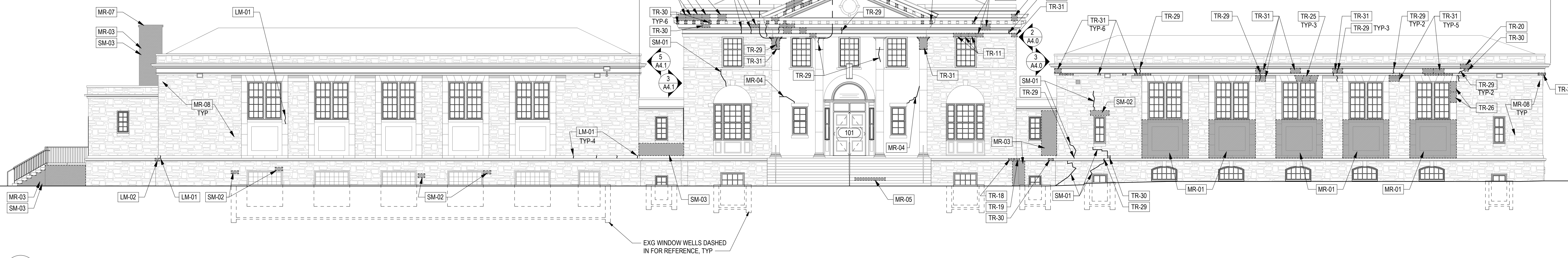


5 ENLARGED MASONRY REPAIRS - EAST PEDIMENT  
A4.0 1/4" = 1'-0"



4 PROPOSED EAST ELEVATION MASONRY REPAIRS  
A4.0 1" = 10'-0"

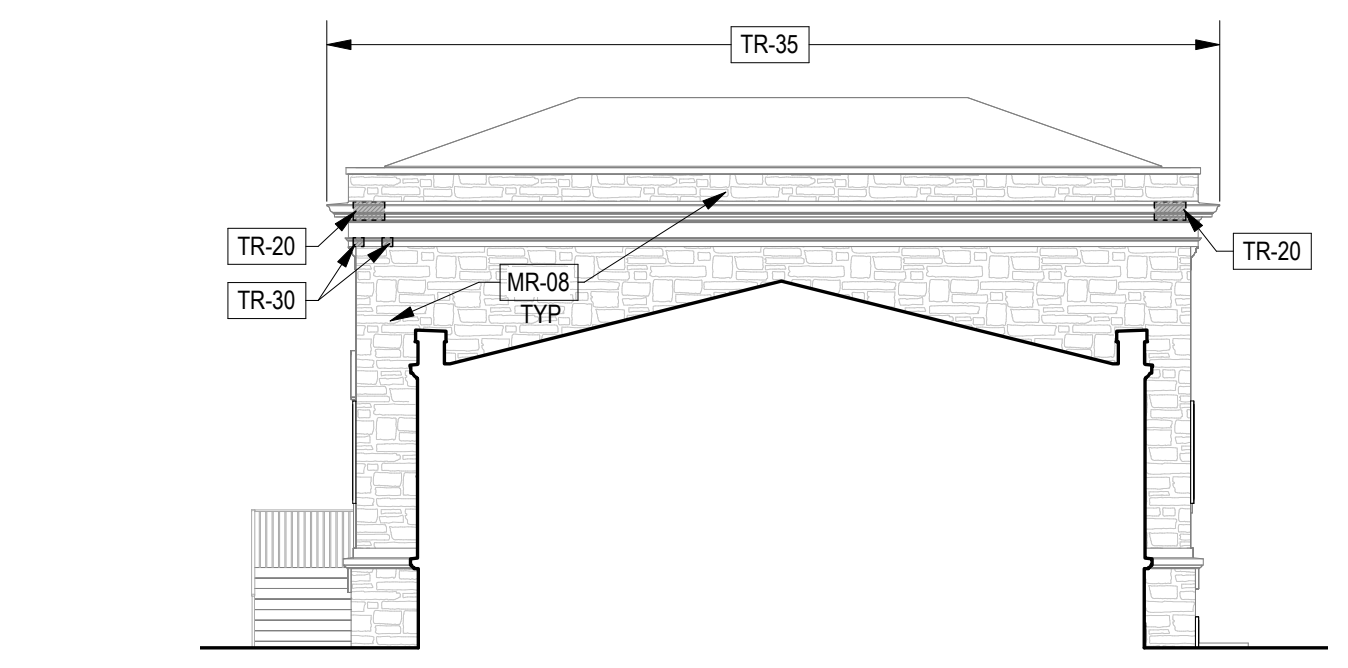
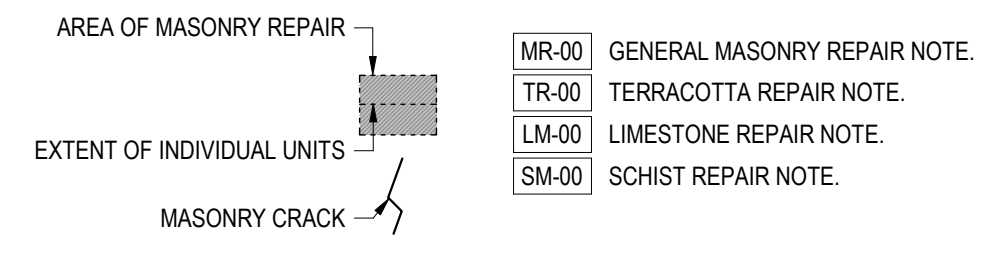
**KEYED ELEVATION MASONRY REPAIR NOTES**

- LM-01 ROUT & SEAL LIMESTONE CRACK. SEE DETAIL 5/A4.4.
- LM-02 REPAIR LIMESTONE SPALL. SEE DETAIL 3/A4.4.
- MR-01 STRIP EXISTING PAINT ON TERRACOTTA.
- MR-02 CLEAN AND PAINT EXISTING LINTEL.
- MR-03 CLEAN SCHIST MASONRY TO REMOVE EFFLORESCENCE.
- MR-04 REPAIR CRACK IN STUCCO.
- MR-05 RESET STONE TREAD.
- MR-06 REPAIR SPALLED STUCCO.
- MR-07 REMOVE AND REPLACE CHIMNEY COPING TO INSTALL SHEET METAL THROUGH-WALL FLASHING. SEE DETAILS.
- MR-08 CLEAR ALL EXISTING MASONRY OF ORGANIC & BIOLOGICAL GROWTH. ALL MASONRY TO BE CLEANED.
- SM-01 ROUT AND SEAL SCHIST CRACK.
- SM-02 REPLACE DAMAGED SCHIST UNIT.
- SM-03 REPOINT SCHIST MASONRY. SEE DETAIL 6/A4.4.
- TR-01 REPLACE TERRACOTTA UNIT, TYPE A-1.
- TR-06 REPLACE TERRACOTTA UNIT, TYPE E.
- TR-07 REPLACE TERRACOTTA UNIT, TYPE F-1.
- TR-09 REPLACE TERRACOTTA UNIT, TYPE H (CORNER).
- TR-10 REPLACE TERRACOTTA UNIT, TYPE I.
- TR-11 REPLACE TERRACOTTA UNIT, TYPE J-1.
- TR-12 REPLACE TERRACOTTA UNIT, TYPE J-2 (HUNG).
- TR-13 REPLACE TERRACOTTA UNIT, TYPE J-3 (HUNG).
- TR-14 REPLACE TERRACOTTA UNIT, TYPE J-4 (HUNG).
- TR-15 REPLACE TERRACOTTA UNIT, TYPE K-1.
- TR-16 REPLACE TERRACOTTA UNIT, TYPE K-2 (CORNER).
- TR-18 REPLACE TERRACOTTA UNIT, TYPE M-1.
- TR-19 REPLACE TERRACOTTA UNIT, TYPE M-2 (CORNER).
- TR-20 REPLACE TERRACOTTA UNIT, TYPE N.
- TR-21 REPLACE TERRACOTTA UNIT, TYPE O.
- TR-22 REPLACE TERRACOTTA UNIT, TYPE P.
- TR-23 REPLACE TERRACOTTA UNIT TYPE Q.
- TR-25 REPLACE TERRACOTTA UNIT, TYPE R.
- TR-26 REPLACE TERRACOTTA UNIT, TYPE S.
- TR-27 REPLACE TERRACOTTA UNIT, TYPE T-1.
- TR-28 REPLACE TERRACOTTA UNIT, TYPE T-2.
- TR-29 ROUT & SEAL TERRACOTTA CRACK. SEE DETAIL 5/A4.4, SM.
- TR-30 REPAIR TERRACOTTA SPALL. SEE DETAIL 4/A4.4.
- TR-31 REPAIR TERRACOTTA GLAZE SPALL. SEE DETAIL 2/A4.4.
- TR-33 REPLACE TERRACOTTA UNIT, TYPE F-2 (CORNER).
- TR-34 REPLACE TERRACOTTA UNIT, TYPE J-4.
- TR-35 REMOVE MORTAR AND INSTALL SEALANT AT ALL SKYWARD FACING TERRACOTTA JOINTS. SEE DETAIL 1/A4.4.

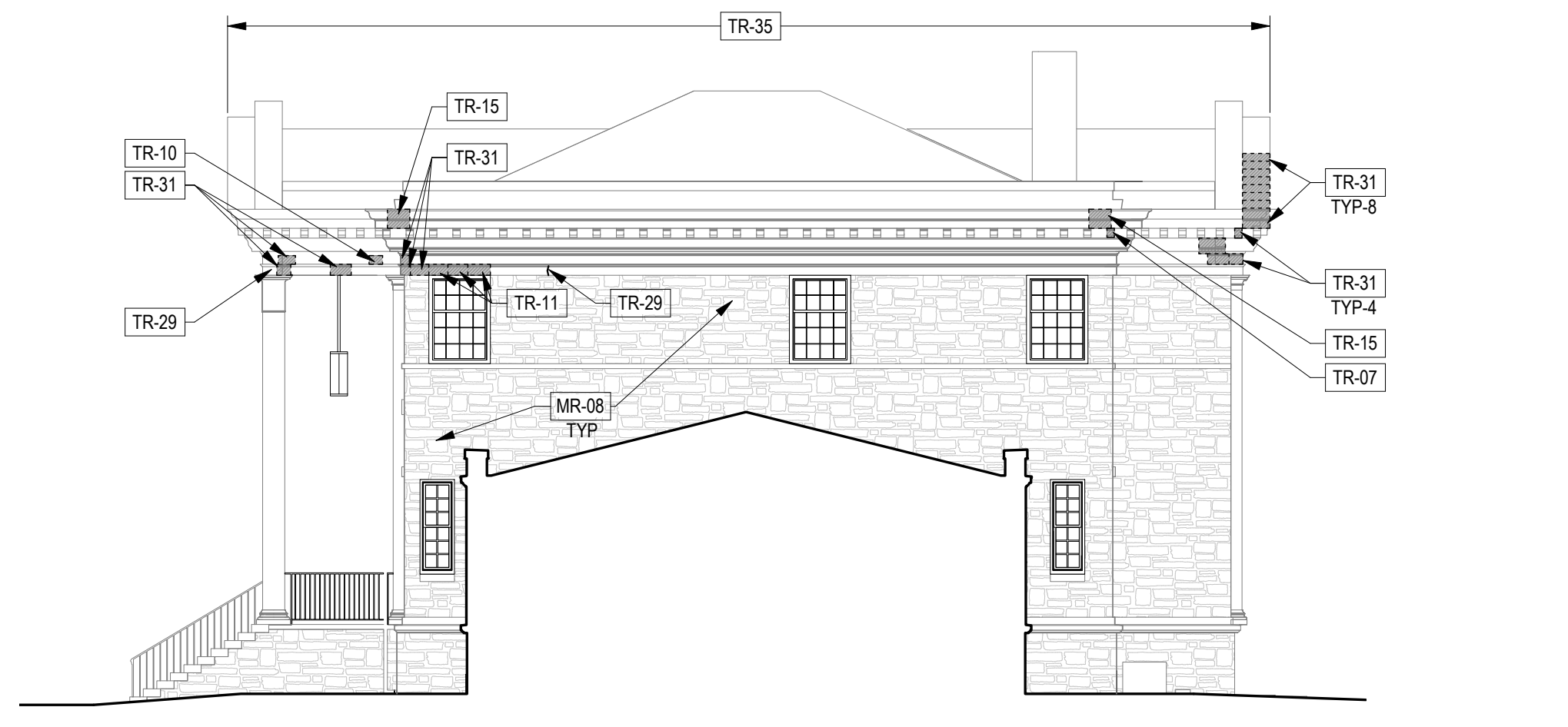
**GENERAL MASONRY REPAIR NOTES**

1. SEE SHEETS A3.0 & A3.1 FOR INFORMATION RELATED TO GENERAL EXTERIOR IMPROVEMENTS.
2. SEE MASONRY REPAIR DETAILS SHEETS A4.2, A4.3, & A4.4 FOR ANCHORAGE AND OTHER DETAILS RELATED TO SPECIFICALLY CALLED FOR UNIT TYPES.
3. UNIT PRICE NO. 3: PROVIDE UNIT COST FOR EACH TERRA COTTA UNIT TYPE DESCRIBED WITHIN THESE DRAWINGS.
4. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR REPAIR WORK AS INDICATED IN DRAWINGS.
5. HATCH PATTERNS SHOWN FOR DRAWING CLARITY ONLY. VERIFY ALL MATERIALS AND EXISTING MORTAR JOINTS IN FIELD.
6. ALL EXISTING MASONRY, INCLUDING BUT NOT LIMITED TO SCHIST WALLS, TERRACOTTA AND LIMESTONE ORNAMENTATION, SILLS, TERRACE PAVING, STONE TREADS, ETC. ARE TO BE CLEARED OF ALL ORGANIC AND BIOLOGICAL GROWTH AND CLEANED.
7. CLEAN ALL EXISTING SCHIST TO REMOVE GRAFFITI.
8. LOCATIONS OF MASONRY REPAIRS, INCLUDING UNITS TO BE REPAIRED, UNITS TO BE REPLACED, EXTENTS OF REPOINTING, AND CRACKS TO BE REPAIRED, ARE APPROXIMATE ONLY. VERIFY LOCATIONS AND EXTENTS IN FIELD.
9. REPAIR ALL HOLES IN CORNICE UNITS WITH PATCH MATERIAL FOLLOWING RE-ROUTING OF EXISTING DS HEAD LEADERS. SEE DETAILS.
10. DOWNSPOUTS AND SCUPPERS OMITTED FROM VIEWS FOR DRAWING CLARITY.
11. PATCH AND REPAIR, WITH LIKE MATERIALS AND FINISH, ANY HOLES REMAINING FOLLOWING DEMOLITION ACTIVITY, INCLUDING LOCATIONS OF FORMER RAILING CONNECTIONS AND ABANDONED FERROUS ANCHORS AND BRACKETS.
12. ADD SHEET METAL CAP FLASHING TO PROTECT SKYWARD-FACING SURFACES OF CAPITALS, UNITS "A" ALONG PERIMETER OF MAIN WING, AND UNITS "E" ON THE FRONT AND REAR PEDIMENT.
13. AT ALL LIMESTONE AND TERRACOTTA CORNICE UNITS, REMOVE SKYWARD-FACING JOINT MORTAR TO A DEPTH OF 3/4" AND REPLACE WITH BACKER ROD AND SEALANT PRIOR TO CAP FLASHING INSTALLATION. SEE DETAILS.

**MASONRY REPAIR LEGEND**



3 PROPOSED NORTH WING SOUTH ELEVATION MASONRY REPAIRS  
A4.0 1" = 10'-0"

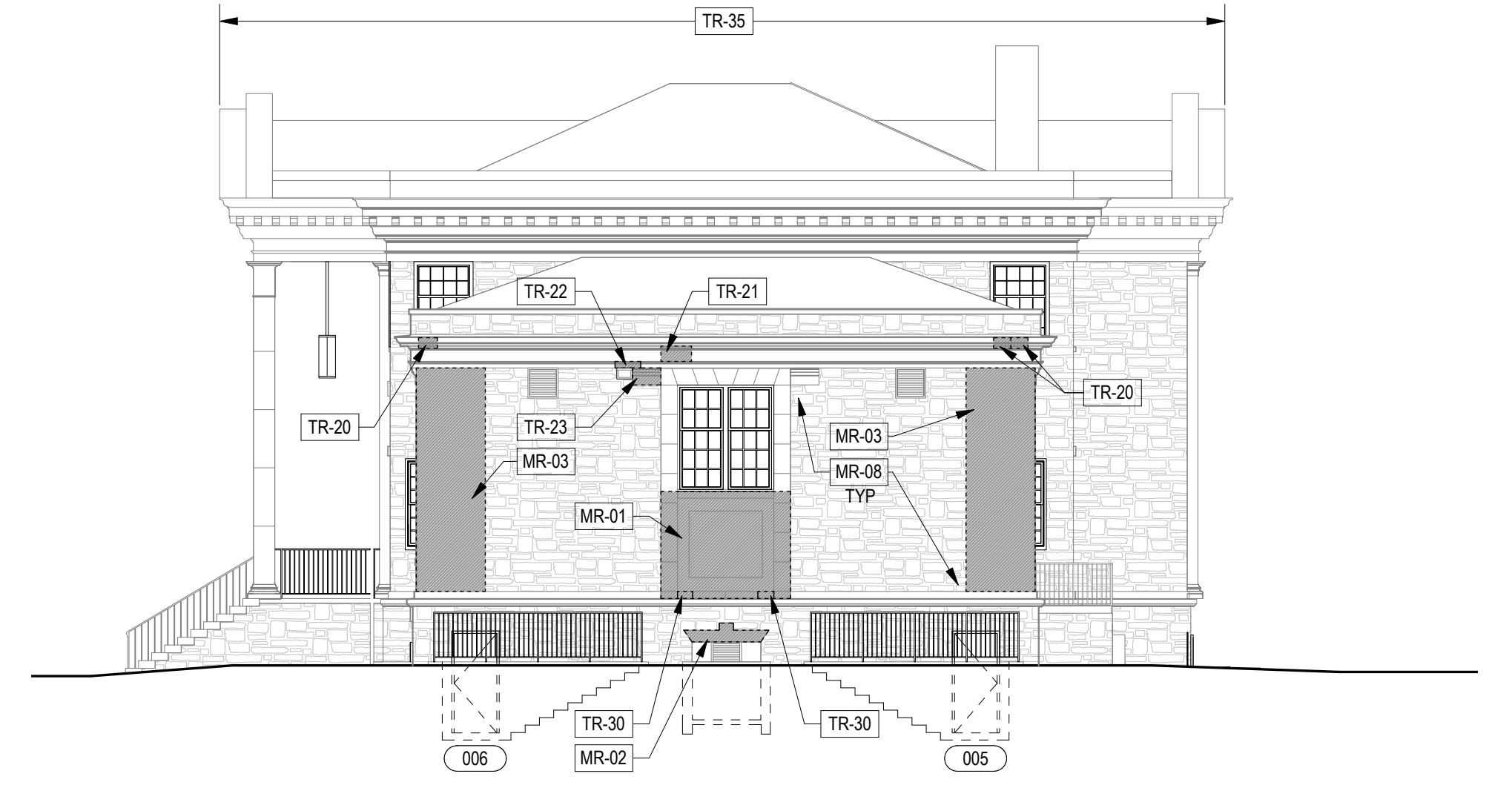


2 PROPOSED CENTRAL BUILDING NORTH ELEVATION MASONRY REPAIRS  
A4.0 1" = 10'-0"

**GENERAL MASONRY REPAIRS - APPROXIMATE QUANTITIES**

KEYNOTE TAG	QTY	UNITS	KEYNOTE TAG	QTY	UNITS
LM-01	10	LF	TR-18	1	EA
LM-02	10	SF	TR-19	1	EA
MR-01	900	SF	TR-20	6	EA
MR-03	700	SF	TR-21	2	EA
MR-09	3100	SF	TR-22	1	EA
SM-01	80	LF	TR-23	1	EA
SM-02	10	SF	TR-25	3	EA
SM-03	400	SF	TR-26	2	EA
TR-01	4	EA	TR-27	2	EA
TR-06	1	EA	TR-28	1	EA
TR-07	3	EA	TR-29	70	LF
TR-09	1	EA	TR-30	20	SF
TR-10	4	EA	TR-31	40	SF
TR-11	15	EA	TR-33	3	EA
TR-12	1	EA	TR-34	2	EA
TR-13	3	EA	TR-35	1100	LF
TR-14	1	EA			
TR-15	9	EA			
TR-16	3	EA			

- NOTES:
1. ALL BIDDERS SHALL USE THE ABOVE QUANTITIES FOR PREPARATION OF BIDS.
  2. QUANTITIES EXPRESSED ABOVE DO NOT INCLUDE CONTINGENCY. BIDDERS TO PROVIDE CONTINGENCIES AS FOLLOWS:
    - A. TERRA COTTA UNITS (KEYNOTES WITH A UNIT TYPE OF "EA"): ADD (1) UNIT TO EACH TYPE LISTED ABOVE.
    - B. ALL OTHER KEYNOTE REPAIRS: ADD 10% MARKUP AS CONTINGENCY.



1 PROPOSED NORTH ELEVATION MASONRY REPAIRS  
A4.0 1" = 10'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



**BID SET SUBMISSION**  
PROJECT COORDINATOR  
**EDWARD SCHMITZ**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MASONRY CONSULTANT:**  
**WISS, JANNEY, EISTNER ASSOCIATES, INC**  
601 Walnut Street, Suite 875W  
Philadelphia, Pennsylvania 19106  
215 567 0703

**STRUCTURAL ENGINEER:**  
**ANN ROTHMANN STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 688 2566

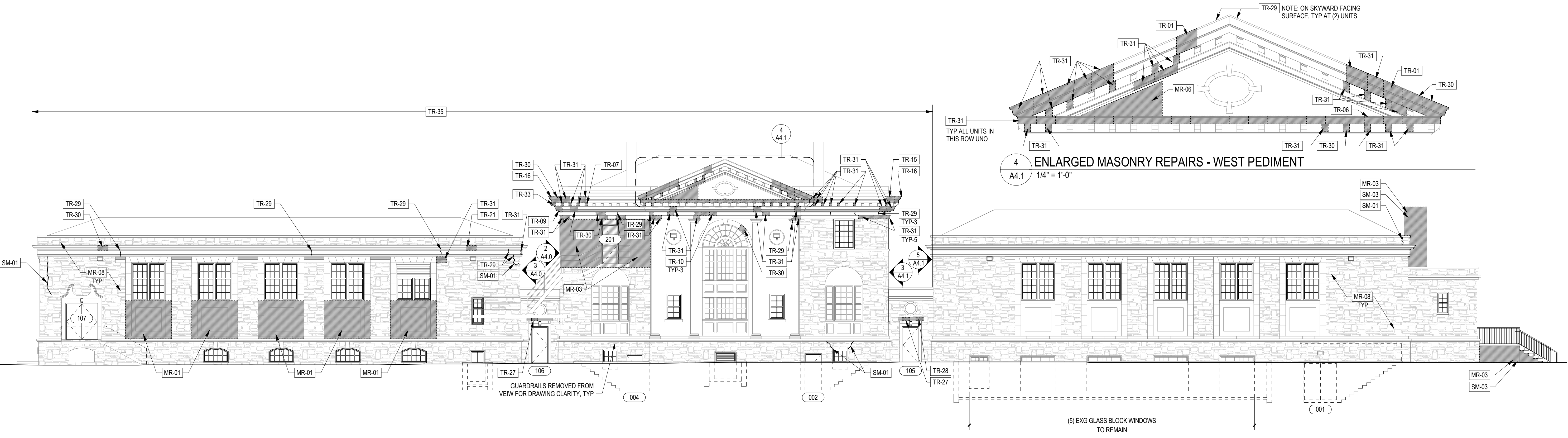
**ELECTRICAL ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
610 459 7946

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION**

DRAWING TITLE  
**EXTERIOR ELEVATIONS - MASONRY REPAIRS**

PROJECT NO. <b>16-19-4932-99</b>	DRAWING NO. <b>A4.0</b>
DATE 6.14.2024	SCALE AS NOTED
DRAWN BY AB	CHECKED BY TW
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	



**2 PROPOSED WEST ELEVATION MASONRY REPAIRS**  
A4.1 1" = 10'-0"

**4 ENLARGED MASONRY REPAIRS - WEST PEDIMENT**  
A4.1 1/4" = 1'-0"

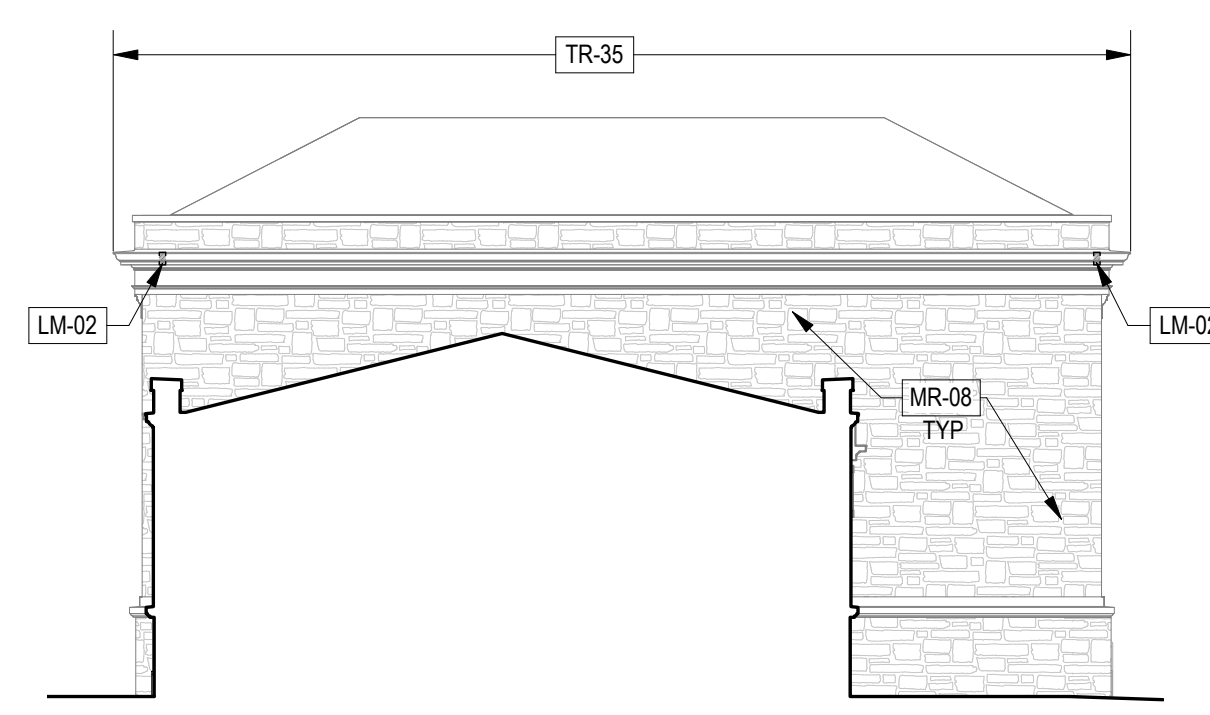
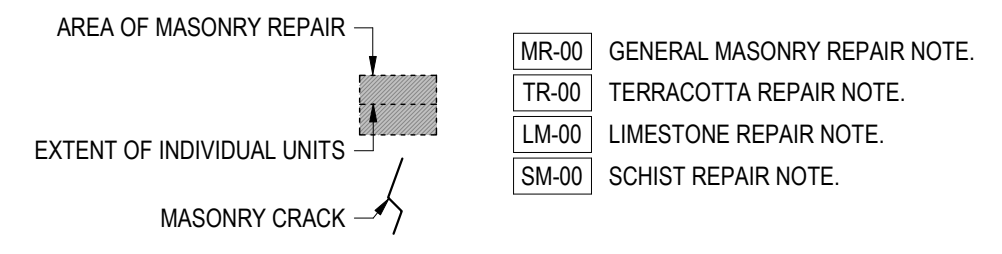
**KEYED ELEVATION MASONRY REPAIR NOTES**

- LM-01 ROUT & SEAL LIMESTONE CRACK. SEE DETAIL 5/A4.4.
- LM-02 REPAIR LIMESTONE SPALL. SEE DETAIL 3/A4.4.
- MR-01 STRIP EXISTING PAINT ON TERRACOTTA.
- MR-02 CLEAN AND PAINT EXISTING LINTEL.
- MR-03 CLEAN SCHIST MASONRY TO REMOVE EFFLORESCENCE.
- MR-04 REPAIR CRACK IN STUCCO.
- MR-05 RESET STONE TREAD.
- MR-06 REPAIR SPALLED STUCCO.
- MR-07 REMOVE AND REPLACE CHIMNEY COPING TO INSTALL SHEET METAL THROUGH-WALL FLASHING. SEE DETAILS.
- MR-08 CLEAR ALL EXISTING MASONRY OF ORGANIC & BIOLOGICAL GROWTH. ALL MASONRY TO BE CLEANED.
- SM-01 ROUT AND SEAL SCHIST CRACK.
- SM-02 REPLACE DAMAGED SCHIST UNIT.
- SM-03 REPOINT SCHIST MASONRY. SEE DETAIL 6/A4.4.
- TR-01 REPLACE TERRACOTTA UNIT, TYPE A-1.
- TR-06 REPLACE TERRACOTTA UNIT, TYPE E.
- TR-07 REPLACE TERRACOTTA UNIT, TYPE F-1.
- TR-09 REPLACE TERRACOTTA UNIT, TYPE H (CORNER).
- TR-10 REPLACE TERRACOTTA UNIT, TYPE I.
- TR-11 REPLACE TERRACOTTA UNIT, TYPE J-1.
- TR-12 REPLACE TERRACOTTA UNIT, TYPE J-2 (HUNG).
- TR-13 REPLACE TERRACOTTA UNIT, TYPE J-3 (HUNG).
- TR-14 REPLACE TERRACOTTA UNIT, TYPE J-4 (HUNG).
- TR-15 REPLACE TERRACOTTA UNIT, TYPE K-1.
- TR-16 REPLACE TERRACOTTA UNIT, TYPE K-2 (CORNER).
- TR-18 REPLACE TERRACOTTA UNIT, TYPE M-1.
- TR-19 REPLACE TERRACOTTA UNIT, TYPE M-2 (CORNER).
- TR-20 REPLACE TERRACOTTA UNIT, TYPE N.
- TR-21 REPLACE TERRACOTTA UNIT, TYPE O.
- TR-22 REPLACE TERRACOTTA UNIT, TYPE P.
- TR-23 REPLACE TERRACOTTA UNIT TYPE Q.
- TR-25 REPLACE TERRACOTTA UNIT, TYPE R.
- TR-26 REPLACE TERRACOTTA UNIT, TYPE S.
- TR-27 REPLACE TERRACOTTA UNIT, TYPE T-1.
- TR-28 REPLACE TERRACOTTA UNIT, TYPE T-2.
- TR-29 ROUT & SEAL TERRACOTTA CRACK. SEE DETAIL 5/A4.4, SM.
- TR-30 REPAIR TERRACOTTA SPALL. SEE DETAIL 4/A4.4.
- TR-31 REPAIR TERRACOTTA GLAZE SPALL. SEE DETAIL 2/A4.4.
- TR-33 REPLACE TERRACOTTA UNIT, TYPE F-2 (CORNER).
- TR-34 REPLACE TERRACOTTA UNIT, TYPE J-4.
- TR-35 REMOVE MORTAR AND INSTALL SEALANT AT ALL SKYWARD FACING TERRACOTTA JOINTS. SEE DETAIL 1/A4.4.

