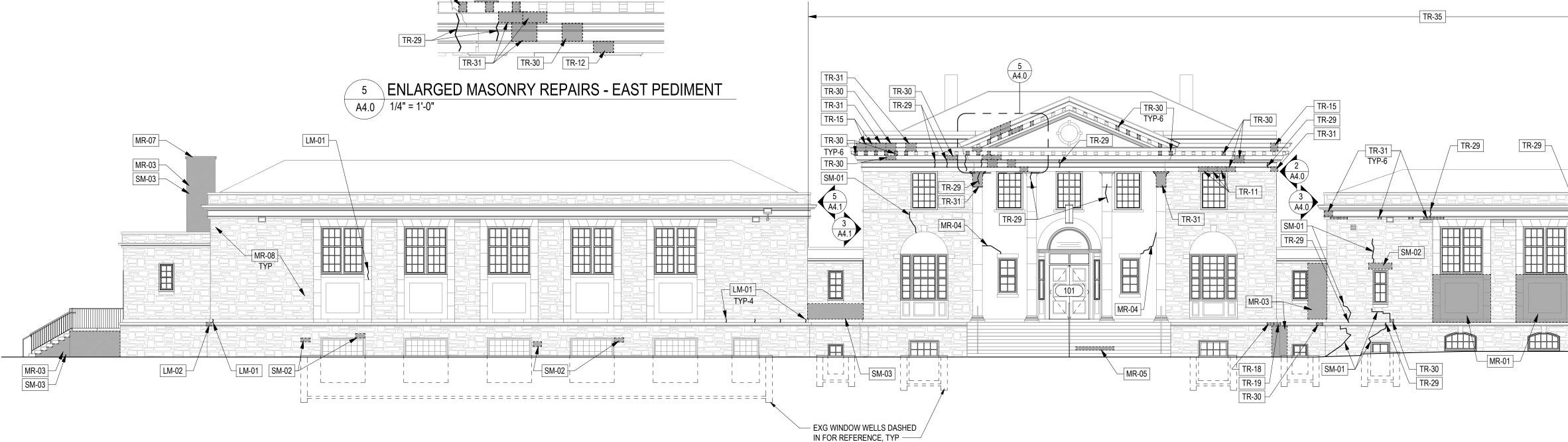


5 ENLARGED MASONRY REPAIRS - EAST PEDIMENT



PROPOSED EAST ELEVATION MASONRY REPAIRS 4 A4.0 / 1" = 10'-0"

KEYED ELEVATION MASONRY REPAIR NOTES

- LM-01 ROUT & SEAL LIMESTONE CRACK. SEE DETAIL 5/A4.4.
- LM-02 REPAIR LIMESTONE SPALL. SEE DETAIL 3/A4.4. MR-01 STRIP EXISTING PAINT ON TERRACOTTA.
- MR-02 CLEAN AND PAINT EXISTING LINTEL.
- MR-03 CLEAN SCHIST MASONRY TO REMOVE
- EFFLORESCENCE.
- MR-04 REPAIR CRACK IN STUCCO.
- MR-05 RESET STONE TREAD. MR-06 REPAIR SPALLED STUCCO.
- MR-07 REMOVE AND REPLACE CHIMNEY COPING TO INSTALL SHEET METAL THROUGH-WALL FLASHING. SEE DETAILS.
- MR-08 CLEAR ALL EXISTING MASONRY OF ORGANIC & BIOLOGICAL GROWTH. ALL MASONRY TO BE
- CLEANED. SM-01 ROUT AND SEAL SCHIST CRACK.
- SM-02 REPLACE DAMAGED SCHIST UNIT.
- SM-03 REPOINT SCHIST MASONRY. SEE DETAIL 6/A4.4. TR-01 REPLACE TERRACOTTA UNIT, TYPE A-1.
- TR-06 REPLACE TERRACOTTA UNIT, TYPE E.
- TR-07 REPLACE TERRACOTTA UNIT, TYPE F-1.
- TR-09 REPLACE TERRACOTTA UNIT, TYPE H (CORNER).
- TR-10 REPLACE TERRACOTTA UNIT, TYPE I.
- TR-11 REPLACE TERRACOTTA UNIT, TYPE J-1.
- TR-12 REPLACE TERRACOTTA UNIT, TYPE J-2 (HUNG).
- TR-13 REPLACE TERRACOTTA UNIT, TYPE J-3 (HUNG).
- TR-14 REPLACE TERRACOTTA UNIT, TYPE J-4 (HUNG). TR-15 REPLACE TERRACOTTA UNIT, TYPE K-1.
- TR-16 REPLACE TERRACOTTA UNIT, TYPE K-2 (CORNER).
- TR-18 REPLACE TERRACOTTA UNIT, TYPE M-1.
- TR-19 REPLACE TERRACOTTA UNIT, TYPE M-2 (CORNER).
- TR-20 REPLACE TERRACOTTA UNIT, TYPE N. TR-21 REPLACE TERRACOTTA UNIT, TYPE O.
- TR-22 REPLACE TERRACOTTA UNIT, TYPE P.
- TR-23 REPLACE TERRACOTTA UNIT TYPE Q.
- TR-25 REPLACE TERRACOTTA UNIT, TYPE R. TR-26 REPLACE TERRACOTTA UNIT, TYPE S.
- TR-27 REPLACE TERRACOTTA UNIT, TYPE T-1.
- TR-28 REPLACE TERRACOTTA UNIT, TYPE T-2.
- TR-29 ROUT & SEAL TERRACOTTA CRACK. SEE DETAIL
- 5/A4.4, SIM. TR-30 REPAIR TERRACOTTA SPALL. SEE DETAIL 4/A4.4. TR-31 REPAIR TERRACOTTA GLAZE SPALL. SEE DETAIL
- 2/A4.4.
- TR-33 REPLACE TERRACOTTA UNIT, TYPE F-2 (CORNER). TR-34 REPLACE TERRACOTTA UNIT, TYPE J-4. TR-35 REMOVE MORTAR AND INSTALL SEALANT AT ALL SKYWARD FACING TERRA COTTTA JOINTS. SEE DETAIL 1/A4.4.

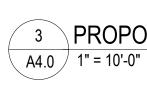
GENERAL MASONRY REPAIR NOTES

- 1. SEE SHEETS A3.0 & A3.1 FOR INFORMATION RELATED TO
- GENERAL EXTERIOR IMPROVEMENTS. 2. SEE MASONRY REPAIR DETAILS SHEETS A4.2, A4.3, & A4.4 FOR ANCHORAGE AND OTHER DETAILS RELATED TO SPECIFICALLY
- CALLED FOR UNIT TYPES.
- 3. UNIT PRICE NO. 3: PROVIDE UNIT COST FOR EACH TERRA COTTA UNIT TYPE DESCIRBED WITHIN THESE DRAWINGS.
- 4. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR
- REPAIR WORK AS INDICATED IN DRAWINGS 5. HATCH PATTERNS SHOWN FOR DRAWING CLARITY ONLY. VERIFY
- ALL MATERIALS AND EXISTING MORTAR JOINTS IN FIELD. 6. ALL EXISTING MASONRY, INCLUDING BUT NOT LIMITED TO
- SCHIST WALLS, TERRACOTTA AND LIMESTONE ORNAMENTATION, SILLS, TERRACE PAVING, STONE TREADS, ETC, ARE TO BE CLEARED OF ALL ORGANIC AND BIOLOGICAL GROWTH AND CLEANED.
- CLEAN ALL EXISTING SCHIST TO REMOVE GRAFFITI. 8. LOCATIONS OF MASONRY REPAIRS, INCLUDING UNITS TO BE REPAIRED, UNITS TO BE REPLACED, EXTENTS OF REPOINTING,
- AND CRACKS TO BE REPAIRED, ARE APPROXIMATE ONLY. VERIFY LOCATIONS AND EXTENTS IN FIELD.
- 9. REPAIR ALL HOLES IN CORNICE UNITS WITH PATCH MATERIAL FOLLOWING RE-ROUTING OF EXISTING DS HEAD LEADERS. SEE DETAILS.
- 10. DOWNSPOUTS AND SCUPPERS OMMITED FROM VIEWS FOR DRAWING CLARITY.
- 11. PATCH AND REPAIR, WITH LIKE MATERIALS AND FINISH, ANY HOLES REMAINING FOLLOWING DEMOLITION ACTIVITY, INCLUDING LOCATIONS OF FORMER RAILING CONNECTIONS AND ABANDONED FERROUS ANCHORS AND BRACKETS.
- 12. ADD SHEET METAL CAP FLASHING TO PROTECT SKYWARD-FACING SURFACES OF CAPITALS, UNITS "A" ALONG PERIMETER OF MAIN WING, AND UNITS "E" ON THE FRONT AND READ PEDIMENT.
- 13. AT ALL LIMESTONE AND TERRACOTTA CORNICE UNITS, REMOVE SKYWARD-FACING JOINT MORTAR TO A DEPTH OF 3/4" AND REPLACE WITH BACKER ROD AND SEALANT PRIOR TO CAP FLASHING INSTALLATION. SEE DETAILS.

MASONRY REPAIR LEGEND

AREA OF MASONRY REPAIR EXTENT OF INDIVIDUAL UNITS MASONRY CRACK -

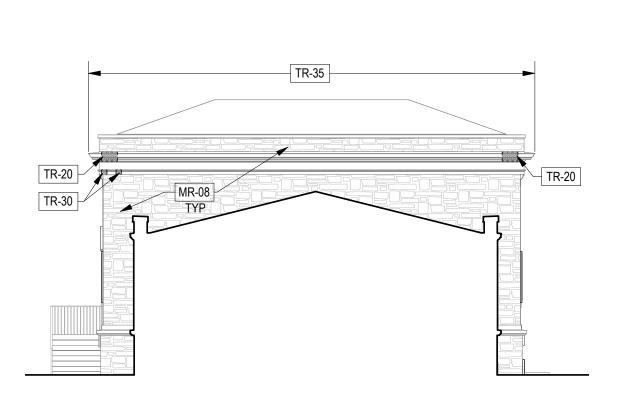
MR-00 GENERAL MASONRY REPAIR NOTE. TR-00 TERRACOTTA REPAIR NOTE. LM-00 LIMESTONE REPAIR NOTE. SM-00 SCHIST REPAIR NOTE.

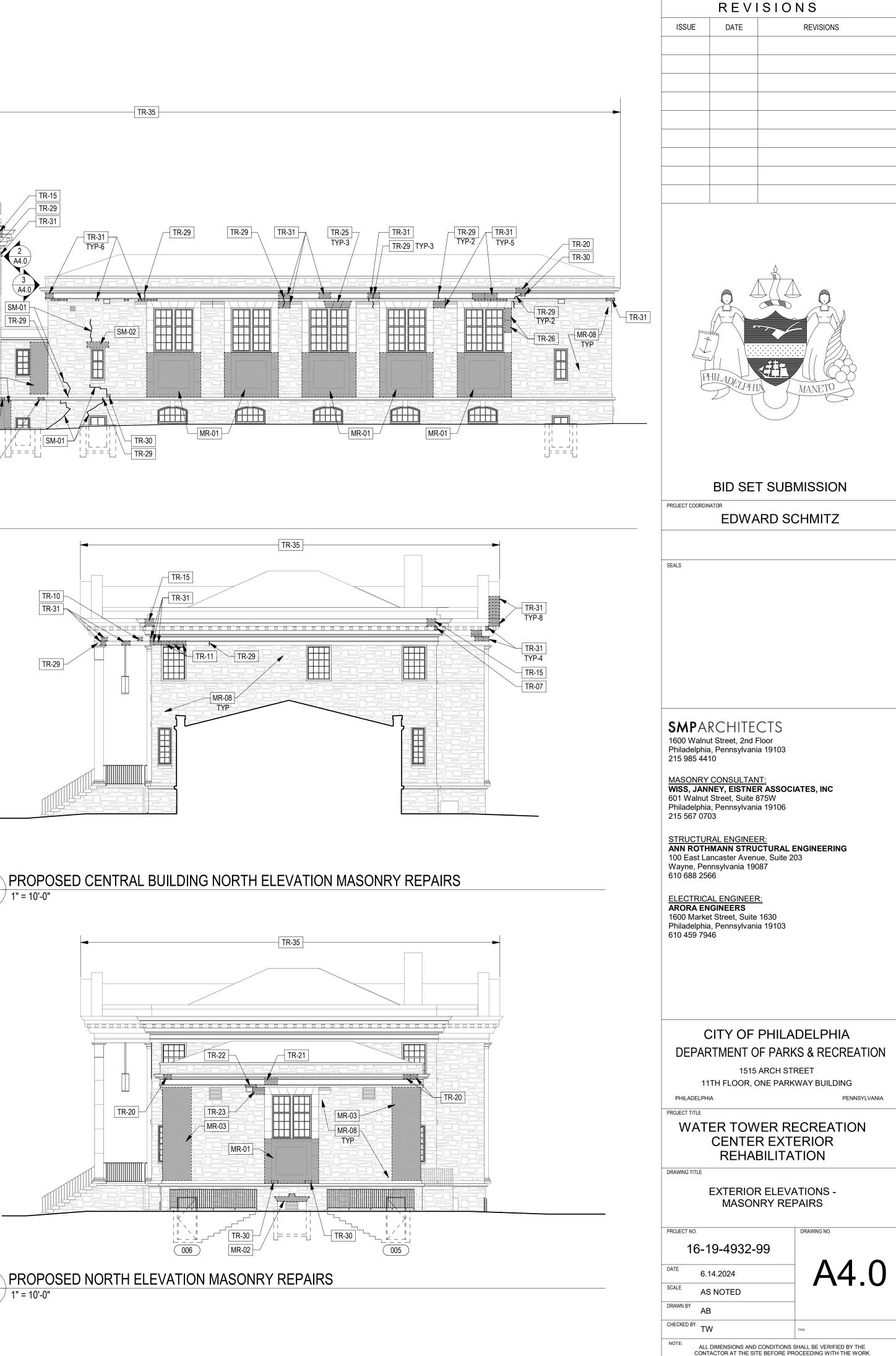


KEYNOTE TAG

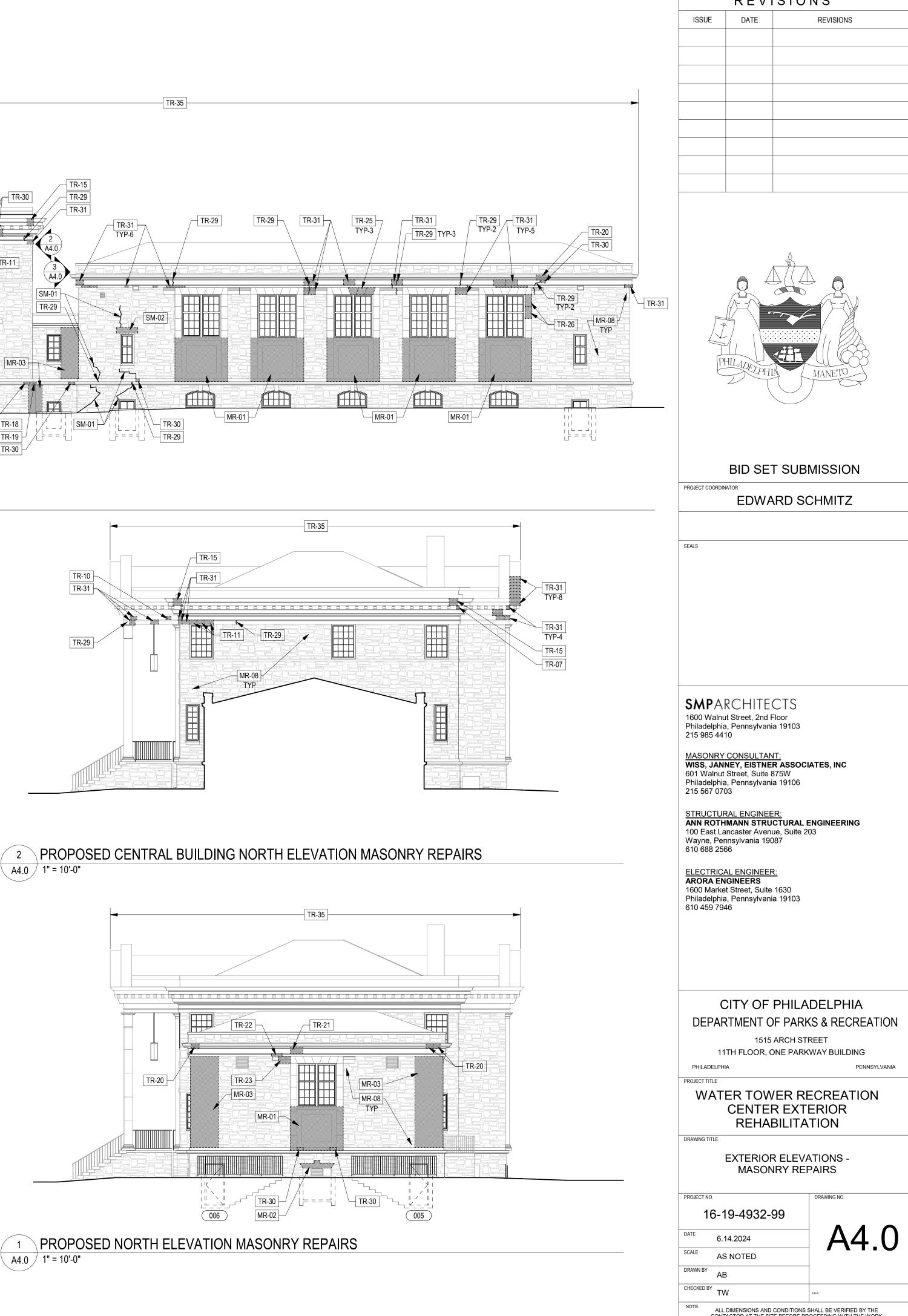
MR-09	
SM-01	
SM-02	
SM-03	
TR-01	
TR-06	
TR-07	
TR-09	
TR-10	
TR-11	
TR-12	
TR-13	
TR-14	
TR-15	
TR-16	

NOTES:





