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ABOVE ABOVE FINISHED FLOOR ACOUSTIC CEILING PANEL ACOUSTIC CEILING TILE ADJACENT ALUMINUM ANCHOR BOLT ARCHITECT(URAL) AT
BACKSPLASH BASEMENT BETWEEN BLOCK BLOCKING BOARD BOTTOM OF BOTTOM OF BOTTOM OF CURB BRICK BUILDING BUILT UP ROOFING
CABINET CARPET CATCH BASIN CEMENT CENTER LINE CERAMIC CERAMIC TILE COLUMN COMPOSITE/COMPOSITION CONCRETE CONCRETE MASONRY UNIT CONTINUOUS CONTRACT(OR) CONTROL JOINT CORRIDOR COURSE

DETAIL DIAMETER DIMENSION DISHWASHER DOOR DOWN DOWNSPOUT DRAWING
EACH ELECTRIC WATER COOLER ELECTRIC(AL) ELEVATION EQUAL ESTIMATED EXHAUST EXISTING EXISTING EXISTING TO REMAIN EXPANSION JOINT EXTERIOR
FACE OF FIBER CEMENT PANEL FIELD FINISH(ED) FIRE EXTINGUISHER FIRE EXTINGUISHER CABINE FIRE RATING FLAME RETARDENT RATING FLASHING FLOOR FLOOR DRAIN FRAME FREEZER FURRING
GALVANIZED GAUGE

DTL

DIA

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DR

DN DS

DWG

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EWC

ELEC

EL

EQ

EST

EXH EXG

EXIST

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FCP

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FIN

FEC

FRTG

FRT

FLSG

FLR

FD

FR

FRZ

FUR

GALV

GA

FE

GC	GENERAL CONTRACTOR
GL	GLASS
GYP	GYPSUM
GWB	GYPSUM WALL BOARD
HDW	HARDWARE
HDWD	HARDWOOD
HT	HEIGHT
HC	HOLLOW CORE
HM	HOLLOW METAL
HOR	HORIZONTAL
D	INSIDE DIAMETER
NSUL	INSULATION
NT	INTERIOR
IT	JOINT
IST	JOIST
.AM	LAMINATED
.T	LIGHT
.VR	LOUVER
.VP	LUXURY VINYL PLANK
MANUF MRBL MSNRY MO MAT MECH MTL MR	MANUFACTURE(R) MARBLE MASONRY MASONRY OPENING MATERIAL MECHANICAL METAL MOISTURE RESISTANT MOUNTED
NEC	NECESSARY
NRC	NOISE REDUCTION COEFFICIENT
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER

00

OPNG

OPHD

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PERF

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PLAM

PLYWD

PL

PT

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RWC

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REFRB

REINF

RELOC

REQD

RF MEM

REM

RD

RO

RCB

SCHED

SL & BR

SHT

SLF

SVF

SIM

SL

QUARRY TILE

RADIUS/RISE RAINWATER CO RECEPTACLE REFRIGERATO REFURBISH REINFORCED/F RELOCATE REMOVE(D) REQUIRED ROOF DRAIN ROOFING MEM ROUGH OPENII RUBBER COVE

SCHEDULE SEALANT SEALANT & BA(SHEET SHEET LINOLEU SHEET VINYL FI SIMILAR

CITY OF PHILADELPHIA DEPARTMENT OF PARKS AND RECREATION

MAYOR - CHERELLE L. PARKER

MANAGING DIRECTOR - ADAM THIEL COMMISSIONER OF PARKS AND RECREATION - ORLANDO RENDON

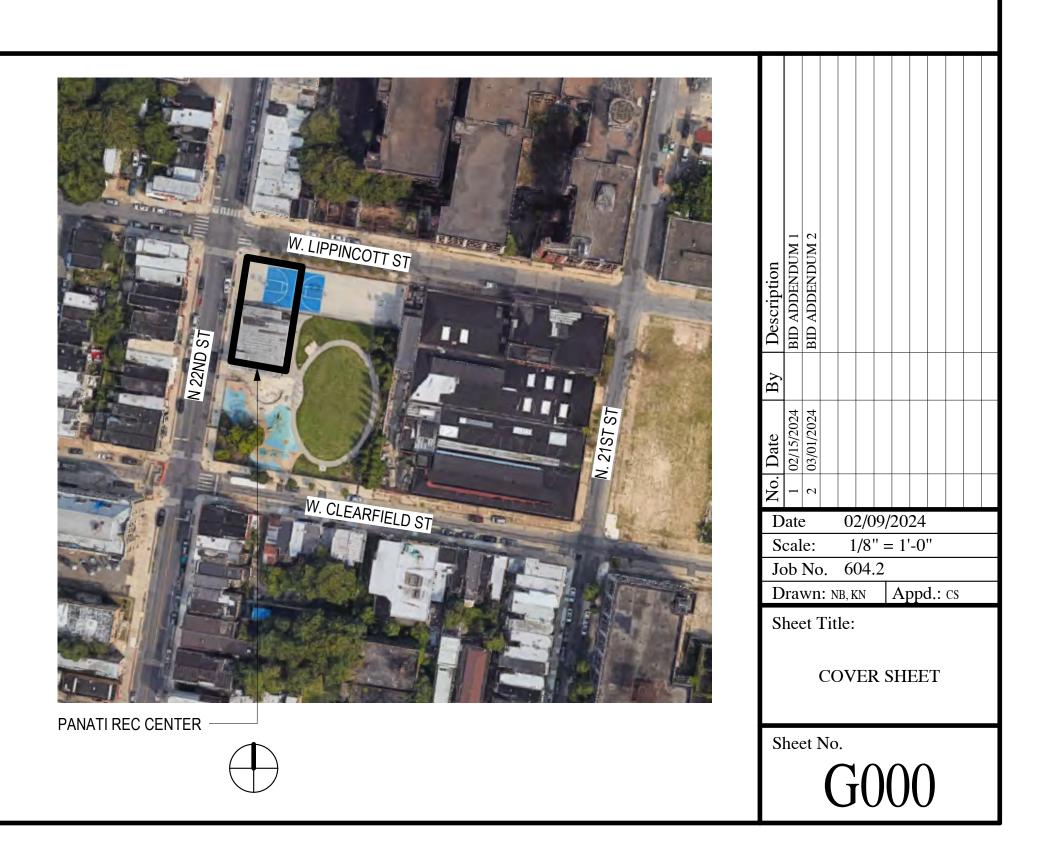
VINCENT G. PANATI PLAYGROUND 3101-27 N 22ND ST, PHILADELPHIA, PA 19132 PROJECT NO. 16478E-01-01