**GENERAL MASONRY REPAIR NOTES**

1. SEE SHEETS A3.0 & A3.1 FOR INFORMATION RELATED TO GENERAL EXTERIOR IMPROVEMENTS.
2. SEE MASONRY REPAIR DETAILS SHEETS A4.2, A4.3, & A4.4 FOR ANCHORAGE AND OTHER DETAILS RELATED TO SPECIFICALLY CALLED FOR UNIT TYPES.
3. UNIT PRICE NO. 3: PROVIDE UNIT COST FOR EACH TERRA COTTA UNIT TYPE DESCRIBED WITHIN THESE DRAWINGS.
4. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR REPAIR WORK AS INDICATED IN DRAWINGS.
5. HATCH PATTERNS SHOWN FOR DRAWING CLARITY ONLY. VERIFY ALL MATERIALS AND EXISTING MORTAR JOINTS IN FIELD.
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12. ADD SHEET METAL CAP FLASHING TO PROTECT SKYWARD-FACING SURFACES OF CAPITALS, UNITS "A" ALONG PERIMETER OF MAIN WING, AND UNITS "E" ON THE FRONT AND REAR PEDIMENT.
13. AT ALL LIMESTONE AND TERRACOTTA CORNICE UNITS, REMOVE SKYWARD-FACING JOINT MORTAR TO A DEPTH OF 3/4" AND REPLACE WITH BACKER ROD AND SEALANT PRIOR TO CAP FLASHING INSTALLATION. SEE DETAILS.

**MASONRY REPAIR LEGEND**

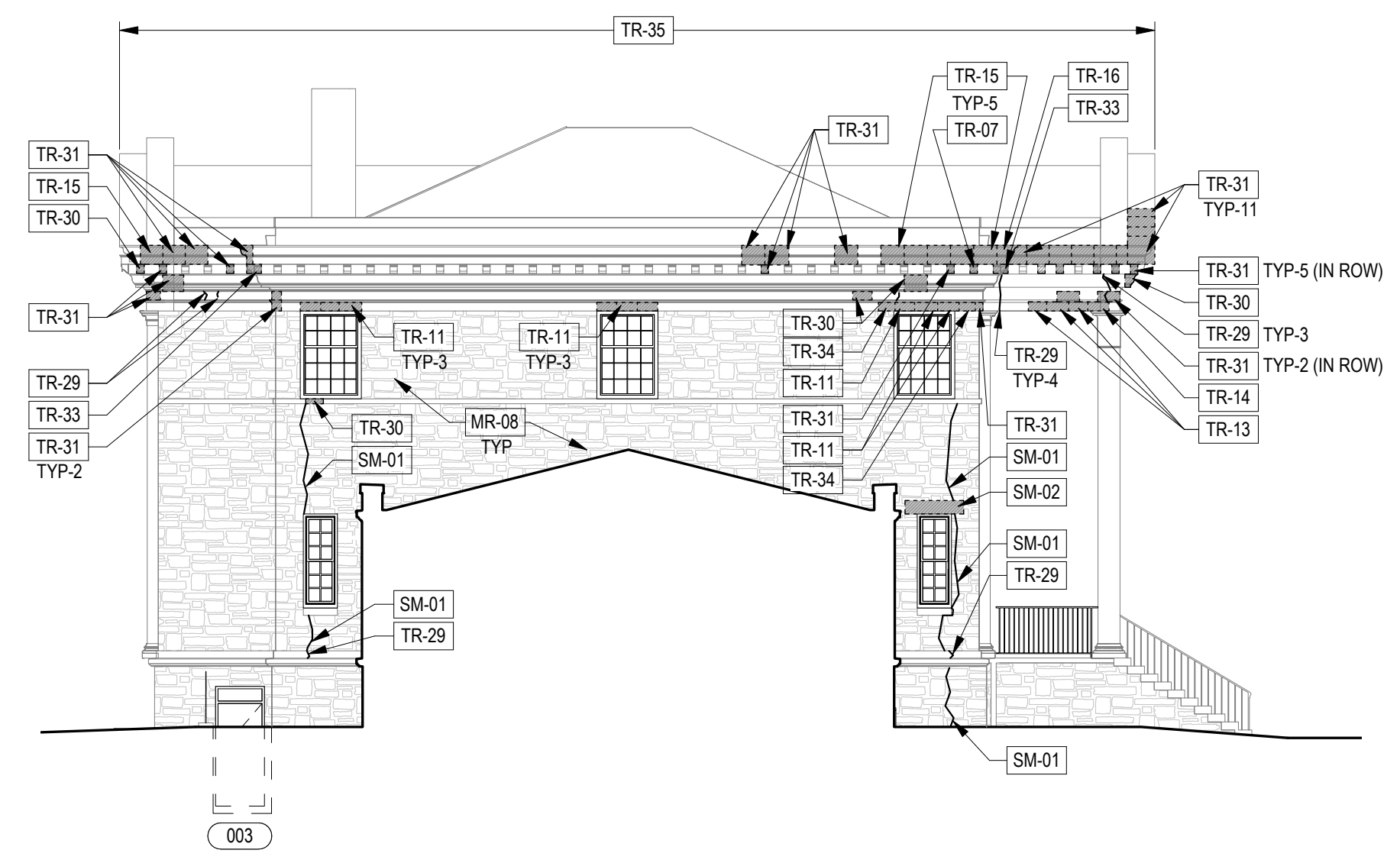


**5 PROPOSED SOUTH WING NORTH ELEVATION MASONRY REPAIRS**  
A4.1 1" = 10'-0"

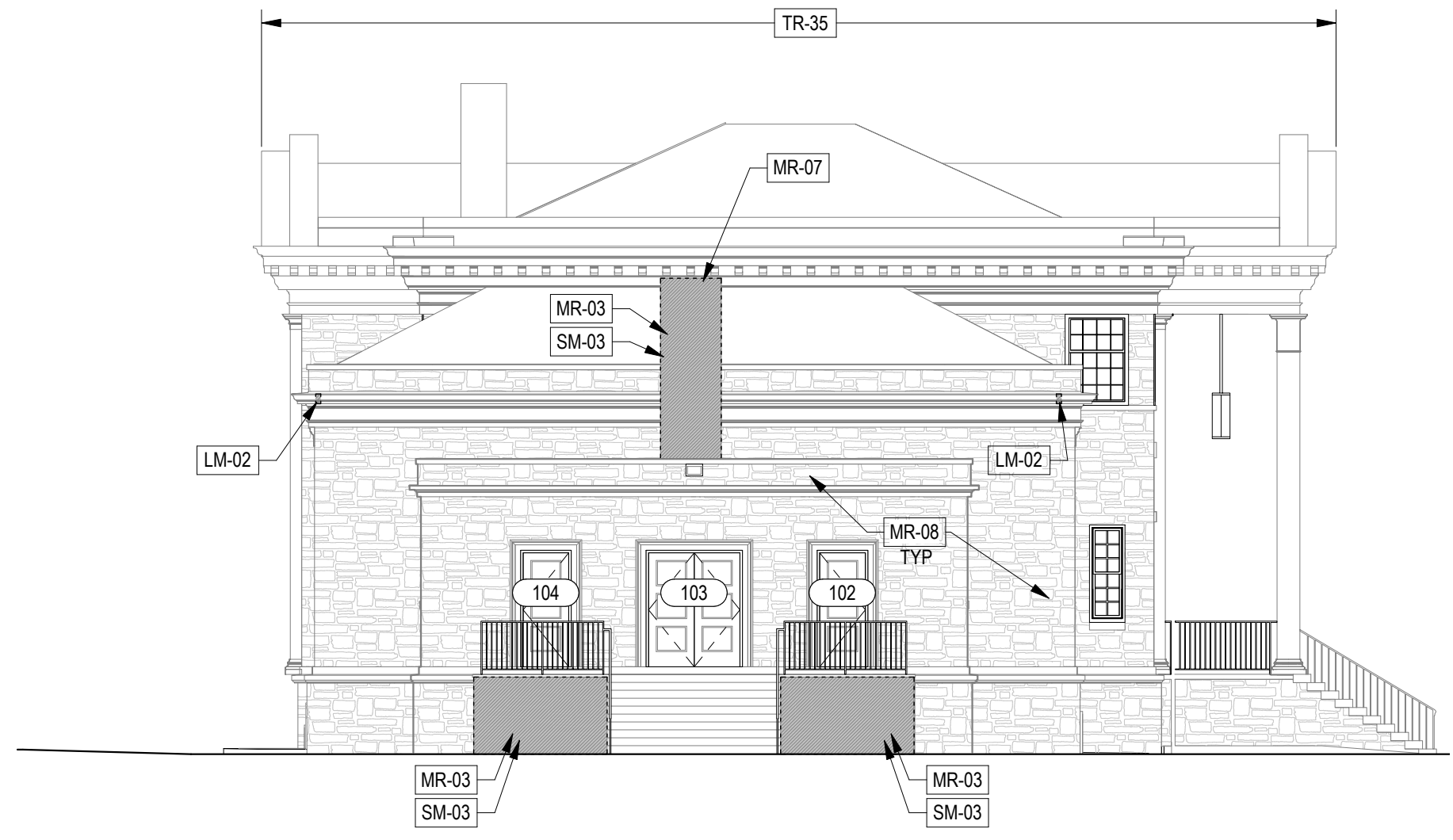
**GENERAL MASONRY REPAIRS - APPROXIMATE QUANTITIES**

KEYNOTE TAG	QTY	UNITS	KEYNOTE TAG	QTY	UNITS
LM-01	10	LF	TR-18	1	EA
LM-02	10	SF	TR-19	1	EA
MR-01	900	SF	TR-20	6	EA
MR-03	700	SF	TR-21	2	EA
MR-09	3100	SF	TR-22	1	EA
SM-01	80	LF	TR-23	1	EA
SM-02	10	SF	TR-25	3	EA
SM-03	400	SF	TR-26	2	EA
TR-01	4	EA	TR-27	2	EA
TR-06	1	EA	TR-28	1	EA
TR-07	3	EA	TR-29	70	LF
TR-09	1	EA	TR-30	20	SF
TR-10	4	EA	TR-31	40	SF
TR-11	15	EA	TR-33	3	EA
TR-12	1	EA	TR-34	2	EA
TR-13	3	EA	TR-35	1100	LF
TR-14	1	EA			
TR-15	9	EA			
TR-16	3	EA			

- NOTES:**
1. ALL BIDDERS SHALL USE THE ABOVE QUANTITIES FOR PREPARATION OF BIDS.
  2. QUANTITIES EXPRESSED ABOVE DO NOT INCLUDE CONTINGENCY. BIDDERS TO PROVIDE CONTINGENCIES AS FOLLOWS:
    - A. TERRA COTTA UNITS (KEYNOTES WITH A UNIT TYPE OF "EA"): ADD (1) UNIT TO EACH TYPE LISTED ABOVE.
    - B. ALL OTHER KEYNOTE REPAIRS: ADD 10% MARKUP AS CONTINGENCY.



**3 PROPOSED CENTRAL BUILDING SOUTH ELEVATION MASONRY REPAIRS**  
A4.1 1" = 10'-0"



**1 PROPOSED SOUTH ELEVATION MASONRY REPAIRS**  
A4.1 1" = 10'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS



**BID SET SUBMISSION**

PROJECT COORDINATOR  
**EDWARD SCHMITZ**

SEALS

**SMP ARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MASONRY CONSULTANT:**  
**ANN ROTHMANN STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 688 2566

**STRUCTURAL ENGINEER:**  
**ANN ROTHMANN STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 688 2566

**ELECTRICAL ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
610 459 7946

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION**

DRAWING TITLE  
**EXTERIOR ELEVATIONS - MASONRY REPAIRS**

PROJECT NO.  
**16-19-4932-99**

DATE  
6.14.2024

SCALE  
AS NOTED

DRAWN BY  
AB

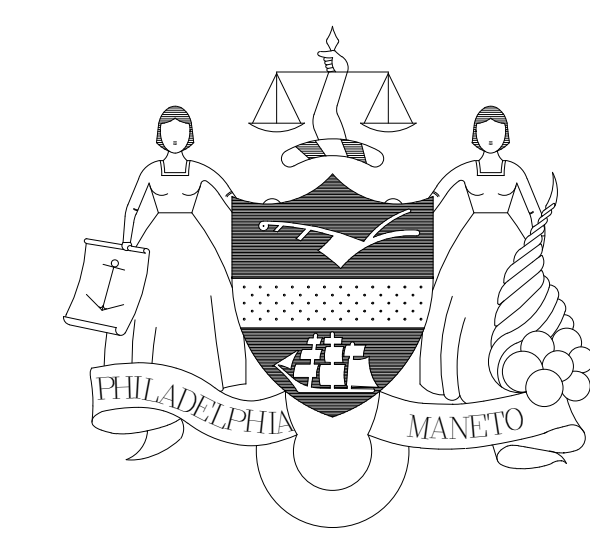
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TW

**A4.1**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

REVISIONS

ISSUE	DATE	REVISIONS



BID SET SUBMISSION

PROJECT COORDINATOR  
EDWARD SCHMITZ

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MASONRY CONSULTANT:**  
**WISS, JANNEY, EISTNER ASSOCIATES, INC**  
601 Walnut Street, Suite 875W  
Philadelphia, Pennsylvania 19106  
215 567 0703

**STRUCTURAL ENGINEER:**  
**ANN ROTHMANN STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 688 2566

**ELECTRICAL ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
610 459 7946

CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION  
CENTER EXTERIOR  
REHABILITATION**

DRAWING TITLE  
MASONRY REPAIR DETAILS

PROJECT NO.  
16-19-4932-99

DATE  
6.14.2024

SCALE  
AS NOTED

DRAWN BY  
AB / WJE

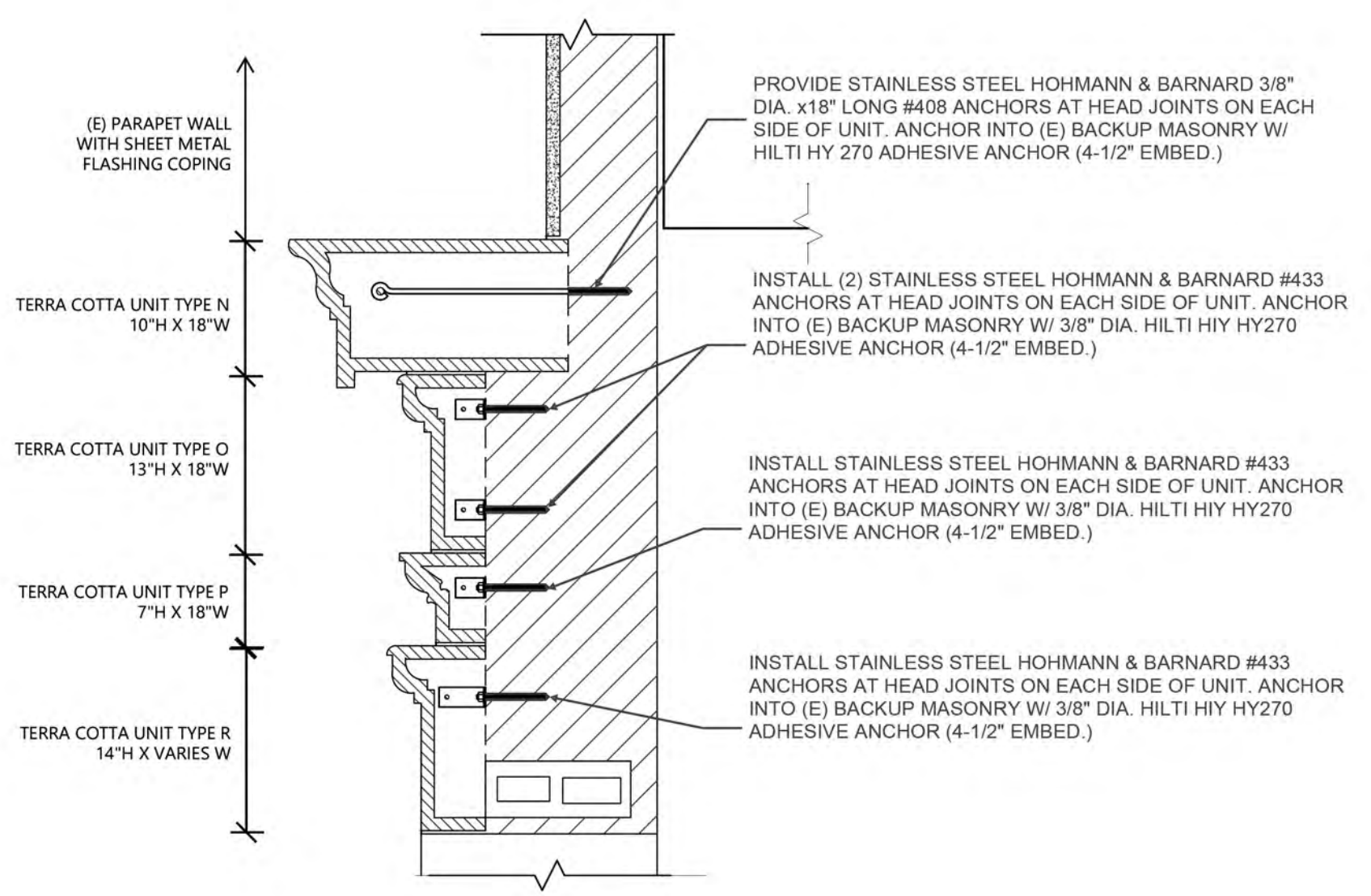
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TW

**A4.2**

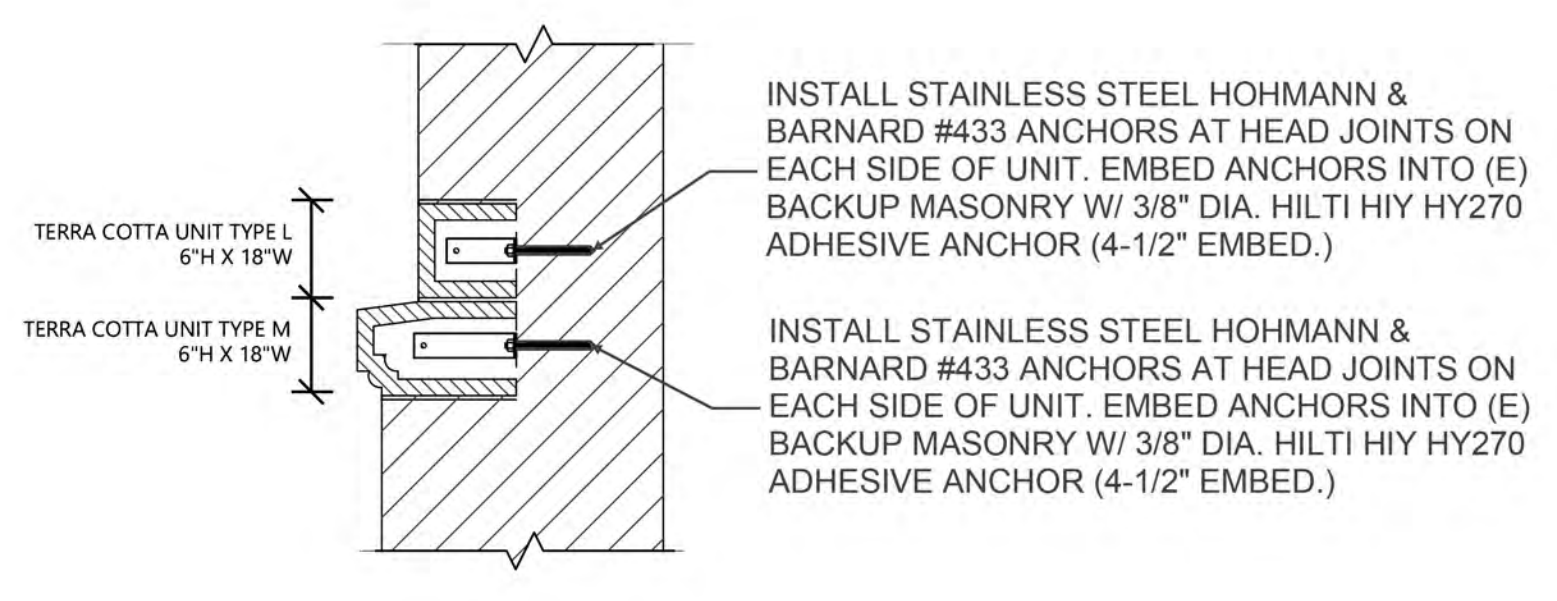
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**LEGEND**

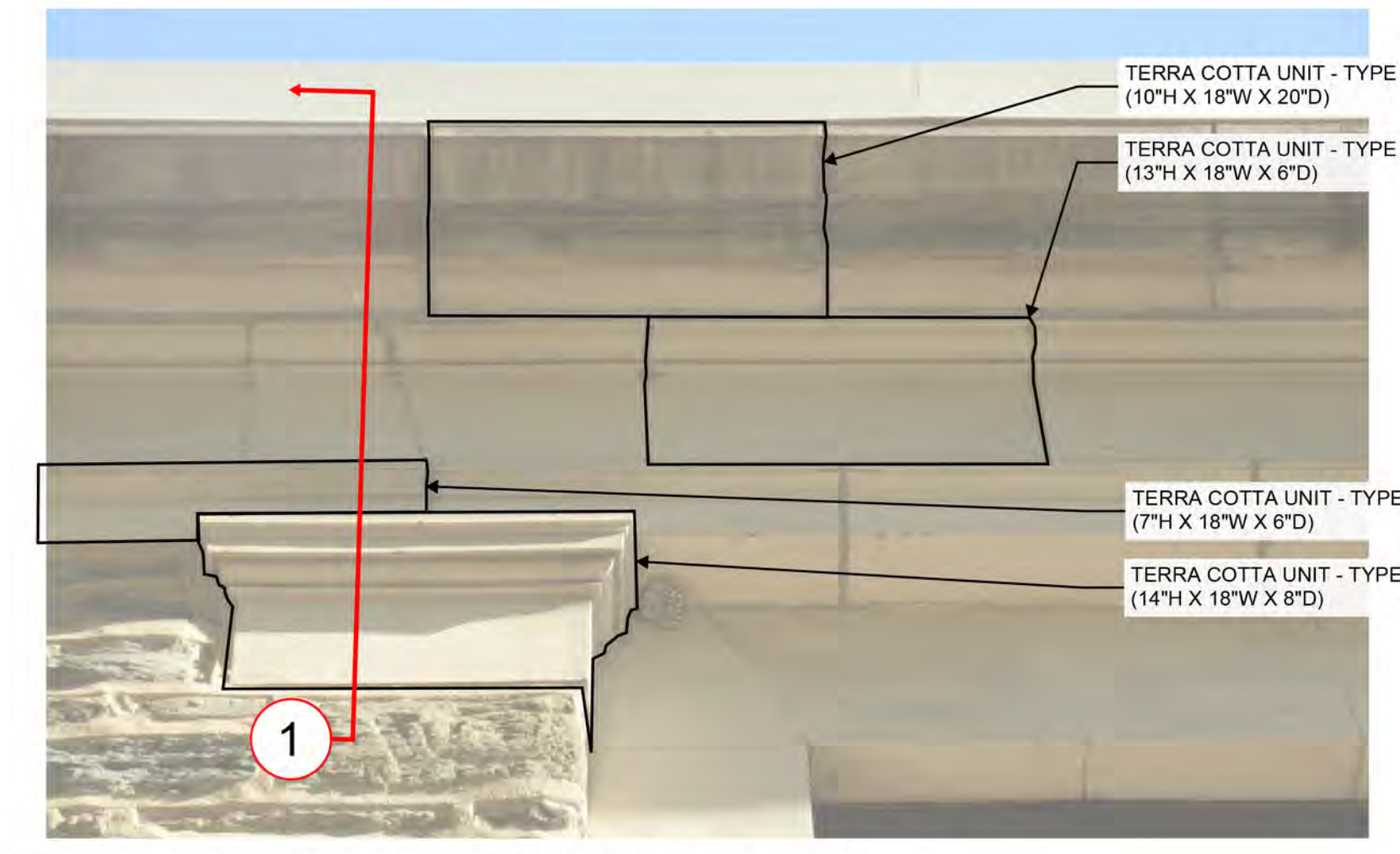
- TERRA COTTA
- BACKUP MASONRY
- STUCCO



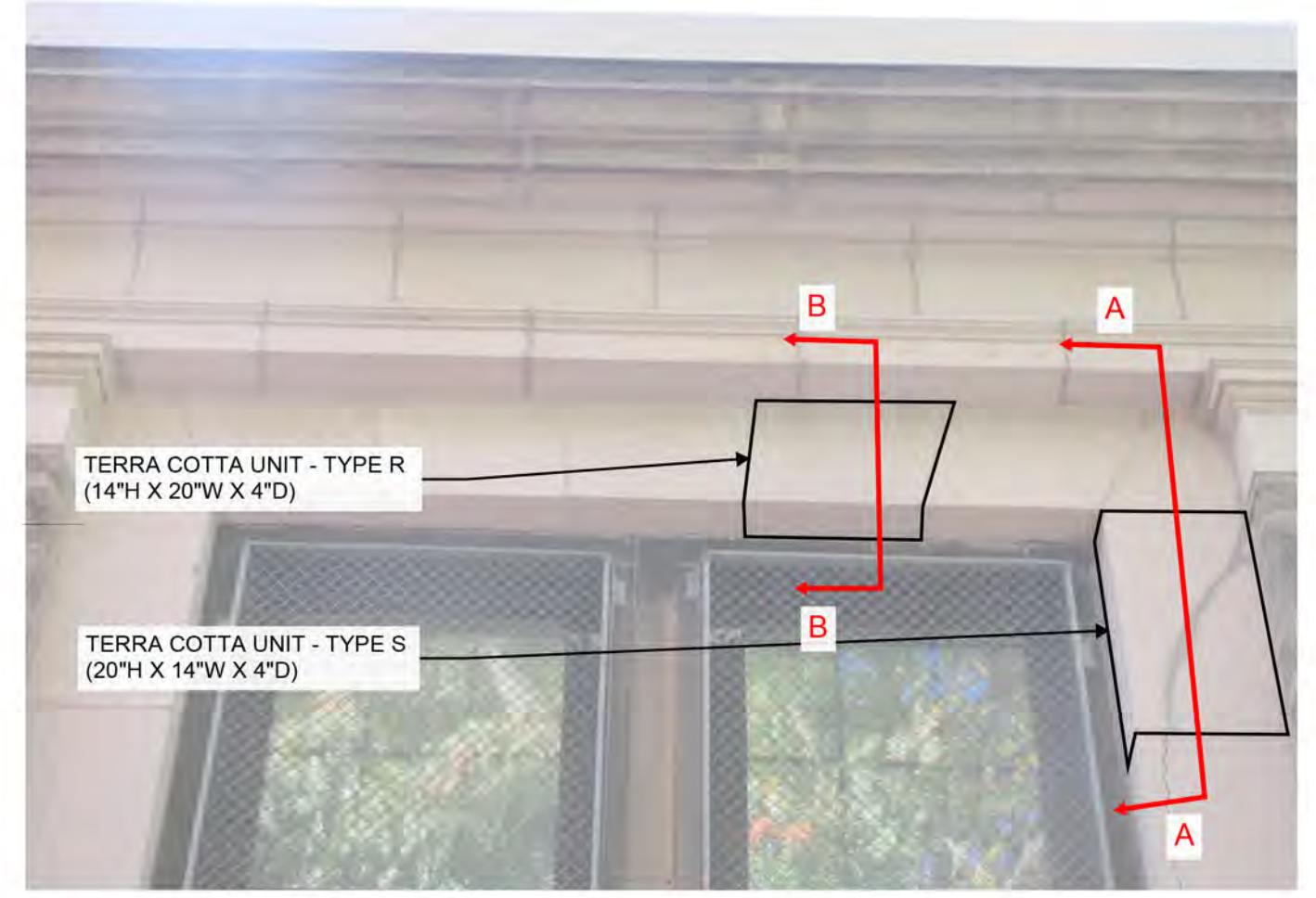
**1 TERRA COTTA CORNICE SECTION NTS**  
NOTE: ALL UNITS SHOWN ARE ASSUMED TO BE HAND PRESSED



