



CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

MAYOR - CHERELLE L. PARKER

MANAGING DIRECTOR - ADAM THIEL

COMMISSIONER - DEPARTMENT OF PARKS & RECREATION - SUSAN SLAWSON

WATER TOWER RECREATION CENTER

EXTERIOR REHABILITATION

PROJECT NO. 16-19-4932-99

WATER TOWER RECREATION CENTER
 209-99 E HARTWELL LN,
 PHILADELPHIA, PA 19118

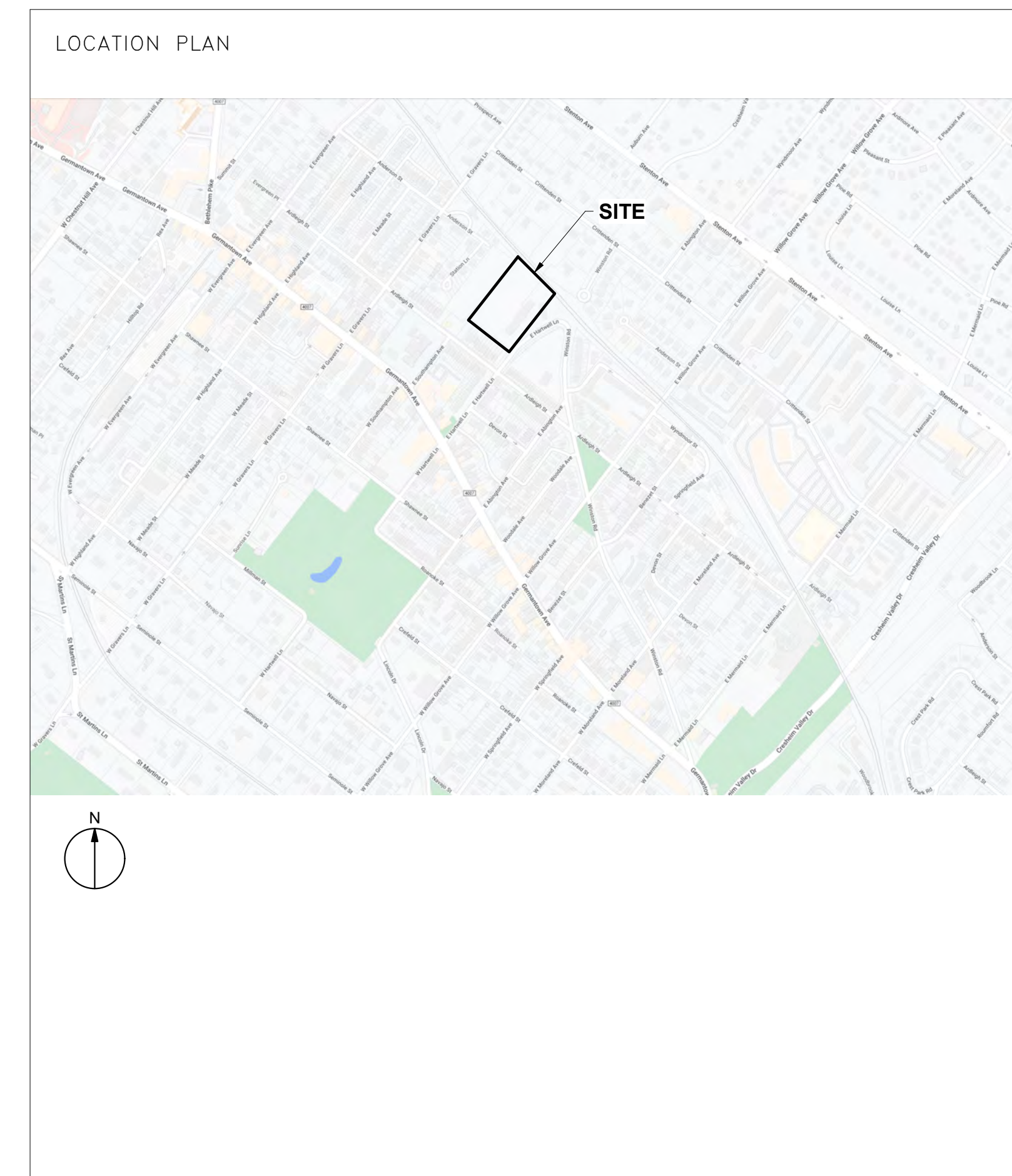
BID SET SUBMISSION

SMP ARCHITECTS
 1600 Walnut Street, 2nd Floor
 Philadelphia, Pennsylvania 19103
 215 985 4410

MASONRY CONSULTANT:
WISS, JANNEY, ELSTNER ASSOCIATES, INC
 601 Walnut Street, Suite 875W
 Philadelphia, Pennsylvania 19106
 215 567 0703

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
 100 East Lancaster Avenue, Suite 203
 Wayne, Pennsylvania 19087
 610 688 2566

ELECTRICAL ENGINEER:
ARORA ENGINEERS
 1600 Market Street, Suite 1630
 Philadelphia, Pennsylvania 19103
 610 459 7946



DRAWING LIST

GENERAL	
CS	COVER SHEET
A0.1	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS
ARCHITECTURAL	
A1.0	ARCHITECTURAL SITE PLAN (FOR REFERENCE ONLY)
A1.1	STORMWATER LINE REPAIRS / REMEDIATIONS
D3.0	DEMOLITION ELEVATIONS
D3.1	DEMOLITION ELEVATIONS
A2.0	BASEMENT PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN & ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A4.0	EXTERIOR ELEVATIONS - MASONRY REPAIRS
A4.1	EXTERIOR ELEVATIONS - MASONRY REPAIRS
A4.2	MASONRY REPAIR DETAILS
A4.3	MASONRY REPAIR DETAILS
A4.4	MASONRY REPAIR DETAILS
A8.0	PARAPET & CORNICE DETAILS
A8.1	EXTERIOR DETAILS
A9.0	DOOR SCHEDULE & DETAILS
A9.1	WINDOW SCHEDULE & DETAILS
ELECTRICAL	
E0.0	ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
ED1.0	ELECTRICAL LIGHTING PLAN - DEMOLITION
E1.0	ELECTRICAL PROPOSED LIGHTING PLAN

PROJECT APPROVED

COMMISSIONER/PARKS AND RECREATION	
DEPUTY COMMISSIONER/CAPITAL PROJECTS	
PROJECT DIRECTOR	
ART COMMISSION	
SEALS	
CITY OF PHILADELPHIA DEPARTMENT OF PARKS AND RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA	
PROJECT NO. 16-19-4932-99	DRAWING NO. CS-1
DATE 6.14.2024	SCALE AS NOTED
DRAWN BY AB	CHECKED BY TW
<small>NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.</small>	