SET ISSUE NAME: BID SET SET ISSUE DATE: 02/09/2024

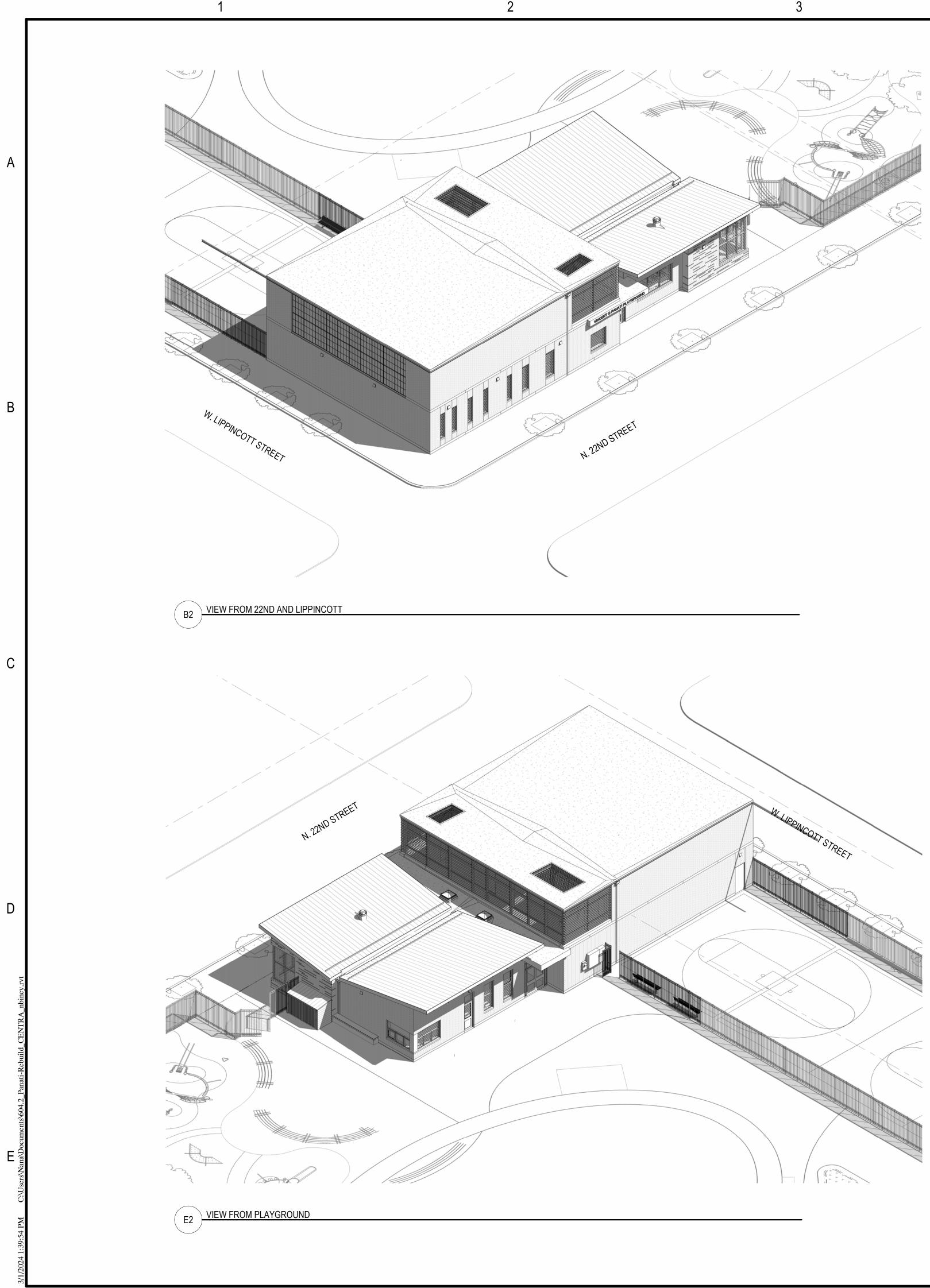
STRUCTURAL & MEP ENGINEER D'HUY ENGINEERING, INC ONE EAST BROAD ST, STE 310 BETHLEHEM, PA 18018

ARCHITECT CICADA ARCHITECTURE/PLANNING, INC 1520 LOCUST ST, STE 702 PHILADELPHIA, PA 19102 *CIVIL ENGINEER* CORNERSTONE CONSULTING ENGINEERS & DESIGN SERVICES, INC 213 WEST MAIN ST LANDSDALE, PA 19446

	SC	SOLID CORE				
	STC	SOUND TRANSMISSION CLASS	(101)	DOOR OPENING / NUMBER		
D	SPECS	SPECIFICATIONS	ROOM NAME			REVISION CLOUD + TAG
	SF	SQURE FEET	101	ROOM NUMBER / AREA		
ETER	SSTL	STAINLESS STEEL				
	STD	STANDARD	Ę	CENTER LINE	A101	INTERIOR ELEVATION TAG
	STL	STEEL		0211121121112		
	STN	STONE		EQUIPMENT TAG		
	STRUC	STRUCTUR(AL)			Ref	
	SUSP	SUSPENDED		KEYNOTE		EXTERIOR ELEVATION TAG
IATE	TEMP	TEMPORARY			1	
	TERR	TERAZZO	(0)	GRID HEAD	A101	
	THK	THICK/THICKNESS				
EATED	THRES	THRESHOLD			\frown	
	ТА	TOILET ACCESSORY	A101	DETAIL TAG	\oplus	SPOT ELEVATION
	TOC	TOP OF CURB			ر ر	
	ТО	TOP OFF		REVISION TAG	23.00°	ANGULAR DIMENSION
	Т	TREAD			\sim $+$ \circ	
ONDUCTOR	TYP	TYPICAL		WINDOW TAG	~~ ×"	
					R2'-0	
R	UC	UNDERCOUNTER	C8.2	PARTITION TYPE		RADIAL DIMENSION + RADIUS PT
	UL	UNDERWRITERES LABORATORY			× _ /	
REINFORCING	UON	UNLESS OTHERWISE NOTED	1 SIM		0 "	
			A101	WALL SECTION OR DETAIL	05-0	DIAMETER DIMENSION + RADIUS PT
	VB					
	VIF VERT	VERIFY IN FIELD VERTICAL	SIM		`	
BRANE	VERT	VERTICAL VINYL COMPOSITION TILE		WALL SECTION OR DETAIL	4' - 6"	
NG	VCB	VINTE COMPOSITION HEE		NEW CONSTRUCTION	1 1	DIMENSION LINE
BASE	100				4' - 6"	
	WSC	WAINSCOT		TO BE DEMOLISHED	- bb -	DIMENSION LINE TO CENTERLINES
	WP	WATERPROOFING	Δ			
	WWF	WELDED WIRE FABRIC		BREAKLINE		PROPERTY LINE
CKER ROD	WDW	WINDOW	• >	TRAVEL LINE		OVERHEAD
	W/	WITH				
JM FLOORING	W/O	WITHOUT		STANDING SEAM METAL ROOF	0 A	LIGHTING TAG (SAMPLE)
LOORING	WD	WOOD				
	W.I.	WROUGHT IRON		PERFORATED METAL DECKING		NEW DOOR



KITCHEN DESIGN CORSI ASSOCIATES 1489 BALTIMORE PIKE SPRINGFIELD, PA19064 *COMMISSIONING* WRIGHT COMMISSIONING 30 N 41ST ST PHILADELPHIA, PA 19104



