	east	SIM.	similar
E.W.	each way	SL.	sleeve
ELEC.	electric(al)	SP(S).	space(s)
EL.	elevation	SPECS	technical specifications
ENCL.	enclosure(ure)	SQ.	square
ENG.	engineer	S.S.	stainless steel
EQ.	equal	STD.	standard
EQUIP.	equipment	STA.	station
EST.	estimate	STL.	steel
EX.	existing	S.D.	storm drain
EXP.	exposed	SW	stormwater
EXT.	exterior	ST.	street
		STR.	structural
FIN.	finish(ed)		
F.F.E.	finished floor elevation	T.	tangent
F.G.	finish grade	TEL.	telephone
FLG.	flashing	THK.	thick(ness)
FLX.	flexible	TOL.	tolerance
F.H.	fire hydrant	T.C.	top of curb
FL.	floor	T.SL.	top of slab
FT.	foot or feet	T.W.	top of wall
FTG.	footing	TYP.	typical
FND.	foundation		
FUT.	future	U.O.N.	unless otherwise noted
		VAR.	varies
GA.	gage, gauge	VERT.	vertical
GALV.	galvanized	V.C.	vertical curve
G.V.	gas value		
G.C.	general contract(or)	W.	west
GD.	grade, grading	WH.S.	wheel stop
		W.	width, wide
GVL.	gravel	W/	with
G.	gutter	W/O	without
		WD.	wood
HDW.	hardware	W.W.M.	woven wire mesh
HW.	hardwood	W.W.F.	welded wire fabric
HDR.	header		
H.D.	heavy duty		
HT.	height		



PROJECT NAME & ADDRESS:
ZIEHLER PLAYGROUND & RECREATION CENTER

200-64 E. OLNEY AVENUE
PHILADELPHIA, PA 19120

PROJECT NUMBER:
16640E-01-02

PRIME CONSULTANT / LANDSCAPE ARCHITECTURE:



161 LEVERINGTON AVE. SUITE 1005
PHILADELPHIA, PA 19127
www.saltdesignstudio.com

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PLANNING & URBAN DESIGN

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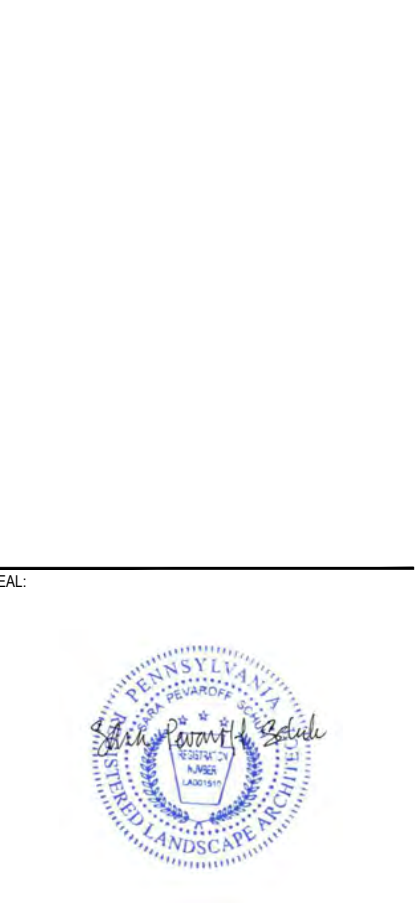
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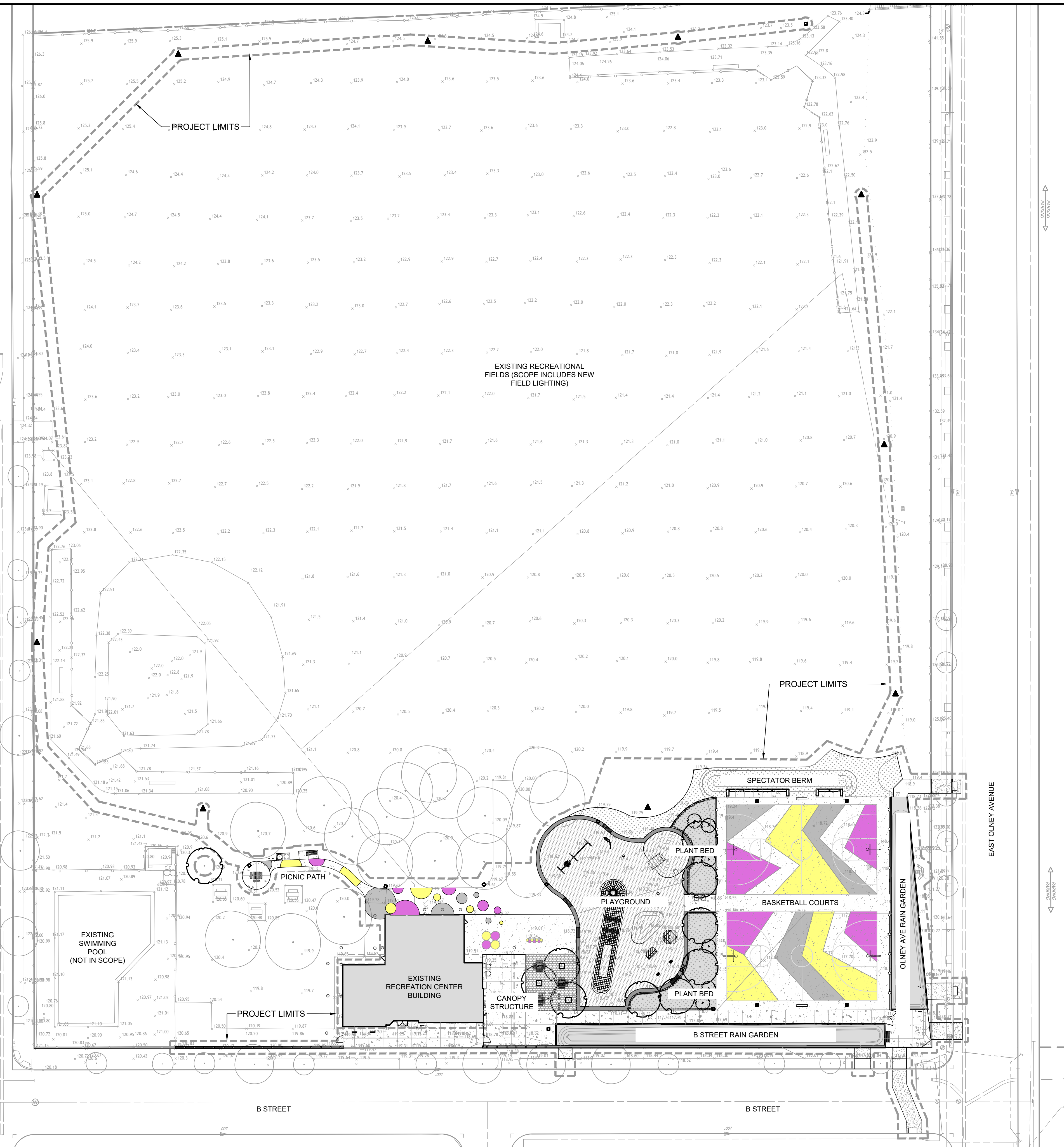


SHEET TITLE:
OVERALL SITE PLAN - SUMMARY OF WORK

REV	DATE	DESCRIPTION

SCALE:
 AS NOTED
 DATE: 08/15/2022 DRAWN BY: SB
 CHECKED BY: SPS

SHEET NUMBER:
G002
 SALT DESIGN STUDIO FILE NO.:
 2003



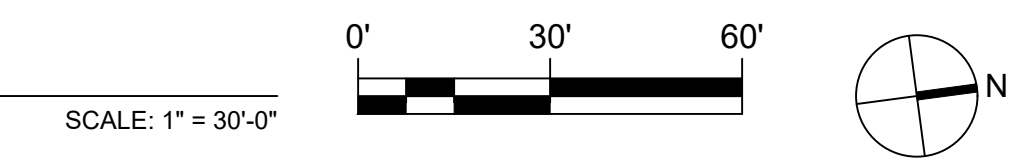
SUMMARY OF WORK:

- SITE:**
- AT GRADE SITE REMOVALS
 - UTILITY REMOVALS AND/OR ABANDONMENT
 - EROSION CONTROL MEASURES
 - CONCRETE, ASPHALT, POURED-IN-PLACE SAFETY SURFACE, AND PERMEABLE PAVERS
 - NEW FENCING AND GATES
 - GRADING
 - NEW SITE UTILITY SYSTEMS
 - SITE, COURT, AND FIELD LIGHTING
 - LANDSCAPE PLANTINGS
 - SITE FURNISHINGS AND PLAY EQUIPMENT
 - GREEN STORMWATER INFRASTRUCTURE AND STORMWATER MANAGEMENT
- BUILDING:**
- SELECTIVE DEMOLITION
 - INTERIOR BUILDING RENOVATIONS
 - ROOF REPLACEMENT
 - NEW RESTROOMS
 - NEW INTERIOR LIGHTING
 - NEW HVAC SYSTEM
 - PLUMBING
 - EXTERIOR ENVELOPE MAINTENANCE
 - PAINTING

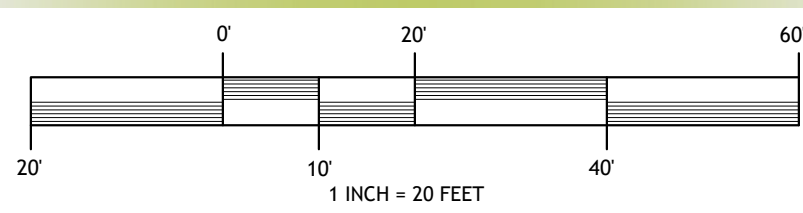
SUMMARY OF DEDUCT ALTS:

- ORNAMENTAL FENCING FOR CHAIN LINK FENCING (BASED ON PPR STANDARDS)
- CONCRETE CURB AROUND PLAYGROUND
- FIELD LIGHTING INCLUDES ELECTRICAL CONDUIT, TRENCHING AND BACKFILL, POLES, AND FOUNDATION

1 OVERALL SITE PLAN



GRAPHIC SCALE



PA ONE CALL NUMBER: 20191932559, 20191932560, 20191932580, 20191932581 & 20191932615

"CALL BEFORE YOU DIG"

PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 121 (2008), THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776, OR 811, 3 TO 10 WORKING DAYS PRIOR TO EXCAVATION.

LIST OF IDENTIFIED UTILITIES

COMPANY: PECO ENERGY ADDRESS: C/O USIC 450 S HENDERSON RD SUITE B KING OF PRUSSIA, PA. 19406 CONTACT: NIKKIA SIMPKINS EMAIL: nikkiasimpkins@peco.com PHONE: 215-731-3283

COMPANY: PHILADELPHIA CITY WATER DEPARTMENT ADDRESS: 1101 MARKET STREET 2ND FLOOR AREA TOWER PHILADELPHIA, PA. 191072994 CONTACT: ERIC PONERT EMAIL: eric.ponert@phila.gov PHONE: 215-685-6272

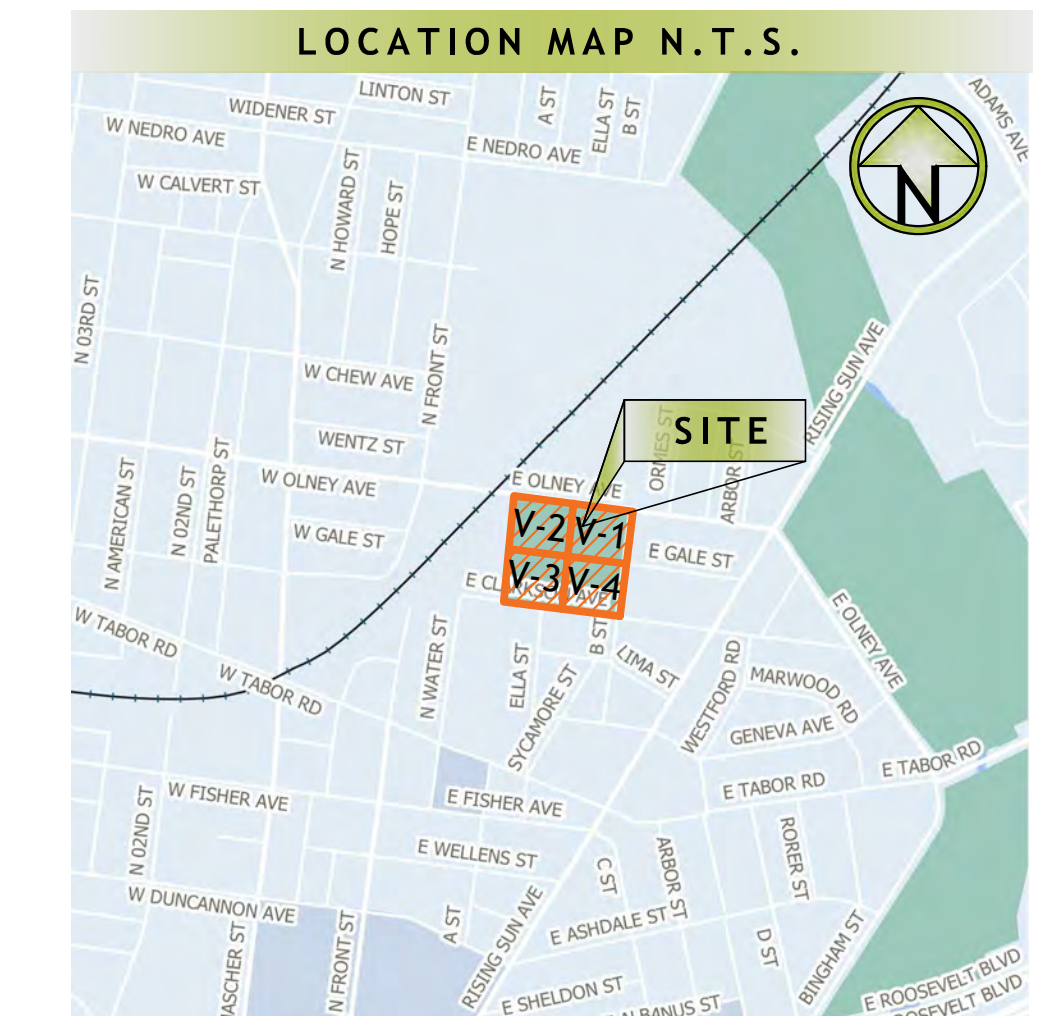
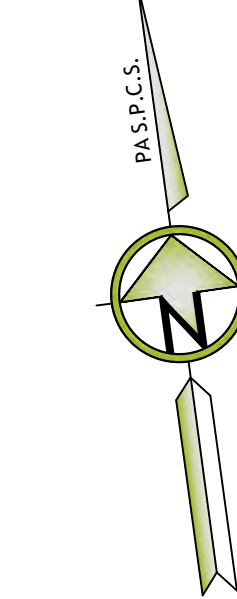
COMPANY: PHILADELPHIA CITY DEPT OF STREETS ADDRESS: 1401 JFK BLVD ROOM 940 MSB PHILADELPHIA, PA. 191021676 CONTACT: MAUREEN WANGARI EMAIL: maureen.wangari@phila.gov

COMPANY: PHILADELPHIA GAS WORKS ADDRESS: 800 W MONTGOMERY AVE PHILADELPHIA, PA. 19122 CONTACT: MICHAEL PARZANESE EMAIL: MICHAEL.PARZANESE@PGWORKS.COM

COMPANY: VERIZON PENNSYLVANIA INC ADDRESS: 180 SHEREE BLVD STE 2100 EXTON, PA. 19341 CONTACT: KELLY BLOUNT EMAIL: kelly.b.blount@verizon.com PHONE: 610-280-1914

OLNEY AVENUE (S.R. 4004) (12' - 36' - 12') (60 FEET WIDE R.O.W.) ON CITY PLAN, LEGALLY OPEN

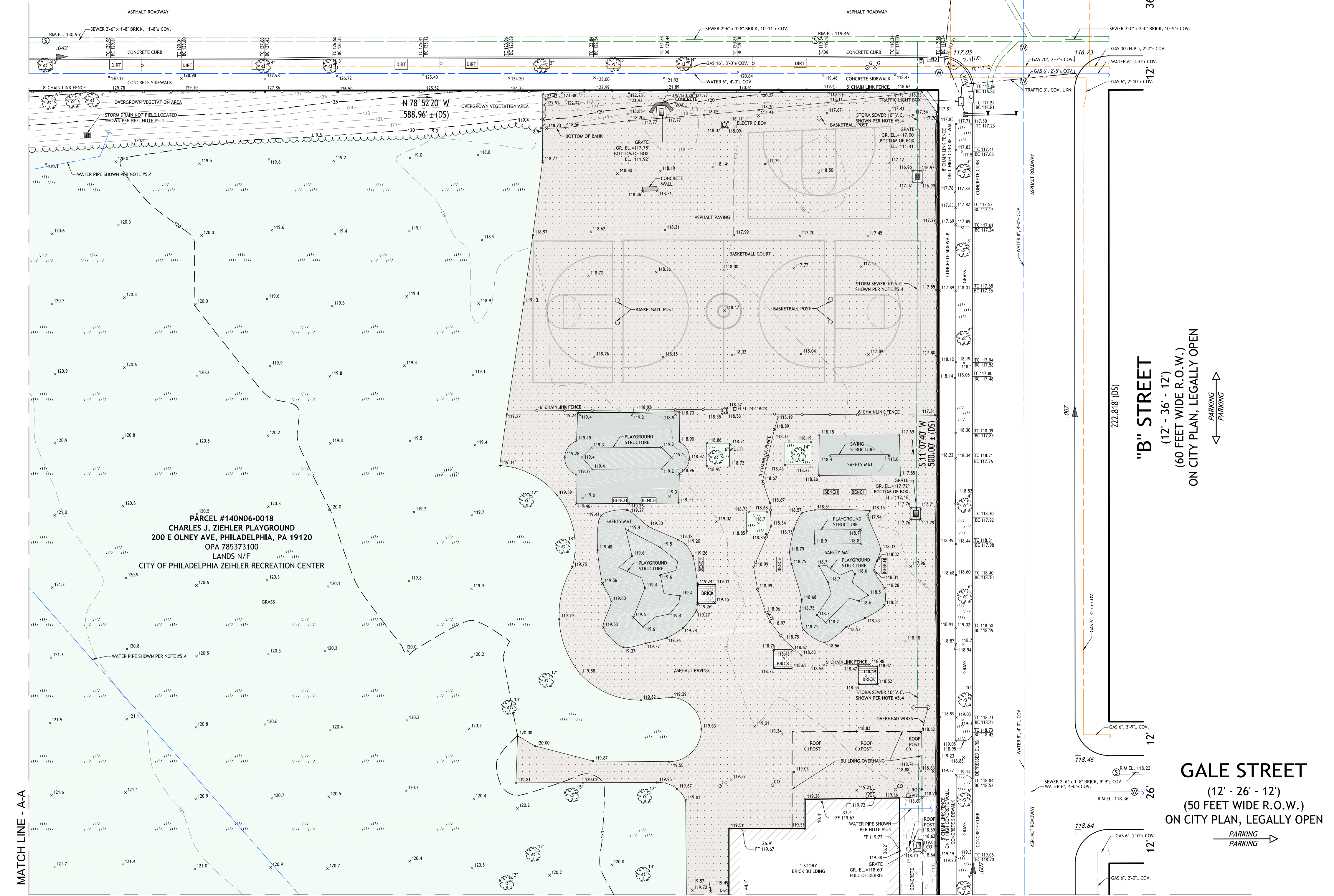
"B" STREET (12' - 36' - 12') (60 FEET WIDE R.O.W.) STRICKEN FROM CITY PLAN, LEGALLY OPEN, PORTION VACATED



NOTES

- 1. PLAN MADE AS PER INSTRUCTIONS OF: SARA PEVAROFF SCHUH SALT DESIGN STUDIO 4100 MAIN STREET, SUITE 201 PHILADELPHIA, PA 19127 TEL: 610.667.5048
2. PARCEL KNOWN AS: ZIEHLER PLAYGROUND 200-64 E OLNEY AVENUE, PHILADELPHIA, PA 19120
3. THE HORIZONTAL CONTROL NETWORK IS REFERENCED TO THE PENNSYLVANIA SOUTH ZONE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83). THE VERTICAL CONTROL NETWORK IS REFERENCED TO CITY OF PHILADELPHIA DATUM BASED ON BENCHMARK PROVIDED BY 5TH SURVEY DISTRICT.
REFERENCE BENCHMARK: THE TOP RIM OF THE FIRE HYDRANT ON THE SOUTHWEST CORNER OF FRON ST. AND OLNEY AVE. ELEVATION AT +134.03'.
4. ACTUAL FIELD SURVEY WAS PERFORMED BY RODRIGUEZ CONSULTING, LLC DURING MONTH OF JULY, 2019.
5. RIGHT-OF-WAY INFORMATION TAKEN FROM PLANS PROVIDED BY THE CITY OF PHILADELPHIA. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY AND THE PROPERTY BEARINGS AND DISTANCES HAVE NOT BEEN CONFIRMED.
RIGHT-OF-WAY AND PROPERTY REFERENCES:
#1 - CITY PLAN #254
#2 - CITY PLAN # P-14-048
#3 - CITY PLAN # P-26-303
#4 - CITY OF PHILADELPHIA ATLAS WEBSITE WWW.ATLAS.PHILA.GOV
6. ALL DIMENSIONS ARE SHOWN IN UNITED STATES SURVEY FEET UNLESS DESIGNATED 'DS' TO DENOTE PHILADELPHIA DISTRICT STANDARD FEET UNITS. PHILADELPHIA DISTRICT STANDARD MEASURE IS USED TO DEFINE PARTY LINES AND PROPERTY LINES IN EACH BLOCK.
7. UNLESS SPECIFICALLY STATED OR SHOWN HERETO TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
A. BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
B. ANY SUBSURFACE OR SUBTERRANEAN CONDITION, SUBSURFACE UTILITIES, EASEMENTS OR RIGHTS INCLUDING, BUT NOT LIMITED TO, MINERAL OR MINING RIGHTS.
C. THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
8. UTILITIES ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND DEPTH.
9. IN SOME INSTANCES, UTILITIES ARE TAKEN FROM SURFACE OBSERVATION OF THE SITE. UTILITIES AS SHOWN ARE APPROXIMATE AND MAY NOT BE COMPLETE.
10. LOCATIONS OF ON SITE UTILITIES AS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM LIMITED EXISTING UTILITY RECORDS AVAILABLE AND DON'T APPEAR TO BE COMPLETE. THE LOCATIONS ARE APPROXIMATE, AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
PLAN REFERENCE:
#1 - DRAWING NO. S.1, TITLED 'SITE DEMOLITION PLAN ZIEHLER PLAYGROUND', DATED 3-6-03.
#2 - DRAWING NO. S.2, TITLED 'SITE IMPROVEMENTS PLAN ZIEHLER PLAYGROUND', DATED 3-6-03.
11. COMPLETENESS OF LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
12. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT OR COMPLETE TITLE REPORT AND IS NOT INTENDED TO GUARANTEE OWNERSHIP. THERE MAY EXIST RIGHT-OF-WAYS, EASEMENTS, CONDITIONS, OR OTHER ISSUES THAT MAY AFFECT THE DEVELOPMENT OF THIS PARCEL.
13. WE ARE NOT EXPERTS IN THE DETECTION AND/OR IDENTIFICATION OF POTENTIALLY HAZARDOUS SOILS AND SUBSTANCES; THEREFORE, THIS PLAN DOES NOT PURPORT TO LOCATE OR REVEAL SAME.
14. VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREOF.
15. ONLY COPIES FROM THE ORIGINAL OF THIS PLAN, CLEARLY MARKED WITH APPROPRIATE PROFESSIONAL'S SEAL SHALL BE CONSIDERED TO BE VALID COPIES. THIS CORPORATION AND/OR ITS EMPLOYEES ARE NOT LIABLE FOR ERRORS OR OMISSIONS RESULTING FROM THIS CONDITION.
16. THIS PLAN DOES NOT SHOW, OR INTEND TO SHOW, ANY NON-RECORDED EASEMENTS OR RIGHT-OF-WAY.

STOP! CALL! SEE SHEET S-2



"B" STREET (12' - 36' - 12') (60 FEET WIDE R.O.W.) ON CITY PLAN, LEGALLY OPEN

GALE STREET (12' - 26' - 12') (50 FEET WIDE R.O.W.) ON CITY PLAN, LEGALLY OPEN

MATCH LINE - A-A

MATCH LINE - D-D

SEE SHEET S-4

LEGEND

- UTILITY POLE WITH LIGHT, LAMP POST, SIGN, TRAFFIC SIGNAL, TRAFFIC SIGNAL LIGHT, GAS VALVE, GAS BOX, DOWN SPOUT, CLEANOUT, BIKE RACK, HANDICAP RAMP, TREE DECIDUOUS/TRUNK SIZE, CITY INLET, GRATE INLET, OLD CITY INLET #, YARD DRAIN, TOP OF CURB ELEVATION, BOTTOM OF CURB ELEVATION, SPOT ELEVATION, GRATE, TOP OF WALL, FINISH FLOOR, NOW OR FORMERLY, R.O.W. LINE, PROPERTY LINE, FENCE, HEDGE, TREE LINE, MINOR CONTOUR LINE, MAJOR CONTOUR LINE, STORM PIPING, MANHOLE, GAS LINE, MANHOLE, ELECTRIC LINE, MANHOLE, WATER LINE, MANHOLE, WALL, BRICK, DIRT, ASPHALT, SAFETY MAT, CONCRETE, GRASS, WATER

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Table with columns for REVISIONS, NO., DATE, and BY.

SEAL

SIGNATURE: REX E. CLARK, PLS. PROFESSIONAL LAND SURVEYOR COMMONWEALTH OF PA. LICENCE NUMBER: SU-56280

Land Surveying, Civil Engineering, Land Development, Water Management, Digital Mapping



1301 N 2nd Street Philadelphia, PA 19122 Phone: (215) 839-8087 Fax: (877) 839-6975 www.rodriguez.biz

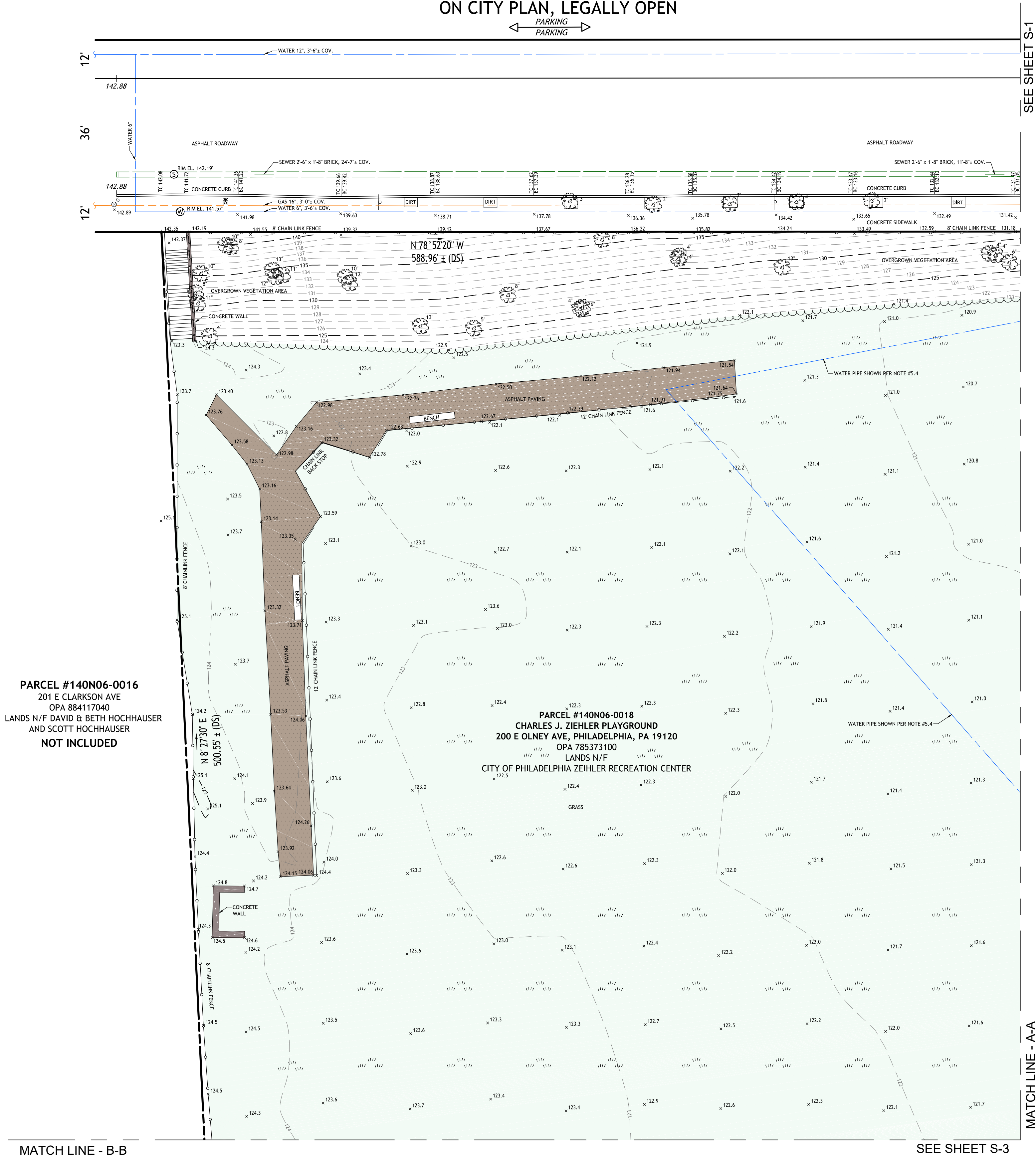
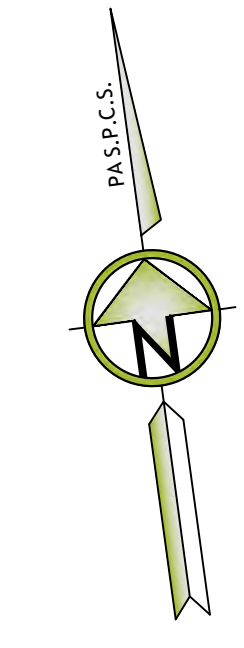
A Certified Minority-Owned (MBE) & Disadvantaged Business Enterprise (DBE)

EXISTING CONDITIONS

PREPARED FOR SALT DESIGN STUDIO

PROJECT: ZIEHLER PLAYGROUND SURVEY Drwn/Chk By: J.S./D.S. Municipality: CITY OF PHILADELPHIA Ward: 42ND County: PHILADELPHIA State: PENNSYLVANIA Scale: 1"=20' Project Number: ZIEHLER PLAYGROUND File Name: ZIEHLER PLAYGROUND.dwg Field Date: 07/22/2019 Completed: 08/16/2019 Drawing Number: V-1