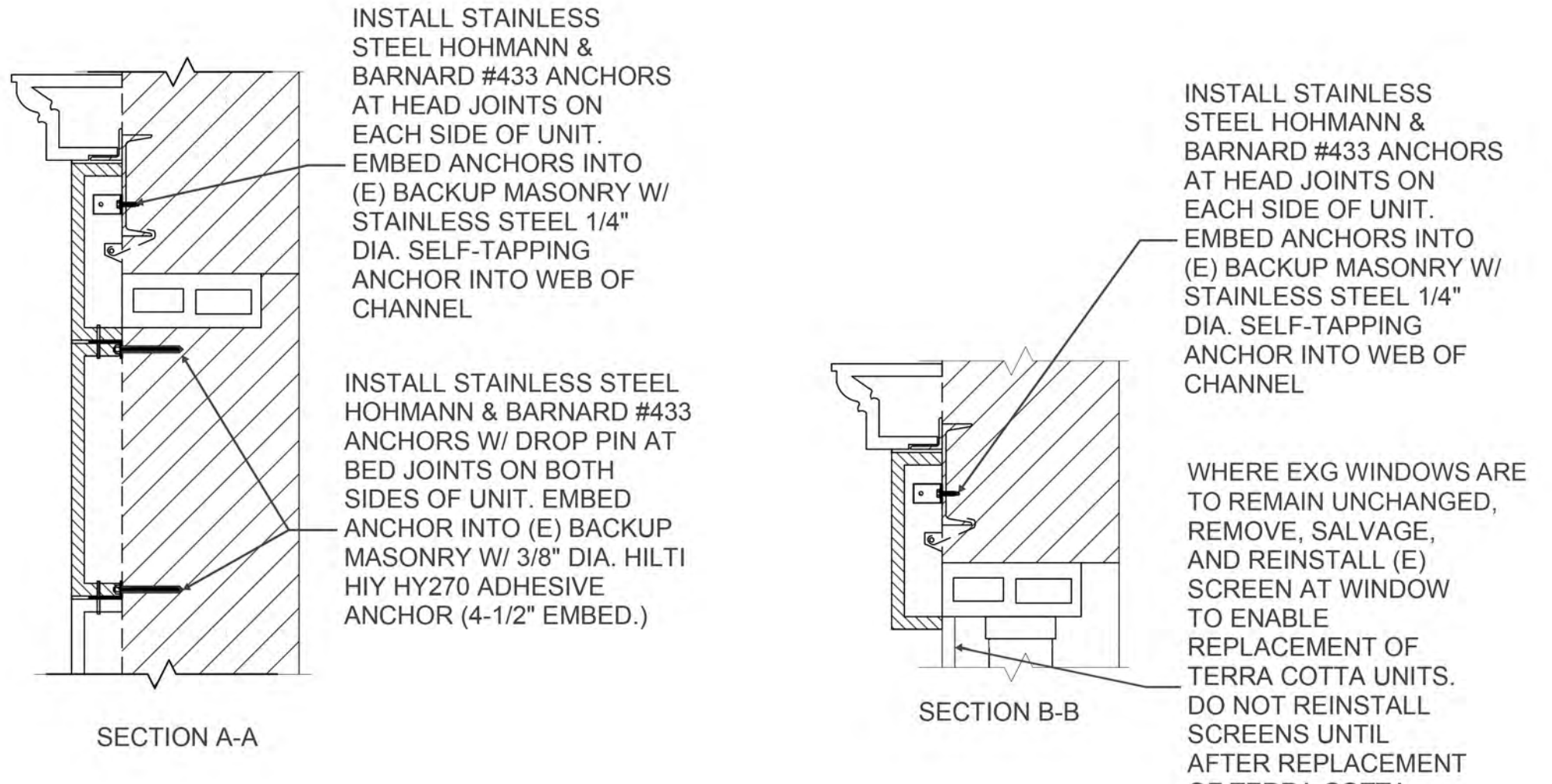
**2 TERRA COTTA CORNICE SECTION NTS**  
NOTE: ALL UNITS SHOWN ARE ASSUMED TO BE HAND PRESSED



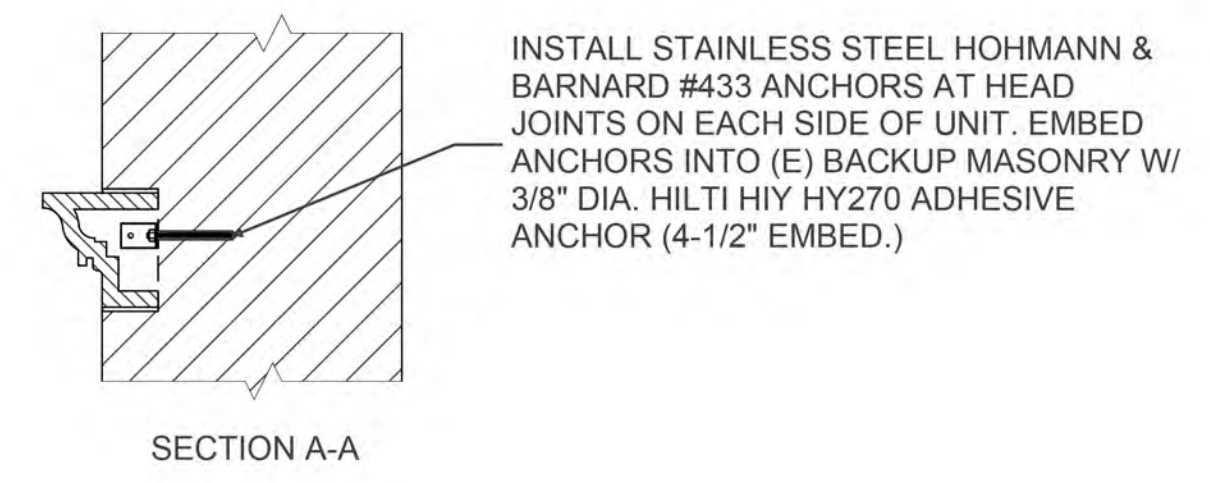
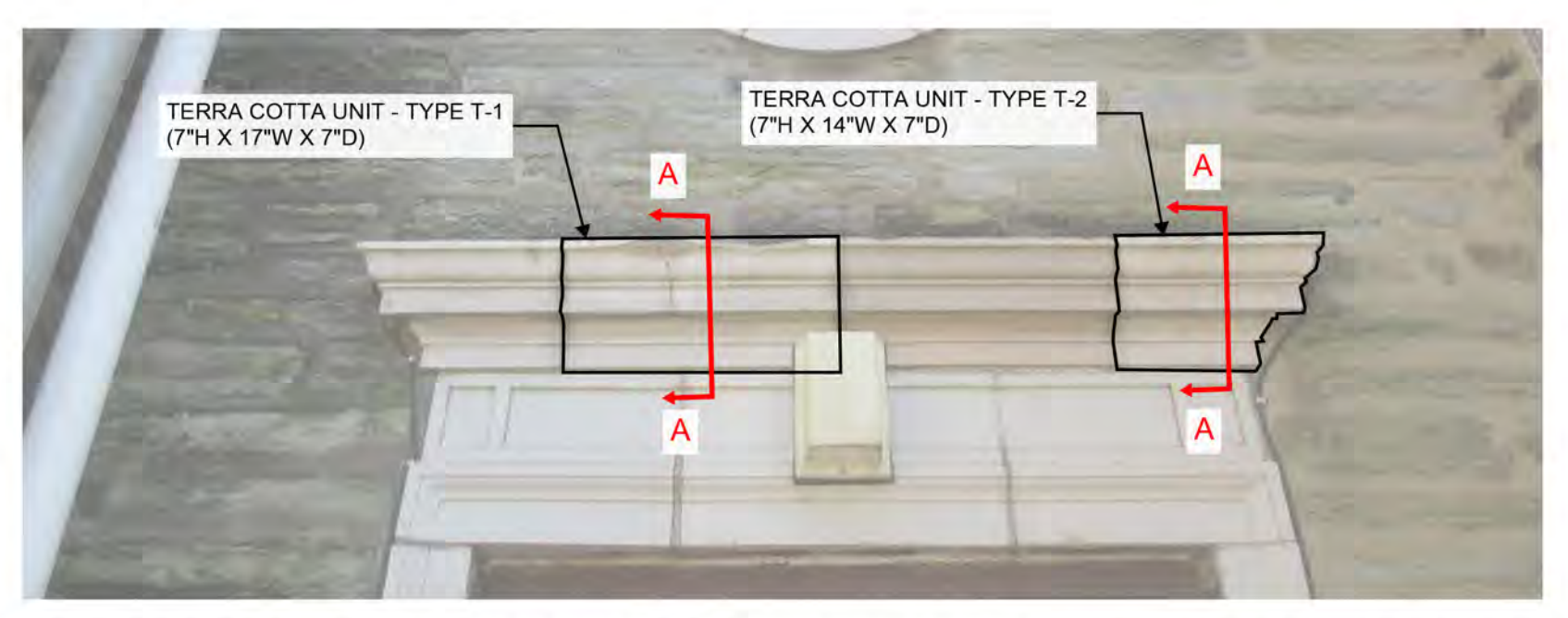
**3 PHOTO OF TERRA COTTA UNIT NTS**



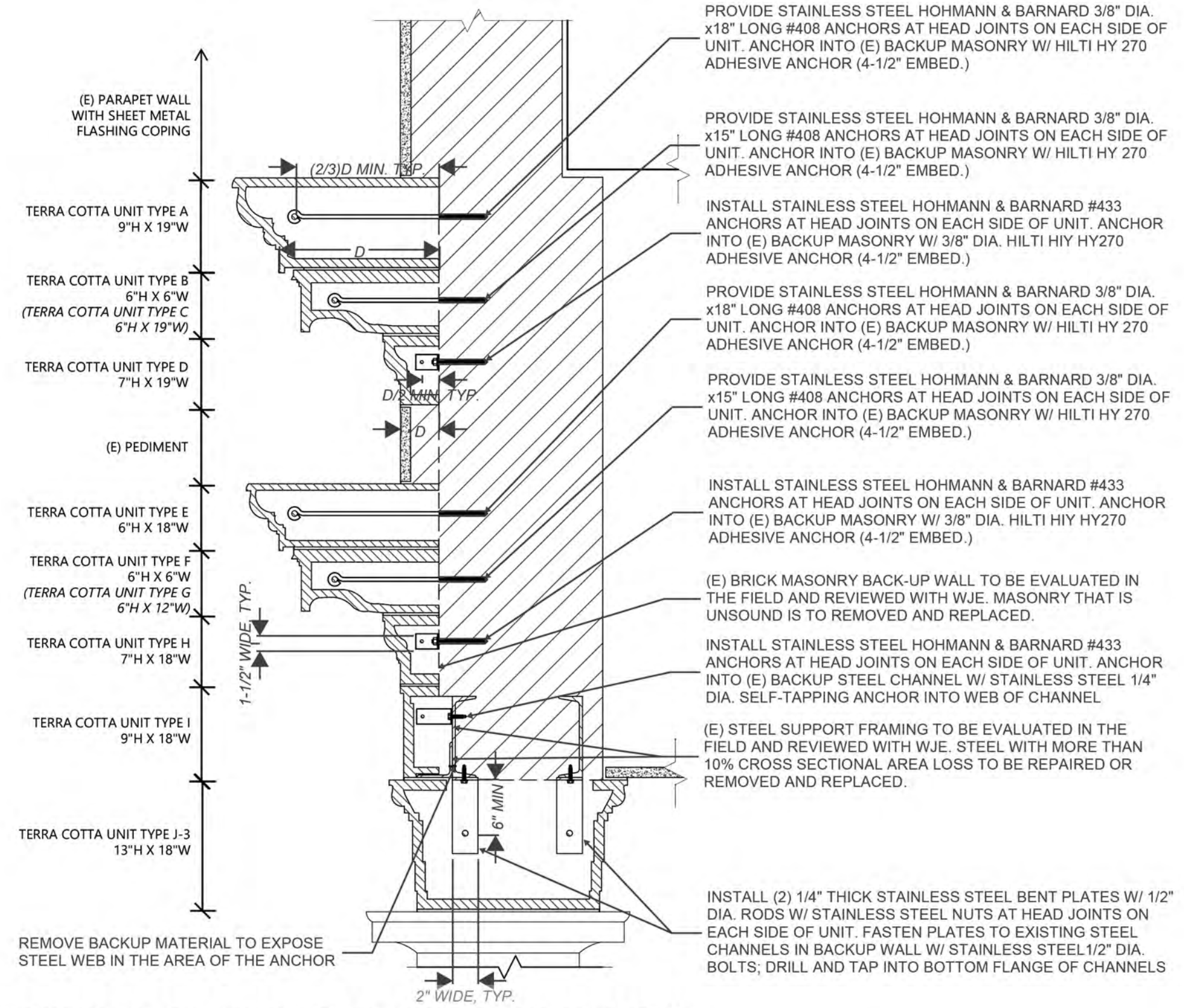
**4 PHOTO OF TERRA COTTA UNIT NTS**



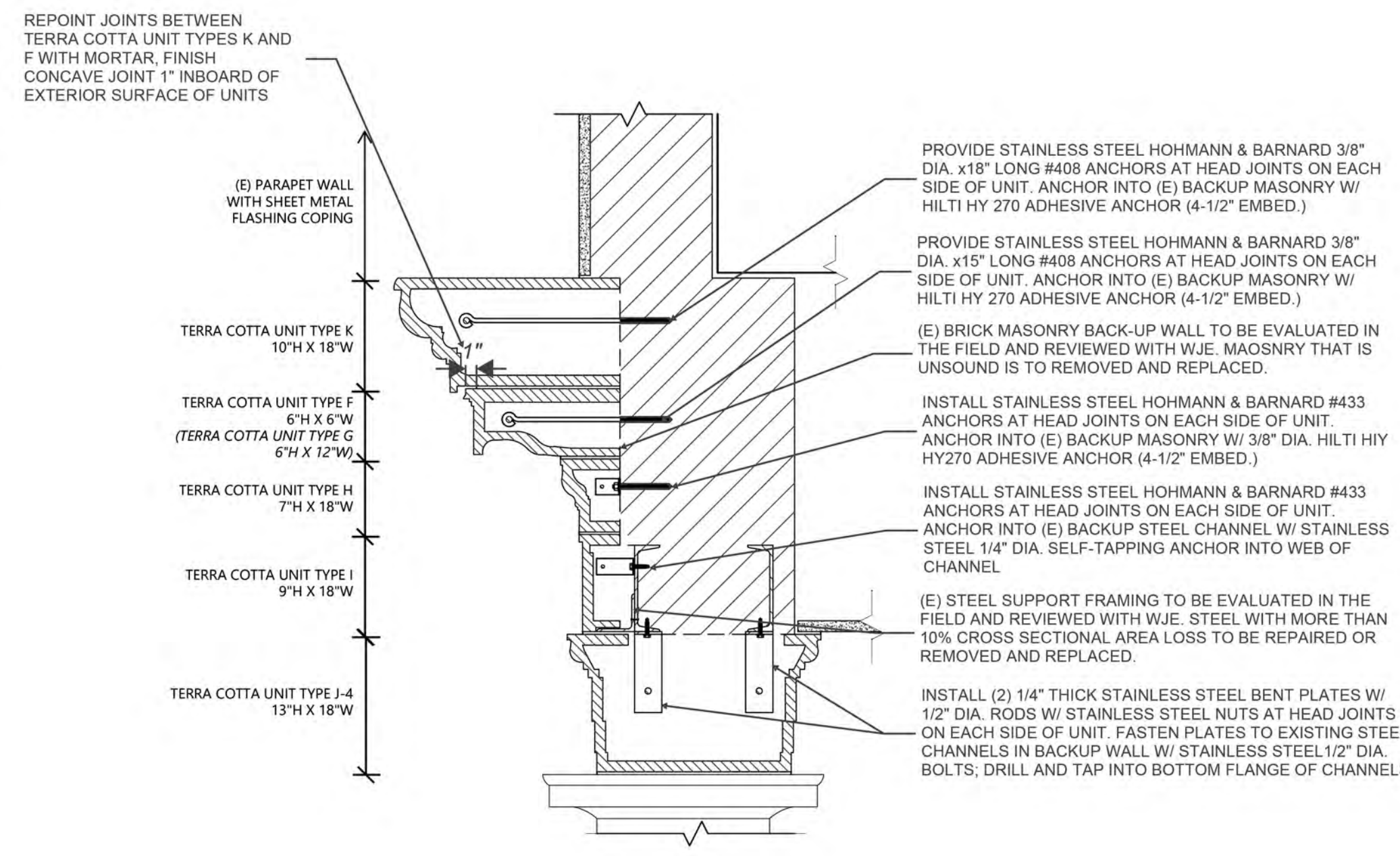
**5 PHOTO OF TERRA COTTA UNIT - TYPE L, M-1, AND M-2 NTS**



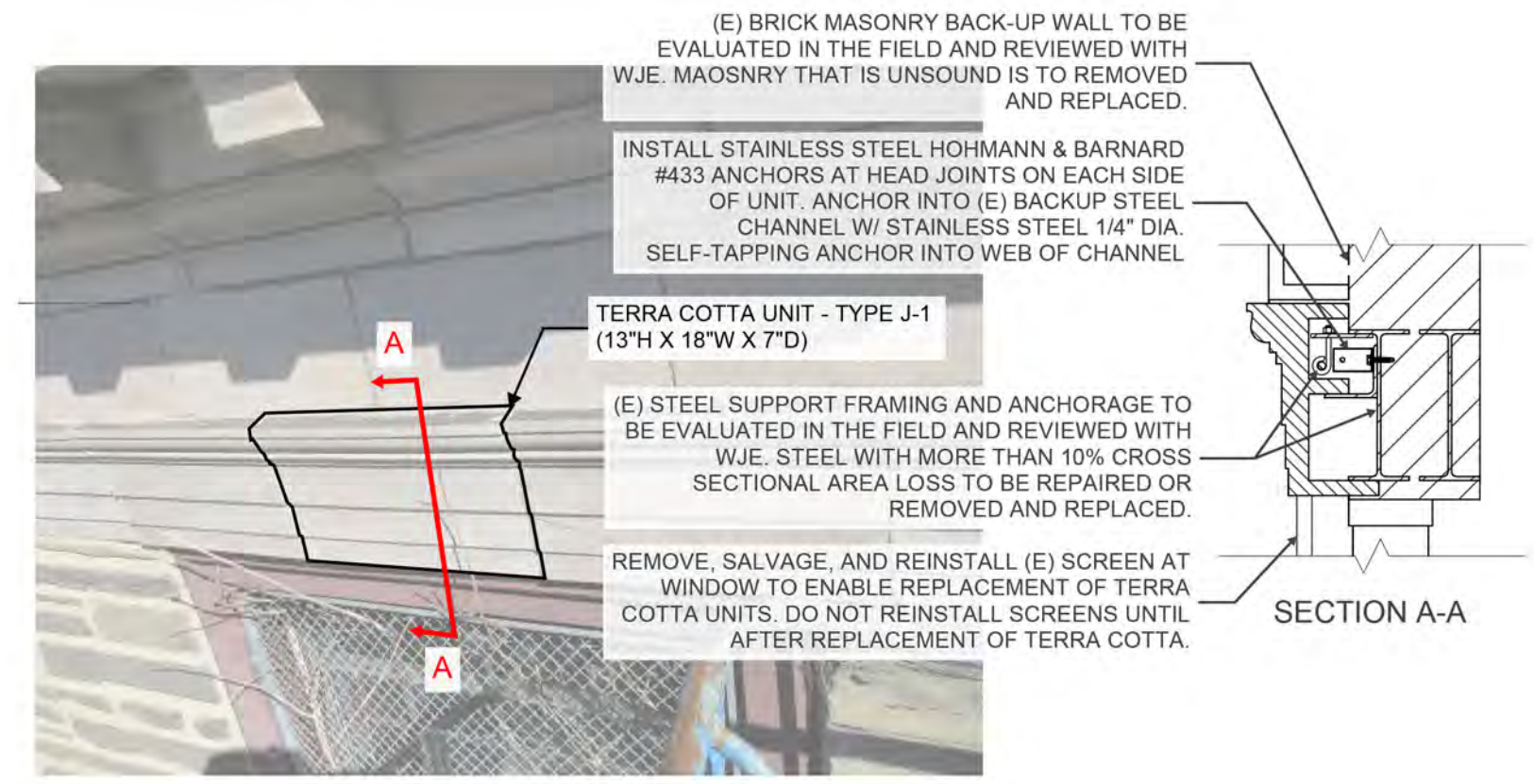
**6 PHOTO OF TERRA COTTA UNIT - TYPE T-1 AND T-2 NTS**



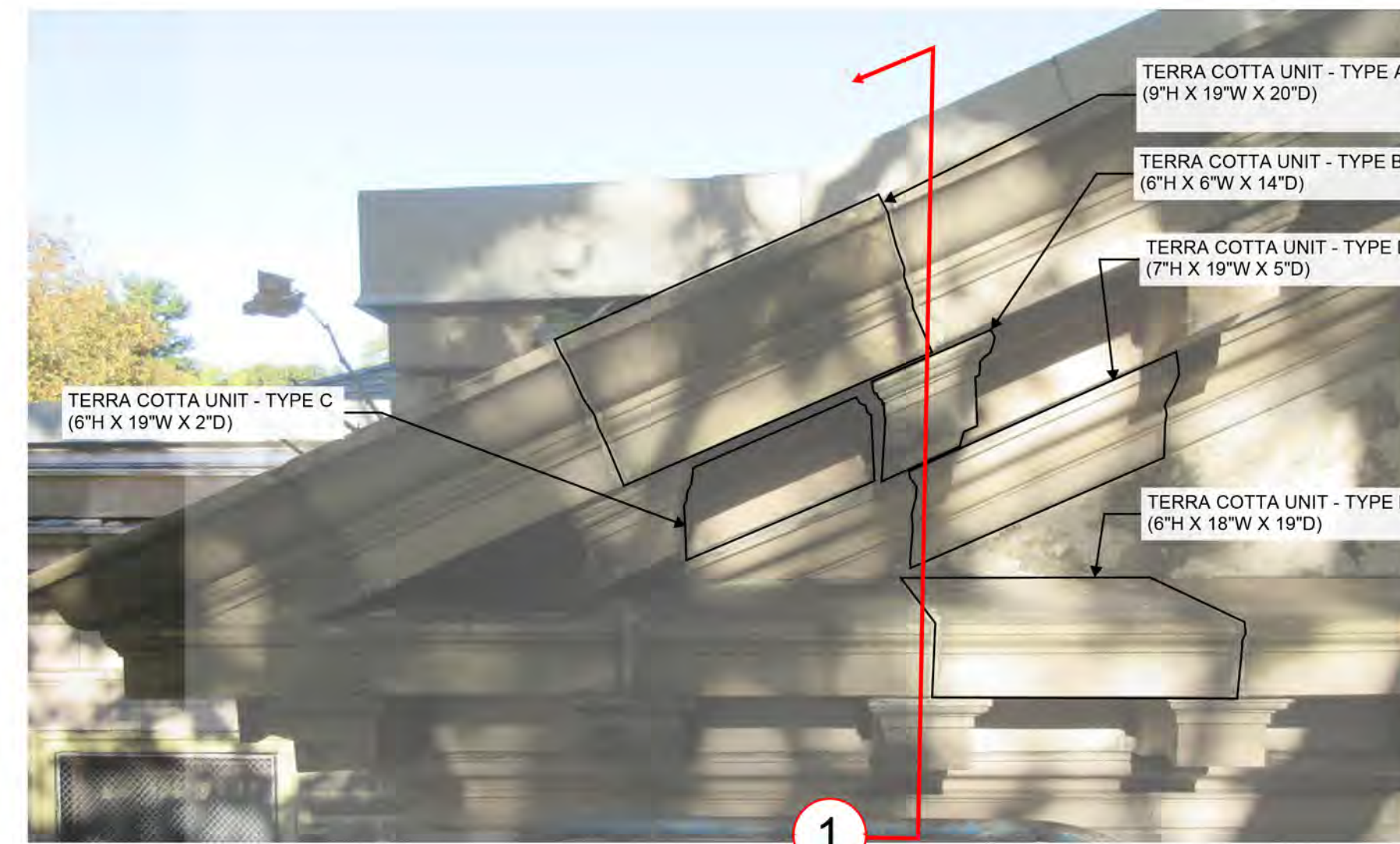
1 TERRA COTTA CORNICE SECTION NTS NOTE: ALL UNITS SHOWN ARE ASSUMED TO BE HAND PRESSED



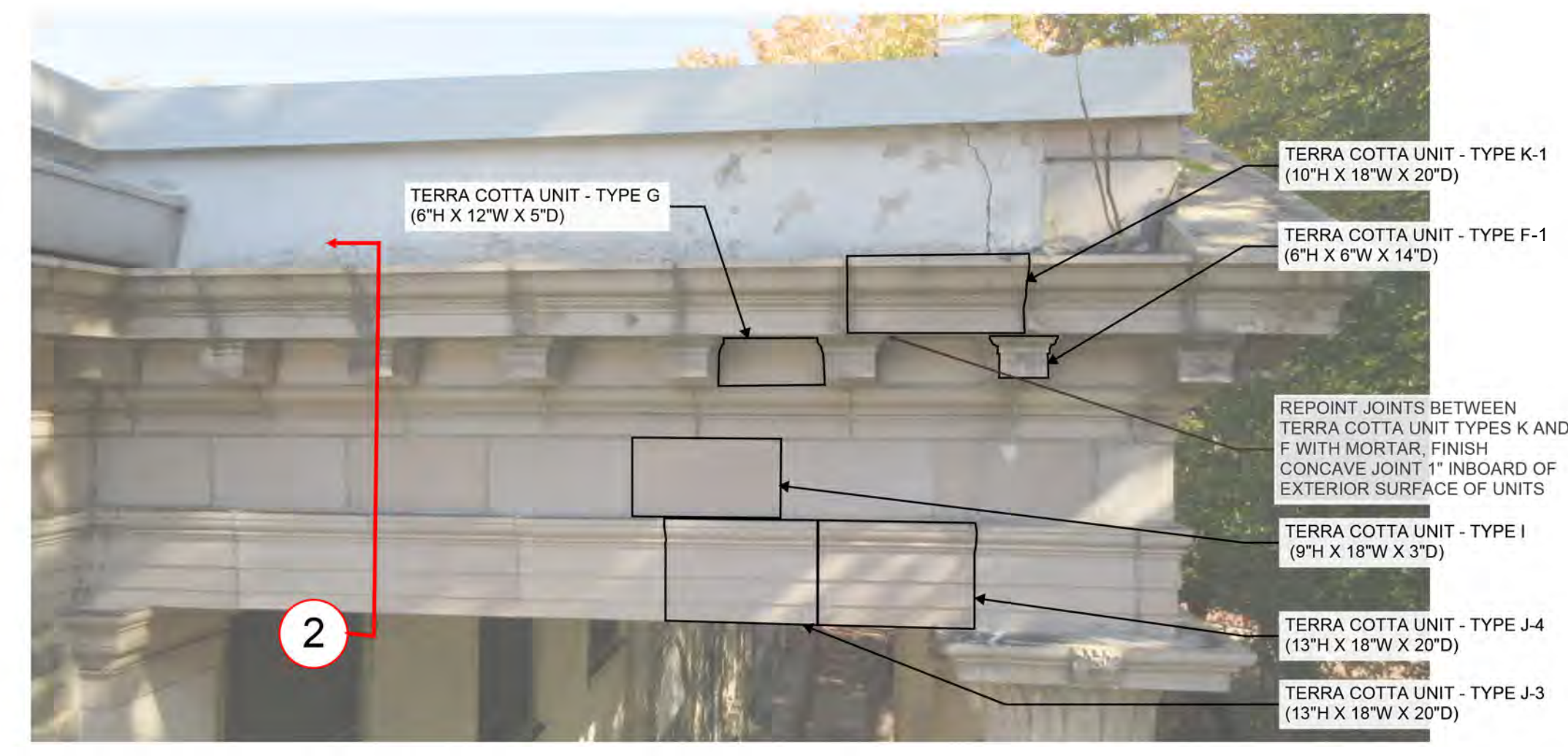
2 TERRA COTTA CORNICE SECTION NTS NOTE: ALL UNITS SHOWN ARE ASSUMED TO BE HAND PRESSED