4.01 5.01	MASONRY VENEER 6" METAL CHANNEL
5.01 5.02	OPEN METAL GRATING
5.02	METAL DECKING @ SOFFIT
5.05	HSS 6X6 - SEE STRUCT DWGS
5.06 5.07	HSS 6X4 - SEE STRUCT DWGS HSS 8X8 - SEE STRUCT DWGS
7.01	STANDING SEAM METAL ROOF
7.02	SCUPPER AND DOWNSPOUT
7.03	STAINLESS STEEL FASCIA
7.04	MEMBRANE ROOF
7.07 7.08	CRICKET SNOW CLEATS
3.01	SNOW CLEATS
3.02	INTERIOR ALUMINUM STOREFRONT SYSTEM
3.04	ALUMINUM STOREFRONT ENTRY SYSTEM
3.05	
3.06 3.08	ALUMINUM STOREFRONT WINDOW SYSTEM W/ SECURITY SCREEN
0.01	LOUVERS
0.04	RECESSED CLASS A FIRE EXTINGUISHER
0.05	RECESSED CLASS K FIRE EXTINGUISHER
0.06	WALL PADS BACKSTOP SWITCH. COORDINATE WITH ELEC DWGS
1.03	CEILING MOUNTED BASKETBALL HOOP
1.04	KITCHEN HOOD EXHAUST FAN - SEE MEP & F.S. DWGS
2.02	TRASH ENCLOSURE
2.05	
2.01 2.02	DRINKING FOUNTAIN WITH BOTTLE FILLER WALL HYDRANT - COORDINATE WITH PLUMBING DWGS
6.01	EXTERIOR WALL MOUNTED LIGHT FIXTURE
2.01	NEW FENCE TO MATCH EXISTING
2.02	NEW FENCE GATE TO MATCH EXISTING
ENE	RAL NOTES
	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES,
	ORDINANCES AND REGULATIONS WHICH SHALL TAKE PRECEDENCE OVER THESE DRAWINGS.
	CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE CONDITIONS OF THE WORK AT THE JOB SITE
	BEFORE PREPARING HIS PROPOSAL AND SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING ANY OF THIS WORK.
	IT IS INTENDED THAT ALL WORK REQUIRED UNDER THIS CONTRACT SHALL BE COMPLETE AND
	OPERATIONAL IN ALL RESPECTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST INDUSTRY STANDARDS AND TRADE PRACTICES.
	CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO PREVENT DAMAGE TO TREES,
	EQUIPMENT AND EXISTING AND NEW WORK WITHIN THE LIMITS OF THE CONTRACT. DO NOT SCALE DRAWINGS, USE DIMENSIONS GIVEN.
	SHOULD AN ERROR OR DISCREPANCY BE FOUND IN THE DRAWINGS IT SHALL BE BROUGHT TO
	THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH THE WORK. ALL WORK DISTURBED BY THE OPERATIONS OF THIS CONTRACT SHALL BE PATCHED AND
	REINSTATED WITH WORK OF MATCHING MATERIALS AND QUALITY.
	"TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
	"SIMILAR" MEANS REFERENCED ITEM IS SIMILAR IN NATURE TO ACTUAL DETAIL, SECTION OR ELEVATION (i.e. OPPOSITE-HAND, REVERSE DIRECTION, ETC.).
).	MANUFACTURER'S SUGGESTED INSTALLATION METHODS SHALL TAKE PRECEDENCE OVER
	METHODS AS DOCUMENTED WHERE A CONFLICT EXISTS. CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT OR ENGINEER
	INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON INFORMATION PROVIDED TO OR
	OBTAINED BY ARCHITECT INDICATING EXISTING CONDITIONS. ACTUAL FIELD CONDITIONS MAY VARY FROM THOSE INDICATED ON THE DRAWINGS. SHOULD ACTUAL CONDITIONS DIFFER
	SUBSTANTIALLY FROM THOSE INDICATED ON THE DRAWINGS. SHOULD ACTUAL CONDITIONS DIFFER
	ENCOUNTERED IN RENOVATION WORK OF THIS TYPE. PROMPTLY NOTIFY ARCHITECT BEFORE
	ANY OF THESE CONDITIONS ARE DISTURBED. FAILURE TO DO SO MAY WAIVE THE CONTRACTOR'S RIGHT TO ADDITIONAL TIME OR OTHER CONSIDERATION DUE TO SUCH
	CONDITIONS.
	BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME. NO EXTRA CHARGE
	OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL
	DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION, BEFORE
	PROCEEDING WITH THE WORK
	COORDINATE TRADES TO ENSURE TIMELY COMPLETION OF WORK. REMOVAL OF HAZARDOUS MATERIALS NOTED IN THESE DOCUMENTS SHALL BE PERFORMED IN
•	COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND UNDER THE DIRECTION OF THE OWNER
	OR THE OWNER'S DESIGNATED ENVIRONMENTAL CONSULTANT.
).).	REMOVE ALL DEBRIS FROM SITE. IF THE DIGITAL FILES USED TO CREATE THE CONTRACT DOCUMENTS ARE ACQUIRED, THEY
	SHOULD BE USED FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FABRICATION OF
	BUILDING COMPONENTS, UNLESS AUTHORIZED BY THE PROJECT ARCHITECT IN WRITING. THESE DRAWINGS ARE THE SOLE PROPERTY OF THE ARCHITECT THEY ARE PROVIDED TO THE
	OWNER AND CONTRACTOR FOR THEIR USE SOLELY WITH RESPECT TO THIS PROJECT.
5.	DEMOLISH AND REMOVE WORK AS INDICATED ON THE DRAWINGS AND AS REQUIRED TO ACCOMMODATE ALL NEW WORK. PERFORM DEMOLITION IN A SAFE, CAREFUL MANNER TO
	PREVENT ACCIDENTS AND PROPERTY DAMAGE. OPENINGS IN EXISTING CONSTRUCTION SHALL
	BE CUT NEAT AND CLEAN WITHOUT DISTURBING THE ADJOINING CONSTRUCTION. PROVIDE THE NECESSARY FRAMING, LINTELS, REINFORCEMENT, TEMPORARY SUPPORTS AND SHORING AS
	NEEDED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING.
	THE SUBMISSION OF PRICING SHALL BE EVIDENCE THAT THE CONTRACTOR HAS FULLY EVALUATED POTENTIAL PROBLEMS AND LATER ADDITIONAL COST CLAIMS FOR LABOR,
_	EQUIPMENT, MATERIAL OR HARDSHIP WILL NOT BE CONSIDERED.
	MASONRY UNIT THICKNESSES ARE NOMINAL
-	<u> </u>
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	VINCENT G. PANATI PLAYGROUND
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KEYNOTES

		SHEET NAME

AXONS, KEYNOTES, AND DRAWING LIST

CODE REVIEW & EGRESS PLANS

ENERGY COMPLIANCE

DEMOLITION PLAN

FLOOR PLAN

FLOOR PLAN

REFLECTED CEILING PLANS

ENLARGED DWGS - PLANS + INT ELEVS

WINDOW SCHEDULES, TYPES, DETAILS

DOOR SCHEDULES, TYPES, DETAILS

INTERIOR SIGNAGE TYPES, SCHEDULE

MEZZANINE & LOW ROOF FRAMING PLAN

ENLARGED DWGS - PLANS + ELEVS

EXTERIOR AND INTERIOR DETAILS

ENLARGED PLAN DETAILS

FINISH & FURNISHING PLAN

HIGH ROOF FRAMING PLAN

FOUNDATION DETAILS

FRAMING DETAILS

FRAMING DETAILS

FRAMING DETAILS

GENERAL NOTES

COVER SHEET

FLOOR PLAN

ROOF PLAN

COVER SHEET

E0.3 SITE PLAN - DEMOLITION

SITE PLAN - NEW

FLOOR PLAN - LIGHTING

FLOOR PLAN - POWER

MEZZANINE PLANS

FLOOR PLAN - LOW VOLTAGE

DETAILS SCHEDULES

E0.2 ELECTRICAL NOTES

DETAILS

DETAILS

DETAILS

P1.1 SITE PLAN

SCHEDULES

COVERSHEET

FLOOR PLAN - DRAINAGE

FLOOR PLAN - SUPPLY

ROOF & MEZZANINE PLANS

WINDOW DETAILS ROOF DETAILS

S1.1 FOUNDATION PLAN

LINTEL PLAN S2.1 FOUNDATION DETAILS

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING SECTIONS

BUILDING SECTIONS

WALL SECTIONS

WALL SECTIONS

ROOF PLAN

EXISTING CONDITIONS PLAN

C1.4 EROSION & SEDIMENTATION CONTROL PLAN

EROSION & SEDIMENTATION CONTROL DETAILS

ACCESSIBILITY RQMNTS, MOUNTING HEIGHT DIAGRAMS

COVER SHEET

5

SHEET NO.