**OLNEY AVENUE
(S.R. 4004)
(12' - 36' - 12')
(60 FEET WIDE R.O.W.)
ON CITY PLAN, LEGALLY OPEN**



PARCEL #140N06-0016
201 E CLARKSON AVE
OPA 884117040
LANDS N/F DAVID & BETH HOCHHAUSER
AND SCOTT HOCHHAUSER
NOT INCLUDED

PARCEL #140N06-0018
CHARLES J. ZIEHLER PLAYGROUND
200 E OLNEY AVE, PHILADELPHIA, PA 19120
OPA 785373100
LANDS N/F
CITY OF PHILADELPHIA ZIEHLER RECREATION CENTER

MATCH LINE - B-B

SEE SHEET S-3

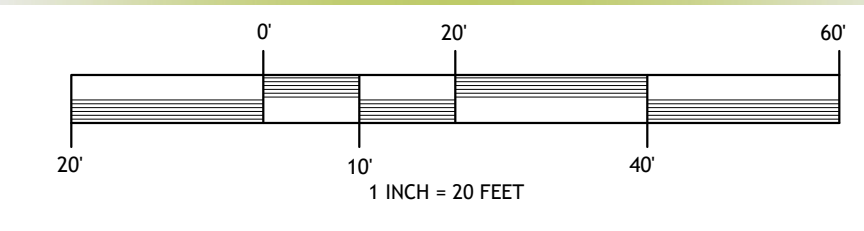
SEE SHEET S-1

MATCH LINE - A-A

LIST OF IDENTIFIED UTILITIES

- | | |
|---|--|
| <p>COMPANY: PECCO ENERGY
ADDRESS: C/O USIC
450 S HENDERSON RD SUITE B
KING OF PRUSSIA, PA. 19406
CONTACT: HANNA SIMPKINS
EMAIL: ntkiasimpkins@usicinc.com
PHONE: 215-731-3283</p> <p>COMPANY: PHILADELPHIA CITY WATER
DEPARTMENT
ADDRESS: 1101 MARKET STREET
2ND FLOOR AREA TOWER
PHILADELPHIA, PA. 191072994
CONTACT: ERIC PONERT
EMAIL: eric.ponert@phila.gov
PHONE: 215-685-6272</p> | <p>COMPANY: PHILADELPHIA CITY DEPT OF STREETS
ADDRESS: 1401 JFK BLVD ROOM 940 MSB
PHILADELPHIA, PA. 191021676
CONTACT: MAUREEN WANGARI
EMAIL: maureen.wangari@phila.gov</p> <p>COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA. 19122
CONTACT: MICHAEL PARZANES
EMAIL: MICHAEL.PARZANES@PGWORKS.COM</p> <p>COMPANY: VERIZON PENNSYLVANIA INC
ADDRESS: 180 SHEREE BLVD STE 2100
EXTON, PA. 19341
CONTACT: KELLY BLOUNT
EMAIL: kelly.b.blount@verizon.com
PHONE: 610-280-1914</p> |
|---|--|

GRAPHIC SCALE

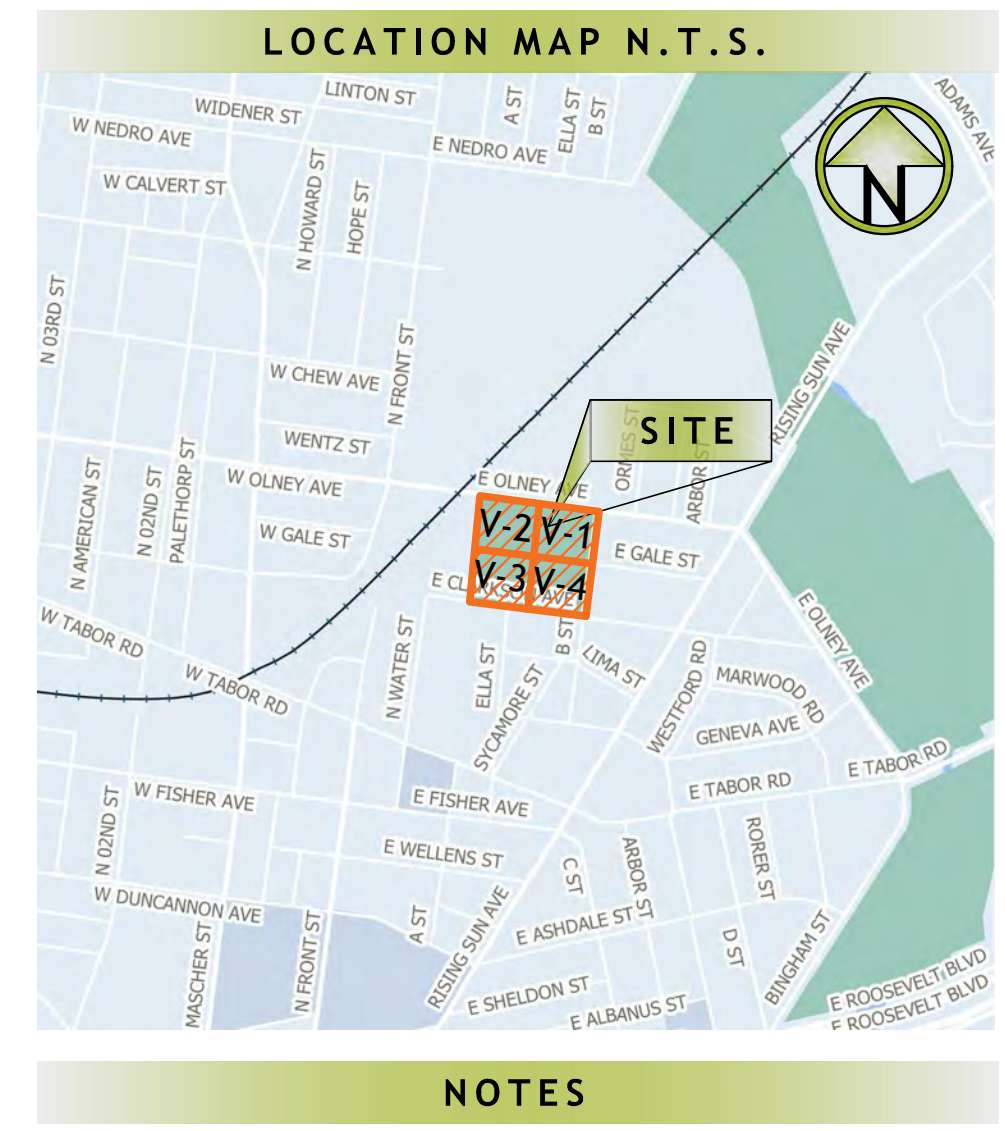


**PA ONE CALL NUMBER: 20191932559, 20191932560,
20191932580, 20191932581 & 20191932615**

"CALL BEFORE YOU DIG"

PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 121 (2008), THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776, OR 811, 3 TO 10 WORKING DAYS PRIOR TO EXCAVATION.

STOP! CALL!



NOTES

- PLAN MADE AS PER INSTRUCTIONS OF:
SARA PEVAROFF SCHULH
SALT DESIGN STUDIO
4100 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19127
TEL. 610.667.5048
- PARCEL KNOWN AS: ZIEHLER PLAYGROUND 200-64 E OLNEY AVENUE, PHILADELPHIA, PA 19120
- THE HORIZONTAL CONTROL NETWORK IS REFERENCED TO THE PENNSYLVANIA SOUTH ZONE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83). THE VERTICAL CONTROL NETWORK IS REFERENCED TO CITY OF PHILADELPHIA DATUM BASED ON BENCHMARK PROVIDED BY 5TH SURVEY DISTRICT.
- REFERENCE BENCHMARK:
THE TOP RIM OF THE FIRE HYDRANT ON THE SOUTHWEST CORNER OF FRON ST. AND OLNEY AVE. ELEVATION AT +134.03.
- ACTUAL FIELD SURVEY WAS PERFORMED BY RODRIGUEZ CONSULTING, LLC DURING MONTH OF JULY, 2019.
- RIGHT-OF-WAY INFORMATION TAKEN FROM PLANS PROVIDED BY THE CITY OF PHILADELPHIA. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY AND THE PROPERTY BEARINGS AND DISTANCES HAVE NOT BEEN CONFIRMED.
- RIGHT-OF-WAY AND PROPERTY REFERENCES:
#1 - CITY PLAN #254
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#3 - CITY PLAN # P-26-303
#4 - CITY OF PHILADELPHIA ATLAS WEBSITE WWW.ATLAS.PHILA.GOV
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- PLAN REFERENCE:
#1 - DRAWING NO. S.1, TITLED "SITE DEMOLITION PLAN ZIEHLER PLAYGROUND", DATED 3-4-03.
#2 - DRAWING NO. S.2, TITLED "SITE IMPROVEMENTS PLAN ZIEHLER PLAYGROUND", DATED 3-4-03.
- COMPLETENESS OF LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT OR COMPLETE TITLE REPORT AND IS NOT INTENDED TO GUARANTEE OWNERSHIP. THERE MAY EXIST RIGHT-OF-WAYS, EASEMENTS, CONDEMNATIONS, OR OTHER ISSUES THAT MAY AFFECT THE DEVELOPMENT OF THIS PARCEL.
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- THIS PLAN DOES NOT SHOW, OR INTEND TO SHOW, ANY NON-RECORDED EASEMENTS OR RIGHT-OF-WAY.

LEGEND

- | | |
|--|--|
| <ul style="list-style-type: none"> UTILITY POLE WITH LIGHT LAMP POST SIGN TRAFFIC SIGNAL TRAFFIC SIGNAL LIGHT GAS VALVE, GAS BOX DOWN SPOUT CLEANOUT BIKE RACK HANDICAP RAMP TREE DECIDUOUS/TRUNK SIZE CITY INLET GRATE INLET OLD CITY INLET # YARD DRAIN TOP OF CURB ELEVATION BOTTOM OF CURB ELEVATION SPOT ELEVATION GR. GRATE TW TOP OF WALL FF FINISH FLOOR NIF NOW OR FORMERLY | <ul style="list-style-type: none"> R.O.W. LINE PROPERTY LINE FENCE HEDGE, TREE LINE MINOR CONTOUR LINE MAJOR CONTOUR LINE STORM PIPING, MANHOLE GAS LINE, MANHOLE ELECTRIC LINE, MANHOLE WATER LINE, MANHOLE WALL BRICK DIRT ASPHALT SAFETY MAT CONCRETE GRASS WATER |
|--|--|

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NO.	REVISIONS	DATE	BY

SEAL

REX E. CLARK, PLS
PROFESSIONAL LAND SURVEYOR COMMONWEALTH OF PA
LICENCE NUMBER: SU-56280

Land Surveying
Civil Engineering
Land Development
Water Management
Digital Mapping



1301 N 2nd Street
Philadelphia, PA 19122
Phone: (215) 839-8087
Fax: (877) 839-6975
www.rodriguez.biz

A Certified Minority-Owned (MBE) & Disadvantaged Business Enterprise (DBE)

EXISTING CONDITIONS

PREPARED FOR SALT DESIGN STUDIO

PROJECT: ZIEHLER PLAYGROUND SURVEY
Drwn/Chk By: J.S./D.S.
Municipality: CITY OF PHILADELPHIA
Ward: 42ND
County: PHILADELPHIA
State: PENNSYLVANIA
Scale: 1"=20'
Project Number: ZIEHLER PLAYGROUND
File Name: ZIEHLER PLAYGROUND.dwg
Field Date: 07/22-23/2019
Completed: 08/16/2019

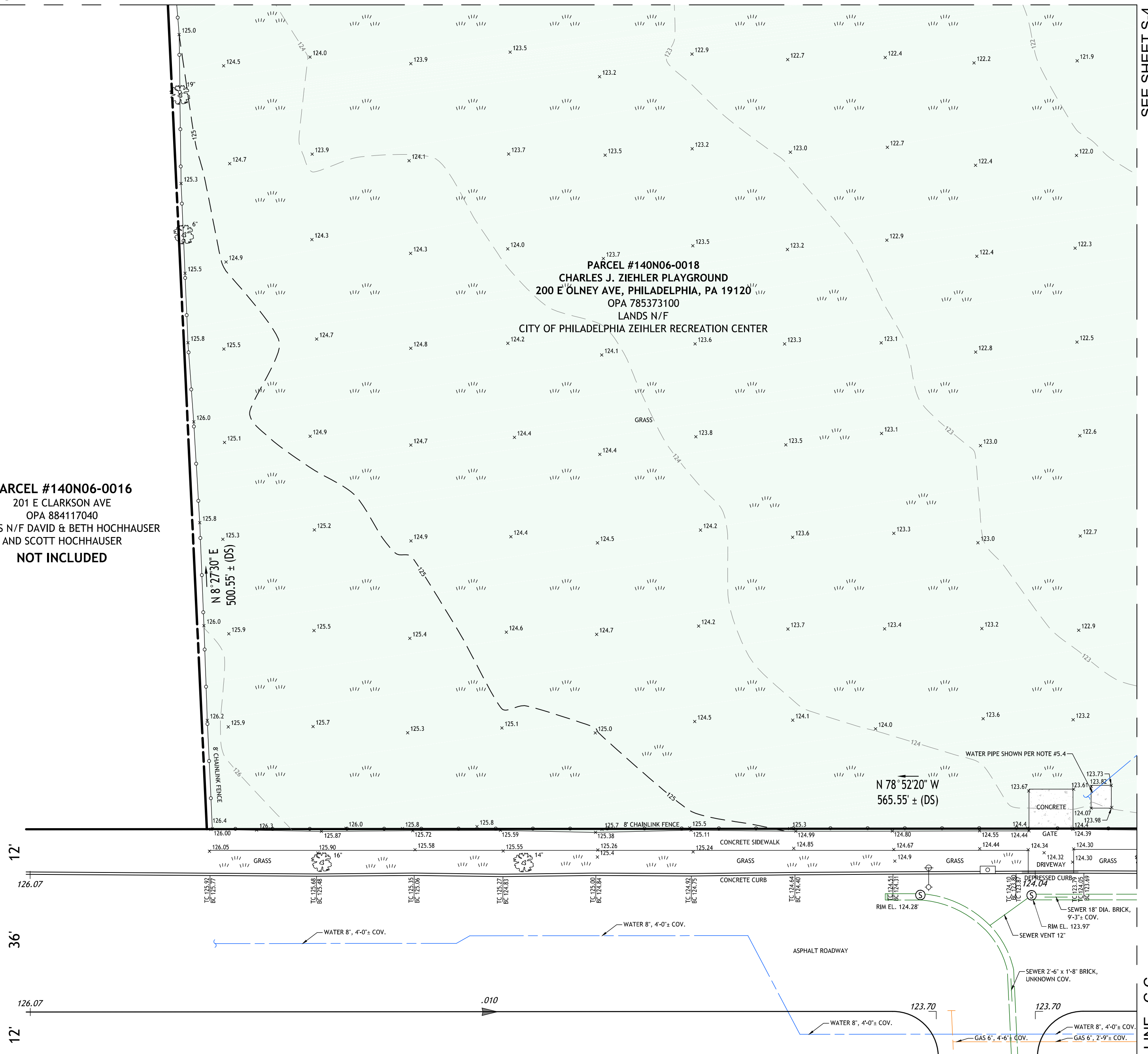
Drawing Number: **V-2**

MATCH LINE - B-B

SEE SHEET S-2

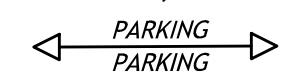
SEE SHEET S-4

PARCEL #140N06-0016
201 E CLARKSON AVE
OPA 884117040
LANDS N/F DAVID & BETH HOCHHAUSER
AND SCOTT HOCHHAUSER
NOT INCLUDED



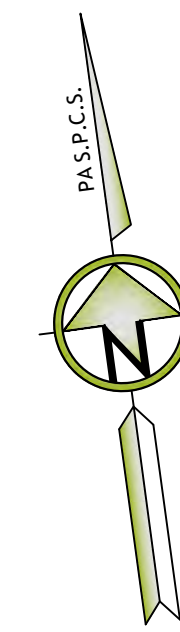
CLARKSON AVENUE
(12' - 36' - 12')

(60 FEET WIDE R.O.W.)
ON CITY PLAN, LEGALLY OPEN



ELLA STREET
(12' - 26' - 12')
(50 FEET WIDE R.O.W.)
ON CITY PLAN, LEGALLY OPEN

MATCH LINE - C-C



- NOTES**
- PLAN MADE AS PER INSTRUCTIONS OF:
SARA PEVAROFF SCHUH
SALT DESIGN STUDIO
4100 MAIN STREET, SUITE 201
PHILADELPHIA, PA 19127
TEL. 610.667.5048
 - PARCEL KNOWN AS: ZIEHLNER PLAYGROUND 200-44 E OLNEY AVENUE, PHILADELPHIA, PA 19120
 - THE HORIZONTAL CONTROL NETWORK IS REFERENCED TO THE PENNSYLVANIA SOUTH ZONE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83). THE VERTICAL CONTROL NETWORK IS REFERENCED TO CITY OF PHILADELPHIA DATUM BASED ON BENCHMARK PROVIDED BY 5TH SURVEY DISTRICT.

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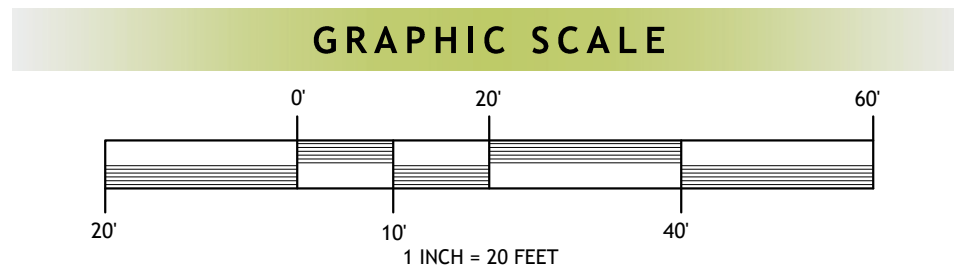
- RIGHT-OF-WAY AND PROPERTY REFERENCES:**
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#2 - CITY PLAN # P-14-048
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- PLAN REFERENCE:**
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#2 - DRAWING NO. S.2, TITLED 'SITE IMPROVEMENTS PLAN ZIEHLNER PLAYGROUND', DATED 3-4-03.
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 - WE ARE NOT EXPERTS IN THE DETECTION AND/OR IDENTIFICATION OF POTENTIALLY HAZARDOUS SOILS AND SUBSTANCES; THEREFORE, THIS PLAN DOES NOT PURPORT TO LOCATE OR REVEAL SAME.
 - VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
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 - THIS PLAN DOES NOT SHOW, OR INTEND TO SHOW, ANY NON-RECORDED EASEMENTS OR RIGHT-OF-WAY.

LIST OF IDENTIFIED UTILITIES

- | | |
|--|--|
| <p>COMPANY: PECCO ENERGY
ADDRESS: C/O USIC
450 S HENDERSON RD SUITE B
KING OF PRUSSIA, PA, 19406
CONTACT: NIKKIA SIMPKINS
EMAIL: nikkiasimpkins@usicinc.com
PHONE: 215-731-3283</p> <p>COMPANY: PHILADELPHIA CITY WATER DEPARTMENT
ADDRESS: 1101 MARKET STREET
2ND FLOOR ARA TOWER
PHILADELPHIA, PA, 191072994
CONTACT: ERIC POMERT
EMAIL: eric.pomert@phila.gov
PHONE: 215-685-6272</p> | <p>COMPANY: PHILADELPHIA CITY DEPT OF STREETS
ADDRESS: 1401 JFK BLVD ROOM 940 MSB
PHILADELPHIA, PA, 191021676
CONTACT: MAUREEN WANGARI
EMAIL: maureen.wangari@phila.gov</p> <p>COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA, 19122
CONTACT: MICHAEL PARZANESE
EMAIL: MICHAEL.PARZANESE@PGWORKS.COM</p> <p>COMPANY: VERIZON PENNSYLVANIA INC
ADDRESS: 180 SHEREE BLVD STE 2100
EXTON, PA, 19341
CONTACT: KELLY BLOUNT
EMAIL: kelly.b.blount@verizon.com
PHONE: 610-280-1914</p> |
|--|--|



PA ONE CALL NUMBER: 20191932559, 20191932560, 20191932580, 20191932581 & 20191932615

"CALL BEFORE YOU DIG"

PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 121 (2008), THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776, OR 811, 3 TO 10 WORKING DAYS PRIOR TO EXCAVATION.

STOP! CALL!

LEGEND

- | | |
|--|--|
| <ul style="list-style-type: none"> UTILITY POLE WITH LIGHT LAMP POST SIGN TRAFFIC SIGNAL TRAFFIC SIGNAL LIGHT GAS VALVE, GAS BOX DOWN SPOUT CLEANOUT BIKE RACK HANDICAP RAMP TREE DECIDUOUS/TRUNK SIZE CITY INLET GRATE INLET OLD CITY INLET # YARD DRAIN TOP OF CURB ELEVATION BOTTOM OF CURB ELEVATION SPOT ELEVATION GR. GRATE TW TOP OF WALL FF FINISH FLOOR NIF NOW OR FORMERLY | <ul style="list-style-type: none"> R.O.W. LINE PROPERTY LINE FENCE HEDGE, TREE LINE MINOR CONTOUR LINE MAJOR CONTOUR LINE STORM PIPING, MANHOLE GAS LINE, MANHOLE ELECTRIC LINE, MANHOLE WATER LINE, MANHOLE WALL BRICK DIRT ASPHALT SAFETY MAT CONCRETE GRASS WATER |
|--|--|

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NO.	REVISIONS	DATE	BY

SEAL

REX E. CLARK, PLS
PROFESSIONAL LAND SURVEYOR COMMONWEALTH OF PA
LICENCE NUMBER: SU-56280

SIGNATURE

Land Surveying
Civil Engineering
Land Development
Water Management
Digital Mapping



1301 N 2nd Street
Philadelphia, PA 19122
Phone: (215) 839-8087
Fax: (877) 839-6975
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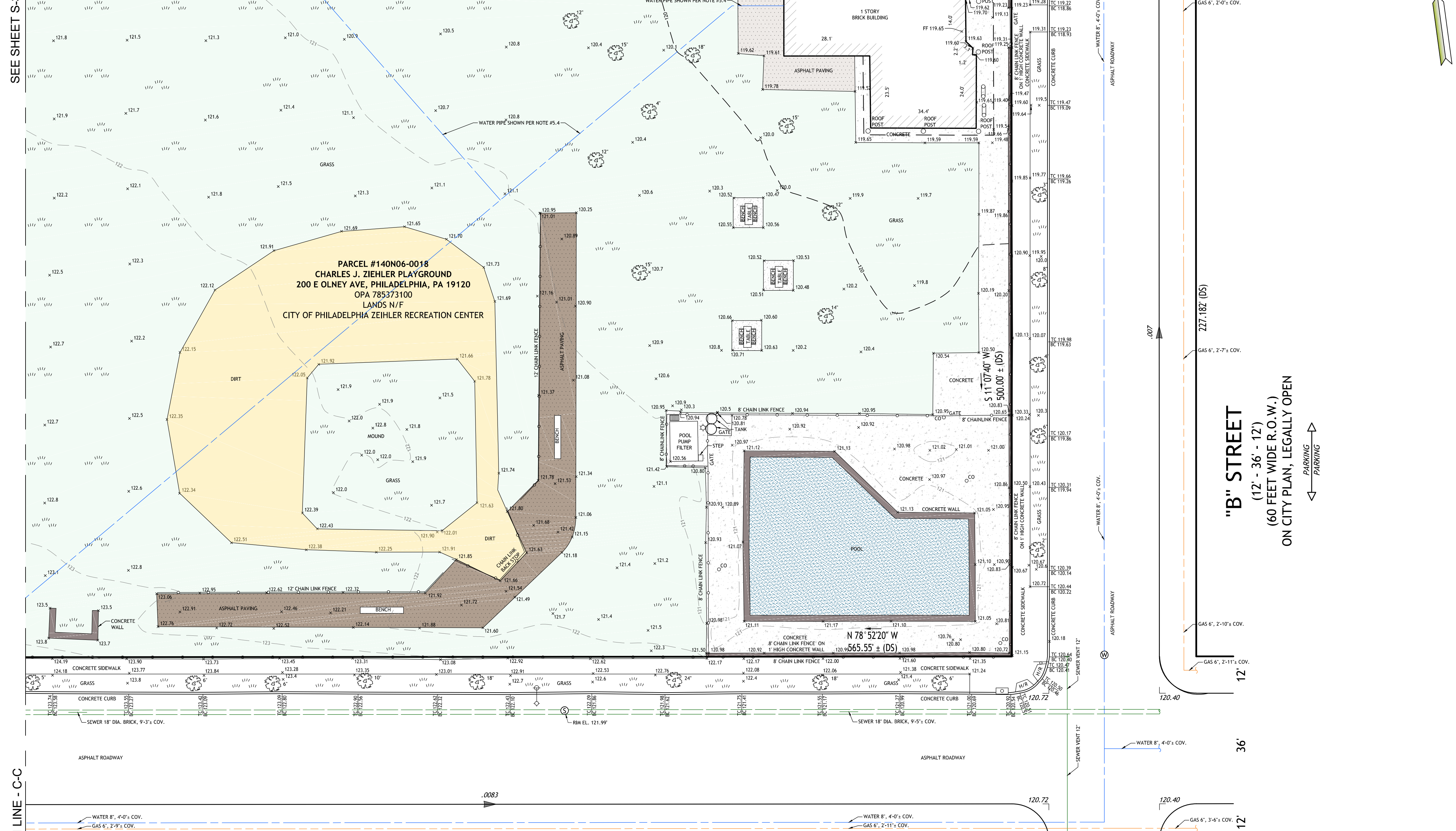
EXISTING CONDITIONS

PREPARED FOR
SALT DESIGN STUDIO

PROJECT: ZIEHLNER PLAYGROUND SURVEY
Drwn/Chk By: J.S./D.S.
Municipality: CITY OF PHILADELPHIA
Ward: 42ND
County: PHILADELPHIA
State: PENNSYLVANIA
Scale: 1"=20'
Project Number: ZIEHLNER PLAYGROUND
File Name: ZIEHLNER PLAYGROUND.dwg
Field Date: 07/22-23/2019
Completed: 08/16/2019

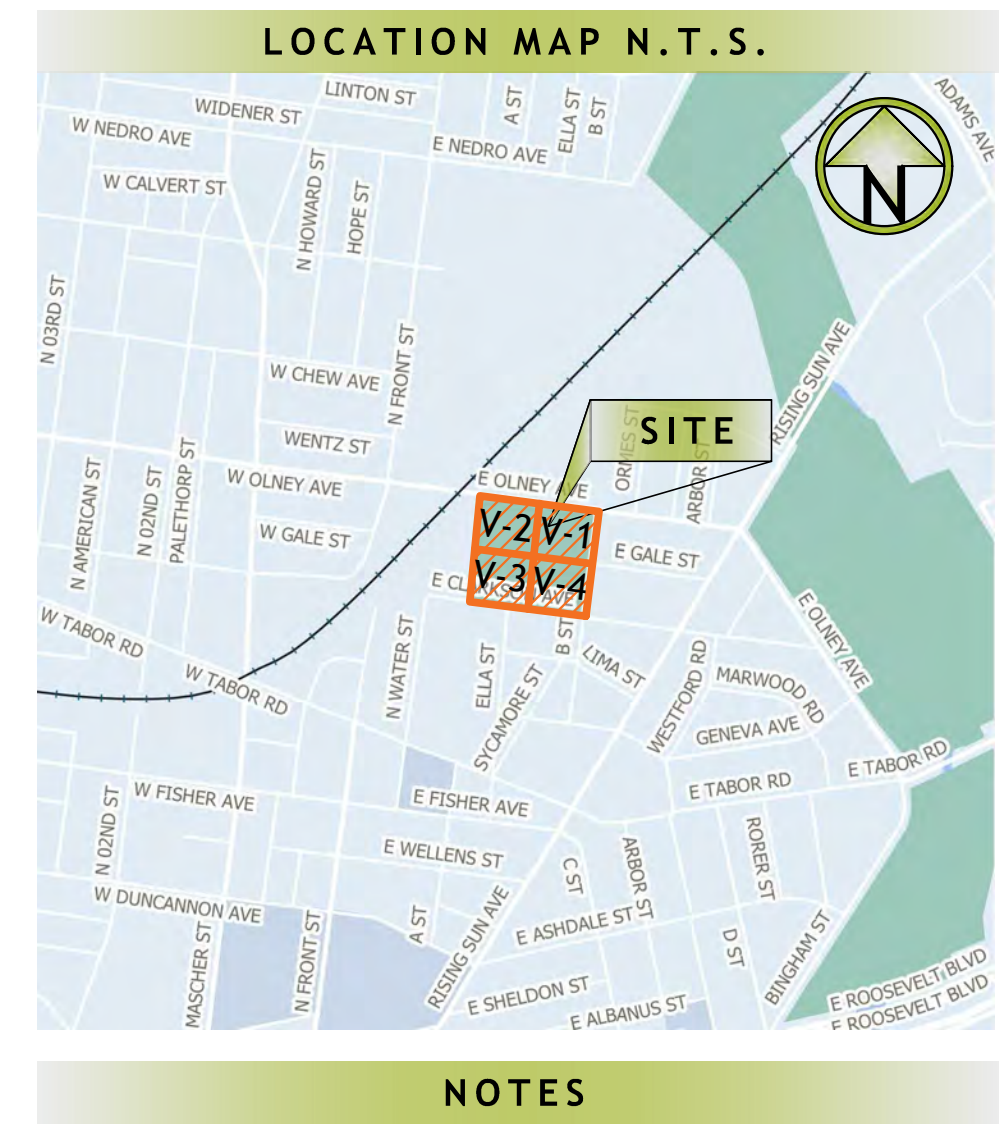
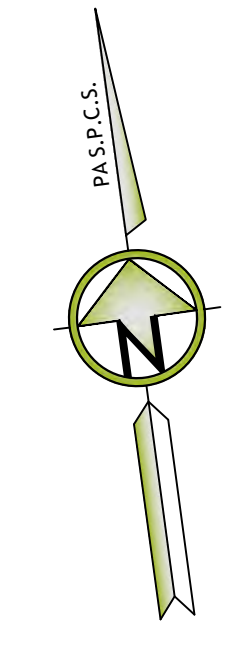
Drawing Number: **V-3**