PROPOSED NORTH WING SOUTH ELEVATION MASONRY REPAIRS

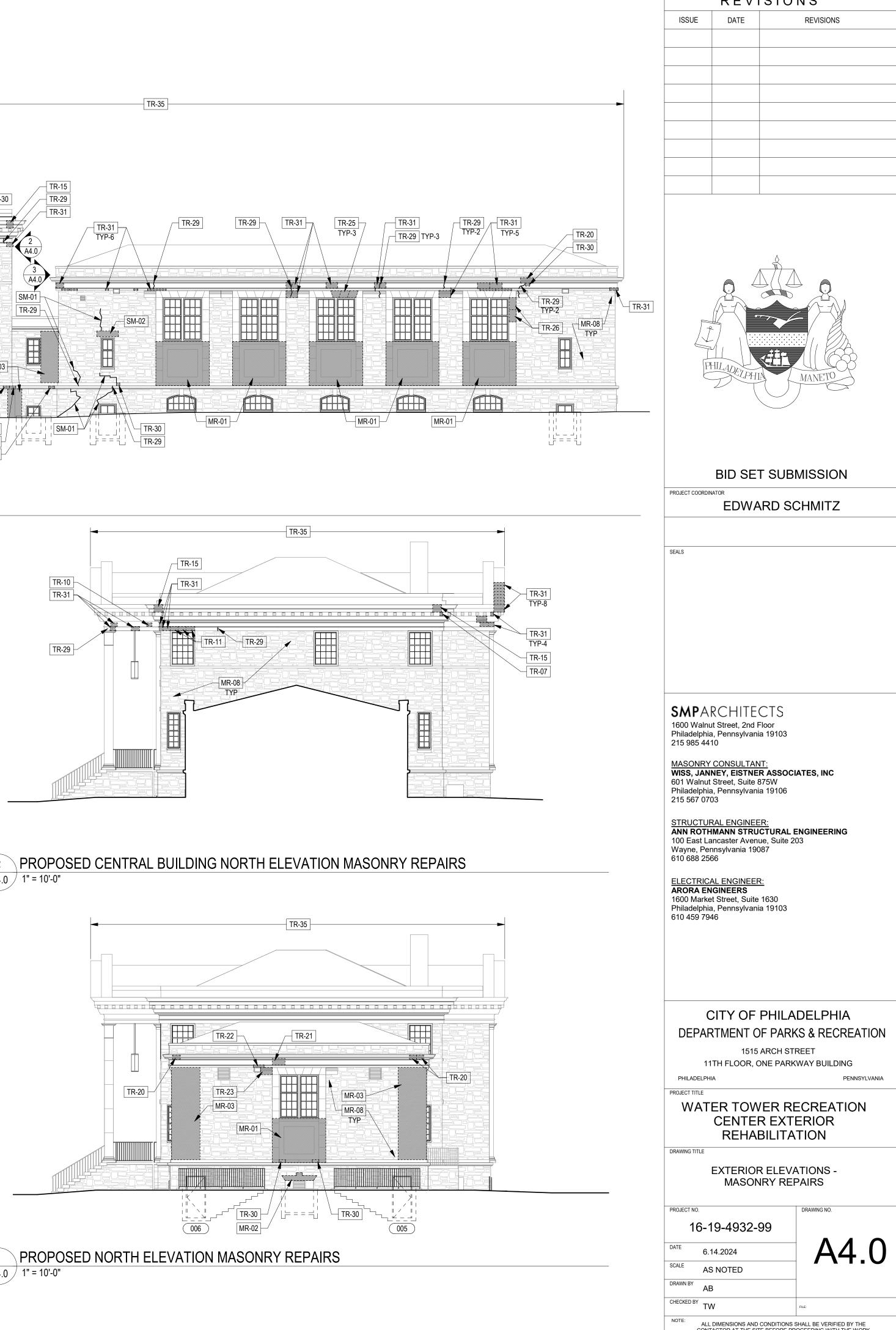


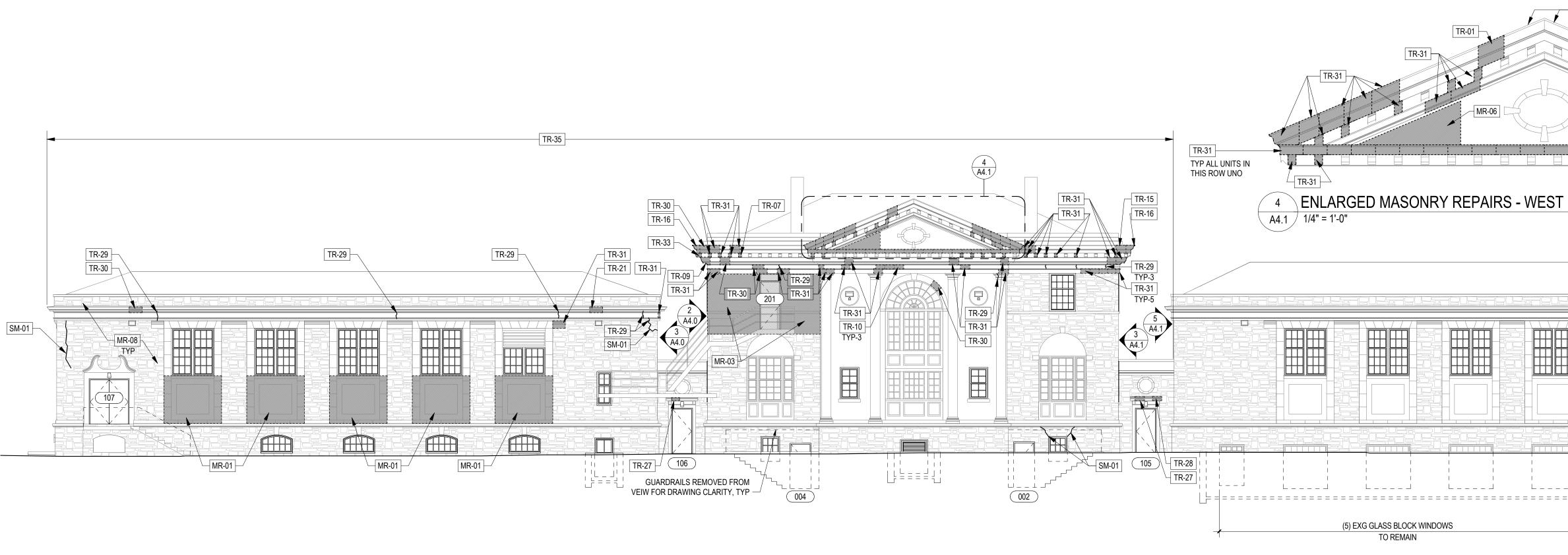
GENERAL MASONRY REPAIRS - APPROXIMATE QUANTITIES

QTY	UNITS	KEYNOTE TAG	QTY	UNITS
10	LF	TR-18	1	EA
10	SF	TR-19	1	EA
900	SF	TR-20	6	EA
700	SF	TR-21	2	EA
3100	SF	TR-22	1	EA
80	LF	TR-23	1	EA
10	SF	TR-25	3	EA
400	SF	TR-26	2	EA
4	EA	TR-27	2	EA
1	EA	TR-28	1	EA
3	EA	TR-29	70	LF
1	EA	TR-30	20	SF
4	EA	TR-31	40	SF
15	EA	TR-33	3	EA
1	EA	TR-34	2	EA
3	EA	TR-35	1100	LF
1	EA			
9	EA			
3	EA			

1. ALL BIDDERS SHALL USE THE ABOVE QUANTITIES FOR PREPARATION OF BIDS. QUANTITIES EXPRESSED ABOVE DO NOT INCLUDE CONTINGENCY. BIDDERS TO PROVIDE CONTINGENCIES AS FOLLOWS: A. TERRA COTTA UNITS (KEYNOTES WITH A UNIT TYPE OF "EA"): ADD (1) UNIT TO EACH TYPE LISTED ABOVE.

B. ALL OTHER KEYNOTE REPAIRS: ADD 10% MARKUP AS CONTINGENCY.





PROPOSED WEST ELEVATION MASONRY REPAIRS 2 A4.1 / 1" = 10'-0"

KEYED ELEVATION MASONRY REPAIR NOTES

- LM-01 ROUT & SEAL LIMESTONE CRACK. SEE DETAIL 5/A4.4.
- LM-02 REPAIR LIMESTONE SPALL. SEE DETAIL 3/A4.4. MR-01 STRIP EXISTING PAINT ON TERRACOTTA.
- MR-02 CLEAN AND PAINT EXISTING LINTEL.
- MR-03 CLEAN SCHIST MASONRY TO REMOVE
- EFFLORESCENCE. MR-04 REPAIR CRACK IN STUCCO.
- MR-05 RESET STONE TREAD.
- MR-06 REPAIR SPALLED STUCCO.
- MR-07 REMOVE AND REPLACE CHIMNEY COPING TO INSTALL SHEET METAL THROUGH-WALL FLASHING. SEE DETAILS.
- MR-08 CLEAR ALL EXISTING MASONRY OF ORGANIC & BIOLOGICAL GROWTH. ALL MASONRY TO BE CLEANED.
- SM-01 ROUT AND SEAL SCHIST CRACK.
- SM-02 REPLACE DAMAGED SCHIST UNIT.
- SM-03 REPOINT SCHIST MASONRY. SEE DETAIL 6/A4.4. TR-01 REPLACE TERRACOTTA UNIT, TYPE A-1.
- TR-06 REPLACE TERRACOTTA UNIT, TYPE E.
- TR-07 REPLACE TERRACOTTA UNIT, TYPE F-1.
- TR-09 REPLACE TERRACOTTA UNIT, TYPE H (CORNER).
- TR-10 REPLACE TERRACOTTA UNIT, TYPE I.
- TR-11 REPLACE TERRACOTTA UNIT, TYPE J-1. TR-12 REPLACE TERRACOTTA UNIT, TYPE J-2 (HUNG).
- TR-13 REPLACE TERRACOTTA UNIT, TYPE J-3 (HUNG).
- TR-14 REPLACE TERRACOTTA UNIT, TYPE J-4 (HUNG).
- TR-15 REPLACE TERRACOTTA UNIT, TYPE K-1.
- TR-16 REPLACE TERRACOTTA UNIT, TYPE K-2 (CORNER).
- TR-18 REPLACE TERRACOTTA UNIT, TYPE M-1. TR-19 REPLACE TERRACOTTA UNIT, TYPE M-2 (CORNER).
- TR-20 REPLACE TERRACOTTA UNIT, TYPE N.
- TR-21 REPLACE TERRACOTTA UNIT, TYPE O.
- TR-22 REPLACE TERRACOTTA UNIT, TYPE P.
- TR-23 REPLACE TERRACOTTA UNIT TYPE Q. TR-25 REPLACE TERRACOTTA UNIT, TYPE R.
- TR-26 REPLACE TERRACOTTA UNIT, TYPE S.
- TR-27 REPLACE TERRACOTTA UNIT, TYPE T-1.
- TR-28 REPLACE TERRACOTTA UNIT, TYPE T-2.
- TR-29 ROUT & SEAL TERRACOTTA CRACK. SEE DETAIL 5/A4.4, SIM.
- TR-30 REPAIR TERRACOTTA SPALL. SEE DETAIL 4/A4.4. TR-31 REPAIR TERRACOTTA GLAZE SPALL. SEE DETAIL
- 2/A4.4. TR-33 REPLACE TERRACOTTA UNIT, TYPE F-2 (CORNER).
- TR-34 REPLACE TERRACOTTA UNIT, TYPE J-4. TR-35 REMOVE MORTAR AND INSTALL SEALANT AT ALL SKYWARD FACING TERRA COTTTA JOINTS. SEE DETAIL 1/A4.4.

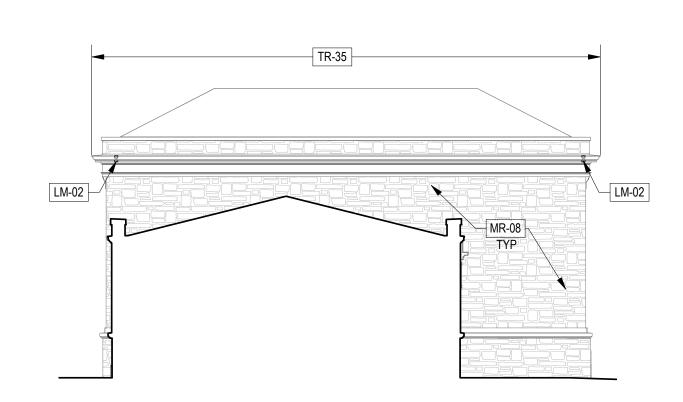
GENERAL MASONRY REPAIR NOTES

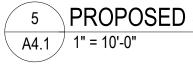
- 1. SEE SHEETS A3.0 & A3.1 FOR INFORMATION RELATED TO
- GENERAL EXTERIOR IMPROVEMENTS. 2. SEE MASONRY REPAIR DETAILS SHEETS A4.2, A4.3, & A4.4 FOR ANCHORAGE AND OTHER DETAILS RELATED TO SPECIFICALLY
- CALLED FOR UNIT TYPES. 3. UNIT PRICE NO. 3: PROVIDE UNIT COST FOR EACH TERRA COTTA
- UNIT TYPE DESCIRBED WITHIN THESE DRAWINGS. 4. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR
- REPAIR WORK AS INDICATED IN DRAWINGS.
- 5. HATCH PATTERNS SHOWN FOR DRAWING CLARITY ONLY. VERIFY ALL MATERIALS AND EXISTING MORTAR JOINTS IN FIELD.
- 6. ALL EXISTING MASONRY, INCLUDING BUT NOT LIMITED TO SCHIST WALLS, TERRACOTTA AND LIMESTONE ORNAMENTATION, SILLS, TERRACE PAVING, STONE TREADS, ETC, ARE TO BE CLEARED OF ALL ORGANIC AND BIOLOGICAL GROWTH AND CLEANED.
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- VERIFY LOCATIONS AND EXTENTS IN FIELD. 9. REPAIR ALL HOLES IN CORNICE UNITS WITH PATCH MATERIAL
- FOLLOWING RE-ROUTING OF EXISTING DS HEAD LEADERS. SEE DETAILS. 10. DOWNSPOUTS AND SCUPPERS OMMITED FROM VIEWS FOR
- DRAWING CLARITY. 11. PATCH AND REPAIR, WITH LIKE MATERIALS AND FINISH, ANY
- HOLES REMAINING FOLLOWING DEMOLITION ACTIVITY, INCLUDING LOCATIONS OF FORMER RAILING CONNECTIONS AND ABANDONED FERROUS ANCHORS AND BRACKETS.
- 12. ADD SHEET METAL CAP FLASHING TO PROTECT SKYWARD-FACING SURFACES OF CAPITALS, UNITS "A" ALONG PERIMETER OF MAIN WING, AND UNITS "E" ON THE FRONT AND READ PEDIMENT.
- 13. AT ALL LIMESTONE AND TERRACOTTA CORNICE UNITS, REMOVE SKYWARD-FACING JOINT MORTAR TO A DEPTH OF 3/4" AND REPLACE WITH BACKER ROD AND SEALANT PRIOR TO CAP FLASHING INSTALLATION. SEE DETAILS.

MASONRY REPAIR LEGEND

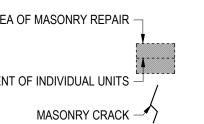
AREA OF MASONRY REPAIR -EXTENT OF INDIVIDUAL UNITS -MASONRY CRACK -

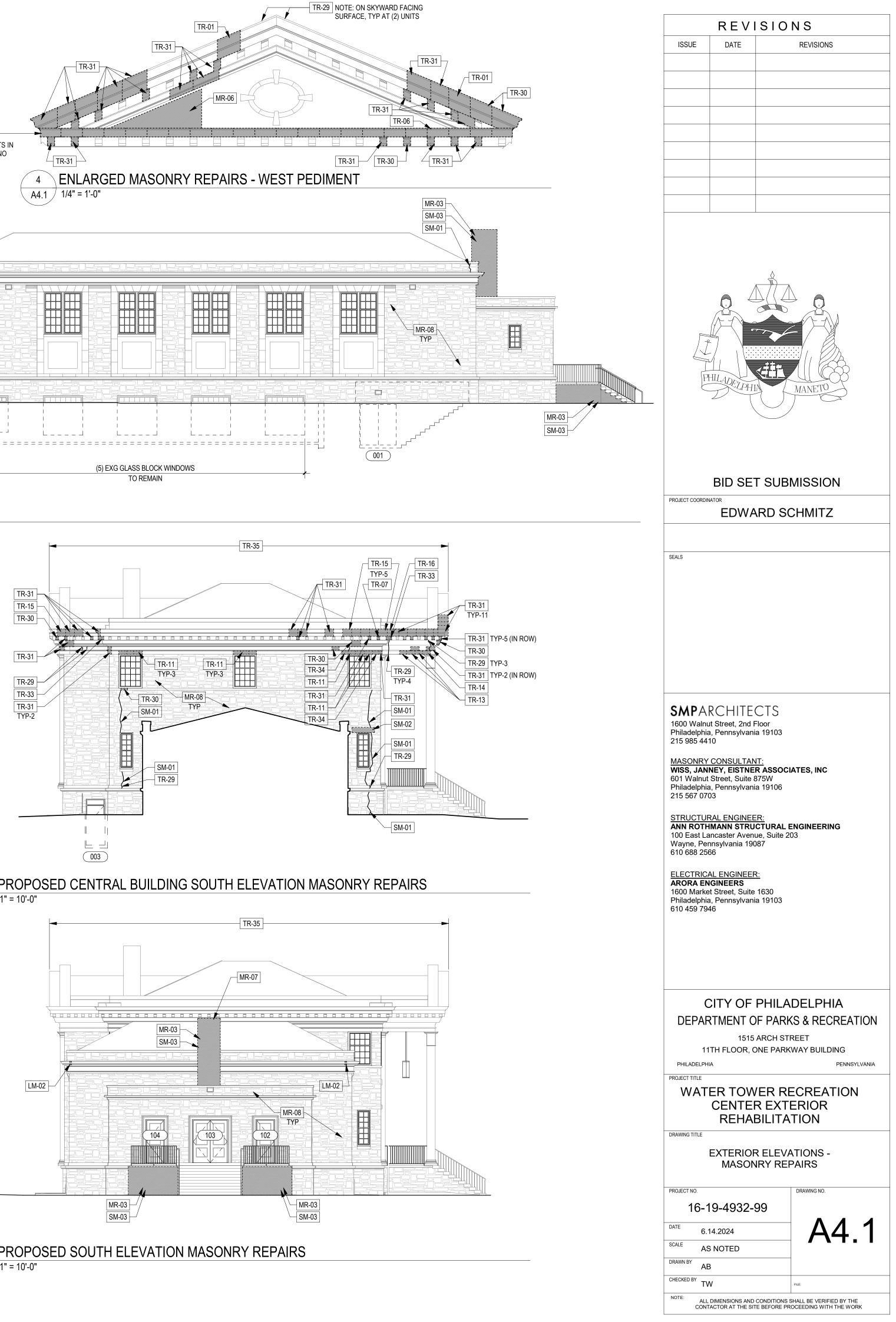
MR-00 GENERAL MASONRY REPAIR NOTE. TR-00 TERRACOTTA REPAIR NOTE. LM-00 LIMESTONE REPAIR NOTE. SM-00 SCHIST REPAIR NOTE.





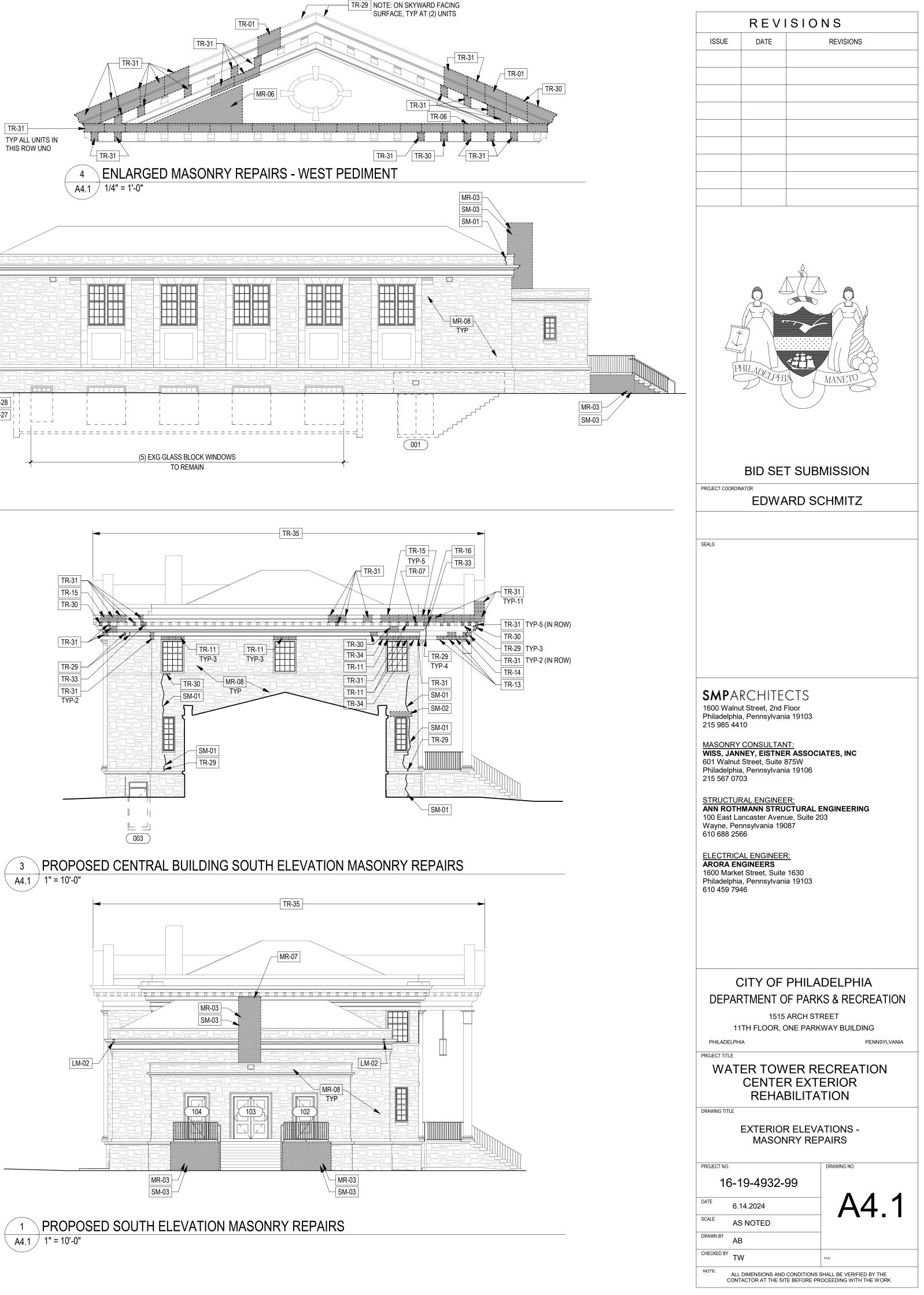
1 6 2 1 1 3 2 2	EA EA EA EA EA EA EA
6 2 1 1 3 2	EA EA EA EA EA
2 1 1 3 2	EA EA EA EA
1 1 3 2	EA EA EA
1 3 2	EA EA
3 2	EA
	FA
2	L/ \
	EA
1	EA
70	LF
20	SF
40	SF
3	EA
2	EA
1100	LF
	40 3 2

