

# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

MAYOR - CHERELLE L. PARKER

MANAGING DIRECTOR - ADAM THIEL

COMMISSIONER - DEPARTMENT OF PARKS & RECREATION - SUSAN SLAWSON

## WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION

PROJECT NO. 16-19-4932-99

WATER TOWER RECREATION CENTER 209-99 E HARTWELL LN, PHILADELPHIA, PA 19118

### BID SET SUBMISSION

SMPARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 MASONRY CONSULTANT:
WISS, JANNEY, ELSTNER ASSOCIATES, INC
601 Walnut Street, Suite 875W
Philadelphia, Pennsylvania 19106
215 567 0703

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERIN
100 East Lancaster Avenue, Suite 203
Wayne, Pennsylvania 19087
610 688 2566

Philadelphia, Pennsylvania 19103

610 459 7946

LOCATION PLAN

SITE

WING	LIST	PROJECT APPROVED	)
NERAL			
	COVER SHEET	COMMISSIONER/PARKS AND RECREATION	
.1	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS	COMMISSIONERY FARRS AND RECREATION	
CHITECTUR	AL	DEPUTY COMMISSIONER/CAPITAL PROJECTS	
.0	ARCHITECTURAL SITE PLAN (FOR REFERENCE ONLY)		
.1	STORMWATER LINE REPAIRS / REMEDIATIONS		
.0	DEMOLITION ELEVATIONS	PROJECT DIRECTOR	
.1	DEMOLITION ELEVATIONS		
.0	BASEMENT PLAN	ART COMMISSION	
.1	FIRST FLOOR PLAN		
.2	SECOND FLOOR PLAN & ROOF PLAN		
.0	EXTERIOR ELEVATIONS		
.1	EXTERIOR ELEVATIONS		
.0	EXTERIOR ELEVATIONS - MASONRY REPAIRS		
.1	EXTERIOR ELEVATIONS - MASONRY REPAIRS		
.2	MASONRY REPAIR DETAILS		
.3	MASONRY REPAIR DETAILS		
.4	MASONRY REPAIR DETAILS	SEALS	
.0	PARAPET & CORNICE DETAILS	SEALS	
.1	EXTERIOR DETAILS		
.0	DOOR SCHEDULE & DETAILS		
. !	WINDOW SCHEDULE & DETAILS		
ECTRICAL			
.0	ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS		
1.0	ELECTRICAL LIGHTING PLAN - DEMOLITION		
.0	ELECTRICAL PROPOSED LIGHTING PLAN		
.0	ELECTRICAL FROM COLD EIGHTING FEAR		
		CITY OF PHILADELPHI	Α
		DEPARTMENT OF PARKS AND RECREA	4TION
		1515 18011 078557	
		1515 ARCH STREET	
		11TH FLOOR, ONE PARKWAY BUILD	ING
		PHILADELPHIA PENNS)	YLVANIA
		PROJECT NO. DRAWING NO.	
		16-19-4932-99	
		DATE 6.14.2024	- 1
		SCALE AS NOTED	
		DRAWN BY	
		AB  CHECKED BY	
		TW FILE:F:\CPOFORMS\PREDESIG	N\24x36DWGS
		NOTE: ALL DIMENSIONS AND CONDITIONS SHALL B VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	E E

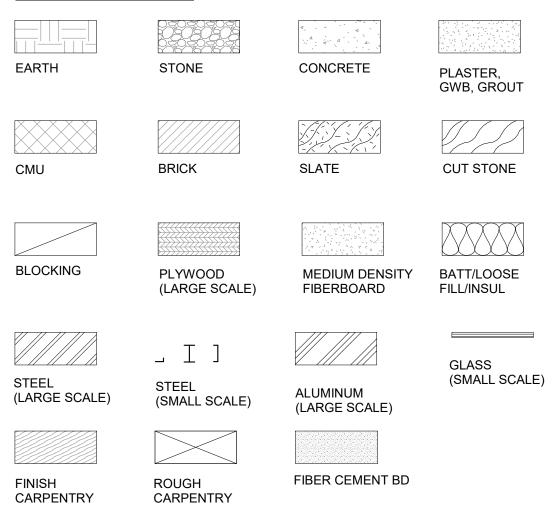
#### **CODE NOTES:**

- 1. WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS IS OF EXTERIOR REPAIR AND RESTORATION IN NATURE, INCLUDING REPLACEMENT OF EXISTING DOORS AND WINDOWS IN THE SAME OPENINGS, RESTORATION AND REPLACEMENT OF COMPROMISED EXTERIOR MASONRY ORNAMENTS, AND GENEARL REPAIRS AND CLEANING OF EXISTING EXTERIOR MASONRY. SEE DOCUMENTS FOR FULL DESCRIPTION OF PROPOSED WORK.
- 2. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR REPAIR WORK AS INDICATED IN DRAWINGS.
- 3. WORK DOES NOT IMPACT ISSUES OF HEIGHT, AREA, USE, OCCUPANCY, OR EGRESS.

#### **GENERAL NOTES:**

- 1. DO NOT SCALE DRAWINGS.
- 2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.
- 3. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.
- 4. THE CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.
- 6. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROVIDE A SKETCH OF THE CONDITION.
- 7. DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- 8. THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS WITH ALL TRADES PRIOR TO INSTALLATION.
- 9. DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS.
  MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL
  BE CONSIDERED PART OF THE WORK.
- 10. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING NIC, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT WORK.
- 11. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SLEEVING WORK, UNO. COORDINATE LOCATION AND SIZE OF ALL OPENINGS, INTERIOR AND/OR EXTERIOR WITH ALL TRADES PRIOR TO INSTALLATION.

#### **MATERIAL SYMBOLS:**



SPRAY APPLIED

INSUL

#### ABBREVIATIONS:

	ATIONS:				
<b>4</b> 4/E	ARCHITECT/ENGINEER	<b>F</b> FA	FIRE ALARM	<b>P</b> PAC	PRECAST ARCHITECTURAL CONCRET
NE AB	ANCHOR BOLT	FCB	FIRE ALARM FIBER CEMENT BOARD	PERF	PERFORATED
ABV	ABOVE	FCU	FAN COIL UNIT	PLAM	PLASTIC LAMINATE
ACT	ACOUSTIC CEILING TILE	FD	FLOOR DRAIN	PLAS	PLASTER
ADJ	ADJACENT/ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	PNL	PANEL
AFF	ABOVE FINISH FLOOR	FF	FACTORY FINISH	PNLG	PANELING
AGG AL	AGGREGATE ALIGN	FFE FIN	FINISHED FLOOR ELEVATION	PNT POL	PAINT(ED) POLISHED
ALUM	ALUMINUM	FLG	FINISH(ED) FLASHING	POL PROJ	PROJECTION
ALSF	ALUMINUM STOREFRONT	FLR	FLOOR(ING)	P.T.	PRESSURE TREATED
ALW	ALUMINUM WINDOW	FND	FOUNDATION	PT	PORCELAIN TILE
ANOD	ANODIZED	F.O.	FACE OF	PTN	PARTITION
<b>\</b> P	ACCESS PANEL	FP	FILLER PANEL	PWD	PLYWOOD
APPROX	APPROXIMATE	FT	FOOT (FEET)	PV	PIPE VENT
ARCH	ARCHITECTURAL	FTG	FOOTING	_	
		FTR	FIN TUBE RADIATOR	R	DETUDNI AID
<b>s</b> 8&B	BOARD AND BATTEN	G		RA RAD	RETURN AIR RADIUS
BCAB	BASE CABINET	GA	GAUGE	RB	RUBBER BASE
BD	BOARD	GALV	GALVANIZED	RBT	RUBBER STAIR TREAD
BLDG	BUILDING	GF	GROUND FACE	RCP	REFLECTED CEILING PLAN
BLKG	BLOCKING	GLAZ	GLAZED, GLAZING, GLASS	RD	ROOF DRAIN
BLW	BELOW	GRG	GLASS REINFORCED GYPSUM	REF	REFER; REFERENCE
3.0.	BOTTOM OF	GWB	GYPSUM WALLBOARD	REQ'D	REQIURED
BC	BROADLOOM CARPET			REV	REVISION, REVISE(D)
BM BRK	BEAM BRICK	<b>H</b> HDPE	HIGH DENSITY POLYETHYLENE	RSF RT	RESILIENT FLOORING RESILIENT TILE FLOORING
BTW	BETWEEN	HDPE HM	HIGH DENSITY POLYETHYLENE HOLLOW METAL	RM	ROOM
	52 <b>.</b>	HOR	HORIZONTAL HORIZONTAL	R.O.	ROUGH OPENING
;		HR	HOUR	RTF	RESILIENT RUBBER TILE FLOORING
CAB	CABINET	HRWD	HARDWOOD	RWC	RAINWATER CONDUCTOR
В	CEMENTBOARD	HSS	HOLLOW STEEL SECTION	_	
ERT	CERTIFIED	HT	HEIGHT	S	0011711
FMF	COLD FORMED METAL FRAMING	HVAC	HEAVING/VENTILATION/AIR	S	SOUTH
J	CONSTRUCTION/CONTROL JOINT	1.15471.1	CONDITIONING	SA	SUPPLY AIR
CL CLG	CENTERLINE CEILING	HWH	HOT WATER HEATER	SBC SBO	SINK BASE CABINET SUPPLIED BY OTHERS
LG LR	CLEAR/ CLEARANCE			SF	STOREFRONT
MU	CONCRETE MASONRY UNIT	IGU	INSULATED GLAZING UNIT	SFI	SPRAY FOAM INSULATION
OL	COLUMN	INCL	INCLUDING/INCLUDED	SGT	STRUCTURAL GLAZED TILE
OMP	COMPOSITE	INFO	INFORMATION	SIM	SIMILAR
CONC	CONCRETE	INSUL	INSULATED, INSULATION	SIP	STRUCTURAL INSULATED PANEL
CONT	CONTINUOUS	INT	INTERIOR	SL	SLOPED/SLOPE
COORD	COORDINATE			SOG	SLAB ON GRADE
COR	CORRUGATED	J		SS	STAINLESS STEEL
CPT CT	CARPET TILE CERAMIC TILE	JT	JOINT	SSTL STD	STAINLESS STEEL STANDARD
CUH	CABINET UNIT HEATER			STL	STEEL
CW	CURTAINWALL	<b>L</b> LAM	LAMINATED	STN	STAIN(ED)
	33117 III 1777 III	LF	LINEAR FEET	STRUC	STRUCTURAL
)		LG	LONG	SUSP	SUSPENDED
DEMO	DEMOLISH/DEMOLITION	LIN	LINOLEUM		
DIA	DIAMETER	LLV	LONG LEG VERTICAL	Т	
DIM	DIMENSION	LTL	LINTEL	TER	TERRAZZO
N	DOWN	LT	LIGHT	TF	TRANSPARENT FINISH
)R	DOOR	LOUV	LOUVER	THK TLT	THICKNESS TOILET
)S )TL	DOWNSPOUT DETAIL			TPTN	TOILET TOILET PARTITION
)W	DISHWASHER	M	MACCAIDY	T.O.	TOP OF
WG(S)	DRAWING(S)	MAS MAS DIM	MASONRY MASONRY DIMENSION	TYP	TYPICAL
(3)	2.0(3)	MATL	MATERIAL	T&G	TONGUE AND GROOVE
		MAX	MAXIMUIM		
	EAST	MDF	MEDIUM DENSITY FIBERBOARD	U	
A	EACH	MECH	MECHANICAL	UNO	UNLESS NOTED OTHERWISE
IJ	EXPANSION JOINT	MFR	MANUFACTURER		
L	ELEVATION	MIN	MINIMUM	V	VADICOMADIOUS
LEC	ELECTRICAL ELEVATOR	M.O.	MASONRY OPENING	VAR VEDT	VARIES/VARIOUS
LEV MER	ELEVATOR EMERGENCY	MR	MOISTURE RESISTANT	VERT VEST	VERTICAL VESTIBULE
:IVIER :P	ELECTRICAL PANEL	MTD MTL	MOUNTED METAL	VEST	VESTIBULE VERIFY IN FIELD
:PX	EPOXY	MULL	MULLION	VII VTR	VENT THROUGH ROOF
:Q	EQUAL	MW	MICROWAVE	<b>-</b>	· · · · · · · · · · · · · · · · ·
QPM .	EQUIPMENT			W	
S	EXPOSED STRUCTURE	N		W	WEST
TR	EXISTING TO REMAIN	N	NORTH	W/	WITH
WC VD	ELECTRIC WATER COOLER	NA	NOT APPLICABLE	W/O	WITHOUT
XP XG	EXPOSED EXISTING	NAT	NATURAL	WB WC	WALL BASE WATER CLOSET
XT	EXTERIOR	NIC	NOT IN CONTRACT	WCAB	WALL CABINET
		NOM NTS	NOMINAL NOT TO SCALE	WD	WOOD
		NIO	NOT TO SUALE	WDP	WOOD PANEL
		0		WF	WIDE FLANGE
		oc	ON CENTER	WIN	WINDOW
		OFE	OWNER FURNISHED EQUIPMENT	WOM	WALK OFF MAT
		ОН	OPPOSITE HAND	WSCT	WAINSCOT
		OPP	OPPOSITE	v	
		OPG	OPENING	<b>X</b> XPS	EXTRUDED POLYSTYRENE
		OSB OTLN	ORIENTED STRAND BOARD OUTLINE	APO	EVIUONEN LOFIQIIKENE
		4 1 1 1 N I			