MATCH LINE - D-D



MATCH LINE - C-C

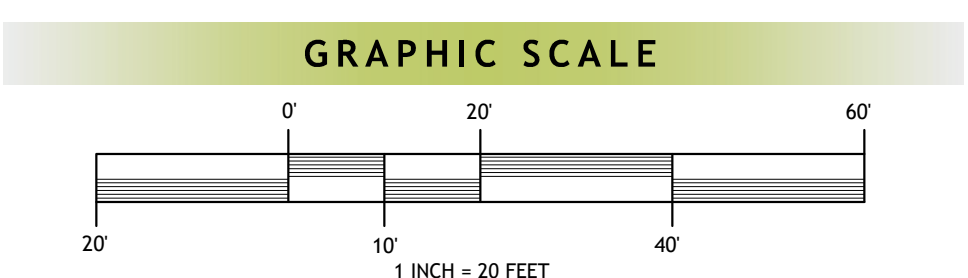
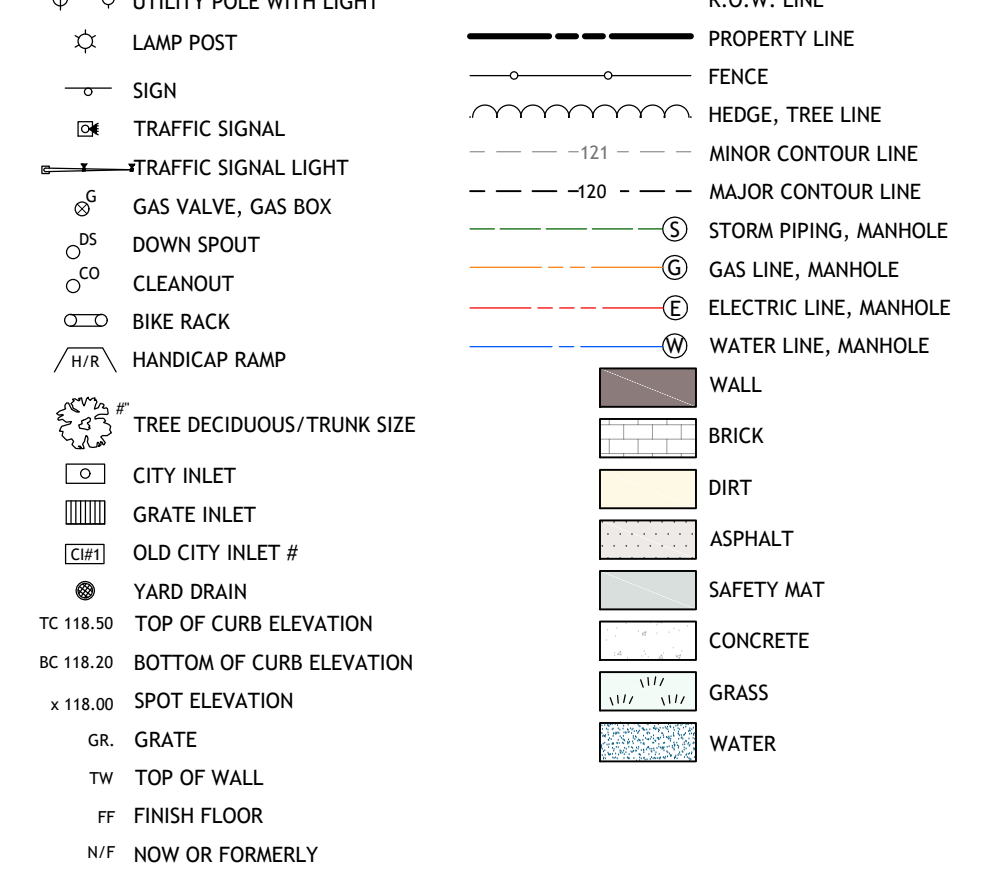
SEE SHEET S-1



NOTES

1. PLAN MADE AS PER INSTRUCTIONS OF: SARA PEVAROFF SCHUH SALT DESIGN STUDIO 4100 MAIN STREET, SUITE 201 PHILADELPHIA, PA 19127 TEL: 610.667.5048
2. PARCEL KNOWN AS: ZIEHLER PLAYGROUND 200-44 E OLNEY AVENUE, PHILADELPHIA, PA 19120
3. THE HORIZONTAL CONTROL NETWORK IS REFERENCED TO THE PENNSYLVANIA SOUTH ZONE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83). THE VERTICAL CONTROL NETWORK IS REFERENCED TO CITY OF PHILADELPHIA DATUM BASED ON BENCHMARK PROVIDED BY 5TH SURVEY DISTRICT.
4. REFERENCE BENCHMARK: THE TOP RIM OF THE FIRE HYDRANT ON THE SOUTHWEST CORNER OF FRON ST. AND OLNEY AVE. ELEVATION AT +134.03.
5. ACTUAL FIELD SURVEY WAS PERFORMED BY RODRIGUEZ CONSULTING, LLC DURING MONTH OF JULY, 2019.
6. RIGHT-OF-WAY INFORMATION TAKEN FROM PLANS PROVIDED BY THE CITY OF PHILADELPHIA. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY AND THE PROPERTY BEARINGS AND DISTANCES HAVE NOT BEEN CONFIRMED.
7. RIGHT-OF-WAY AND PROPERTY REFERENCES: #1 - CITY PLAN #254 #2 - CITY PLAN # P-14-048 #3 - CITY PLAN # P-26-303 #4 - CITY OF PHILADELPHIA ATLAS WEBSITE WWW.ATLAS.PHILA.GOV
8. ALL DIMENSIONS ARE SHOWN IN UNITED STATES SURVEY FEET UNITS UNLESS DESIGNATED 'DS' TO DENOTE PHILADELPHIA DISTRICT STANDARD FEET UNITS. PHILADELPHIA DISTRICT STANDARD MEASURE IS USED TO DEFINE PARTY LINES AND PROPERTY LINES IN EACH BLOCK.
9. UNLESS SPECIFICALLY STATED OR SHOWN HERETO TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
 - A. BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
 - B. ANY SUBSURFACE OR SUBTERRANEAN CONDITION, SUBSURFACE UTILITIES, EASEMENTS OR RIGHTS INCLUDING, BUT NOT LIMITED TO, MINERAL OR MINING RIGHTS.
 - C. THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
10. UTILITIES ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND DEPTH.
11. IN SOME INSTANCES, UTILITIES ARE TAKEN FROM SURFACE OBSERVATION OF THE SITE. UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE.
12. LOCATIONS OF ON SITE UTILITIES AS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM LIMITED EXISTING UTILITY RECORDS AVAILABLE AND DON'T APPEAR TO BE COMPLETE. THE LOCATIONS ARE APPROXIMATE, AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
13. COMPLETENESS OF LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
14. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT OR COMPLETE TITLE REPORT AND IS NOT INTENDED TO GUARANTEE OWNERSHIP. THERE MAY EXIST RIGHT-OF-WAYS, EASEMENTS, CONDITIONS, OR OTHER ISSUES THAT MAY AFFECT THE DEVELOPMENT OF THIS PARCEL.
15. WE ARE NOT EXPERTS IN THE DETECTION AND/OR IDENTIFICATION OF POTENTIALLY HAZARDOUS SOILS AND SUBSTANCES; THEREFORE, THIS PLAN DOES NOT PURPORT TO LOCATE OR REVEAL SAME.
16. VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HERETO.
17. ONLY COPIES FROM THE ORIGINAL OF THIS PLAN, CLEARLY MARKED WITH APPROPRIATE PROFESSIONAL SEAL SHALL BE CONSIDERED TO BE VALID COPIES. THIS CORPORATION AND/OR ITS EMPLOYEES ARE NOT LIABLE FOR ERRORS OR OMISSIONS RESULTING FROM THIS CONDITION.
18. THIS PLAN DOES NOT SHOW, OR INTEND TO SHOW, ANY NON-RECORDED EASEMENTS OR RIGHT-OF-WAY.

LEGEND



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STOP! CALL!

CLARKSON AVENUE

(12' - 36' - 12')
(60 FEET WIDE R.O.W.)
ON CITY PLAN, LEGALLY OPEN

LIST OF IDENTIFIED UTILITIES

- COMPANY: PECC ENERGY ADDRESS: C/O USIC 450 S HENDERSON RD SUITE B KING OF PRUSSIA, PA, 19406 CONTACT: NIKKIA SIMPKINS EMAIL: nikkiaskimpkinsusinc.com PHONE: 215-731-3283
- COMPANY: PHILADELPHIA CITY WATER ADDRESS: 800 W MONTGOMERY AVE PHILADELPHIA, PA, 19122 CONTACT: MICHAEL PARZANESE EMAIL: MICHAEL.PARZANESE@PCWORKS.COM
- COMPANY: PHILADELPHIA CITY DEPT OF STREETS ADDRESS: 1401 JFK BLVD ROOM 940 585 PHILADELPHIA, PA, 19127 CONTACT: MAUREEN WANGARI EMAIL: maureen.wangari@phila.gov
- COMPANY: PHILADELPHIA GAS WORKS ADDRESS: 180 SHEREE BLVD STE 2100 EXTON, PA, 19341 CONTACT: KELLY BLOUNT EMAIL: kelly.b.blount@verizon.com PHONE: 610-280-1914
- COMPANY: VERIZON PENNSYLVANIA INC ADDRESS: 180 SHEREE BLVD STE 2100 EXTON, PA, 19341 CONTACT: KELLY BLOUNT EMAIL: kelly.b.blount@verizon.com PHONE: 610-280-1914

NO.	REVISIONS	DATE	BY

SEAL

REX E. CLARK, PLS
PROFESSIONAL LAND SURVEYOR COMMONWEALTH OF PA
LICENCE NUMBER: SU-56280

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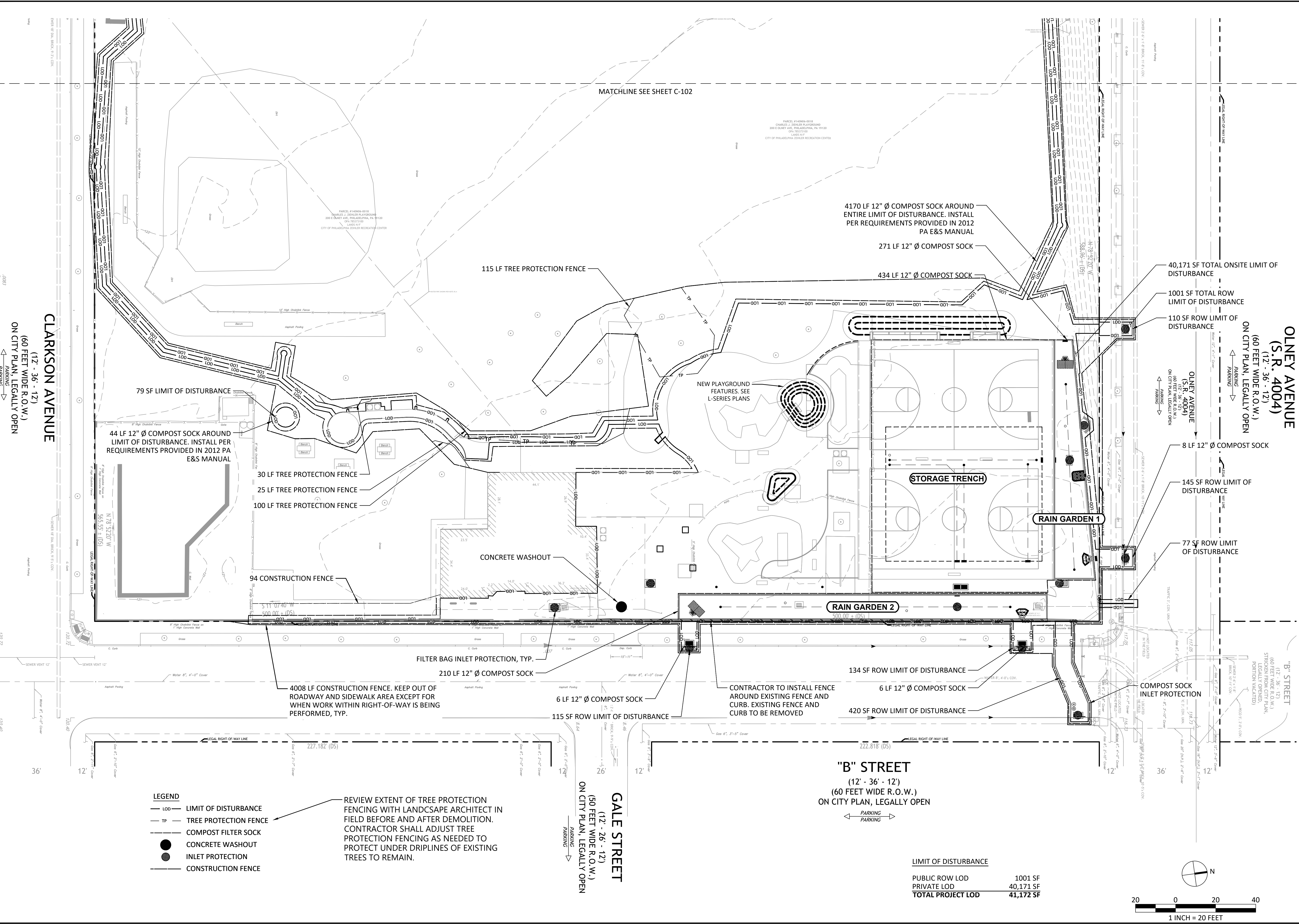
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Municipality: CITY OF PHILADELPHIA
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State: PENNSYLVANIA
Scale: 1"=20'
Project Number: ZIEHLER PLAYGROUND
File Name: ZIEHLER PLAYGROUND.dwg
Field Date: 07/22-23/2019
Completed: 08/16/2019
Drawing Number: V-4

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REV	DATE	DESCRIPTION

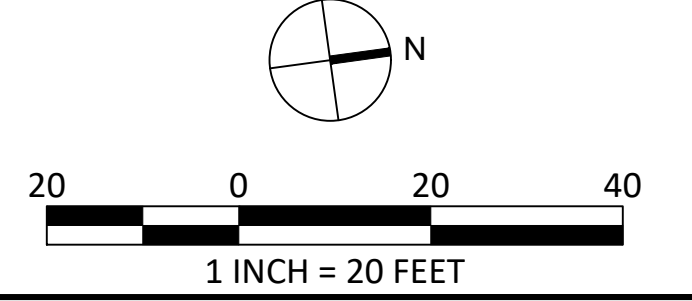


- LEGEND**
- LOD — LIMIT OF DISTURBANCE
 - TP — TREE PROTECTION FENCE
 - COMPOST FILTER SOCK
 - CONCRETE WASHOUT
 - INLET PROTECTION
 - CONSTRUCTION FENCE

REVIEW EXTENT OF TREE PROTECTION FENCING WITH LANDSCAPE ARCHITECT IN FIELD BEFORE AND AFTER DEMOLITION. CONTRACTOR SHALL ADJUST TREE PROTECTION FENCING AS NEEDED TO PROTECT UNDER DRIP LINES OF EXISTING TREES TO REMAIN.

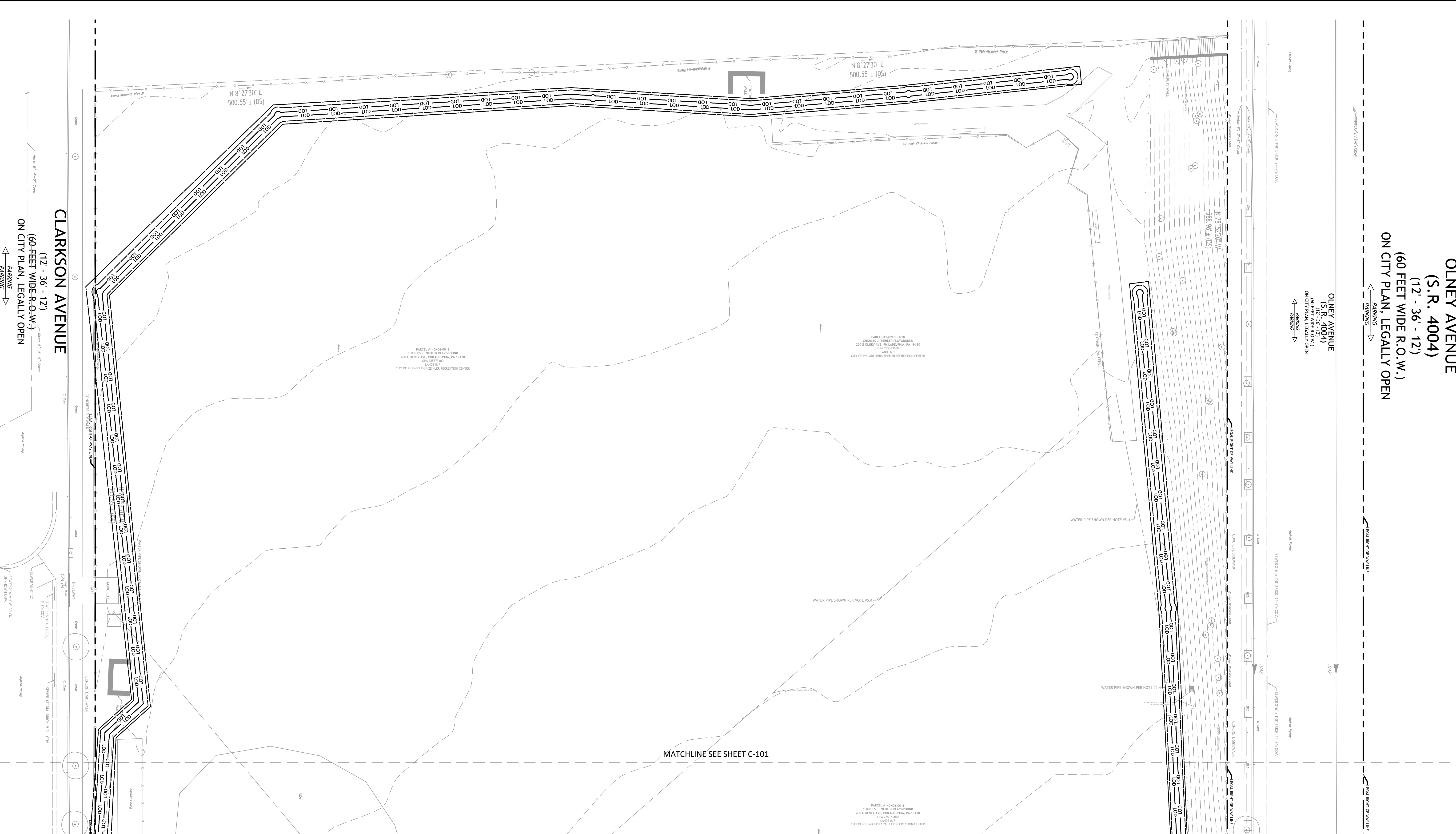
LIMIT OF DISTURBANCE

PUBLIC ROW LOD	1001 SF
PRIVATE LOD	40,171 SF
TOTAL PROJECT LOD	41,172 SF





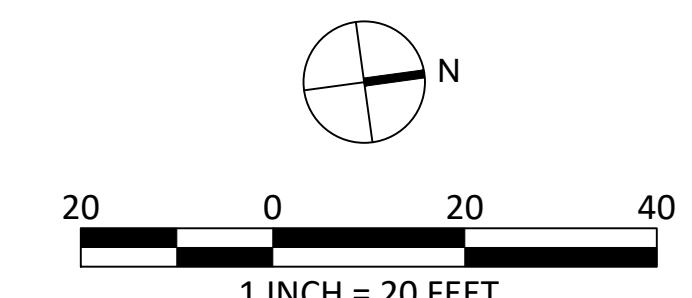
REV	DATE	DESCRIPTION



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GENERAL NOTES

- EXISTING SITE CONDITIONS, TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON HAS BEEN COMPILED FROM EXISTING INFORMATION AND FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY HAVE CHANGED AND UNDOCUMENTED CONDITIONS MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE WORK COMMENCES. THE CONTRACTOR MUST BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO BEGINNING WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE CONSTRUCTION ACTIVITIES HAVE COMMENCED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE, EXACT LOCATIONS, SIZE AND ELEVATIONS OF ALL UTILITIES OR OTHER STRUCTURES BEFORE STARTING WORK. MANY UNDERGROUND UTILITY LOCATIONS AS SHOWN ARE APPROXIMATE, AND INFORMATION MAY BE MISSING. THIS NOTICE IS GIVEN PER ACT 199 OF 2004 OF THE COMMONWEALTH OF PA. CONTACT PA ONE CALL SYSTEM 1-800-242-1776.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND SHALL ENSURE THAT SITE(S) RECEIVING EXCESS MATERIAL HAVE AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN THAT COMPLIES WITH THE CONDITIONS OF CHAPTER 102 AND/OR OTHER FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 102. IN THE EVENT OF CONFLICT BETWEEN THESE REQUIREMENTS AND POLLUTION CONTROL RULES, RULES, AND REGULATIONS OF OTHER STATE, LOCAL, OR FEDERAL REGULATIONS, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- THE CONTRACTOR SHALL PROCURE AND PAY ALL PERMITS, LICENSES AND APPROVALS NECESSARY FOR THE EXECUTION OF THIS CONTRACT. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES RELATING TO THE PERFORMANCE OF THE WORK, THE PROTECTION OF ADJACENT PROPERTY, AND THE MAINTENANCE OF PASSAGES.
- CONTRACTOR SHALL EXERCISE CARE TO PROTECT FROM DAMAGE EXISTING WORK, EXISTING SITE IMPROVEMENTS, EXISTING VEGETATION, ABOVE AND BELOW GRADE UTILITIES, AND ALL WORK PERFORMED. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST TO THE OWNER OR OWNER'S REPRESENTATIVE.
- IF APPLICABLE, FULLY PROTECT ALL EXISTING OR NEW TREE ROOT ZONES DURING ALL CONSTRUCTION ACTIVITIES. AT NO TIME SHALL CONSTRUCTION ACTIVITIES TAKE PLACE OR MATERIALS BE STORED WITHIN TREE DRIPLINE ZONES. UNLESS INDICATED OTHERWISE ON THE DRAWINGS, SEE TREE PROTECTION DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR MUST ACCESS THE PROJECT WORK AREA IN COORDINATION WITH THE OWNER. THE FACILITY WILL CONTINUE TO BE IN OPERATION DURING CONSTRUCTION. WORK MAY NOT INTERFERE WITH NORMAL OPERATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER. MAINTAIN SAFE VEHICULAR FLOW AND PEDESTRIAN ACCESS TO AND AROUND SITE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, THE PROJECT MANAGER HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.
- ALL SECURITY WORKERS AND CONSTRUCTION MATERIALS TO BE PROVIDED BY THE CONTRACTOR AS NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE SITE AT ALL TIMES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND ALL REGULATIONS APPURTENANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PROJECT SPECIFICATIONS INCLUDING CURRENT APPLICABLE STANDARDS AND REQUIREMENTS. WHERE ANY STANDARDS SEEM IN CONFLICT WITH THESE DRAWINGS, NOTIFY THE PROJECT ENGINEER FOR DIRECTION PRIOR TO PROCEEDING WITH WORK.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) PUBLICATIONS OF THE LATEST REVISION. NO TRENCHES OR EXCAVATION SHALL BE OPEN WHILE WORK IS NOT IN PROGRESS.

PWD STANDARD EROSION AND SEDIMENT CONTROL NOTES

- AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
- PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. CONTRACTOR IS RESPONSIBLE FOR CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES.
- INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
- THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 35 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.
- THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- COMPOST SOCK SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH COMPOST SOCK SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES OR SAND BAGS SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE COMPOST SOCK.
- ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.

- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND PA DEP.
- UNTIL THE SITE IS STABILIZED, ALL E&S BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMPS PRIOR TO ANY ANTICIPATED STORM EVENT, AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.
- ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF PER APPROVED METHODS DESCRIBED IN RECYCLING PROGRAM NOTES.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES — SIX TO 12 INCHES ON COMPACTED SOILS — PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY PWD AND PA DEP.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. (WHEN APPLICABLE)

TEMPORARY STABILIZATION NOTES

- TEMPORARY STABILIZATION MUST BE PROVIDED FOR EARTH-EXPOSED AREAS WHERE EARTHWORK IS DELAYED OR STOPPED FOR A PERIOD OF 4 OR MORE DAYS, AND PERMANENT STABILIZATION MUST ULTIMATELY BE PROVIDED FOR ALL DISTURBED AREAS.
- WEED-FREE HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE OR PER SEEDING (TURF AND GRASSES) SPECIFICATION. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- TEMPORARY SEEDING SHALL CONSIST OF SOD, A BLEND OF TURF-TYPE TALL FESCUE AND KENTUCKY BLUE GRASS (100 PERCENT BY WEIGHT) OR EQUIVALENT AND SHALL BE PLACED AT 30 LBS. PER ACRE OR 10 LBS. PER 1000 S.F.. TEMPORARY SEEDING SHALL BE APPLIED TO THOSE AREAS THAT ARE A POTENTIAL EROSION RISK AND THOSE AREAS WHERE CONSTRUCTION ACTIVITIES HAVE ENDED.

RECYCLING PROGRAM

- THE CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTES. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIAL, CONCRETE WASH WATER, SANITARY WASTES, ETC., WHICH COULD ADVERSELY IMPACT WATER QUALITY.

E&S CONTROL SEQUENCE OF BMP INSTALLATION

- PRIOR TO EARTH DISTURBANCE ACTIVITIES, EROSION AND SEDIMENTATION CONTROL BMPS SHALL BE INSTALLED ACCORDING TO THIS SEQUENCE.
- INSTALL COMPOST SOCK AND INLET PROTECTION AS SHOWN ON THE PLAN. NO DISTURBANCE CAN TAKE PLACE OUTSIDE OF THE LIMIT OF DISTURBANCE.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED (VEGETATIVE AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED), REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROLS. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST ALSO BE STABILIZED IMMEDIATELY.
- UPON SITE STABILIZATION, COMPOST SOCKS MAY BE REMOVED. PLACE COMPOST AS DIRECTED BY THE OWNER AND DISPOSE OF THE GEOTEXTILE SOCK.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO CONTROL DUST GENERATED FROM CONSTRUCTION ACTIVITIES. THIS MAY INCLUDE SPRINKLING/IRRIGATION, VEGETATIVE COVER, MULCHING, AND/OR INSTALLATION OF WIND BREAKS. SEE THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, APPENDIX H.

OPERATION AND MAINTENANCE

- THE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION & MAINTENANCE OF ALL E&S AND STORMWATER MANAGEMENT FACILITIES DURING CONSTRUCTION. UPON FINAL APPROVAL AND ACCEPTANCE OF THE PROJECT BY OWNER WILL ASSUME RESPONSIBILITY FOR ALL LONG-TERM MAINTENANCE.
- A WRITTEN MAINTENANCE REPORT MUST BE KEPT AT THE SITE DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE SITE CONTRACTOR TO ENSURE THAT THIS OPERATION & MAINTENANCE SCHEDULE BE MAINTAINED AND LOGGED.

CRITICAL STAGES INSPECTION NOTES:

THE FOLLOWING ARE CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN FOR WHICH THE ENGINEER SHOULD BE PRESENT ON SITE:

- SUBSURFACE INFILTRATION BED EXCAVATION
- POROUS RUBBER INSTALLATION
- RAIN GARDEN INSTALLATION

EROSION AND SEDIMENT CONTROL MAINTENANCE SCHEDULE

BMP TYPE	INSPECTION SCHEDULE	MAX SEDIMENT STORAGE LEVEL	TIME FRAME FOR COMPLETING SPECIFIC MAINTENANCE AND REPAIRS	SITE STABILIZATION PARAMETERS AND REPAIRS	SEDIMENT DISPOSAL DIRECTIONS
COMPOST SOCK	WEEKLY, BEFORE AND AFTER EACH PRECIPITATION EVENT	½ HEIGHT OF STRUCTURE	IMMEDIATELY	REPAIR/REPLACE SOCK	OFFSITE IN A LEGAL MANNER
INLET PROTECTION	WEEKLY, BEFORE AND AFTER EACH PRECIPITATION EVENT	½ HEIGHT OF STRUCTURE	IMMEDIATELY	REPAIR/REPLACE INLET PROTECTION	OFFSITE IN A LEGAL MATTER



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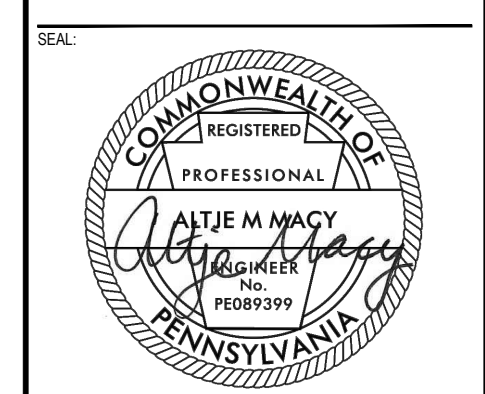
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SHEET TITLE:

EROSION AND SEDIMENTATION CONTROL NOTES - SHEET 1

REV	DATE	DESCRIPTION

SCALE:
 AS NOTED

DATE: 08/15/2022 DRAWN BY: MJR, MAD
 CHECKED BY: AMM

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C-111

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CONSTRUCTION SEQUENCE

THE CONTRACTOR SHALL MARK THE LOCATIONS OF ANY FUTURE INFILTRATION AREAS. THESE AREAS SHALL BE PROTECTED FROM COMPACTION AND HEAVY VEHICLE DISTURBANCE THROUGHOUT CONSTRUCTION. EXCAVATION WILL BE REQUIRED TO REMOVE SURFACE HARDPAN AND ACHIEVE FINAL INFILTRATION BED BOTTOM GRADES. ONCE HARDPAN IS REMOVED, STAKE THE PERMITTER OF THE PROPOSED POROUS PAVER AREAS TO PROTECT THESE AREAS FROM COMPACTION AND SILTATION.

UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITIES OR ANY STAGE THEREOF, THE PROJECT SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION AS OUTLINED BELOW.