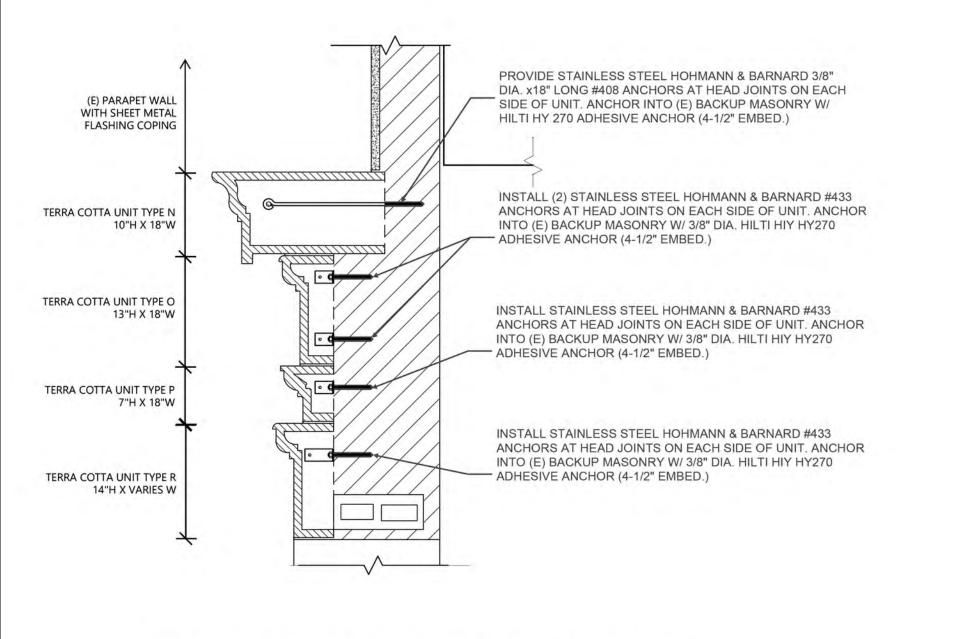




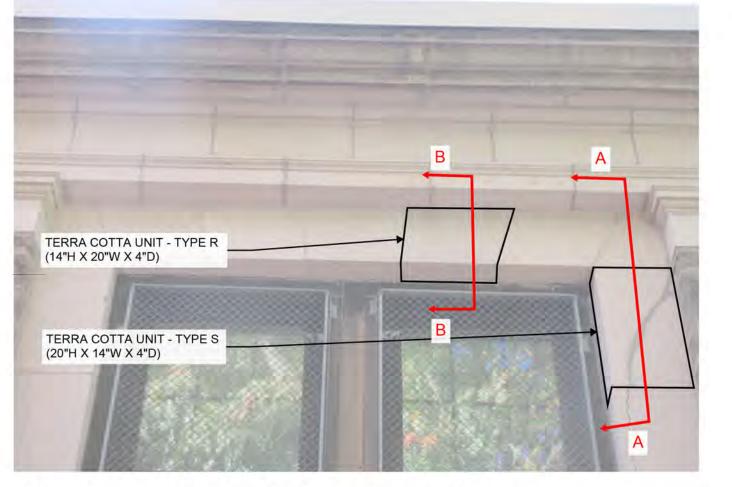
PROPOSED SOUTH WING NORTH ELEVATION MASONRY REPAIRS

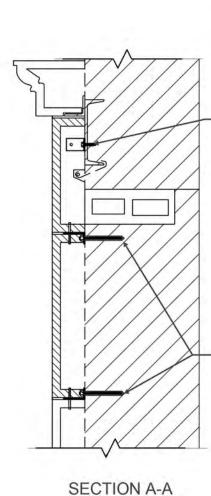
B. ALL OTHER KEYNOTE REPAIRS: ADD 10% MARKUP AS CONTINGENCY.











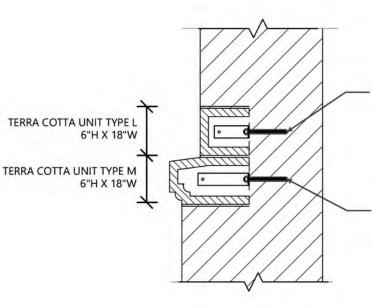
INSTALL STAINLESS **STEEL HOHMANN & BARNARD #433 ANCHORS** AT HEAD JOINTS ON EACH SIDE OF UNIT. EMBED ANCHORS INTO (E) BACKUP MASONRY W/ STAINLESS STEEL 1/4" DIA. SELF-TAPPING ANCHOR INTO WEB OF CHANNEL

2

INSTALL STAINLESS STEEL HOHMANN & BARNARD #433 ANCHORS W/ DROP PIN AT BED JOINTS ON BOTH SIDES OF UNIT. EMBED - ANCHOR INTO (E) BACKUP MASONRY W/ 3/8" DIA. HILTI HIY HY270 ADHESIVE ANCHOR (4-1/2" EMBED.)

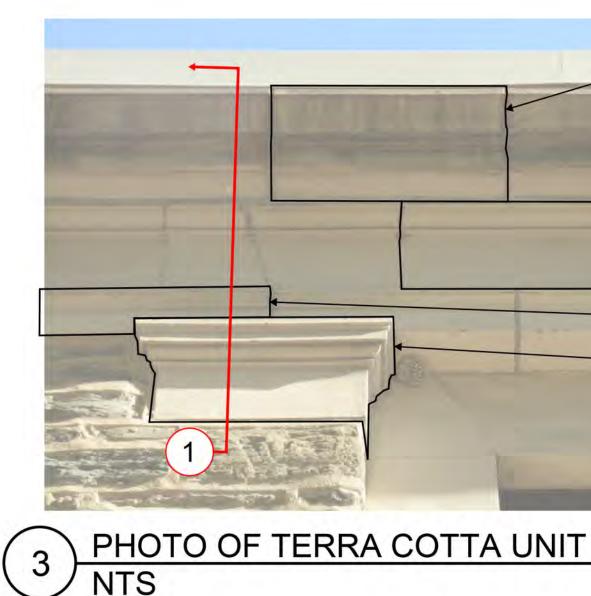
PHOTO OF TERRA COTTA UNIT NTS

4



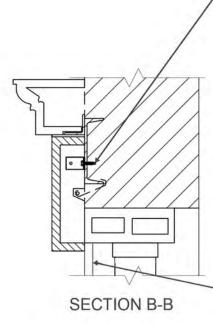
INSTALL STAINLESS STEEL HOHMANN & BARNARD #433 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. EMBED ANCHORS INTO (E) BACKUP MASONRY W/ 3/8" DIA. HILTI HIY HY270 ADHESIVE ANCHOR (4-1/2" EMBED.)

INSTALL STAINLESS STEEL HOHMANN & BARNARD #433 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. EMBED ANCHORS INTO (E) BACKUP MASONRY W/ 3/8" DIA. HILTI HIY HY270 ADHESIVE ANCHOR (4-1/2" EMBED.)



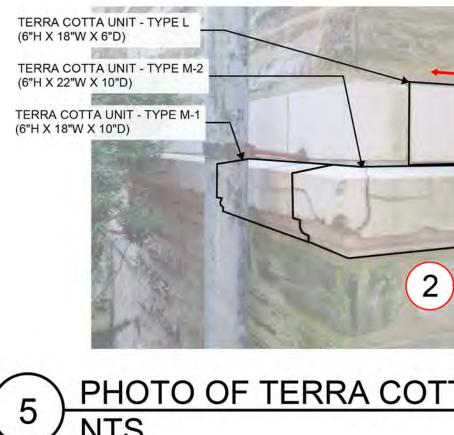
TERRA COTTA CORNICE SECTION NTS

NOTE: ALL UNITS SHOWN ARE ASSUMED TO BE HAND PRESSED

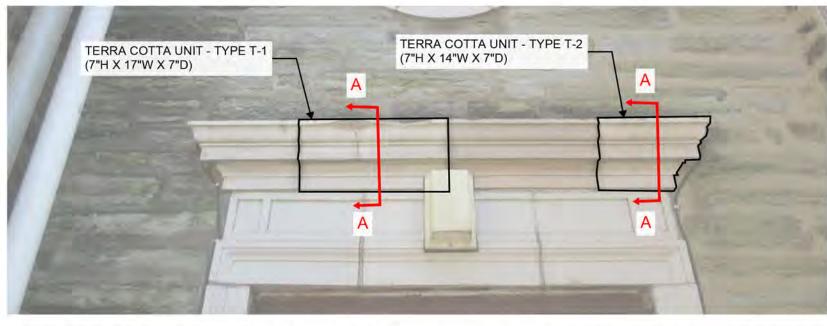


INSTALL STAINLESS **STEEL HOHMANN & BARNARD #433 ANCHORS** AT HEAD JOINTS ON EACH SIDE OF UNIT. - EMBED ANCHORS INTO (E) BACKUP MASONRY W/ STAINLESS STEEL 1/4" DIA. SELF-TAPPING ANCHOR INTO WEB OF CHANNEL

WHERE EXG WINDOWS ARE TO REMAIN UNCHANGED. REMOVE, SALVAGE, AND REINSTALL (E) SCREEN AT WINDOW TO ENABLE REPLACEMENT OF TERRA COTTA UNITS. DO NOT REINSTALL SCREENS UNTIL AFTER REPLACEMENT OF TERRA COTTA.



NTS



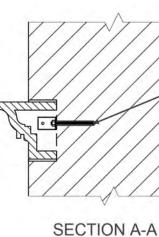
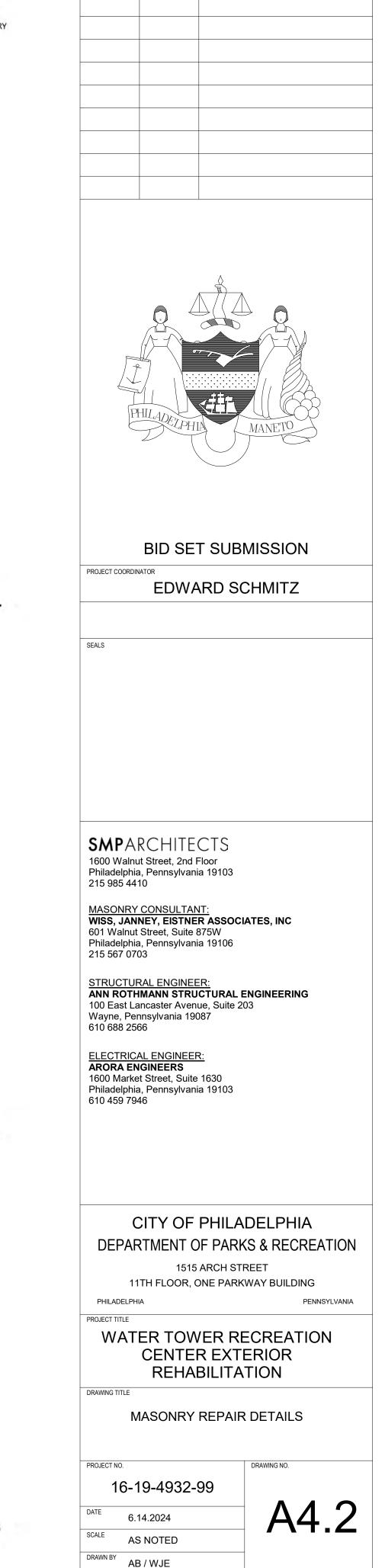


PHOTO OF TERRA COTTA UNIT - TYPE T-1 AND T-2

6 NTS

PHOTO OF TERRA COTTA UNIT - TYPE L, M-1, AND M-2 **INSTALL STAINLESS STEEL HOHMANN &** BARNARD #433 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. EMBED ANCHORS INTO (E) BACKUP MASONRY W/ 3/8" DIA. HILTI HIY HY270 ADHESIVE ANCHOR (4-1/2" EMBED.)



CHECKED BY TW

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

REVISIONS

REVISIONS

DATE

ISSUE

TERRA COTTA BACKUP MASONRY

LEGEND STUCCO

TERRA COTTA UNIT - TYPE N

TERRA COTTA UNIT - TYPE O

TERRA COTTA UNIT - TYPE P

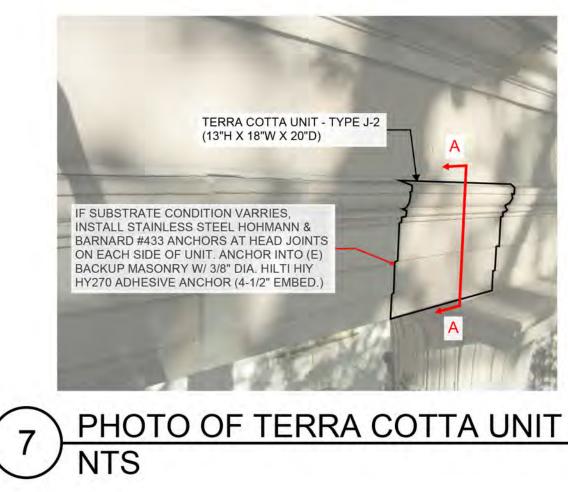
TERRA COTTA UNIT - TYPE Q

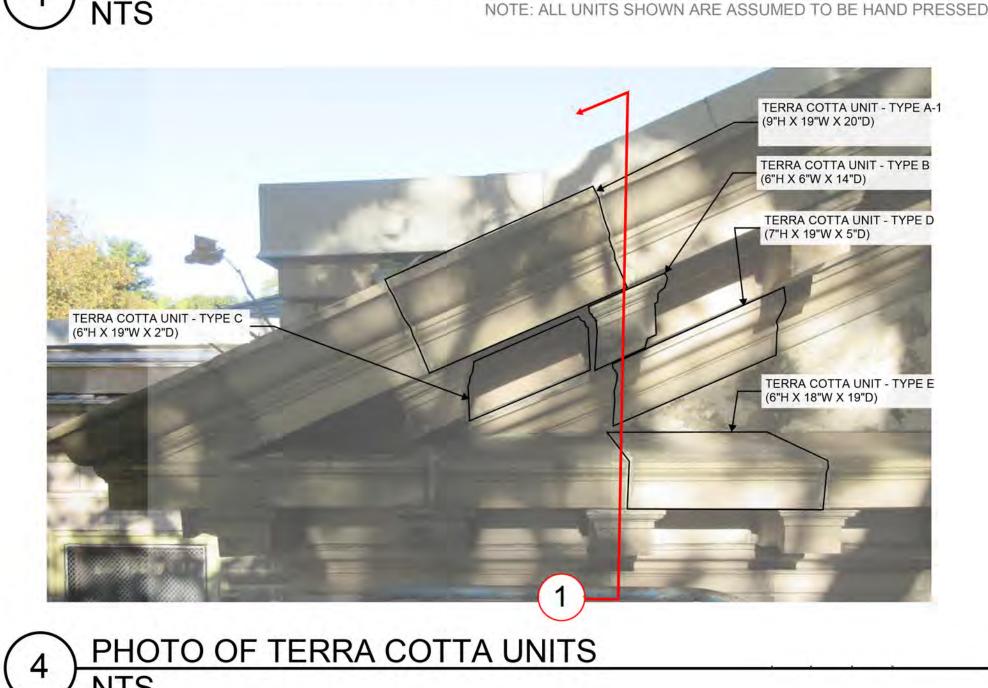
(7"H X 18"W X 6"D)

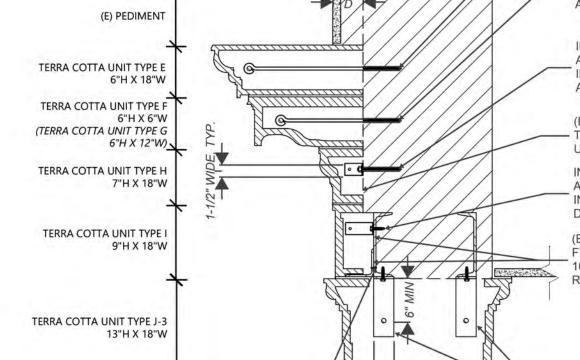
(14"H X 18"W X 8"D)

(10"H X 18"W X 20"D)

(13"H X 18"W X 6"D)







TERRA COTTA CORNICE SECTION

▶ (2/3)D MIN. T图P./ ►

(E) PARAPET WALL WITH SHEET METAL

FLASHING COPING

9"H X 19"W

6"H X 6"W

6"H X 19"W)

7"H X 19"W

REMOVE BACKUP MATERIAL TO EXPOSE

STEEL WEB IN THE AREA OF THE ANCHOR

TERRA COTTA UNIT TYPE A

TERRA COTTA UNIT TYPE B

(TERRA COTTA UNIT TYPE C

TERRA COTTA UNIT TYPE D

PROVIDE STAINLESS STEEL HOHMANN & BARNARD 3/8" DIA. x18" LONG #408 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ HILTI HY 270 ADHESIVE ANCHOR (4-1/2" EMBED.)

PROVIDE STAINLESS STEEL HOHMANN & BARNARD 3/8" DIA. x15" LONG #408 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ HILTI HY 270 ADHESIVE ANCHOR (4-1/2" EMBED.)

INSTALL STAINLESS STEEL HOHMANN & BARNARD #433 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ 3/8" DIA. HILTI HIY HY270 ADHESIVE ANCHOR (4-1/2" EMBED.)

PROVIDE STAINLESS STEEL HOHMANN & BARNARD 3/8" DIA. x18" LONG #408 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ HILTI HY 270 ADHESIVE ANCHOR (4-1/2" EMBED.)

PROVIDE STAINLESS STEEL HOHMANN & BARNARD 3/8" DIA. x15" LONG #408 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ HILTI HY 270 ADHESIVE ANCHOR (4-1/2" EMBED.)

INSTALL STAINLESS STEEL HOHMANN & BARNARD #433 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ 3/8" DIA. HILTI HIY HY270 ADHESIVE ANCHOR (4-1/2" EMBED.)

(E) BRICK MASONRY BACK-UP WALL TO BE EVALUATED IN - THE FIELD AND REVIEWED WITH WJE. MASONRY THAT IS UNSOUND IS TO REMOVED AND REPLACED.

INSTALL STAINLESS STEEL HOHMANN & BARNARD #433 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP STEEL CHANNEL W/ STAINLESS STEEL 1/4" DIA. SELF-TAPPING ANCHOR INTO WEB OF CHANNEL

(E) STEEL SUPPORT FRAMING TO BE EVALUATED IN THE FIELD AND REVIEWED WITH WJE. STEEL WITH MORE THAN 10% CROSS SECTIONAL AREA LOSS TO BE REPAIRED OR REMOVED AND REPLACED.