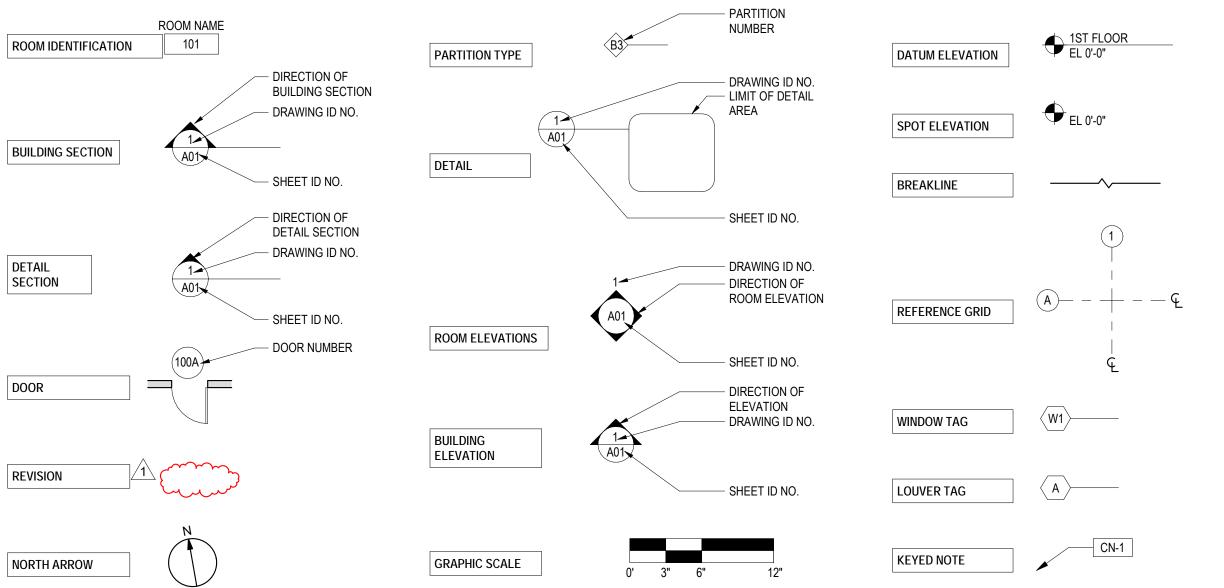
#### REFERENCE SYMBOLS:

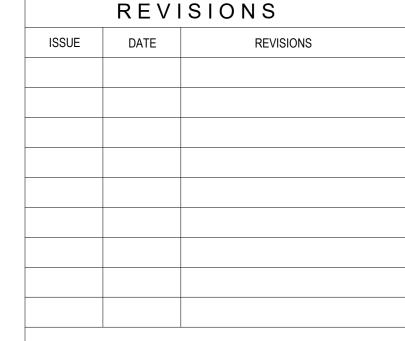
RIGID INSUL

(SMALL SCALE)

RIGID INSUL

(LARGE SCALE)







#### BID SET SUBMISSION

PROJECT COORDINATOR

EDWARD SCHMITZ

SEALS

SMPARCHITECTS
1600 Walnut Street, 2nd Floor
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215 985 4410

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610 688 2566

ELECTRICAL ENGINEER:
ARORA ENGINEERS
1600 Market Street, Suite 1630
Philadelphia, Pennsylvania 19103
610 459 7946

DRAWING TITLE

## CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

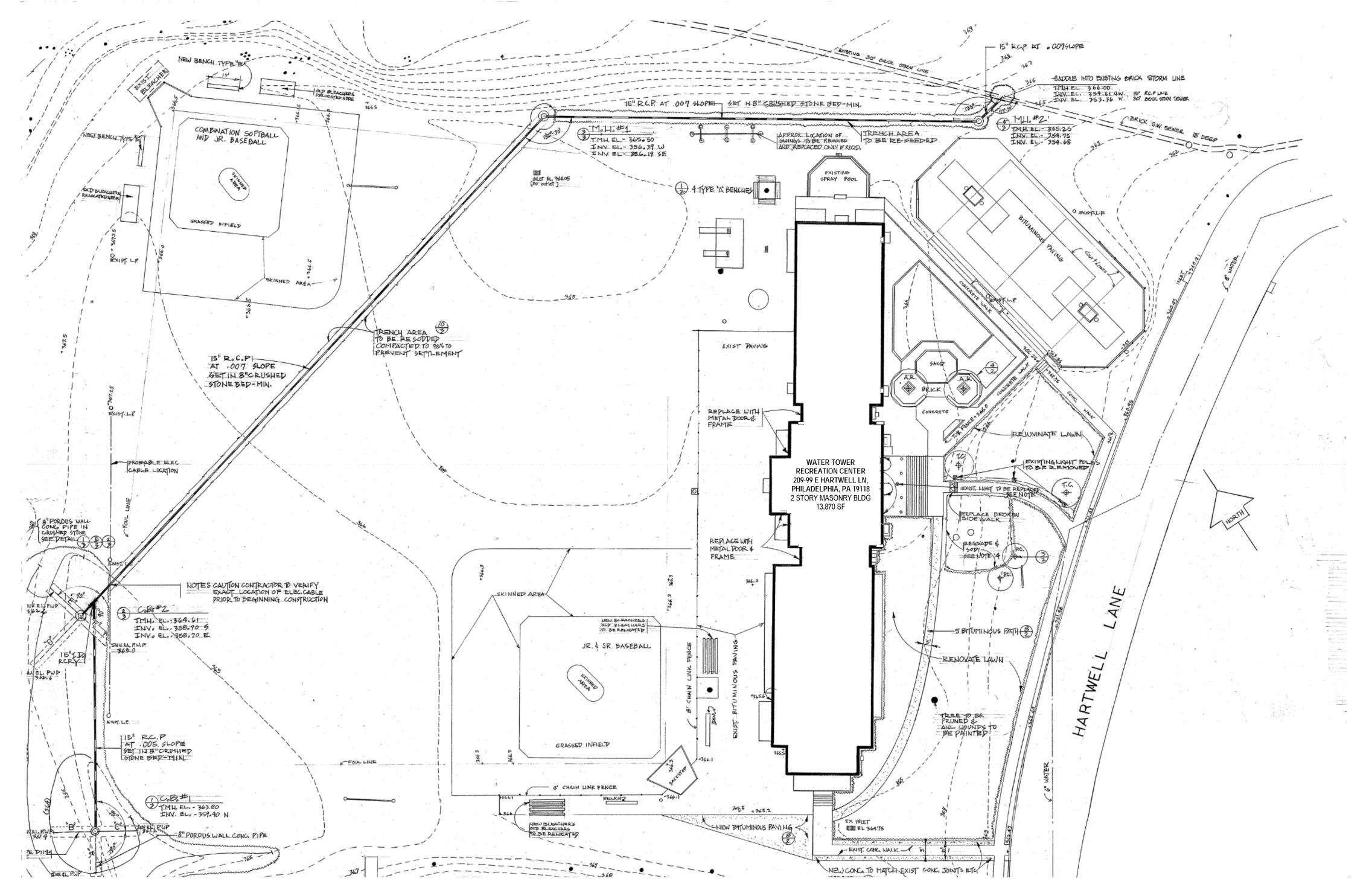
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA
PROJECT TITLE

## WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION

GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS

PROJECT NO	).	DRAWING NO.
10	6-19-4932-99	
DATE	6.14.2024	A() <sub>-</sub> 1
SCALE	AS NOTED	, (011
DRAWN BY	AB	
CHECKED BY	TW	FILE:
NOTE:  ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		



1 SITE PLAN 1" = 30'-0"

GENERAL SITE PLAN NOTES:

- 1. SITE PLAN GENERATED 1976 FOR CITY OF PHILADELPHIA.
- 2. SITE PLAN INCLUDED FOR REFERENCE ONLY. ALL NOTES SHOWN ON PLAN APPLIED TO 1976 PROJECT. NO WORK FOR CURRENT PROJECT DESCRIBED ON THIS SHEET.
- PROPOSED PROJECT INCLUDES NO CHANGES TO SITE, BUILDING MASS, PLAN, OR INTERIORS.
- MASS, PLAN, OR INTERIORS.

  4. PROPOSED PROJECT INCLUDES NO CHANGES TO EXISTING
- IMPERVIOUS SURFACES.5. PROPOSED PROJECT INCLUDES NO CHANGES TO EXISTING CONTOURS.
- 6. SEE SHEET A1.1 STORMWATER LINE REPAIRS / REMEDIATIONS FOR WORK ON EXISTING STORM WATER SYSTEM TO BE INCLUDED IN PROJECT BASE BID.

REVISIONS		
ISSUE	DATE	REVISIONS



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EDWARD SCHMITZ

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1600 Walnut Street, 2nd Floor
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215 985 4410

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## CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
WATER TOWER RECREATION

CENTER EXTERIOR

REHABILITATION

DRAWING TITLE

ARCHITECTURAL SITE PLAN (FOR

REFERENCE ONLY)

PROJECT NO.

16-19-4932-99

DATE 6.14.2024

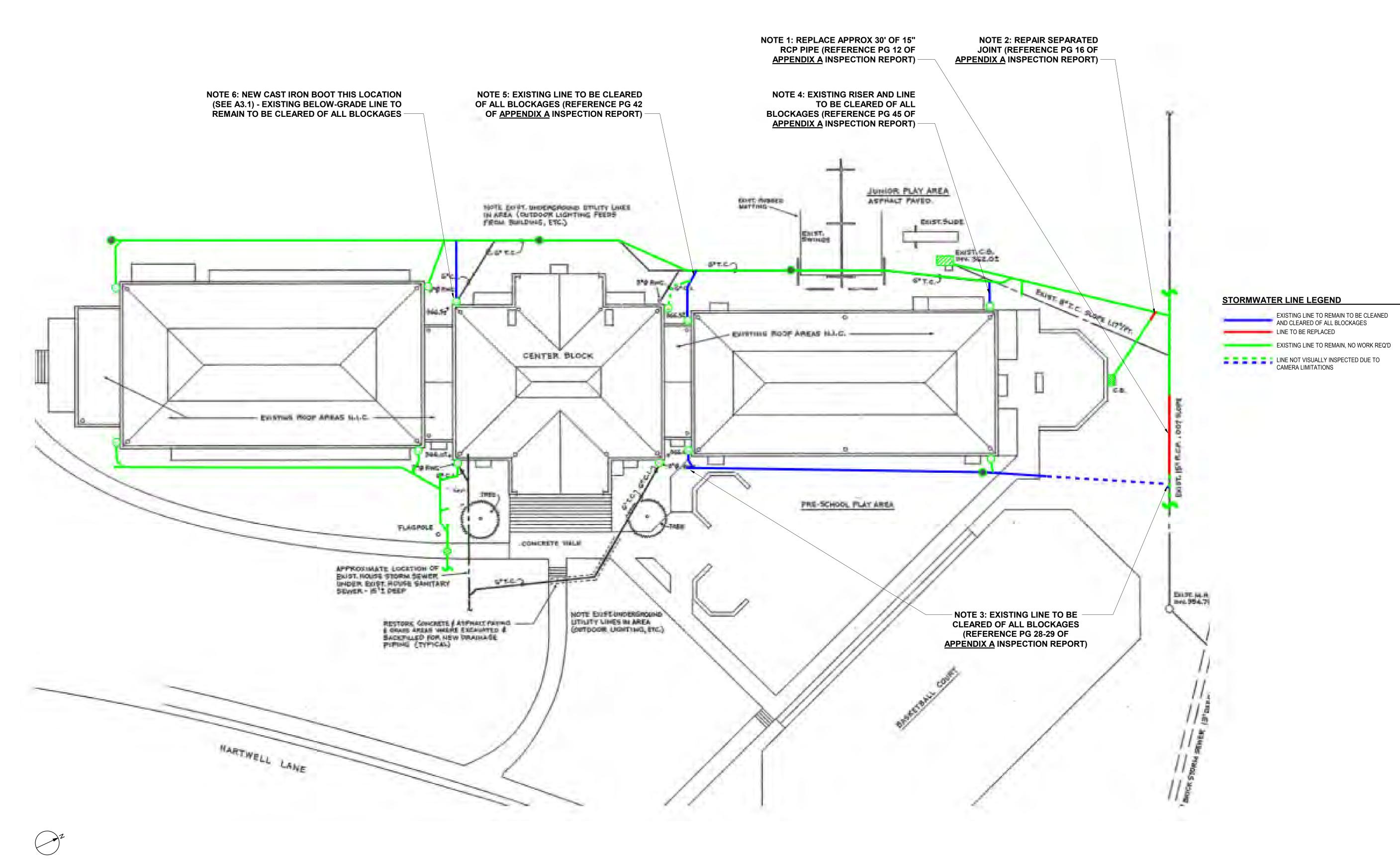
SCALE AS NOTED

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CHECKED BY TW

DRAWING NO.