- 1. ORDER A UTILITY MARK OUT UTILIZING THE PENNSYLVANIA ONE CALL SYSTEM. SITE UTILITIES MUST BE FIELD LOCATED AND MARKED BEFORE THE START OF ANY SITE WORK, INCLUDING ALL PRIVATE UTILITIES.
2. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
3. AT LEAST SEVEN (7) DAYS PRIOR TO ANY EARTH DISTURBANCE, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE A PRECONSTRUCTION MEETING.
4. TO AVOID SOIL DISTURBANCE AND COMPACTION DURING CONSTRUCTION, AREAS FOR PROPOSED INFILTRATION STORMWATER MANAGEMENT PRACTICES MUST BE PHYSICALLY STAKED OUT BEFORE ANY SITE WORK BEGINS.
5. PWD INSPECTIONS SHOULD ALSO BE CALLED FOR AN INSPECTION AT LEAST THREE (3) DAYS IN ADVANCE OF THE CONSTRUCTION OF STORMWATER MANAGEMENT PRACTICES. SEE PWD'S SMP CONSTRUCTION CERTIFICATION PACKAGE FOR MORE INFORMATION, SPECIFICALLY WHEN PWD MUST BE ON SITE AND WHAT MUST BE DOCUMENTED.
6. INSTALL COMPOST SOCK AND INLET PROTECTION AS SHOWN ON THE PLAN. NO DISTURBANCE CAN TAKE PLACE OUTSIDE OF THE LIMIT OF DISTURBANCE.
7. MARK INFILTRATION AREAS PRIOR TO ANY LAND-DISTURBING ACTIVITIES. INFILTRATION AREAS ARE NOT TO BE COMPACTED.
8. ENSURE ALL STORMWATER MANAGEMENT PRACTICES ARE PROTECTED WITH COMPOST SOCK OR OTHER MEANS TO PREVENT SEDIMENT FROM ENTERING THESE SYSTEMS.
9. PERFORM SITE DEMOLITION EXCEPT FOR DRAINAGE STRUCTURES NECESSARY FOR EROSION AND SEDIMENT CONTROL PURPOSES AND FOR SITE DRAINAGE UNTIL NEW DRAINAGE SYSTEM IS FUNCTIONING.
10. CLEAR AND GRUB SITE. THE CLEARING OF VEGETATION FROM THE CONSTRUCTION AREA IS LIMITED TO THE AREA SHOWN ON THE DRAWINGS.
11. DEMOLISH AND REMOVE ASPHALT, CONCRETE AND STRUCTURES INDICATED FOR DEMOLITION. THE CONTRACTOR SHOULD WORK FROM THE OUTERMOST PORTIONS OF THE SITE AND IN TOWARDS THE CONSTRUCTION ENTRANCE. THE AREA OF CONCRETE BENEATH THE PROPOSED ROCK CONSTRUCTION ENTRANCE SHOULD REMAIN UNTIL ALL OTHER DISTURBANCE IS COMPLETE.
12. FOLLOWING ITEMS ARE TO BE INSTALLED AS APPROPRIATE TO LOCATION AND ELEVATIONS:
a. PERFORM MAJOR EXCAVATIONS AND ROUGH GRADE THE SITE AS INDICATED ON GRADING AND STORMWATER PLAN, REMOVING ANY DELETERIOUS MATERIAL 2-INCHES OR LARGER. REMOVE EXCESS CUT FROM SITE AND DISPOSE OF IN A LEGAL MANNER IN ACCORDANCE WITH THE SOLID WASTE MANAGEMENT REGULATIONS (SEE RECYCLING PROGRAM NOTE).
b. IF ANY UNFAVORABLE CONDITIONS ARE ENCOUNTERED DURING THE INSTALLATION OF POROUS RUBBER (I.E. GROUNDWATER AND/OR BEDROCK, ETC.), THE OWNER/ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
c. INSTALL INLETS AND OVERFLOW CONTROL STRUCTURES INCLUDING RELATED E&S INLET PROTECTION. INSTALL PIPES. DO NOT ALLOW SEDIMENT TO ENTER ANY PIPES OR STRUCTURES. SEE SMP CONSTRUCTION CERTIFICATION PACKAGE FOR MORE INFORMATION, SPECIFICALLY WHEN PWD MUST BE ON SITE AND WHAT MUST BE DOCUMENTED. INSTALL ANY REMAINING STORMWATER STRUCTURES, INCLUDING UNDERDRAINS NOT CONNECTED TO STORMWATER MANAGEMENT SYSTEMS. CONNECT OVERFLOW STRUCTURES. INSTALL INLET PROTECTION AND DO NOT ALLOW SEDIMENT INTO PIPES AND STRUCTURES.
d. CONSTRUCT WALLS, SITE STRUCTURES, AND OTHER IMPROVEMENTS.
14. EXCAVATE AND FINE GRADE SUBGRADE AS NECESSARY FOR WALKWAY AND PAVEMENT INSTALLATION.
15. *INSTALL SUBSURFACE DETENTION.
A. PROVIDE EROSION AND SEDIMENTATION CONTROL PROTECTION ON THE SITE SUCH THAT CONSTRUCTION RUNOFF IS DIRECTED AWAY FROM THE PROPOSED SUBSURFACE DETENTION SMP. SEDIMENT DEPOSITED IN A SUBSURFACE DETENTION SMP DURING CONSTRUCTION, PARTICULARLY A STONE BED SYSTEM, CAN REDUCE SYSTEM PERFORMANCE.
B. EXCAVATE SUBSURFACE DETENTION AREA TO PROPOSED DEPTH, PROVIDING APPROPRIATE SHORING AND SHEETING FOR DEEP EXCAVATIONS.
C. INSTALL ANY REMAINING INLETS AND CONNECTIONS. DO NOT ALLOW ANY SEDIMENT TO ENTER PIPES OR STRUCTURES.
D. EXISTING SUBGRADE MUST NOT BE COMPACTED AND CONSTRUCTION EQUIPMENT TRAFFIC MUST BE MINIMIZED.
E. PLACE IMPERVIOUS LINER, IF NEEDED, ENSURING CONTINUOUS CONTACT WITH SUBGRADE.
F. TAKE CARE NOT TO EXCAVATE BELOW THE INDICATED BOTTOM OF THE BEDS.THE OWNER, ENGINEER, AND MUNICIPAL REPRESENTATIVE SHALL BE NOTIFIED 48 HOURS PRIOR TO FINAL GRADING AND TO INSPECT BOTTOM.
G. IF BEDROCK OR GROUNDWATER IS ENCOUNTERED AT ANY TIME, EXCAVATION IS TO BE DISCONTINUED IN THE AFFECTED AREA AND THE OWNER AND ENGINEER NOTIFIED.
H. IF USING A STONE STORAGE BED, PLACE GEOTEXTILE ENSURING ADEQUATE OVERLAP OF 16 INCHES, OR PEA GRAVEL, AND STORAGE STONE. SET THE PIPE OR CHAMBER STORAGE, IF PROPOSED, DURING INSTALLATION OF THE STONE SOTRAGE BED, ACCORDING TO THE PLANS.
I. INSTALL GEO-TEXTILE FABRIC, WHICH MUST OVERLAP A MINIMUM OF SIXTEEN INCHES. FABRIC MUST BE SECURED AT LEAST FOUR FEET OUTSIDE OF BED. PLACE STONE IN SIX- TO EIGHT- INCH LIFTS AND LIGHTLY COMPACT. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BED IS STABILIZED AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEO-TEXTILE CAN BE CUT BACK TO THE EDGE OF THE BED.
J. CONFIRM STORAGE AREA DIMENSION AND OUTLET CONTROL ELEVATIONS PRIOR TO BACKFILL.
K. IF USING A VAULT, PIPE, OR GRID SYSTEM, PLACE GEOTEXTILE OR PEA GRAVEL, AND STONE BASE AS DESCRIBED ABOVE. PLACE STORAGE UNITS. IF USING A MANUFACTURED SYSTEM, INSTALL STORAGE UNITS IN ACCORDANCE WITH MANUFACTURE'S RECOMMENDATIONS. IF USING A CAST-IN-PLACE VAULT SYSTEM, PERFORM FORM WORK, REINFORCEMENT, AND CONCRETE WORK IN CONFORMANCE WITH PROJECT SPECIFICATION. CONFIRM STORAGE VOLUME PRIOR TO BACKFILL.

- L. CONFIRM AND DOCUMENT INVERT ELEVATIONS AND DIMENSIONS FOR ALL STRUCTURES SUCH AS VAULTS AND PIPES PRIOR TO BACKFILL. BACKFILL TO FINISHED GRADE. ENSURE BACKFILL PROCESS DOES NOT DISRUPT PIPE PLACEMENT AND CONFIGURATION. INSTALL COARSE AGGREGATE . LIGHTLY COMPACT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES SHOWN ON THE DRAWINGS. AGGREGATE SHALL BE CLEAN WITH A WASH LOSS OF NO MORE THAN 0.5%. AGGREGATE THAT DOES NOT MEET THIS CRITERIA WILL BE REMOVED AT NO EXTRA COST TO THE OWNER, AND THE BEDS RESTORED TO THE OWNER'S SATISFACTION.
M. INSTALL CHOKER BASE COURSE EVENLY OVER STONE SURFACE SUFFICIENT TO ALLOW PLACEMENT OF PAVEMENT. NOTIFY OWNER AND ENGINEER PRIOR TO PLACEMENT OF PAVEMENT.
N. STRUCTURES SUCH AS INLET BOXES, REINFORCED CONCRETE BOXES, INLET CONTROLS, AND OUTLET CONTROLS MUST BE CONSTRUCTED ACCORDING TO MANUFACTURER'S GUIDELINES.
O. ONCE THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION, REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
16. *INSTALL POROUS PAVEMENTS AS SHOWN ON CIVIL AND LANDSCAPE PLANS AND DETAILS.
A. AREAS FOR POROUS PAVEMENT SYSTEMS MUST BE CLEARLY MARKED BEFORE ANY SITE WORK BEGINS TO AVOID SOIL DISTURBANCE AND COMPACTION DURING CONSTRUCTION. EXCAVATE POROUS PAVEMENT SUBSURFACE AREA TO PROPOSED DEPTH. EXCAVATION SHOULD TAKE PLACE AFTER CONTRIBUTING UPSTREAM DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. IF THIS IN IMPRACTICAL, INSTALL PWD-APPROVED EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES TO PREVENT RUNOFF AND SEDIMENT FROM ENTERING THE EXCAVATED BED. WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL MUST BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF SIX INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
B. CONTACT PWD'S INSPECTIONS STAFF AT LEAST THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION OF ANY SMP, INCLUDING EXCAVATION OF SMPs AND SOIL TESTING IF APPLICABLE. SMP INSTALLATION MUST BE OBSERVED BY PWD INSPECTIONS STAFF. SEE SMP CONSTRUCTION CERTIFICATION PACKAGE FOR MORE INFORMATION, SPECIFICALLY WHEN PWD MUST BE ON SITE AND WHAT MUST BE DOCUMENTED.
C. EXISTING SUBGRADE MUST NOT BE COMPACTED AND CONSTRUCTION EQUIPMENT TRAFFIC MUST BE MINIMIZED PRIOR TO PLACEMENT OF THE GEOTEXTILE AND STONE BED. THE USE OF MACHINERY TO LOAD STONE FROM OUTSIDE OF THE BASIN FOOTPRINT IS RECOMMENDED. IF IT IS ESSENTIAL THAT EQUIPMENT BE USED IN THE EXCAVATED AREA, ALL EQUIPMENT MUST BE APPROVED BY THE ENGINEER. EQUIPMENT WITH NARROW TRACKS OR TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION AND MUST NOT BE USED, SHOULD THE SUBGRADE BE COMPACTED DURING CONSTRUCTION, ADDITIONAL TESTING OF SOIL INFILTRATION RATES AND SYSTEM REDESIGN MAY BE REQUIRED. ROCK CONSTRUCTION ENTRANCES MUST NOT BE LOCATED ON TOP OF AREAS PROPOSED FOR INFILTRATION PRACTICES.
D. BRING SUBGRADE TO LINE, GRADE, AND ELEVATIONS INDICATED IN THE DRAWINGS, WHILE AVOIDING COMPACTION.
E. PLACE GEOTEXTILE AND AGGREGATE IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION TO PREVENT ACCUMULATION OF DEBRIS OR SEDIMENT. AGGREGATE INSTALLATION SHOULD TAKE PLACE AFTER CONTRIBUTING UPSTREAM DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. INSTALL PWD-APPROVED EROSION AND SEDIMENTATION CONTROL BMPs TO PREVENT RUNOFF AND SEDIMENT FROM ENTERING THE STORAGE BED DURING THE PLACEMENT OF THE GEOTEXTILE AND AGGREGATE BED.
F. PLACE GEOTEXTILE IN ACCORDANCE MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF FILTER FABRIC MUSTER OVERLAP A MINIMUM OF 16 INCHES. FABRICS MUST BE SECURED AT LEAST FOUR FEET OUTSIDE OF BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE CAN VE CUT BACK TO THE EDGE OF THE BED.
G. INSTALL AND COMPACT AGGREGATE IN 6-8" LIFTS. COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. INSTALL AGGREGATE TO GRADES INDICATED ON THE DRAWINGS.
H. INSTALL AND COMPACT CHOKER COURSE AGGREGATE EVENLY OVER SURFACE OF STONE BED. CHOKER BASE COURSE MUST BE SUFFICIENT TO ALLOW FOR EVEN PLACEMENT OF ASPHALT, BUT NO THICKER THAN ONE INCH IN DEPTH. VEHICLES WITH SMOOTH, CLEAN DUMP BEDS MUST BE USED TO TRANSPORT THE ASPHALT MIX TO THE SITE. CONTROL COOLING OF ASPHALT BY COVERING MIX.
I. INSTALL AND COMPACT SURFACE COURSE OVER THE STORAGE BED AND STONE BASE COURSE. COMPACTION OF THE SURFACE COURSE MUST TAKE PLACE WHEN THE SURFACE IS COOL ENOUGH TO RESIST A TEN-TON ROLLER. AFTER ROLLING ASPHALT, NO VEHICULAR TRAFFIC IS PERMITTED ON THE SURFACE UNTIL COOLING AND HARDENING HAS TAKEN PLACE (MINIMUM 48 HOURS).
17. *INSTALL RAIN GARDENS.
A. PROVIDE EROSION AND SEDIMENTATION CONTROL PROTECTION ON THE SITE SUCH THAT CONSTRUCTION RUNOFF IS DIRECTED AWAY FROM THE PROPOSED BIOINFILTRATION/BIORETENTION LOCATION. THE DESIGNER IS REFERRED TO THE LATEST EDITION OF THE PA DEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL FOR INFORMATION ON DESIGN STANDARDS FOR EROSION AND SEDIMENTATION CONTROL PRACTICES.
B. BIOINFILTRATION AREAS MUST BE PHYSICALLY MARKED PRIOR TO ANY LAND-DISTURBING ACTIVITIES TO AVOID SOIL DISTURBANCE AND COMPACTION DURING CONSTRUCTION. INSTALL CONSTRUCTION FENCING AROUND BIOINFILTRATION AREAS.
C. PROPOSED BIORETENTION AREAS MAY BE USED AS SEDIMENT TRAPS DURING CONSTRUCTION. BIOINFILTRATION AREAS MAY NOT BE USED AS SEDIMENT TRAPS DURING CONSTRUCTION, UNLESS AT LEAST TWO FEET OF SOIL ARE LEFT IN PLACE WHILE THE AREA IS SERVING AS A SEDIMENT TRAP AND SUBSEQUENTLY REMOVED DURING CONSTRUCTION AFTER THE CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
D. COMPLETE SITE ELEVATION GRADING AND STABILIZE THE SOIL DISTURBED WITHIN THE LIMITS OF DISTURBANCE. DO NOT FINALIZE BIOINFILTRATION/BIORETENTION EXCAVATION AND CONSTRUCTION UNTIL THE DRAINAGE AREA IS FULLY STABILIZED.
E. EXCAVATE BIOINFILTRATION/BIORETENTION AREA TO PROPOSED INVERT DEPTH AND MANUALLY SCARIFY THE IN SITU SOILS AT THE BASE OF THE EXCAVATION. DO NOT COMPACT IN SITU SOILS. HEAVY EQUIPMENT MUST NOT BE USED WITHIN THE BIOINFILTRATION AREA. ALL EQUIPMENT MUST BE KEPT OUT OF THE EXCAVATED AREA TO THE MAXIMUM EXTENT POSSIBLE. THE USE OF MACHINERY TO LOAD ANY PROPOSED STONE FROM OUTSIDE OF THE BASIN FOOTPRINT IS RECOMMENDED. ROCK CONSTRUCTION ENTRANCES MUST NOT BE LOCATED ON TOP OF AREAS PROPOSED FOR INFILTRATION PRACTICES. HEAVY EQUIPMENT EXCLUSION ZONES MUST BE ESTABLISHED TO AVOID COMPACTION OF THE INFILTRATION AREA DURING CONSTRUCTION.
F. PERFORM INFILTRATION TESTING (IF TESTING WAS DEFERRED UNTIL CONSTRUCTION). THE DESIGNER IS REFERRED TO SECTION 3.3 FOR GUIDANCE ON INFILTRATION TESTING PROCEDURES.
G. FOR BIOINFILTRATION SMPs, WHERE INFILTRATION IS FEASIBLE, ENSURE UNDERDRAINS ARE EQUIPPED WITH A WATER-TIGHT END CAP WITHIN THE OUTLET CONTROL STRUCTURE.
H. FOR BIORETENTION BASINS, WHERE INFILTRATION IS INFEASIBLE, CONVERT THE UNDERDRAIN TO A FLOW-REGULATING UNDERDRAIN BY DRILLING AN APPROPRIATELY-SIZED ORIFICE IN THE CENTER OF A WATER-TIGHT UNDERDRAIN CAP CENTER WITHIN THE OUTLET CONTROL STRUCTURE.

- I. ANY STONE WITHIN THE INFILTRATION SMP MUST REMAIN FREE OF SEDIMENT AND MEET THE WASHED STONE SPECIFICATION FOUND ABOVE. IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE SEDIMENT AND REPLACE WITH CLEAN WASHED STONE. STONE MUST BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. PWD DEFINES "CLEAN-WASHED" AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION
J. PLACE FILTER FABRIC OR PEA GRAVEL FILTER, THEN PLACE THE STONE, AND SET THE UNDERDRAIN ACCORDING TO THE PLANS.
K. BACKFILL THE EXCAVATED AREA AS SOON AS THE SUBGRADE PREPARATION IS COMPLETE TO AVOID ACCUMULATION OF DEBRIS. PLACE BIOINFILTRATION/BIORETENTION SOIL IN 12- TO 18-INCH LIFTS, AND TAMP LIGHTLY BY HAND OR COMPACT BY WATERING EACH LIFT. ENSURE BACKFILL PROCESS DOES NOT DISRUPT PIPE PLACEMENT AND CONFIGURATION. SLIGHT OVERFILLING MIGHT BE NECESSARY TO ACCOUNT FOR SETTLEMENT. PRESOAK THE SOIL AT LEAST ONE DAY PRIOR TO FINAL GRADING AND LANDSCAPING TO ALLOW FOR SETTLEMENT.
L. AFTER ALLOWING FOR SETTLEMENT, COMPLETE FINAL GRADING WITHIN ABOUT TWO INCHES OF THE PROPOSED DESIGN ELEVATIONS, LEAVING SPACE FOR TOP DRESSING OF MULCH OR MULCH/COMPOST BLEND.
M. SEED AND PLANT VEGETATION AS INDICATED ON THE PLANS AND SPECIFICATIONS.
N. PLACE MULCH AND HAND GRADE TO FINAL ELEVATIONS.
O. INSTALL ENERGY DISSIPATERS AS SPECIFIED ON THE PLANS, IF APPLICABLE.
P. WATER VEGETATION AT THE END OF EACH DAY FOR TWO WEEKS AFTER PLANTING IS COMPLETED.
Q. WATER VEGETATION REGULARLY DURING FIRST YEAR TO ENSURE SUCCESSFUL ESTABLISHMENT.

- 19. INSTALL ANY REMAINING INLETS AND CONNECTIONS. DO NOT ALLOW ANY SEDIMENT TO ENTER PIPES OR STRUCTURES.
20. INSTALL REMAINING SITE STRUCTURES.
21. PERFORM FINE SITE GRADING AND SEED AND STABILIZE SITE AS SHOWN ON LANDSCAPE PLANS.
22. INFLOW AND OUTFLOW POINTS SHOULD BE KEPT CLEAR OF ALL TYPES OF DEBRIS.
23. WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A SURFACE WATER.
24. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
25. AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
26. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED (VEGETATED AREAS SHALL BE CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED), REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROLS. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST ALSO BE STABILIZED IMMEDIATELY. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
27. THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPs. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF BMPs TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL ENGINEER KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMPs, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
28. AS-BUILT PLANS OF THE STORMWATER BMPs SHALL BE PROVIDED BY THE CONTRACTOR WITHIN SIX MONTHS FOLLOWING THE COMPLETION OF EACH PHASE. THE AS-BUILT PLANS SHALL BE SIGNED AND SEALED BY A PA REGISTERED PROFESSIONAL ENGINEER.
29. A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS. PRIOR TO ACCEPTING THE NOT, THE PHILADELPHIA WATER DEPARTMENT AND DESIGN TEAM WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMPs.

* DENOTES A CRITICAL STAGE IN WHICH A REGISTERED DESIGN PROFESSIONAL MUST DOCUMENT SPECIFIC ELEVATIONS, MEASUREMENTS, AND INSTALLATION.



PROJECT NAME & ADDRESS
ZIEHLER PLAYGROUND & RECREATION CENTER

200-64 E. OLNEY AVENUE
PHILADELPHIA, PA 19120

PROJECT NUMBER:
16640E-01-02

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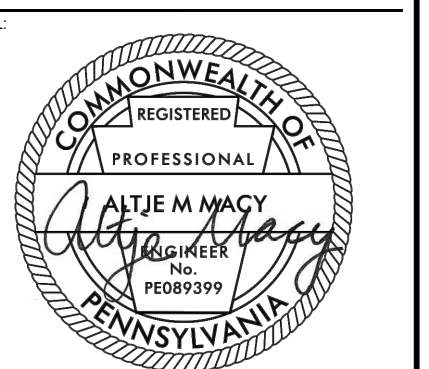
LIGHTING DESIGN:
MILLER DESIGN GROUP
www.millerdesigngrouplighting.com

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DRAWING PHASE:

ISSUE FOR BIDDING



SHEET TITLE:

EROSION AND SEDIMENTATION CONTROL NOTES - SHEET 2

Table with 3 columns: REV, DATE, DESCRIPTION. Contains one row with empty cells.

SCALE: AS NOTED

DATE: 08/15/2022 DRAWN BY: MJR, MAD CHECKED BY: AMM

SHEET NUMBER:

C-112

SALT DESIGN STUDIO FILE NO.: 2003

PWD STANDARD EROSION AND SEDIMENT CONTROL NOTES (TABLE E-5)

1. AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
3. PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. CONTRACTOR IS RESPONSIBLE FOR CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES.
4. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
5. THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.
6. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
7. COMPOST SOCK SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH COMPOST SOCK SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES OR SAND BAGS SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE COMPOST SOCK.
8. ANY FENCE OR SOCK SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
9. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND PA DEP.
10. UNTIL THE SITE IS STABILIZED, ALL E&S BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMPS PRIOR TO ANY ANTICIPATED STORM EVENT, AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
11. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
12. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
13. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION.
14. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
15. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
16. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
17. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.
18. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF PER APPROVED METHODS DESCRIBED IN RECYCLING PROGRAM NOTES.
19. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
20. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS.
21. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
22. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
23. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
24. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
25. ALL GRADED AREAS SHALL BE TEMPORARILY STABILIZED WITH TEMPORARY AGGREGATE IMMEDIATELY UPON REACHING FINISHED GRADE.
26. SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE
27. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMPS SHALL BE STABILIZED IMMEDIATELY.
28. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. (WHEN APPLICABLE)
29. DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE PCSMP APPROVED BY PWD. NO CHANGE OR DEVIATION FROM THE APPROVED PCSMP IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD.
30. ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT "WATER MAIN STANDARD DETAILS AND CORROSION CONTROL SPECIFICATIONS," 1985 EDITION, AND "STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS," 1985 EDITION.
31. CONTACT PWD WASTER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR, PHONE: 215-685-6271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED PWD FACILITIES.
32. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PA DEP SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
33. A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING OR STRUCTURE THAT IS MORE THAN THREE STORIES, GREATER THAN FORTY FEET TALL, OR ENCOMPASSES MORE THAN TEN THOUSAND SQUARE FEET; COMPLETELY OR PARTIALLY DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLOSION; OR ENGAGING IN EARTHWORKS DEFINED AS "CLEARING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND IN EXCESS OF 5,000 SQUARE FEET."

34. CONTRACTOR TO FOLLOW ALL DUST CONTROL REQUIREMENTS AS SPECIFIED IN THE CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC HEALTH AIR MANAGEMENT SERVICES: CONSTRUCTION/DEMOLITION/EARTHWORKS DUST CONTROL REQUIREMENTS. MOST CURRENT EDITION.



PROJECT NAME & ADDRESS:
ZIEHLER PLAYGROUND & RECREATION CENTER

200-64 E. OLNEY AVENUE
PHILADELPHIA, PA 19120

PROJECT NUMBER:
16640E-01-02

PRIME CONSULTANT (LANDSCAPE ARCHITECTURE):
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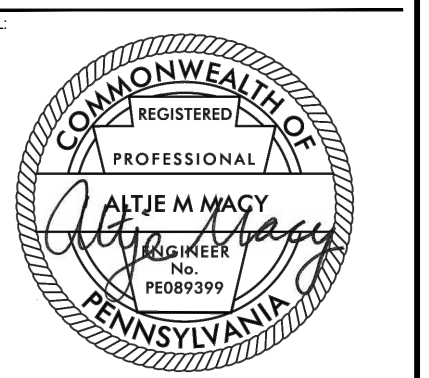
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www.is-dg.com

LIGHTING DESIGN:
MILLER DESIGN GROUP
www.millerdesigngrouplighting.com

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SHEET TITLE:
EROSION AND SEDIMENTATION CONTROL NOTES - SHEET 3

REV	DATE	DESCRIPTION

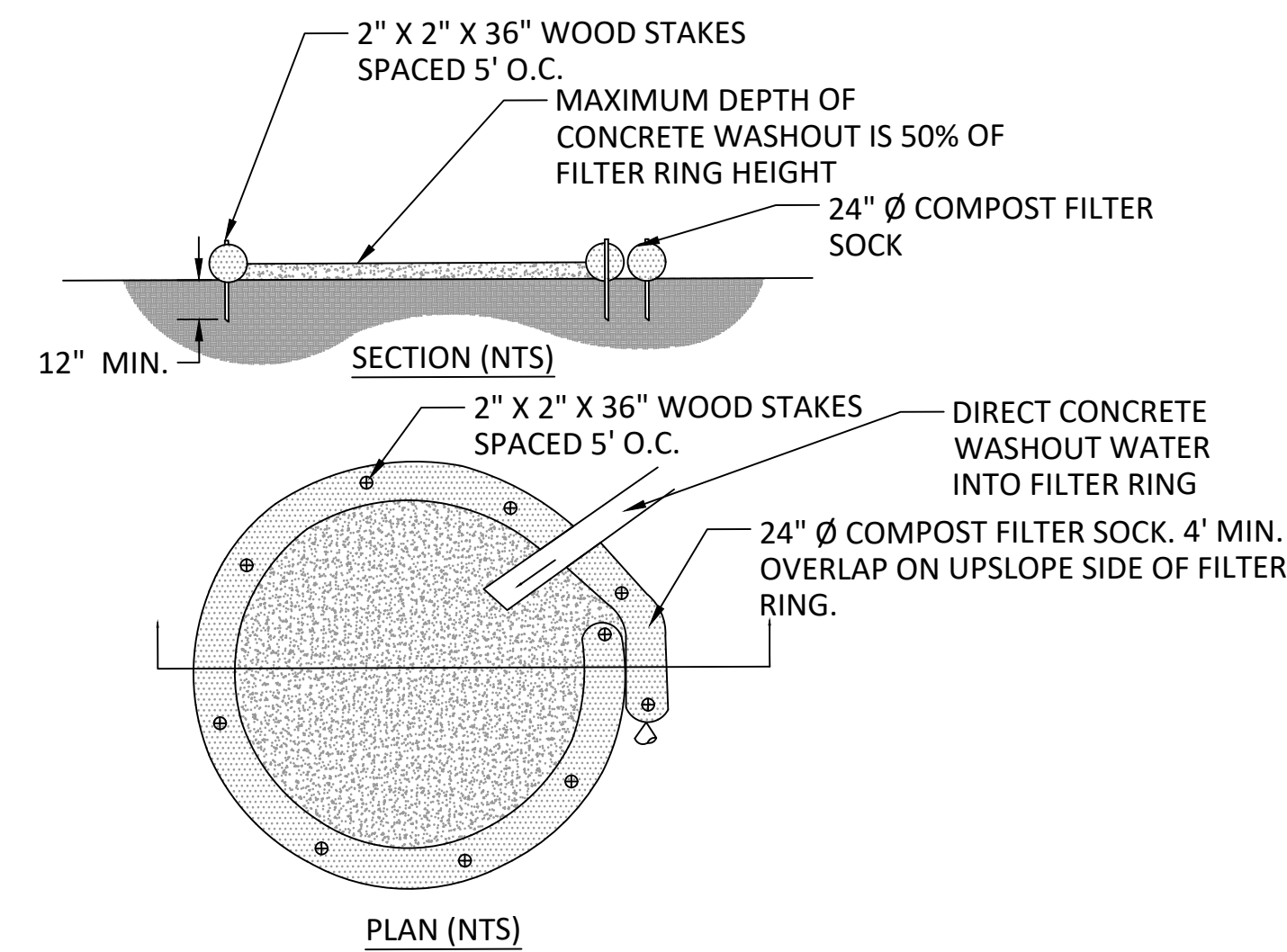
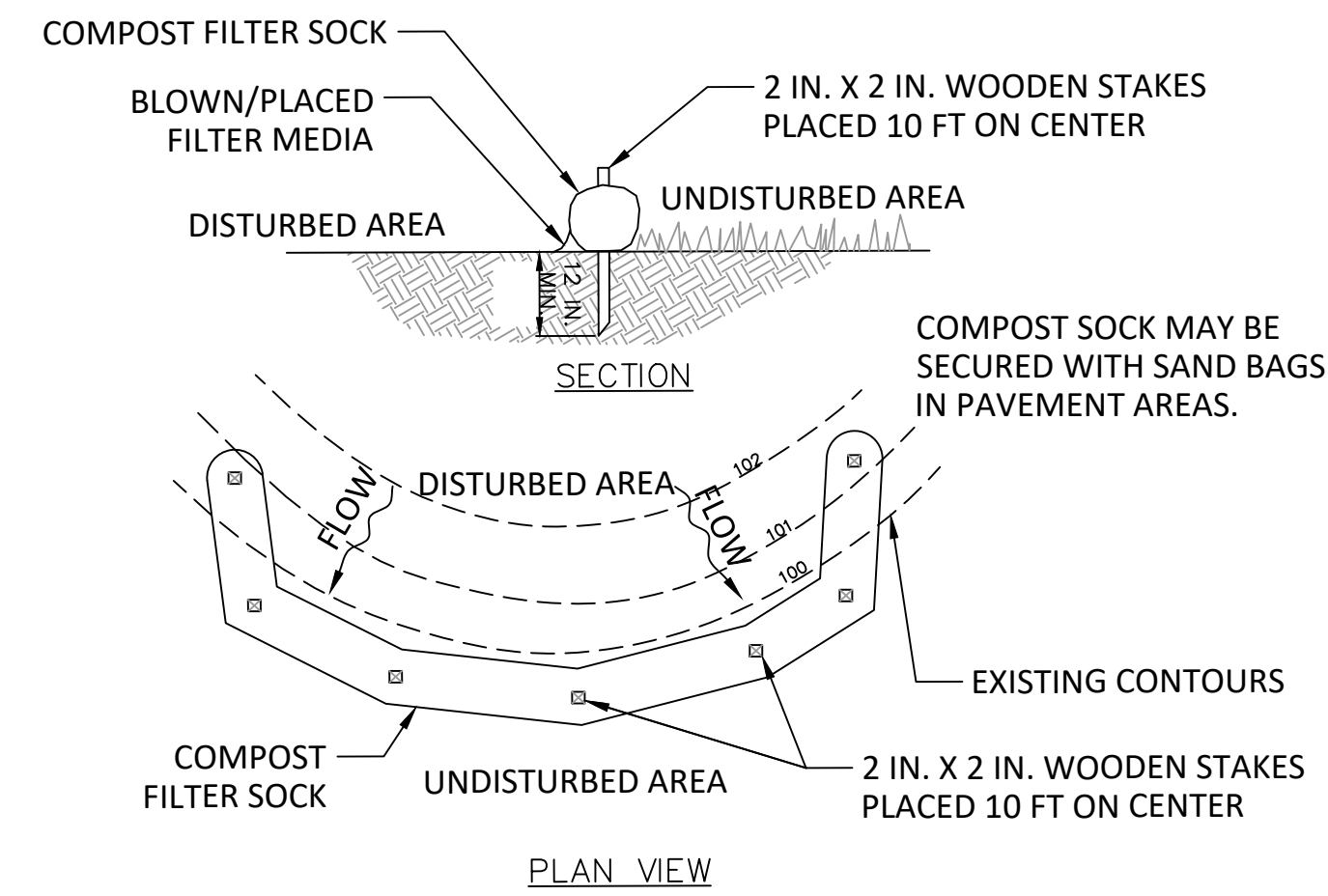
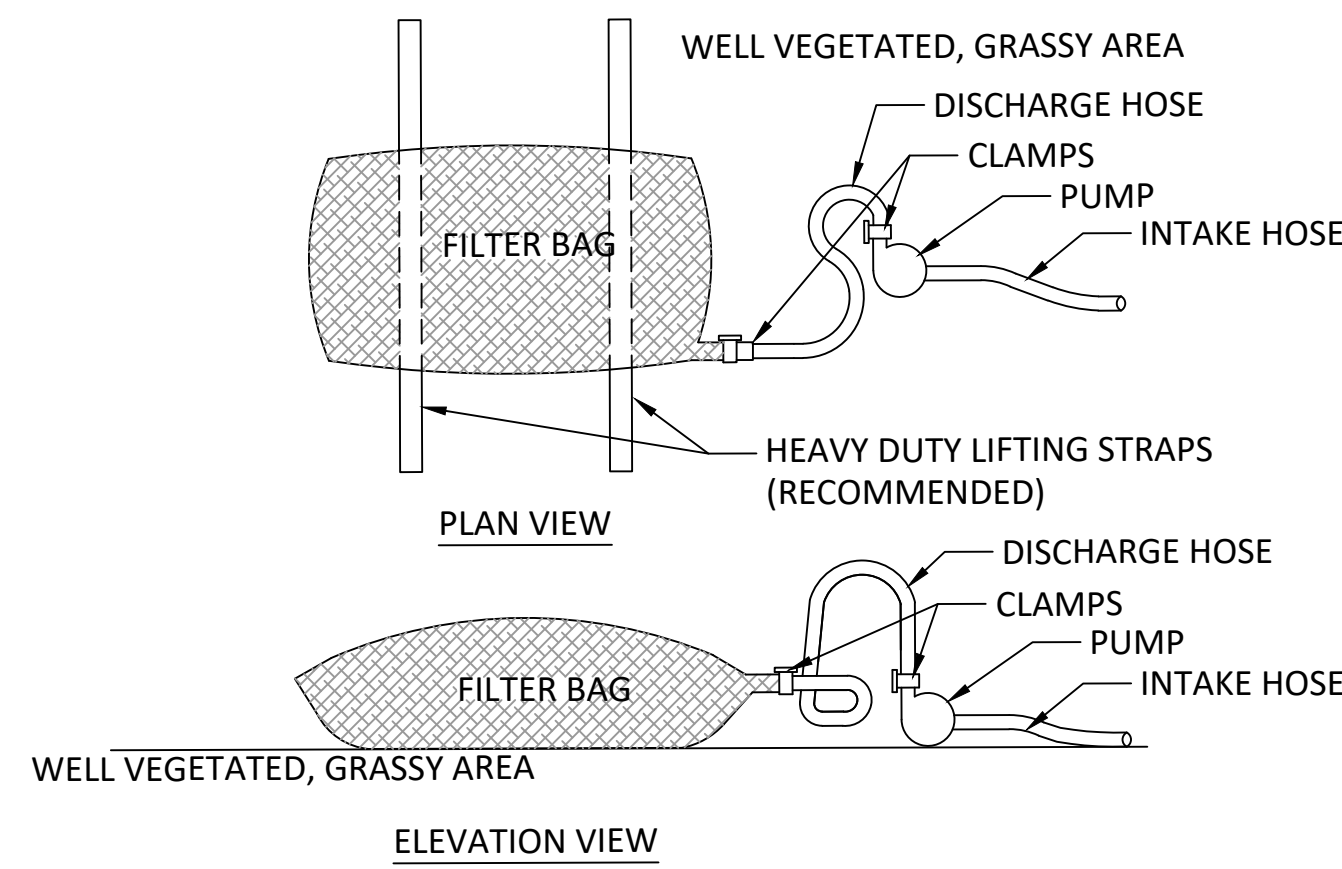
SCALE:
AS NOTED