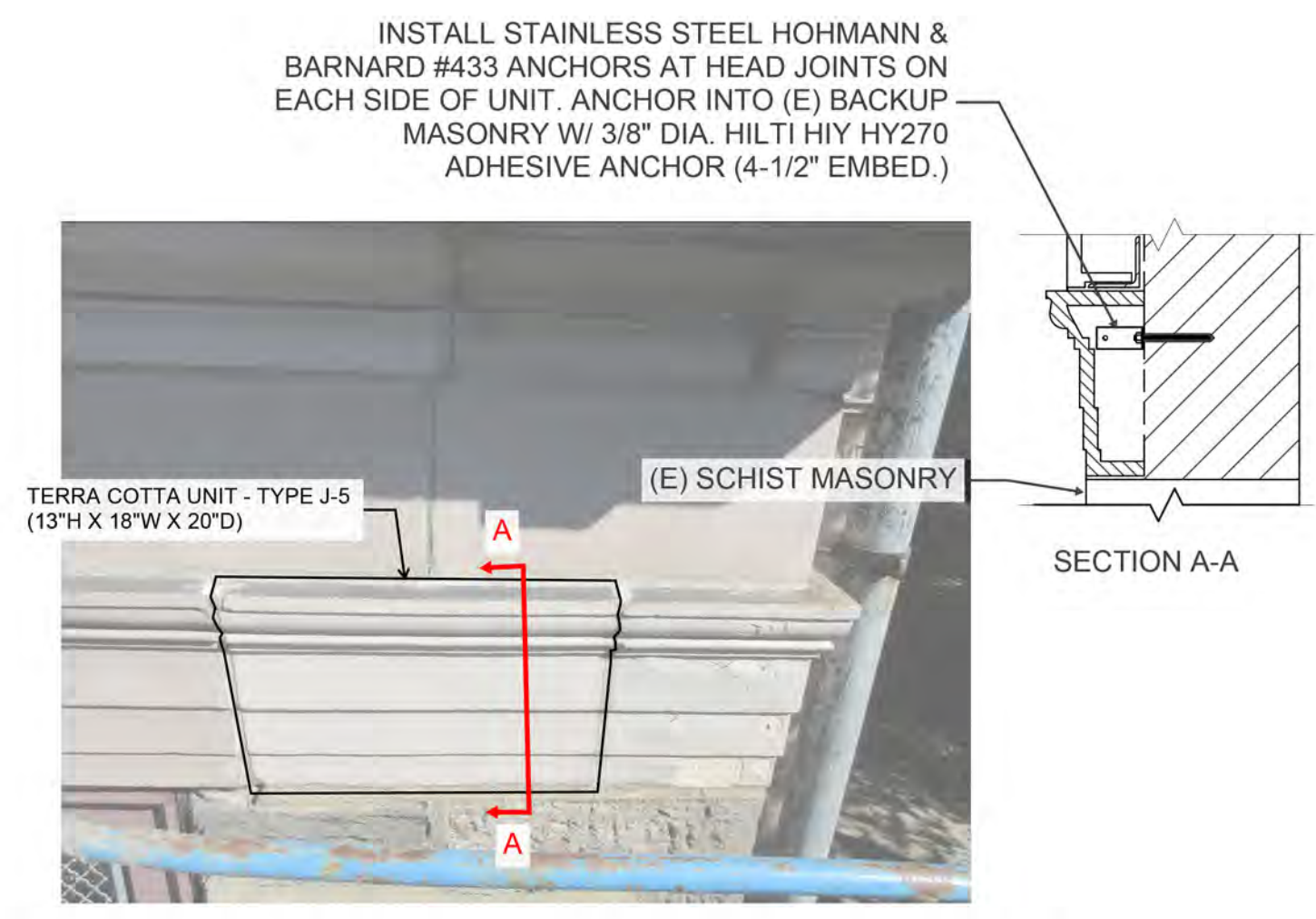
3 PHOTO OF TERRA COTTA UNIT NTS



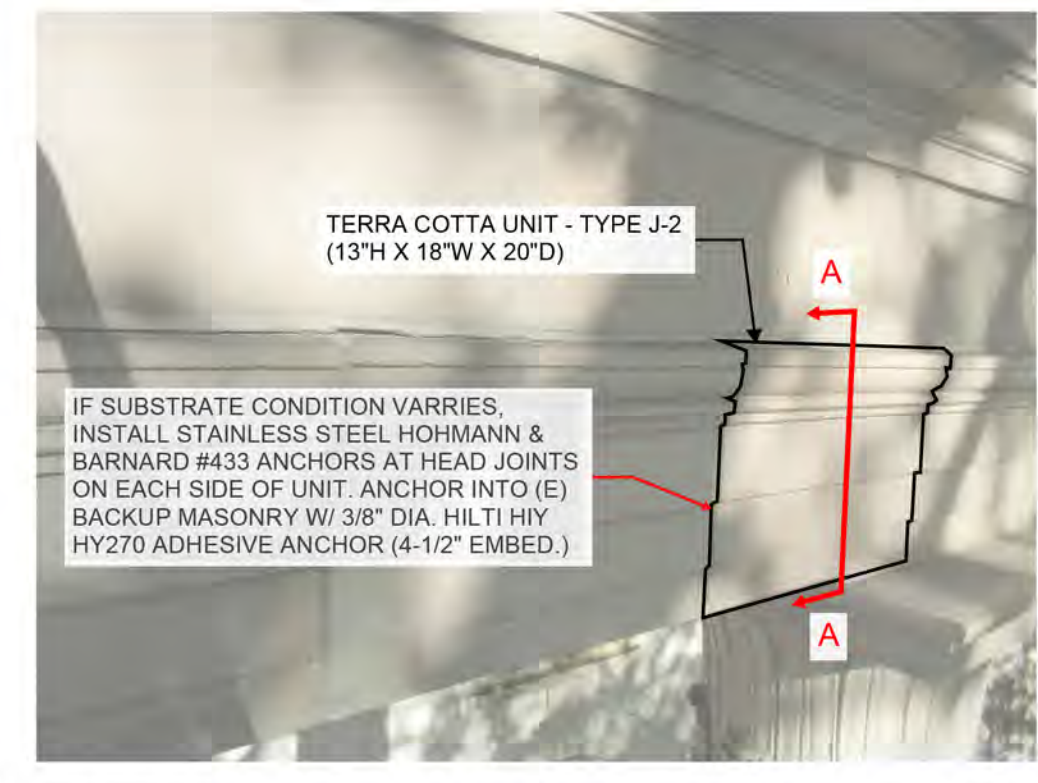
4 PHOTO OF TERRA COTTA UNITS NTS



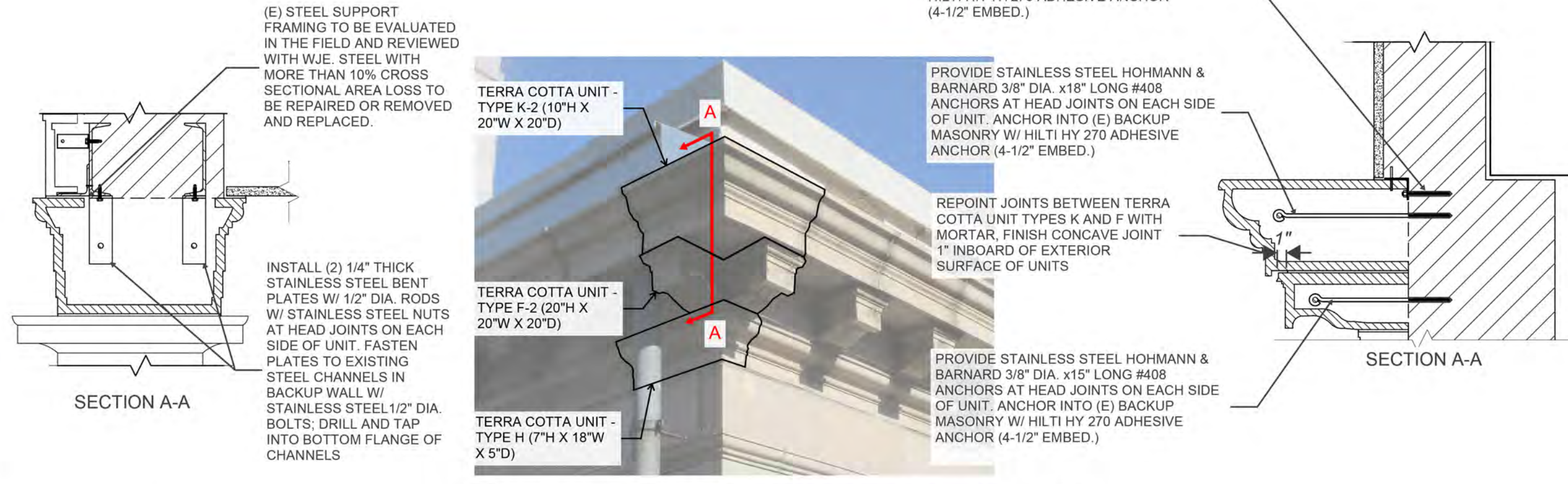
5 PHOTO OF TERRA COTTA UNITS NTS



6 PHOTO OF TERRA COTTA UNIT NTS



7 PHOTO OF TERRA COTTA UNIT NTS



8 PHOTO OF TERRA COTTA UNIT NTS

REVISIONS		
ISSUE	DATE	REVISIONS



BID SET SUBMISSION

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**ELECTRICAL ENGINEER:**  
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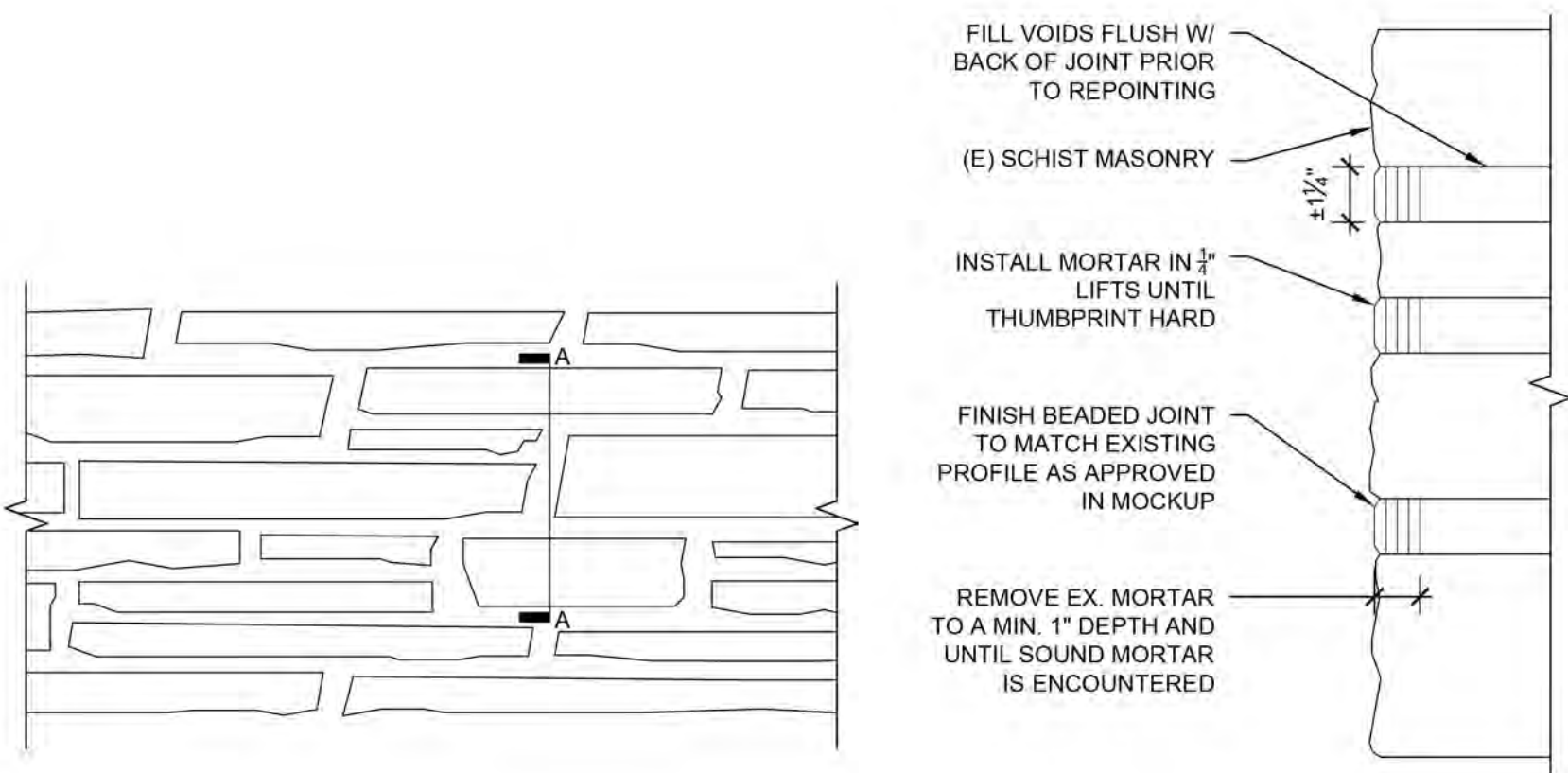
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION**

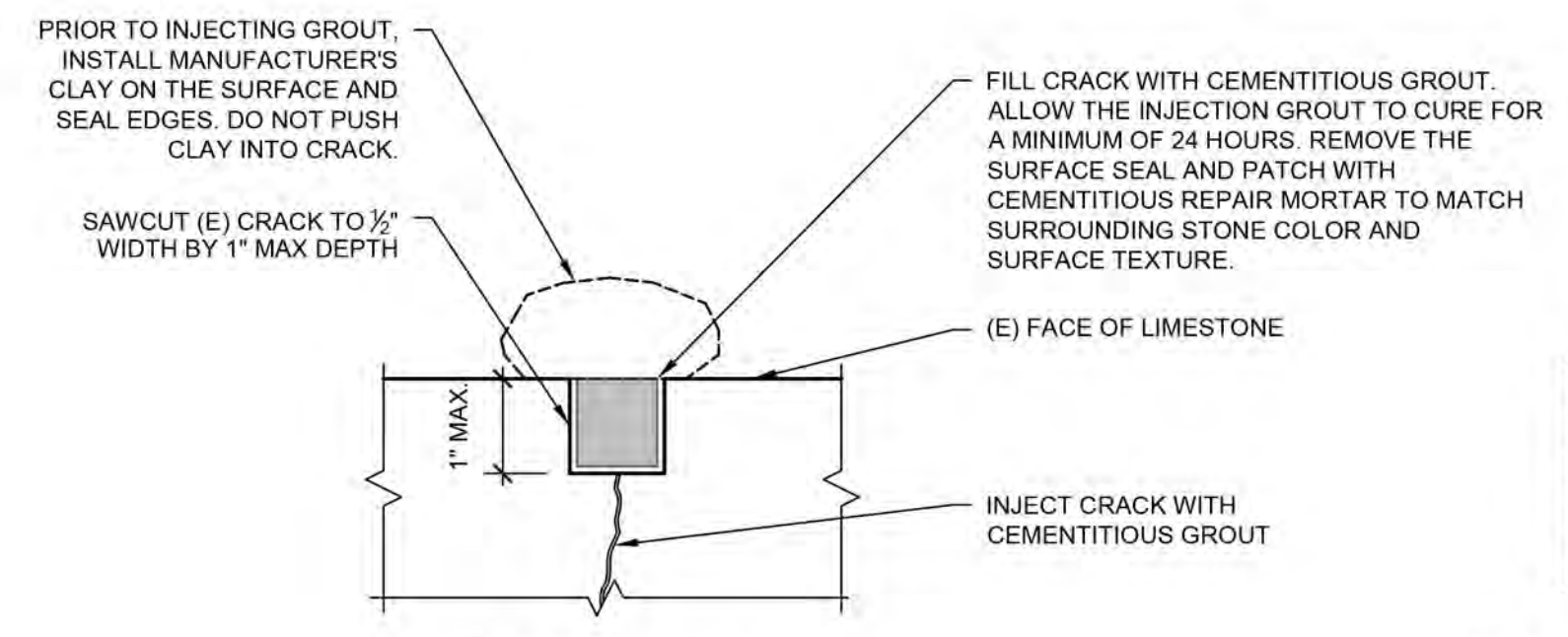
DRAWING TITLE  
**MASONRY REPAIR DETAILS**

PROJECT NO. <b>16-19-4932-99</b>	DRAWING NO. <b>A4.3</b>
DATE 6.14.2024	SCALE AS NOTED
DRAWN BY AB / WJE	CHECKED BY TW

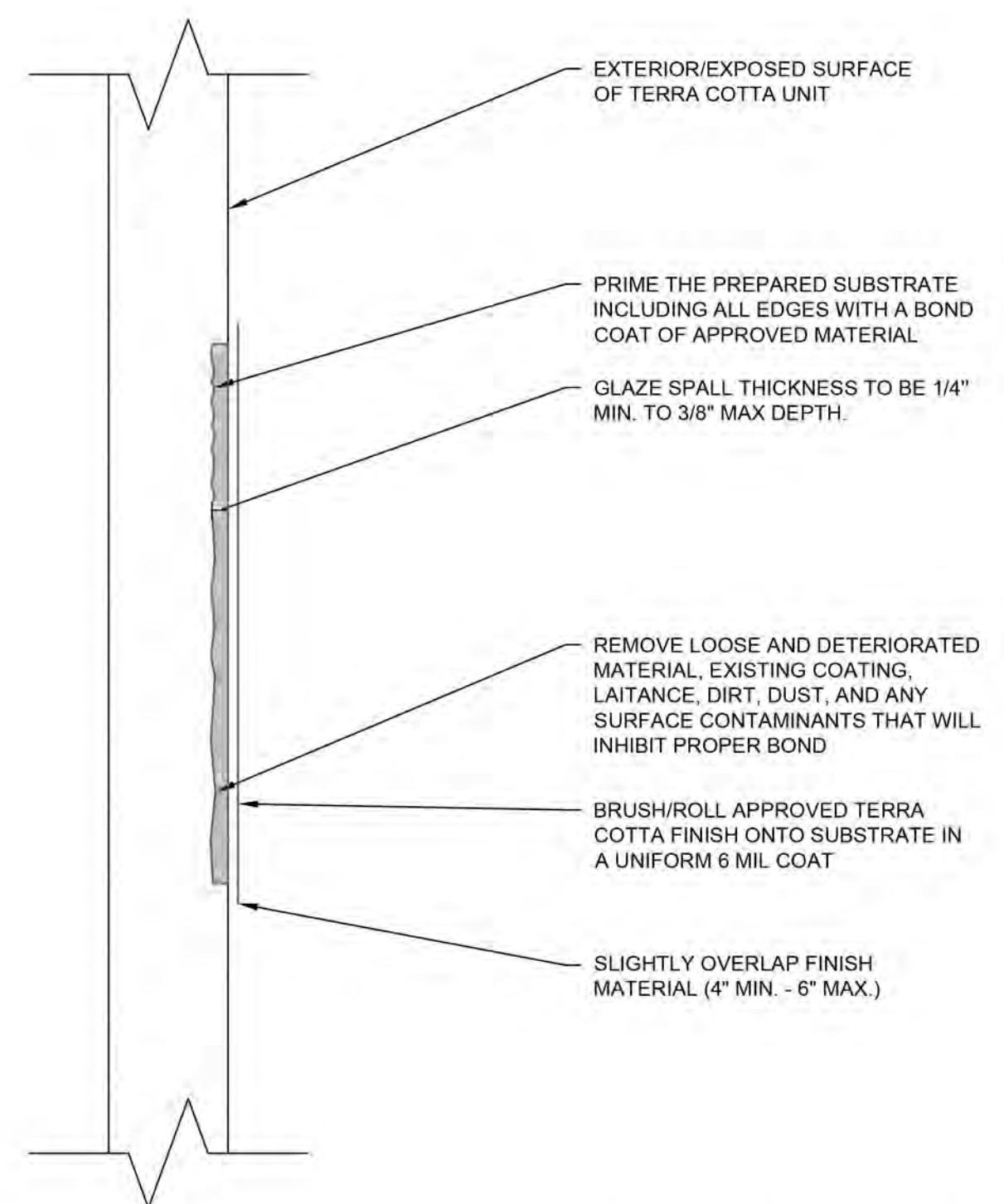
NOTE: ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



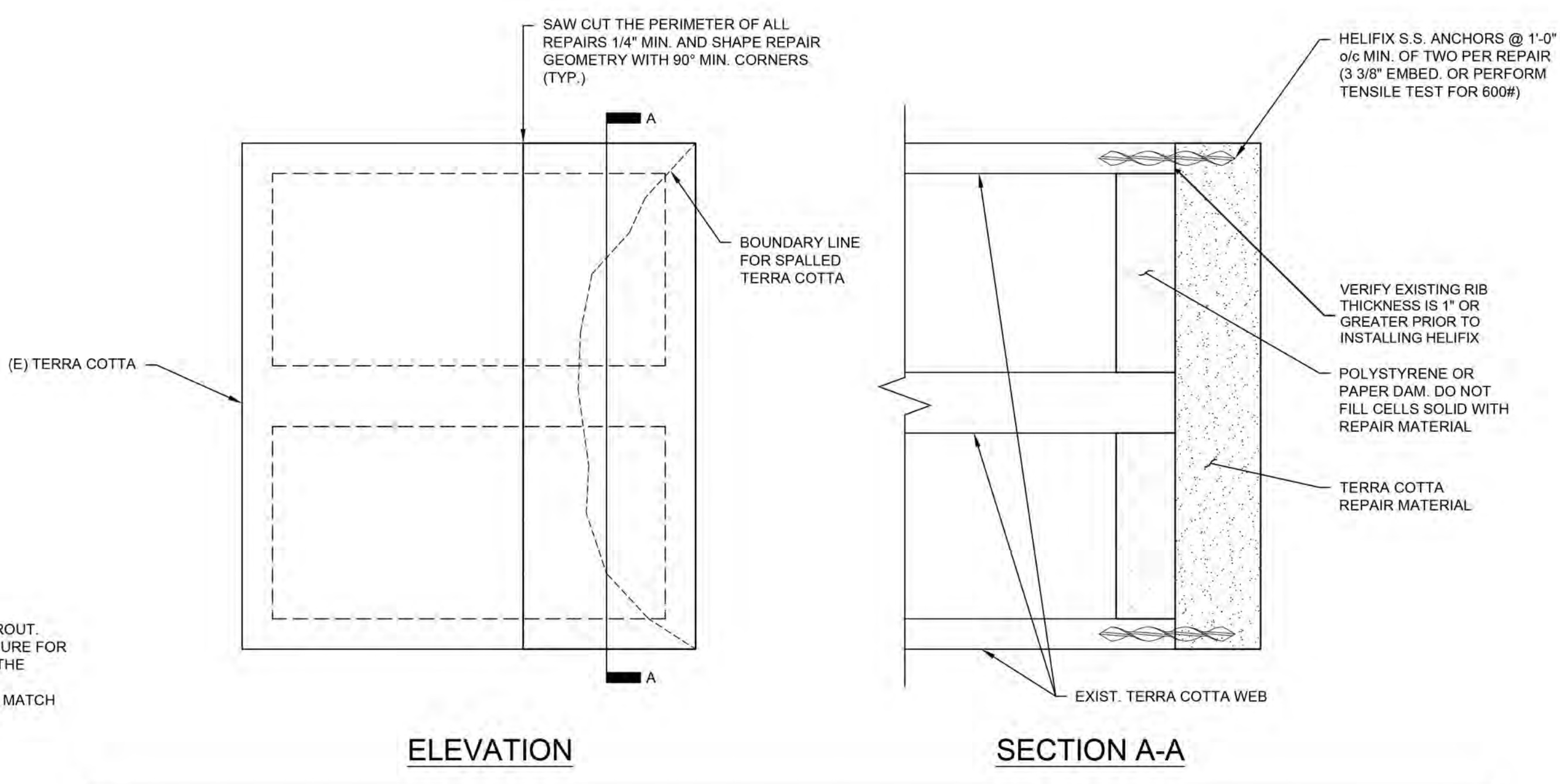
**6** REPOINT SCHIST MASONRY NTS



**5** ROUT & SEAL CRACKED LIMESTONE / TERRA COTTA UNIT NTS



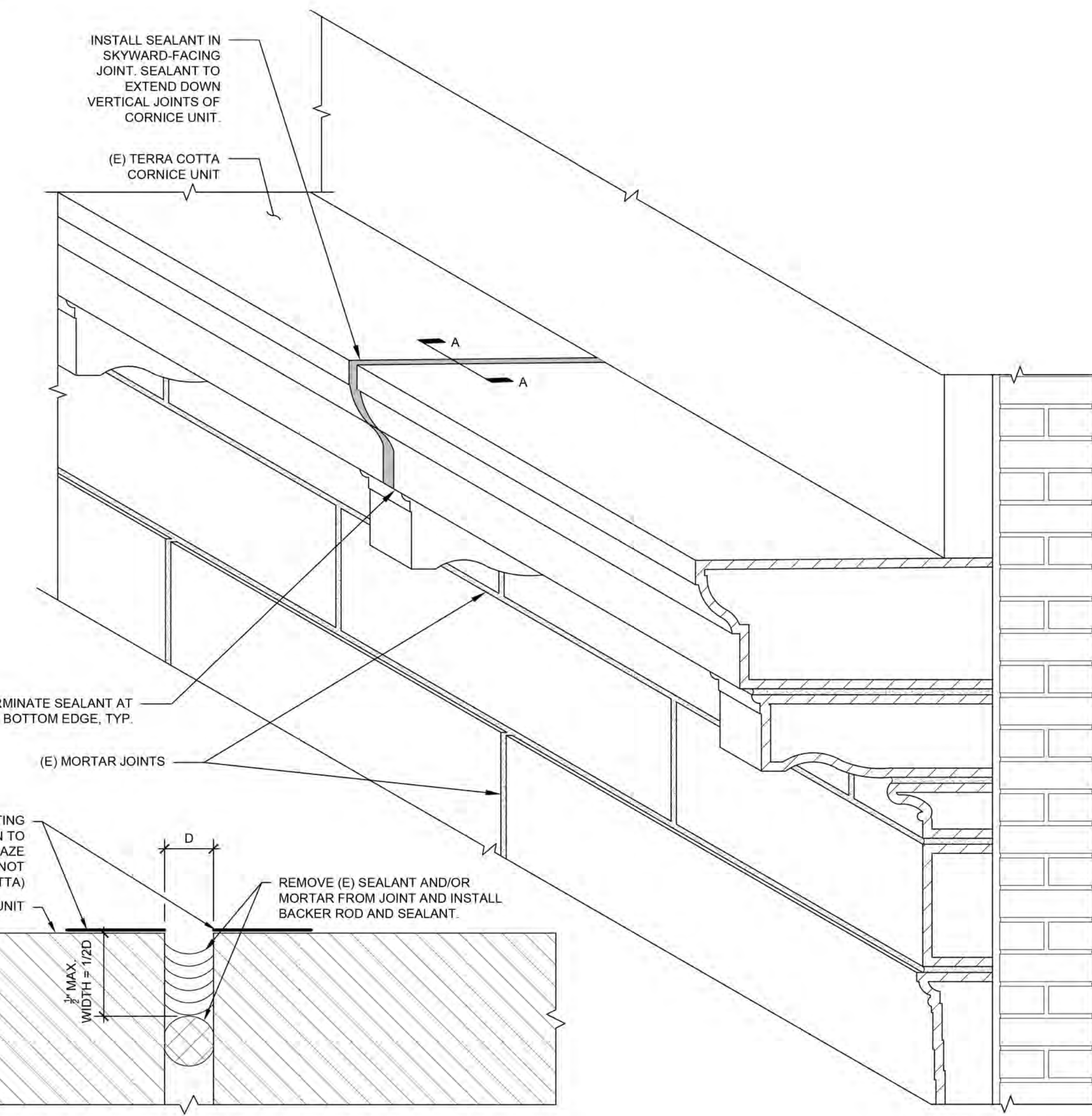
**2** REPAIR TERRA COTTA GLAZE SPALLS 6" = 1'-0"



**NOTE:**

- 1) ACTUAL TERRA COTTA UNITS (PLANAR AND ORNAMENTAL) WILL VARY FROM THAT DEPICTED. TERRA COTTA UNIT SHOWN INTENDED TO CONVEY REPAIR REQUIREMENTS.
- 2) EXTENT OF REQUIRED REPAIR TO BE DETERMINED IN THE FIELD.
- 3) REPAIR CONFIGURATIONS SHALL BE AS SIMPLE AS POSSIBLE, PREFERABLY SQUARE OR RECTANGULAR WITH 90° CORNERS.
- 4) DO NOT FILL MORTAR JOINTS WITH REPAIR MATERIAL. ALL EXIST. MORTAR JOINT LOCATIONS AND SIZES TO BE MAINTAINED.
- 5) NOTIFY ENGINEER OF ANY STONE ANCHOR OR STEEL FRAMING EXPOSED AFTER SPALL REMOVAL. DO NOT APPLY REPAIR MATERIAL UNTIL ENGINEER HAS INSPECTED STEEL AND ANCHORS.