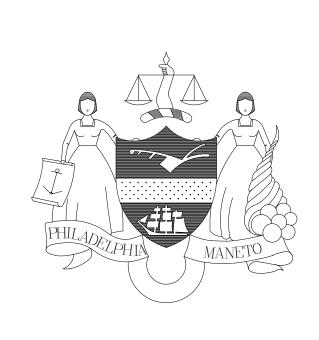
DRAWING NO.



#### **STORMWATER LINE PLAN GENERAL NOTES:**

- 1. PLAN GENERATED BASED ON INFORMATION CONTAINED WITHIN REPORT BY GPRS DATED 11/3/2022. SEE
- APPENDIX A FOR ORIGINAL REPORT AND ASSOCIATED INFORMATION.
  2. ALL WORK DESCRIBED ON THIS SHEET TO BE INCLUDED IN BASE BID.
- 3. PLAN NOT TO SCALE. 4. VERIFY ALL EXISITING CONDITIONS IN FIELD.
- 5. GC TO PROVIDE UNIT COST FOR FOLLOWING ACTIVITIES:
- A. <u>UNIT COST NO. 1:</u> COST / LINEAR FT FOR EXISITNG 4" CAST IRON LINE REPLACEMENT. B. <u>UNIT COST NO. 2:</u> COST / LINEAR FT FOR EXISTING 15" RCP LINE REPLACEMENT.
   6. UNIT COSTS FOR ITEMS ABOVE TO INCLUDE ALL NECESSARY COMPONENTS TO DELIVER A COMPLETE
- 7. ALL STORMWATER LINE WORK TO BE DELEGATED DESIGN. ALL WORK TO MATCH EXISITNG, REPLACE-IN-
- KIND, AND MEET CURRENT CODES. 8. PATCH AND REPAIR ALL SITE FINISHES FOLLOWING STORMWATER LINE WORK. MATCH EXISTING
- ADJACENT MATERIALS. 9. GC TO INSPECT SYSTEM FOLLOWING CONSTRUCTION ACTIVITIES TO ENSURE PROPER FUNCTION, INCLUDING FUNCTION OF RWC CONNECTED TO LINES NOT VISUALLY INSPECTED BY GPRS. GC TO NOTIFY DESIGN TEAM / OWNER OF ISSUES REQUIRING ADDITIONAL REMEDIATION / REPAIR.

REVISIONS				
ISSUE	DATE	REVISIONS		
	ı			
1				



#### BID SET SUBMISSION

EDWARD SCHMITZ

**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

PROJECT COORDINATOR

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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

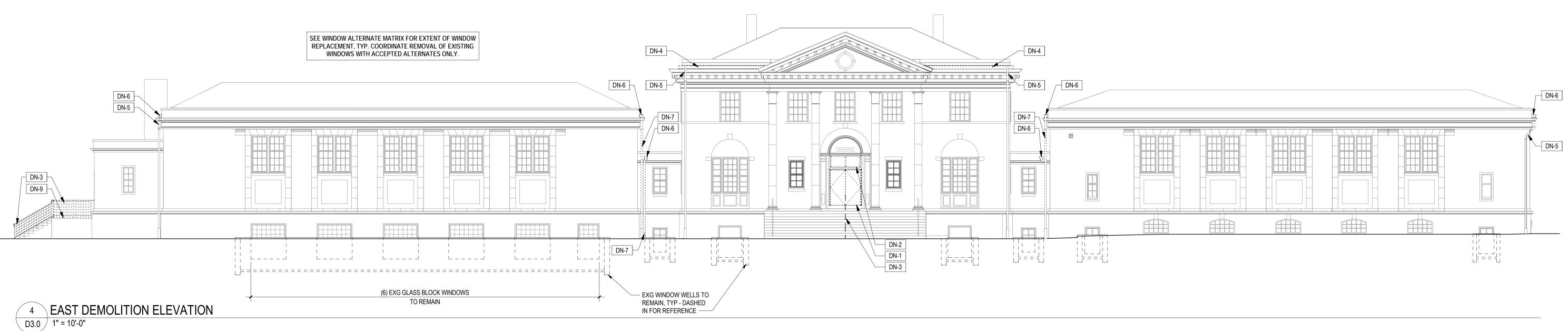
11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA

#### PROJECT TITLE WATER TOWER RECREATION CENTER EXTERIOR

REHABILITATION DRAWING TITLE

> STORMWATER LINE REPAIRS / REMEDIATIONS

PROJECT NO.		DRAWING NO.
16	6-19-4932-99	
DATE	6.14.2024	A1 <sub>-</sub> 1
SCALE	AS NOTED	
DRAWN BY	AB	
CHECKED BY	TW	FILE:



#### KEYED DEMOLITION NOTES

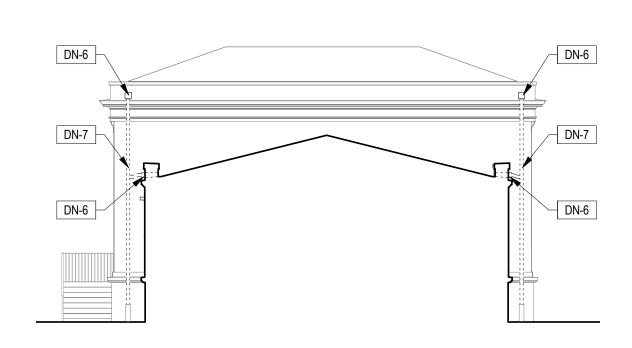
- DN-1 REMOVE DOOR & FRAME IN ENTIRETY TO EXTENT OF
- MASONRY OPENING. DN-2 REMOVE TRANSOM.
- DN-3 REMOVE RAILING.
- DN-4 REMOVE SS BOX GUTTER. DN-5 REMOVE DS LEADER ROUTED THROUGH CORNICE
- STONEWORK. REMOVE PORTION OF GALV STL DS TO EXTENT AS REQ'D FOR TIE-IN OF PROPOSED WORK.
- FLASHINGS. REMOVE PARGING ON EXISTING SCHIST. DN-7 REMOVE DOWNSPOUT INCLUDING ASSOCIATED
- SUPPORTS / STAND-OFFS. EXG CAST IRON BOOT TO
- DN-8 REMOVE LOUVER AND FRAME. DN-9 REMOVE TERRACE PAVERS AND SALVAGE FOR
- REINSTALL FOLLOWING PROPOSED WORK. RECORD EXISTING LOCATION OF EACH PAVER AND MARK FOR REINSTALL IN SAME POSITION. REMOVE SETTING MATERIAL AND ANY ASSOCIATED FINISHES DOWN TO EXISTING SLAB. DN-10 REMOVE COMPOSITE TREX DECKING AND SALVAGE
- FOR REINSTALL FOLLOWING PROPOSED WORK. DN-11 REMOVE LIGHT FIXTURE IN ENTIRETY INCLUDING
- ASSOCIATED MOUNTING HARDWARE AND CONDUIT.

#### **GENERAL DEMOLITION NOTES:**

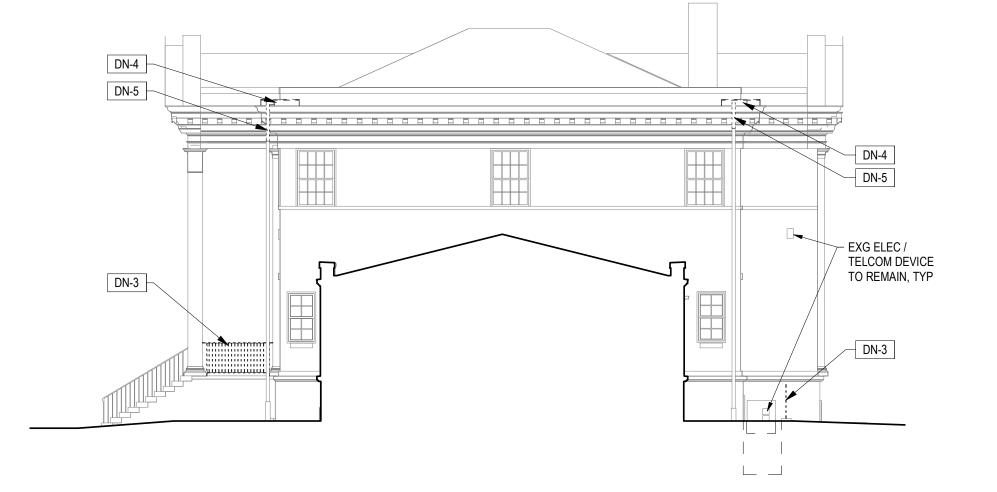
- COORDINATE ALL DEMOLITION WITH PROPOSED WORK AS DETAILED ELSEWHERE IN THESE CONSTRUCTION
- DOCUMENTS AND SPECIFICATIONS. 2. CONTRACTOR TO COORDINATE EXTENT OF REQUIRED DEMOLITION OF ADJACENT CONSTRUCTION AS NECCESSARY
- FOR PROPOSED WORK. 3. CONTRACTOR TO MAINTAIN ENVELOPE INTEGRITY FULLY THROUGHOUT CONSTRUCTION ACTIVIES.
- 4. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE RELATED TO EXISTING LIGHTING AND ELECTRICAL 5. SEE MASONRY REPAIR ELEVATIONS FOR FULL SCOPE DESCRIPTION AND EXTENT OF MASONRY REPAIR.
- COORDINATE REQUIRED DEMOLITION WORK ASSOCIATED WITH MASONRY REPAIR. 6. EXTENT OF EXISTING TERRACOTTA / LIMESTONE UNIT REMOVAL NOT DEPICTED ON THESE DEMOLITION PLANS. SEE
- REQUIRED. 7. SEE WINDOW ALTERNATE MATRIX SHEET A9.1 FOR EXTENT OF WINDOW REPLACEMENT. COORDINATE REMOVAL OF

MASONRY ELEVATIONS FOR EXTENT OF REPLACEMENT

- EXISTING WINDOWS WITH ACCEPTED ALTERNATES ONLY. 8. FOR WINDOWS SCHEDULED FOR REPLACEMENT, REMOVE ENTIRETY OF EXISTING WINDOW TO EXTENT OF EXISTING MASONRY OPENING, INCLUDING BUT NOT LIMITED TO: FRAME, BRICKMOLDS, INTERMEDIATE MULLS, SUBSILLS,
- SILLS, STOOLS, AND INTERIOR TRIM. 9. SALVAGE EXISTING INTERIOR WINDOW TRIM FOR PROFILE
- REFERENCE AS REQUIRED. 10. REMOVE EXISTING SECURITY SCREENS FROM ALL WINDOWS INCLUDING THOSE SCHEDULED TO REMAIN. COORDINATE FULL REMOVAL SCOPE WITH OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK, STOCK FOR OWNER ON SITE AT OWNER'S DIRECTION. REMOVE ALL EXISTING MOUNTING HARDWARE FROM ADJACENT CONSTRUCTION IN ENTIRETY.
- 11. REMOVE ALL EXISTING WINDOW AIR CONDITIONER UNITS AND STOCK FOR OWNER ON SITE AT OWNER'S DIRECTION. COORDINATE WITH OWNER.

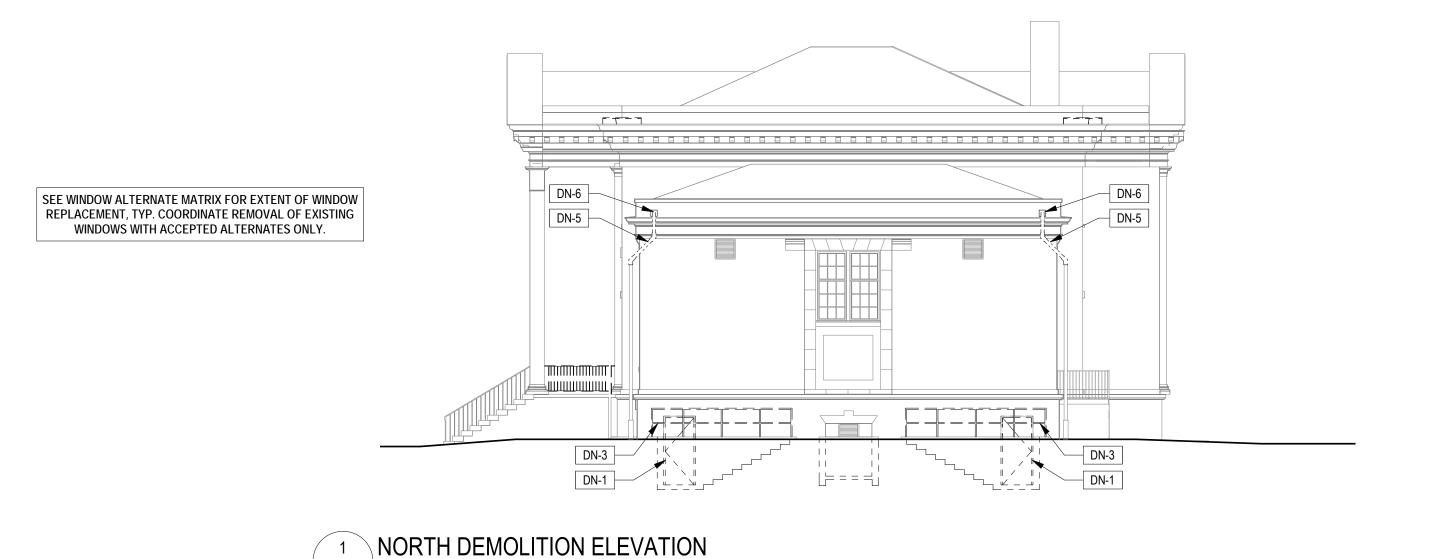


NORTH WING SOUTH DEMO ELEVATION D3.0 / 1" = 10'-0"