DATE: 08/15/2022 DRAWN BY: MJR, MAD CHECKED BY: AMM

SHEET NUMBER:

C-113

SALT DESIGN STUDIO FILE NO.:
2003



NOTES:

1. LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:
- | PROPERTY | TEST METHOD | MINIMUM STANDARD |
|--------------------------|-------------|------------------|
| AVG. WIDE WIDTH STRENGTH | ASTM D-4884 | 60 LB/IN |
| GRAB TENSILE | ASTM D-4632 | 205 LB |
| PUNCTURE | ASTM D-4833 | 110 LB |
| MULLEN BURST | ASTM D-3786 | 350 PSI |
| UV RESISTANCE | ASTM D-4355 | 70% |
| ADS % RETAINED | ASTM D-4751 | 80 SIEVE |
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 4. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 5. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 6. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 7. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

NOTES:

1. SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
2. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
3. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
4. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
5. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
6. BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
8. SOME OBJECTS OF CONSIDERABLE MASS (I.E CONCRETE BLOCKS, SAND BAGS, ETC.) MUST BE USED IMMEDIATELY DOWNSLOPE OF COMPOST SOCKS PLACED ON PAVED SURFACES (AT THE SAME INTERVALS AS RECOMMENDED BY THE MANUFACTURER FOR STAKES) IN ORDER TO SECURE SOCKS IN PLACE.

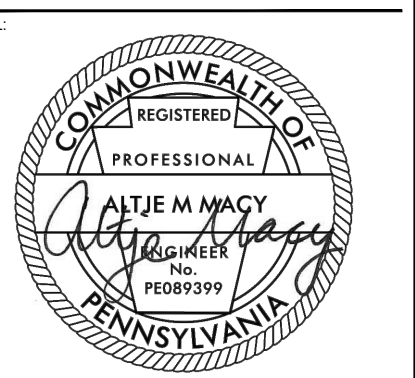
NOTES:

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" Ø FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" Ø SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

1 PUMPED WATER FILTER BAG
C-121 TYPICAL N.T.S.

2 COMPOST SOCK
C-121 N.T.S.

3 CONCRETE WASHOUT
C-121 N.T.S.



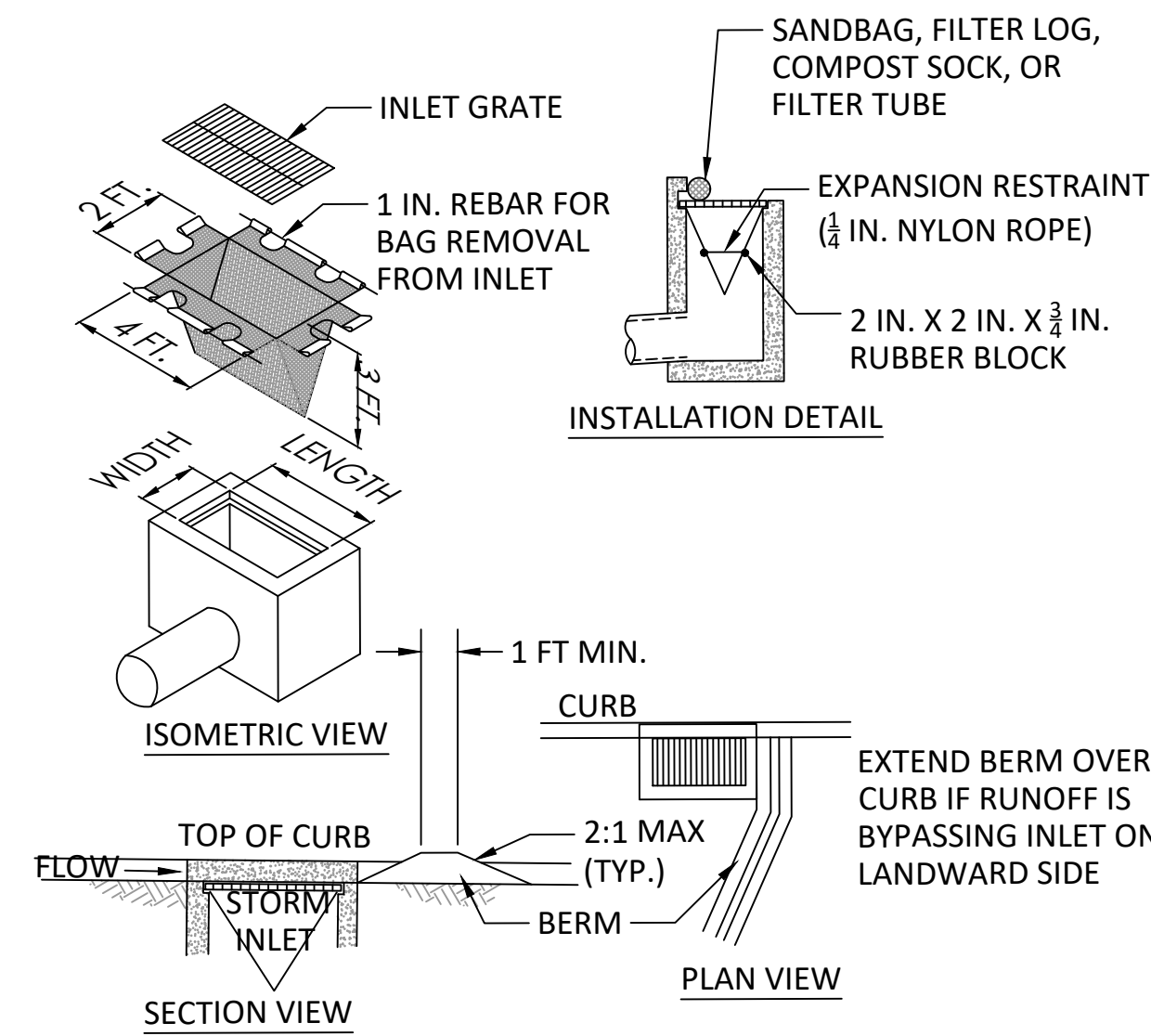
SHEET TITLE:
EROSION AND SEDIMENTATION CONTROL DETAILS - SHEET 1

REV	DATE	DESCRIPTION

SCALE:
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DATE: 08/15/2022	DRAWN BY: M.J.R. MAD
SHEET NUMBER:	CHECKED BY: AMM

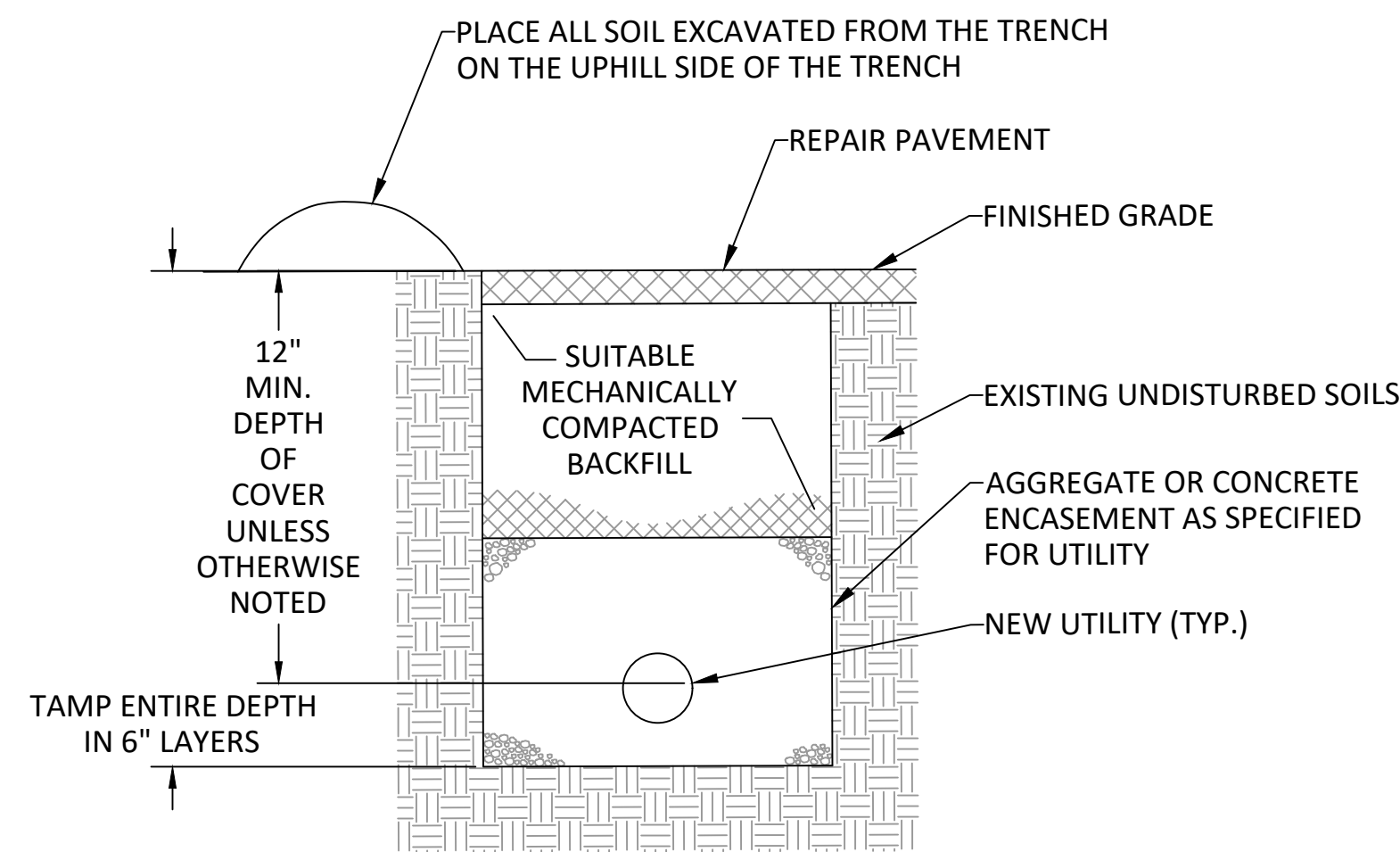
C-121



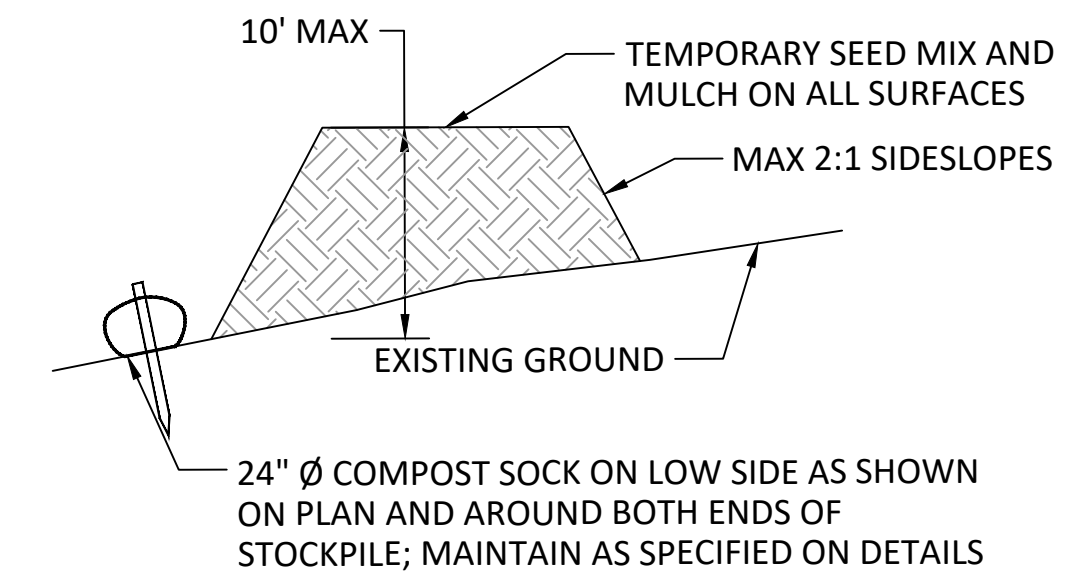
NOTES:

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
3. ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
4. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
5. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
6. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

1 FILTER BAG INLET PROTECTION NTS



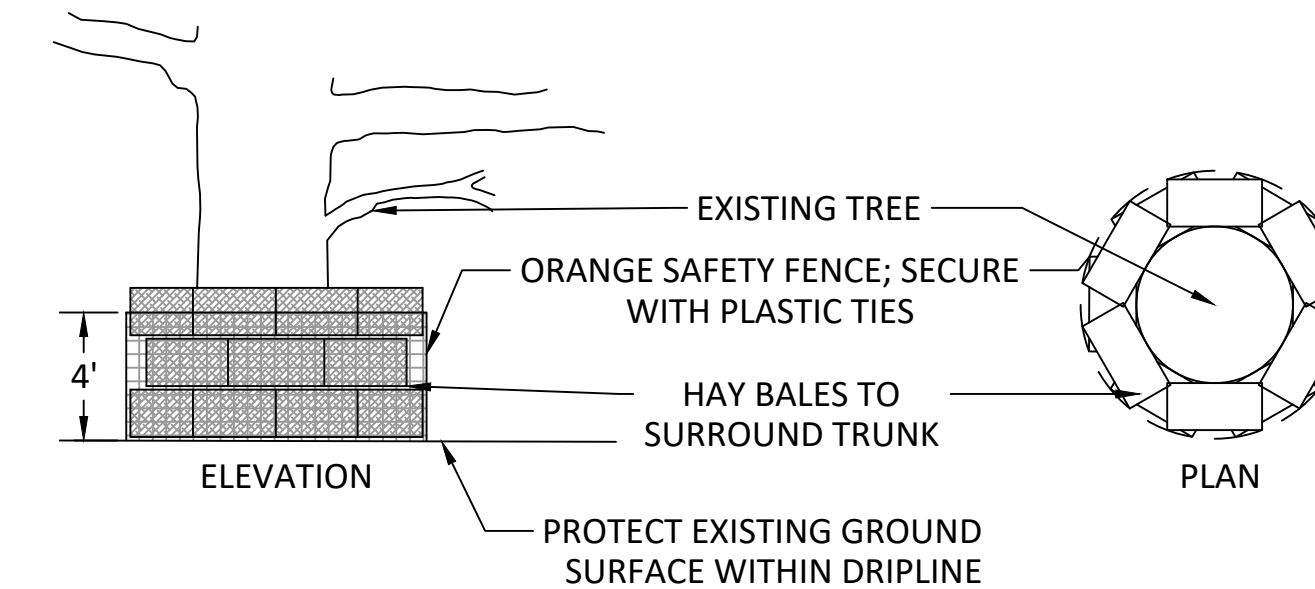
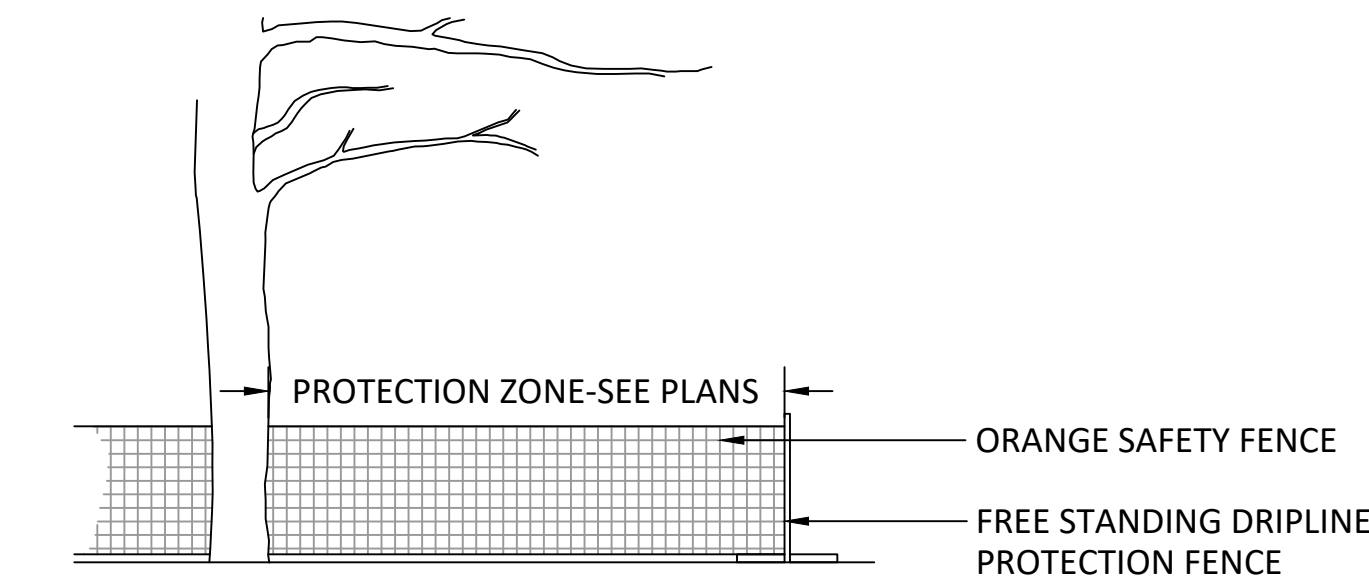
2 UTILITY TRENCH EROSION AND SEDIMENT CONTROL NTS



MAINTENANCE NOTES:

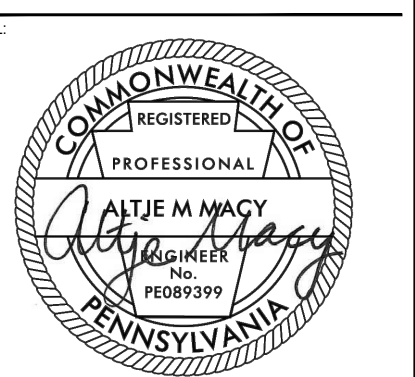
1. TEMPORARILY STOCKPILE TOPSOIL OR EXCAVATED SOIL MATERIAL AS NEEDED. EXCESS EXCAVATED MATERIAL SHALL BE PERMANENTLY REMOVED FROM THE SITE.
2. HEIGHT AND SIDESLOPES SHALL NOT EXCEED MAXIMUM VALUES SHOWN ON DETAIL.
3. INSTALL COMPOST SOCK PRIOR TO STOCKPILING OF MATERIAL. REPLACE ANY COMPOST SOCK REMOVED FOR VEHICULAR ACCESS AFTER EACH WORK DAY.
4. APPLY SEED AND MULCH WHEN PILE IS NOT SUBJECT TO VEHICULAR ACCESS FOR SEVEN DAYS OR MORE.

3 TEMPORARY SOIL STOCKPILE NTS



4 TREE PROTECTION FENCE NTS

ISSUE FOR BIDDING



EROSION AND SEDIMENTATION CONTROL DETAILS - SHEET 2

REV	DATE	DESCRIPTION

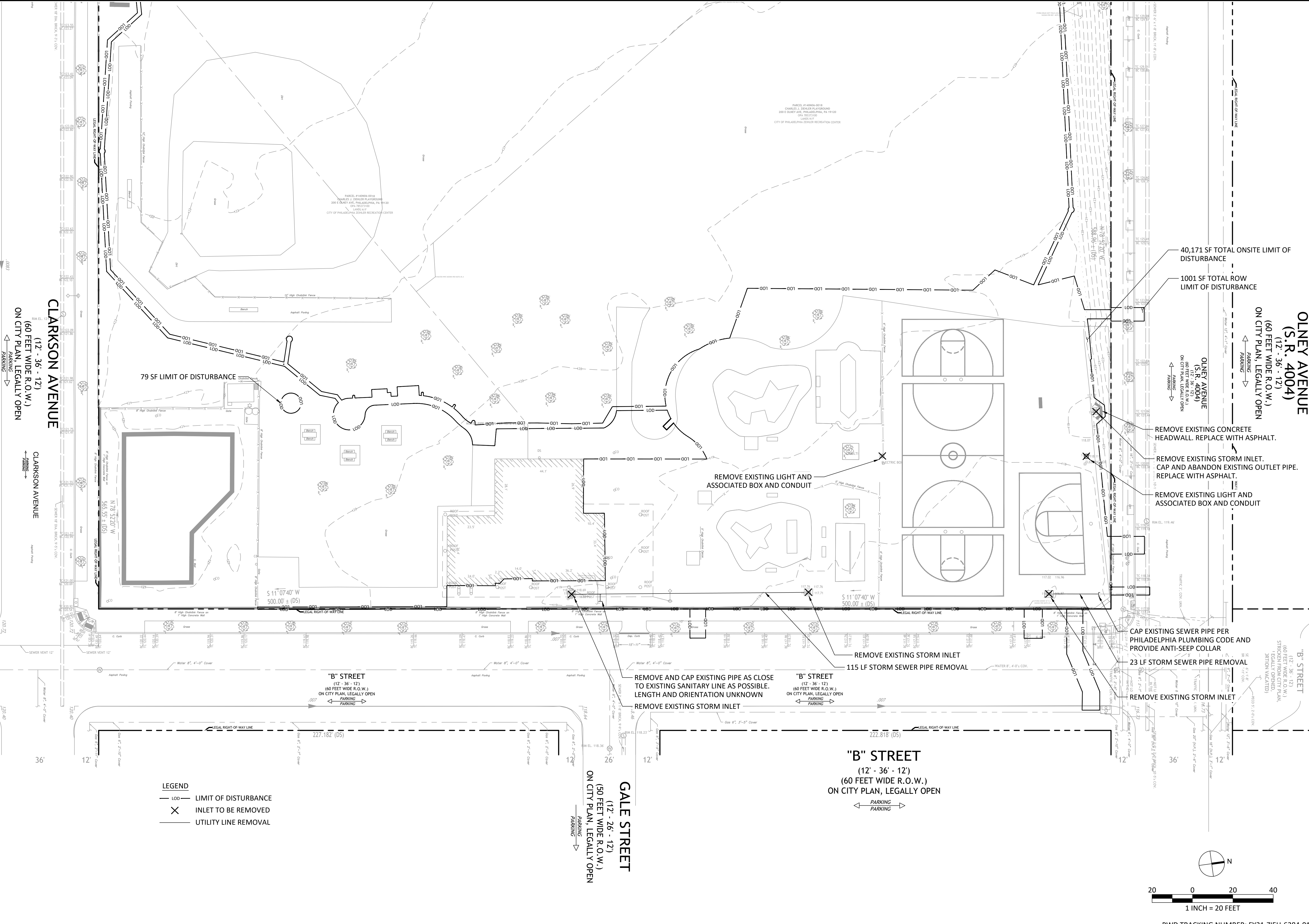
SCALE:
 AS NOTED

DATE: 08/15/2022 DRAWN BY: M.JR, MAD
 CHECKED BY: AMM

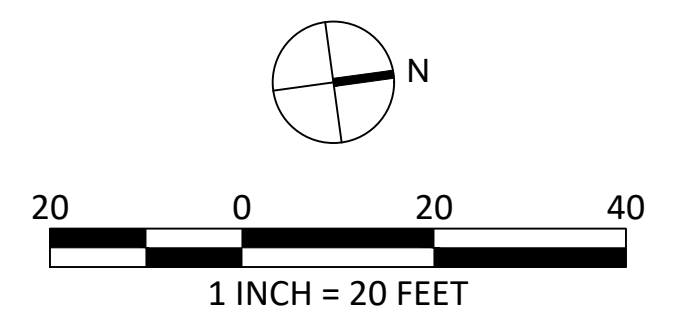
SHEET NUMBER:

C-122

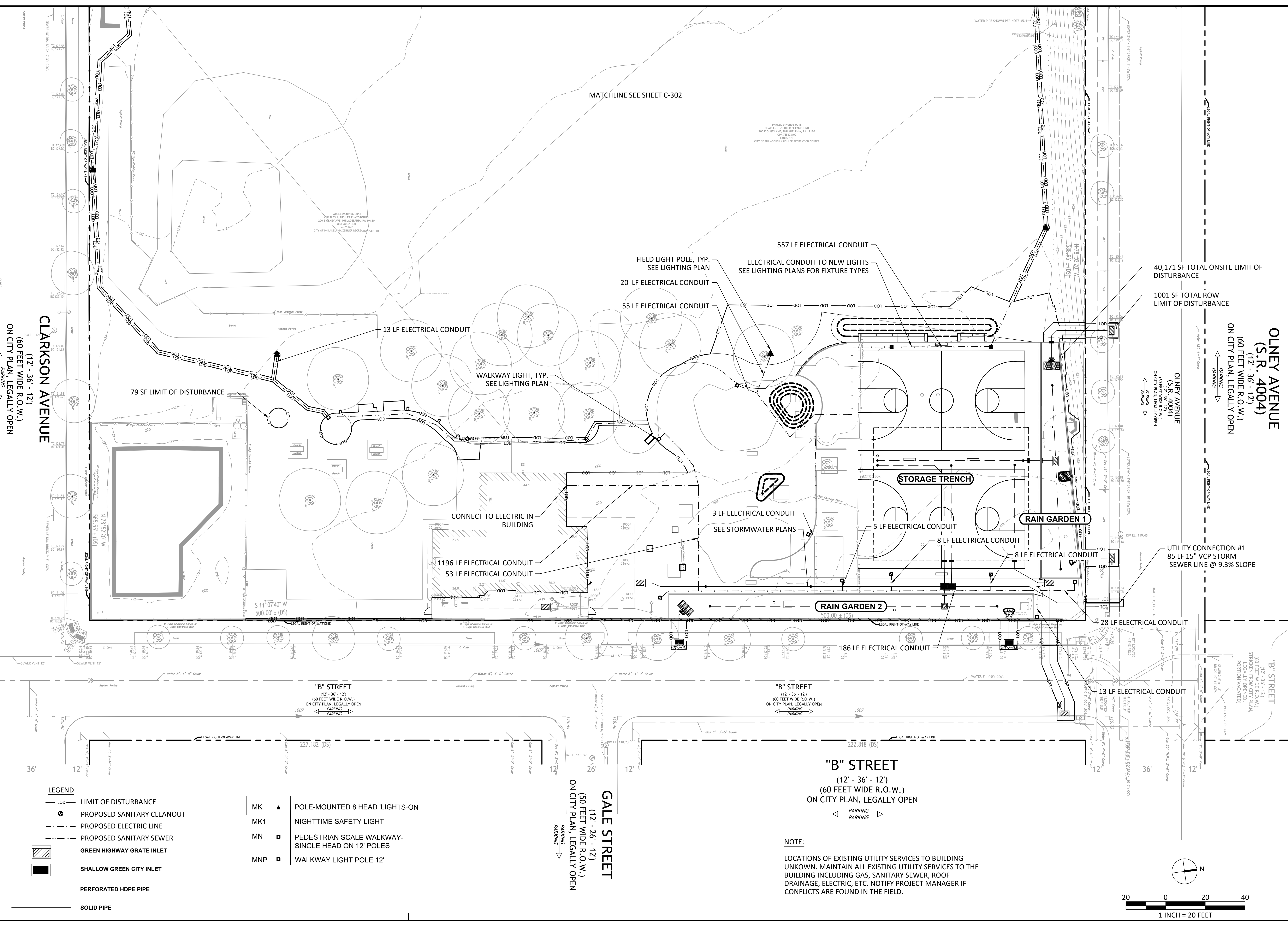
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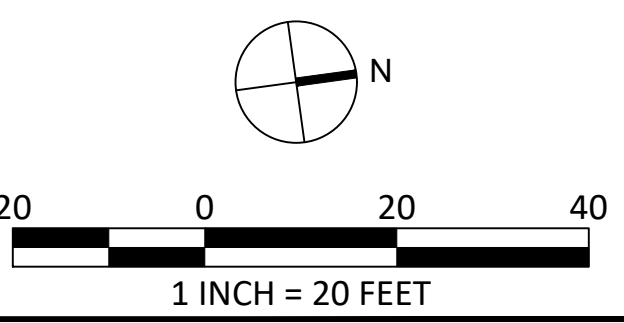
LEGEND
 - - - - - LIMIT OF DISTURBANCE
 X INLET TO BE REMOVED
 - - - - - UTILITY LINE REMOVAL



REV	DATE	DESCRIPTION



NOTE:
 LOCATIONS OF EXISTING UTILITY SERVICES TO BUILDING UNKNOWN. MAINTAIN ALL EXISTING UTILITY SERVICES TO THE BUILDING INCLUDING GAS, SANITARY SEWER, ROOF DRAINAGE, ELECTRIC, ETC. NOTIFY PROJECT MANAGER IF CONFLICTS ARE FOUND IN THE FIELD.