INSTALL (2) 1/4" THICK STAINLESS STEEL BENT PLATES W/ 1/2" DIA. RODS W/ STAINLESS STEEL NUTS AT HEAD JOINTS ON - EACH SIDE OF UNIT, FASTEN PLATES TO EXISTING STEEL CHANNELS IN BACKUP WALL W/ STAINLESS STEEL1/2" DIA. BOLTS; DRILL AND TAP INTO BOTTOM FLANGE OF CHANNELS

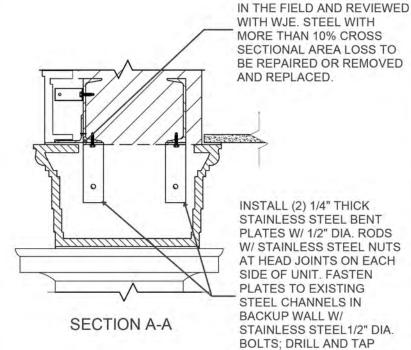
NOTE: ALL UNITS SHOWN ARE ASSUMED TO BE HAND PRESSED

5

NTS

REPOINT JOINTS BETWEEN

TERRA COTTA UNIT TYPES K AND



INSTALL (2) 1/4" THICK STAINLESS STEEL BENT PLATES W/ 1/2" DIA. RODS W/ STAINLESS STEEL NUTS AT HEAD JOINTS ON EACH SIDE OF UNIT. FASTEN PLATES TO EXISTING STEEL CHANNELS IN BACKUP WALL W/ STAINLESS STEEL1/2" DIA. BOLTS: DRILL AND TAP INTO BOTTOM FLANGE OF CHANNELS

(E) STEEL SUPPORT

FRAMING TO BE EVALUATED

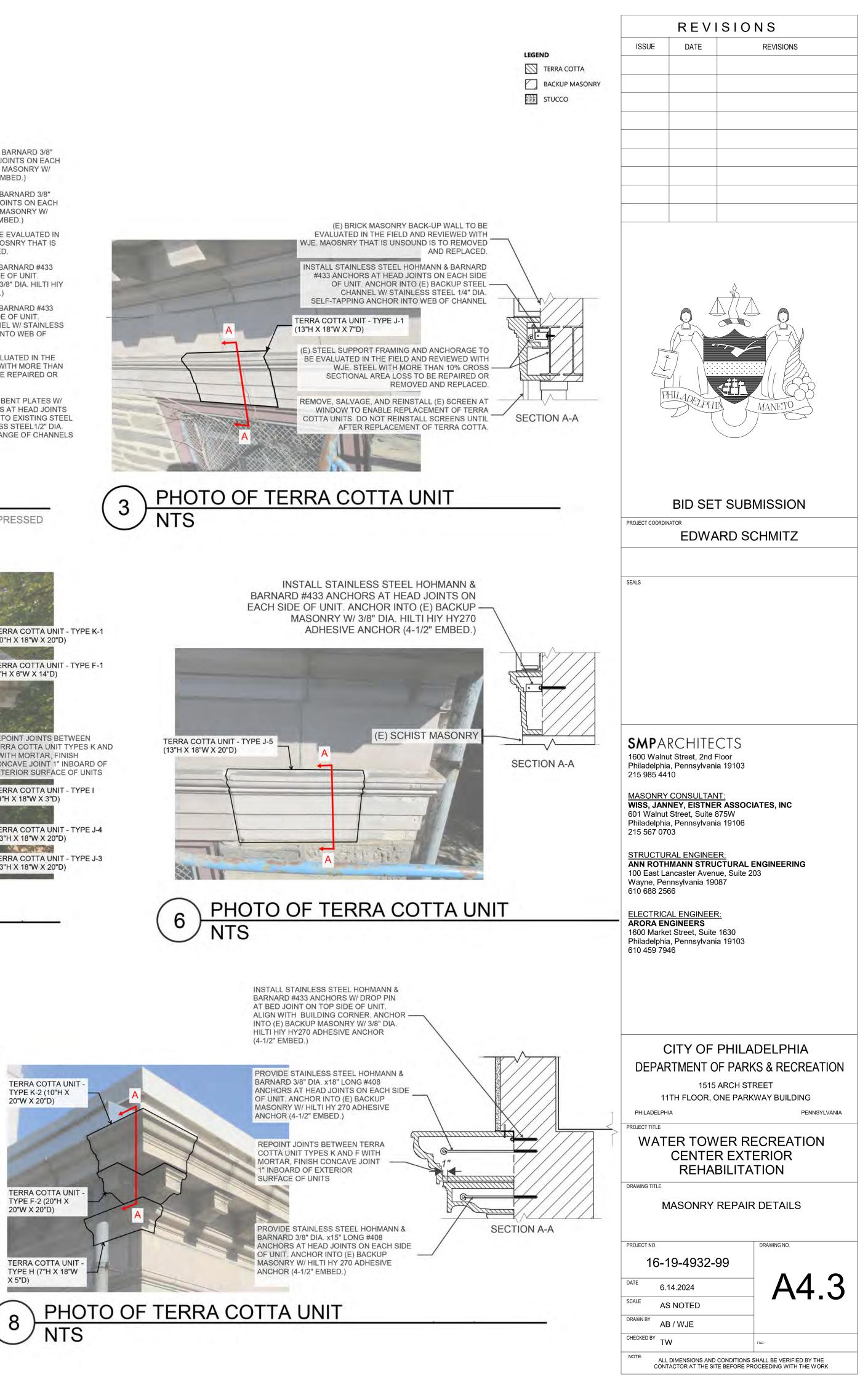
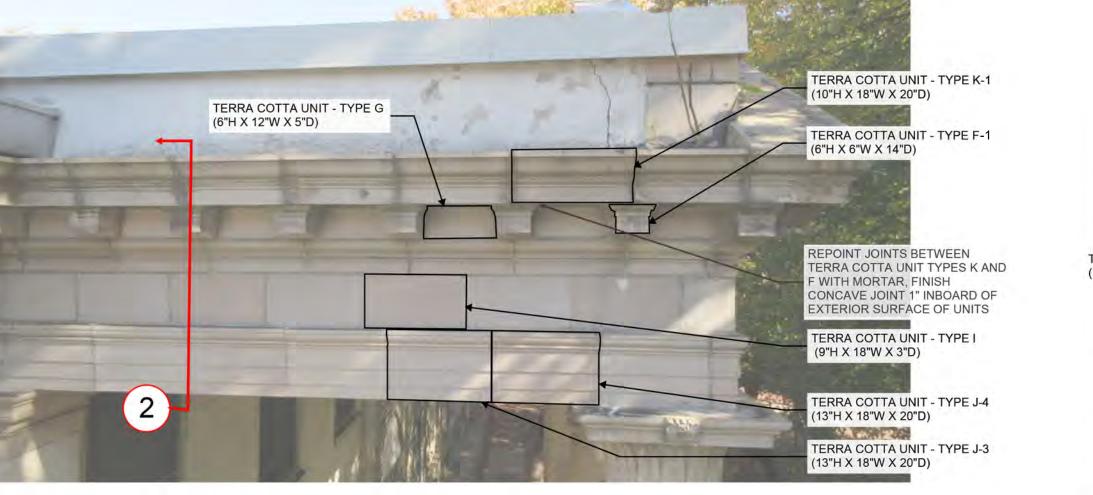
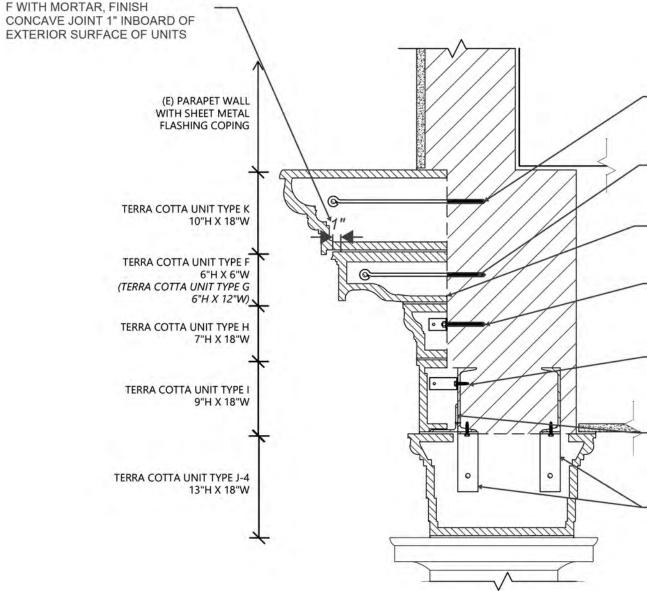


PHOTO OF TERRA COTTA UNITS NTS



TERRA COTTA CORNICE SECTION NOTE: ALL UNITS SHOWN ARE ASSUMED TO BE HAND PRESSED



PROVIDE STAINLESS STEEL HOHMANN & BARNARD 3/8" DIA. x18" LONG #408 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ HILTI HY 270 ADHESIVE ANCHOR (4-1/2" EMBED.)

PROVIDE STAINLESS STEEL HOHMANN & BARNARD 3/8" DIA. x15" LONG #408 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ HILTI HY 270 ADHESIVE ANCHOR (4-1/2" EMBED.)

(E) BRICK MASONRY BACK-UP WALL TO BE EVALUATED IN THE FIELD AND REVIEWED WITH WJE. MAOSNRY THAT IS

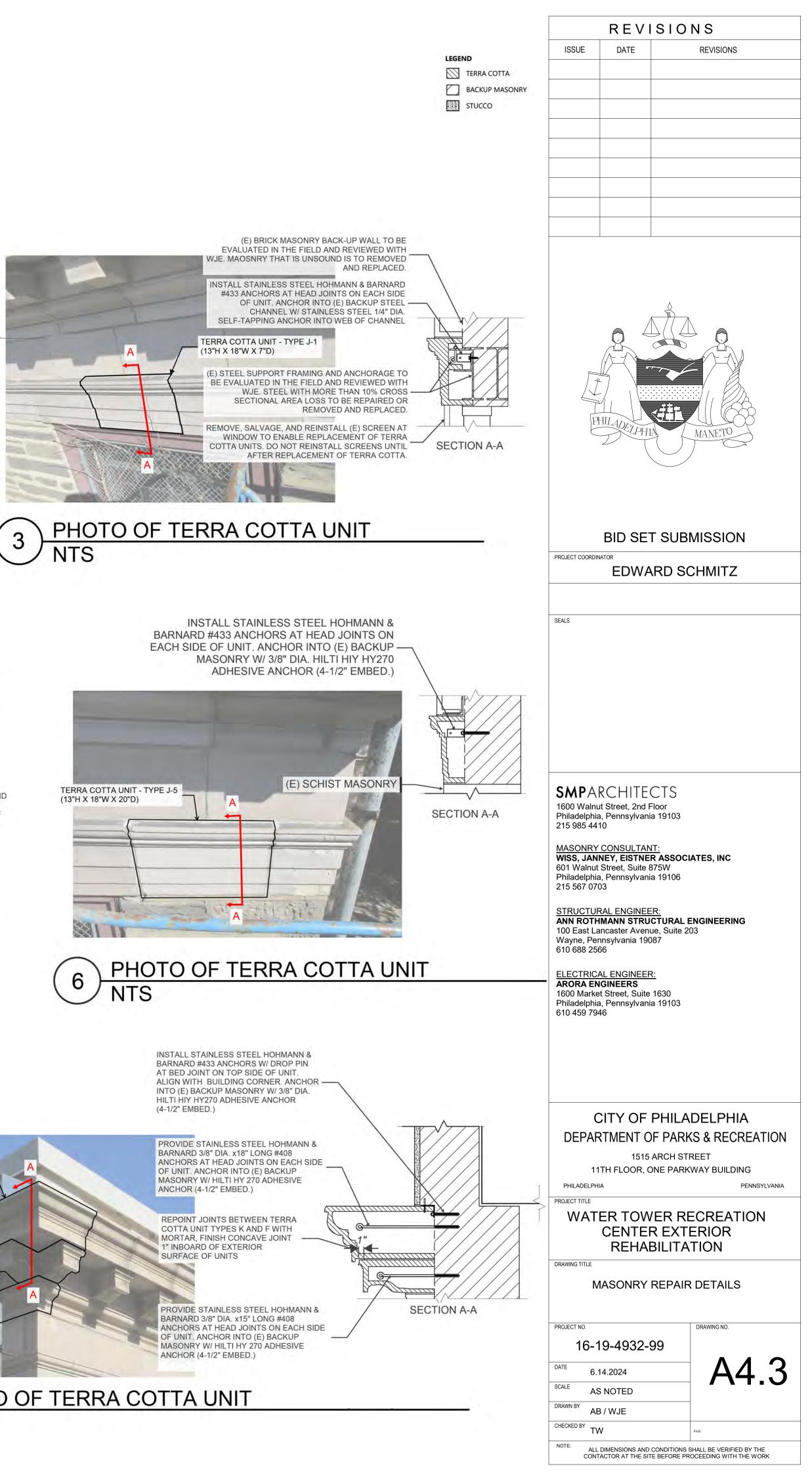
UNSOUND IS TO REMOVED AND REPLACED. INSTALL STAINLESS STEEL HOHMANN & BARNARD #433 ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. ANCHOR INTO (E) BACKUP MASONRY W/ 3/8" DIA. HILTI HIY

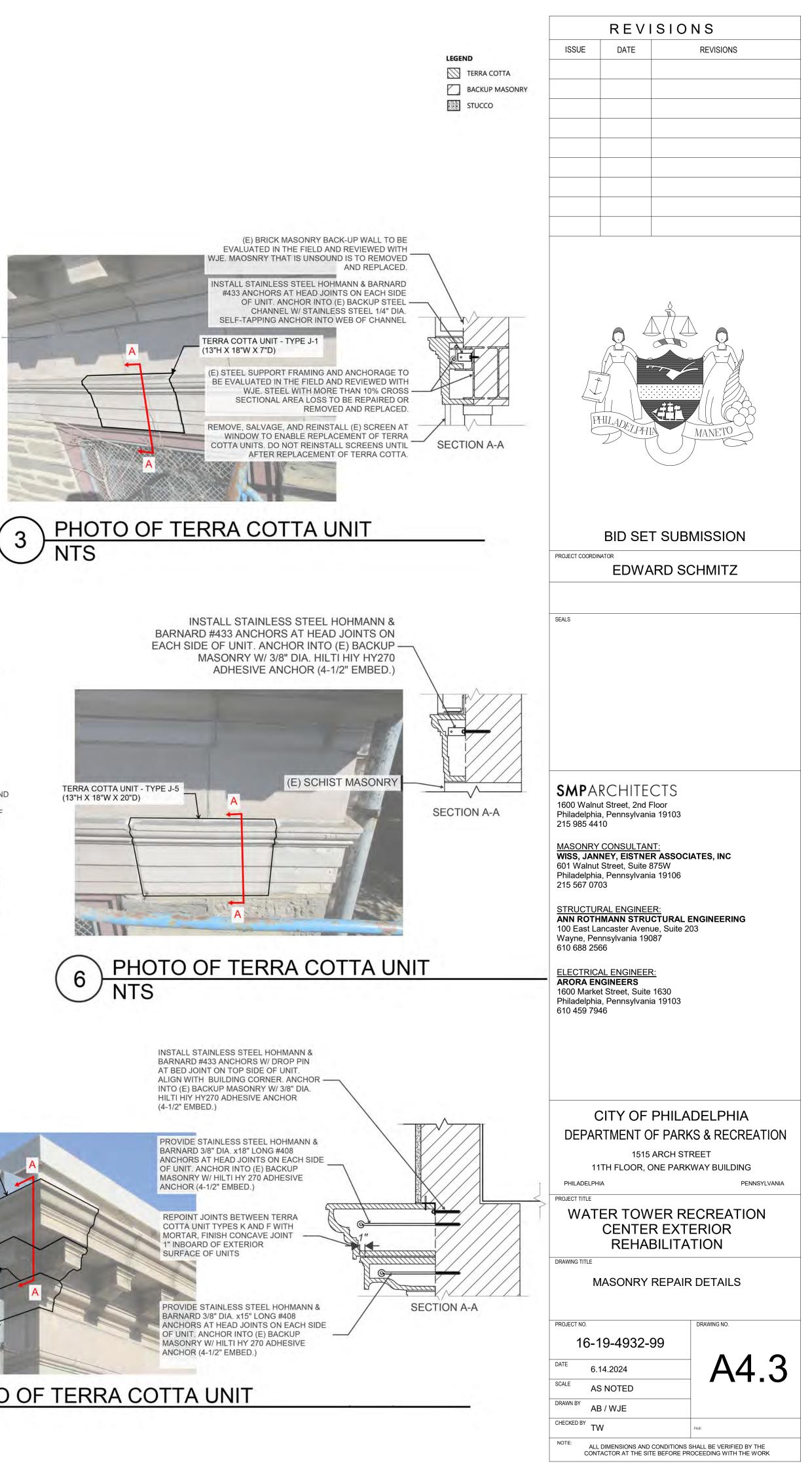
HY270 ADHESIVE ANCHOR (4-1/2" EMBED.) **INSTALL STAINLESS STEEL HOHMANN & BARNARD #433** ANCHORS AT HEAD JOINTS ON EACH SIDE OF UNIT. - ANCHOR INTO (E) BACKUP STEEL CHANNEL W/ STAINLESS STEEL 1/4" DIA. SELF-TAPPING ANCHOR INTO WEB OF

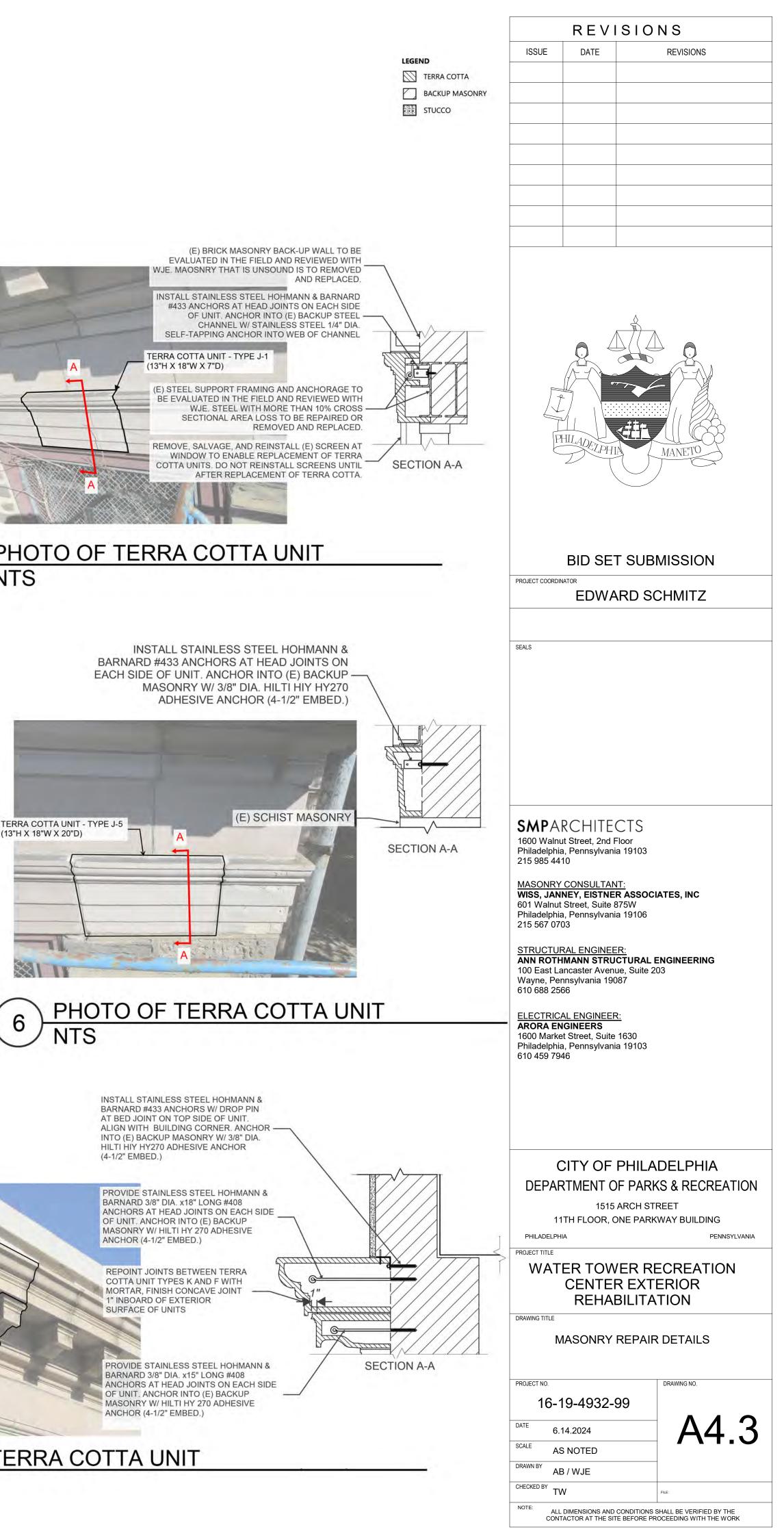
CHANNEL (E) STEEL SUPPORT FRAMING TO BE EVALUATED IN THE FIELD AND REVIEWED WITH WJE. STEEL WITH MORE THAN 10% CROSS SECTIONAL AREA LOSS TO BE REPAIRED OR