**4** REPAIR SPALLED TERRA COTTA UNIT 3" = 1'-0"



**1** REPOINT SKYWARD FACING TERRA COTTA JOINTS NTS

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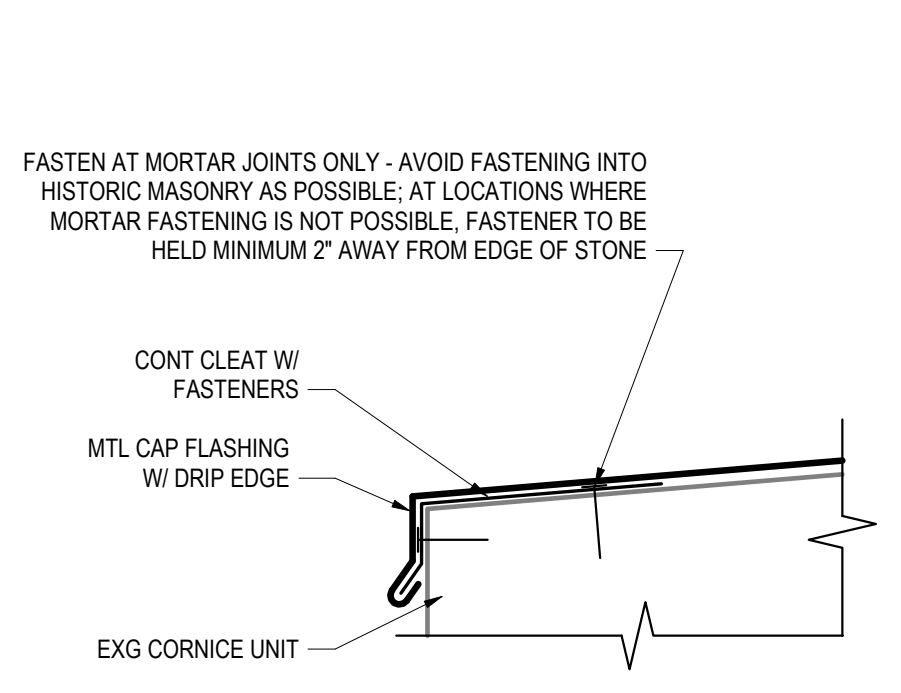
CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION**

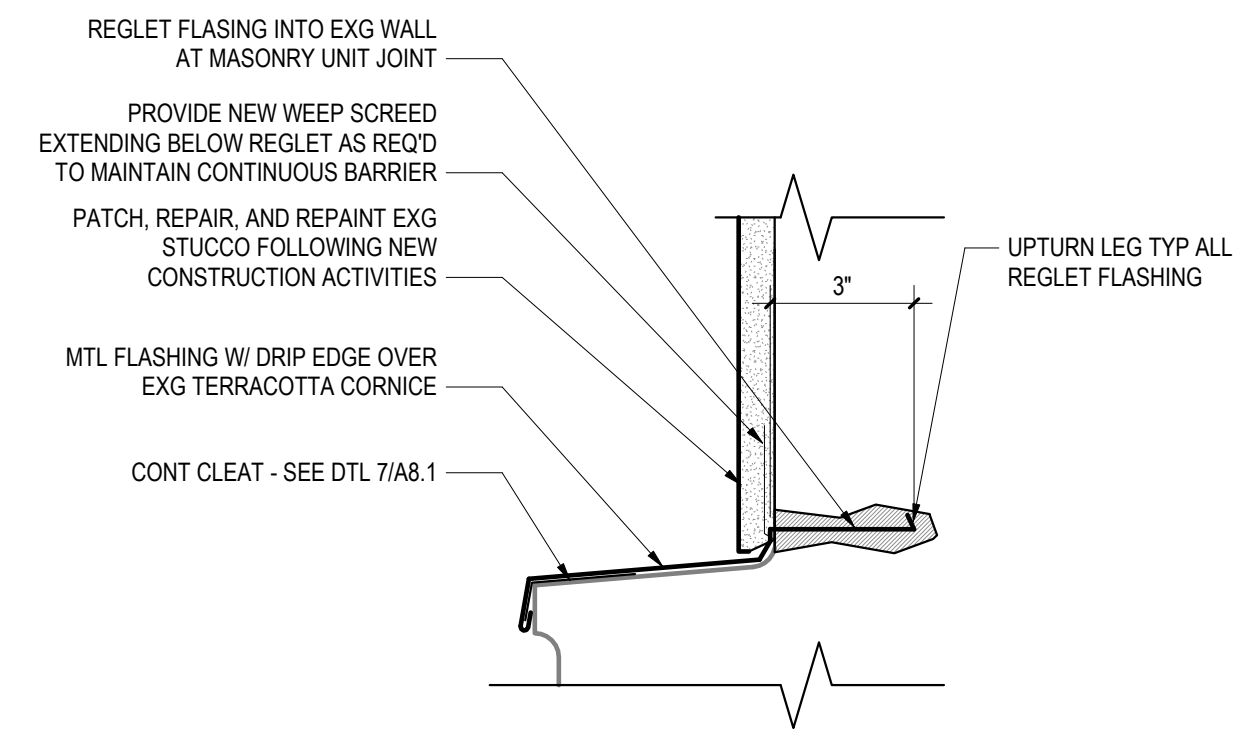
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**MASONRY REPAIR DETAILS**

PROJECT NO. <b>16-19-4932-99</b>	DRAWING NO. <b>A4.4</b>
DATE 6.14.2024	SCALE AS NOTED
DRAWN BY AB / WJE	CHECKED BY TW

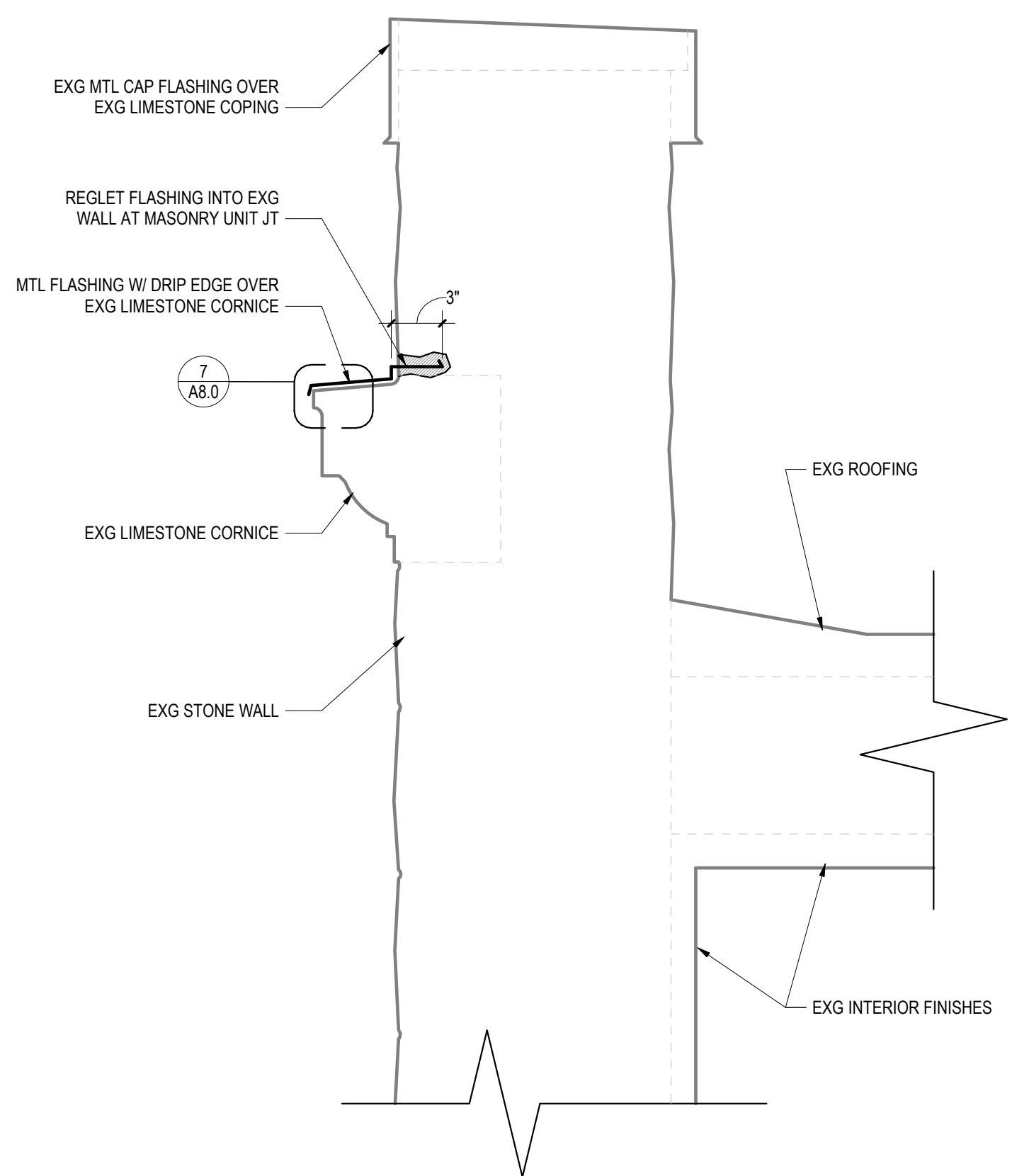
**NOTE:** ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



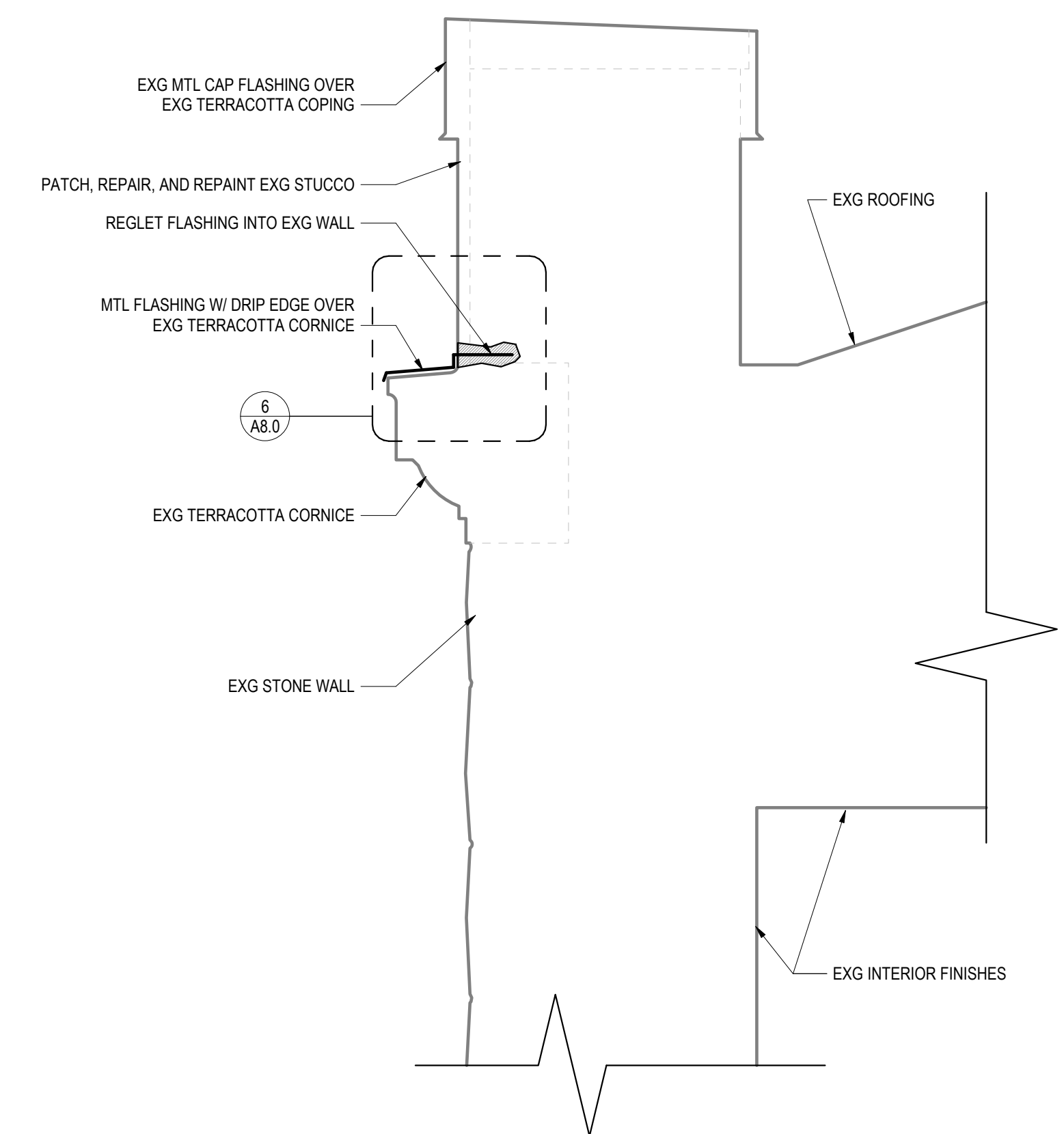
7 CORNICE FLASHING CLEAT DETAIL  
A8.0 6" = 1'-0"



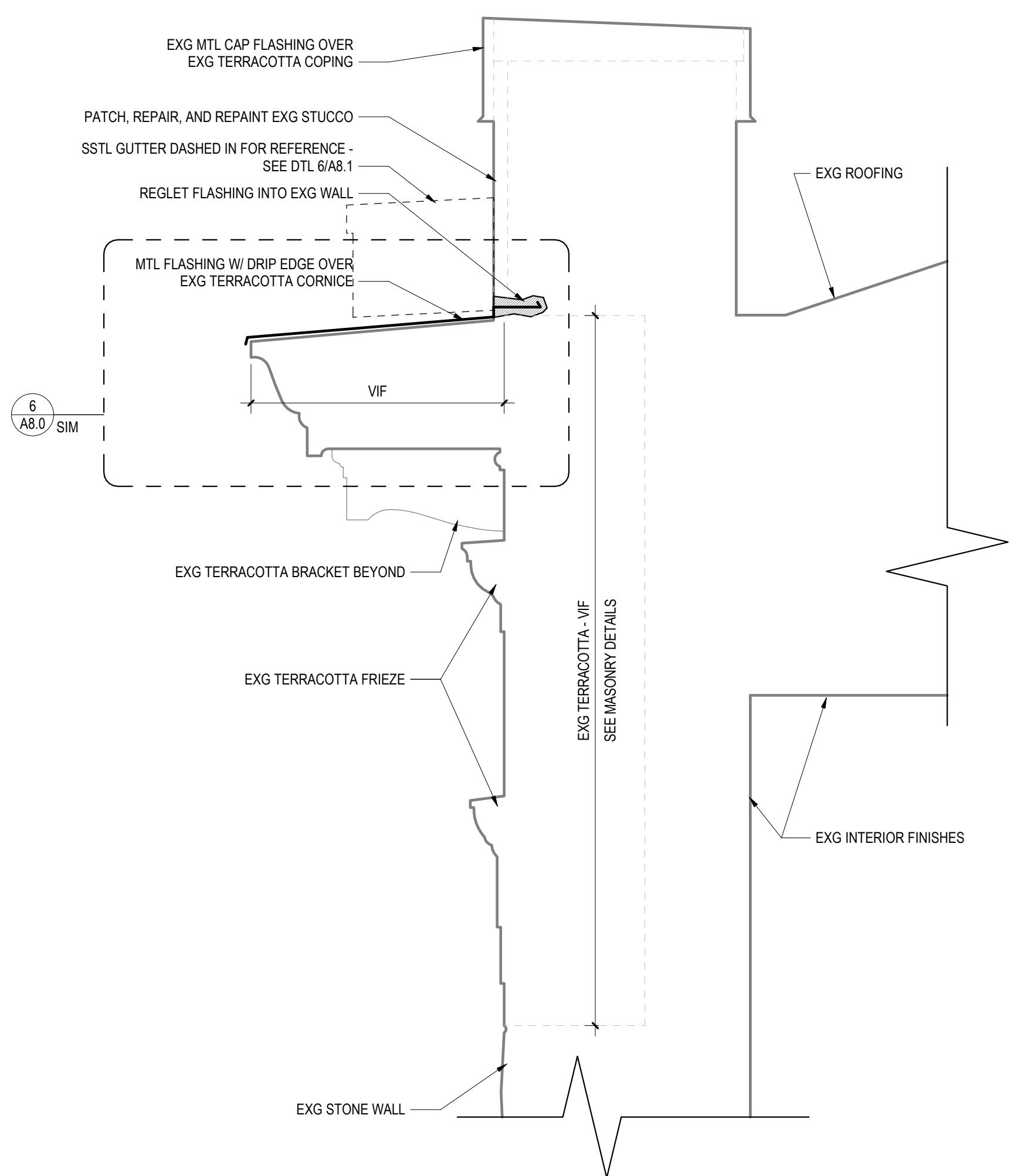
6 STUCCO FLASHING AT EXG CORNICE DETAIL  
A8.0 3" = 1'-0"



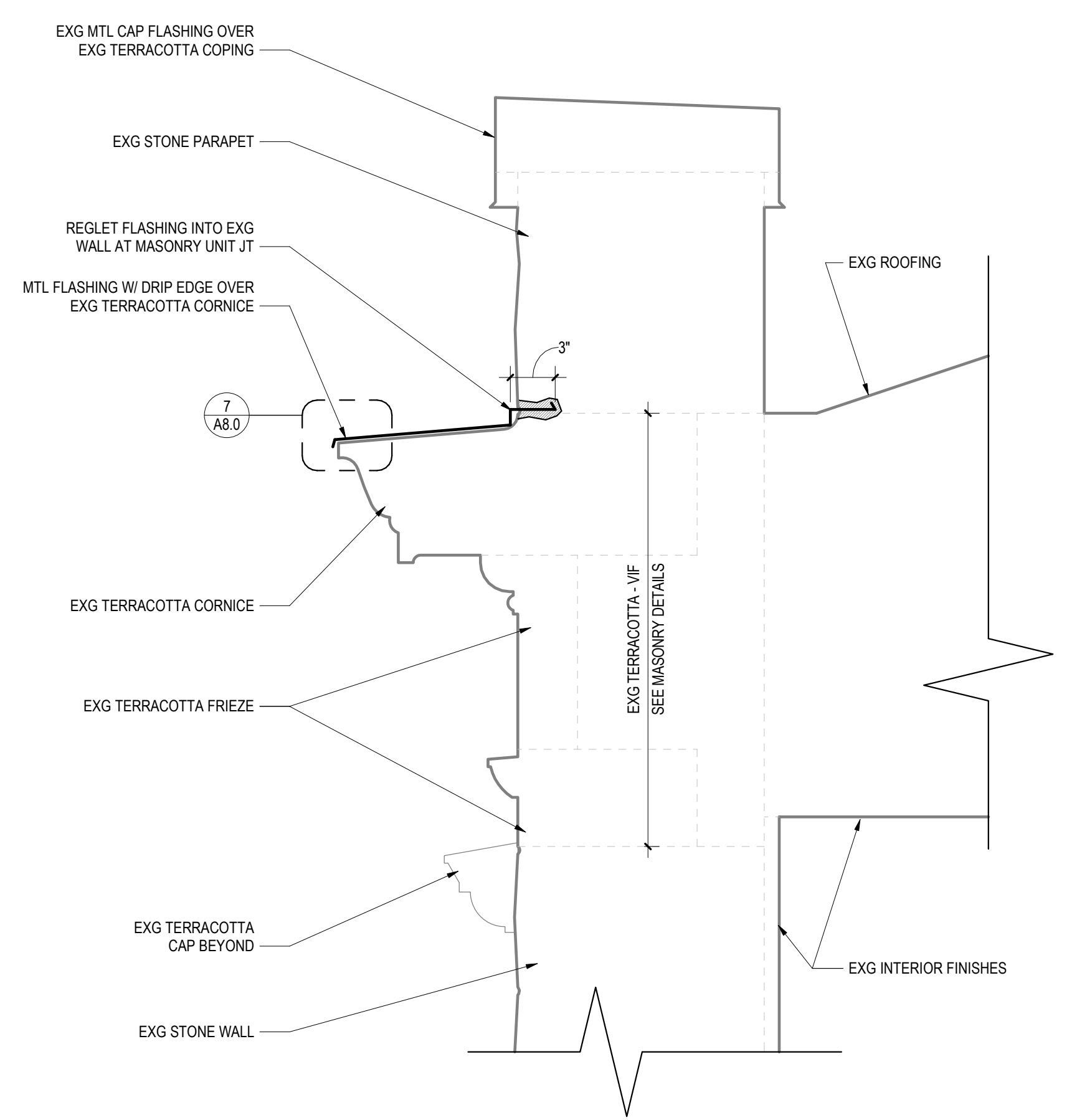
5 TYPICAL CORNICE & PARAPET DETAIL AT SOUTH WING GYM ENTRANCE  
A8.0 1 1/2" = 1'-0"



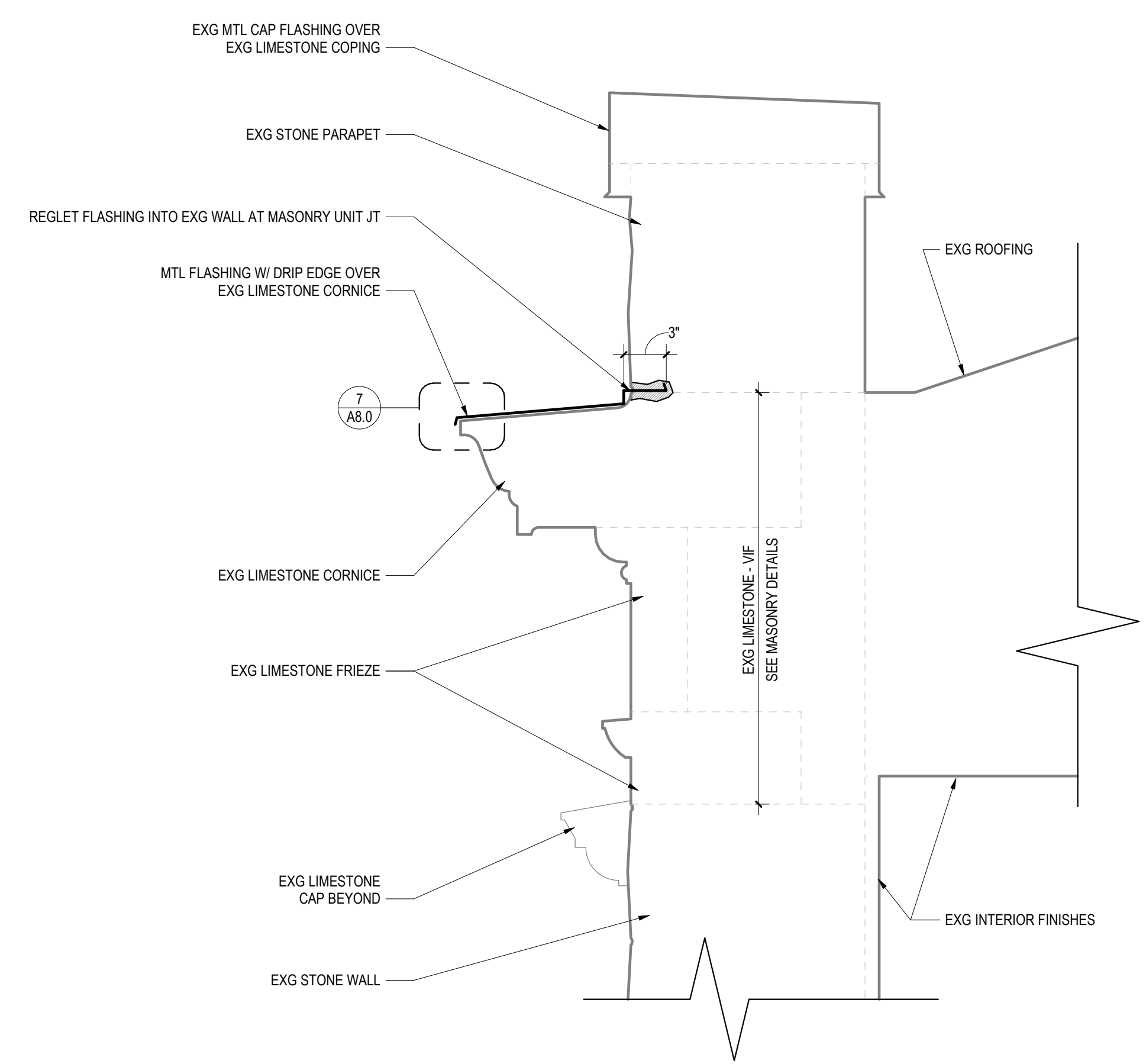
4 TYPICAL CORNICE & PARAPET DETAIL AT LOW WING CONNECTIONS  
A8.0 1 1/2" = 1'-0"



3 TYPICAL CORNICE & PARAPET DETAIL AT CENTER BUILDING  
A8.0 1 1/2" = 1'-0"

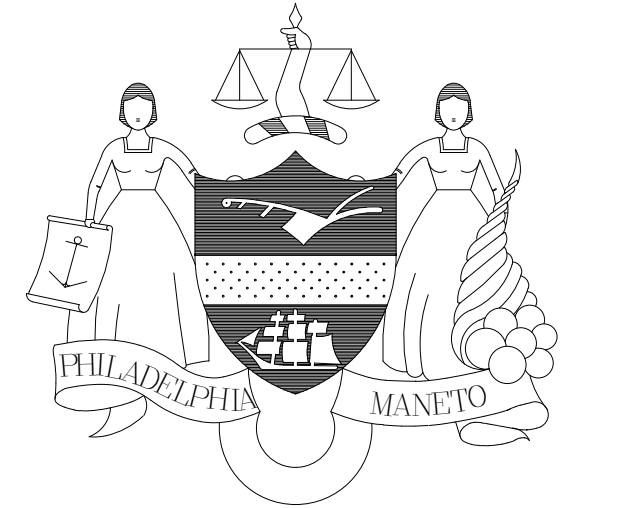


2 TYPICAL CORNICE & PARAPET DETAIL AT NORTH WING  
A8.0 1 1/2" = 1'-0"



1 TYPICAL CORNICE & PARAPET DETAIL AT SOUTH WING  
A8.0 1 1/2" = 1'-0"

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CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET  
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION  
CENTER EXTERIOR  
REHABILITATION**

DRAWING TITLE  
**PARAPET & CORNICE DETAILS**

PROJECT NO.  
**16-19-4932-99**

DATE  
6.14.2024

SCALE  
AS NOTED

DRAWN BY  
AB

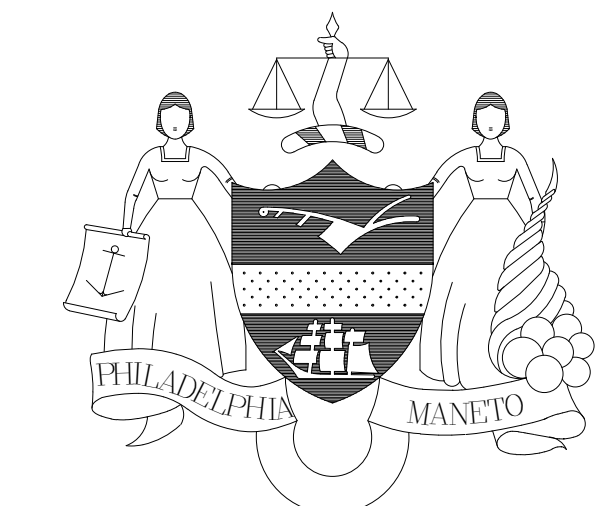
CHECKED BY  
TW

DRAWING NO.  
**A8.0**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

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ISSUE	DATE	REVISIONS



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PROJECT TITLE  
**WATER TOWER RECREATION**  
**CENTER EXTERIOR**  
**REHABILITATION**

DRAWING TITLE  
**EXTERIOR DETAILS**

PROJECT NO.  
**16-19-4932-99**

DATE  
6.14.2024

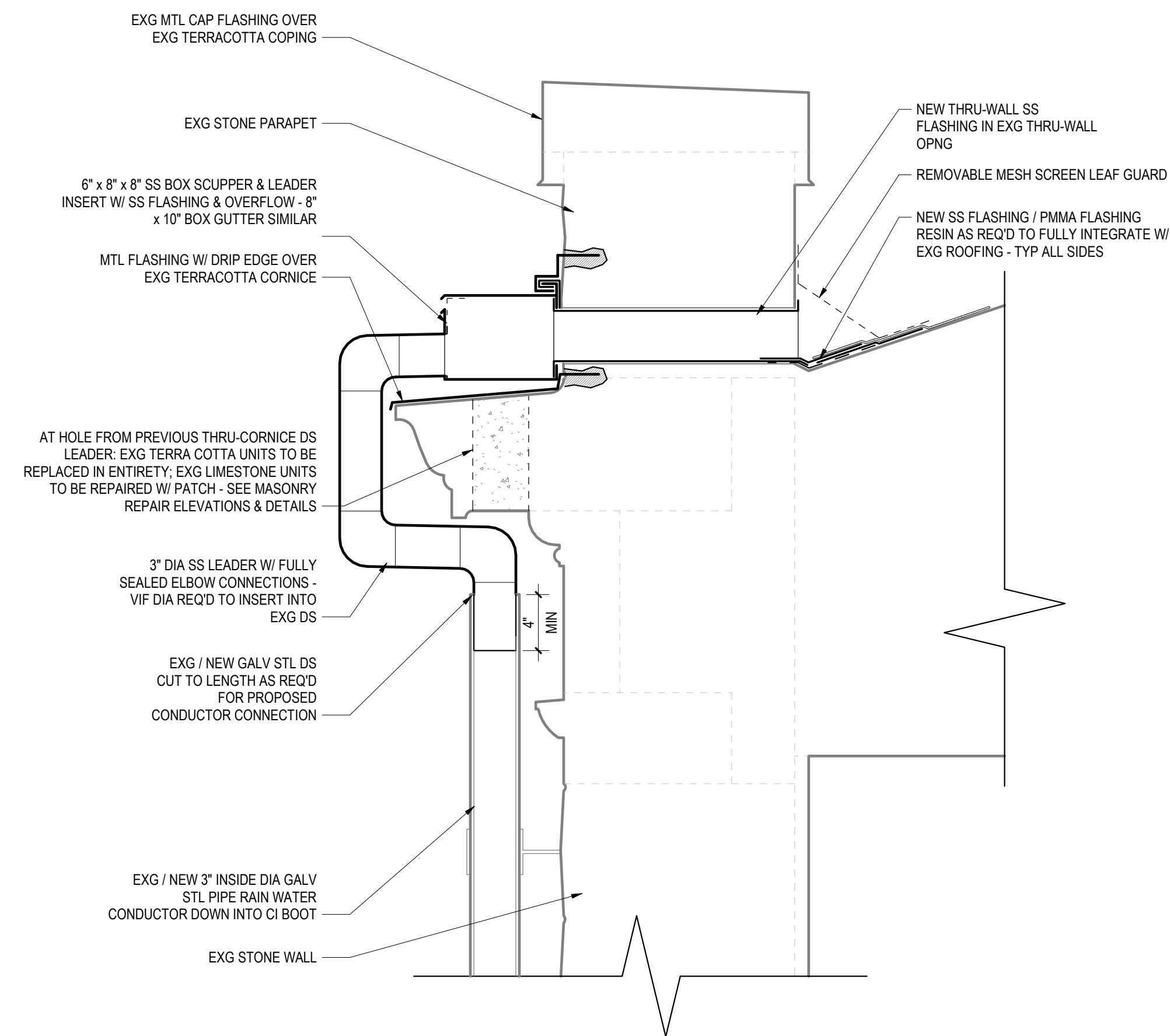
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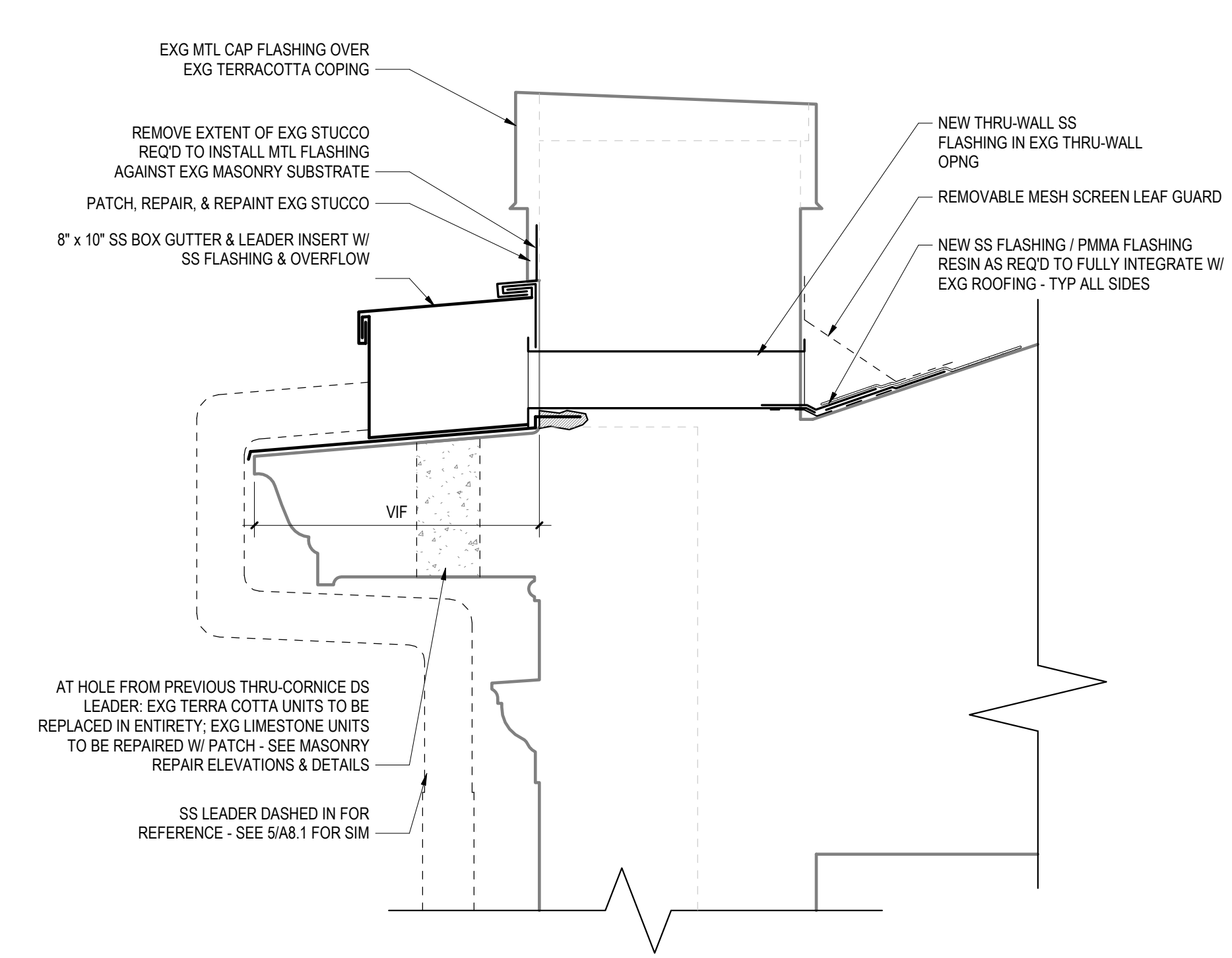
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**A8.1**