G000

G001

G005

G100

G110

C1.2

C1.5

02 DEMOLITION

AD100 03 ARCHITECTURAL

A110

A120

A210

A300 A301

A400

A401

A450

A451

A500

A501

A610

A620

A621

A630 A810

A910

A930

A940

04 STRUCTURAL

S1.2

S1.3

S1.4

S2.2 S3.1

S3.2

S3.3

S4.1

H0.1

H2.1

H2.2

H7.1

H8.1 06 ELECTRICAL

E0.1

E0.4

E2.1 E3.1

E4.1

E5.1

E7.1

E7.2

E7.3

E8.1

P0.1

P2.1

P2.2

P3.1

07 PLUMBING

05 MECHANICAL

A130

C1.1 SITE PLAN

C1.6 DETAILS C1.7 DETAILS

A100 SITE PLAN

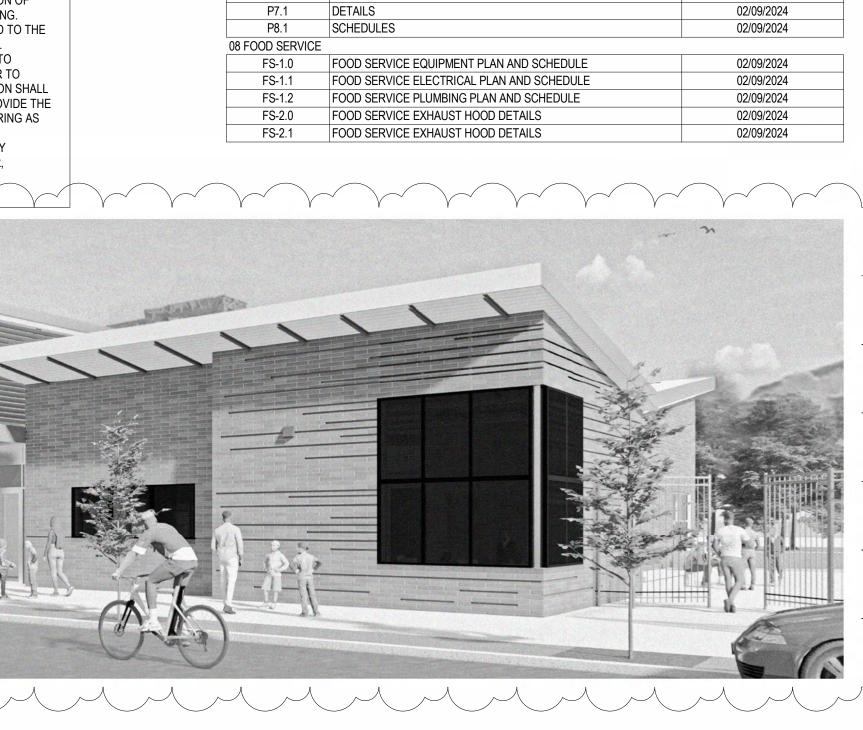
C1.3 UTILITY PLAN

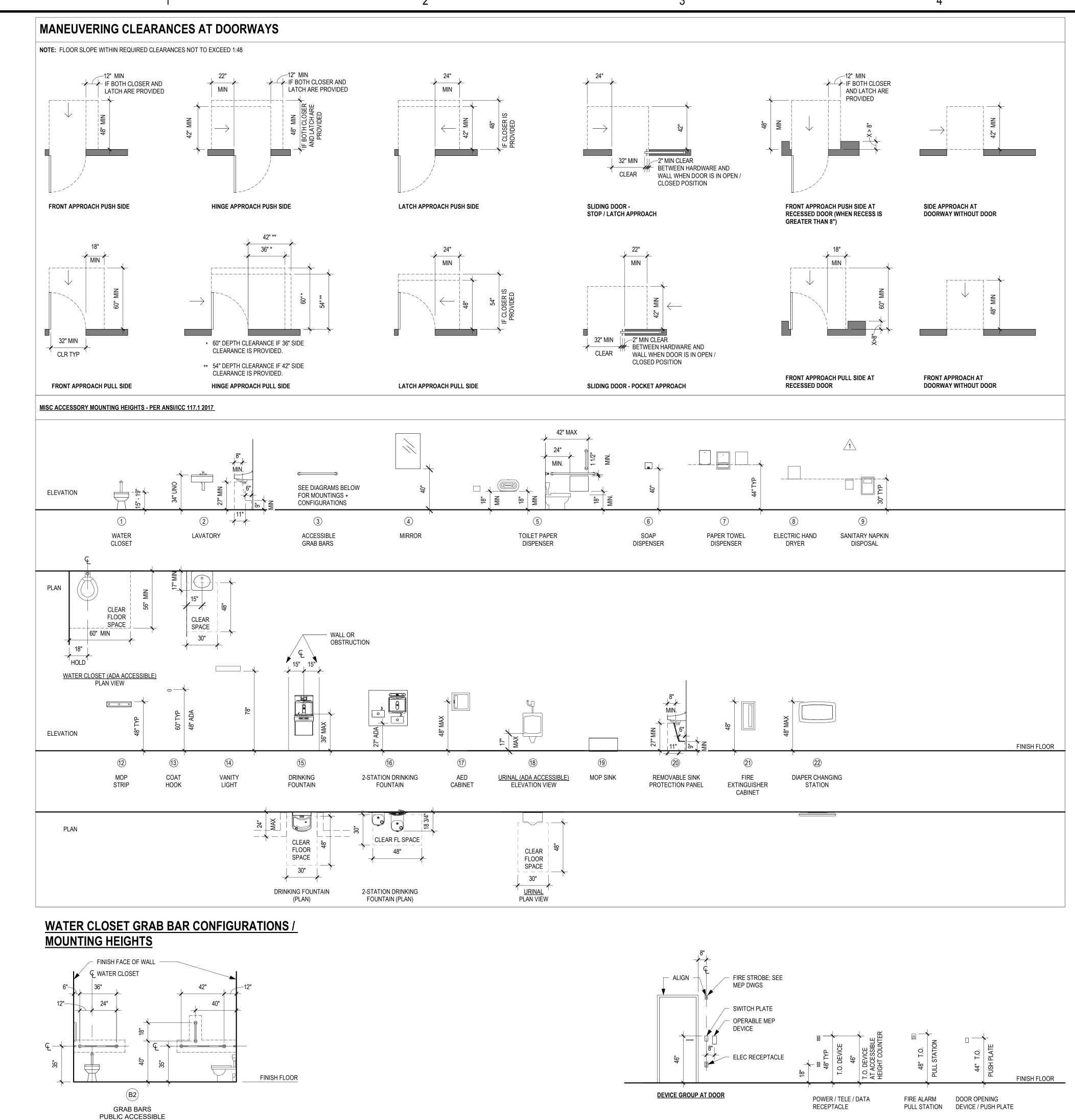
00 GENERAL

01 CIVIL

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	D'HUY
	Engineering,
BID ISSUE DATE	Inc.
	CONSULTING ENGINEERS:
02/09/2024 02/09/2024	Project Management Facilities Engineering
02/09/2024	Structural Design & Analysis Mechanical/Electrical/Plumbing
02/09/2024 02/09/2024	Forensic Engineering
02/09/2024	
02/09/2024	
02/09/2024 02/09/2024	
02/09/2024 02/09/2024	One East Broad Street
02/09/2024	Suite 310 Bethlehem, PA 18018
02/09/2024	610.865.3000 · fax 610.861.0181
02/09/2024	www.dhuy.com
02/09/2024	cicada
02/09/2024 02/09/2024	archilecture · planning
02/09/2024 02/09/2024	15/01 LODUSTA KETHEL - SKITTE VOL - PHYLADELIPHICA PA TRADIT - YSS 70, 14000
02/09/2024	Cornerstone Consulting Engineers & Design Services, Inc.
02/09/2024 02/09/2024	213 West Main Street , Lansdale , PA 19446 Phone: 215-362-3600 , Fax: 215-362-3400 www.connections.net.com
02/09/2024 02/09/2024	
02/09/2024	ASSOCIATES
02/09/2024 02/09/2024	1489 Baltimore Pike, Ste 109, Springfield, PA 19064 (866) 267-7447 www.corsiassociates.com
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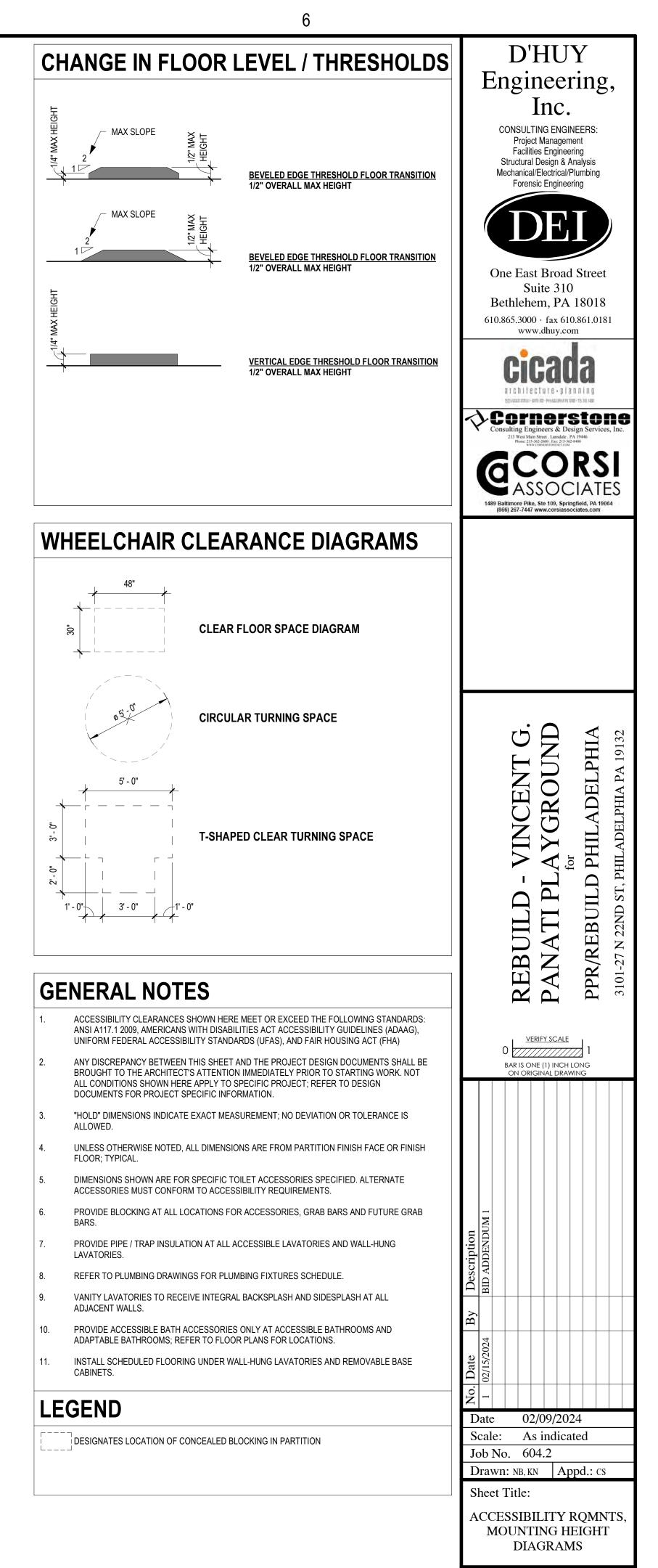
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WATER CLOSET







Sheet No.