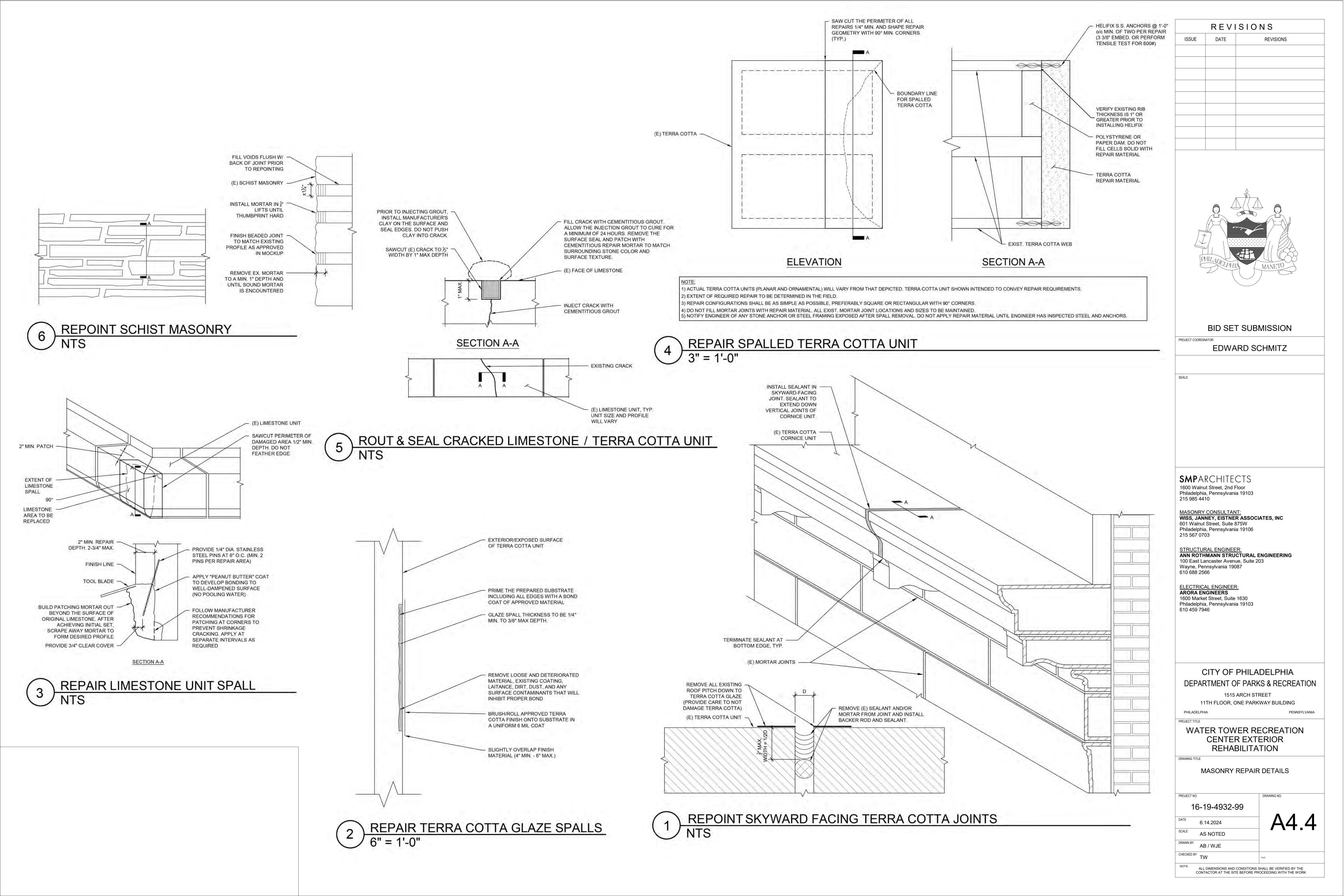
REMOVED AND REPLACED. INSTALL (2) 1/4" THICK STAINLESS STEEL BENT PLATES W/ 1/2" DIA. RODS W/ STAINLESS STEEL NUTS AT HEAD JOINTS

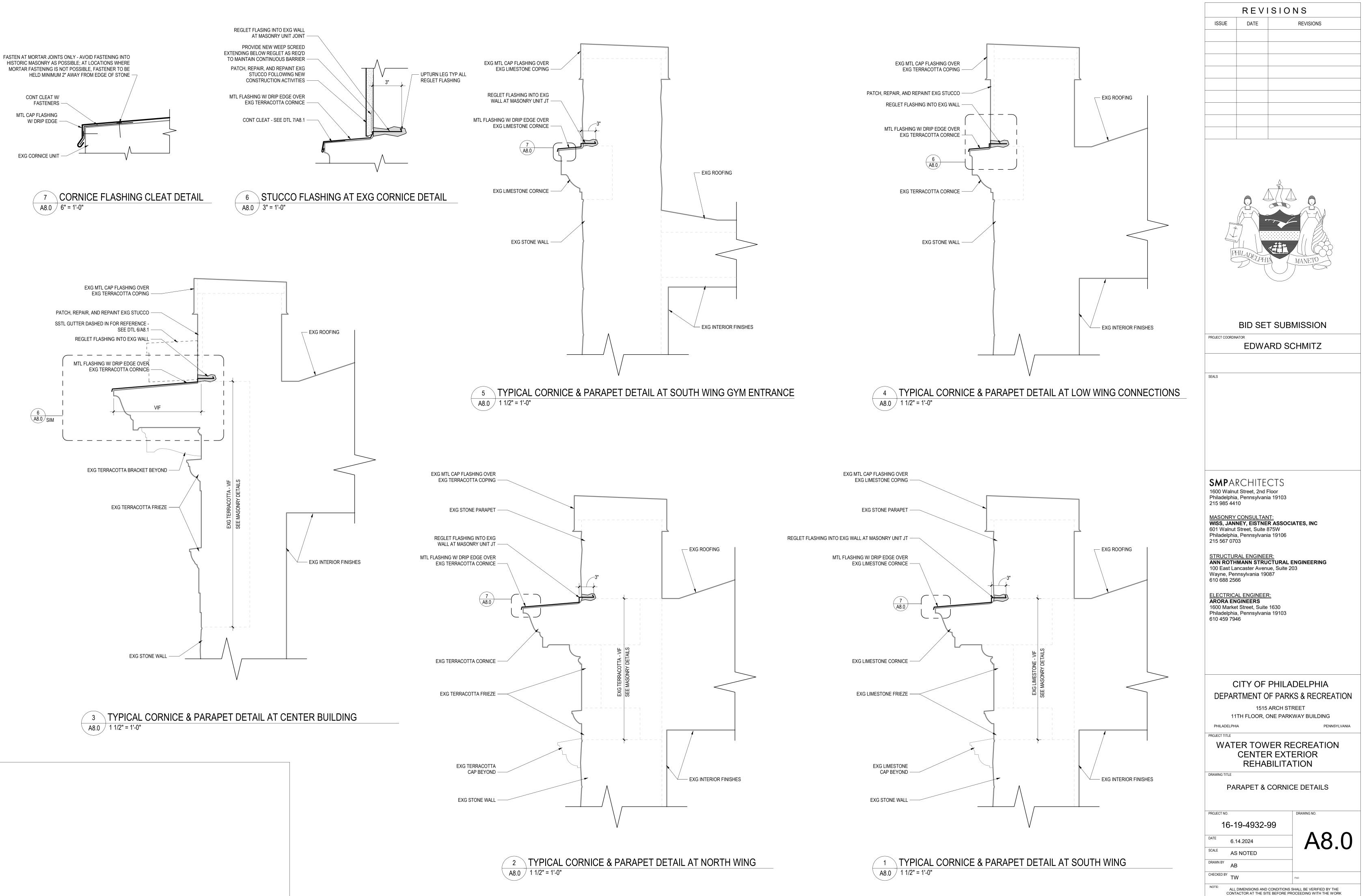
- ON EACH SIDE OF UNIT. FASTEN PLATES TO EXISTING STEEL CHANNELS IN BACKUP WALL W/ STAINLESS STEEL1/2" DIA. BOLTS; DRILL AND TAP INTO BOTTOM FLANGE OF CHANNELS