LEGEND

	LIMIT OF DISTURBANCE		POLE-MOUNTED 8 HEAD LIGHTS-ON
	PROPOSED SANITARY CLEANOUT		NIGHTTIME SAFETY LIGHT
	PROPOSED ELECTRIC LINE		PEDESTRIAN SCALE WALKWAY-SINGLE HEAD ON 12' POLES
	PROPOSED SANITARY SEWER		WALKWAY LIGHT POLE 12'
	GREEN HIGHWAY GRATE INLET		
	SHALLOW GREEN CITY INLET		
	PERFORATED HDPE PIPE		
	SOLID PIPE		

CLARKSON AVENUE
 (12' - 36' - 12')
 (60 FEET WIDE R.O.W.)
 ON CITY PLAN, LEGALLY OPEN

OLNEY AVENUE
 (S.R. 4004)
 (12' - 36' - 12')
 (60 FEET WIDE R.O.W.)
 ON CITY PLAN, LEGALLY OPEN

B STREET
 (12' - 36' - 12')
 (60 FEET WIDE R.O.W.)
 ON CITY PLAN, LEGALLY OPEN

GALE STREET
 (12' - 26' - 12')
 (50 FEET WIDE R.O.W.)
 ON CITY PLAN, LEGALLY OPEN

MATCHLINE SEE SHEET C-302

40,171 SF TOTAL ONSITE LIMIT OF DISTURBANCE
 1001 SF TOTAL ROW LIMIT OF DISTURBANCE

79 SF LIMIT OF DISTURBANCE

UTILITY CONNECTION #1
 85 LF 15" VCP STORM SEWER LINE @ 9.3% SLOPE

557 LF ELECTRICAL CONDUIT
 ELECTRICAL CONDUIT TO NEW LIGHTS
 SEE LIGHTING PLANS FOR FIXTURE TYPES

FIELD LIGHT POLE, TYP.
 SEE LIGHTING PLAN

WALKWAY LIGHT, TYP.
 SEE LIGHTING PLAN

CONNECT TO ELECTRIC IN BUILDING

3 LF ELECTRICAL CONDUIT
 SEE STORMWATER PLANS

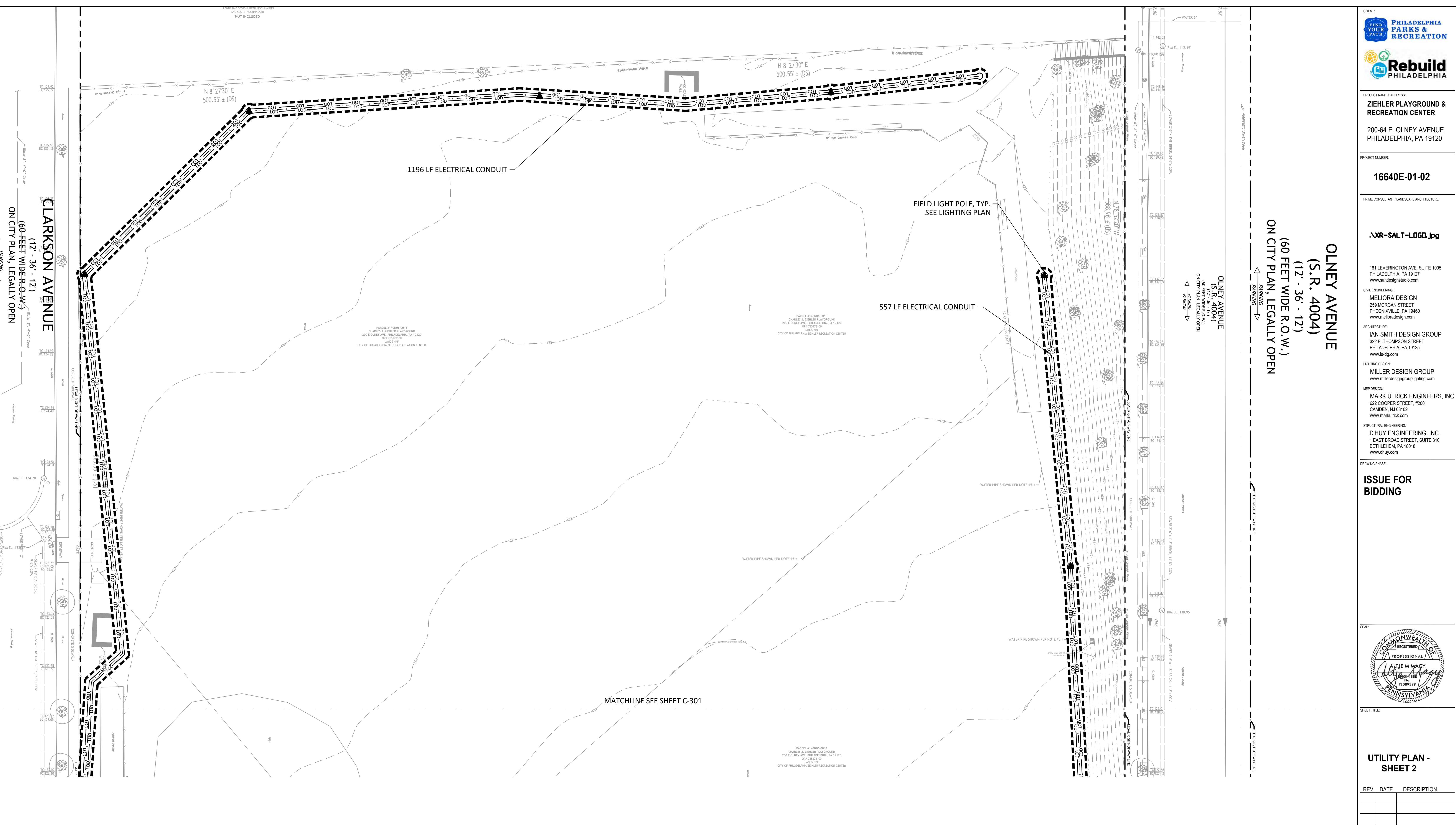
STORAGE TRENCH

RAIN GARDEN 1

RAIN GARDEN 2

13 LF ELECTRICAL CONDUIT

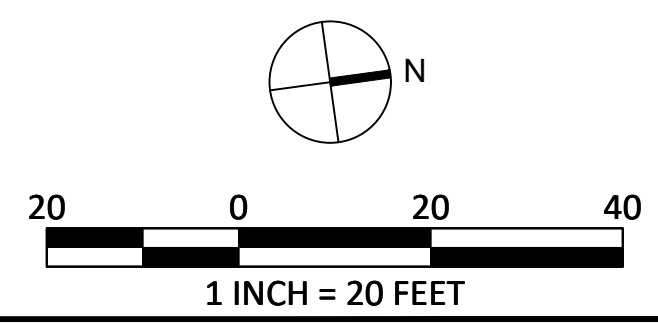
B STREET
 (12' - 36' - 12')
 (60 FEET WIDE R.O.W.)
 STRICKEN FROM CITY PLAN,
 PORTION VACATED



CLARKSON AVENUE
(12' - 36' - 12')
(60 FEET WIDE R.O.W.)
ON CITY PLAN, LEGALLY OPEN

OLNEY AVENUE
(S.R. 4004)
(12' - 36' - 12')
(60 FEET WIDE R.O.W.)
ON CITY PLAN, LEGALLY OPEN

- LEGEND**
- LOD — LIMIT OF DISTURBANCE
 - ⊙ PROPOSED SANITARY CLEANOUT
 - - - PROPOSED ELECTRIC LINE
 - - - - PROPOSED SANITARY SEWER
- | | | |
|-----|---|---|
| MK | ▲ | POLE-MOUNTED 8 HEAD 'LIGHTS-ON |
| MK1 | | NIGHTTIME SAFETY LIGHT |
| MN | □ | PEDESTRIAN SCALE WALKWAY-
SINGLE HEAD ON 12' POLES |
| MNP | □ | WALKWAY LIGHT POLE 12' |



CLIENT:
FIND YOUR PATH PHILADELPHIA PARKS & RECREATION

Rebuild PHILADELPHIA

PROJECT NAME & ADDRESS:
ZIEHLER PLAYGROUND & RECREATION CENTER
200-64 E. OLNEY AVENUE
PHILADELPHIA, PA 19120

PROJECT NUMBER:
16640E-01-02

PRIME CONSULTANT / LANDSCAPE ARCHITECTURE:
SALT DESIGN STUDIO
161 LEVERINGTON AVE, SUITE 1005
PHILADELPHIA, PA 19127
www.saltdesignstudio.com

CIVIL ENGINEERING:
MELIORA DESIGN
259 MORGAN STREET
PHOENIXVILLE, PA 19460
www.melioradesign.com

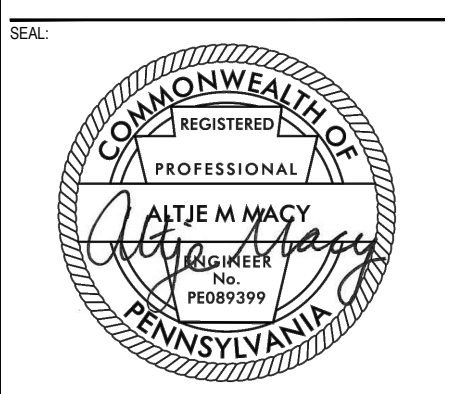
ARCHITECTURE:
IAN SMITH DESIGN GROUP
322 E. THOMPSON STREET
PHILADELPHIA, PA 19125
www.is-dg.com

LIGHTING DESIGN:
MILLER DESIGN GROUP
www.millerdesigngrouplighting.com

MEP DESIGN:
MARK ULRICK ENGINEERS, INC.
622 COOPER STREET, #200
CAMDEN, NJ 08102
www.markulrick.com

STRUCTURAL ENGINEERING:
D'HUY ENGINEERING, INC.
1 EAST BROAD STREET, SUITE 310
BETHLEHEM, PA 18018
www.dhuy.com

DRAWING PHASE:
ISSUE FOR BIDDING



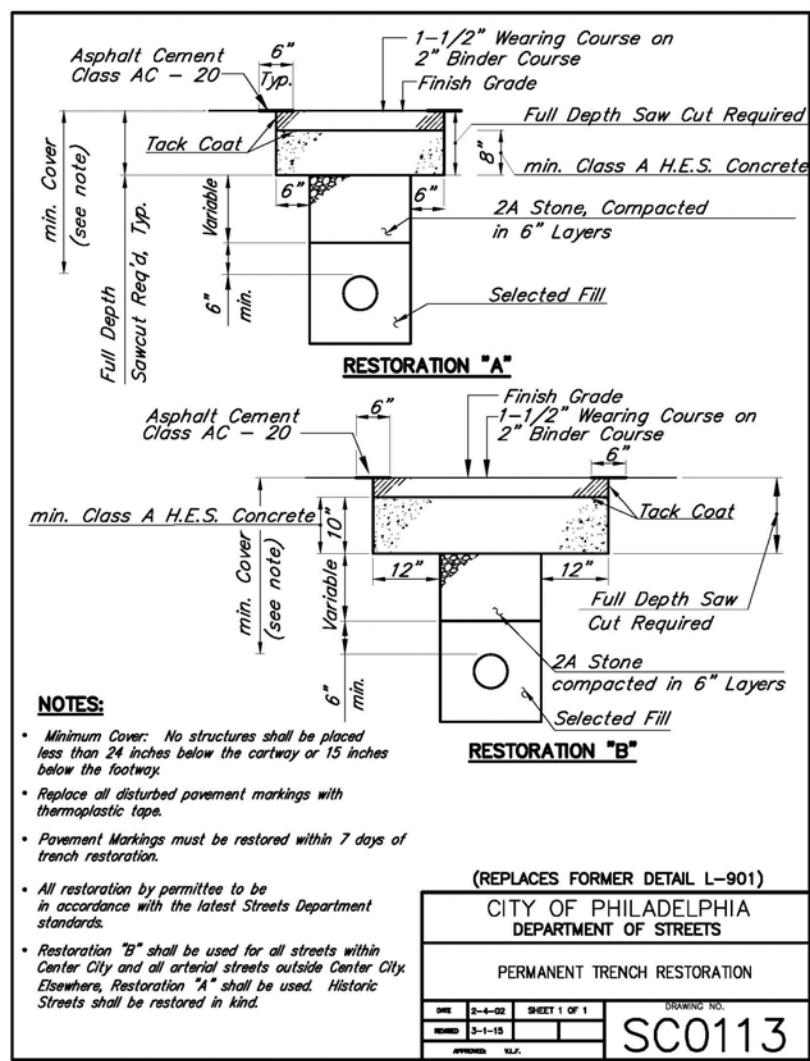
SHEET TITLE:
UTILITY PLAN - SHEET 2

REV	DATE	DESCRIPTION

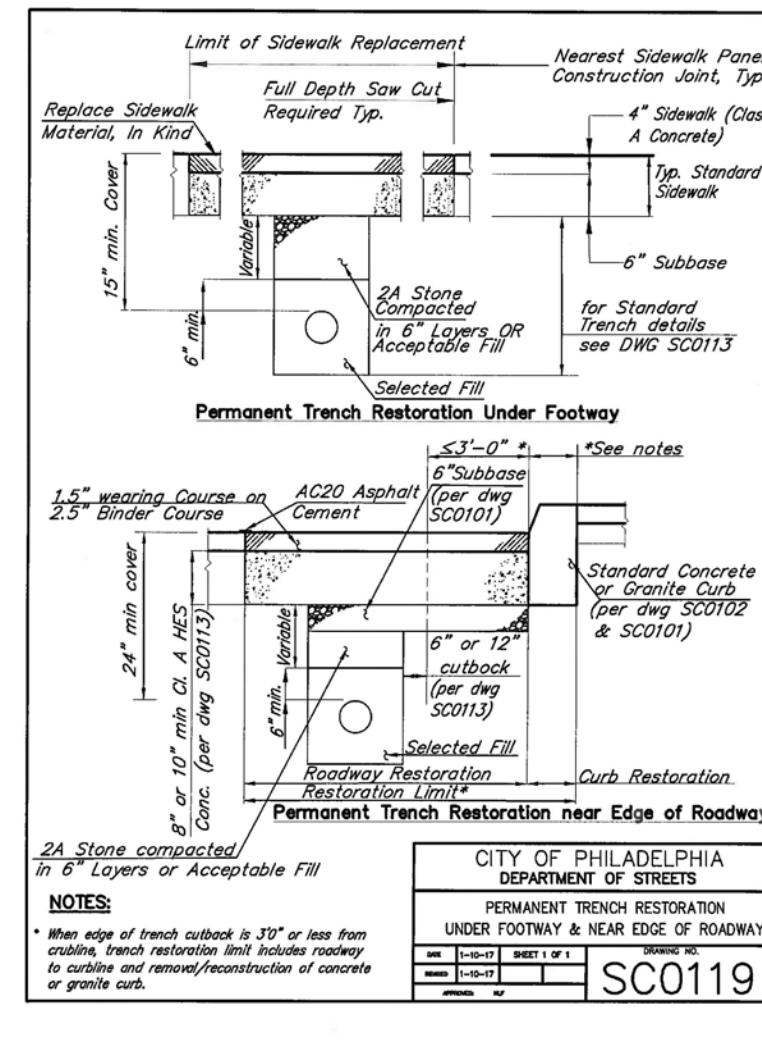
SCALE:
AS NOTED

DATE: 08/15/2022 DRAWN BY: MJR, MAD
CHECKED BY: AMM

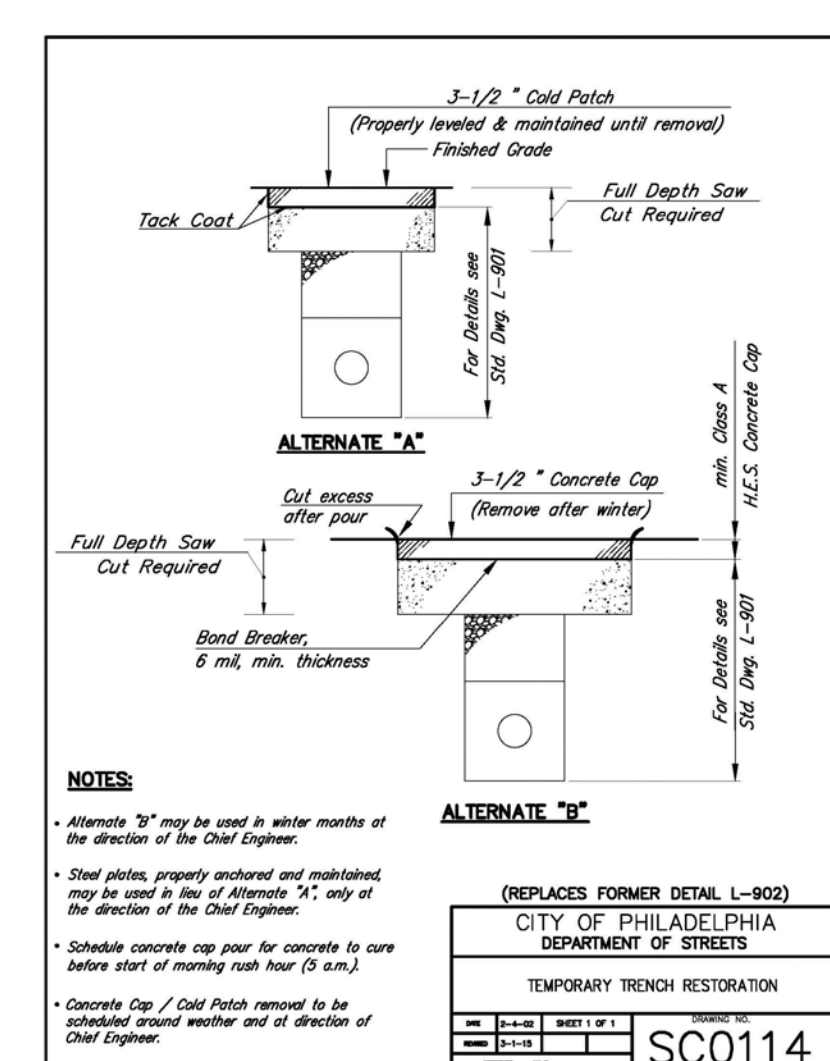
C-302
SALT DESIGN STUDIO FILE NO.: 2003



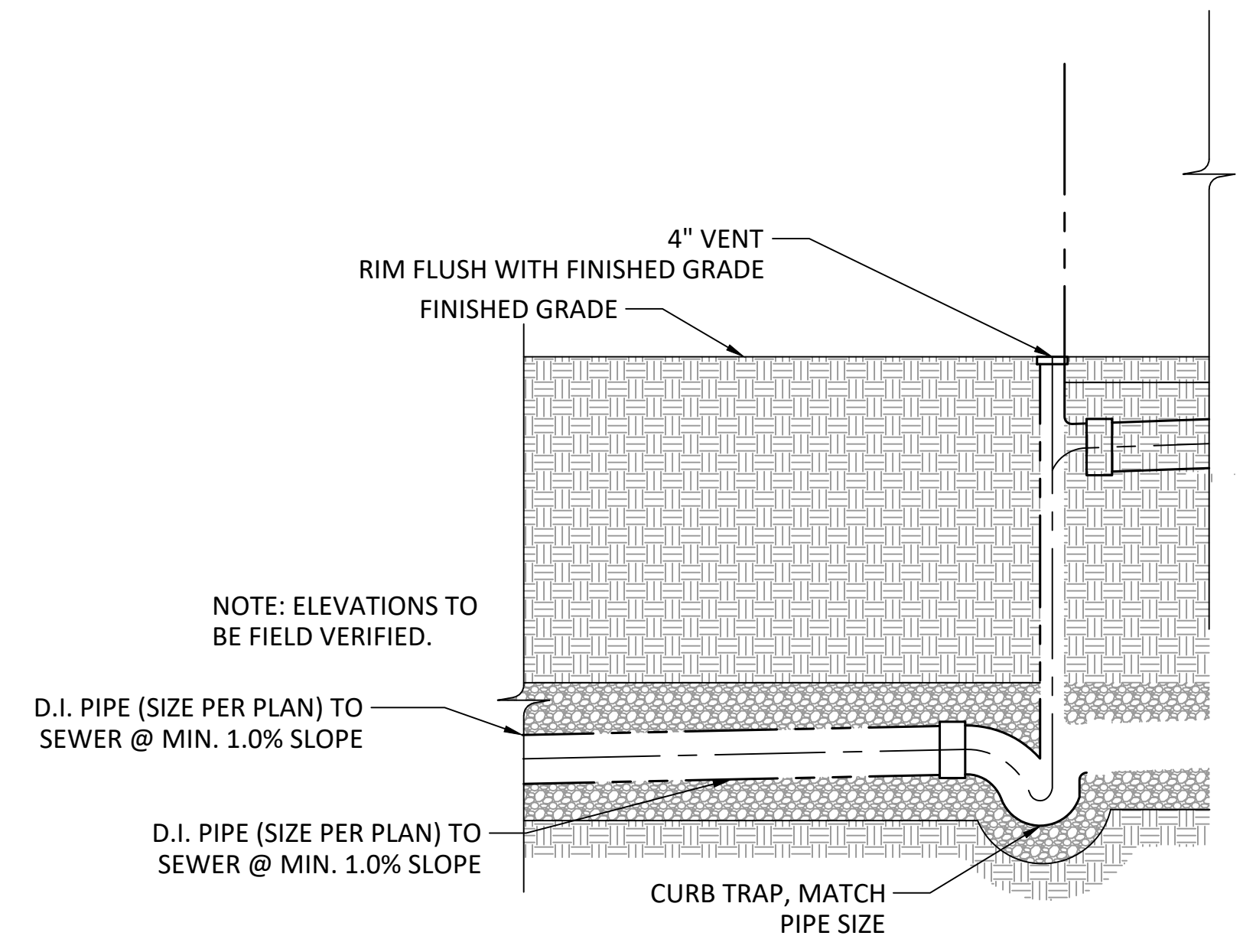
1 PERMANENT TRENCH RESTORATION (ROADWAY)
C-311 PHILADELPHIA STREETS DEPARTMENT NTS



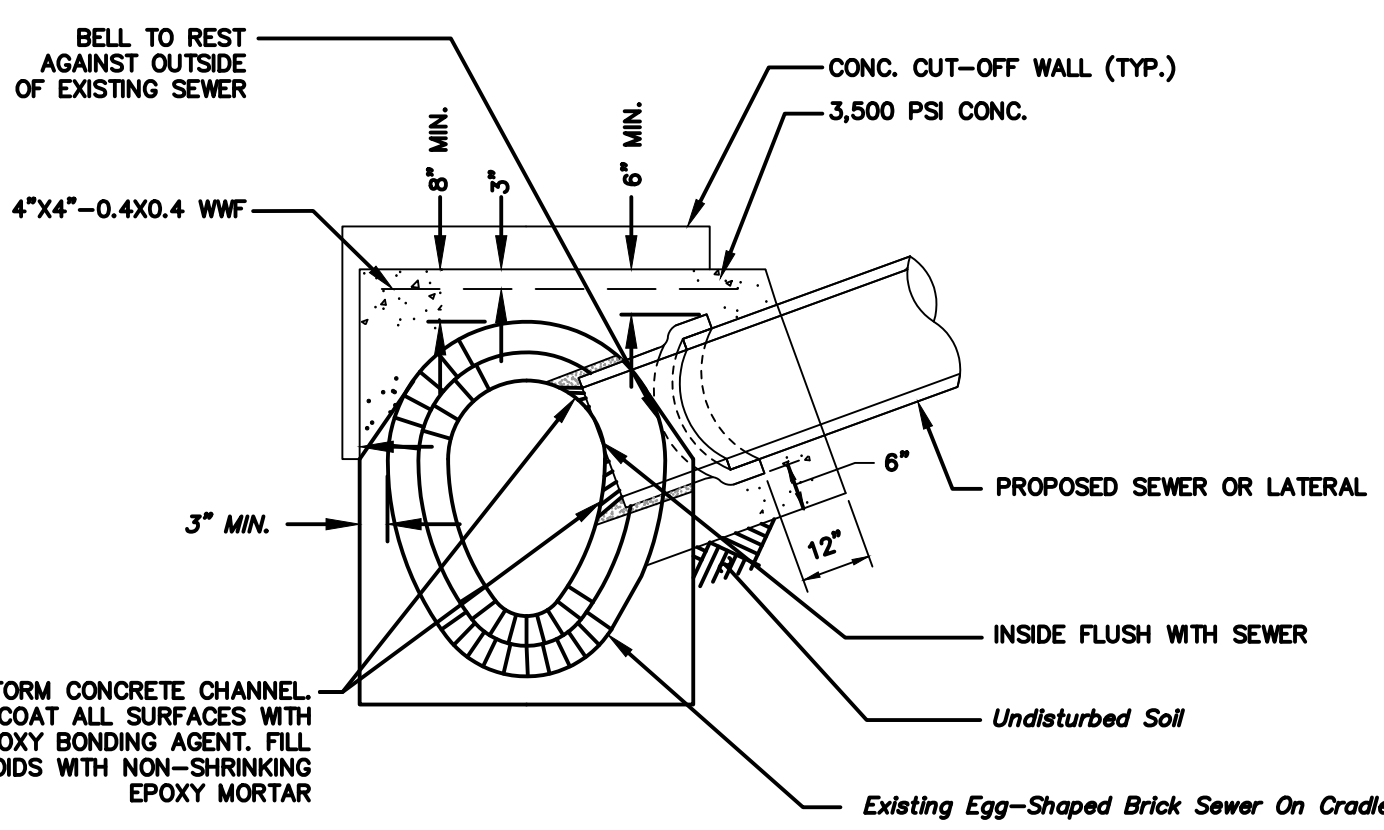
2 PERMANENT TRENCH RESTORATION (FOOTWAY)
C-311 PHILADELPHIA STREETS DEPARTMENT NTS



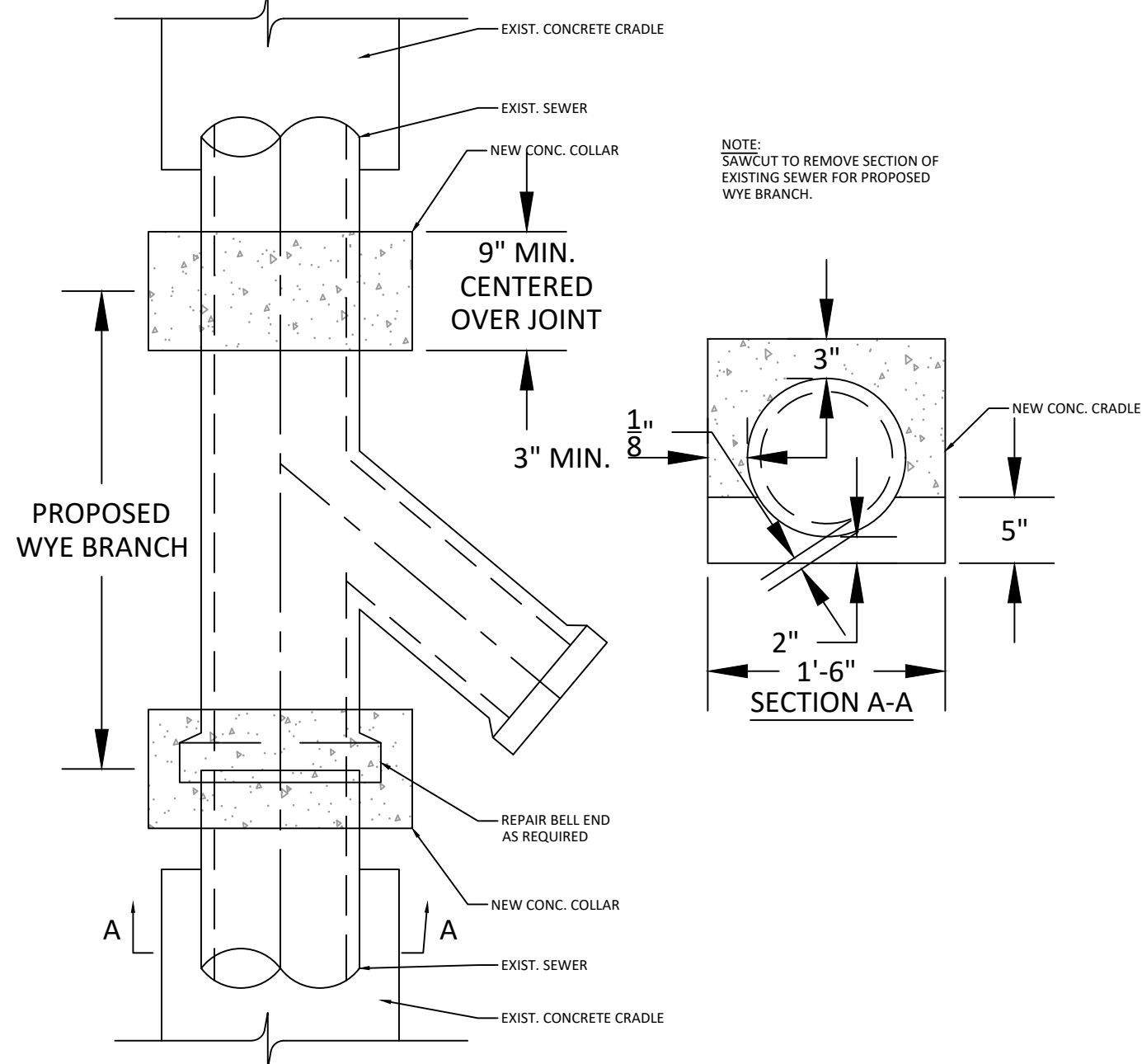
3 TEMPORARY TRENCH RESTORATION
C-311 PSD STD DETAIL SC0113 NTS