G005

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APPLICABLE CODES	
CITY OF PHILADELPHIA ZONING CODE 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL PLUMBING CODE 2017 NATIONAL ELECTRICAL CODE 2018 INTERNATIONAL ENERGY CODE AMERICANS WITH DISABILITIES ACT, TITLE II ICC/ANSI A117.1-2017	
CITY OF PHILADELPHIA ZONING CODE	
ZONING DISTRICT: FIRE DISTRICT: MAX BUILDING HEIGHT:	SP-PO-A (RECREATION) CITY OF PHILADELPHIA 38 FT
INTERNATIONAL BUILDING CODE (2018)	
PROPOSED OCCUPANCY USE/GROUP: PROPOSED CONSTRUCTION TYPE: ALLOWABLE BUILDING HEIGHT AND AREA:	ASSEMBLY GROUP " A-3 " (RECREATION) IIB - NONSPRINKLERED, NON-COMUSTIBLE 55 FT / 2-STORRIES / 9,500 GSF
FIRE RESISTANCE REQUIREMENTS, TYPE IIB - NONSPRINKLERE	D, NON-COMBUSTIBLE
PRIMARY STRUCTURE FRAME: BEARING WALL, EXT: BEARING WALLS, INT: BEARING WALLS, EXT, LESS THAN 10 FT FSD: NONBEARING WALLS, INT: FLOOR CONSTR. + SECONDARY MEMBERS: ROOF CONSTR. + SECONDARY MEMBERS	0 HR 0 HR 0 HR 0 HR 0 HR 0 HR 0 HR
FIRE SEPARATION REQUIREMENTS	
BETWEEN GROUP "A" & GROUP "E" BETWEEN GROUP "A" & GROUP "B"	NONE REQUIRED NONE REQUIRED

		OCCUPAN	IT LOAD TABULAR			
NAME	AREA	CLASSIFICATION	FUNCTION OF SPACE	LOAD FACTOR	NET/ GROSS	LOA
MULTIPURPOSE ROOM	787 SF	A-3 (ASSEMBLY)	ASSEMBLY: UNCONCENTRATED (TABLES AND CHAIRS)	15 SF	NET	53
CLOSET	29 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
MAKER SPACE	342 SF	E (EDUCATION)	EDUCATIONAL: SHOPS & OTHER VOCATIONAL RM AREAS	50 SF	NET	7
COMMUNITY KITCHEN	268 SF	E (EDUCATION)	EDUCATIONAL: SHOPS & OTHER VOCATIONAL RM AREAS	50 SF	GROSS	6
OFFICE + CLOSET	199 SF	B (BUSINESS)	BUSINESS AREAS	100 SF	GROSS	2
GYM	2467 SF	A-3 (ASSEMBLY)	EXERCISE ROOMS	50 SF	GROSS	50
GENERAL STORAGE	37 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
JANITOR CLOSET	20 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
MECH MEZZANINE	267 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
MECH	25 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
TOTAL SPACES: 10				TOTAL C	CCUPANCY:	12

PLUMBING FIXTURE REQUIREMENTS

TOTAL OCCUPANTS:	123	(62) MEN (62) WOMEN		
	REQU	RED		PROPOSED	
	MEN	WOMEN	MEN	WOMEN	ALL-GENDER
WATER CLOSETS:	1	1	2	3	1
LAVATORIES:	1	1	2	2	1
URINALS (SUBST. FOR WC):		N/A	1		
DRINKING FOUNTAINS		2		2	
SERVICE SINK		1		1	
					-

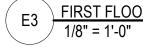
BUILDING AREA	_				
	AREA	USES	EGRESS STAIR	# OF EXITS	# OF OCCUPANTS
LEVEL 1	5775	A-3, E, B	-	2 MIN	123

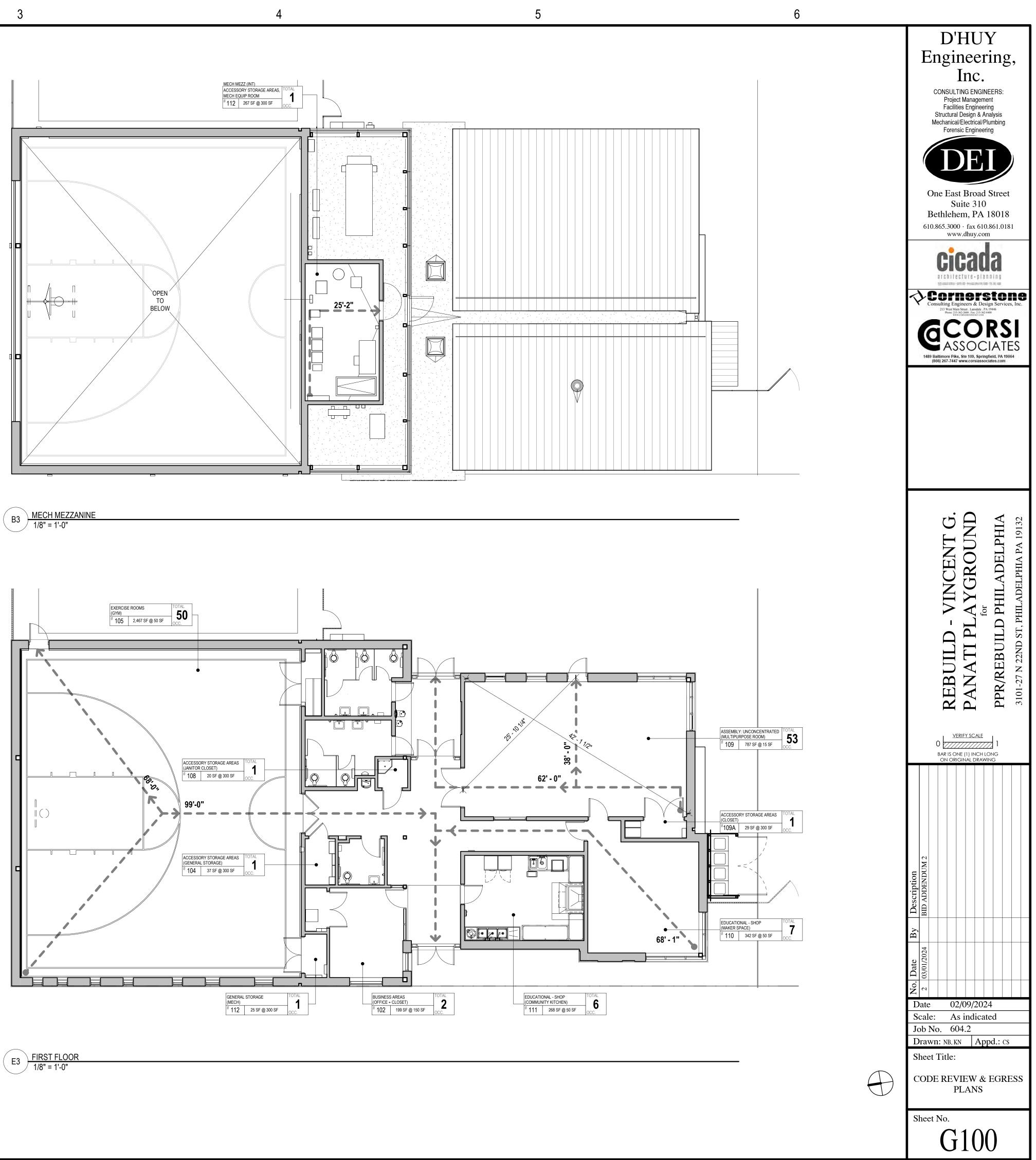
ENERGY CODE (IECC 2018)