CENTRAL BUILDING NORTH DEMO ELEVATION D3.0 1" = 10'-0"

D3.0 1" = 10'-0"



REVISIONS ISSUE DATE REVISIONS

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PROJECT COORDINATOR

EDWARD SCHMITZ

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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA PROJECT TITLE WATER TOWER RECREATION

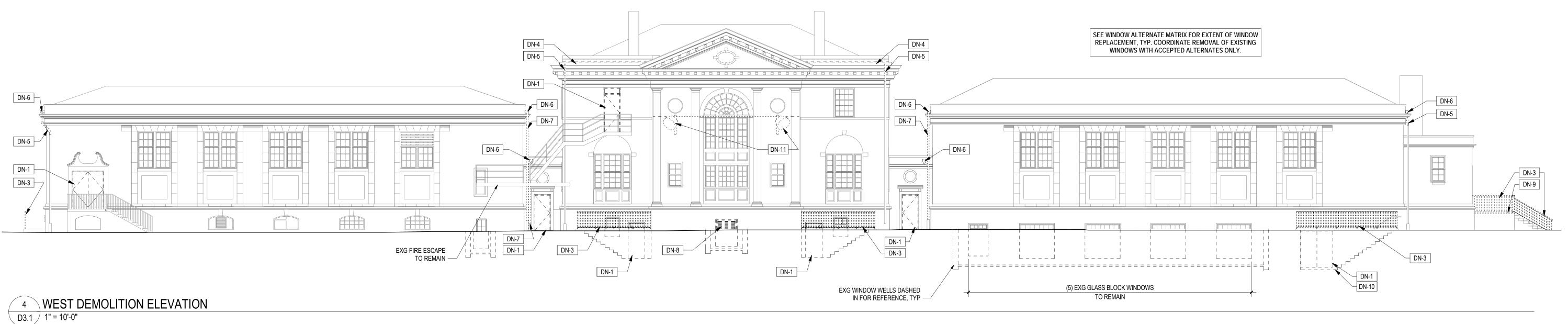
> CENTER EXTERIOR REHABILITATION

DEMOLITION ELEVATIONS

DRAWING TITLE

PROJECT NO. 16-19-4932-99 6.14.2024 AS NOTED CHECKED BY TW ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



#### **KEYED DEMOLITION NOTES**

- DN-1 REMOVE DOOR & FRAME IN ENTIRETY TO EXTENT OF
- MASONRY OPENING. DN-2 REMOVE TRANSOM.
- DN-3 REMOVE RAILING.
- DN-4 REMOVE SS BOX GUTTER. DN-5 REMOVE DS LEADER ROUTED THROUGH CORNICE
- STONEWORK. REMOVE PORTION OF GALV STL DS TO EXTENT AS REQ'D FOR TIE-IN OF PROPOSED WORK.
- FLASHINGS. REMOVE PARGING ON EXISTING SCHIST. DN-7 REMOVE DOWNSPOUT INCLUDING ASSOCIATED
- SUPPORTS / STAND-OFFS. EXG CAST IRON BOOT TO
- DN-8 REMOVE LOUVER AND FRAME. DN-9 REMOVE TERRACE PAVERS AND SALVAGE FOR

SEE ELEC DWGS.

- REINSTALL FOLLOWING PROPOSED WORK. RECORD EXISTING LOCATION OF EACH PAVER AND MARK FOR REINSTALL IN SAME POSITION. REMOVE SETTING MATERIAL AND ANY ASSOCIATED FINISHES DOWN TO EXISTING SLAB.
- DN-11 REMOVE LIGHT FIXTURE IN ENTIRETY INCLUDING
- DN-10 REMOVE COMPOSITE TREX DECKING AND SALVAGE FOR REINSTALL FOLLOWING PROPOSED WORK.

ASSOCIATED MOUNTING HARDWARE AND CONDUIT.

#### **GENERAL DEMOLITION NOTES:**

WITH MASONRY REPAIR.

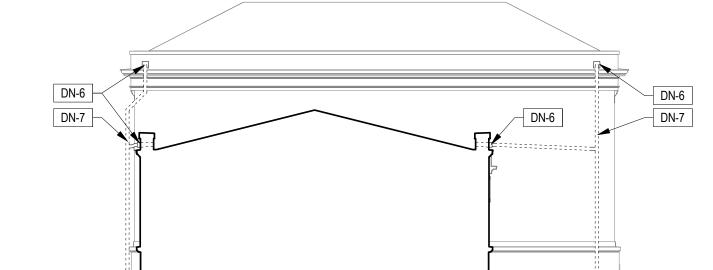
- COORDINATE ALL DEMOLITION WITH PROPOSED WORK AS DETAILED ELSEWHERE IN THESE CONSTRUCTION
- DOCUMENTS AND SPECIFICATIONS. 2. CONTRACTOR TO COORDINATE EXTENT OF REQUIRED
- DEMOLITION OF ADJACENT CONSTRUCTION AS NECCESSARY FOR PROPOSED WORK. 3. CONTRACTOR TO MAINTAIN ENVELOPE INTEGRITY FULLY
- THROUGHOUT CONSTRUCTION ACTIVIES. 4. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION
- SCOPE RELATED TO EXISTING LIGHTING AND ELECTRICAL 5. SEE MASONRY REPAIR ELEVATIONS FOR FULL SCOPE DESCRIPTION AND EXTENT OF MASONRY REPAIR. COORDINATE REQUIRED DEMOLITION WORK ASSOCIATED
- 6. EXTENT OF EXISTING TERRACOTTA / LIMESTONE UNIT REMOVAL NOT DEPICTED ON THESE DEMOLITION PLANS. SEE MASONRY ELEVATIONS FOR EXTENT OF REPLACEMENT REQUIRED.
- 7. SEE WINDOW ALTERNATE MATRIX SHEET A9.1 FOR EXTENT OF WINDOW REPLACEMENT. COORDINATE REMOVAL OF
- EXISTING WINDOWS WITH ACCEPTED ALTERNATES ONLY. 8. FOR WINDOWS SCHEDULED FOR REPLACEMENT, REMOVE ENTIRETY OF EXISTING WINDOW TO EXTENT OF EXISTING MASONRY OPENING, INCLUDING BUT NOT LIMITED TO: FRAME, BRICKMOLDS, INTERMEDIATE MULLS, SUBSILLS,
- 9. SALVAGE EXISTING INTERIOR WINDOW TRIM FOR PROFILE REFERENCE AS REQUIRED.

SILLS, STOOLS, AND INTERIOR TRIM.

COORDINATE WITH OWNER.

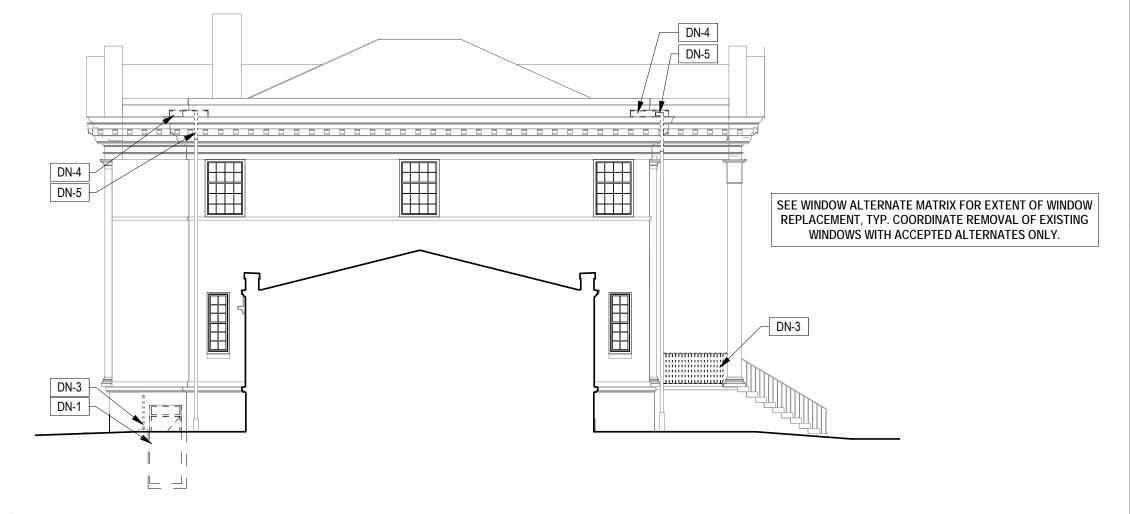
10. REMOVE EXISTING SECURITY SCREENS FROM ALL WINDOWS INCLUDING THOSE SCHEDULED TO REMAIN. COORDINATE FULL REMOVAL SCOPE WITH OWNER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK, STOCK FOR OWNER ON SITE AT OWNER'S DIRECTION. REMOVE ALL EXISTING MOUNTING HARDWARE FROM ADJACENT CONSTRUCTION IN ENTIRETY. 11. REMOVE ALL EXISTING WINDOW AIR CONDITIONER UNITS AND

STOCK FOR OWNER ON SITE AT OWNER'S DIRECTION.



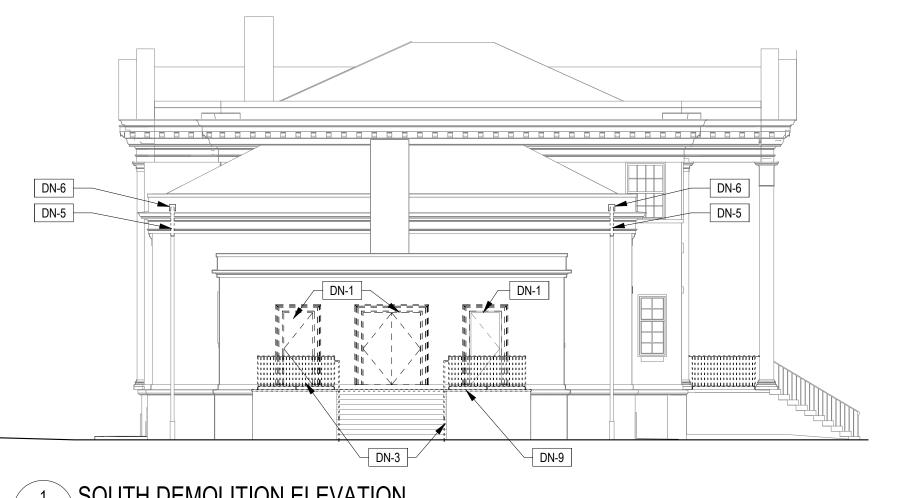
3 SOUTH WING NORTH DEMO ELEVATION

D3.1 | 1" = 10'-0"



2 CENTRAL BUILDING SOUTH DEMO ELEVATION

D3.1 | 1" = 10'-0"



1 SOUTH DEMOLITION ELEVATION

D3.1 1" = 10'-0"

REVISIONS ISSUE REVISIONS



BID SET SUBMISSION

EDWARD SCHMITZ

PROJECT COORDINATOR

**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

MASONRY CONSULTANT:
WISS, JANNEY, EISTNER ASSOCIATES, INC 601 Walnut Street, Suite 875W Philadelphia, Pennsylvania 19106 215 567 0703

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 688 2566

ELECTRICAL ENGINEER: ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 610 459 7946

CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA PROJECT TITLE

WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION

DEMOLITION ELEVATIONS

DRAWING TITLE

PROJECT NO. 16-19-4932-99 6.14.2024 AS NOTED DRAWN BY CHECKED BY TW

#### KEYED CONSTRUCTION NOTES

- CN-1 CLEAR ALL DEBRIS INCLUDING ORGANIC MATTER FROM EXISTING WINDOW / STAIR WELL COMPLETELY TO EXPOSE
- EXISTING CONCRETE.

  CN-2 CLEAR ALL DEBRIS INCLUDING ORGANIC MATTER FROM EXISTING WINDOW / STAIR WELL COMPLETELY TO EXPOSE EXISTING CONCRETE. REINSTALL SALVAGED DECKING FOLLOWING CONSTRUCTION ACTIVITIES.
- CN-3 NEW RAILING / GUARDRAIL. SEE ELEVATIONS
- CN-4 SCRAPE AND PAINT ALL EXISTING WINDOW WELL GRATES.
  STRAIGHTEN BENT MEMBERS AS REQUIRED. REPLACE MISSING
  AND DAMAGED BEYOND REPAIR SECTIONS IN KIND TO MATCH
  EXISTING.
- EXISTING.

  CN-5 REPAIR ENTRY STAIR, INCLUDING RESETTING LEVEL SLIPPED
- STONE TREADS AND REPOINTING AS REQUIRED.