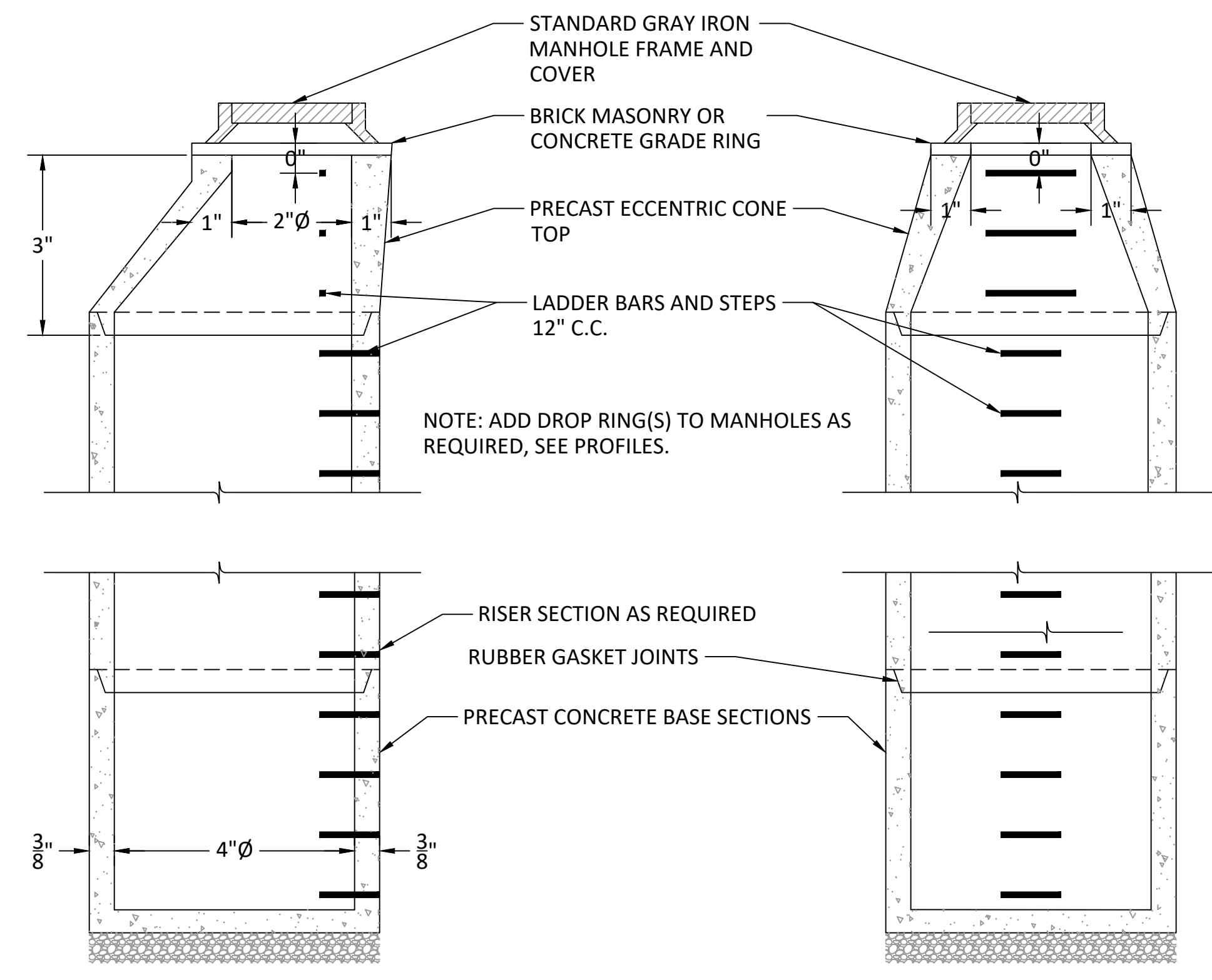
4 SANITARY VENT WITH U-TRAP
C-311 NTS



5 SANITARY SADDLE CONNECTION
C-311 PHILADELPHIA WATER DEPARTMENT 1/4" = 1'



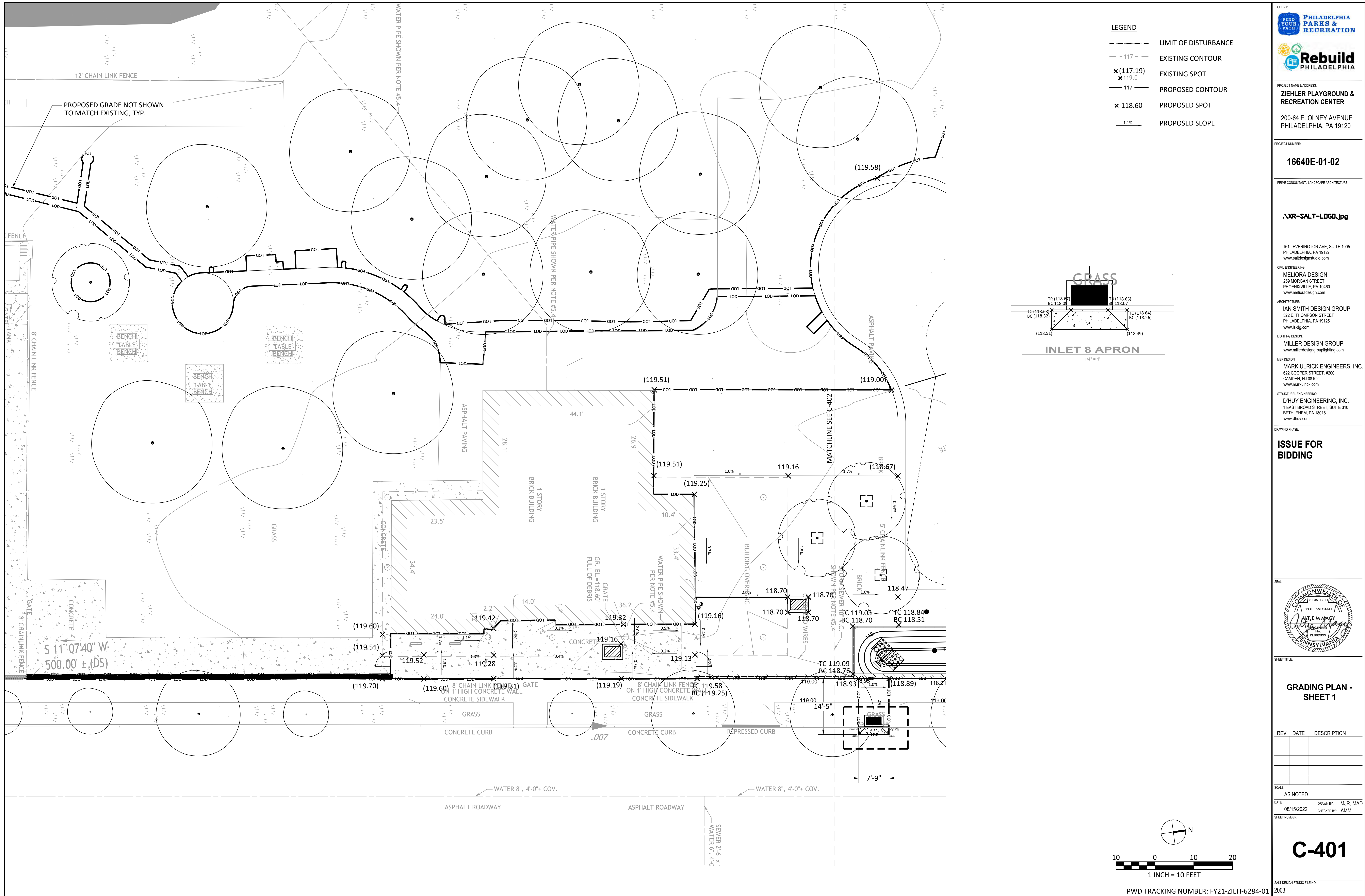
6 SANITARY WYE BRANCH CONNECTION
C-311 PHILADELPHIA WATER DEPARTMENT NTS



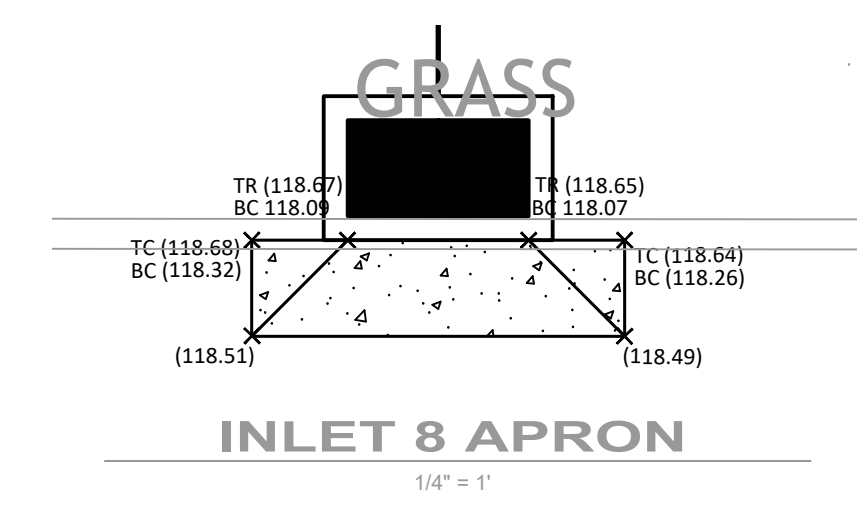
7 PRECAST CONCRETE MANHOLE
C-311 NTS

- NOTES:
1. ALL CONCRETE COMPONENTS, REINFORCEMENT, AND MANHOLE APPURTENANCES SHALL BE PWD STANDARD CONSTRUCTION.
 2. MINIMUM CONCRETE STRENGTH 4000 PSI @ 28 DAYS (PENN DOT CLASS AA)
 3. STEEL REINFORCEMENT ASTM A185 HORIZONTAL TOP SLAB STEEL 1 1/2" MIN. CONCRETE COVER
 4. MANHOLE DESIGN SPEC. CONFORM TO "PRECAST REINFORCEMENT MANHOLE SECTIONS" ASTM C478, LATEST REVISION.
 5. 48" DIA. MANHOLE FLAT LIDS DESIGNED WITH STANDARD AASHTO HS-25 LIVE LOAD CONDITIONS

REV	DATE	DESCRIPTION



- LEGEND**
- LIMIT OF DISTURBANCE
 - - - EXISTING CONTOUR
 - × (117.19) EXISTING SPOT
 - × 119.0
 - 117 — PROPOSED CONTOUR
 - × 118.60 PROPOSED SPOT
 - 1.1% PROPOSED SLOPE



CLIENT:
PHILADELPHIA PARKS & RECREATION
Rebuild PHILADELPHIA

PROJECT NAME & ADDRESS:
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ARCHITECTURE:
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LIGHTING DESIGN:
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 www.millerdesigngroup.com/lighting

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 622 COOPER STREET, #200
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STRUCTURAL ENGINEERING:
D'HUY ENGINEERING, INC.
 1 EAST BROAD STREET, SUITE 310
 BETHLEHEM, PA 18018
 www.dhuy.com

DRAWING PHASE:
ISSUE FOR BIDDING

SEAL:

 ALTJE M. MACY
 REGISTERED PROFESSIONAL ENGINEER
 NO. PE089399
 STATE OF PENNSYLVANIA

SHEET TITLE:
GRADING PLAN - SHEET 1

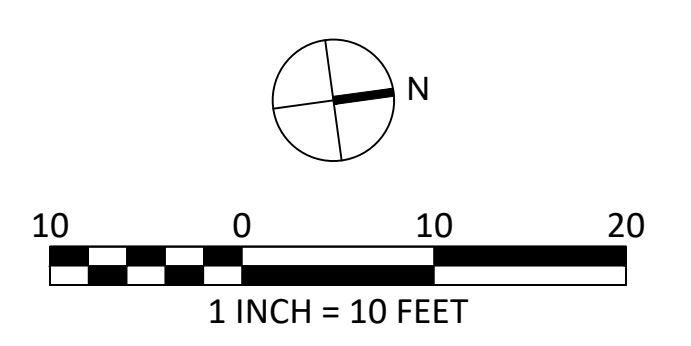
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SCALE:
 AS NOTED

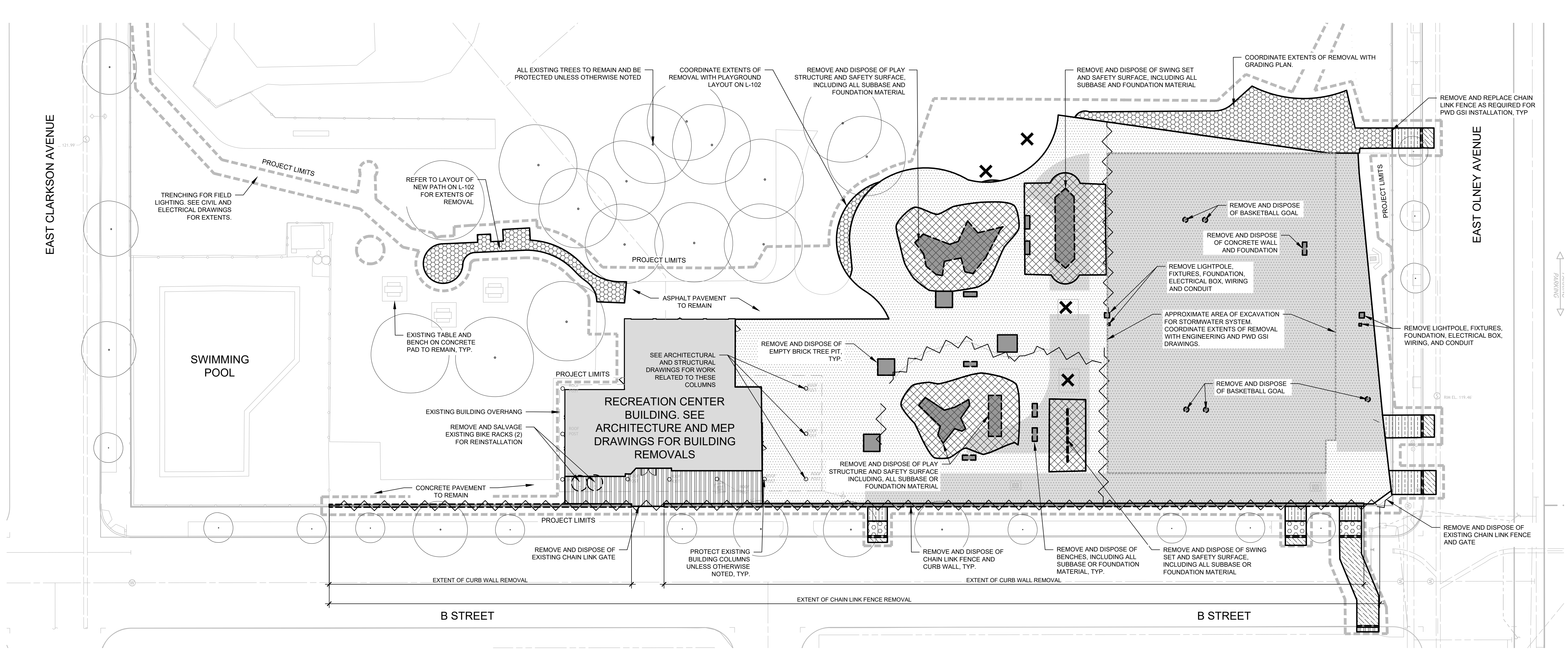
DATE: 08/15/2022 DRAWN BY: M.JR., MAD
 CHECKED BY: AMM

SHEET NUMBER:
C-401

SALT DESIGN STUDIO FILE NO.:
 2003



PWD TRACKING NUMBER: FY21-ZIEH-6284-01



1 SITE REMOVALS AND DEMOLITION PLAN

LEGEND:

- PROJECT LIMITS
- REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT AND SUBBASE
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT AND SUBBASE
- REMOVE AND DISPOSE OF EXISTING SAFETY SURFACING AND SUBBASE
- REMOVE EXISTING TOPSOIL AND ORGANIC MATERIAL
- APPROXIMATE AREA OF EXCAVATION FOR SUBSURFACE STORMWATER SYSTEM. EXACT LOCATION TO BE COORDINATED WITH CIVIL ENGINEERING AND PWD GSI DRAWINGS.
- REMOVE EXISTING SITE ELEMENT, INCLUDING ANY FOUNDATION OR SUBBASE MATERIAL; SEE NOTES ON PLAN FOR DETAILS
- REMOVE AND DISPOSE OF EXISTING TREE (GRUB AND REMOVE ENTIRE STUMP AND ROOT SYSTEM)
- REMOVE AND DISPOSE OF EXISTING FENCE
- REMOVE AND SALVAGE EXISTING SITE FEATURE
- EXISTING TREE TO REMAIN AND BE PROTECTED
- REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT AND SUBBASE IN RIGHT-OF-WAY
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT AND SUBBASE IN RIGHT-OF-WAY
- REMOVE EXISTING TOPSOIL AND ORGANIC MATERIAL WITHIN RIGHT-OF-WAY
- SAWCUT AND REMOVE EXISTING CURB WITHIN RIGHT-OF-WAY

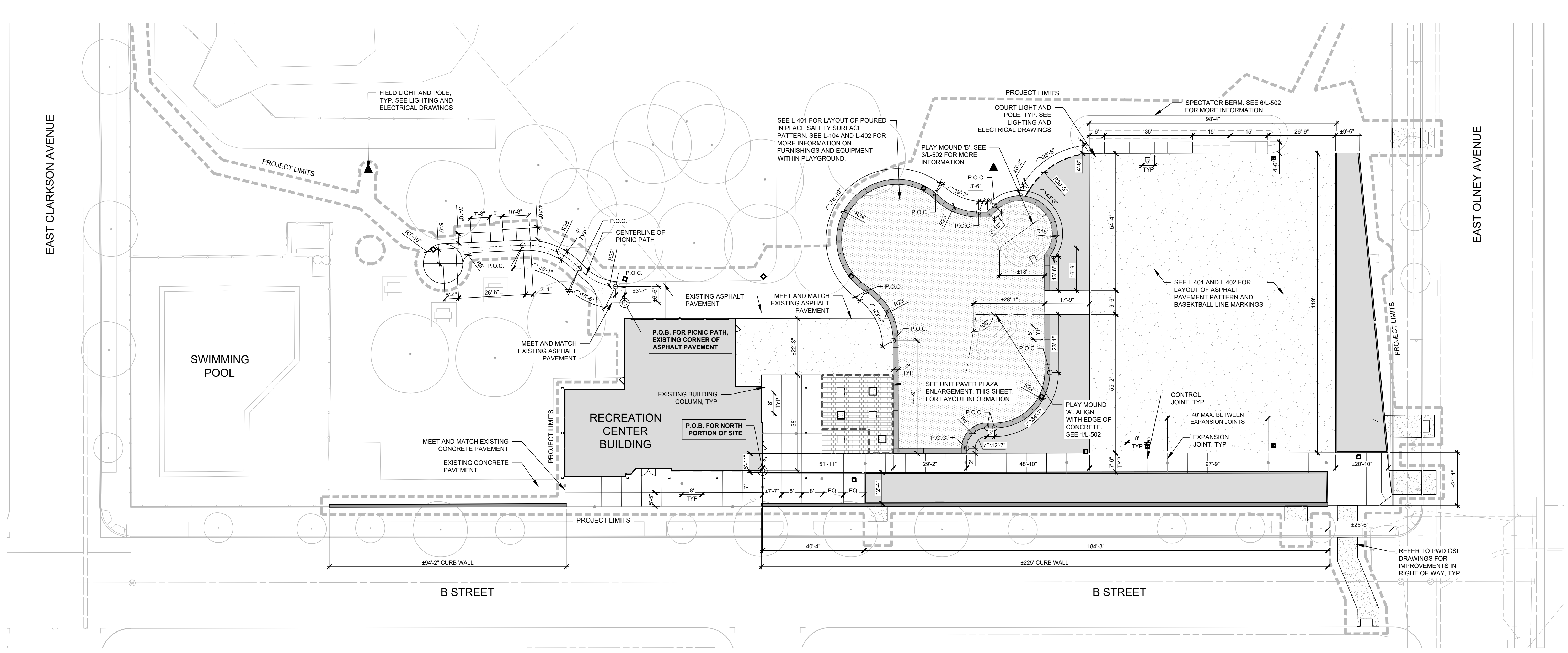
- SITE REMOVALS / DEMOLITION NOTES:**
1. SITE SURVEY DATA WAS PREPARED BY RODRIGUEZ CONSULTING, LLC. AND PROVIDED TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
 2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 3. PA ONE-CALL IS REQUIRED PRIOR TO STARTING DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING ALL UNDERGROUND UTILITIES LOCATED WITHIN THE PROJECT LIMITS AND AROUND THE PERIMETER OF THE SITE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES AND SITE FEATURES TO REMAIN DURING CONSTRUCTION. ANY DAMAGES TO UTILITIES OR SITE FEATURES INTENDED TO REMAIN DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL INVENTORY AND PROVIDE PHOTOGRAPHS OR VIDEO OF CONDITIONS OF EXISTING UTILITIES OR SITE FEATURES THAT MAY BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL REPAIR ALL EXISTING UTILITIES OR SITE FEATURES TO REMAIN THAT ARE DAMAGED OR EXPOSED DUE TO WORK OR REMOVALS. ANY REPAIR SHOULD RESULT IN FINISHES THAT MATCH THE PREVIOUSLY EXISTING CONDITIONS.
 5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION FENCING AND MAINTAINING A SAFE AND SECURE SITE THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION.
 6. TREE PROTECTION FENCING, AS SHOWN ON CIVIL ENGINEERING DRAWINGS, SHALL BE INSTALLED PRIOR TO ANY WORK BEING DONE ON SITE. TREE PROTECTION FENCING SHALL REMAIN IN GOOD CONDITION THROUGHOUT DURATION OF CONSTRUCTION UNTIL ACCEPTANCE BY OWNER.
 - 6.1. REVIEW EXTENT OF TREE PROTECTION FENCING WITH LANDSCAPE ARCHITECT IN FIELD BEFORE AND AFTER DEMOLITION. CONTRACTOR SHALL ADJUST AS NEEDED TO PROTECT UNDER DRIPLINES OF EXISTING TREES TO REMAIN.
 - 6.2. UNDER NO CIRCUMSTANCES SHALL CONSTRUCTION MATERIALS OR EQUIPMENT BE STORED UNDER THE DRIPLINE OF EXISTING TREES TO REMAIN.
 7. SEE CIVIL ENGINEERING DRAWINGS FOR EROSION AND SEDIMENT CONTROL MEASURES.
 8. CONTRACTOR SHALL DISPOSE OF ALL DEMOLISHED ITEMS OFF SITE IN ACCORDANCE WITH LOCAL CODES AND LAWS.
 9. SAWCUT SITE PAVEMENTS AND CURBS TO BE REMOVED WHERE ADJACENT TO EXISTING PAVEMENT OR CURBS TO REMAIN.
 10. REMOVE AND SALVAGE EXISTING BIKE RACKS FOR REINSTALLATION IN SAME LOCATION.
 11. SEE ARCHITECTURAL AND MEP DRAWINGS FOR BUILDING REMOVALS.
 12. SEE ENGINEERING AND PWD GSI DRAWINGS FOR SITE UTILITY REMOVALS.
 13. CONTRACTOR SHALL PROVIDE TEMPORARY VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL SIGNAGE WITHIN RIGHT-OF-WAY AS REQUIRED BY CITY OF PHILADELPHIA REGULATIONS.
 14. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF EXISTING TREES AND/OR LIMBS THAT MAY CONFLICT WITH CONSTRUCTION ACTIVITIES OR VEHICLES.
 15. SEE CIVIL AND PWD GSI DRAWINGS FOR EXTENTS OF REMOVALS AND IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.



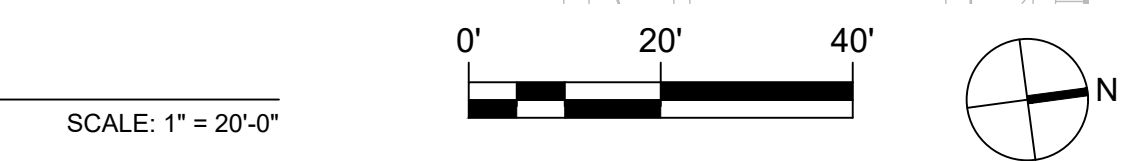
SITE REMOVALS & DEMOLITION PLAN

REV	DATE	DESCRIPTION

SCALE:
 AS NOTED
 DATE: 08/15/2022 DRAWN BY: SB
 CHECKED BY: SPS



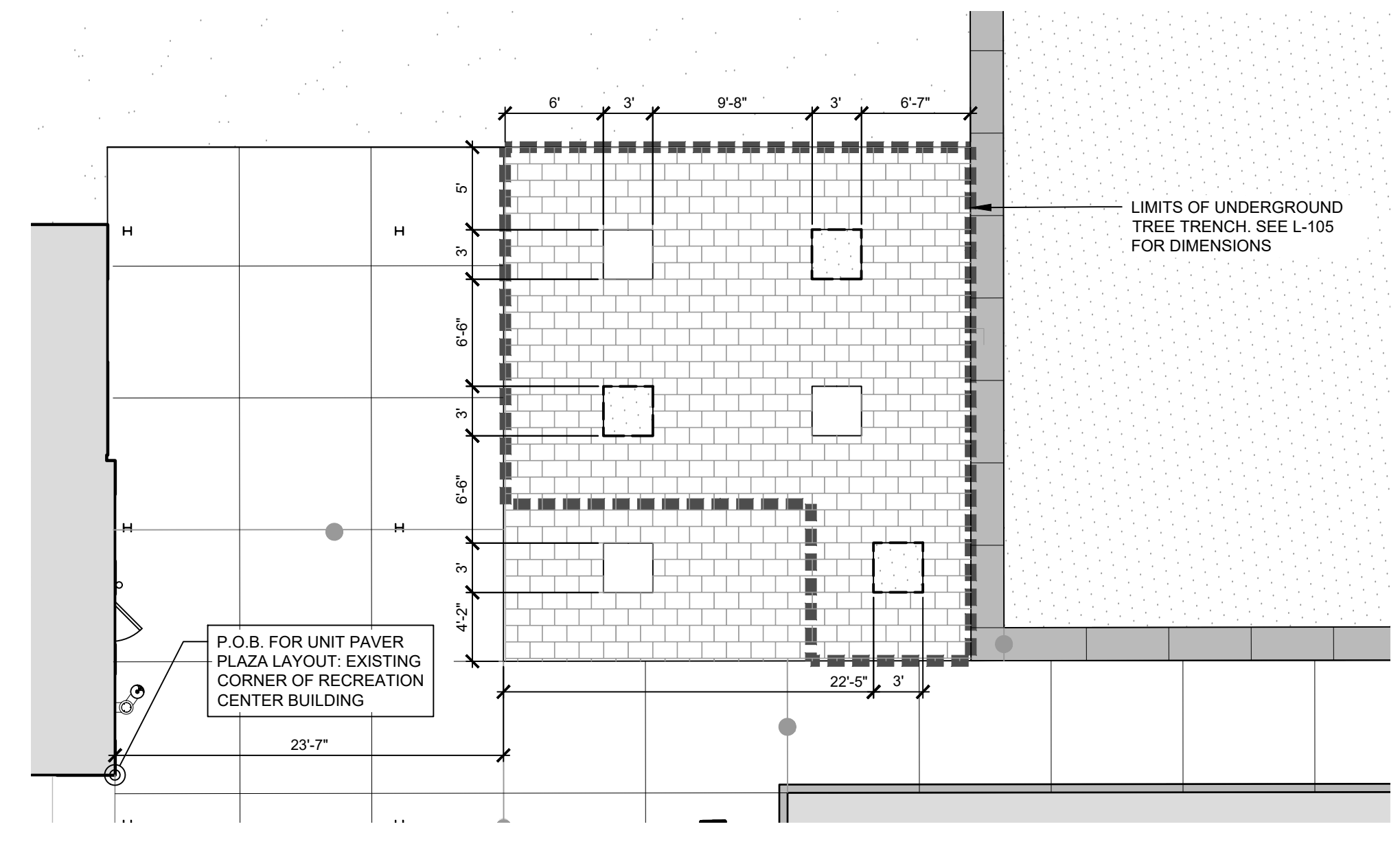
1 SITE LAYOUT PLAN



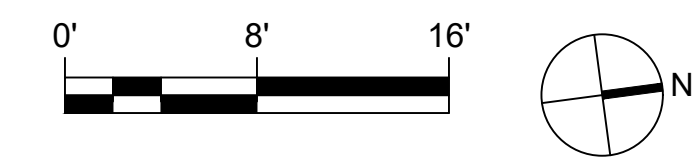
LEGEND

PROJECT LIMITS	EXISTING TREE TO REMAIN AND BE PROTECTED
1 L-501 ASPHALT PAVEMENT	6 L-506 LIMITS OF UNDERGROUND TREE TRENCH
2 L-501 CONCRETE PAVEMENT	4 L-506 METAL EDGING
CONTROL JOINT	3 L-501 OBJECT CENTERLINE
EXPANSION JOINT	ASPHALT PAVEMENT IN RIGHT-OF-WAY. SEE PWD GSI DRAWINGS.
5 L-501 PERMEABLE UNIT PAVING	CONCRETE PAVEMENT IN RIGHT-OF-WAY. SEE PWD GSI DRAWINGS.
6 L-501 POURED IN PLACE SAFETY SURFACE	POINT OF BEGINNING (P.O.B.)
PLANT BED / RAIN GARDEN	POINT OF CURVATURE (P.O.C.)
4 L-501 FLUSH CONCRETE CURB	
7/8 L-501 CONCRETE CURB WALL	
9 L-501 CONCRETE PLANTER CURB	