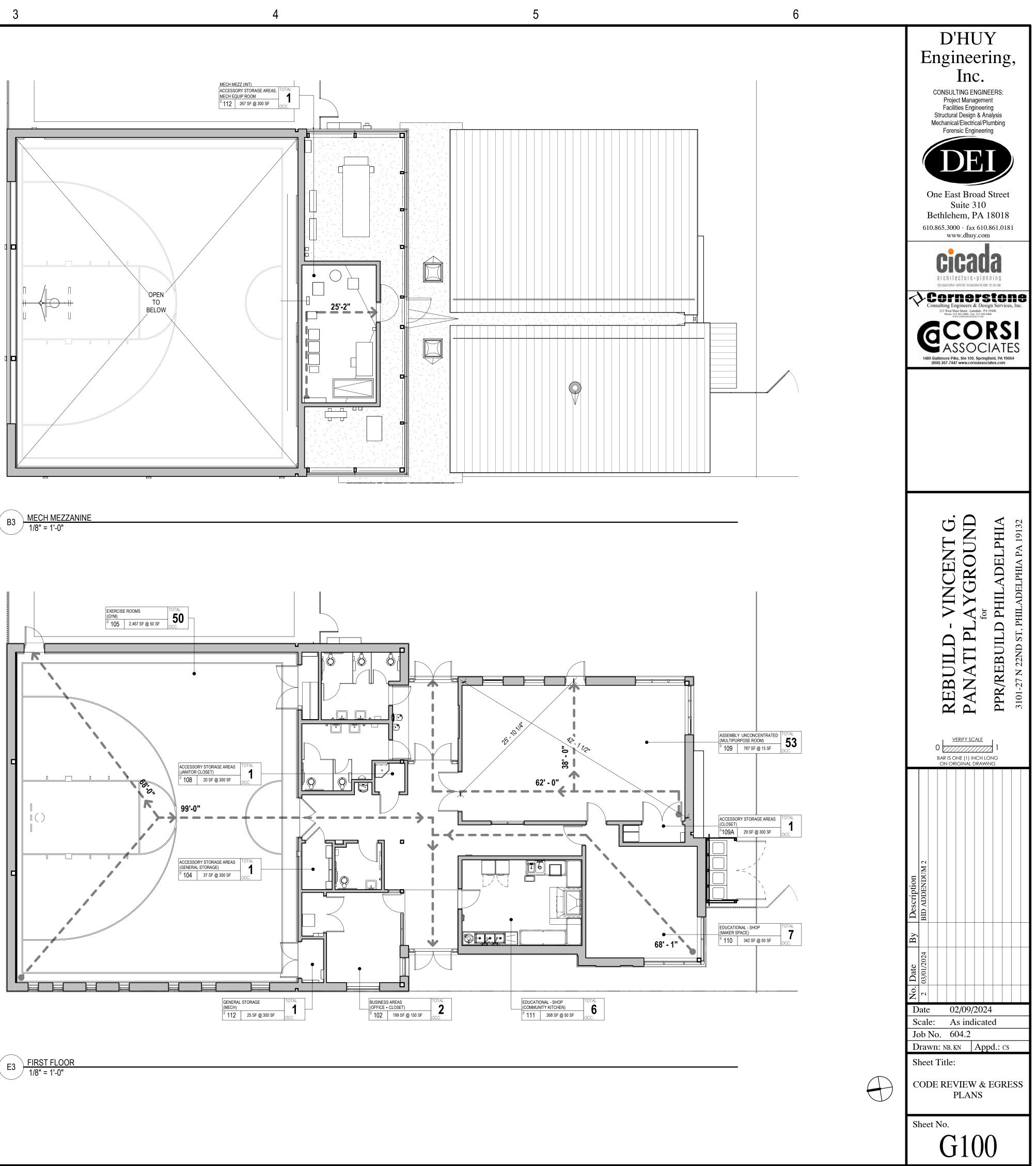
	OPAQUE THERMAL ENVELOPE INSULATION O	COMPONENT MIN REQUIREM	IENTS, R-VALUE ME	THOD
	CLIMATE ZONE: 4A	REQUIREMENTS	PROVIDED	NOTES
	ROOF INSULATION			
	ABOVE DECK	R-30 Cl	$\sum_{i=1}^{n}$	
\bigcap	WALLS ABOVE GRADE			
	- MASS (8" CMU)	R-9.5 CI	R-20 CI	
7	- METAL FRAMED	R-13 + R-7.5 Cl	R-15+R-7.5 CI	@ MECH MEZZ
\geq				$ $ \prec
(WALLS BELOW GRADE	R-7.5 CI	R-10 CI	
$\overline{\ }$				
(FLOORS			
\geq	- JOIST / FRAMING	R-30	R-30 MIN	@ MECH MEZZ
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\searrow	SLAB-ON-GRADE FLOORS		5.40	
	- UNHEATED SLAB	R-10 FOR 24" BELOW	R-10	

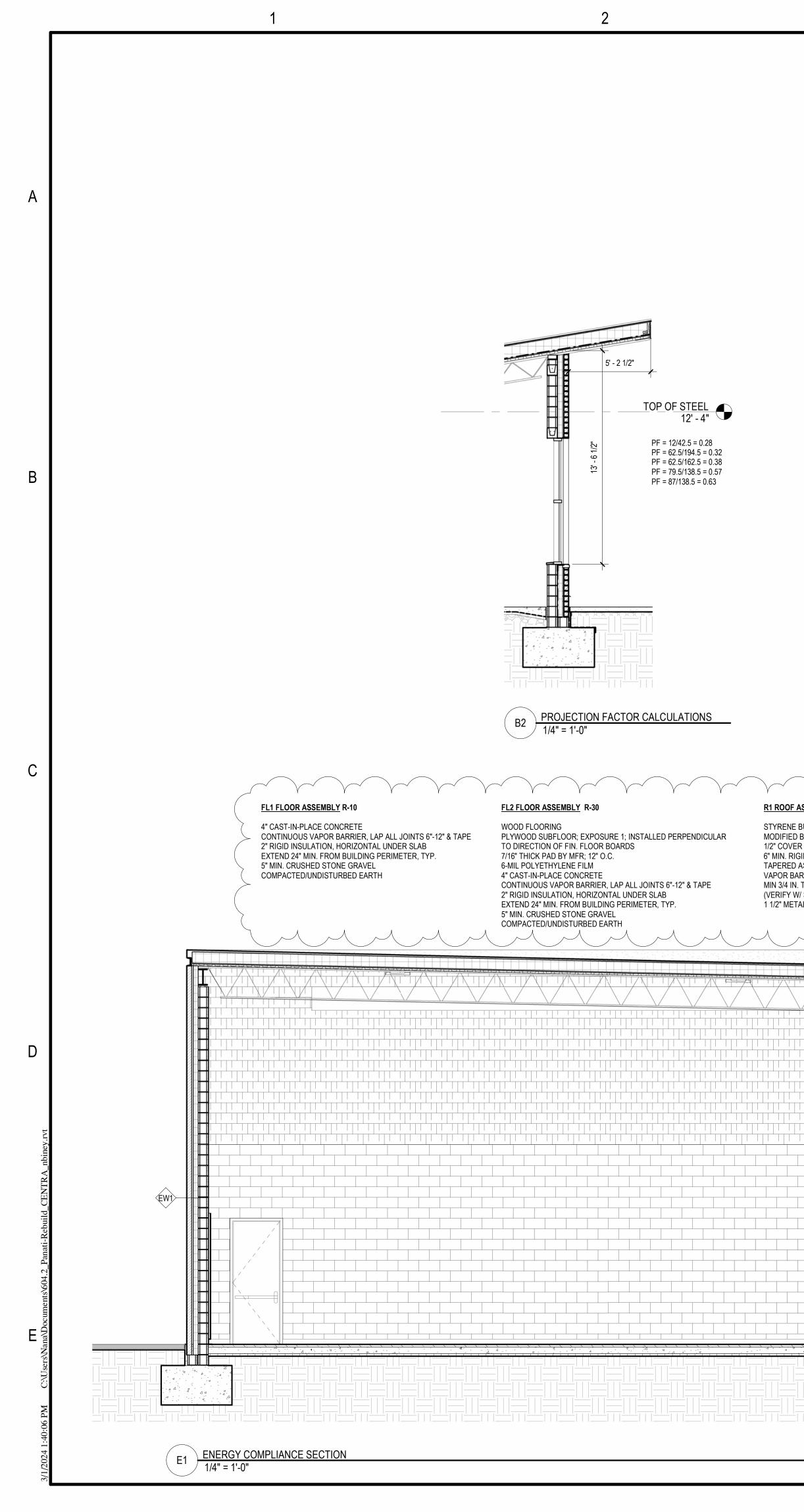
BLDG ENVELOPE FENESTRATION MAX U-FACTOR AND SHGC REQUIREMENTS

CLIMATE ZONE: 4A	REQUIREMENTS	PROVIDED
U-FACTOR		
FIXED FENESTRATION	0.38	0.38
OPERABLE FENESTRATION	0.45	0.45
ENTRANCE DOORS	0.77	0.77
SKYLIGHT	0.50	0.50
SHGC		
ORIENTATION	SEW N	
PF < 0.2	0.36 0.48	0.36
0.2 ≤ PF < 0.5	0.43 0.53	0.43
PF ≥ 0.5	0.58 0.58	0.58
SKYLIGHT	0.40 0.40	0.40