  CN-6

  REPAIR SOUTH TERRACE STAIR, INCLUDING RESETTING LEVEL SLIPPED AND DISPLACED STONE TREADS AND REPOINTING AS REQUIRED. REPAIR EXG CONC STAIR SUBSTRATE AS REQUIRED FOR LEVEL TREAD INSTALLATION. NOTIFY ARCHITECT AND OWNER IF EXTENSIVE SUBSTRATE DAMAGE IS REVEALED
- FOLLOWING REMOVAL OF EXISTING CUT STONE TREADS.

  CN-7 REINSTALL SALVAGED TERRACE PAVING OVER WATERPROOFING MEMBRANE AND DRAINAGE BOARD. SEE DETAILS. REPLACE CURRENTLY CRACKED PAVERS IN-KIND TO MATCH EXISTING.

#### **KEYED CONSTRUCTION NOTES**

- CN-8 REPAIR SKYWARD FACING JOINTS IN CORNICE AND PROVIDE NEW SS FLASHING REGLETED INTO EXG PARAPET TO EXTENT
- INDICATED BY HATCH. SEE DETAILS.
  CN-9 NEW SS BOX GUTTER.
- CN-9 NEW SS BOX GUTTER.
  CN-10 NEW DS HEAD LEADER TO WRAP EXG CORNICE. EXG OPNG IN
- CORNICE TO BE REPAIRED. SEE DETAILS.

  CN-11 EXG THRU-WALL SCUPPER TO BE REFLASHED AND SEALED. SEE
- DETAILS.

  CN 12 NEW SS SCHIPPED BOY HEAD SEE DETAILS
- CN-12 NEW SS SCUPPER BOX HEAD. SEE DETAILS.
  CN-13 EXG DOWNSPOUT BELOW DASHED IN FOR REFERENCE. REPAIR
- ANY DAMAGE, INCLUDING HOLES, LEAKS, AND CRACKS. SCRAPE AND PAINT.
- CN-14 PROVIDE NEW CAST IRON BOOT AND BELOW GRADE STORM CONNECTION TO EXG STORM SYSTEM.
- CN-15 NEW GALVANIZED STEEL DS BELOW. MATCH CONFIGURATION OF EXG AND TIE INTO EXG CAST IRON BOOT.
- CN-16 NEW GALVANIZED STEEL DS BELOW. MATCH CONFIGURATION OF EXISTING INCLUDING TIE IN T-CONNECTION AT LOW ROOF. TIE INTO EXG CAST IRON BOOT.
- CN-17 NEW STAINLESS STEEL HANDRAIL W/ TOP & BOTTOM EXTENSIONS. SEE DETAILS.

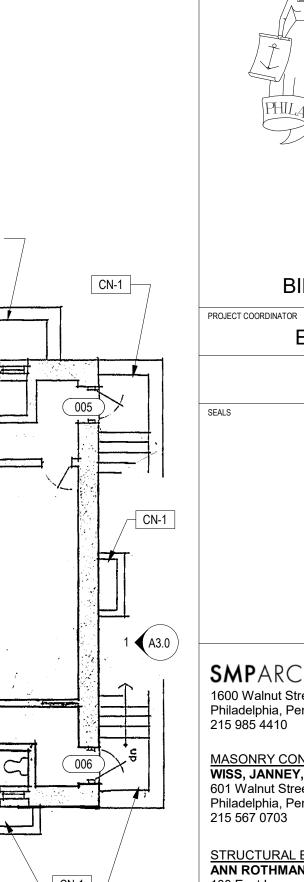
#### **GENERAL NOTES:**

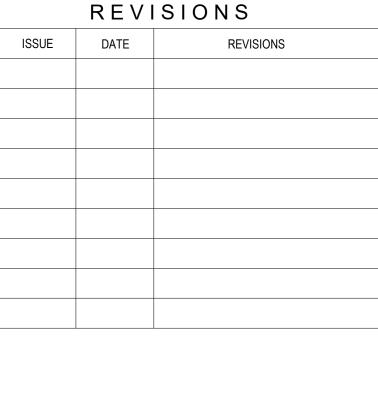
- SEE ELEVATIONS FOR EXTENT OF MASONRY REPAIR.
   SEE ELEVATIONS FOR EXTENT OF WINDOW REPLACEMENT /
- NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR

  BEAUTY WORK AS INDICATED IN DRAWINGS.
- REPAIR WORK AS INDICATED IN DRAWINGS.

  4. ALL EXISTING RAILINGS NOTED TO REMAIN ARE TO BE
- REPAIRED, SCRAPED, AND PAINTED.

  5. NEW GLAPDRALLS TO BE 3' 6" HEIGHT, PROVIDE HANDRALL ON
- 5. NEW GUARDRAILS TO BE 3'-6" HEIGHT. PROVIDE HANDRAIL ON STAIRS AT 2'-10" HEIGHT. SEE DETAILS.
- 6. SEE CD SUBMISSION APPENDIX A: STORM WATER SYSTEM REPORT FOR WORK ON EXISTING STORM WATER SYSTEM TO BE INCLUDED IN PROJECT BASE BID.







BID SET SUBMISSION

EDWARD SCHMITZ

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610 459 7946

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

WATER TOWER RECREATION
CENTER EXTERIOR
REHABILITATION

BASEMENT PLAN

DRAWING TITLE

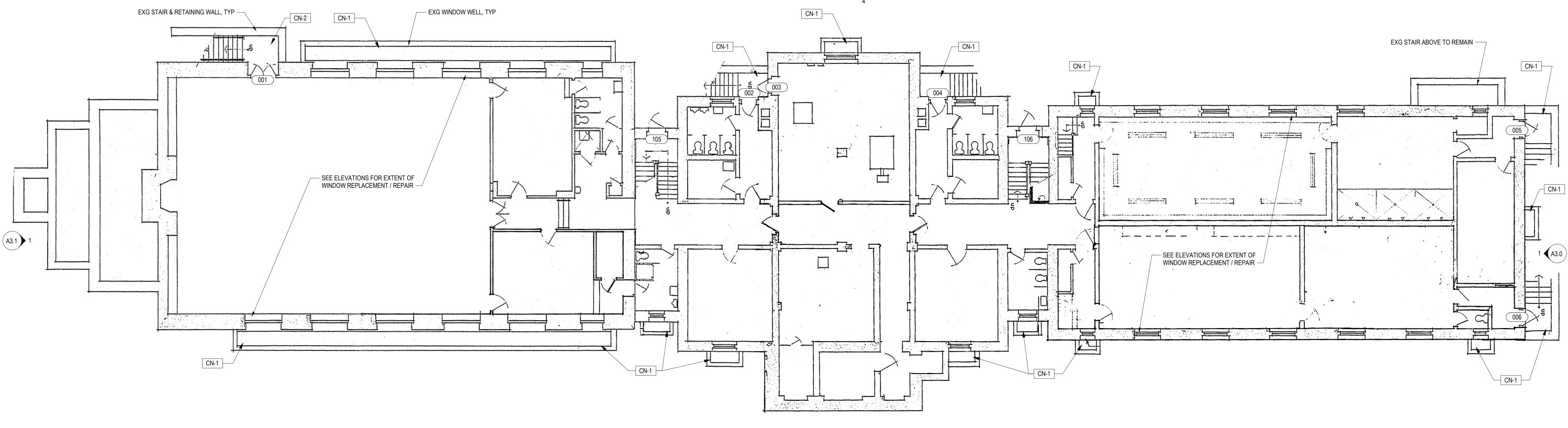
PROJECT NO.

16-19-4932-99

DATE 6.14.2024

SCALE AS NOTED

DRAWN BY AB







#### KEYED CONSTRUCTION NOTES

- CN-1 CLEAR ALL DEBRIS INCLUDING ORGANIC MATTER FROM EXISTING WINDOW / STAIR WELL COMPLETELY TO EXPOSE
- EXISTING CONCRETE. CN-2 CLEAR ALL DEBRIS INCLUDING ORGANIC MATTER FROM EXISTING WINDOW / STAIR WELL COMPLETELY TO EXPOSE EXISTING CONCRETE. REINSTALL SALVAGED DECKING FOLLOWING CONSTRUCTION ACTIVITIES.
- CN-3 NEW RAILING / GUARDRAIL. SEE ELEVATIONS
- CN-4 SCRAPE AND PAINT ALL EXISTING WINDOW WELL GRATES. STRAIGHTEN BENT MEMBERS AS REQUIRED. REPLACE MISSING AND DAMAGED BEYOND REPAIR SECTIONS IN KIND TO MATCH
- EXISTING. CN-5 REPAIR ENTRY STAIR, INCLUDING RESETTING LEVEL SLIPPED
- STONE TREADS AND REPOINTING AS REQUIRED. CN-6 REPAIR SOUTH TERRACE STAIR, INCLUDING RESETTING LEVEL SLIPPED AND DISPLACED STONE TREADS AND REPOINTING AS REQUIRED. REPAIR EXG CONC STAIR SUBSTRATE AS REQUIRED FOR LEVEL TREAD INSTALLATION. NOTIFY ARCHITECT AND OWNER IF EXTENSIVE SUBSTRATE DAMAGE IS REVEALED
- CN-7 REINSTALL SALVAGED TERRACE PAVING OVER WATERPROOFING MEMBRANE AND DRAINAGE BOARD. SEE DETAILS. REPLACE CURRENTLY CRACKED PAVERS IN-KIND TO MATCH EXISTING.

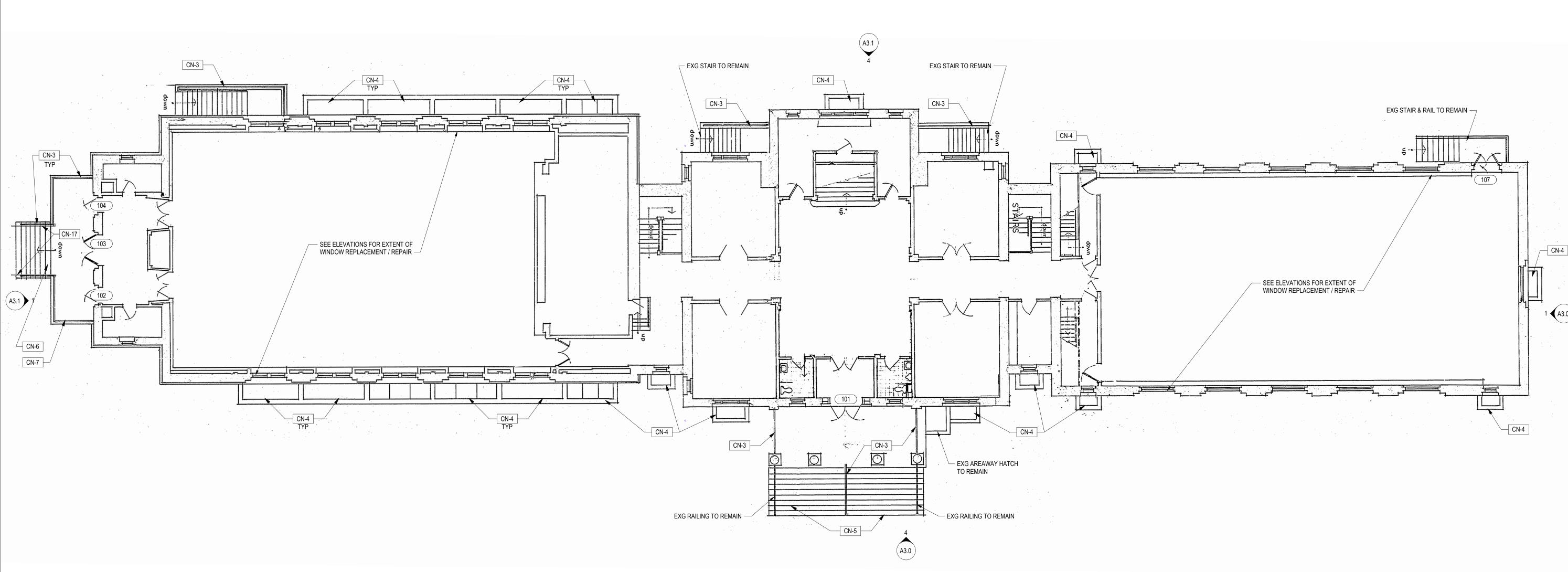
FOLLOWING REMOVAL OF EXISTING CUT STONE TREADS.

#### **KEYED CONSTRUCTION NOTES**

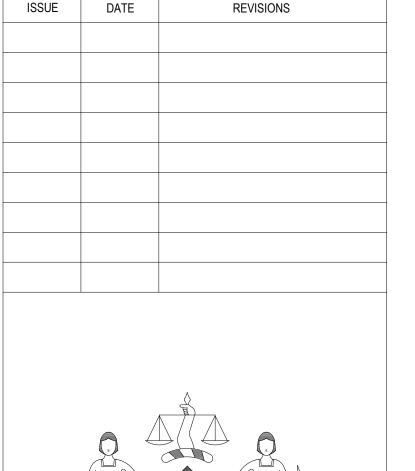
- CN-8 REPAIR SKYWARD FACING JOINTS IN CORNICE AND PROVIDE NEW SS FLASHING REGLETED INTO EXG PARAPET TO EXTENT
- INDICATED BY HATCH. SEE DETAILS. CN-9 NEW SS BOX GUTTER.
- CN-10 NEW DS HEAD LEADER TO WRAP EXG CORNICE. EXG OPNG IN
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- CN-12 NEW SS SCUPPER BOX HEAD. SEE DETAILS.
- CN-13 EXG DOWNSPOUT BELOW DASHED IN FOR REFERENCE. REPAIR ANY DAMAGE, INCLUDING HOLES, LEAKS, AND CRACKS. SCRAPE
- AND PAINT. CN-14 PROVIDE NEW CAST IRON BOOT AND BELOW GRADE STORM
- CONNECTION TO EXG STORM SYSTEM. CN-15 NEW GALVANIZED STEEL DS BELOW. MATCH CONFIGURATION OF EXG AND TIE INTO EXG CAST IRON BOOT.
- CN-16 NEW GALVANIZED STEEL DS BELOW. MATCH CONFIGURATION OF EXISTING INCLUDING TIE IN T-CONNECTION AT LOW ROOF. TIE INTO EXG CAST IRON BOOT.
- CN-17 NEW STAINLESS STEEL HANDRAIL W/ TOP & BOTTOM EXTENSIONS. SEE DETAILS.