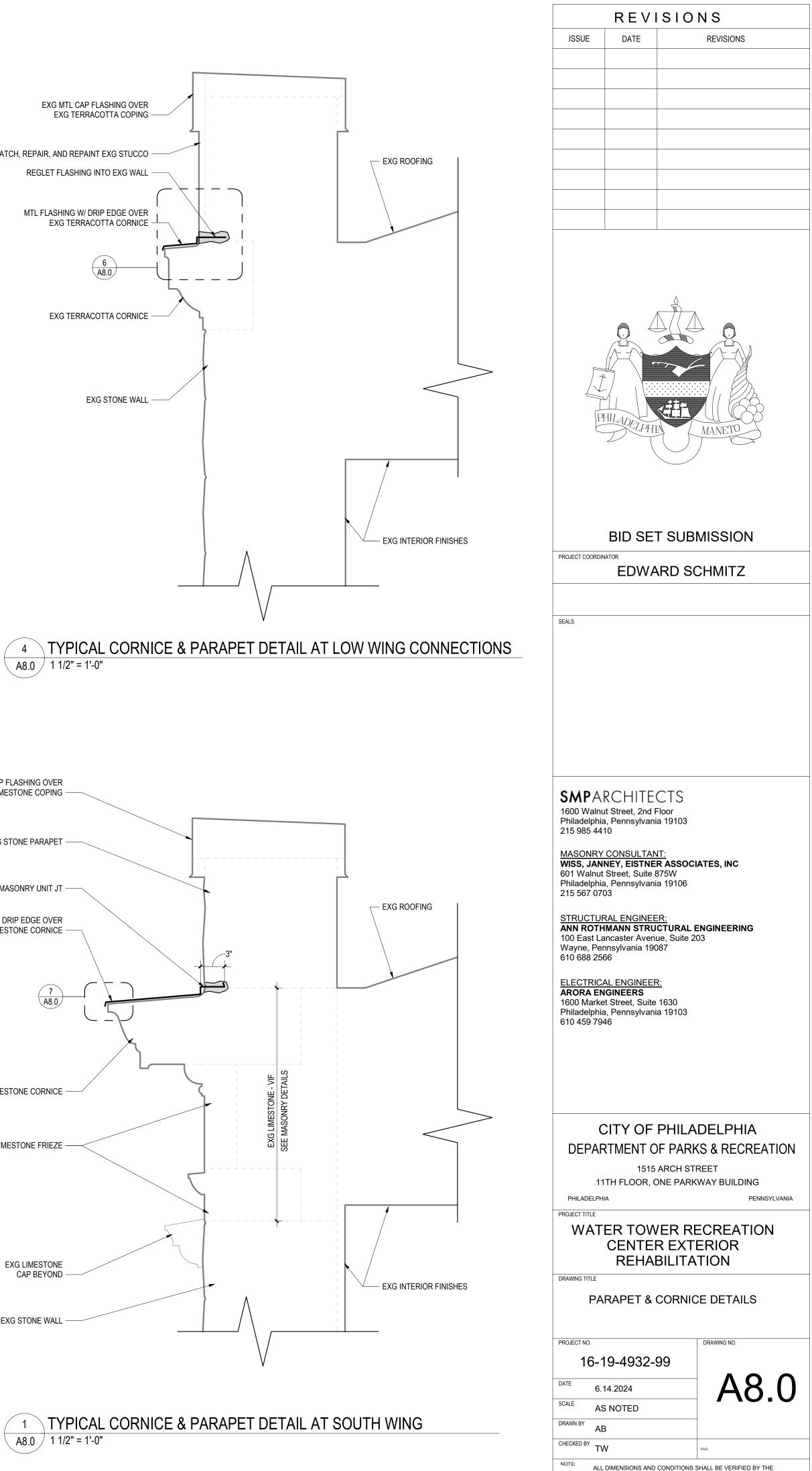




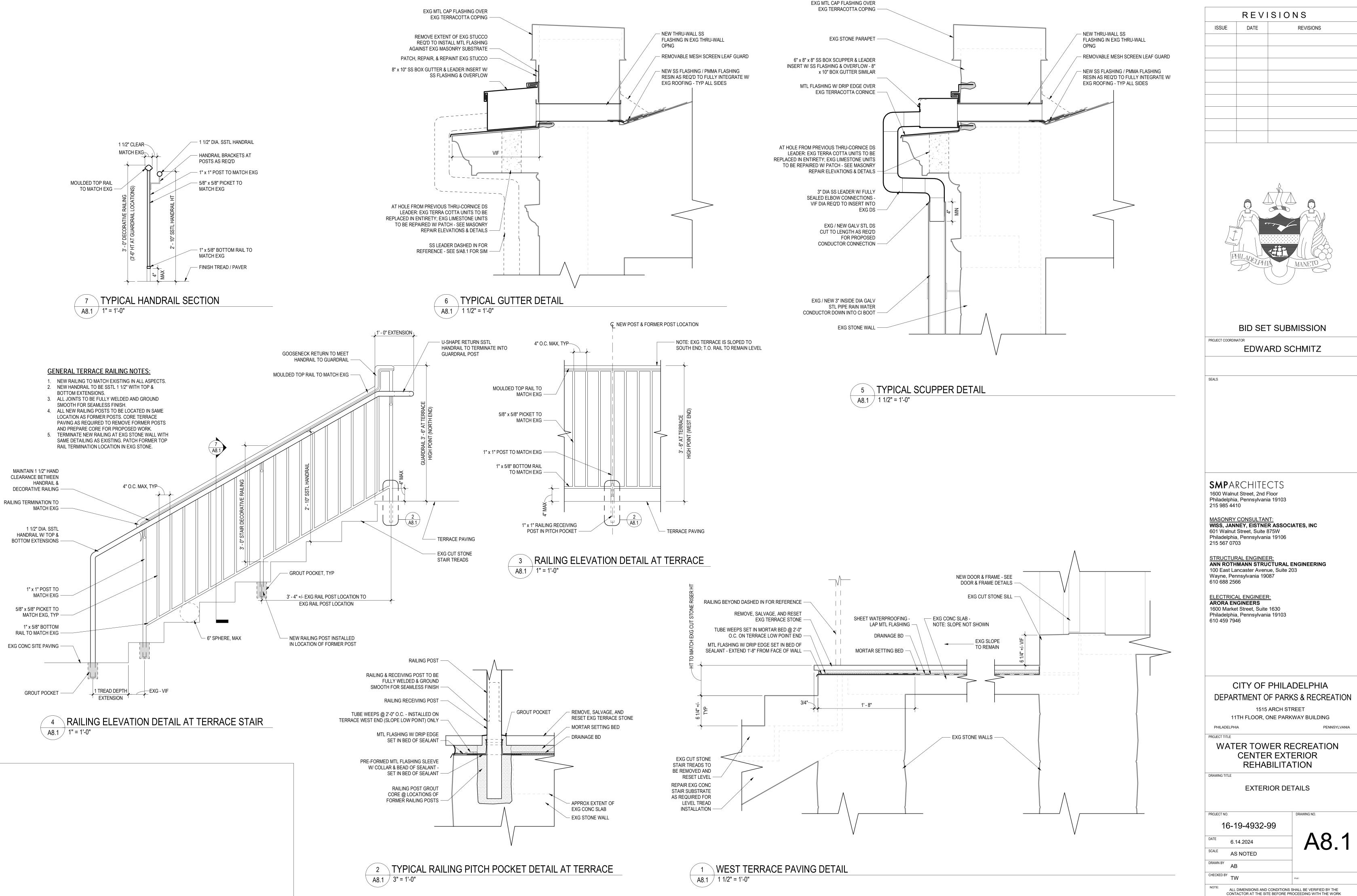


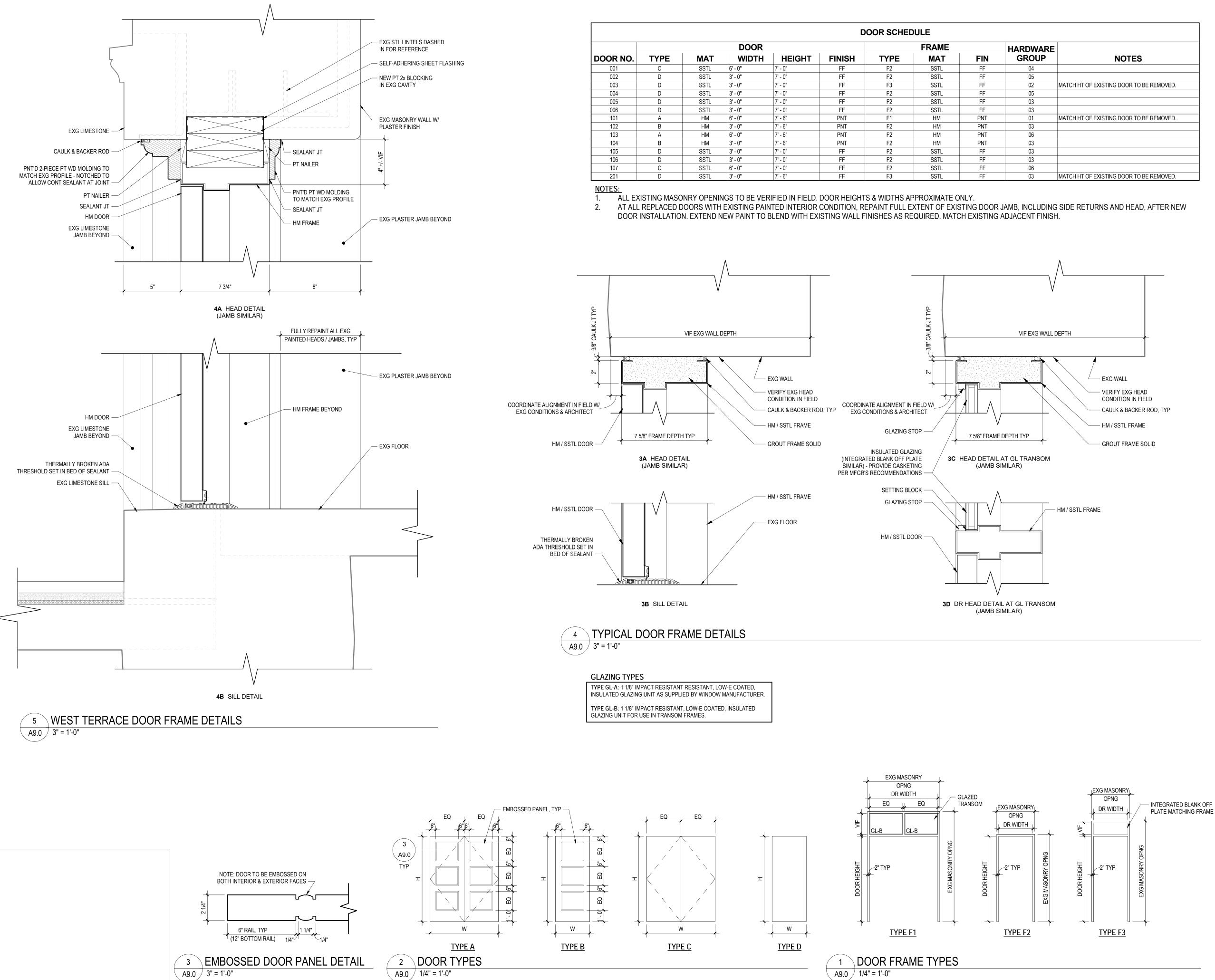


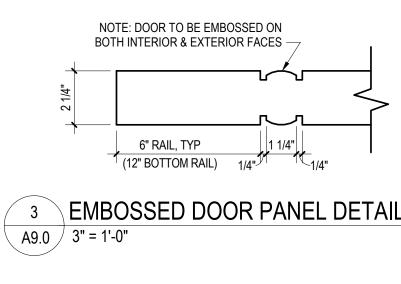


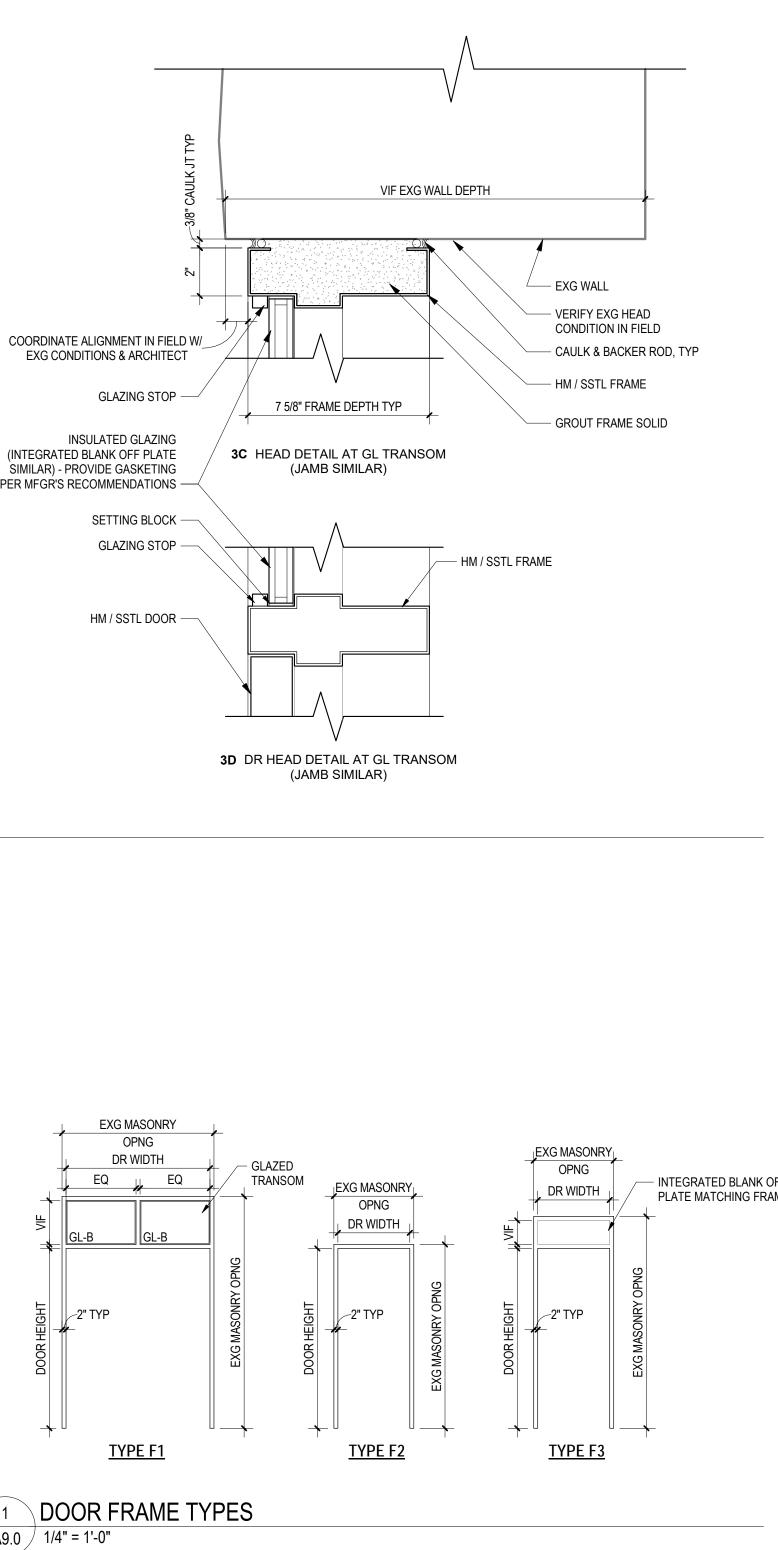






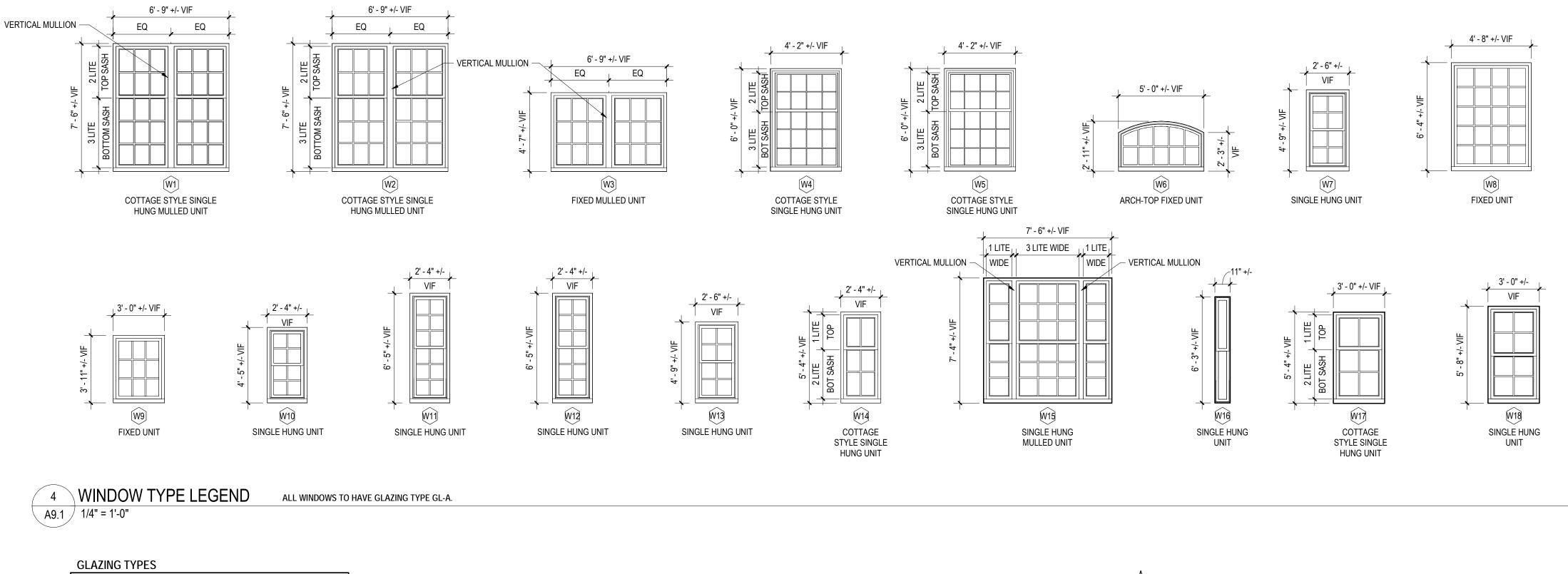




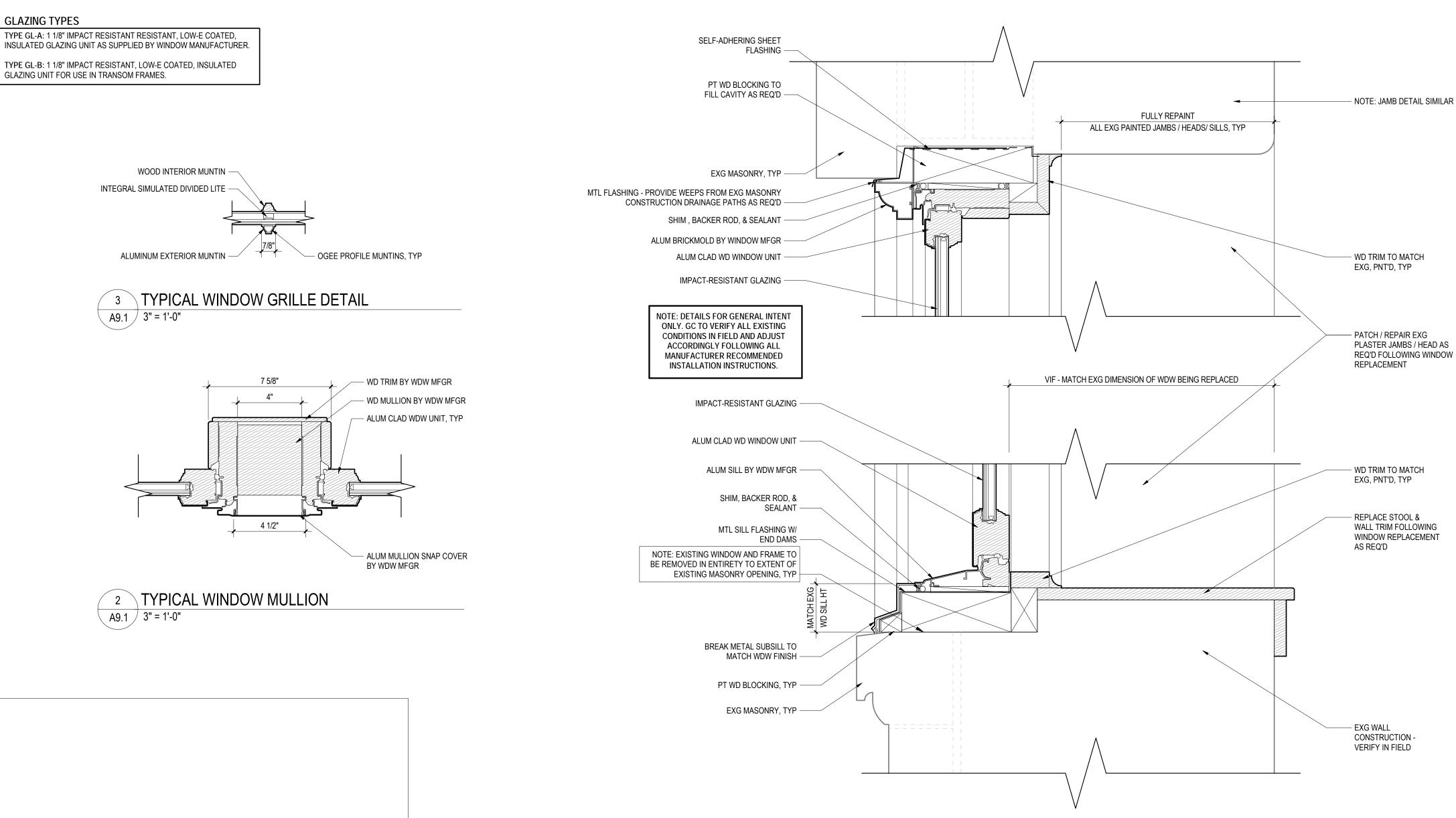


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·	FIN	HARDWARE GROUP	NOTES
	FF	04	
	FF	05	
	FF	02	MATCH HT OF EXISTING DOOR TO BE REMOVED.
	FF	05	
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	FF	03	
	PNT	01	MATCH HT OF EXISTING DOOR TO BE REMOVED.
	PNT	03	
	PNT	06	
	PNT	03	
	FF	03	
	FF	03	
	FF	06	
	FF	03	MATCH HT OF EXISTING DOOR TO BE REMOVED.

	REVI	SIO	NS	
ISSUE	DATE		REVISIONS	
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TYPE GL-A: 1 1/8" IMPACT RESISTANT RESISTANT, LOW-E COATED, INSULATED GLAZING UNIT AS SUPPLIED BY WINDOW MANUFACTURER. TYPE GL-B: 1 1/8" IMPACT RESISTANT, LOW-E COATED, INSULATED





GENERAL WINDOW NOTES:

- 1. ALL WINDOW DIMENSIONS INDICATED ARE APPROXIMATE ONLY. CONTRACTOR RESPONSIBLE TO BECOME FULLY FAMILIAR WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO, FULLY VERIFYING ALL DIMENSIONS AND CONDITIONS OF WINDOW REPLACEMENT SCOPE IN PREPARATION OF SUBMISSION OF BID.
- 2. PROVIDE ALL ACCESSORIES AS REQUIRED FOR A COMPLETE WINDOW INSTALLATION, INCLUDING FLASHING, FRAMES, SUBSILLS, BRICKMOLDS, WATERPROOFING, JAMB FILLERS, AND RECEPTORS AS REQUIRED.
- 3. ALL WINDOW REPLACEMENT TO INCLUDE ENTIRETY OF FRAME, INTERMEDIATE MULLS, SUBSILLS, SILLS, STOOLS, AND INTERIOR TRIM TO EXTENT OF EXISTING MASONRY OPENING.
- 4. CONTRACTOR TO VERIFY IN FIELD CONDITION AND CONFIGURATION OF EXISTING MASONRY OPENING AND IN-WALL CONSTRUCTION.
- 5. CONTRACTOR TO PROVIDE NEW FRAMING, BLOCKING, AND/OR MASONRY INFILL IN-WALL AS REQUIRED TO PROVIDE SUITABLE SUBSTRATE FOR WINDOW INSTALLATION.
- 6. CONTRACTOR TO PROVIDE NEW WOOD STOOLS AND INTERIOR TRIM AS REQUIRED AT WINDOW INSTALLATIONS. INTERIOR STOOLS AND TRIM TO BE PRIMED AND PAINTED. 7. AT ALL REPLACED WINDOWS WITH EXISTING PAINTED INTERIOR CONDITION, REPAINT FULL
- EXTENT OF EXISTING WINDOW JAMB, INCLUDING SIDE RETURNS, HEAD, SILL/STOOL/TRIM, AFTER NEW WINDOW INSTALLATION. EXTEND NEW PAINT TO BLEND WITH EXISTING WALL FINISHES AS REQUIRED. MATCH EXISTING ADJACENT FINISH.
- 8. WINDOWS ARE TO BE OF STYLE, INCLUDING LITE CONFIGURATION, SHAPE, MULL-CONFIGURATION, AND OPERATION, AS INDICATED IN THE WINDOW TYPE LEGEND. A. "FIXED" REFERS TO NON-OPERABLE UNITS.
 - a. BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES TRADITIONAL, ALUMINUM CLAD
- WOOD CASEMENT WINDOW INSTALLED FIXED. B. "SINGLE HUNG" REFERS TO UNITS WITH OPERABLE BOTTOM SASH, FIXED TOP SASH. TOP AND BOTTOM SASH TO BE EQUAL HEIGHT UNLESS INDICATED AS "COTTAGE STYLE" - SEE BFI OW
- a. BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES TRADITIONAL, ALUMINUM CLAD SINGLE HUNG WINDOW.
- C. "MULLED" REFERS TO FACTORY JOINED UNITS. a. MULLION BASIS-OF-DESIGN PELLA MULLION TYPE "J", 4" x 4-3/8" WOOD WITH ALUMINUM CLADDING TO MATCH ADJACENT WINDOW UNITS.
- D. "COTTAGE STYLE" REFERS TO UN-EQUAL TOP-BOTTOM SASH LITE CONFIGURATION AS INDICATED. a. BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES - TRADITIONAL, ALUMINUM CLAD
- SINGLE HUNG WINDOW. E. "ARCH-TOP" REFERS TO UNITS WITH ARCHED TOP. FIELD VERIFY EXISTING MASONRY OPENING AND PROVIDE UNIT TO COMPLETELY FILL EXISTING OPENING. SQUARING OFF OF WINDOW AND/OR GLAZING IN OPENING NOT ACCEPTABLE.
- a. BASIS-OF-DESIGN IS PELLA ARCHITECT SERIES TRADITIONAL, ALUMINUM CLAD WOOD CASEMENT WINDOW INSTALLED FIXED.
- 9. PROVIDE ALL NEW OPERABLE WINDOWS WITH MANUFACTURER STANDARD INSECT SCREENS. 10. EQUALLY SPACE MUNTINS IN HEIGHT / WIDTH AS INDICATED IN WINDOW TYPE LEGEND. 11. WINDOWS, MULLIONS, FRAME, BRICKMOLD, SUBSILL AND ACCESSORIES ARE TO BE PROVIDED BY SINGLE WINDOW MANUFACTURER UTILIZING ESTABLISHED MANUFACTURER DETAILS.
- DETAILS TO BE FULLY REVIEWED IN SHOP DRAWINGS. 12. WINDOW DETAILS INDICATED ARE FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS. CONTRACTOR TO COORDINATE EXISTING CONDITIONS WITH
- ESTABLISHED MANUFACTURER DETAILS. DETAILS TO BE FULLY REVIEWED IN SHOP DRAWINGS. 13. WINDOW DETAIL PROFILES, INCLUDING BRICK-MOLD AND SILL, ARE DEPICTED FOR REFERENCE ONLY. FINAL PROFILES ARE TO BE SELECTED FROM MANUFACTURER'S RANGE TO MOST CLOSELY MATCH EXISTING WOOD WINDOWS BEING REPLACED. DETAILS TO BE FULLY REVIEWED IN SHOP DRAWINGS.
- 14. WINDOWS INDICATED TO BE REPAIRED / REPAINTED IN THE WINDOW ALTERNATE MATRIX ARE TO BE FULLY SANDED, PRIMED, AND PAINTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS. REPAIRS TO WINDOWS INCLUDE, BUT ARE NOT LIMITED TO, REPAIR OF DETERIORATED AND DAMAGED WOOD, REBALANCING OF SASHES, REPLACEMENT OF MISSING OR DAMAGED HARDWARE, REPLACEMENT OF MISSING OR DAMAGED GLAZED LITES, SCRAPING AND RECAULKING OF EXISTING JOINTS, AND SCRAPING AND REGLAZING OF EXISTING PUTTY AT GLAZED LITES.
- 15. WINDOWS INDICATED TO BE REPAIRED / REPAINTED IN THE WINDOW ALTERNATE MATRIX ARE TO BE REPAIRED TO A STATE OF FULLY FUNCTIONING, SMOOTHLY OPERATING, AND FULLY WEATHERTIGHT. REPAIRS ARE TO BE REVIEWED AND APPROVED TO THE SATISFACTION OF THE PROJECT ARCHITECT AND OWNER IN LINE WITH TYPICAL RESTORATION WORK.

WINDOW ALTERNATE MATRIX

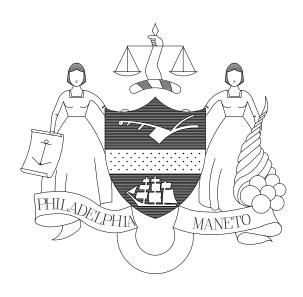
		BASI	e Bid		#1 - WINDOW Age I		#2 - WINDOW Age II
Mark	ΟΤΥ	REPLACE	REPAINT / REPAIR ONLY	REPLACE	REPAINT / REPAIR ONLY	REPLACE	REPAINT / REPAIR ONLY
W1	10		•		•	•	
W2	10			•		•	
W3	1			•		•	
W4	10			•		•	
W5	2	•		•		•	
W6	9	•		•		•	
W7	2	•		•		•	
W8	2	•		•		•	
W9	2	•		•		•	
W10	2		•		•	•	
W11	3	•		•		•	
W12	1			•		•	
W13	2			•		•	
W14	3			•		•	
W15	2		•		•	•	
W16	2	•		•		•	
W17	3	•		•		•	
W18	4		•		•	•	

WINDOW ALTERNATE MATRIX NOTES:

- 1. CONTRACTOR TO PRICE EACH WINDOW PACKAGE SEPARATELY AND INDICATE IN BID AS
- FOLLOWS: A. BASE BID PACKAGE INCLUDED AS PART OF THE BASE BID. BASE BID PACKAGE
- DESCRIPTION AS FOLLOWS: a. REPLACEMENT OF SELECTED WOOD WINDOWS. REPAIR / REPAINTING OF SELECTED WOOD WINDOWS. EXISTING ALUMINUM WINDOWS AND EXISTING ALUMINIUM CLAD WOOD WINDOWS TO REMAIN.
- B. <u>ALTERNATE #1</u> WINDOW PACKAGE I LISTED AS AN ADD ALTERNATE OVER THE BASE BID. WINDOW PACKAGE I DESCRIPTION AS FOLLOWS: a. REPLACEMENT OF SELECTED WOOD WINDOWS. REPAIR / REPAINTING OF SELECTED WOOD WINDOWS. REPLACEMENT OF ALL ALUMINUM WINDOWS AND ALL ALUMINUM CLAD WOOD WINDOWS.
- C. ALTERNATE #2 WINDOW PACKAGE II LISTED AS AN ADD ALTERNATE OVER THE BASE BID. WINDOW PACKAGE II DESCIPTION AS FOLLOWS: a. REPLACEMENT OF ALL WOOD, ALUMINUM, AND ALUMINUM CLAD WOOD WINDOWS.