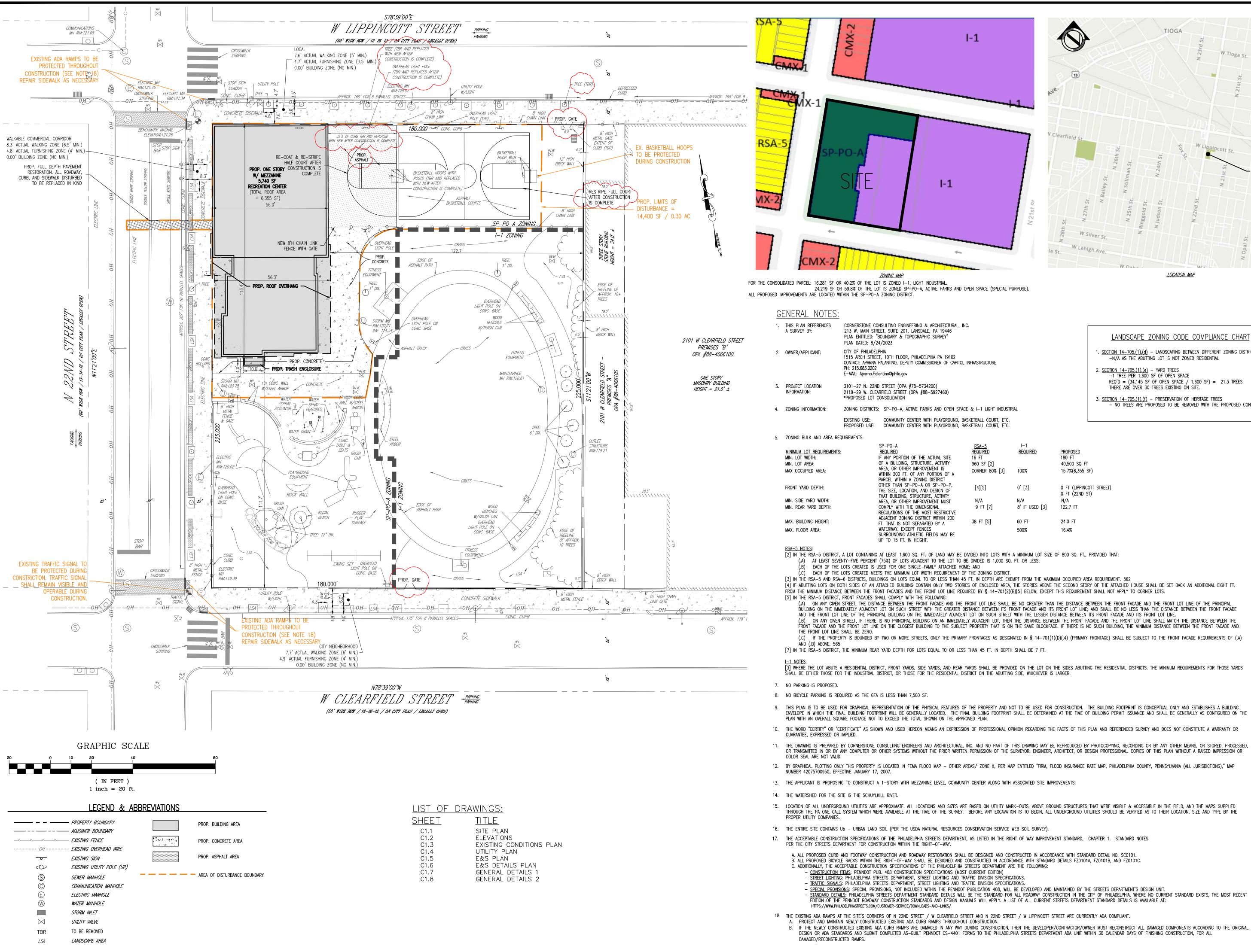


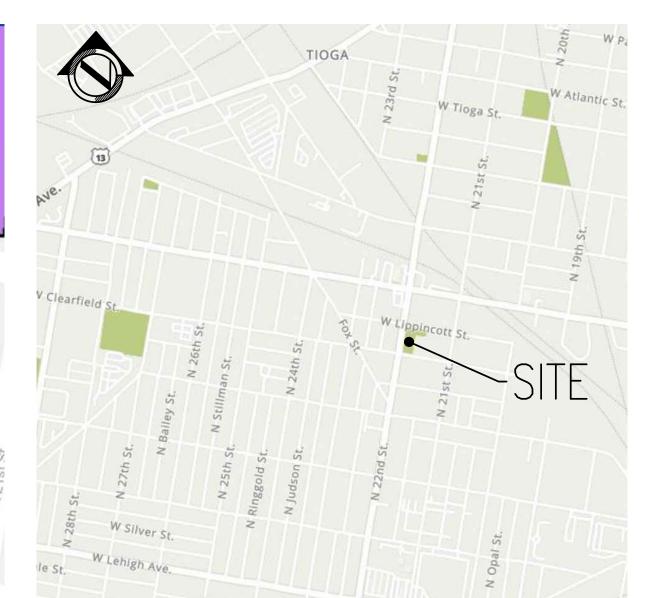


	ENVELOPE COMPL	IANCE PATH			WIND	0%
			SHRAE 90.1-2016	А. В.	TOTAL WIN	IDC
	PRESCRIPTIVE R-VALUE METHOD			C.	A / B X 100	
	PRESCRIPTIVE U-FACTOR METHOD			MUST	80% AND <u><</u> 40% BE MET. %, CHOOSE A	
	PRESCRIPTIVE W/ COMCHECK			11 2 40	76, CHOUSE A	
	TOTAL BUILDING PERFORMANCE					
	ENERGY COST BUDGET METHOD				BUILDING CO	
	PERFORMANCE RATING METHOD				S. VESTIBULE	
	NOTE: REGARDLESS OF THE COMPLIANC	E PATH BEING USED, COMCHECK EN	VELOPE CERTIFICATE). NO REQUIR	EM
	AND ENERGY CODE INSPECTION CHECKL	IST SHALL BE SUBMITTED WITH PER	MIT APPLICATION			
				ID #	TYPE	
				P	FIXED	
			 CAVITY DRAINAGE MAT WEEP HOLES @ 24" O.C. HORIZ. 		TIXED	
	2'-0" TYP.		 THRU-WALL METAL FLASHING W/ DRIP EDGE 	E	FIXED	۴
		Z	ISOLATION JOINT; PREFORMED JOINT FILLER STRIP, RECESS 1/2"	L	FIXED	۴
FIRST FLOOR	(FL1)	8" MIN	FROM TOP OF CONCRETE & FILL WITH SEALANT	М	FIXED	ŀ
FIRST FLOOR			FLUID APPLIED VAPOR	N	FIXED	۴
			AIR & WATER BARRIER	0	CASEMENT/ FIXED	k
					TINED	
FOUNDATION			2" CONTINUOUS RIGID INSULATION TO 24" <u>BELOW G</u> RADE	F	FIXED	k
			FOUNDATION WALL;	J	FIXED	۴
			SEE STRUCT DWGS	К	CASEMENT/ FIXED	ŀ
			FOOTING; SEE STRUCT DWGS			Γ.
				A	FIXED	۲
				В	FIXED	۲
			_	C	FIXED	۲
				D	FIXED	۴
	V		<u> </u>	E	FIXED	۴
B3 SLAB ON GRADE DETAIL				G	FIXED	۲
1" = 1'-0"				H	FIXED	ł
				Q	FIXED	
					$\overline{\gamma}$	$\overline{\gamma}$
ASSEMBLY R=30ci R2 ROOF ASSEMBL		EW1 WALL ASSEMBLY R=20ci			<u>MBLY</u> R=13ca	
BUTADIENE STYRENE (SBS)STANDING SEAM MEBITUMINOUS MEMBRANE ROOFING1/2" COVER BOARDR BOARD6" MIN. RIGID INSUL	TAL ROOFING ATION, TAPE & STAGGER SEAMS	4" BRICK VENEER 1" AIR SPACE 4" CONT. RIGID INSULATION BOAR	SELF-AD	HERED \	ALV. METAL SI /APOR PERME SHEATHING -S	EAE
GID INSULATION, TAPE & STAGGER SEAMS TAPERED AS REQU	RED TO ROOF DRAINS RED TO ROOF DRAINS R BARRIER ROOFING UNDERLAYMENT	FLUID APPLIED VAPOR PERMEABL 8" NOM. CONCRETE MASONRY UN	E AIR & WATER BARRIER 4" META	L STUDS	@ 16" 0.C SE JLATION (2" M	EE
T&G PLYWOOD DECKING; GLUED AND SCREWED (VERIFY W/ STRUCT	NOOD DECKING; GLUED AND SCREWED URAL REQUIREMENTS)	GROUT SOLID AND REINFORCE AS SHOWN ON STRUCTURAL DWGS	S SPECIFIED IN LOCATIONS FILL CAV	/ITY WITH	HRIGI DINSUL	AT
// STRUCTURAL REQUIREMENTS) 1-1/2" METAL DECKI AL DECKING	NG					
\mathcal{A}				\sim	\wedge \sim	Л
	EW2					
			\wedge			
			(R2)			
			R1			
						_
						=
FL2						