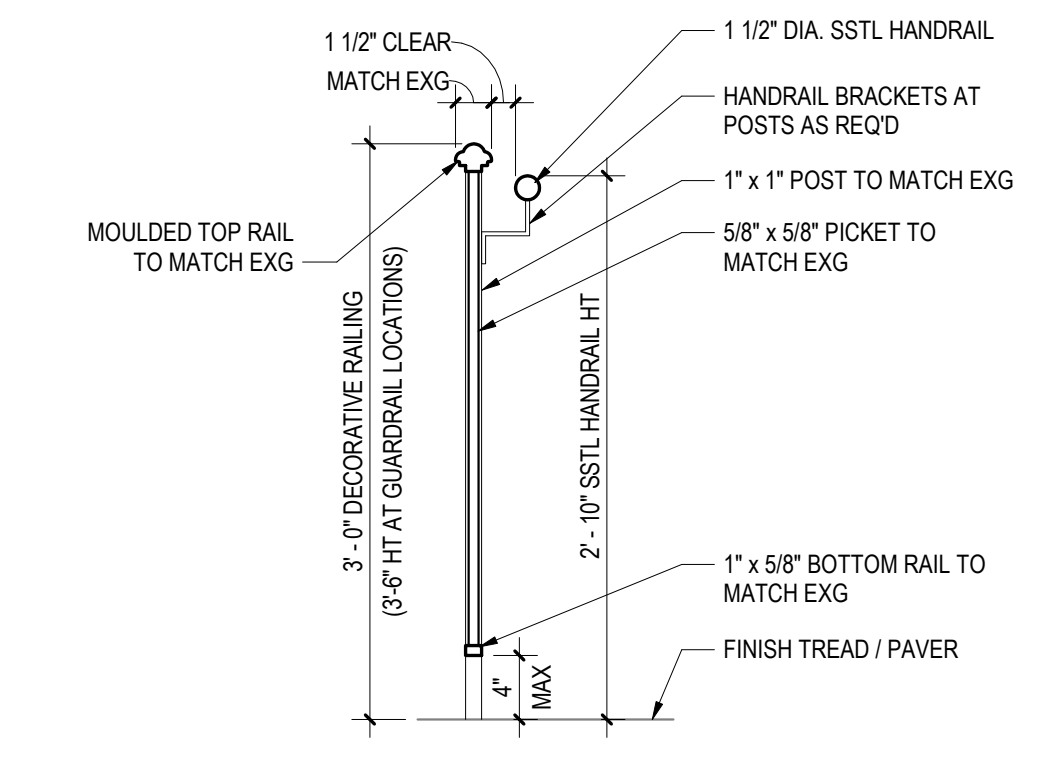
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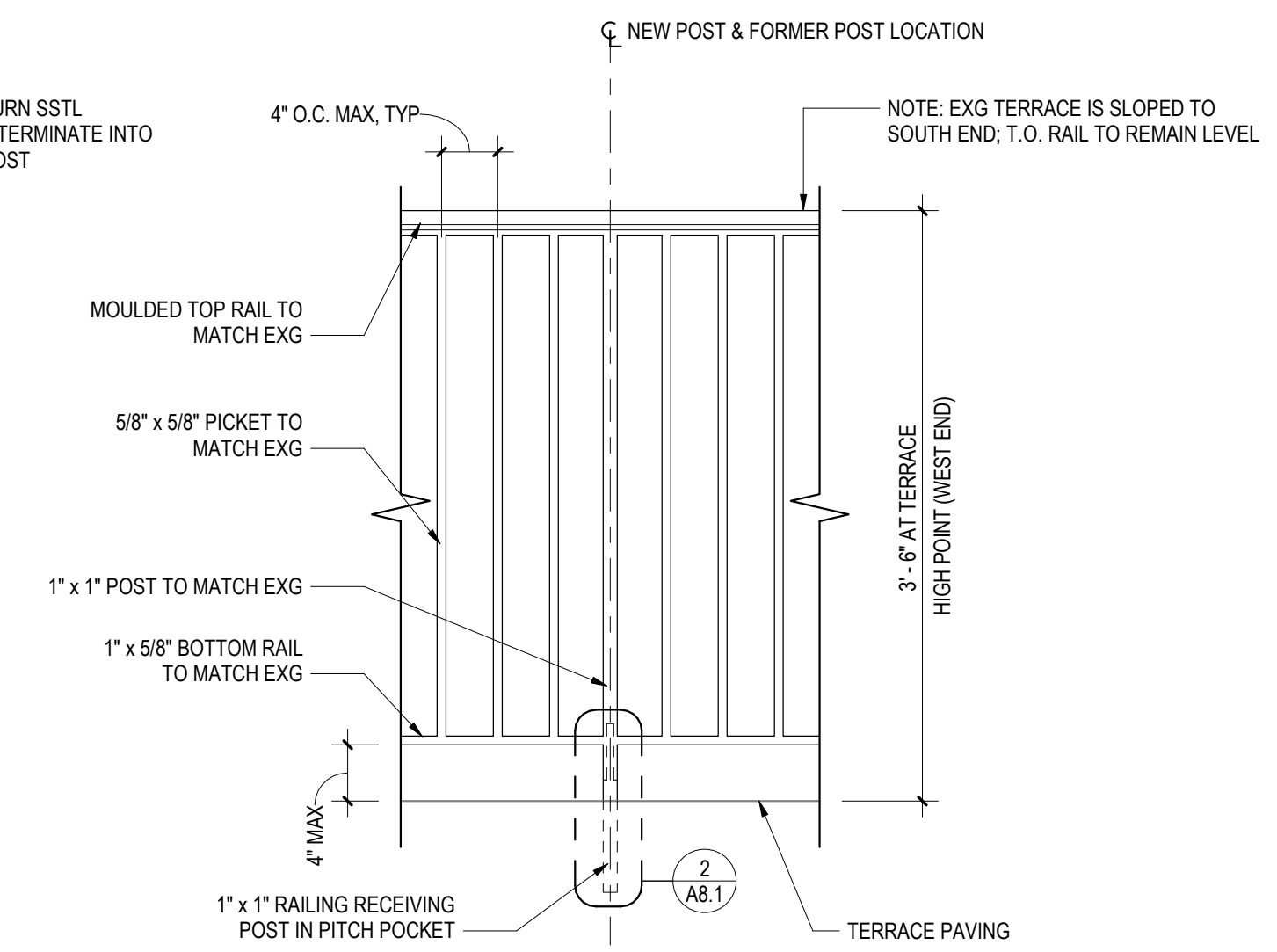
**5 TYPICAL SCUPPER DETAIL**  
A8.1 1 1/2" = 1'-0"



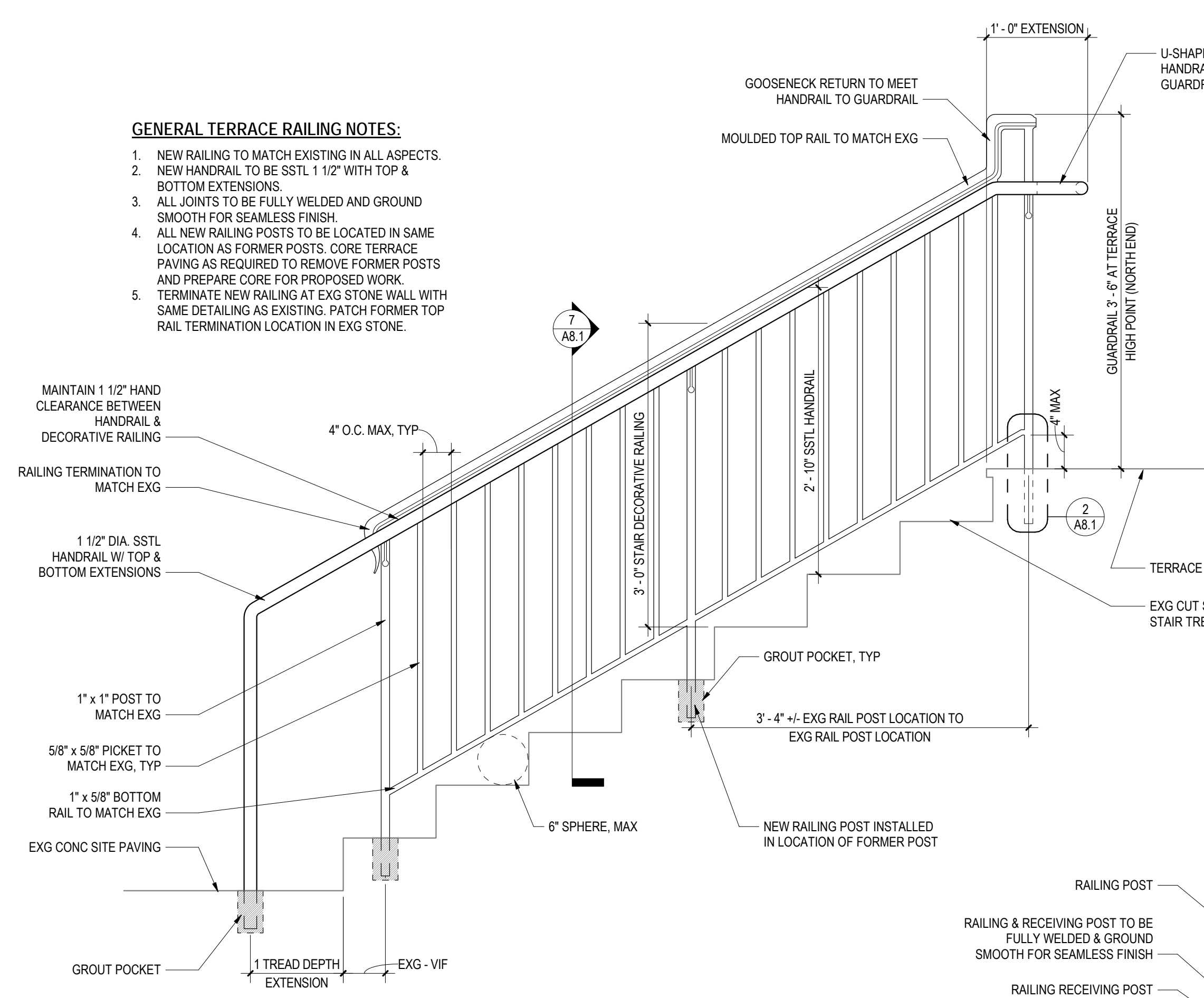
**6 TYPICAL GUTTER DETAIL**  
A8.1 1 1/2" = 1'-0"



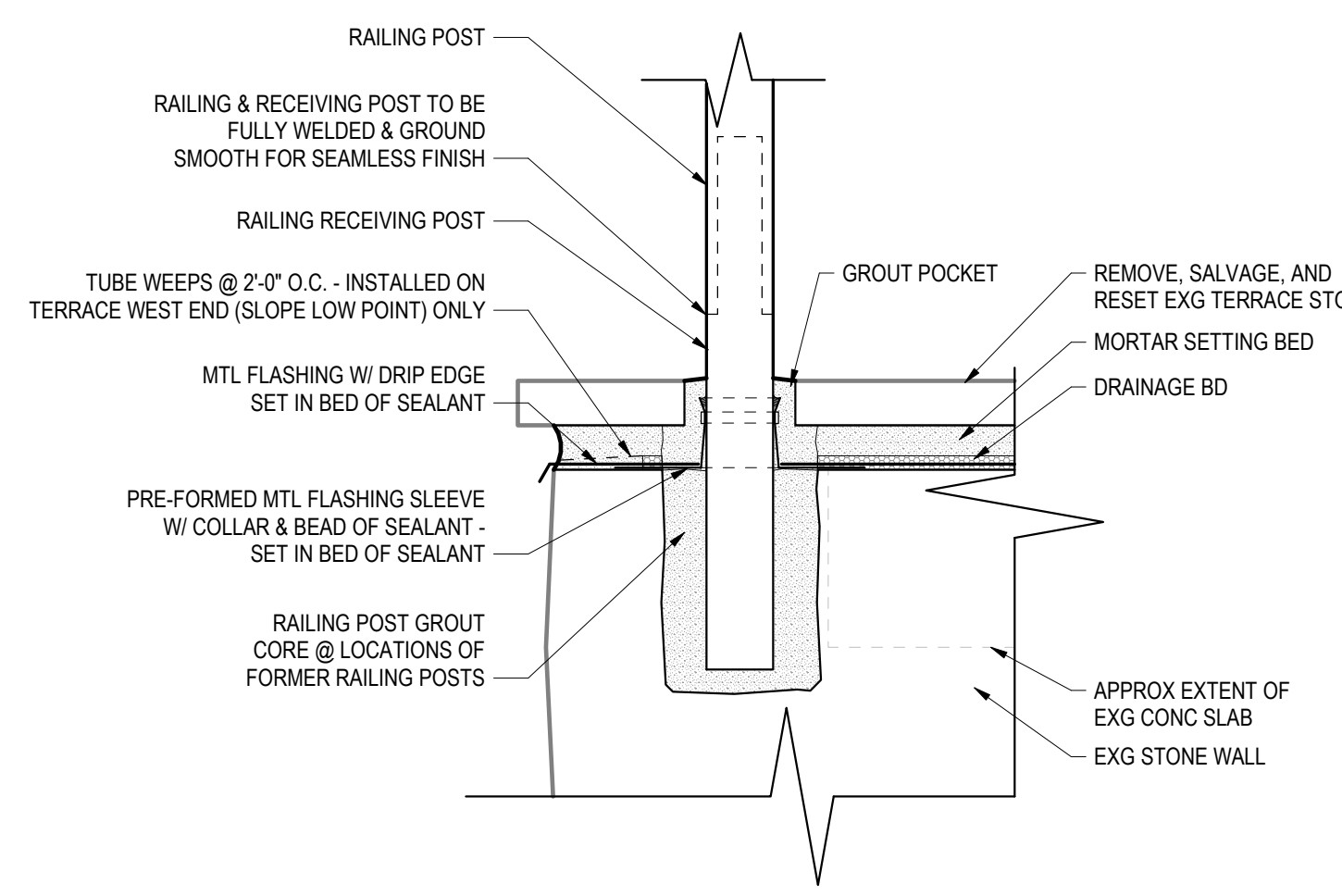
**7 TYPICAL HANDRAIL SECTION**  
A8.1 1" = 1'-0"



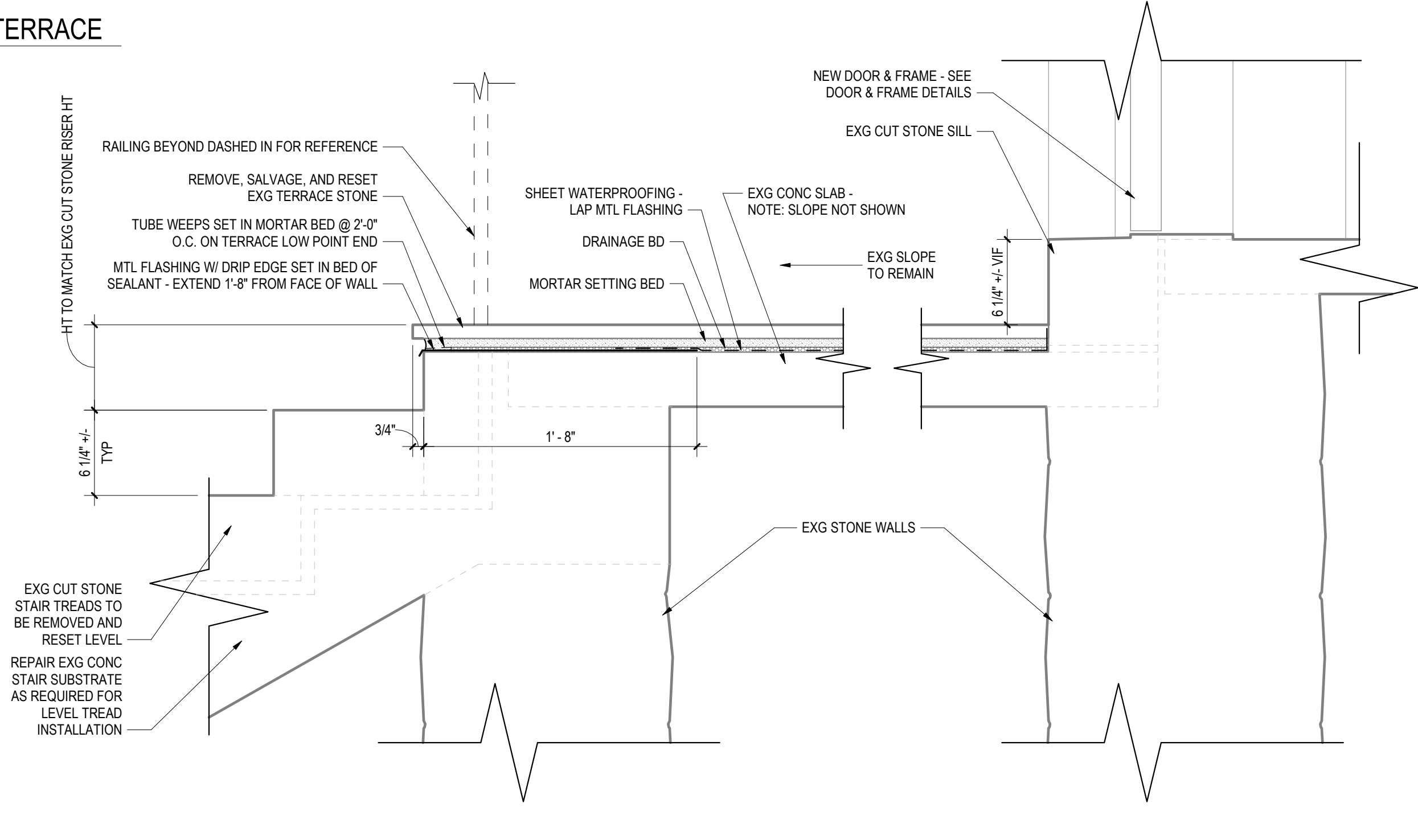
**3 RAILING ELEVATION DETAIL AT TERRACE**  
A8.1 1" = 1'-0"



**4 RAILING ELEVATION DETAIL AT TERRACE STAIR**  
A8.1 1" = 1'-0"



**2 TYPICAL RAILING PITCH POCKET DETAIL AT TERRACE**  
A8.1 3" = 1'-0"



**1 WEST TERRACE PAVING DETAIL**  
A8.1 1 1/2" = 1'-0"

**GENERAL TERRACE RAILING NOTES:**

1. NEW RAILING TO MATCH EXISTING IN ALL ASPECTS.
2. NEW HANDRAIL TO BE SSSL 1 1/2" WITH TOP & BOTTOM EXTENSIONS.
3. ALL JOINTS TO BE FULLY WELDED AND GROUND SMOOTH FOR SEAMLESS FINISH.
4. ALL NEW RAILING POSTS TO BE LOCATED IN SAME LOCATION AS FORMER POSTS. CORE TERRACE PAVING AS REQUIRED TO REMOVE FORMER POSTS AND PREPARE CORE FOR PROPOSED WORK.
5. TERMINATE NEW RAILING AT EXG STONE WALL WITH SAME DETAILING AS EXISTING. PATCH FORMER TOP RAIL TERMINATION LOCATION IN EXG STONE.

- MAINTAIN 1 1/2" HAND CLEARANCE BETWEEN HANDRAIL & DECORATIVE RAILING
- RAILING TERMINATION TO MATCH EXG
- 1 1/2" DIA. SSSL HANDRAIL W/ TOP & BOTTOM EXTENSIONS
- 1" x 1" POST TO MATCH EXG
- 5/8" x 5/8" PICKET TO MATCH EXG, TYP
- 1" x 5/8" BOTTOM RAIL TO MATCH EXG
- EXG CONC SITE PAVING
- GROUT POCKET
- 1 TREAD DEPTH EXTENSION
- EXG - VIF
- 6" SPHERE, MAX
- NEW RAILING POST INSTALLED IN LOCATION OF FORMER POST
- GROUT POCKET, TYP
- 3'-4" +/- EXG RAIL POST LOCATION TO EXG RAIL POST LOCATION
- GUARDRAIL 3'-6" AT TERRACE HIGH POINT (NORTH END)
- 4" O.C. MAX, TYP
- 2'-10" SSSL HANDRAIL
- 3'-0" STAIR DECORATIVE RAILING
- MOULDED TOP RAIL TO MATCH EXG
- 1'-0" EXTENSION
- U-SHAPE RETURN SSSL HANDRAIL TO TERMINATE INTO GUARDRAIL POST
- 4" O.C. MAX, TYP
- NEW POST & FORMER POST LOCATION
- NOTE: EXG TERRACE IS SLOPED TO SOUTH END, T.O. RAIL TO REMAIN LEVEL
- 3'-6" AT TERRACE HIGH POINT (WEST END)
- MOULDED TOP RAIL TO MATCH EXG
- 5/8" x 5/8" PICKET TO MATCH EXG
- 1" x 1" POST TO MATCH EXG
- 1" x 5/8" BOTTOM RAIL TO MATCH EXG
- 4" MAX
- 1" x 1" RAILING RECEIVING POST IN PITCH POCKET
- TERRACE PAVING
- TERRACE PAVING
- EXG CUT STONE STAIR TREADS
- EXG CONC SLAB - NOTE: SLOPE NOT SHOWN
- EXG SLOPE TO REMAIN
- 6 1/4" +/- VIF
- EXG CUT STONE SILL
- NEW DOOR & FRAME - SEE DOOR & FRAME DETAILS
- EXG STONE WALLS
- EXG OUT STONE STAIR TREADS TO BE REMOVED AND RESET LEVEL
- REPAIR EXG CONC STAIR SUBSTRATE AS REQUIRED FOR LEVEL TREAD INSTALLATION
- APPROX EXTENT OF EXG CONC SLAB
- EXG STONE WALL

**REVISIONS**

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PROJECT TITLE  
**WATER TOWER RECREATION  
CENTER EXTERIOR  
REHABILITATION**

DRAWING TITLE  
**DOOR SCHEDULE & DETAILS**

PROJECT NO.  
**16-19-4932-99**

DATE  
6.14.2024

SCALE  
AS NOTED

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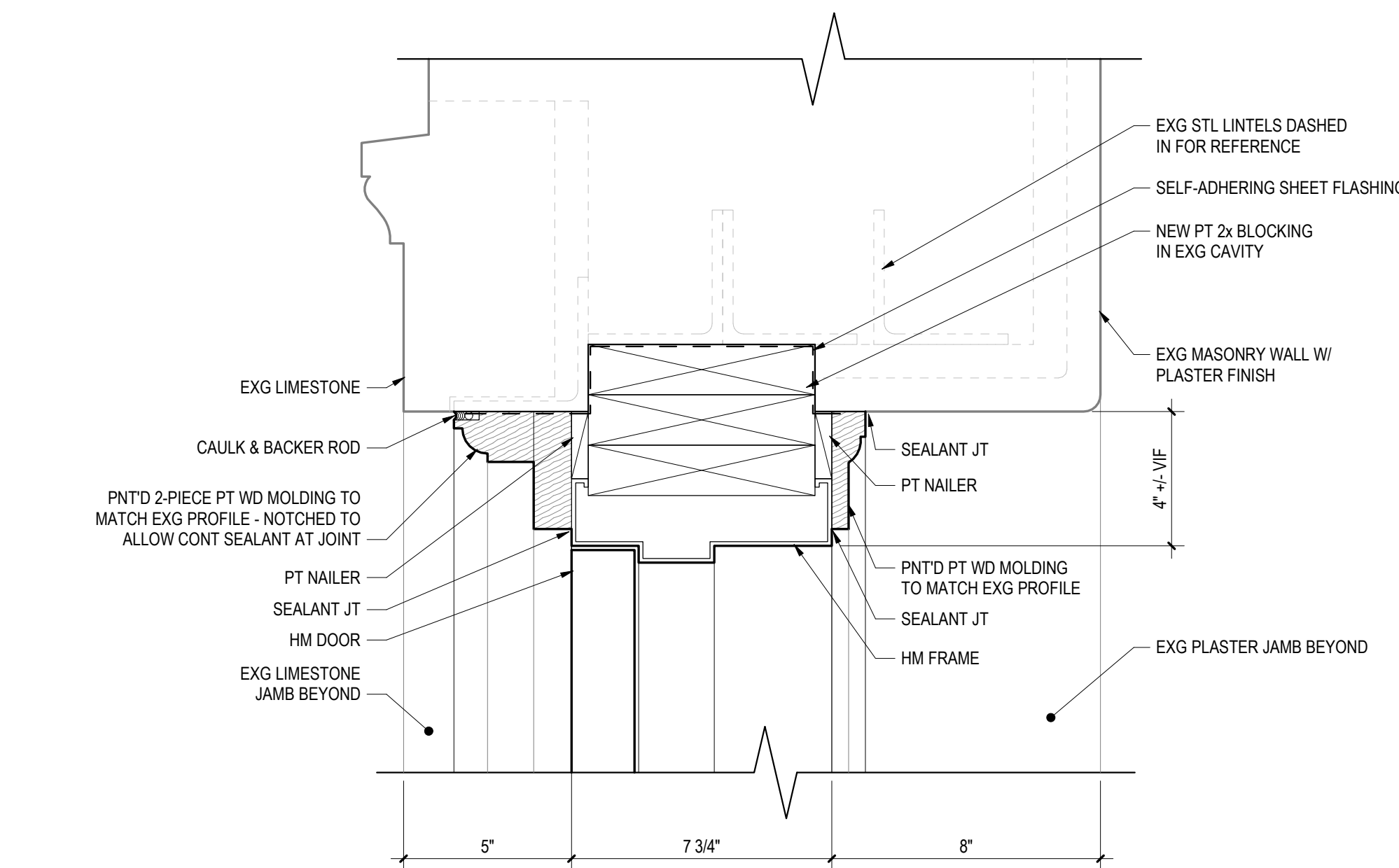
**A9.0**

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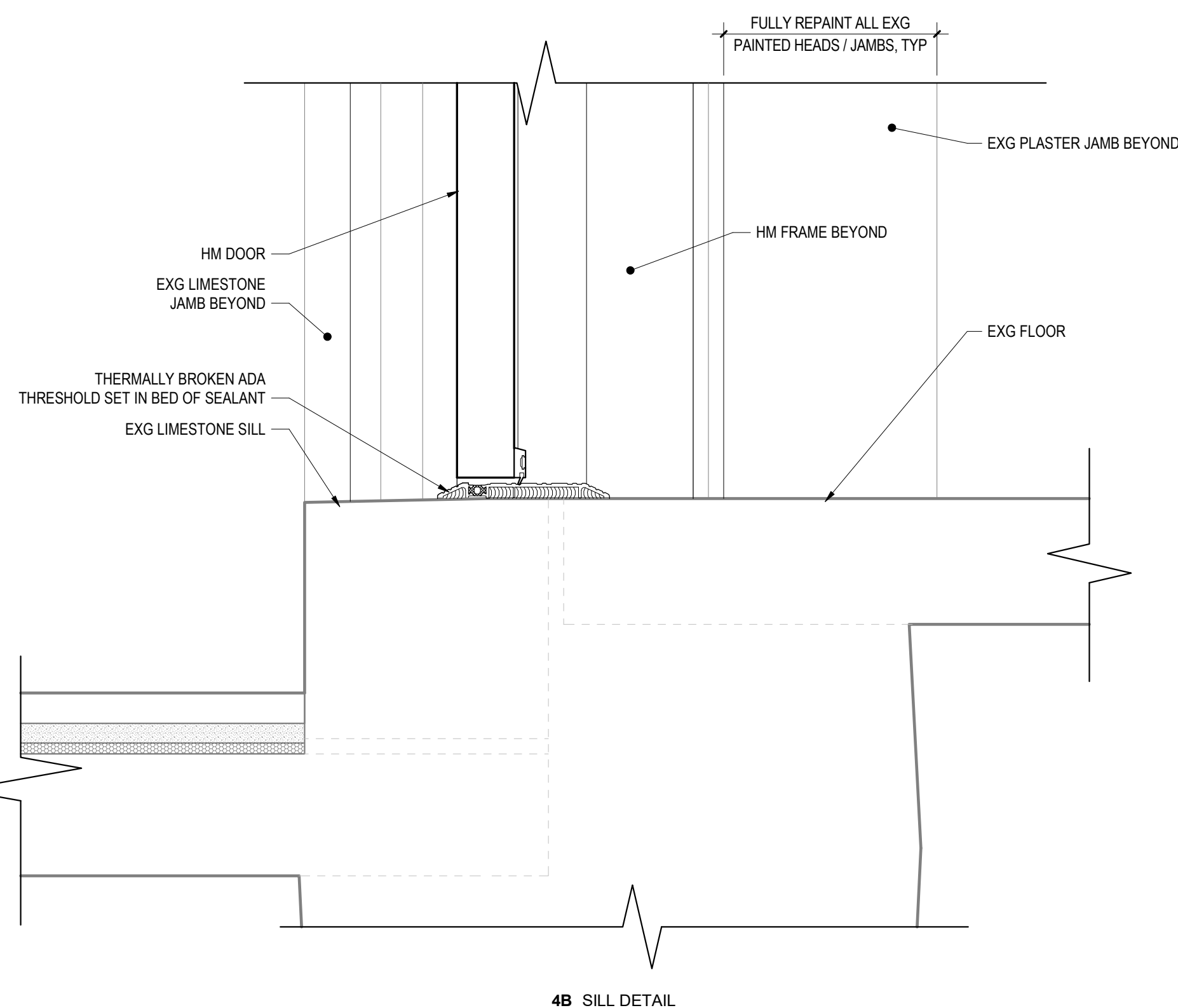
DOOR NO.	DOOR					FRAME			HARDWARE GROUP	NOTES
	TYPE	MAT	WIDTH	HEIGHT	FINISH	TYPE	MAT	FIN		
001	C	SSTL	6'-0"	7'-0"	FF	F2	SSTL	FF	04	
002	D	SSTL	3'-0"	7'-0"	FF	F2	SSTL	FF	05	
003	D	SSTL	3'-0"	7'-0"	FF	F3	SSTL	FF	02	MATCH HT OF EXISTING DOOR TO BE REMOVED.
004	D	SSTL	3'-0"	7'-0"	FF	F2	SSTL	FF	05	
005	D	SSTL	3'-0"	7'-0"	FF	F2	SSTL	FF	03	
006	D	SSTL	3'-0"	7'-0"	FF	F2	SSTL	FF	03	
101	A	HM	6'-0"	7'-6"	PNT	F1	HM	PNT	01	MATCH HT OF EXISTING DOOR TO BE REMOVED.
102	B	HM	3'-0"	7'-6"	PNT	F2	HM	PNT	03	
103	A	HM	6'-0"	7'-6"	PNT	F2	HM	PNT	06	
104	B	HM	3'-0"	7'-6"	PNT	F2	HM	PNT	03	
105	D	SSTL	3'-0"	7'-0"	FF	F2	SSTL	FF	03	
106	D	SSTL	3'-0"	7'-0"	FF	F2	SSTL	FF	03	
107	C	SSTL	6'-0"	7'-0"	FF	F2	SSTL	FF	06	
201	D	SSTL	3'-0"	7'-6"	FF	F3	SSTL	FF	03	MATCH HT OF EXISTING DOOR TO BE REMOVED.