#### **GENERAL NOTES:**

- 1. SEE ELEVATIONS FOR EXTENT OF MASONRY REPAIR. 2. SEE ELEVATIONS FOR EXTENT OF WINDOW REPLACEMENT /
- 3. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR
- REPAIR WORK AS INDICATED IN DRAWINGS. 4. ALL EXISTING RAILINGS NOTED TO REMAIN ARE TO BE
- REPAIRED, SCRAPED, AND PAINTED.
- 5. NEW GUARDRAILS TO BE 3'-6" HEIGHT. PROVIDE HANDRAIL ON STAIRS AT 2'-10" HEIGHT. SEE DETAILS.
- 6. SEE CD SUBMISSION APPENDIX A: STORM WATER SYSTEM REPORT FOR WORK ON EXISTING STORM WATER SYSTEM TO BE INCLUDED IN PROJECT BASE BID.







REVISIONS



EDWARD SCHMITZ

PROJECT COORDINATOR

BID SET SUBMISSION

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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

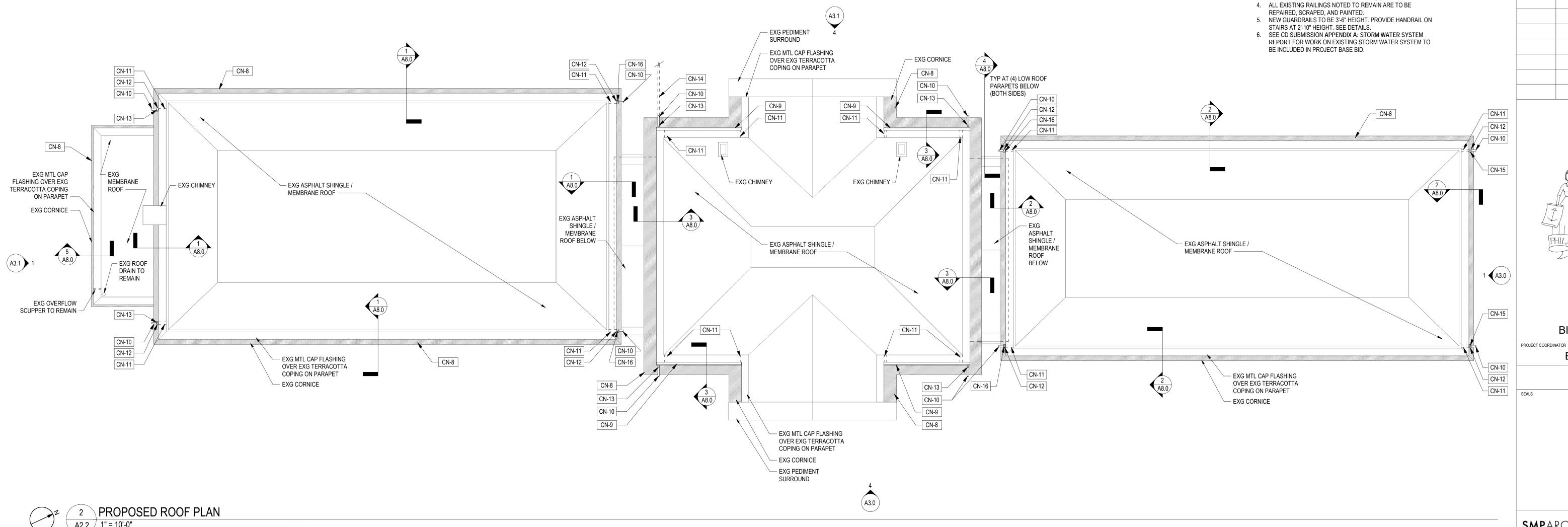
1515 ARCH STREET

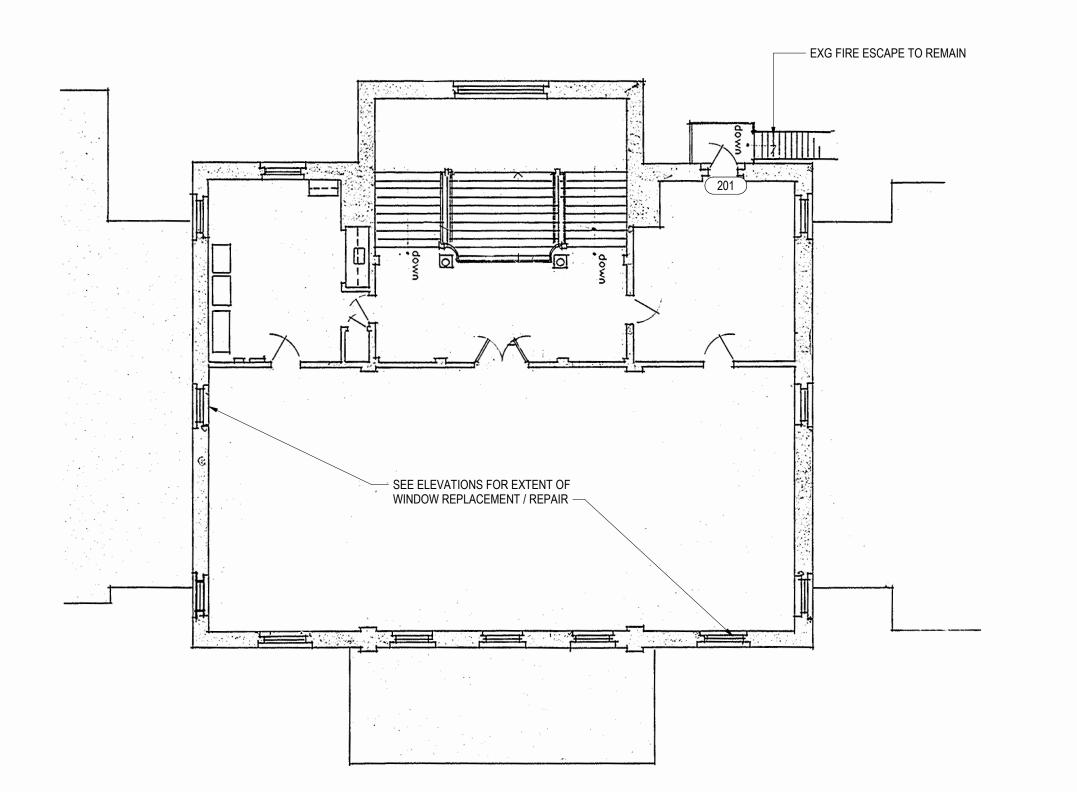
11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA

PROJECT TITLE WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION

DRAWING TITLE FIRST FLOOR PLAN

16-19-4932-99 6.14.2024 AS NOTED DRAWN BY CHECKED BY TW





PROPOSED SECOND FLOOR PLAN

#### **KEYED CONSTRUCTION NOTES**

**GENERAL NOTES:** 

REPAIR.

1. SEE ELEVATIONS FOR EXTENT OF MASONRY REPAIR. 2. SEE ELEVATIONS FOR EXTENT OF WINDOW REPLACEMENT /

3. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR REPAIR WORK AS INDICATED IN DRAWINGS.

- CN-1 CLEAR ALL DEBRIS INCLUDING ORGANIC MATTER FROM EXISTING WINDOW / STAIR WELL COMPLETELY TO EXPOSE
- EXISTING CONCRETE. CN-2 CLEAR ALL DEBRIS INCLUDING ORGANIC MATTER FROM EXISTING WINDOW / STAIR WELL COMPLETELY TO EXPOSE EXISTING CONCRETE. REINSTALL SALVAGED DECKING FOLLOWING CONSTRUCTION ACTIVITIES.
- CN-3 NEW RAILING / GUARDRAIL. SEE ELEVATIONS
- CN-4 SCRAPE AND PAINT ALL EXISTING WINDOW WELL GRATES. STRAIGHTEN BENT MEMBERS AS REQUIRED. REPLACE MISSING AND DAMAGED BEYOND REPAIR SECTIONS IN KIND TO MATCH
- CN-5 REPAIR ENTRY STAIR, INCLUDING RESETTING LEVEL SLIPPED STONE TREADS AND REPOINTING AS REQUIRED.
- CN-6 REPAIR SOUTH TERRACE STAIR, INCLUDING RESETTING LEVEL SLIPPED AND DISPLACED STONE TREADS AND REPOINTING AS REQUIRED. REPAIR EXG CONC STAIR SUBSTRATE AS REQUIRED FOR LEVEL TREAD INSTALLATION. NOTIFY ARCHITECT AND OWNER IF EXTENSIVE SUBSTRATE DAMAGE IS REVEALED FOLLOWING REMOVAL OF EXISTING CUT STONE TREADS.
- CN-7 REINSTALL SALVAGED TERRACE PAVING OVER WATERPROOFING MEMBRANE AND DRAINAGE BOARD. SEE DETAILS. REPLACE CURRENTLY CRACKED PAVERS IN-KIND TO MATCH EXISTING.
- CN-8 REPAIR SKYWARD FACING JOINTS IN CORNICE AND PROVIDE NEW SS FLASHING REGLETED INTO EXG PARAPET TO EXTENT INDICATED BY HATCH. SEE DETAILS.
- CN-9 NEW SS BOX GUTTER.
- CN-10 NEW DS HEAD LEADER TO WRAP EXG CORNICE. EXG OPNG IN CORNICE TO BE REPAIRED. SEE DETAILS.
- CN-11 EXG THRU-WALL SCUPPER TO BE REFLASHED AND SEALED. SEE DETAILS.
- CN-12 NEW SS SCUPPER BOX HEAD. SEE DETAILS.
- CN-13 EXG DOWNSPOUT BELOW DASHED IN FOR REFERENCE. REPAIR ANY DAMAGE, INCLUDING HOLES, LEAKS, AND CRACKS. SCRAPE
- CN-14 PROVIDE NEW CAST IRON BOOT AND BELOW GRADE STORM
- CONNECTION TO EXG STORM SYSTEM.
- CN-15 NEW GALVANIZED STEEL DS BELOW. MATCH CONFIGURATION OF
- EXG AND TIE INTO EXG CAST IRON BOOT. CN-16 NEW GALVANIZED STEEL DS BELOW. MATCH CONFIGURATION OF EXISTING INCLUDING TIE IN T-CONNECTION AT LOW ROOF. TIE
- INTO EXG CAST IRON BOOT. CN-17 NEW STAINLESS STEEL HANDRAIL W/ TOP & BOTTOM EXTENSIONS. SEE DETAILS.