ISSUE	DATE	REVISIONS

REVISIONS



BID SET SUBMISSION

EDWARD SCHMITZ

SEALS

PROJECT COORDINATOR

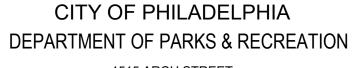
SMPARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

MASONRY CONSULTANT: WISS, JANNEY, EISTNER ASSOCIATES, INC 601 Walnut Street, Suite 875W Philadelphia, Pennsylvania 19106 215 567 0703

STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 688 2566

ELECTRICAL ENGINEER: ARORA ENGINEERS

1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 610 459 7946



1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PENNSYLVANIA

PHILADELPHIA PROJECT TITLE

WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION

DRAWING TITLE

WINDOW SCHEDULE & DETAILS

ROJECT N	0.	DRAWING NO.
1	6-19-4932-99	
DATE	6.14.2024	A9.1
SCALE	AS NOTED	/ (011
RAWN BY	AB	
HECKED E	^{3Y} TW	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS S CONTACTOR AT THE SITE BEFORE PR	

ELECTRICAL GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS ADOPTED BY MUNICIPAL, COUNTY, STATE, AND FEDERAL AUTHORITIES, INCLUDING THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) NFPA 70. AND WITH THE REQUIREMENTS/AMENDMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
- CONTRACT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO CONVEY SCOPE, DESIGN INTENT, AND GENERAL ARRANGEMENT ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK OF ALL TRADES INCLUDING RESOLUTION OF FIELD CONFLICTS THAT MAY ARISE.
- EACH FEEDER AND BRANCH CIRCUIT SHALL INCLUDE AN INSULATED EQUIPMENT GROUNDING CONDUCTOR. BOND ALL ELECTRICAL EQUIPMENT, OUTLET BOXES, GROUNDING TYPE RECEPTACLES, ETC., IN ACCORDANCE WITH NEC ARTICLE 250.
- MULTI-WIRE BRANCH CIRCUITS SHALL NOT BE PERMITTED. EACH 120V AND 277V BRANCH CIRCUIT SHALL INCLUDE DEDICATED NEUTRAL AND INSULATED GROUNDING CONDUCTORS. BOND ALL ELECTRICAL EQUIPMENT, OUTLET BOXES, GROUNDING TYPE RECEPTACLES, ETC., IN ACCORDANCE WITH NEC ARTICLE 250.
- TRUNKING OR GROUPING OF BRANCH CIRCUITS AND FEEDERS SHALL BE PERMITTED, PROVIDED THAT THE NEC RULES PERTAINING TO MAXIMUM ALLOWABLE PERCENT FILL OF RACEWAYS, AND AMPACITY OF ADJUSTMENT FACTORS FOR MORE THAN 3 CURRENT CARRYING CONDUCTORS IN A RACEWAY ARE STRICTLY COMPLIED WITH. THE ELECTRICAL CONTRACTOR SHALL EXERCISE GREAT CAUTION IN PROVIDING AN EQUAL NUMBER OF A. B. AND C PHASE CONDUCTORS WHEN GROUPING CIRCUITS.
- TROUGHS, JUNCTION AND PULL BOXES ARE NOT NECESSARILY INDICATED, BUT SHALL BE PROVIDED WHERE MANDATED BY THE NEC, AND AS REQUIRED FOR EASE OF INSTALLATION. BOXES SHALL BE SIZED (MINIMUM) IN ACCORDANCE WITH NEC ARTICLE 314. TROUGHS SHALL BE SIZED PER NEC ARTICLE 366.
- 7. FEEDER AND BRANCH CIRCUIT WIRING ARE DEPICTED BY ASSIGNMENT OF CIRCUIT NUMBERS, INTERCONNECTING WIRING AND HOMERUNS, OR HOMERUNS ONLY (FOR SINGULAR LOADS). ALL FEEDERS AND BRANCH CIRCUITS ARE NEW TO BE PROVIDED UNDER THIS CONTRACT UNLESS OTHERWISE NOTED. INTERIOR WIRING SHALL BE INSTALLED IN RIGID METALLIC CONDUIT AND/OR EMT, 3/4" MINIMUM. FLEXIBLE METAL CONDUIT, LIQUID-TIGHT FLEXIBLE METAL CONDUIT SHALL BE UTILIZED IN LIMITED LENGTHS AS NECESSARY, OR AS REQUIRED/ALLOWED BY CODE.
- ALL NEW 600V OVER-CURRENT PROTECTIVE DEVICES SHALL HAVE INTERRUPTING CAPABILITIES OR RATINGS (AIC OR AIR) IN RMS AMPERES SYMMETRICAL. ALL DEVICES SHALL BE FULLY RATED FOR AVAILABLE FAULT CURRENT. ALL PANELBOARDS, SWITCHBOARDS, MDPS, DEVICES, ETC. SHALL BE FULLY RATED.
- ALL BUILDING WIRE SHALL BE COPPER CONDUCTORS, TYPE THHN/THWN-2 (DUAL LISTED) 90 DEGREE CELSIUS RATED INSULATION, #12 AWG MINIMUM. UTILIZE #10 AWG WIRE FOR ANY 15A OR 20A, 120V CIRCUIT THAT EXCEEDS 100 FEET FROM SOURCE TO LAST DEVICE OR OUTLET.
- 10. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL AN APPROVED, UL LISTED, FIRE STOP SEALANT, TOTALLY ENCLOSING ALL PENETRATIONS THROUGH RATED CEILINGS, WALLS, ROOFS, FLOORS, ETC. ALL FLOOR PENETRATIONS SHALL BE CORE-DRILLED, SLEEVED AND SEALED WITH AN APPROVED FIRE RATED SEALANT. ELECTRICAL CONTRACTOR SHALL SUBMIT LETTER TO OWNER THAT THE REQUIRED FIRE SEALANT WAS INSTALLED PER MANUFACTURER'S REQUIREMENTS. ALL EXISTING PENETRATIONS BETWEEN FLOORS AND WALLS MUST BE CLOSED TO MAINTAIN FIRE RATING.
- 11. THE ELECTRICAL CONTRACTOR SHALL PERFORM THE WORK AS INDICATED ON THE DRAWINGS. ANY DEVIATIONS FROM THE DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL IN WRITING. IF CHANGES ARE MADE WITHOUT THE ENGINEER'S WRITTEN CONSENT, THE ELECTRICAL CONTRACTOR SHALL BE LIABLE FOR ANY ISSUES THAT MAY ARISE DUE TO THE CHANGES.
- 12. UNLESS OTHERWISE NOTED, ALL WIRE SIZES SHALL BE BASED ON THE FOLLOWING:
- a. #12 THROUGH #1 OR 100A OR LESS TABLE 310.16 60° COLUMN b. #1/0 AND GREATER OR 101A OR GREATER - TABLE 310.16 75° COLUMN
- c. OTHER ALLOWANCES OF 110.14(C)
- 13. UNLESS OTHERWISE NOTED, FEEDER TAPS AND TRANSFORMER SECONDARY CONDUCTOR TAPS ARE DESIGNED BASED ON THE 10' RULE OF 240.21(B)(1) & 240.21(C)(2).
- 14. UNLESS OTHERWISE NOTED, ALL CONDUIT SIZES SHALL BE BASED ON EMT, RMC, OR RNC (PVC SCHEDULE 40).
- 15. ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE NEW, LABELED AND LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY OR AGENCY (E.G. UL), UNLESS OTHERWISE NOTED.
- 16. THE ELECTRICAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF ALL EQUIPMENT IF NOT INDICATED ON DRAWINGS. IF THERE IS A DISCREPANCY, MANUFACTURER'S INSTRUCTIONS TAKE PRECEDENCE.
- 17. THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL EQUIPMENT, LABOR, SERVICES, AND MATERIALS REQUIRED FOR COMPLETE INSTALLATION OF THE WORK INDICATED. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE NEW.
- 18. ALL WIRING, EQUIPMENT, STARTERS AND CONTROLS SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND TO THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
- DO NOT SCALE DRAWINGS. ELECTRICAL CONTRACTOR SHALL VERIFY AND CONFIRM ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES ON THE DRAWINGS. COPIES OF THIS DRAWING WITHOUT A PROFESSIONAL ENGINEER'S SEAL AND ORIGINAL SIGNATURE SHALL NOT BE CONSIDERED VALID AND ARE FOR CONVENIENCE TO THE USER AT THEIR OWN RISK.

- 20. ALL WORK SHALL COMPLY WITH THE LATEST REVISION OF THE LOCAL UTILITY'S ELECTRICAL SERVICE REQUIREMENTS (PECO ENERGY'S BLUE BOOK) - COORDINATE ALL SERVICE WORK WITH UTILITY PRIOR TO INSTALLATION. OBTAIN UTILITY APPROVAL BEFORE ENERGIZING NEW WORK. NOTIFY PECO'S NEW BUSINESS SERVICES (FORMERLY CBS) VIA S&M APPLICATION. OBTAIN PECO REQUIREMENTS & DELINEATION OF RESPONSIBILITIES IN WRITING.
- 21. THE ELECTRICAL CONTRACTOR TO PLACE NEW EQUIPMENT, RELOCATE CURRENTLY INSTALLED EQUIPMENT, OR RE-WORK EXISTING ROOM AS REQUIRED TO COMPLY WITH WORKING CLEARANCE ISSUES, DEDICATED SPACE ISSUES, AND WITH APPLICABLE CODES.
- 22. ALL NEW BREAKERS AND/OR DEVICES BEING INSTALLED IN EXISTING ELECTRICAL PANELS OR EQUIPMENT SHALL MATCH THE CHARACTERISTICS OF THE EXISTING EQUIPMENT IN MANUFACTURER. TYPE, MINIMUM SHORT CIRCUIT RATING, ETC.
- 23. ELECTRICAL CONTRACTOR TO RE-FEED AND/OR CONNECT NEW FEEDERS TO EXISTING EQUIPMENT AS REQUIRED. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO MAKE ANY REQUIRED AND/OR NECESSARY CHANGES TO THE EXISTING INSTALLATION TO ALLOW FOR NEW SERVICE/FEEDER CONFIGURATION.
- 24. WITH RESPECT TO CONSTRUCTION BASED ON THESE DRAWINGS, THE ELECTRICAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL INSTALLED MEANS AND METHODS MEETING ALL APPLICABLE CODES AND STANDARDS.
- 25. ALL SWITCHES AND CIRCUIT BREAKERS INSTALLED IN WET AND DAMP LOCATIONS SHALL MEET NEC 404.4.
- 26. UNLESS OTHERWISE NOTED, ALL CIRCUIT BREAKERS ARE BASED ON INVERSE TIME TYPE AND ALL FUSES ARE BASED ON DUAL ELEMENT TIME-DELAY TYPE.
- 27. ALL WORK SHALL BE SCHEDULED AND COORDINATED WITH THE OWNER SO THAT DISRUPTION TO THE AREAS INVOLVED OR OTHER PARTS OF THE BUILDING ARE KEPT TO A MINIMUM. ELECTRICAL CONTRACTOR SHALL GIVE OWNER A MINIMUM OF FIVE (5) WORKING DAYS NOTICE OF ANY AND ALL WORK THAT WILL INTERFERE WITH OWNER'S OPERATIONS SO A SCHEDULE SUITABLE TO THE OWNER CAN BE ARRANGED.
- 28. PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE TESTED, BALANCED AND OPERATED TO DEMONSTRATE TO THE OWNER THAT THE INSTALLATION AND PERFORMANCE OF THE INSTALLED SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE DESIGN INTENT.
- 29. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A MINIMUM PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE. ANY DEFECTS IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER PARTS OF THE BUILDING DAMAGED THEREBY, SHALL BE REPAIRED, REPLACED OR OTHERWISE REMEDIED WITHOUT EXPENSE TO THE OWNER. SUCH REPAIRS OR REPLACEMENTS SHALL BE MADE IN A TIMELY MANNER AND AT THE CONVENIENCE OF THE OWNER.
- 30. ALL ITEMS MARKED WITH AN (R) ON PLAN SHALL BE DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED. REMOVE EXISTING CONDUCTORS/CABLES WHERE NO LONGER REQUIRED. REMOVE WIRE FROM ALL ABANDONED CONDUIT. RECONNECT DISTURBED FACILITIES WHICH ARE TO REMAIN AND PLACE IN OPERATING CONDITION.
- 31. UPON COMPLETION OF THE CONTRACT, THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH THREE (3) COMPLETE SETS OF MANUFACTURERS' OPERATING, MAINTENANCE AND PREVENTIVE MAINTENANCE INSTRUCTIONS (IN BOUND BOOK FORM INCLUDING PARTS LIST, AND COMPLETE PROCUREMENT INFORMATION SPECIFYING EQUIPMENT NUMBERS AND DESCRIPTIONS. OPERATING STAFF PERSONNEL SHALL BE INSTRUCTED AS TO PROPER OPERATING AND SERVICE REQUIREMENTS OF THE SYSTEMS AND EQUIPMENT.
- 32. ELECTRICAL CONTRACTOR SHALL UPON COMPLETION OF THE WORK, SUBMIT A SET OF RECORD DRAWINGS SHOWING ALL BURIED OR CONCEALED EQUIPMENT OF PARTS OF THE WORK.
- 33. UPON COMPLETION OF ALL WORK, THOROUGHLY CLEAN ALL SYSTEMS OF OBSTRUCTIONS, DEBRIS, SCALE, DUST, DIRT, ETC. AND PLACE SYSTEMS IN OPERATION.
- 34. THE ELECTRICAL CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, ETC.
- 35. MAINTAIN CONTINUITY OF EXISTING SYSTEMS. PROVIDE TEMPORARY SERVICE AS NECESSARY. COORDINATE SHUTDOWNS WITH OWNER. RELOCATE, REROUTE, REMOVE OR ABANDON EXISTING WORK THAT INTERFERES WITH THE NEW ARRANGEMENT. REMOVE EXISTING ITEMS AS REQUIRED TO ACCOMMODATE NEW WORK.

- WORK.

GENERAL DEMOLITION NOTES:

1.	ELECTRICAL CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING
	CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL
	OTHER TRADES.

2. THE EXISTING CONDITION/DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT.

3. DEMOLITION IS NOT SHOWN IN COMPLETE DETAIL AND IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMOVE EXISTING CONSTRUCTION AS REQUIRED FOR COMPLETE DEMOLITION.

4. REFER TO WORK SHOWN ON OTHER DRAWINGS IN THE SET FOR THE EXTENT OF DEMOLITION REQUIRED TO PERFORM WORK INTENT. (I.E. ARCHITECTURAL, MECHANICAL, ELECTRICAL DEMOLITION SHEETS/NOTES).

5. THE GENERAL CONTRACTOR OR ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION DEBRIS GENERATED FROM HIS WORK, TAKING CARE TO PREVENT OVERLOADING OF FLOOR ASSEMBLY AND PROTECTION OF ADJACENT EXISTING CONSTRUCTION.

6. DURING DEMOLITION, TAKE ALL PRECAUTIONS NECESSARY TO PREVENT STRUCTURAL AND OTHER DAMAGE TO THE BUILDINGS EXISTING WALLS AND FINISHES.

7. PRIOR TO DEMOLITION, ELECTRICAL CONTRACTOR SHALL VERIFY BY MEANS OF VOLTAGE TESTING THAT ALL DEVICES, EQUIPMENT, ETC, TO BE REMOVED BY GENERAL CONTRACTOR ARE DE-ENERGIZED AND SAFE-OFF.

8. ELECTRICAL CONTRACTOR SHALL UPDATE PANELBOARD DIRECTORIES INDICATING WHICH CIRCUIT BREAKERS BECOME SPARES DUE TO DEMOLITION.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS.

2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.

3. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.

4. THE CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR AND DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.

6. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROVIDE A SKETCH OF THE CONDITION.

7. DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE

8. THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS WITH ALL TRADES PRIOR TO INSTALLATION.

9. DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE

10. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING NIC, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME AREA A PART OF THE CONTRACT WORK.

11. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SLEEVING WORK, UNO. COORDINATE LOCATION AND SIZE OF ALL OPENINGS, INTERIOR AND/OR EXTERIOR WITH ALL TRADES PRIOR TO INSTALLATION.

CODE NOTES:

 WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS IS OF EXTERIOR REPAIR AND RESTORATION IN NATURE, INCLUDING REPLACEMENT OF EXISTING DOORS AND WINDOWS IN THE SAME OPENINGS, RESTORATION AND REPLACEMENT OF COMPROMISED EXTERIOR MASONRY ORNAMENTS, AND GENERAL REPAIRS AND CLEANING OF EXISTING EXTERIOR MASONRY. SEE DOCUMENTS FOR FULL DESCRIPTION OF PROPOSED WORK.

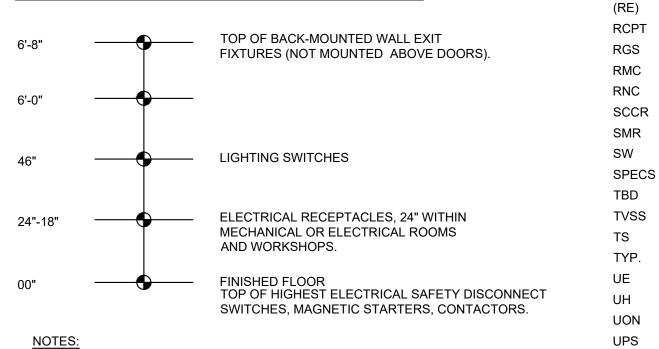
2. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR REPAIR WORK AS INDICATED IN DRAWINGS.

3. WORK DOES NOT IMPACT ISSUES OF HEIGHT, AREA, USE, OCCUPANCY OR EGRESS.

ELECTRICAL SYMBOLS:

\$	20A, 120/277 VAC, SINGLE POLE TOGGLE SWITCH		
\$ _{WP}	WEATHER PROOF SWITCH	A, AMP AC	AN
	OCCUPANCY SENSOR SWITCH	AC	AL AR
\$ _{os}	OCCUPANCE SENSOR SWITCH	AFF	AR
\$ ₃	20A, 120/277 VAC, THREE-WAY SWITCH	AFG	AB
		AIC	AM
\$ _M	MANUAL MOTOR RATED SWITCH	AT	٨N
\$		AF	٨N
\$ _D	LIGHT SWITCH - DIMMER SWITCH, 20A, 120/277V	ATC	AU
\$ _{3D}	LIGHT SWITCH - 3-WAY DIMMER SWITCH, 20A, 120/277V	AWG	٨N
50		BKR	BR
	BRANCH CIRCUIT HOMERUN INDICATES PANEL AND	C, CND	CO
XX:X	CIRCUIT BREAKER NUMBER	C.B.	CIF
		CKT	CIF
	LOOP LINE INDICATES CIRCUIT CONDUCTORS AND CONDUIT CONNECTING IDENTIFIED DEVICES.	CU	CO
		DC	DIF
J (J	JUNCTION BOX	DDC	DIC
		DWG	DR
\bigcirc	CEILING MOUNTED OCCUPANCY SENSOR	(E)	EX
		(ER)	ΕX
	DAYLIGHT SENSOR - CEILING MOUNT, DUAL TECHNOLOGY. PROVIDE WITH POWER PACK AND	EC	ELI
	NECESSARY MOUNTING BRACKETS.	EF	EX
		ELEC EQUIP	ELI
	PANELBOARD	EQUIF	EQ
		EMH	EM ELI
)	CIRCUIT BREAKER, RATINGS AS INDICATED	EMT	ELI
		EUH	ELI
$\overline{}$		FT	FO
(T)	LINE VOLTAGE THERMOSTAT FURNISHED BY HVAC CONTRACTOR	G, GND	GR
		GFCI, GFI	GR
SD	DUCT SMOKE DETECTOR	HZ	HE
M	METER	JB	JU
	METER	KAIC	KIL
(PP)	POWER POLE	KVA	KIL
		KW	KIL
	TRANSFORMER	LFMC	LIG
(PC)		MC	ME
\bigcirc	PHOTOCELL SENSOR - CEILING MOUNT, DUAL TECHNOLOGY. PROVIDE WITH POWER PACK AND	MCB	MA
	NECESSARY MOUNTING BRACKETS.	MCA	MA
PC	PHOTOCELL SENSOR - WALL MOUNT, DUAL	MIN	MIN
	TECHNOLOGY. PROVIDE WITH POWER PACK AND	MISC	MIS
	NECESSARY MOUNTING BRACKETS.	MLO	MA
		MOCP	MA
		MOCD	MA
$igodoldsymbol{ heta}$	CEILING PENDANT - CYLINDRICAL - ROUND APERATURE	(N)	NE
		NEC	NA
P	WALL MOUNT - SQUARE	NIC	NO
		NTS P	NO
4 >	REMOTE HEAD	P PH, Ø	PO
		ש, דח	PH