**NOTES:**

- ALL EXISTING MASONRY OPENINGS TO BE VERIFIED IN FIELD. DOOR HEIGHTS & WIDTHS APPROXIMATE ONLY.
- AT ALL REPLACED DOORS WITH EXISTING PAINTED INTERIOR CONDITION, REPAINT FULL EXTENT OF EXISTING DOOR JAMB, INCLUDING SIDE RETURNS AND HEAD, AFTER NEW DOOR INSTALLATION. EXTEND NEW PAINT TO BLEND WITH EXISTING WALL FINISHES AS REQUIRED. MATCH EXISTING ADJACENT FINISH.

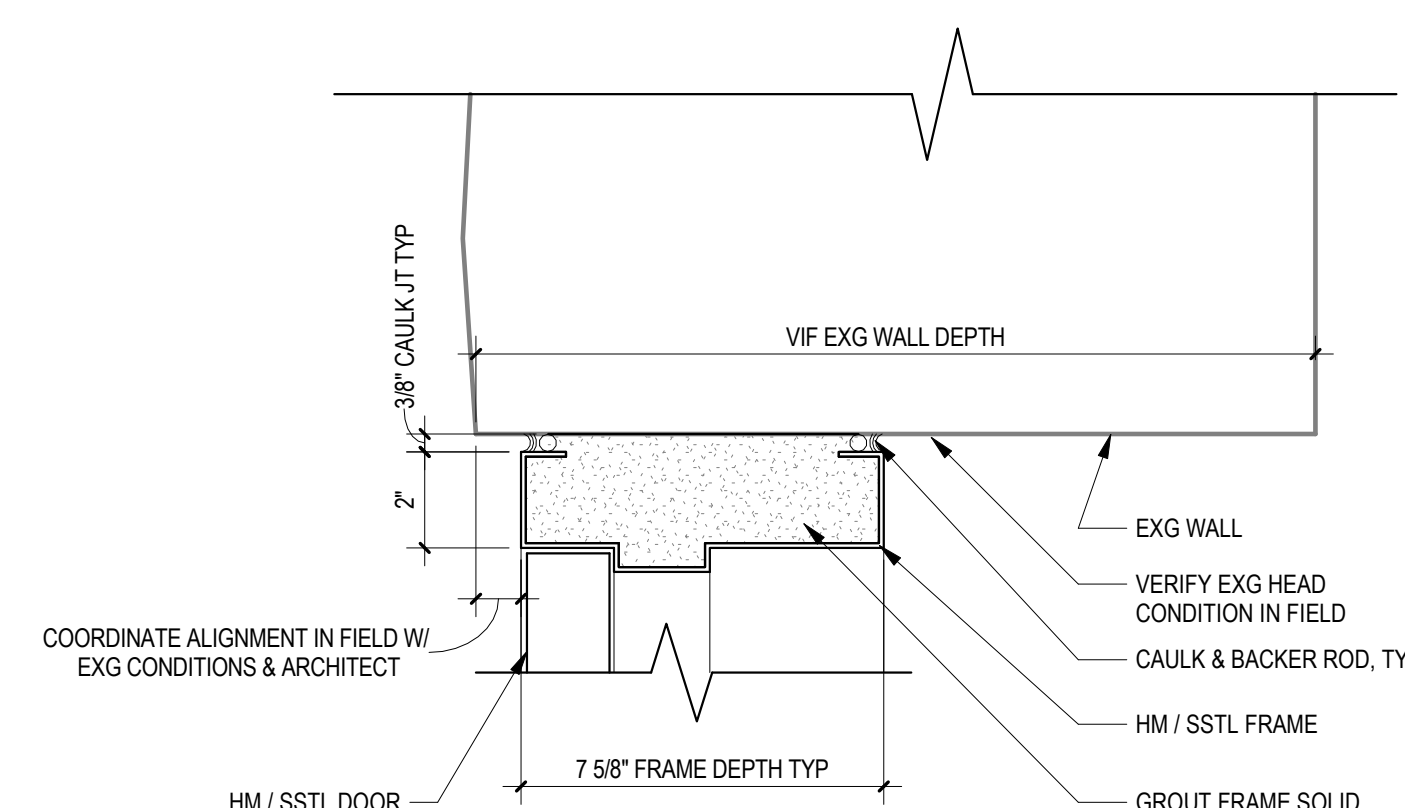


**4A HEAD DETAIL  
(JAMB SIMILAR)**

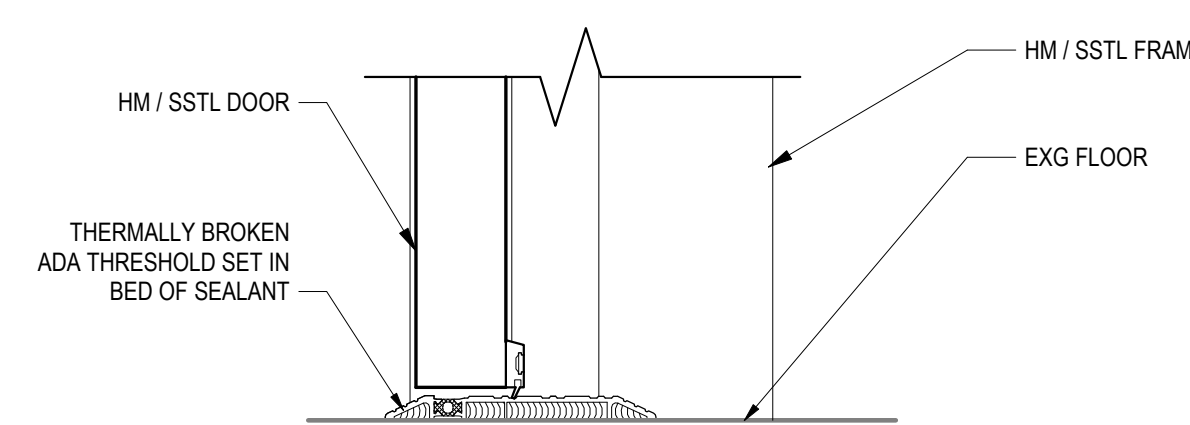


**4B SILL DETAIL**

**5 WEST TERRACE DOOR FRAME DETAILS  
A9.0 3" = 1'-0"**



**3A HEAD DETAIL  
(JAMB SIMILAR)**



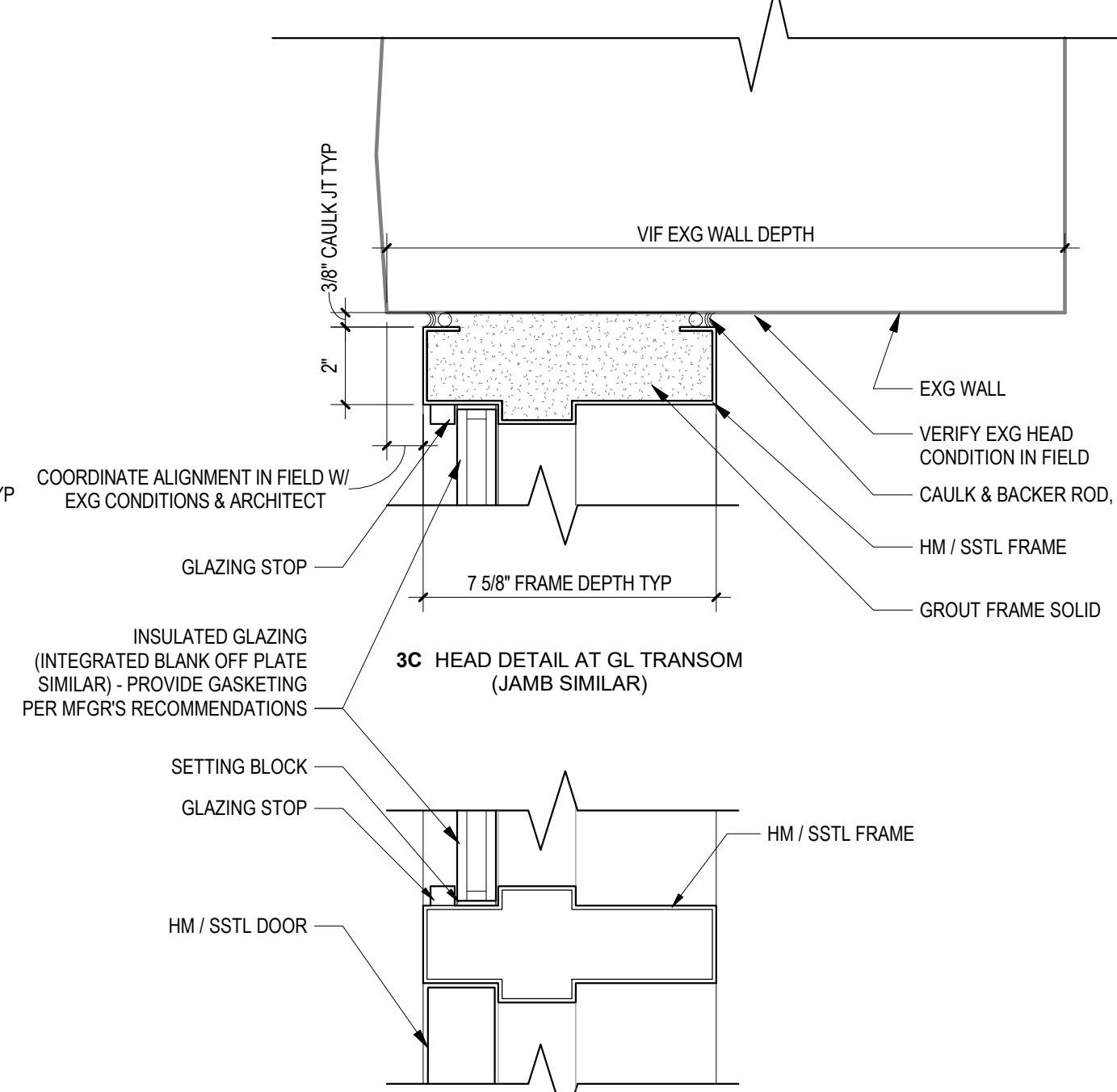
**3B SILL DETAIL**

**4 TYPICAL DOOR FRAME DETAILS  
A9.0 3" = 1'-0"**

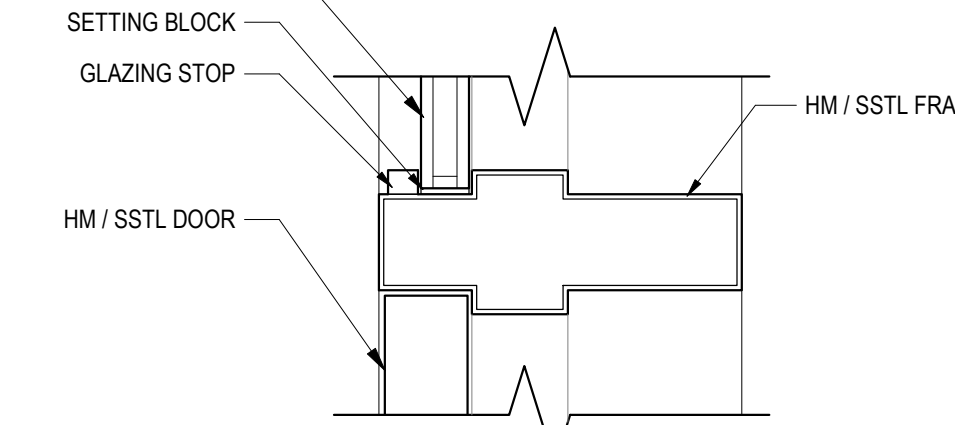
**GLAZING TYPES**

TYPE GL-A: 1/8" IMPACT RESISTANT RESISTANT, LOW-E COATED, INSULATED GLAZING UNIT AS SUPPLIED BY WINDOW MANUFACTURER.

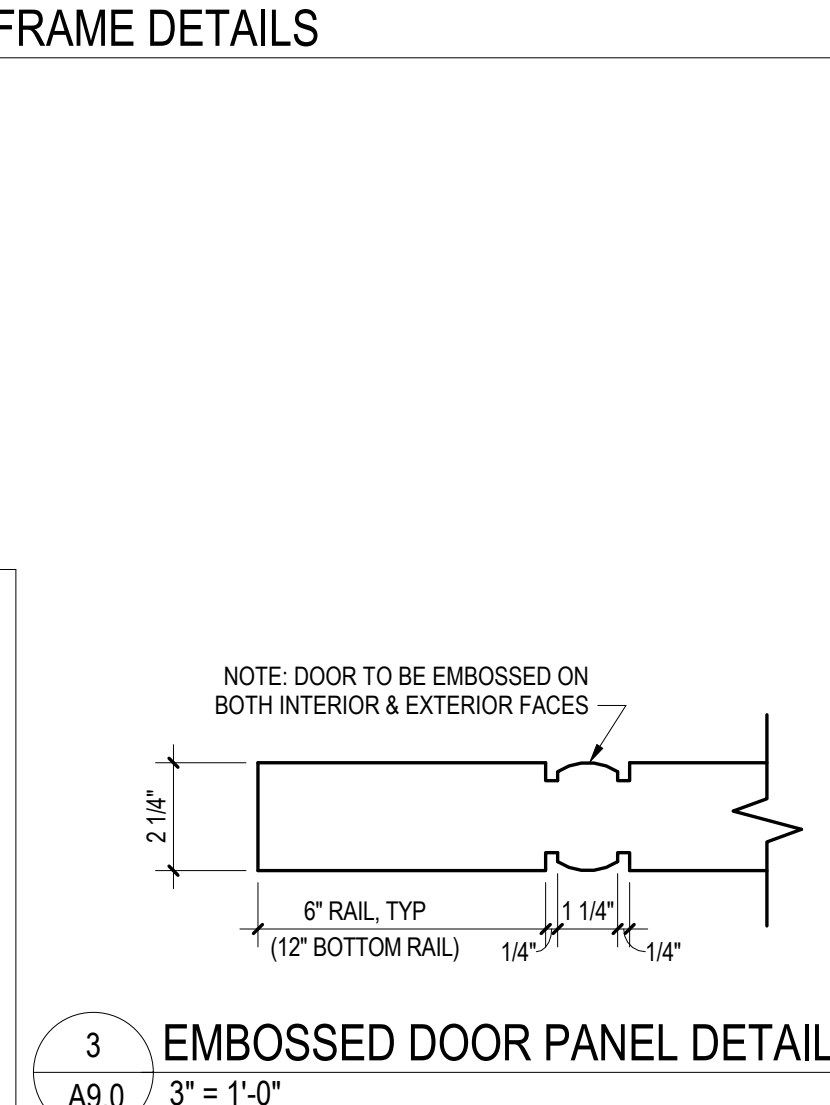
TYPE GL-B: 1/8" IMPACT RESISTANT, LOW-E COATED, INSULATED GLAZING UNIT FOR USE IN TRANSOM FRAMES.



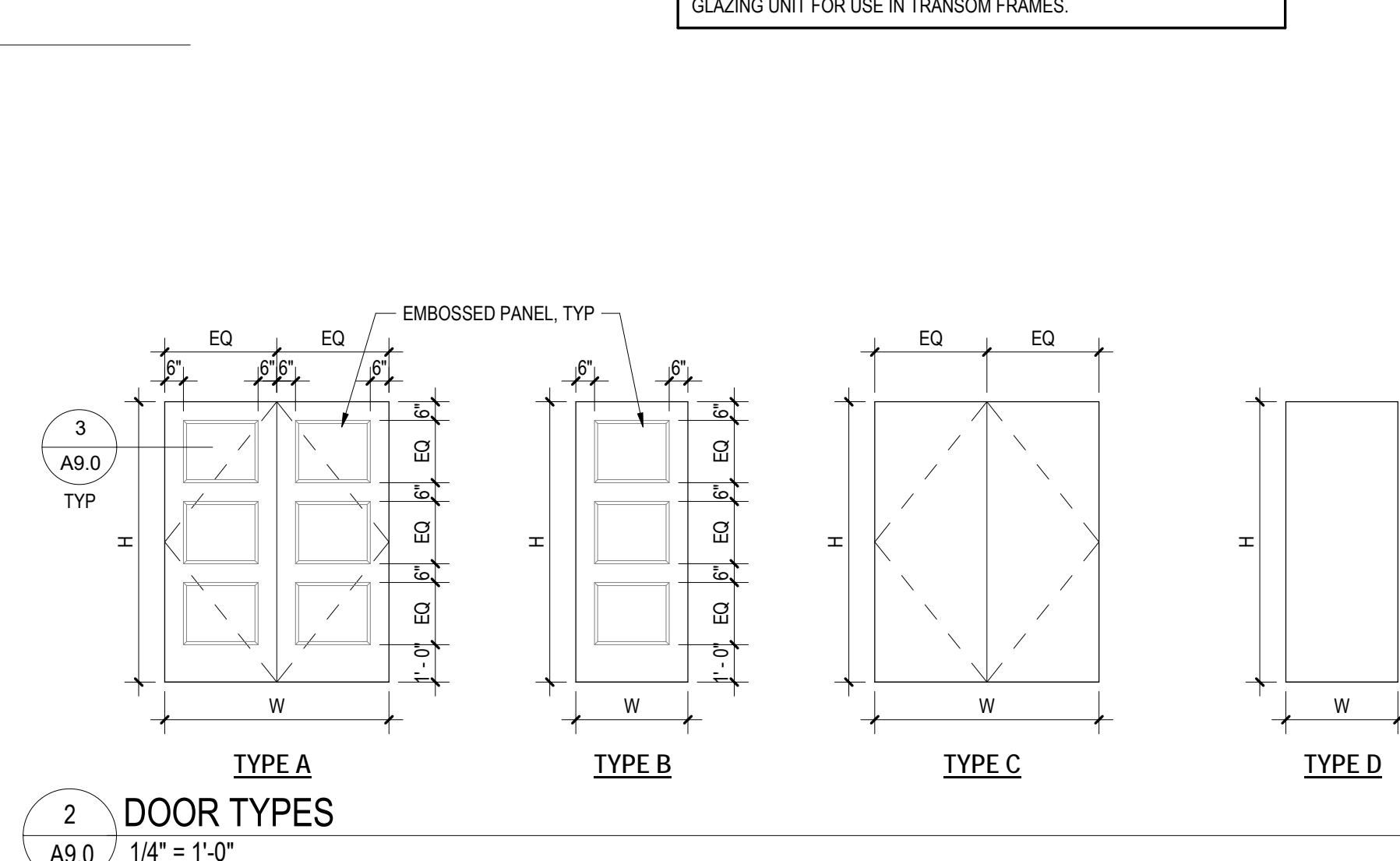
**3C HEAD DETAIL AT GL TRANSOM  
(JAMB SIMILAR)**



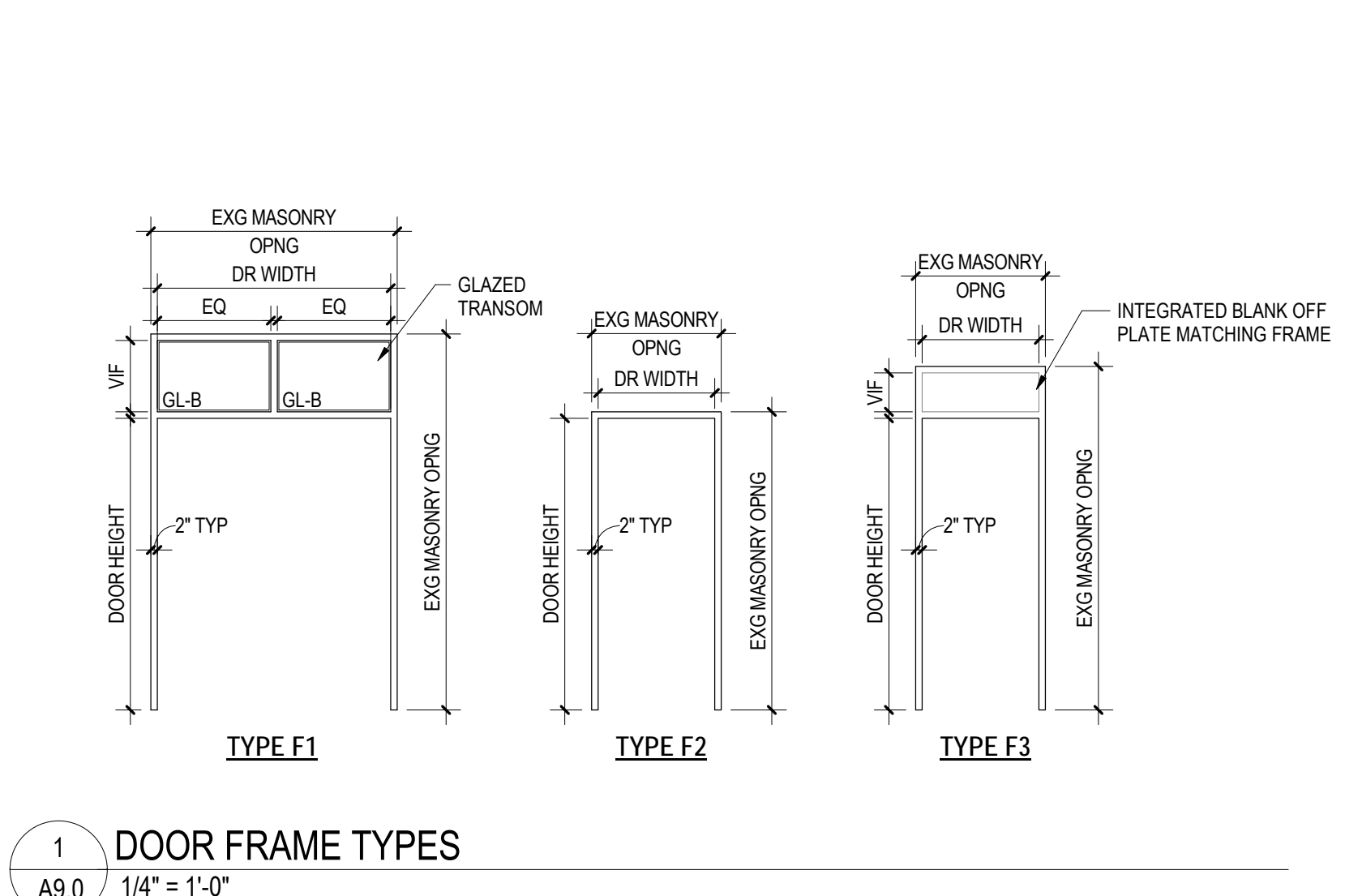
**3D DR HEAD DETAIL AT GL TRANSOM  
(JAMB SIMILAR)**



**3 EMBOSSED DOOR PANEL DETAIL  
A9.0 3" = 1'-0"**

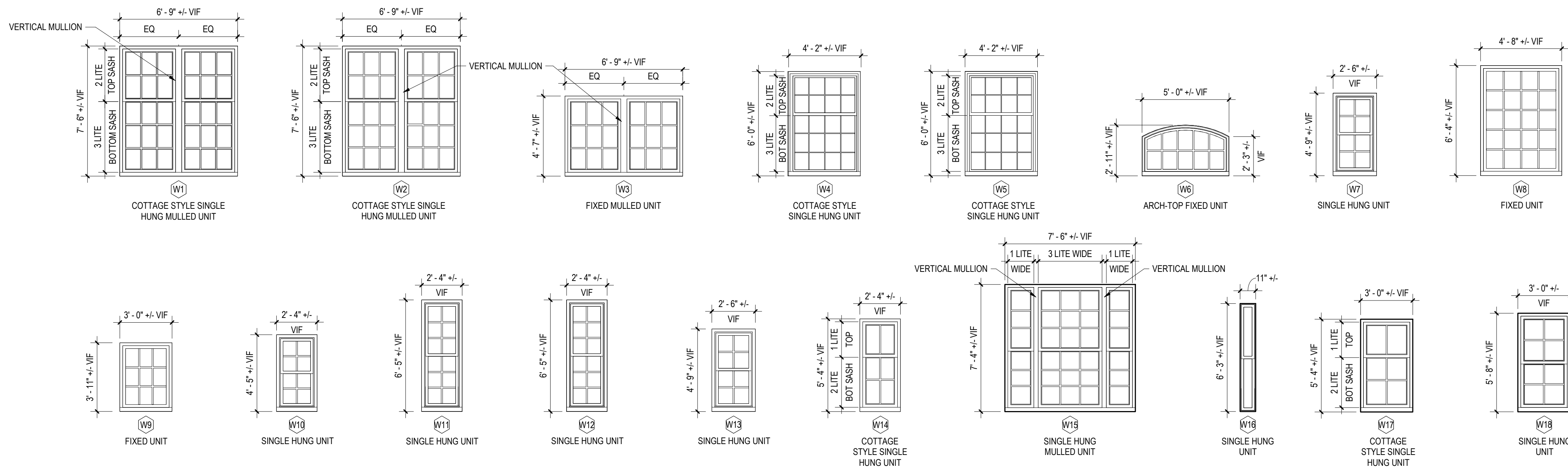


**2 DOOR TYPES  
A9.0 1/4" = 1'-0"**



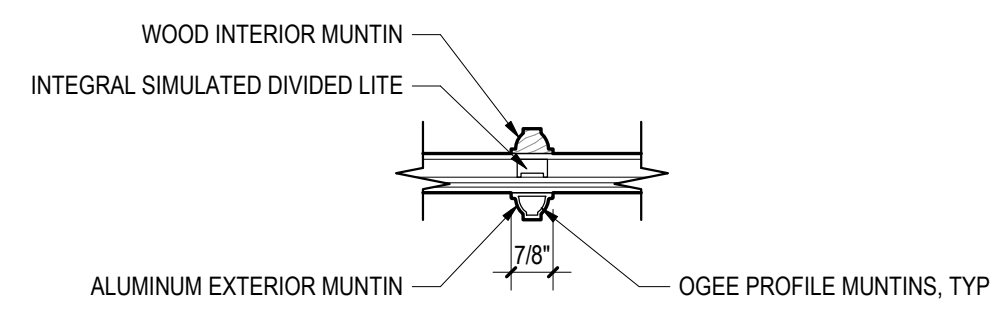
**1 DOOR FRAME TYPES  
A9.0 1/4" = 1'-0"**