REVISIONS ISSUE DATE REVISIONS



**BID SET SUBMISSION** 

EDWARD SCHMITZ

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ELECTRICAL ENGINEER: ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 610 459 7946

CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

PROJECT TITLE

DRAWING TITLE

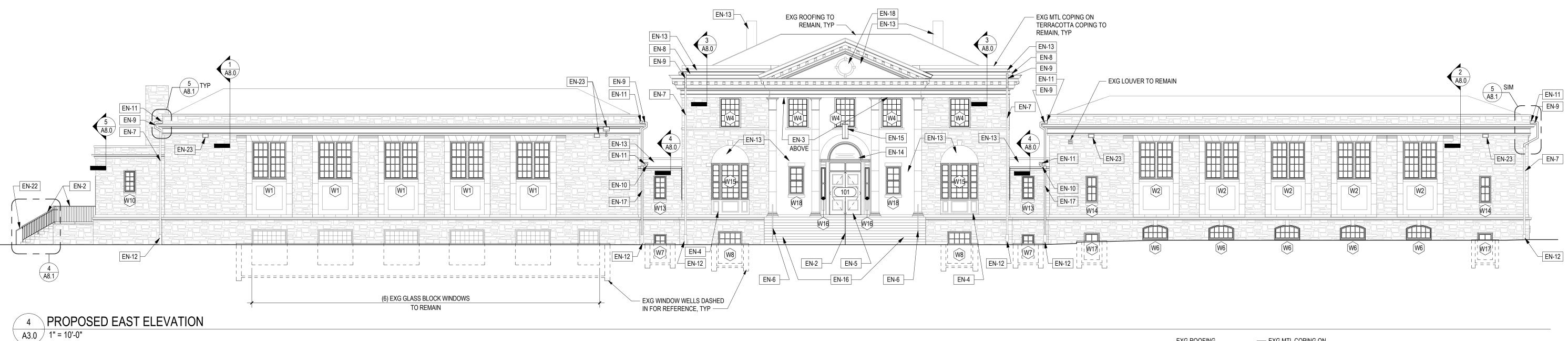
11TH FLOOR, ONE PARKWAY BUILDING PENNSYLVANIA PHILADELPHIA

WATER TOWER RECREATION CENTER EXTERIOR REHABILITATION

SECOND FLOOR PLAN & ROOF PLAN

PROJECT NO. 16-19-4932-99 6.14.2024 AS NOTED CHECKED BY ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

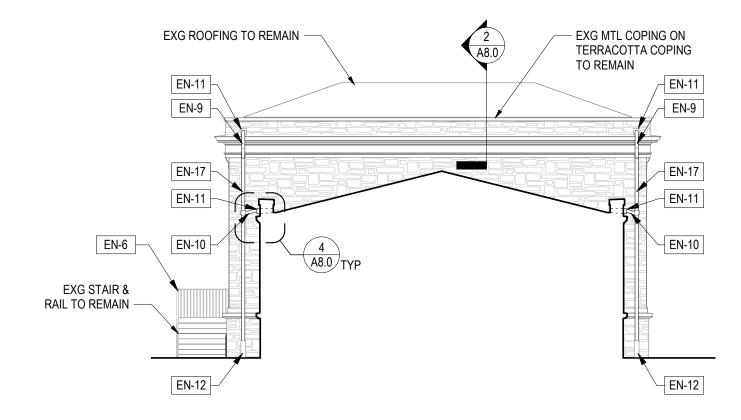


#### **KEYED ELEVATION CONSTRUCTION NOTES**

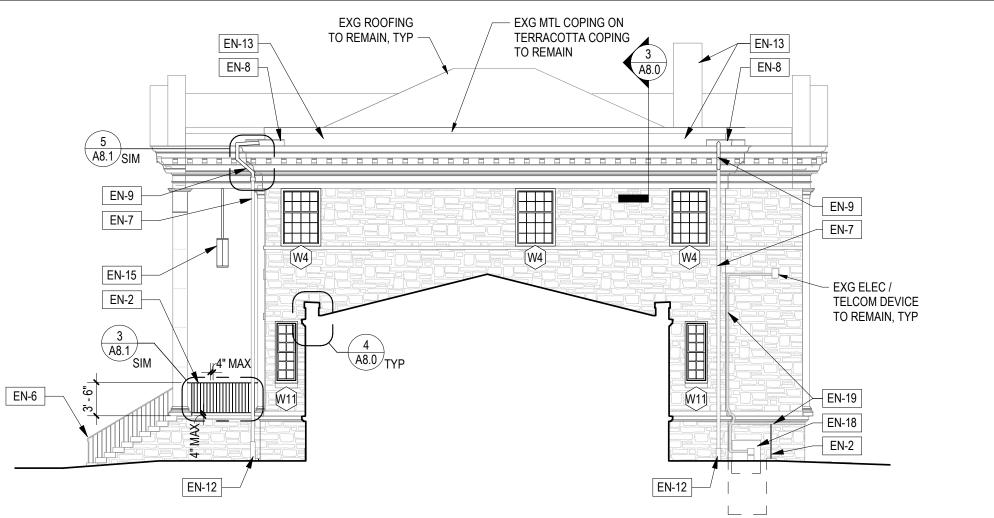
- EN-1 NEW METAL LOUVER AND FRAME IN EXISTING
- MASONRY OPENING. VIF DIMENSIONS. EN-2 NEW RAILING / GUARDRAIL. SEE DETAILS.
- EN-3 PREPARE AND PAINT ENTIRE EXISTING PORTICO CEILING. REPAIR CRACKS AND LOOSE MATERIAL PRIOR TO PAINTING.
- EN-4 EXG WOOD TRIM SCRAPED, REPAIRED, AND PAINTED. EN-5 NEW SSTL DOOR & FRAME.
- EN-6 REPAIR, SCRAPE, & PAINT EXISTING HANDRAIL TO
- EN-7 EXG DOWNSPOUT TO REMAIN. REPAIR ANY DAMAGE, INCLUDING HOLES, LEAKS, AND CRACKS. SCRAPE
- EN-8 NEW SS BOX GUTTER. EXG THRU-WALL SCUPPERS TO BE REFLASHED AND SEALED. SEE DETAILS.
- EN-9 NEW DS HEAD LEADER TO WRAP EXG CORNICE. EXG
- OPNG IN CORNICE TO BE REPAIRED. SEE DETAILS. EN-10 NEW GALV STL DS T-CONNECTION EXG SCUPPER
- LOCATION TO NEW DS. MAINTAIN POSITIVE
- EN-11 NEW SS SCUPPER BOX HEAD AT EXG THRU-WALL SCUPPER LOCATION, EXG THRU-WALL SCUPPER TO
- BE REFLASHED AND SEALED. SEE DETAILS. EN-12 EXG CAST IRON BOOT TO REMAIN. REPAIR ANY
- DAMAGE, INCLUDING HOLES, LEAKS, AND CRACKS. SCRAPE AND PAINT.
- EN-13 NEW PAINT ON EXG STUCCO. REPAIR CRACKS AND LOOSE MATERIAL PRIOR TO PAINTING.
- EN-14 CLEAN EXISTING BRONZE PLAQUE TO REMAIN.
- EN-15 NEW EXTERIOR LIGHT FIXTURE. SEE ELEC PLANS. EN-16 REPAIR ENTRY STAIR, INCLUDING RESETTING LEVEL
- SLIPPED STONE TREADS AND REPOINTING AS REQUIRED. SEE MASONRY REPAIR ELEVATION FOR ADDITIONAL INFORMATION.
- EN-17 NEW 3" INSIDE DIA. GALV STL DS. PAINT TO MATCH
- EN-18 NEW PAINT ON EXG STUCCO PANEL. REPAIR CRACKS AND LOOSE MATERIAL PRIOR TO PAINTING.
- EN-19 EXG CONDUIT CONSOLIDATED AND RE-ROUTED IN CORNERS AND BELOW APRON AS INDICATED.
- EN-20 SCRAPE & PAINT EXISTING LOUVER TO REMAIN. EN-21 NEW CAST IRON BOOT. TIE INTO EXG BELOW GRADE
- STORMWATER SYSTEM. PROVIDE CLEANOUT. EN-22 NEW STAINLESS STEEL HANDRAIL W/ TOP & BOTTOM
- EXTENSIONS. SEE DETAILS. EN-23 NEW EXTERIOR LIGHT FIXTURE IN EXISTING
- LOCATION. SEE ELEC PLANS. EN-24 NEW EXTERIOR FLOOD LIGHT FIXTURE CENTERED ON EXG STUCCO RELIEF. INDEPENDENTLY SWITCHED. ALL CONDUIT FOR FIXTURE TO BE INTERIOR. COORDINATE FINAL MOUNTING POSITION WITH ARCHITECT PRIOR TO INSTALLATION. SEE ELEC

#### **GENERAL ELEVATION NOTES:**

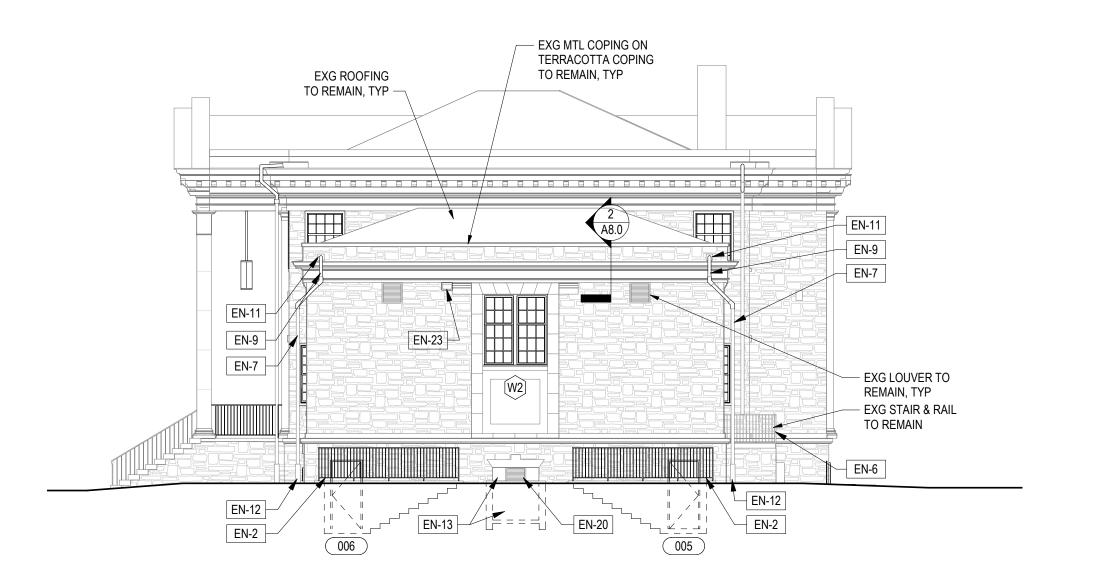
- 1. SEE SHEETS A4.0 & A4.1 FOR INFORMATION RELATED TO
- EXTERIOR MASONRY REPAIR & UNIT REPLACEMENT. 2. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR
- REPAIR WORK AS INDICATED IN DRAWINGS. HATCH PATTERNS SHOWN FOR DRAWING CLARITY ONLY. VERIFY ALL MATERIALS AND EXISTING MORTAR JOINTS IN FIELD.
- 4. ALL EXISTING RAILINGS NOTED TO REMAIN ARE TO BE REPAIRED, SCRAPED, AND PAINTED.
- 5. NEW GUARDRAILS TO BE 3'-6" HEIGHT. HANDRAIL ON STAIRS TO BE 2'-10" HEIGHT. SEE DETAILS.
- SEE ENLARGED WINDOW & DOOR ELEVATIONS & DETAILS.
- 7. ALL WINDOWS NOTED TO REMAIN ARE TO BE THOROUGHLY CLEANED, INCLUDING FRAMES. 8. SEE WINDOW ALTERNATE MATRIX SHEET A9.1 FOR EXTENT OF
- WINDOW REPLACEMENT / REPAIR. COORDINATE REPLACEMENT / REPAIR WITH ACCEPTED ALTERNATES ONLY.
- 9. ALL DOWNSPOUTS & BOOTS NOTED TO REMAIN ARE TO BE REPAIRED TO ENSURE PROPER FUNCTION WITHOUT LEAKS. ALL
- COMPONENTS TO BE SCRAPED AND PAINTED. 10. ALL AREAS OF EXISTING STUCCO ARE TO BE SCRAPED OF
- LOOSE MATERIAL, PREPARED, AND PAINTED.
- 11. PATCH AND REPAIR, WITH LIKE MATERIALS AND FINISH, ANY HOLES REMAINING FOLLOWING DEMOLITION ACTIVITY,
- INCLUDING LOCATIONS OF FORMER RAILING CONNECTIONS AND ABANDONED FERROUS ANCHORS AND BRACKETS.
- 12. ALL MISCELLANEOUS EXISTING EXTERIOR TRIM NOT IDENTIFIED ELSEWHERE TO BE SCRAPED AND REPAINTED UNO.
- 13. EXISTING CONDUIT AND LOOSE WIRING ON WEST FACADE TO BE
- ORGANIZED AND REROUTED BELOW 1ST FLOOR APRON AS INDICATED IN DRAWINGS. SHOWN FOR GENERAL GUIDANCE ONLY. VERIFY IN FIELD EXTENT OF EXSTING TO BE REROUTED.
- 14. EXISTING SECURITY CAMERAS ARE NOT SHOWN. ALL ARE TO



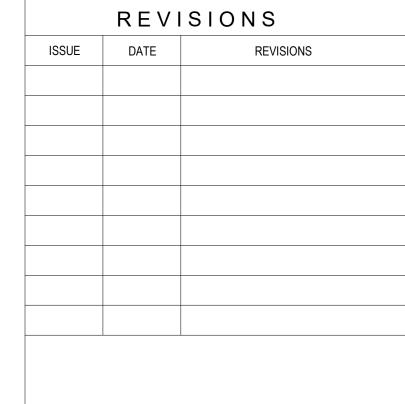
PROPOSED NORTH WING SOUTH ELEVATION A3.0 / 1" = 10'-0"



PROPOSED CENTRAL BUILDING NORTH ELEVATION A3.0 / 1" = 10'-0"



PROPOSED NORTH ELEVATION A3.0 / 1" = 10'-0"





**BID SET SUBMISSION** PROJECT COORDINATOR

EDWARD SCHMITZ

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> CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PENNSYLVANIA PHILADELPHIA PROJECT TITLE WATER TOWER RECREATION