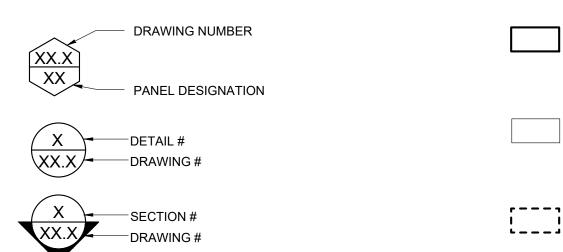
STANDARD MOUNTING HEIGHTS:



1. MOUNTING HEIGHTS TO CENTER OF OUTLETS UNLESS OTHERWISE NOTED.

2. THE ABOVE MOUNTING HEIGHTS SHALL BE ADHERED TO UNLESS NOTED OTHERWISE ON THE DRAWINGS OR SPECIFICATION.

DETAIL CALLOUT SYMBOLS:



ELECTRICAL ABBREVIATIONS:

V

VFD

XFMR

WP

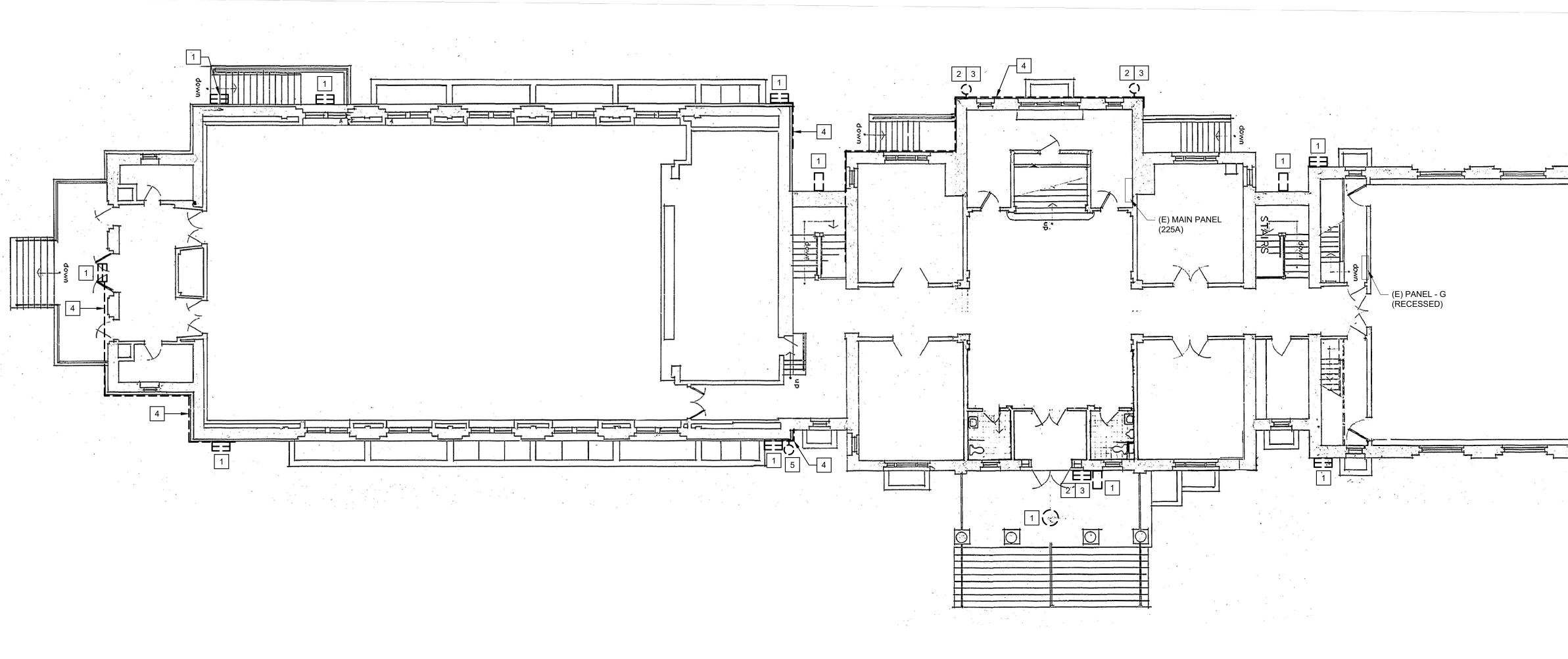
PNI

(R)

PWR

MPERES LTERNATING CURRENT RC FAULT CIRCUIT INTERRUPTER BOVE FINISHED FLOOR BOVE FINISHED GRADE MP INTERRUPTING CAPACITY MP TRIP MP FRAME UTOMATIC TEMPERATURE CONTROL MERICAN WIRE GAUGE REAKER ONDUIT IRCUIT BREAKER IRCUIT OPPER IRECT CURRENT IGITAL DATA CONTROL RAWING XISTING WORK/EQUIPMENT TO REMAIN XISTING WORK/EQUIPMENT TO BE RELOCATED LECTRICAL CONTRACTOR XHAUST FAN LECTRICAL QUIPMENT MERGENCY LECTRICAL MANHOLE LECTRICAL METALLIC TUBING LECTRIC UNIT HEATER OOT (FEET) ROUND ROUND FAULT CIRCUIT INTERRUPTER IERTZ UNCTION BOX ILO AMPERES INTERRUPTING CURRENT ILO VOLTS AMPERES ILOWATTS IQUID TIGHT FLEXIBLE METAL CONDUIT IECHANICAL CONTRACTOR IAIN CIRCUIT BREAKER IAXIMUM CIRCUIT AMPACITY 1INIMUM **IISCELLANEOUS** IAIN LUG ONLY **IAXIMUM OVER CURRENT PROTECTION** 1AXIMUM OVER CURRENT PROTECTIVE DEVICE IEW ATIONAL ELECTRIC CODE NOT IN CONTRACT IOT TO SCALE OLE PHASE PANE POWER EXISTING EQUIPMENT TO BE DISCONNECTED & REMOVED RELOCATED EXISTING WORK RECEPTACLE **RIGID GALVANIZED STEEL RIGID METAL CONDUIT RIGID NON-METALLIC CONDUIT** SHORT CIRCUIT CURRENT RATING SURFACE METAL RACEWAY SWITCH SPECIFICATIONS TO BE DETERMINED TRANSIENT VOLTAGE SURGE SUPPRESSION TWISTED SHIELDED TYPICAL UNDERGROUND ELECTRIC UNIT HEATER UNLESS OTHERWISE NOTED UNINTERRUPTIBLE POWER SUPPLY VOLTS VARIABLE FREQUENCY DRIVE WEATHER PROOF TRANSFORMER PRESENTATION ELECTRICAL EQUIPMENT DESIGNATED BY SOLID HEAVY LINE WEIGHT INDICATES NEW WORK TO BE FURNISHED AND INSTALLED. $\textcircled{} \qquad \bigcirc \qquad \textbf{Electrical equipment designated by solid light}$ LINE WEIGHT INDICATES EXISTING EQUIPMENT TO REMAIN, UNLESS OTHERWISE INDICATED. ELECTRICAL EQUIPMENT DESIGNATED BY DASHED HEAVY LINE WEIGHT REPRESENTS EXISTING EQUIPMENT TO BE REMOVED AND DISPOSED, UNLESS INDICATED TO BE REMOUNTED, RELOCATED, OR TURNED OVER TO OWNER.

	VISIO	NS
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	VARD SO	CHMITZ
1600 Walnut Street, 2 Philadelphia, Pennsyl 215 985 4410 <u>MASONRY CONSUL</u> WISS, JANNEY, EIS 601 Walnut Street, Su Philadelphia, Pennsyl 215 567 0703 <u>STRUCTURAL ENGIN</u> ANN ROTHMANN ST 100 East Lancaster A Wayne, Pennsylvania 610 688 2566 <u>ELECTRICAL ENGIN</u> ARORA ENGINEERS 1600 Market Street, S Philadelphia, Pennsyl 610 459 7946	vania 19103 <u>TANT:</u> TNER ASSOC uite 875W vania 19106 <u>NEER:</u> TRUCTURAL E venue, Suite 20 19087 <u>EER:</u> Suite 1630	ENGINEERING
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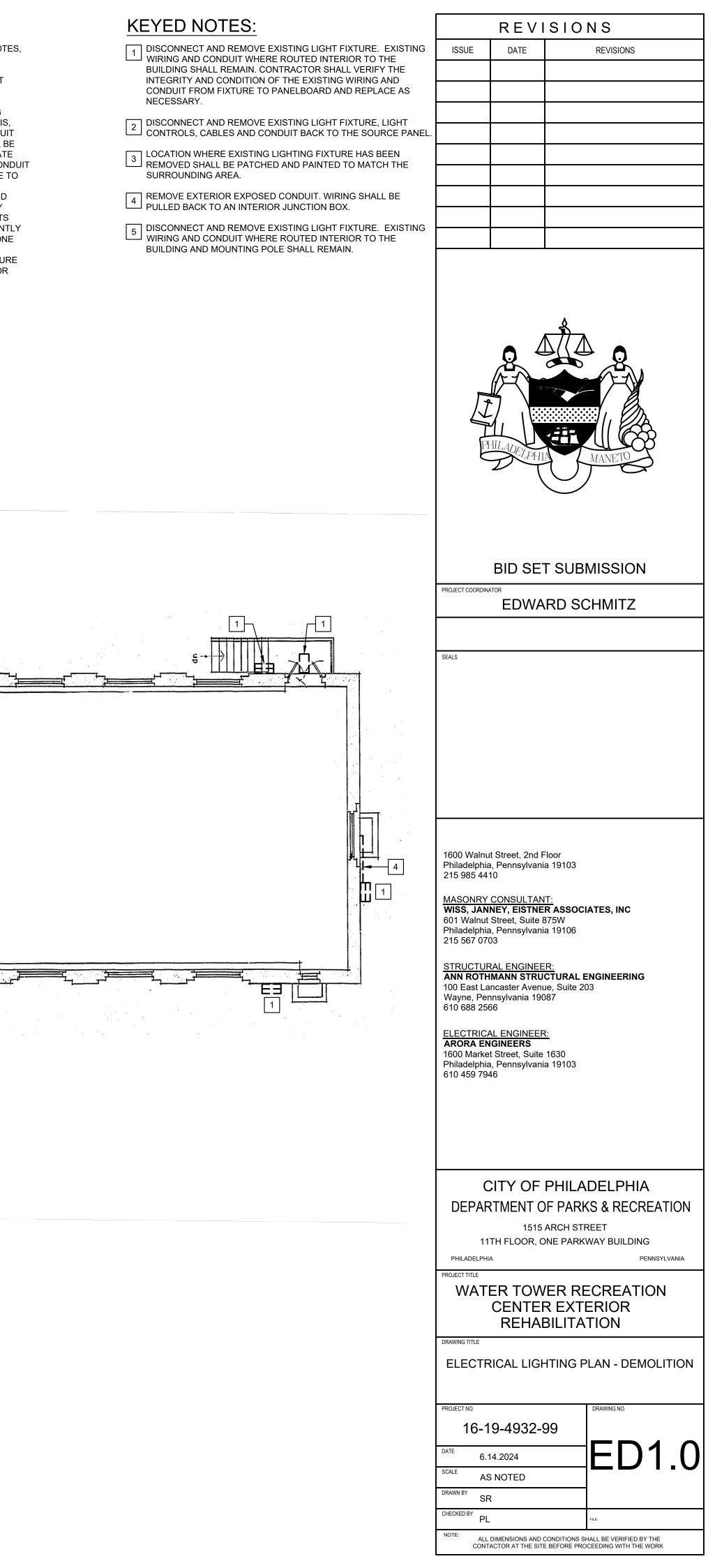


GENERAL NOTES:

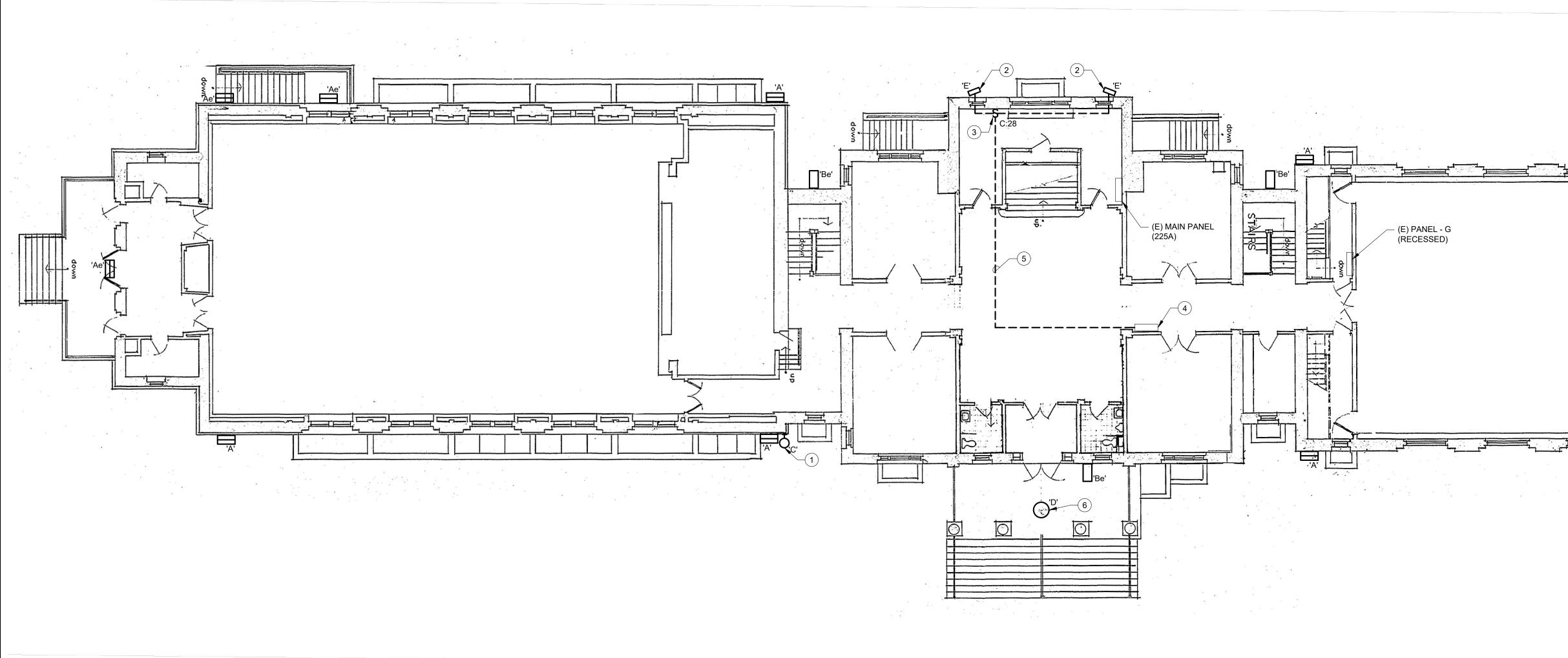
- 1. REFER TO DRAWING E0.0 FOR ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- 2. CONTRACTOR SHALL UPDATE ALL PANELBOARD CIRCUIT DIRECTORIES UPON COMPLETION OF DEMOLITION.
- 3. SCOPE OF WORK FOR ELECTRICAL: EXTERIOR LIGHTING FIXTURES SHALL BE REPLACED ON A ONE FOR ONE BASIS, UNLESS OTHERWISE NOTED. EXISTING, EXPOSED CONDUIT AND WIRING ON THE EXTERIOR OF THE BUILDING SHALL BE COMPLETELY REMOVED. CONTRACTOR SHALL PENETRATE EXTERIOR WALL BEHIND FIXTURE AND PROVIDE NEW CONDUIT AND WIRING ON THE INTERIOR OF THE BUILDING (ROUTE TO NEAREST EXISTING EXTERIOR LIGHTING JUNCTION BOX WHERE POSSIBLE). EXISTING MOUNTING LOCATIONS AND BACK BOXES SHALL BE REUSED FOR ALL FIXTURES. ANY DAMAGED BACK BOXES, JUNCTION BOXES, OR SUPPORTS SHALL BE REPLACED. WHERE FIXTURE DOESN'T CURRENTLY HAVE A BACK BOX, CONTRACTOR SHALL INSTALL NEW ONE FOR MOUNTING OF NEW FIXTURES AND TO ALLOW FOR ROUTING OF CONDUIT AND WIRING FROM BACK OF FIXTURE THROUGH INTERIOR OF BUILDING TO NEAREST EXTERIOR LIGHTING JUNCTION BOX / CIRCUIT.



ELECTRICAL LIGHTING PLAN - DEMOLITION Scale: 1" = 10'-0"



LED LUMINAIRE SCHEDULE								
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NO.	MOUNTING	WATTS	VOLTS		
"A"	TWR LED WALL PACK, 4000K COLOR TEMPERATURE, 8500 LUMENS	LITHONIA	TWR1-LED-ALO-SWW2-UVOLT-PE-DDBTXD	SURFACE MOUNTED	59	120		
"Ae"	TWR LED WALL PACK, 4000K COLOR TEMPERATURE, 8500 LUMENS with EMERGENCY BATTERY PACK	LITHONIA	TWR1-LED-ALO-SWW2-UVOLT-PE-DDBTXD	SURFACE MOUNTED	59	120		
"Be"	AFF EMERGENCY LIGHT WITH BATTERY PACK	LITHONIA	AFF-PEL-DDBTXD-UVOLT-LTP-SDRT-WT	SURFACE MOUNTED	20	120		
"C"	TFX2 LED FLOODLIGHT, 4000K COLOR TEMPERATURE, 13200 LUMENS	LITHONIA	TFX2-LED-40K-MVOLT-YK-DDBXD	SURFACE/POLE MOUNTED	94	120		
"D"	CASSIA PENDANT FIXTURE, IP65 RATED, 14" DIAMETER, 36" LENGTH, MATTE WHITE ACRYLIC DIFFUSER, 3500K COLOR TEMPERATURE, LUMEN OUTPUT 6400 LUMENS.	CAMMAN	P710-36-LN-35K-CLV-MV-WM-STBD-ST-OAH108	PENDANT	70	MVOLT		
"E"	LED FLOODLIGHT, 4000K, ADJUSTABLE AIMING, 14,000 LUMENS	LITHONIA	ESXF3-ALO-14000L-SWW2-4000K-YS-DBB	SURFACE MOUNTED	LITHONIA	120		



GENERAL NOTES:

- 1. REFER TO DRAWING E0.0 FOR ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- 2. REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXA LOCATIONS AND MOUNTING HEIGHT FOR ALL THE EXTERIOR LIGHT FIXTURES.
- 3. SCOPE OF WORK FOR ELECTRICAL: EXTERIOR LIGHTING FIXTURES SHALL BE REPLACED ON A ONE FOR ONE BASIS, UNLESS OTHERWISE NOTED. EXISTING, EXPOSED CONDUIT AN WIRING ON THE EXTERIOR OF THE BUILDING SHALL BE COMPLETELY REMOVED. CONTRACTOR SHALL PENETRATE EXTERIOR WALL BEHIND FIXTURE AND PROVIDE NEW CONDUI AND WIRING ON THE INTERIOR OF THE BUILDING (ROUTE TO NEAREST EXISTING JUNCTION BOX WHERE POSSIBLE). EXISTIN MOUNTING LOCATIONS AND BACK BOXES SHALL BE REUSED FOR ALL FIXTURES. ANY DAMAGED BACK BOXES, JUNCTION BOXES, OR SUPPORTS SHALL BE REPLACED. WHERE FIXTURE DOESN'T CURRENTLY HAVE A BACK BOX, CONTRACTOR SHALL INSTALL NEW ONE FOR MOUNTING OF NEW FIXTURES AND TO ALLOW FOR ROUTING OF CONDUIT AND WIRING FROM BACK O FIXTURE THROUGH INTERIOR OF BUILDING TO NEAREST EXTERIOR LIGHTING JUNCTION BOX / CIRCUIT.
- 4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING LIGHTING FIXTURES AND RELATED CONDUIT RUNS. NEW INTERIOR CONDUIT RUNS SHALL BE COORDINATED WITH ARCHITECT AN ENGINEER.
- 5. FOR UPDATED CONDUIT ROUTING, PROVIDE SPLICES AND EXTEND CIRCUITS FOR NEW LIGHTS AS REQUIRED FOR WIRING WHICH IS PULLED BACK FROM INTERIOR JUNCTION BOX.



ELECTRICAL PROPOSED LIGHTING PLAN E1.0 Scale: 1" = 10'-0"

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