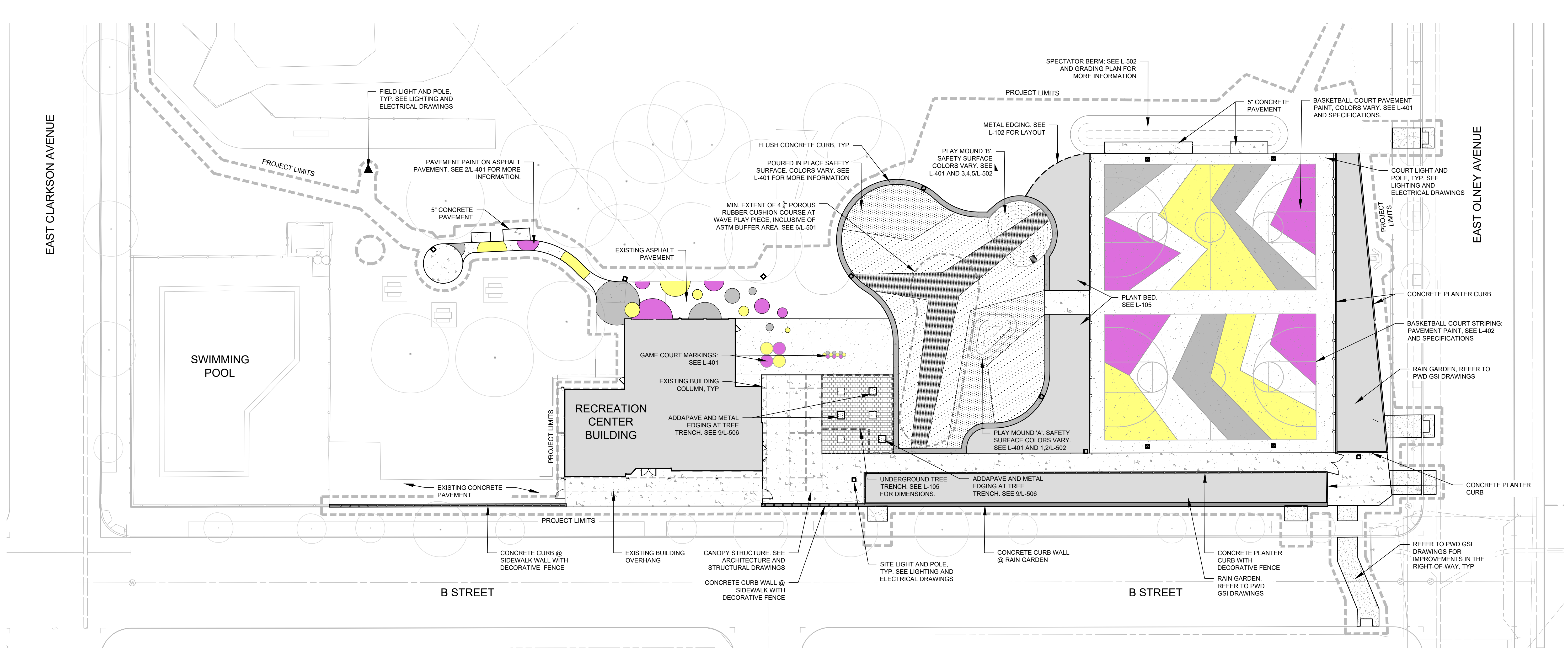
- SITE LAYOUT NOTES:**
- SITE SURVEY DATA WAS PREPARED BY RODRIGUEZ CONSULTING, LLC. AND PROVIDED TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 - VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT.
 - THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
 - DO NOT SCALE DRAWINGS. CONSULT LANDSCAPE ARCHITECT FOR ANSWERS TO ALL DIMENSIONAL QUESTIONS.
 - CONTACT UTILITY COMPANIES AS REQUIRED BY STATE AND LOCAL REGULATIONS BEFORE DIGGING TO LOCATE AND MARK EXISTING UTILITIES.
 - CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF ALL SITE IMPROVEMENTS PRIOR TO INSTALLATION.
 - DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, FRONT OF CURB, FACES OF WALLS, OR OBJECT CENTERLINE, UNLESS NOTED OTHERWISE.
 - ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
 - EXPANSION JOINTS TO OCCUR AT 40'-0" O.C. MAX. AND WHERE CONCRETE CURBING AND PAVEMENT MEETS CURBS, WALLS, AND OTHER SITE ELEMENTS.
 - PROVIDE SLOPES ON PAVEMENT SURFACES AS INDICATED ON GRADING AND DRAINAGE PLAN TO ALLOW FOR POSITIVE DRAINAGE.
 - NO PONDING SHALL BE PERMITTED ON FINISHED GRADE OF SITE PAVEMENTS. AREAS WHERE PONDING OCCURS SHALL BE REGRADED AND REPAIRED AT CONTRACTOR'S EXPENSE.
 - SEE L-103 FOR SITE MATERIALS.
 - SEE L-104 FOR SITE FURNISHINGS AND EQUIPMENT SCHEDULE.
 - SEE L-104 AND L-402 FOR LAYOUT OF SITE FURNISHINGS AND EQUIPMENT.
 - SEE L-103, L-401 AND L-402 FOR LAYOUT OF PAVEMENT MARKINGS.
- DEDUCT ALT.**
- ORNAMENTAL FENCE FOR CHAIN LINK FENCE (BASED ON PPR STANDARDS)
 - CONCRETE CURB AROUND PLAYGROUND
 - FIELD LIGHTING INCLUDES ELECTRICAL CONDUIT, TRENCHING AND BACKFILL, POLES, AND FOUNDATION



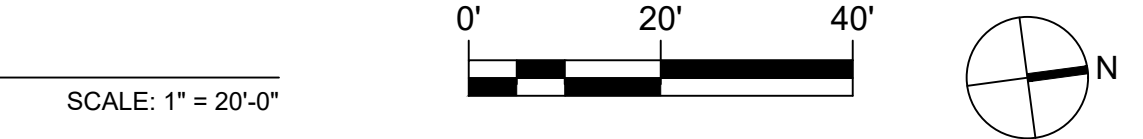
2 UNIT PAVER PLAZA LAYOUT ENLARGEMENT



REV	DATE	DESCRIPTION



1 SITE MATERIALS PLAN



LEGEND:

	PROJECT LIMITS		PAVEMENT PAINT COLOR 1
	1 ASPHALT PAVEMENT (L-501)		PAVEMENT PAINT COLOR 2
	2 CONCRETE PAVEMENT (L-501)		PAVEMENT PAINT COLOR 3
	5 PERMEABLE UNIT PAVING (L-501)		PLANT BED / RAIN GARDEN
	6 POURED IN PLACE SAFETY SURFACE COLOR 1 (L-501)		4 METAL EDGING (L-506)
	6 POURED IN PLACE SAFETY SURFACE COLOR 2 (L-501)		EXISTING CANOPY TREE TO REMAIN AND BE PROTECTED
	6 POURED IN PLACE SAFETY SURFACE COLOR 3 (L-501)		6 LIMITS OF UNDERGROUND TREE TRENCH (L-506)
	4 FLUSH CONCRETE CURB (L-501)		7/8 CONCRETE CURB WALL (L-501)
	1 DECORATIVE FENCE (L-503)		ASPHALT PAVEMENT IN RIGHT-OF-WAY. SEE PWD GSI DRAWINGS
	4 CHAIN LINK FENCE (L-503)		CONCRETE PAVEMENT IN RIGHT-OF-WAY. SEE PWD GSI DRAWINGS
	9 CONCRETE PLANTER CURB (L-501)		

- SITE MATERIAL NOTES:**
- SITE SURVEY DATA WAS PREPARED BY RODRIGUEZ CONSULTING, LLC. AND PROVIDED TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 - THESE CONTRACT DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
 - SEE L-401 AND L-402 FOR LAYOUT OF PAVEMENT MARKINGS.
 - SEE S4 FOR PLAY EQUIPMENT FOUNDATIONS.
 - COORDINATE INSTALLATION OF FURNISHINGS AND EQUIPMENT FOUNDATIONS PRIOR TO INSTALLING SITE PAVEMENTS.
- DEDUCT ALT:**
- ORNAMENTAL FENCE FOR CHAIN LINK FENCE (BASED ON PPR STANDARDS)
 - CONCRETE CURB AROUND PLAYGROUND
 - FIELD LIGHTING INCLUDES ELECTRICAL CONDUIT, TRENCHING AND BACKFILL, POLES, AND FOUNDATION

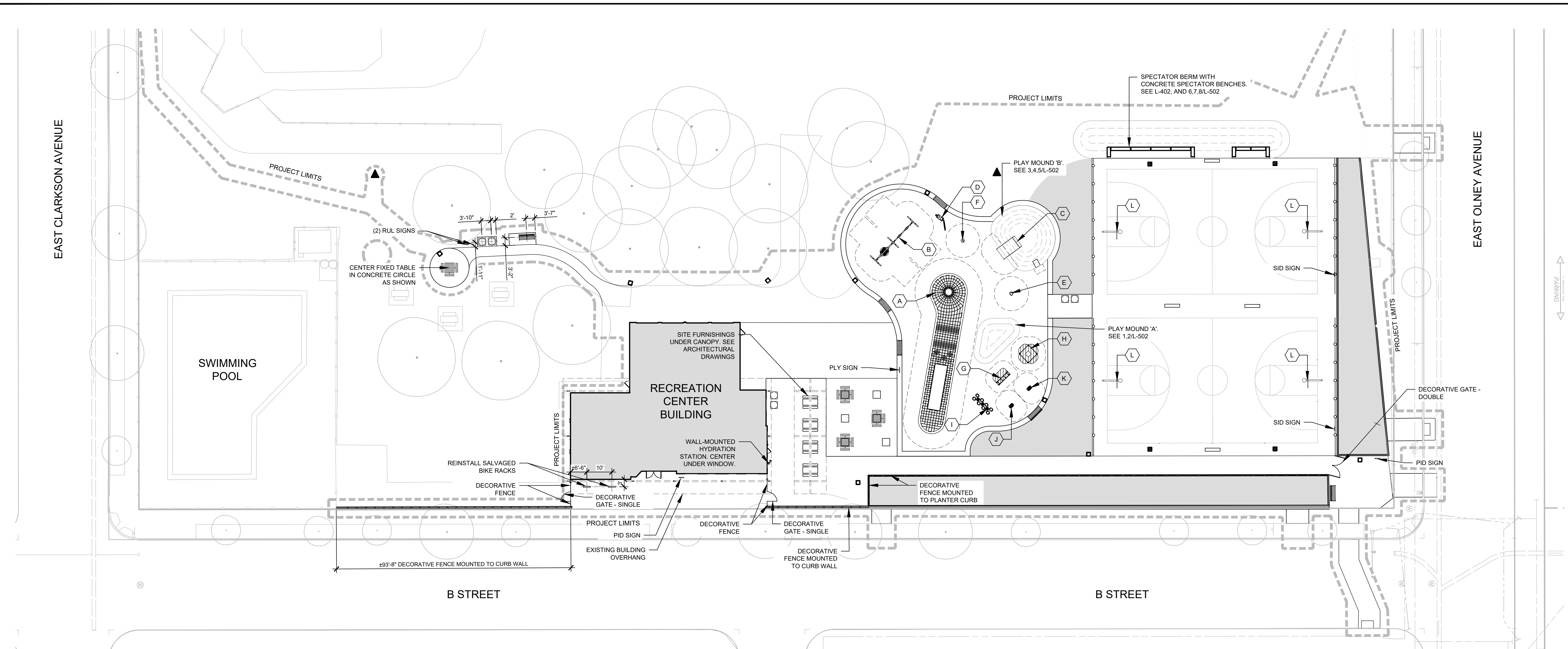


SITE MATERIALS PLAN

REV	DATE	DESCRIPTION

SCALE: AS NOTED
 DATE: 08/15/2022 DRAWN BY: SB
 CHECKED BY: SPS

SHEET NUMBER
L-103
 SALT DESIGN STUDIO FILE NO.: 2003



1 SITE FURNISHINGS & EQUIPMENT PLAN

- LEGEND:**
- PROJECT LIMITS
 - ASTM BUFFER ZONE FOR PLAY EQUIPMENT
 - 1 L-504 FIXED TABLE WITH BENCHES
 - 2 L-504 BACKLESS BENCH
 - 3 L-504 BACKED BENCH
 - 4 L-504 PLAYERS BENCH
 - 7 L-502 CONCRETE SPECTATOR BENCH, SIZE VARIES. SEE L-402
 - 5 L-504 TRASH / RECYCLING RECEPTACLE
 - WALL-MOUNTED HYDRATION STATION
 - 4 L-501 FLUSH CONCRETE CURB
 - 3 L-503 DECORATIVE GATE - DOUBLE
 - 1 L-503 DECORATIVE FENCE
 - 4 L-503 CHAIN LINK FENCE
 - 2 L-503 DECORATIVE GATE - SINGLE
 - EXISTING CANOPY TREE TO REMAIN AND BE PROTECTED
 - PLANT BED / RAIN GARDEN

- SITE FURNISHINGS AND EQUIPMENT NOTES:**
1. SITE SURVEY DATA WAS PREPARED BY RODRIGUEZ CONSULTING, LLC. AND PROVIDED TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
 2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 3. THESE CONTRACT DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
 4. CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF ALL SITE FURNISHINGS AND EQUIPMENT PRIOR TO INSTALLATION.
 5. DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, FRONT OF CURB, FACES OF WALLS, OR CENTERLINES OF OBJECTS, UNLESS NOTED OTHERWISE.
 6. ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
 7. SEE SITE FURNISHINGS AND PLAY AND FITNESS EQUIPMENT SCHEDULE FOR QUANTITIES, FINISHES AND PRODUCT AND MANUFACTURER INFORMATION.
 8. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL FURNISHING AND EQUIPMENT FOUNDATIONS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL IN COORDINATION WITH FURNISHING AND EQUIPMENT MANUFACTURER'S PRIOR TO INSTALLATION.
 9. FOUNDATIONS FOR ALL FURNISHINGS SHALL BE STAKED IN FIELD BY CONTRACTOR ON SITE AND REVIEWED IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 10. SEE L-402 FOR LAYOUT OF EQUIPMENT AND FURNISHINGS IN PLAYGROUND AREA.
 11. CONTRACTOR SHALL FIELD VERIFY LOCATIONS FOR FENCING INSTALLATION AND PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.

PLAY AND FITNESS EQUIPMENT SCHEDULE

ITEM	QTY	PRODUCT NAME	PRODUCT NO.	MANUFACTURER	MAX FALL HT.
A	1	CLIMBING STRUCTURE WAVE	COR880845	KOMPAN	9'-2"
B	1	SWING SET TWO-BAY PORTAL SWING	KSW950880	KOMPAN	7'-9"
C	1	EMBANKMENT SLIDE	COR711501-1230	KOMPAN	3'-4"
D	1	TODDLER PLAY PANEL MUSIC PLAY PANEL 2	PCM713099	KOMPAN	N/A
E	1	SPINNER PLATFORM SPICA 2	GXY8105	KOMPAN	3'-3"
F	1	TODDLER SPINNER PLATFORM	M19101-3517P	KOMPAN	2'-0"
G	1	DIP BENCH	FSW20200-CUSTOM 20120783	KOMPAN	2'-5"
H	1	PULL-UP BARS SQUARE PULL-UP STATION PRO	FSW21801-CUSTOM 20120783	KOMPAN	7'-8"
I	1	FITNESS STENCIL AGILITY DOTS	SUR11200-001	KOMPAN	N/A
J	1	CROSS TRAINING STEP, 8-IN	FAZ30100-CUSTOM 20120784	KOMPAN	8"
K	1	CROSS TRAINING STE, 16-IN	FAZ30200-CUSTOM 20120785	KOMPAN	16"
L	4	BASKETBALL GOAL BASKETBALL SYSTEM - THE PLAYGROUND	LS-200	JAYPRO SPORTS	N/A

SIGNAGE SCHEDULE

SIGN	QTY	PRODUCT NAME & NUMBER PER PPR STANDARD	SIZE	OPTIONS, FINISHES & COLORS	INSTALLATION
PID	2	PID.4.p PARK IDENTIFICATION SIGN	55 1/8" X 24"	STANDARD PER PPR REGULATIONS	POST MOUNTED PER PPR STANDARDS
SID	2	SID.1.f SITE IDENTIFICATION AND RULES SIGN	49 1/8" X 18"	"COURT 1" AND "COURT 2" STANDARD PER PPR REGULATIONS	MOUNTED TO FENCE PER PPR STANDARDS
PLY	1	PLY.1.p PLAYGROUND IDENTIFICATION AND RULES SIGN	45 1/8" X 24"	STANDARD PER PPR REGULATIONS, DOUBLE-SIDED	MOUNTED TO FENCE PER PPR STANDARDS
RUL	2	RUL.6 RULES SIGN	12" X 8"	(1) "NO SMOKING" AND (1) "NO LITTERING" STANDARD PER PPR REGULATIONS	POST MOUNTED PER PPR STANDARDS

FURNISHINGS SCHEDULE

ITEM	QTY	PRODUCT NAME & MODEL NO.	MANUFACTURER	INSTALLATION
BACKED BENCH	3	165-60D	DU MOR	SURFACE MOUNT WITH TAMPER PROOF HARDWARE
BACKLESS BENCH	3	166-60D	DU MOR	SURFACE MOUNT WITH TAMPER PROOF HARDWARE
PLAYERS BENCH	4	BENCH 139-60 PL	DU MOR	EMBEDDED PER MANUFACTURER'S INSTRUCTIONS
8' CONCRETE SPECTATOR BENCH	4	TF5076 CONCRETE BENCH	WAUSAU TILE	ANCHORED PER MANUFACTURER'S INSTRUCTIONS
6' CONCRETE SPECTATOR BENCH	2	TF5113 CONCRETE BENCH	WAUSAU TILE	ANCHORED PER MANUFACTURER'S INSTRUCTIONS
4' CONCRETE SPECTATOR BENCH	4	TF5117 CONCRETE BENCH	WAUSAU TILE	ANCHORED PER MANUFACTURER'S INSTRUCTIONS
FIXED TABLE WITH BENCHES, 4 SEATS	2	TABLE 76, MODEL NO. 76-34PL	DU MOR	EMBEDDED PER MANUFACTURER'S INSTRUCTIONS
FIXED TABLE WITH BENCHES, 3 SEATS	2	TABLE 76, MODEL NO. 76-33PL	DU MOR	EMBEDDED PER MANUFACTURER'S INSTRUCTIONS
TRASH RECEPTACLE	3	157-32-FTO	DU MOR	EMBEDDED PER DETAIL
RECYCLING RECEPTACLE	3	157-32-FTO	DU MOR	EMBEDDED PER DETAIL
WALL MOUNTED HYDRATION STATION	1	LK44088FBLU	ELKAY	WALL-MOUNT

- DEDUCT ALT:**
- ORNAMENTAL FENCE FOR CHAIN LINK FENCE (BASED ON PPR STANDARDS)
 - CONCRETE CURB AROUND PLAYGROUND
 - FIELD LIGHTING INCLUDES ELECTRICAL CONDUIT, TRENCHING AND BACKFILL, POLES, AND FOUNDATION

CLIENT: PHILADELPHIA PARKS & RECREATION
Rebuild PHILADELPHIA
 PROJECT NAME & ADDRESS: ZIEHLER PLAYGROUND & RECREATION CENTER
 200-64 E. OLNEY AVENUE PHILADELPHIA, PA 19120
 PROJECT NUMBER: 16640E-01-02
 PRIME CONSULTANT / LANDSCAPE ARCHITECTURE: SALT DESIGN STUDIO
 LANDSCAPE ARCHITECTURE PLANNING & URBAN DESIGN
 161 LEVERINGTON AVE. SUITE 1005 PHILADELPHIA, PA 19127 www.saltdesignstudio.com
 CIVIL ENGINEERING: MELIORA DESIGN
 299 MORGAN STREET PHOENIXVILLE, PA 19460 www.melioradesign.com
 ARCHITECTURE: IAN SMITH DESIGN GROUP
 322 E. THOMPSON STREET PHILADELPHIA, PA 19125 www.is-dg.com
 LIGHTING DESIGN: MILLER DESIGN GROUP
 www.millerdesigngrouplighting.com
 MEP DESIGN: MARK ULTRICK ENGINEERS, INC.
 622 COOPER STREET, #200 CAMDEN, NJ 08102 www.markultrick.com
 STRUCTURAL ENGINEERING: DHUY ENGINEERING, INC.
 1 EAST BROAD STREET, SUITE 310 BETHLEHEM, PA 18018 www.dhuy.com

ISSUE FOR BIDDING

SEAL: [Professional Engineer Seal]

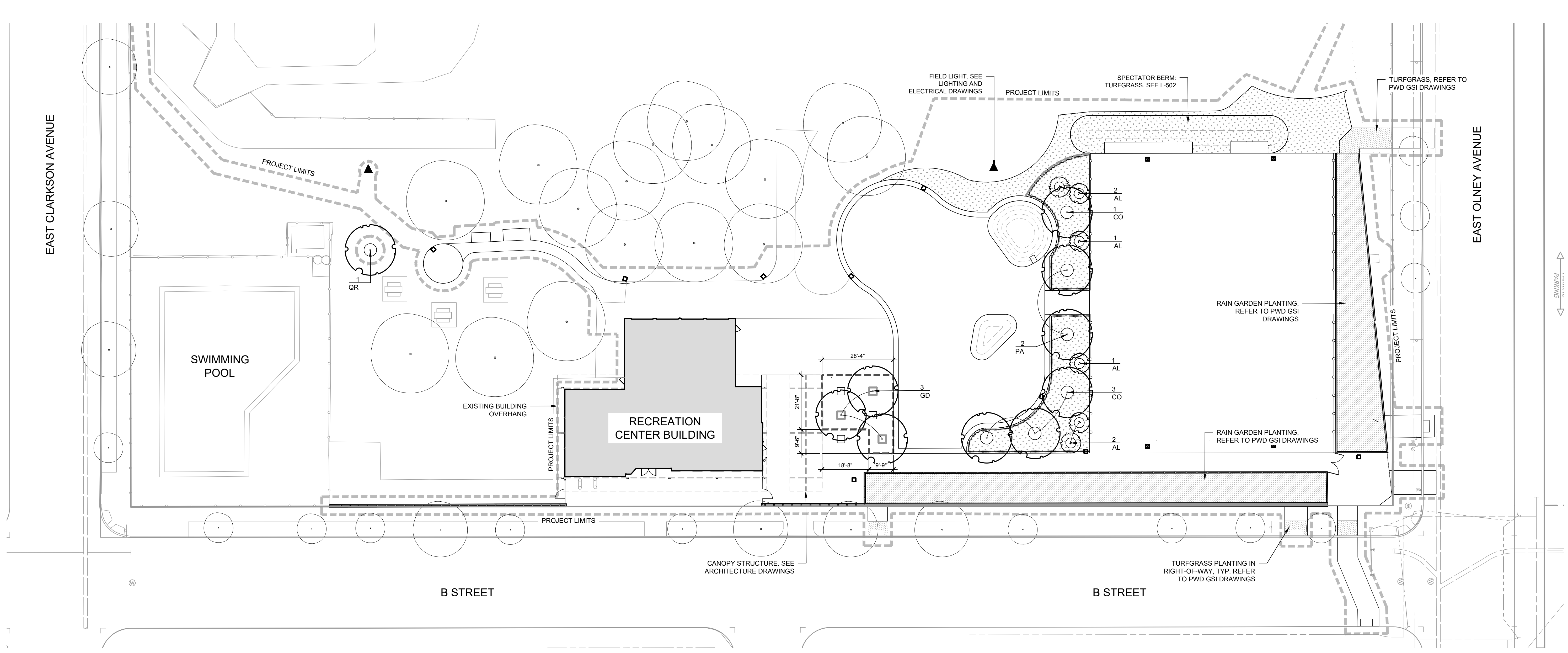
SITE FURNISHINGS & EQUIPMENT PLAN

REV	DATE	DESCRIPTION

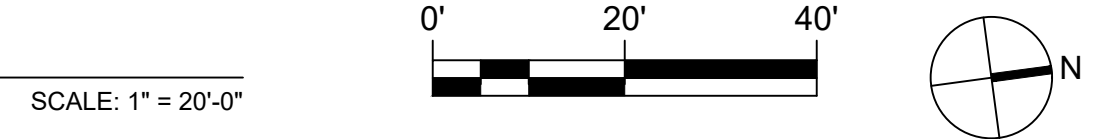
SCALE: AS NOTED
 DATE: 08/15/2022 DRAWN BY: SB
 SHEET NUMBER: 2003 CHECKED BY: SPS

L-104

SALT DESIGN STUDIO FILE NO.: 2003



1 PLANTING PLAN



LEGEND:

- PROJECT LIMITS
- TURFGRASS
- CANOPY TREE PLANTING
- UNDERSTORY TREE PLANTING
- LIMITS OF UNDERGROUND TREE TRENCH
- METAL EDGING
- PLANT BED PROTECTION FENCE
- RAIN GARDEN / RIGHT-OF-WAY PLANTING, REFER TO PWD GSI DRAWINGS
- EXISTING CANOPY TREE TO REMAIN AND BE PROTECTED

PLANTING NOTES:

1. SITE SURVEY DATA WAS PREPARED BY RODRIGUEZ CONSULTING, LLC. AND PROVIDED TO SALT DESIGN STUDIO ON AUGUST 16, 2019.
2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
3. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND SUBTERRANEAN ELEMENTS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR RELOCATION INSTRUCTIONS IF A PLANT IS LOCATED WITHIN 3'-0" OF AN UNDERGROUND UTILITY.
4. CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCING AND MEASURES AS INDICATED ON CIVIL ENGINEERING DRAWINGS.
5. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
6. ALL EXISTING ROOTS OF REMOVED VEGETATION SHALL BE COMPLETELY REMOVED FROM SITE PRIOR TO INSTALLATION OF NEW PLANTS.
7. THERE WILL BE NO PLANT SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT THE APPROVAL OF LANDSCAPE ARCHITECT. ALL PLANTS BROUGHT TO THE SITE MUST BE LABELED AND ACCOMPANIED BY A BILL OF SALE FROM NURSERY. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE ALL PLANTS ON SITE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL IF DEEMED UNHEALTHY, DISEASED, DAMAGED, INCORRECT SPECIES OR CULTIVAR, SIZING OR CONDITION.
8. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER RETENTION IN TREE AND SHRUB PLANTING LOCATIONS.
9. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SOIL LOSS AS INDICATED ON CIVIL ENGINEERING DRAWINGS.
10. ALL IMPORTED PLANTING SOIL SHALL BE OBTAINED FROM A LOCAL SOURCE AND FURNISHED WITH NUTRIENT AND PH DATA FROM CERTIFIED TESTING LAB. SOIL AND NUTRIENT DATA TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
11. SEE PLANT SCHEDULE, THIS SHEET, FOR PLANT SIZES, QUANTITIES, SPECIES AND CONDITION.
12. TREE LOCATIONS SHALL BE STAKED OR FLAGGED IN FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING PLANT INSTALLATION.
13. ALL TREES SHALL HAVE AT LEAST 24" APPROVED PLANTING SOIL AROUND ROOTBALL. ALL SHRUBS SHALL HAVE AT LEAST 18" APPROVED PLANTING SOIL AROUND ROOTBALL.
14. CANOPY TREES SHALL BE LIMBED UP TO 7-FT. HEIGHT UNDER DIRECTION OF LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST. DO NOT LIMB OR PRUNE TREES PRIOR TO INSTALLATION.
15. CONTRACTOR SHALL INSTALL IRRIGATION BAGS FOR ALL NEW CANOPY AND UNDERSTORY TREES IMMEDIATELY UPON COMPLETION OF INSTALLATION.
16. MULCH, COMPOST AND/OR LEAF LITTER IS TO BE INSTALLED AS INDICATED ON DETAILS AND IN SPECIFICATIONS.
17. TEMPORARY PLANT PROTECTION FENCING TO BE INSTALLED IMMEDIATELY UPON COMPLETION OF PLANT INSTALLATION. SEE PLANTING PLAN FOR LOCATIONS AND SEE 5/L-503.
- 17.1. PROTECTION FENCING SHALL REMAIN IN PLACE AND BE MAINTAINED BY CONTRACTOR FOR A MINIMUM OF ONE (1) YEAR.

DEDUCT ALT:
 • ORNAMENTAL FENCE FOR CHAIN LINK FENCE (BASED ON PPR STANDARDS)
 • CONCRETE CURB AROUND PLAYGROUND
 • FIELD LIGHTING INCLUDES ELECTRICAL CONDUIT, TRENCHING AND BACKFILL, POLES, AND FOUNDATION

PLANT SCHEDULE

CANOPY TREES						
CO	4	<i>Celtis occidentalis</i> 'Prairie Prince'	Hackberry	2.5-3" CAL.	B&B OR CONT.	AS SHOWN
GD	3	<i>Gymnocladus dioica</i> 'Espresso'	Kentucky Coffeetree	2.5-3" CAL.	#20 CONTAINER	AS SHOWN
PA	2	<i>Platanus x acerifolia</i> 'Bloodgood'	London Planetree	2.5-3" CAL.	B&B OR CONT.	AS SHOWN
QR	1	<i>Quercus rubra</i>	Red Oak	2.5-3" CAL.	B&B OR CONT.	AS SHOWN
10 TOTAL CANOPY TREES						
UNDERSTORY TREES						
AL	6	<i>Amelanchier laevis</i> 'Luster'	Allgehyeny Serviceberry	6-8" HT.	MULTI-STEM, B&B OR CONT.	AS SHOWN
6 TOTAL UNDERSTORY TREES						



CLIENT:
 PHILADELPHIA PARKS & RECREATION
 PROJECT NAME & ADDRESS:
ZIEHLER PLAYGROUND & RECREATION CENTER
 200-64 E. OLNEY AVENUE
 PHILADELPHIA, PA 19120

PROJECT NUMBER:
16640E-01-02

PRIME CONSULTANT / LANDSCAPE ARCHITECTURE:
SALT DESIGN STUDIO
 LANDSCAPE ARCHITECTURE
 PLANNING & URBAN DESIGN
 161 LEVERINGTON AVE. SUITE 1005
 PHILADELPHIA, PA 19127
 www.saltdesignstudio.com

CIVIL ENGINEERING:
MELIORA DESIGN
 299 MORGAN STREET
 PHOENIXVILLE, PA 19460
 www.melioradesign.com

ARCHITECTURE:
IAN SMITH DESIGN GROUP
 322 E. THOMPSON STREET
 PHILADELPHIA, PA 19125
 www.is-dg.com

LIGHTING DESIGN:
MILLER DESIGN GROUP
 www.millerdesigngroup.com

MEP DESIGN:
MARK ULTRICK ENGINEERS, INC.
 622 COOPER STREET, #200
 CAMDEN, NJ 08102
 www.markultrick.com

STRUCTURAL ENGINEERING:
DHUY ENGINEERING, INC.
 1 EAST BROAD STREET, SUITE 310
 BETHLEHEM, PA 18018
 www.dhuy.com

DRAWING PHASE:
ISSUE FOR BIDDING



SHEET TITLE:
PLANTING PLAN

REV	DATE	DESCRIPTION

SCALE:
 AS NOTED
 DATE: 08/15/2022 DRAWN BY: SB
 SHEET NUMBER: CHECKED BY: SPS

L-105
 SALT DESIGN STUDIO FILE NO.:
 2003