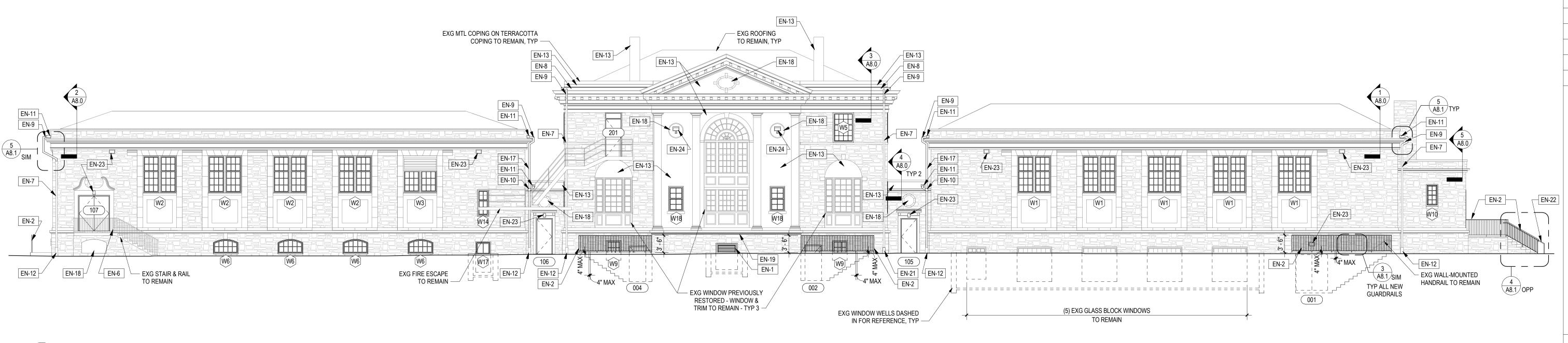
REHABILITATION DRAWING TITLE

CENTER EXTERIOR

**EXTERIOR ELEVATIONS** 

PROJECT NO. 16-19-4932-99 6.14.2024 AS NOTED DRAWN BY CHECKED BY ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



PROPOSED WEST ELEVATION A3.1 / 1" = 10'-0"

#### **KEYED ELEVATION CONSTRUCTION NOTES**

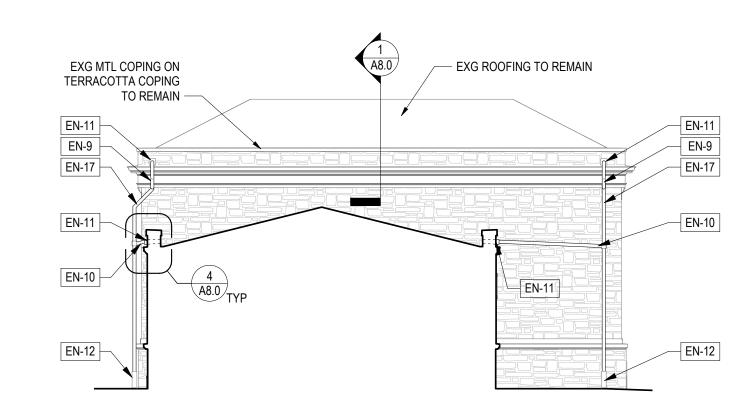
- EN-1 NEW METAL LOUVER AND FRAME IN EXISTING
- MASONRY OPENING. VIF DIMENSIONS. EN-2 NEW RAILING / GUARDRAIL. SEE DETAILS.
- EN-3 PREPARE AND PAINT ENTIRE EXISTING PORTICO CEILING. REPAIR CRACKS AND LOOSE MATERIAL PRIOR TO PAINTING.
- EN-4 EXG WOOD TRIM SCRAPED, REPAIRED, AND PAINTED. EN-5 NEW SSTL DOOR & FRAME.
- EN-6 REPAIR, SCRAPE, & PAINT EXISTING HANDRAIL TO
- EN-7 EXG DOWNSPOUT TO REMAIN. REPAIR ANY DAMAGE, INCLUDING HOLES, LEAKS, AND CRACKS. SCRAPE
- EN-8 NEW SS BOX GUTTER. EXG THRU-WALL SCUPPERS TO BE REFLASHED AND SEALED. SEE DETAILS.
- EN-9 NEW DS HEAD LEADER TO WRAP EXG CORNICE. EXG OPNG IN CORNICE TO BE REPAIRED. SEE DETAILS.
- EN-10 NEW GALV STL DS T-CONNECTION EXG SCUPPER
- LOCATION TO NEW DS. MAINTAIN POSITIVE
- EN-11 NEW SS SCUPPER BOX HEAD AT EXG THRU-WALL SCUPPER LOCATION, EXG THRU-WALL SCUPPER TO
- BE REFLASHED AND SEALED. SEE DETAILS. EN-12 EXG CAST IRON BOOT TO REMAIN. REPAIR ANY DAMAGE, INCLUDING HOLES, LEAKS, AND CRACKS.
- SCRAPE AND PAINT. EN-13 NEW PAINT ON EXG STUCCO. REPAIR CRACKS AND
- LOOSE MATERIAL PRIOR TO PAINTING. EN-14 CLEAN EXISTING BRONZE PLAQUE TO REMAIN.
- EN-15 NEW EXTERIOR LIGHT FIXTURE. SEE ELEC PLANS.

EN-16 REPAIR ENTRY STAIR, INCLUDING RESETTING LEVEL

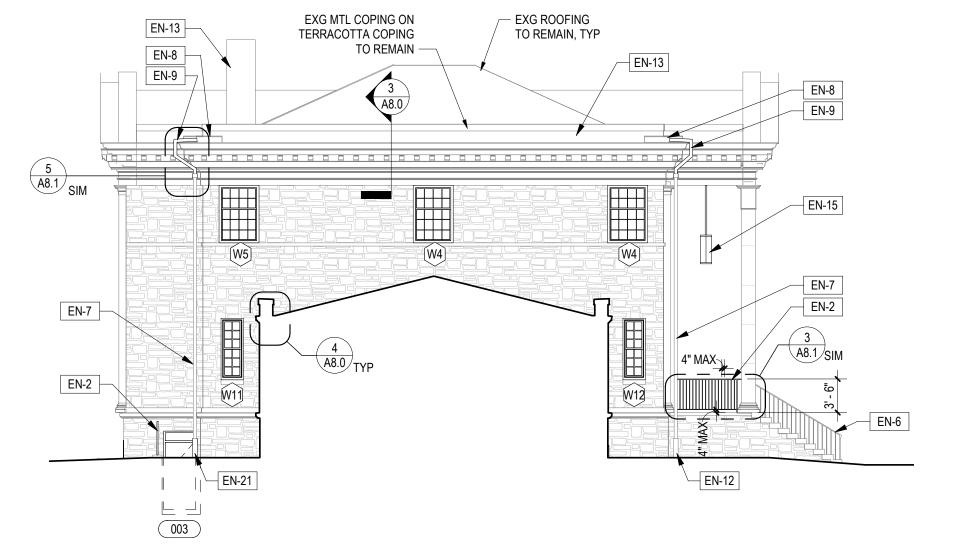
- SLIPPED STONE TREADS AND REPOINTING AS REQUIRED. SEE MASONRY REPAIR ELEVATION FOR
- ADDITIONAL INFORMATION. EN-17 NEW 3" INSIDE DIA. GALV STL DS. PAINT TO MATCH
- EN-18 NEW PAINT ON EXG STUCCO PANEL. REPAIR CRACKS
- AND LOOSE MATERIAL PRIOR TO PAINTING. EN-19 EXG CONDUIT CONSOLIDATED AND RE-ROUTED IN
- CORNERS AND BELOW APRON AS INDICATED. EN-20 SCRAPE & PAINT EXISTING LOUVER TO REMAIN.
- EN-21 NEW CAST IRON BOOT. TIE INTO EXG BELOW GRADE STORMWATER SYSTEM. PROVIDE CLEANOUT.
- EN-22 NEW STAINLESS STEEL HANDRAIL W/ TOP & BOTTOM EXTENSIONS. SEE DETAILS.
- EN-23 NEW EXTERIOR LIGHT FIXTURE IN EXISTING LOCATION. SEE ELEC PLANS.
- EN-24 NEW EXTERIOR FLOOD LIGHT FIXTURE CENTERED ON EXG STUCCO RELIEF. INDEPENDENTLY SWITCHED. ALL CONDUIT FOR FIXTURE TO BE INTERIOR. COORDINATE FINAL MOUNTING POSITION WITH ARCHITECT PRIOR TO INSTALLATION. SEE ELEC PLANS.

#### **GENERAL ELEVATION NOTES:**

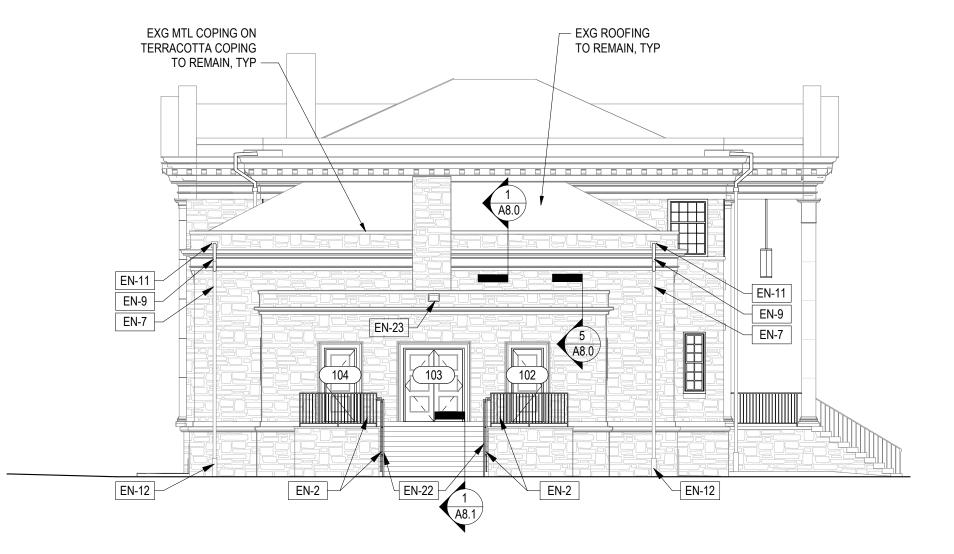
- 1. SEE SHEETS A4.0 & A4.1 FOR INFORMATION RELATED TO
- EXTERIOR MASONRY REPAIR & UNIT REPLACEMENT. 2. NO INTERIOR WORK BEYOND THAT REQUIRED FOR EXTERIOR
- REPAIR WORK AS INDICATED IN DRAWINGS.
- HATCH PATTERNS SHOWN FOR DRAWING CLARITY ONLY. VERIFY ALL MATERIALS AND EXISTING MORTAR JOINTS IN FIELD.
- 4. ALL EXISTING RAILINGS NOTED TO REMAIN ARE TO BE REPAIRED, SCRAPED, AND PAINTED.
- 5. NEW GUARDRAILS TO BE 3'-6" HEIGHT. HANDRAIL ON STAIRS TO BE 2'-10" HEIGHT. SEE DETAILS.
- SEE ENLARGED WINDOW & DOOR ELEVATIONS & DETAILS. 7. ALL WINDOWS NOTED TO REMAIN ARE TO BE THOROUGHLY
- CLEANED, INCLUDING FRAMES. 8. SEE WINDOW ALTERNATE MATRIX SHEET A9.1 FOR EXTENT OF
- WINDOW REPLACEMENT / REPAIR. COORDINATE REPLACEMENT / REPAIR WITH ACCEPTED ALTERNATES ONLY.
- 9. ALL DOWNSPOUTS & BOOTS NOTED TO REMAIN ARE TO BE REPAIRED TO ENSURE PROPER FUNCTION WITHOUT LEAKS. ALL
- COMPONENTS TO BE SCRAPED AND PAINTED.
- 10. ALL AREAS OF EXISTING STUCCO ARE TO BE SCRAPED OF LOOSE MATERIAL, PREPARED, AND PAINTED.
- 11. PATCH AND REPAIR, WITH LIKE MATERIALS AND FINISH, ANY HOLES REMAINING FOLLOWING DEMOLITION ACTIVITY. INCLUDING LOCATIONS OF FORMER RAILING CONNECTIONS AND
- ABANDONED FERROUS ANCHORS AND BRACKETS. 12. ALL MISCELLANEOUS EXISTING EXTERIOR TRIM NOT IDENTIFIED
- ELSEWHERE TO BE SCRAPED AND REPAINTED UNO. 13. EXISTING CONDUIT AND LOOSE WIRING ON WEST FACADE TO BE
- ORGANIZED AND REROUTED BELOW 1ST FLOOR APRON AS INDICATED IN DRAWINGS. SHOWN FOR GENERAL GUIDANCE
- ONLY. VERIFY IN FIELD EXTENT OF EXSTING TO BE REROUTED. 14. EXISTING SECURITY CAMERAS ARE NOT SHOWN. ALL ARE TO



PROPOSED SOUTH WING NORTH ELEVATION A3.1 / 1" = 10'-0"



PROPOSED CENTRAL BUILDING SOUTH ELEVATION A3.1 / / 1" = 10'-0"



PROPOSED SOUTH ELEVATION A3.1  $\sqrt{1}$  = 10'-0"

REVISIONS ISSUE DATE REVISIONS



PROJECT COORDINATOR **EDWARD SCHMITZ** 

**BID SET SUBMISSION** 

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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

DRAWING TITLE

PROJECT TITLE WATER TOWER RECREATION CENTER EXTERIOR

REHABILITATION

PENNSYLVANIA

**EXTERIOR ELEVATIONS** 

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