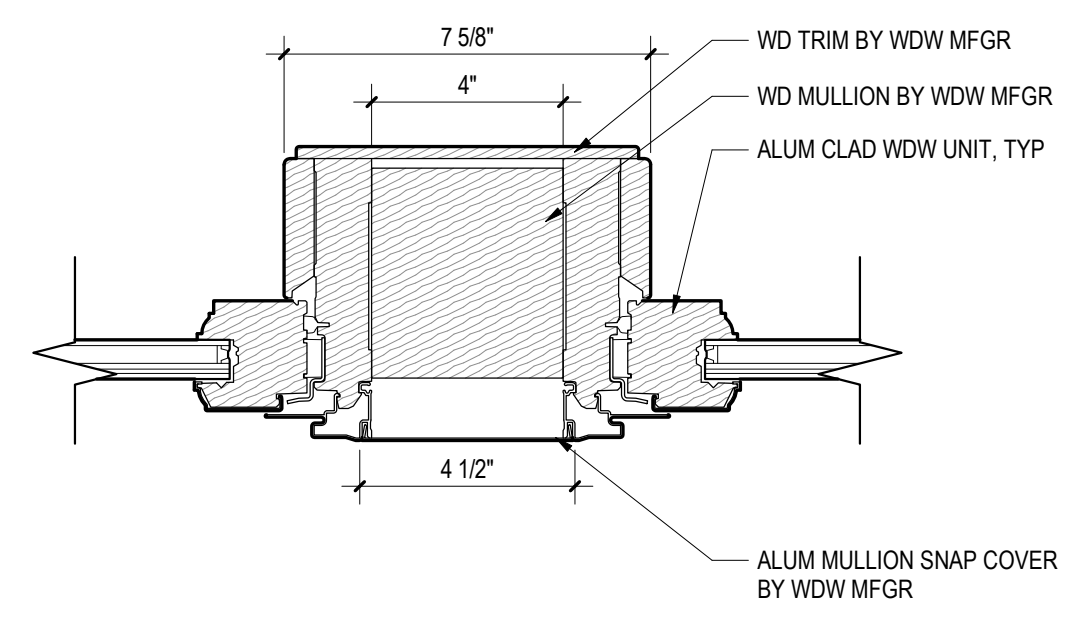


**4 WINDOW TYPE LEGEND**  
A9.1 1/4" = 1'-0"  
ALL WINDOWS TO HAVE GLAZING TYPE GL-A.

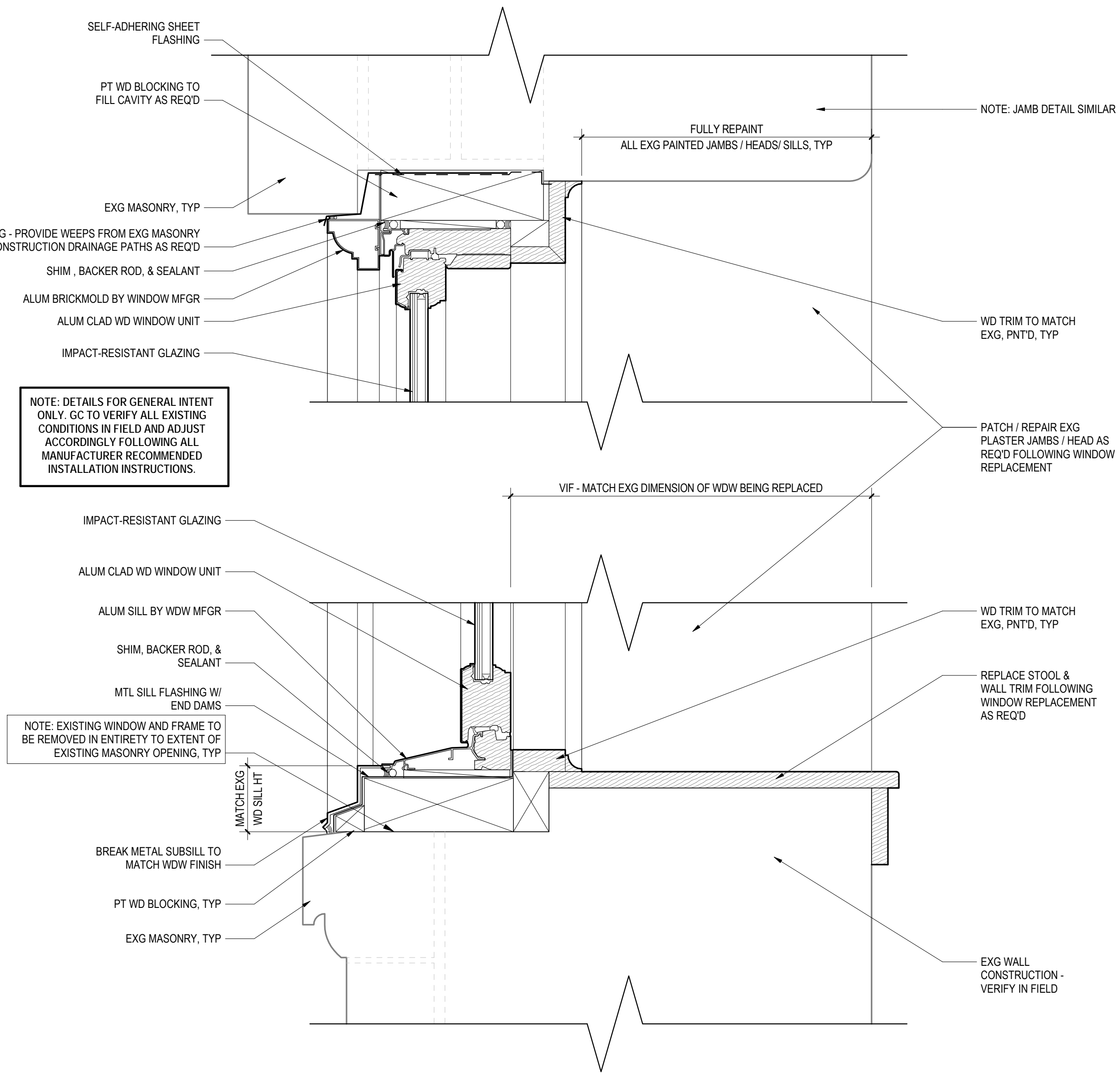
**GLAZING TYPES**  
TYPE GL-A: 1/8" IMPACT RESISTANT RESISTANT, LOW-E COATED, INSULATED GLAZING UNIT AS SUPPLIED BY WINDOW MANUFACTURER.  
TYPE GL-B: 1/8" IMPACT RESISTANT, LOW-E COATED, INSULATED GLAZING UNIT FOR USE IN TRANSOM FRAMES.



**3 TYPICAL WINDOW GRILLE DETAIL**  
A9.1 3" = 1'-0"



**2 TYPICAL WINDOW MULLION**  
A9.1 3" = 1'-0"



**1 TYPICAL WINDOW HEAD & SILL**  
A9.1 3" = 1'-0"

- GENERAL WINDOW NOTES:**
- ALL WINDOW DIMENSIONS INDICATED ARE APPROXIMATE ONLY. CONTRACTOR RESPONSIBLE TO BECOME FULLY FAMILIAR WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO, FULLY VERIFYING ALL DIMENSIONS AND CONDITIONS OF WINDOW REPLACEMENT SCOPE IN PREPARATION OF SUBMISSION OF BID.
  - PROVIDE ALL ACCESSORIES AS REQUIRED FOR A COMPLETE WINDOW INSTALLATION, INCLUDING FLASHING, FRAMES, SUBSILLS, BRICKMOLDS, WATERPROOFING, JAMB FILLERS, AND RECEPTORS AS REQUIRED.
  - ALL WINDOW REPLACEMENT TO INCLUDE ENTIRETY OF FRAME, INTERMEDIATE MULLS, SUBSILLS, SILLS, STOOLS, AND INTERIOR TRIM TO EXTENT OF EXISTING MASONRY OPENING.
  - CONTRACTOR TO VERIFY IN FIELD CONDITION AND CONFIGURATION OF EXISTING MASONRY OPENING AND IN-WALL CONSTRUCTION.
  - CONTRACTOR TO PROVIDE NEW FRAMING, BLOCKING, AND/OR MASONRY INFILL IN-WALL AS REQUIRED TO PROVIDE SUITABLE SUBSTRATE FOR WINDOW INSTALLATION.
  - CONTRACTOR TO PROVIDE NEW WOOD STOOLS AND INTERIOR TRIM AS REQUIRED AT WINDOW INSTALLATIONS. INTERIOR STOOLS AND TRIM TO BE PRIMED AND PAINTED.
  - AT ALL REPLACED WINDOWS WITH EXISTING PAINTED INTERIOR CONDITION, REPAIR FULL EXTENT OF EXISTING WINDOW JAMB, INCLUDING SIDE RETURNS, HEAD, SILL, STOOL/TRIM AFTER NEW WINDOW INSTALLATION. EXTEND NEW PAINT TO BLEND WITH EXISTING WALL FINISHES AS REQUIRED. MATCH EXISTING ADJACENT FINISH.
  - WINDOWS ARE TO BE OF STYLE, INCLUDING LITE CONFIGURATION, SHAPE, MULL-CONFIGURATION, AND OPERATION, AS INDICATED IN THE WINDOW TYPE LEGEND.
    - "FIXED" REFERS TO NON-OPERABLE UNITS.
      - BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES - TRADITIONAL, ALUMINUM CLAD WOOD CASEMENT WINDOW INSTALLED FIXED.
    - "SINGLE HUNG" REFERS TO UNITS WITH OPERABLE BOTTOM SASH, FIXED TOP SASH. TOP AND BOTTOM SASH TO BE EQUAL HEIGHT UNLESS INDICATED AS "COTTAGE STYLE" - SEE BELOW.
      - BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES - TRADITIONAL, ALUMINUM CLAD SINGLE HUNG WINDOW.
    - "MULLIED" REFERS TO FACTORY JOINED UNITS.
      - MULLION BASIS-OF-DESIGN PELLA MULLION TYPE "J", 4" x 4-3/8" WOOD WITH ALUMINUM CLADDING TO MATCH ADJACENT WINDOW UNITS.
    - "COTTAGE STYLE" REFERS TO UN-EQUAL TOP-BOTTOM SASH LITE CONFIGURATION AS INDICATED.
      - BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES - TRADITIONAL, ALUMINUM CLAD SINGLE HUNG WINDOW.
    - "ARCH-TOP" REFERS TO UNITS WITH ARCHED TOP. FIELD VERIFY EXISTING MASONRY OPENING AND PROVIDE UNIT TO COMPLETELY FILL EXISTING OPENING. SQUARING OFF OF WINDOW AND/OR GLAZING IN OPENING NOT ACCEPTABLE.
      - BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES - TRADITIONAL, ALUMINUM CLAD WOOD CASEMENT WINDOW INSTALLED FIXED.
  - PROVIDE ALL NEW OPERABLE WINDOWS WITH MANUFACTURER STANDARD INSECT SCREENS.
  - EQUALLY SPACE MUNTINS IN HEIGHT / WIDTH AS INDICATED IN WINDOW TYPE LEGEND.
  - WINDOWS, MULLIONS, FRAME, BRICKMOLD, SUBSILL AND ACCESSORIES ARE TO BE PROVIDED BY SINGLE WINDOW MANUFACTURER UTILIZING ESTABLISHED MANUFACTURER DETAILS. DETAILS TO BE FULLY REVIEWED IN SHOP DRAWINGS.
  - WINDOW DETAILS INDICATED ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS. CONTRACTOR TO COORDINATE EXISTING CONDITIONS WITH ESTABLISHED MANUFACTURER DETAILS. DETAILS TO BE FULLY REVIEWED IN SHOP DRAWINGS.
  - WINDOW DETAIL PROFILES, INCLUDING BRICK-MOLD AND SILL, ARE DEPICTED FOR REFERENCE ONLY. FINAL PROFILES ARE TO BE SELECTED FROM MANUFACTURER'S RANGE TO MOST CLOSELY MATCH EXISTING WOOD WINDOWS BEING REPLACED. DETAILS TO BE FULLY REVIEWED IN SHOP DRAWINGS.
  - WINDOWS INDICATED TO BE REPAIRED / REPAINTED IN THE WINDOW ALTERNATE MATRIX ARE TO BE FULLY SANDED, PRIMED, AND PAINTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS. REPAIRS TO WINDOWS INCLUDE, BUT ARE NOT LIMITED TO, REPAIR OF DETERIORATED AND DAMAGED WOOD, REBALANCING OF SASHES, REPLACEMENT OF MISSING OR DAMAGED HARDWARE, REPLACEMENT OF MISSING OR DAMAGED GLAZED LITES, SCRAPING AND RECALCULING OF EXISTING JOINTS, AND SCRAPING AND REGLAZING OF EXISTING PUTTY AT GLAZED LITES.
  - WINDOWS INDICATED TO BE REPAIRED / REPAINTED IN THE WINDOW ALTERNATE MATRIX ARE TO BE REPAIRED TO A STATE OF FULLY FUNCTIONING, SMOOTHLY OPERATING, AND FULLY WEATHERTIGHT. REPAIRS ARE TO BE REVIEWED AND APPROVED TO THE SATISFACTION OF THE PROJECT ARCHITECT AND OWNER IN LINE WITH TYPICAL RESTORATION WORK.

Mark	QTY	WINDOW ALTERNATE MATRIX			
		BASE BID	ALTERNATE #1 - WINDOW PACKAGE I	ALTERNATE #2 - WINDOW PACKAGE II	REPAIR / REPLACE ONLY
W1	10		•	•	•
W2	10		•	•	•
W3	1		•	•	•
W4	10		•	•	•
W5	2	•	•	•	•
W6	9	•	•	•	•
W7	2	•	•	•	•
W8	2	•	•	•	•
W9	2	•	•	•	•
W10	2	•	•	•	•
W11	3	•	•	•	•
W12	1	•	•	•	•
W13	2	•	•	•	•
W14	3	•	•	•	•
W15	2	•	•	•	•
W16	2	•	•	•	•
W17	3	•	•	•	•
W18	4	•	•	•	•

- WINDOW ALTERNATE MATRIX NOTES:**
- CONTRACTOR TO PRICE EACH WINDOW PACKAGE SEPARATELY AND INDICATE IN BID AS FOLLOWS:
    - BASE BID PACKAGE INCLUDED AS PART OF THE BASE BID. BASE BID PACKAGE DESCRIPTION AS FOLLOWS:
      - REPLACEMENT OF SELECTED WOOD WINDOWS. REPAIR / REPAINTING OF SELECTED WOOD WINDOWS. EXISTING ALUMINUM WINDOWS AND EXISTING ALUMINUM CLAD WOOD WINDOWS TO REMAIN.
    - ALTERNATE #1 - WINDOW PACKAGE I LISTED AS AN ADD ALTERNATE OVER THE BASE BID. WINDOW PACKAGE I DESCRIPTION AS FOLLOWS:
      - REPLACEMENT OF SELECTED WOOD WINDOWS. REPAIR / REPAINTING OF SELECTED WOOD WINDOWS. REPLACEMENT OF ALL ALUMINUM WINDOWS AND ALL ALUMINUM CLAD WOOD WINDOWS.
    - ALTERNATE #2 - WINDOW PACKAGE II LISTED AS AN ADD ALTERNATE OVER THE BASE BID. WINDOW PACKAGE II DESCRIPTION AS FOLLOWS:
      - REPLACEMENT OF ALL WOOD, ALUMINUM, AND ALUMINUM CLAD WOOD WINDOWS.

**REVISIONS**

ISSUE	DATE	REVISIONS

**BID SET SUBMISSION**

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11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION**

DRAWING TITLE  
**WINDOW SCHEDULE & DETAILS**

PROJECT NO. <b>16-19-4932-99</b>	DRAWING NO. <b>A9.1</b>
DATE 6.14.2024	
SCALE AS NOTED	
DRAWN BY AB	
CHECKED BY TW	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**GENERAL NOTES:**

1. REFER TO DRAWING E0.0 FOR ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. CONTRACTOR SHALL UPDATE ALL PANELBOARD CIRCUIT DIRECTORIES UPON COMPLETION OF DEMOLITION.
3. SCOPE OF WORK FOR ELECTRICAL: EXTERIOR LIGHTING FIXTURES SHALL BE REPLACED ON A ONE FOR ONE BASIS, UNLESS OTHERWISE NOTED. EXISTING EXPOSED CONDUIT AND WIRING ON THE EXTERIOR OF THE BUILDING SHALL BE COMPLETELY REMOVED. CONTRACTOR SHALL PENETRATE EXTERIOR WALL BEHIND FIXTURE AND PROVIDE NEW CONDUIT AND WIRING ON THE INTERIOR OF THE BUILDING (ROUTE TO NEAREST EXISTING EXTERIOR LIGHTING JUNCTION BOX WHERE POSSIBLE). EXISTING MOUNTING LOCATIONS AND BACK BOXES SHALL BE REUSED FOR ALL FIXTURES. ANY DAMAGED BACK BOXES, JUNCTION BOXES, OR SUPPORTS SHALL BE REPLACED. WHERE FIXTURE DOESN'T CURRENTLY HAVE A BACK BOX, CONTRACTOR SHALL INSTALL NEW ONE FOR MOUNTING OF NEW FIXTURES AND TO ALLOW FOR ROUTING OF CONDUIT AND WIRING FROM BACK OF FIXTURE THROUGH INTERIOR OF BUILDING TO NEAREST EXTERIOR LIGHTING JUNCTION BOX / CIRCUIT.

**KEYED NOTES:**

- 1 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE. EXISTING WIRING AND CONDUIT WHERE ROUTED INTERIOR TO THE BUILDING SHALL REMAIN. CONTRACTOR SHALL VERIFY THE INTEGRITY AND CONDITION OF THE EXISTING WIRING AND CONDUIT FROM FIXTURE TO PANELBOARD AND REPLACE AS NECESSARY.
- 2 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE, LIGHT CONTROLS, CABLES AND CONDUIT BACK TO THE SOURCE PANEL.
- 3 LOCATION WHERE EXISTING LIGHTING FIXTURE HAS BEEN REMOVED SHALL BE PATCHED AND PAINTED TO MATCH THE SURROUNDING AREA.
- 4 REMOVE EXTERIOR EXPOSED CONDUIT, WIRING SHALL BE PULLED BACK TO AN INTERIOR JUNCTION BOX.
- 5 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE. EXISTING WIRING AND CONDUIT WHERE ROUTED INTERIOR TO THE BUILDING AND MOUNTING POLE SHALL REMAIN.

REVISIONS		
ISSUE	DATE	REVISIONS



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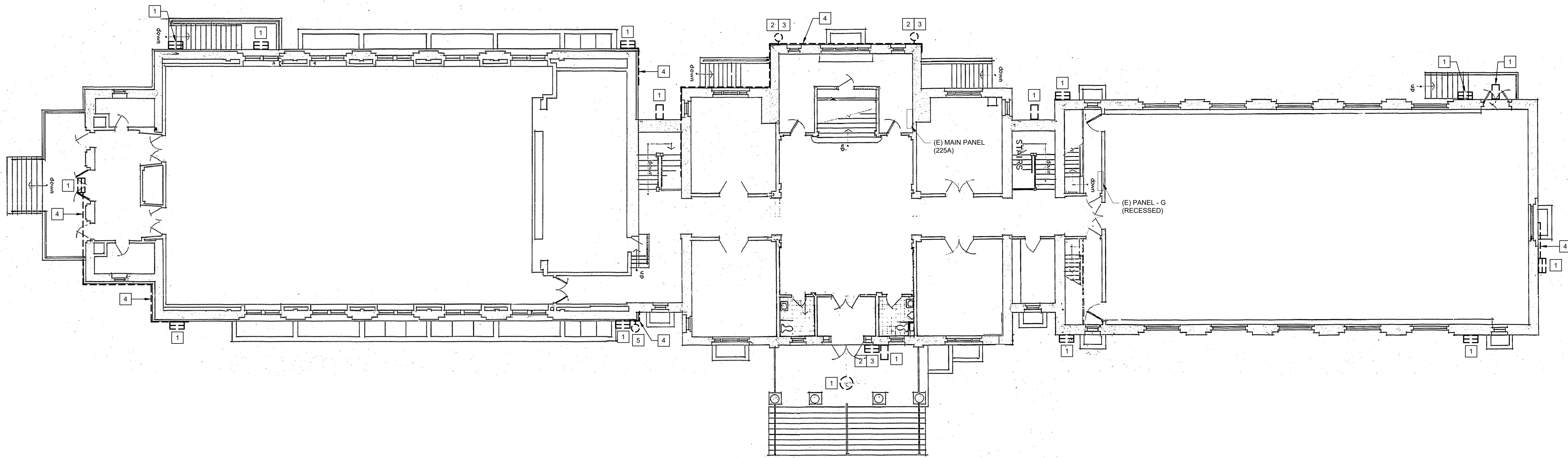
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DEPARTMENT OF PARKS & RECREATION  
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11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**WATER TOWER RECREATION  
CENTER EXTERIOR  
REHABILITATION**

DRAWING TITLE  
**ELECTRICAL LIGHTING PLAN - DEMOLITION**

PROJECT NO. <b>16-19-4932-99</b>	DRAWING NO. <b>ED1.0</b>
DATE 6.14.2024	
SCALE AS NOTED	
DRAWN BY SR	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**1** ELECTRICAL LIGHTING PLAN - DEMOLITION  
ED1.0 Scale: 1" = 10'-0"

LED LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NO.	MOUNTING	WATTS	VOLTS
"A"	TWR LED WALL PACK, 4000K COLOR TEMPERATURE, 8500 LUMENS	LITHONIA	TWR1-LED-ALO-SWW2-UVOLT-PE-DBTDX	SURFACE MOUNTED	59	120
"Ae"	TWR LED WALL PACK, 4000K COLOR TEMPERATURE, 8500 LUMENS with EMERGENCY BATTERY PACK	LITHONIA	TWR1-LED-ALO-SWW2-UVOLT-PE-DBTDX	SURFACE MOUNTED	59	120
"Be"	AFF EMERGENCY LIGHT WITH BATTERY PACK	LITHONIA	AFF-PEL-DBTDX-UVOLT-LTP-SDRT-WT	SURFACE MOUNTED	20	120
"C"	TFX2 LED FLOODLIGHT, 4000K COLOR TEMPERATURE, 13200 LUMENS	LITHONIA	TFX2-LED-40K-MVOLT-YK-DBDX	SURFACE/POLE MOUNTED	94	120
"D"	CASSIA PENDANT FIXTURE, IP65 RATED, 14" DIAMETER, 36" LENGTH, MATTE WHITE ACRYLIC DIFFUSER, 3500K COLOR TEMPERATURE, LUMEN OUTPUT 6400 LUMENS.	CAMMAN	P710-36-LN-35K-CLV-MV-WM-STBD-ST-OAH108	PENDANT	70	MVOLT
"E"	LED FLOODLIGHT, 4000K, ADJUSTABLE AIMING, 14,000 LUMENS	LITHONIA	ESXF3-ALO-14000L-SWW2-4000K-YS-DBB	SURFACE MOUNTED	LITHONIA	120

**GENERAL NOTES:**

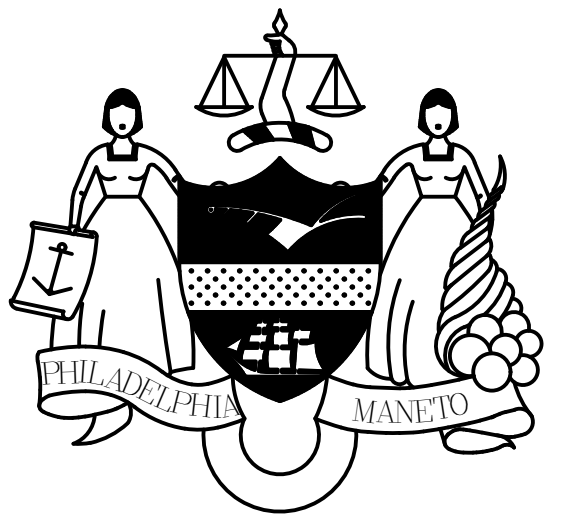
- REFER TO DRAWING E0.0 FOR ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATIONS AND MOUNTING HEIGHT FOR ALL THE EXTERIOR LIGHT FIXTURES.
- SCOPE OF WORK FOR ELECTRICAL: EXTERIOR LIGHTING FIXTURES SHALL BE REPLACED ON A ONE FOR ONE BASIS, UNLESS OTHERWISE NOTED. EXISTING EXPOSED CONDUIT AND WIRING ON THE EXTERIOR OF THE BUILDING SHALL BE COMPLETELY REMOVED. CONTRACTOR SHALL PENETRATE EXTERIOR WALL BEHIND FIXTURE AND PROVIDE NEW CONDUIT AND WIRING ON THE INTERIOR OF THE BUILDING (ROUTE TO NEAREST EXISTING JUNCTION BOX WHERE POSSIBLE). EXISTING MOUNTING LOCATIONS AND BACK BOXES SHALL BE REUSED FOR ALL FIXTURES. ANY DAMAGED BACK BOXES, JUNCTION BOXES, OR SUPPORTS SHALL BE REPLACED. WHERE FIXTURE DOESN'T CURRENTLY HAVE A BACK BOX, CONTRACTOR SHALL INSTALL NEW ONE FOR MOUNTING OF NEW FIXTURES AND TO ALLOW FOR ROUTING OF CONDUIT AND WIRING FROM BACK OF FIXTURE THROUGH INTERIOR OF BUILDING TO NEAREST EXTERIOR LIGHTING JUNCTION BOX / CIRCUIT.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING LIGHTING FIXTURES AND RELATED CONDUIT RUNS. NEW INTERIOR CONDUIT RUNS SHALL BE COORDINATED WITH ARCHITECT AND ENGINEER.
- FOR UPDATED CONDUIT ROUTING, PROVIDE SPLICES AND EXTEND CIRCUITS FOR NEW LIGHTS AS REQUIRED FOR WIRING WHICH IS PULLED BACK FROM INTERIOR JUNCTION BOX.

**KEY NOTES: (#)**

- COORDINATE AIMING OF LIGHT FIXTURE, SUCH THAT IT IS PROPERLY ILLUMINATING THE FLAG.
- MOUNT FLOOD LIGHTS IN THE ROUND STUCCO DEPRESSIONS (ABOVE EXISTING TO BE DEMOLISHED FLOOD LIGHT LOCATION). COORDINATE WITH ARCHITECT. COORDINATE AIMING IN THE FIELD.
- PROVIDE SWITCH FOR EXTERIOR FLOOD LIGHTS WITH TAMPER PROOF COVER AND SIGNAGE AS TO WHAT SWITCH CONTROLS. COORDINATE EXACT INTERIOR LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- APPROXIMATE LOCATION OF EXISTING PANELBOARD 'C' LOCATED ON THE BASEMENT LEVEL. PROVIDE NEW CIRCUIT BREAKER TO FEED NEW LIGHTING, 1P-20A (CIRCUIT 28). PROVIDE 2#10 AND 1#10G FROM PANELBOARD TO EACH FIXTURE.
- ROUTE 1/2" EMT CONDUIT FROM PANEL TO SWITCH AND FROM SWITCH TO FIXTURES. COORDINATE INTERIOR ROUTING WITH ARCHITECT PRIOR TO ROUGH-IN.
- COORDINATE BOTTOM OF FIXTURE HEIGHT AND STEM LENGTH OF FIXTURE WITH ARCHITECT PRIOR TO SUBMITTING AND ORDERING FIXTURE.

**REVISIONS**

ISSUE	DATE	REVISIONS



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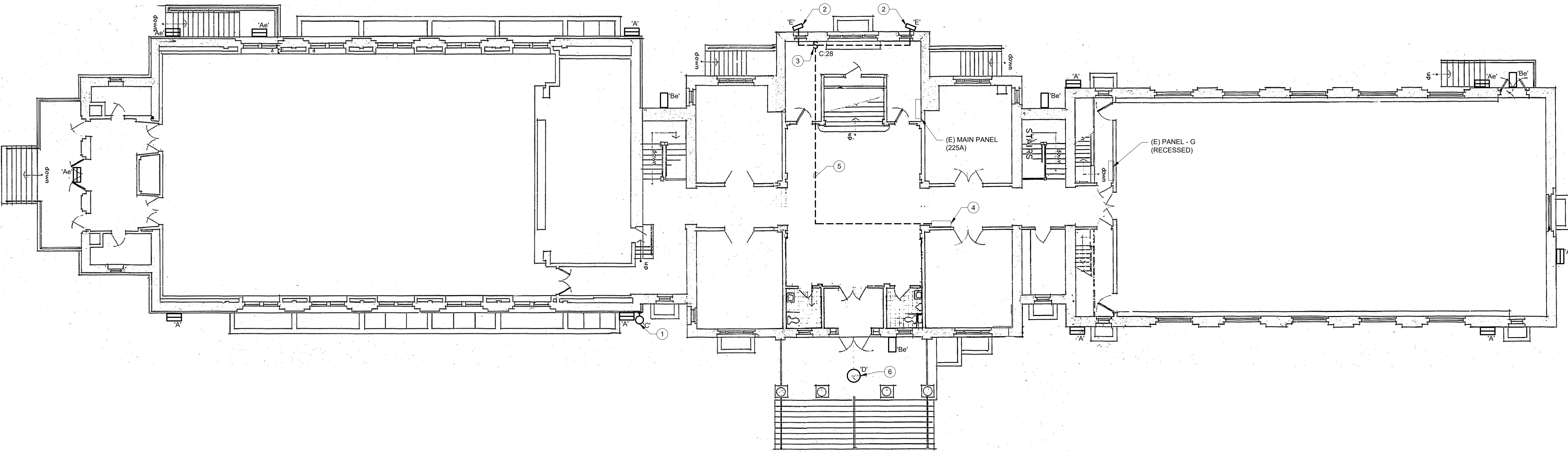
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PROJECT TITLE  
**WATER TOWER RECREATION  
CENTER EXTERIOR  
REHABILITATION**

DRAWING TITLE  
**ELECTRICAL PROPOSED LIGHTING PLAN**

PROJECT NO. <b>16-19-4932-99</b>	DRAWING NO. <b>E1.0</b>
DATE 6.14.2024	
SCALE AS NOTED	
DRAWN BY SR	
CHECKED BY PL	

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**1** ELECTRICAL PROPOSED LIGHTING PLAN  
E1.0 Scale: 1" = 10'-0"