								-						
W-TO-WALL]				ENVELC	PE INFORMAT	ION	I	D'HU	Y	
)ow area /e-grade w	ALL AREA 7,				AIR	BARRIER ME	THOD BUILDING TES	ат 🗆			Eng	ginee	ring	,
DAYLIGHTIN		<u>5 (%)*</u> ENTS OF C402	.1.1			MATER	IALS METHOD					Inc.		
IOTHER ENVI	ELOPE COMP	LIANCE PATH			ADI		ULATION & AIR		R DETAILS			SULTING ENGI Project Managen		
									RIER DETAILS I	NOT FOUND ON	F Struc	acilities Enginee ctural Design & /	ering Analysis	
NTAIN ENTRA	NCES THAT (OPEN		1		EET #	ASSEMBLY D			o below.		anical/Electrical/ Forensic Enginee		
PAEC ≥ 3,000	FT ² ?	AIR CURTAINS		-	<u>A60</u>		ROOFS/CEIL							
ET(S) #:	J DOOKS, OK		1		<u>A60</u>	<u>)0/A621</u>) <u>0</u> 1/A620	FLOORS		LS(INCL. WINDO	REAK AND DEPTH		DE		
MENT.					<u>N/A</u>		BASEMENT				One	East Broad	I Streat	
			WINDO	OW SCHEDULE								Suite 310)	
MANUF	MODEL	SINGLE WDW	QTY	TOTAL WDW	U-FACTOR	SHGC	PF, DETAIL	νт	ROLLER-	NOTES		lehem, PA .3000 · fax 61		
		AREA		AREA NORTH			PAGE #		SHADES			www.dhuy.co		
KALWALL	WALL SYSTEMS	487	1	487	0.30	0.30	0	N/A	NA		C	icar	12	
				EAST			1	1			318	hilecture.pli		
KAWNEER	TRIFAB 601T	44	1	44	0.38	0.36	0	N/A	NA		⟨ ⟩ Co	rner	stor	9
KAWNEER	TRIFAB 601T	42	1	42	0.38	0.36	0	N/A	1&2		Consultir	ng Engineers & De West Main Street . Lansdale . hone: 215-362-2600 . Fax: 215-36 www.conversionener.com	PA 19446 52-8400	_
KAWNEER	TRIFAB 601T	9	1	9	0.38	0.36	0	N/A	1&2		6	CO	RS	
KAWNEER	TRIFAB 601T	26	1	26	0.38	0.36	0	N/A	1&2			ASSOC	CIATE	S
KAWNEER	TRIFAB 601T	26	1	26	0.38	0.36	0	N/A	1&2		1489 Baltimo (866) 26	ore Pike, Ste 109, Spri 7-7447 www.corsiass	ngheld, PA 19064 ociates.com	
	TRIFAB			SOUTH					. [
KAWNEER	601T TRIFAB	13	1	13	0.38	0.36	0	N/A	1					
KAWNEER	601T TRIFAB	75	1	75	0.38	0.36	0	N/A	1					
KAWNEER	601T	42	1	42	0.38	0.36	0	N/A	1&2					
KAWNEER	TRIFAB	12	5	WEST	0.38	0.36	0	N/A	NA					
	601T TRIFAB	12		16				N/A	NA					
KAWNEER	601T TRIFAB		1		0.38	0.36	0				—			
KAWNEER	601T TRIFAB	21	1	21	0.38	0.36	0	N/A	NA					
KAWNEER	601T TRIFAB	28	1	28	0.38	0.36	0	N/A	1		ζ	59	IIA	132
KAWNEER	601T	44	1	44	0.38	0.36	0	N/A	NA		E	-5	ADELPHI	A 19
KAWNEER	TRIFAB 601T	63	1	63	0.38	0.36	0	N/A	NA			ROI	EL	IA P
KAWNEER	TRIFAB 601T	96	1	96	0.38	0.36	0	N/A	1		ζ	GRO	AD	LPH
WA 600	DOMED	40	0	ROOF	0.50	0.40						K F	PHIL	ST, PHILADELPHIA PA 19132
WASCO	UNITS		2	20	0.50	0.40		N/A	NA			> Å	PI I	PHIL
ABLE AIR & W		R	COR 1/2" 4" CO FLUI AIR 8 8" NO GRO	WALL ASSEMI RUGATED GAL RECOVERY BO ONTINUOUS RI D APPLIED VAR WATER BARR OM. CONC MAS OUT SOLID AND WN ON STRUC	V. METAL SID ARD GID INSULATIO POR PERMEAE NER SONRY UNITS. REINFORCE /	ING - INSTALL ON BOARD BLE INTERIOR PT AS SPECIFIED	D.					REBUILD PANATI P		3101-27 N 22ND ST,
\wedge ~	\wedge	$\lambda \sim$	Л	\sim	\sim	\sim	\swarrow	\sim						
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						<u></u> _ 					Sheet III	10.		
											ENERC	GY COMP	PLIANC	Е

Sheet No. G110





<u>LOCATION MAP</u>

LANDSCAPE ZONING CODE COMPLIANCE CHART

. <u>SECTION 14-705.(1).(d)</u> - LANDSCAPING BETWEEN DIFFERENT ZONING DISTRICTS

REQ'D = (34,145 SF OF OPEN SPACE / 1,600 SF) = 21.3 TREES

- NO TREES ARE PROPOSED TO BE REMOVED WITH THE PROPOSED CONSTRUCTION

-N/A AS THE ABUTTING LOT IS NOT ZONED RESIDENTIAL

2. <u>SECTION 14-705.(1).(e)</u> - YARD TREES -1 TREE PER 1,600 SF OF OPEN SPACE

THERE ARE OVER 30 TREES EXISTING ON SITE.

3. <u>SECTION 14-705.(1).(f)</u> - PRESERVATION OF HERITAGE TREES

<u>-5</u>	I–1	
<u>-5</u> RED	<u>REQUIRED</u>	PROPOSED
		180 FT
SF [2]		40,500 SQ FT
ER 80% [3]	100%	15.7%(6,355 SF)
5]	0'[3]	0 FT (LIPPINCOTT STREET)
0]	0 [0]	0 FT (22ND ST)
۱.	N/A	N/A
Т [7]	8' IF USED [3]	, 122.7 FT
	L J	
[5]	60 FT	24.0 FT
[-]		
	500%	16.4%

[4] IF ABUTTING LOTS ON BOTH SIDES OF AN ATTACHED BUILDING CONTAIN ONLY TWO STORIES OF ENCLOSED AREA, THE STORIES ABOVE THE SECOND STORY OF THE ATTACHED HOUSE SHALL BE SET BACK AN ADDITIONAL EIGHT FT.

(.A) ON ANY GIVEN STREET, THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL BE NO GREATER THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUÍLDING ON THE IMMEDIATELÝ ADJACENT LOT ON SUCH STREET WITH THE GREATER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE; AND SHALL BE NO LESS THAN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE LESSER DISTANCE BETWEEN ITS FRONT FACADE AND ITS FRONT LOT LINE. (.B) ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE SHALL MATCH THE DISTANCE BETWEEN THE FRONT FACADE AND THE FRONT LOT LINE ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM DISTANCE BETWEEN THE FRONT FACADE AND

(.C) IF THE PROPERTY IS BOUNDED BY TWO OR MORE STREETS, ONLY THE PRIMARY FRONTAGES AS DESIGNATED IN § 14-701(1)(D)(.4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT FACADE REQUIREMENTS OF (.A)

3] WHERE THE LOT ABUTS A RESIDENTIAL DISTRICT, FRONT YARDS, SIDE YARDS, AND REAR YARDS SHALL BE PROVIDED ON THE LOT ON THE SIDES ABUTTING THE RESIDENTIAL DISTRICTS. THE MINIMUM REQUIREMENTS FOR THOSE YARDS

9. THIS PLAN IS TO BE USED FOR GRAPHICAL REPRESENTATION OF THE PHYSICAL FEATURES OF THE PROPERTY AND NOT TO BE USED FOR CONSTRUCTION. THE BUILDING FOOTPRINT IS CONCEPTUAL ONLY AND ESTABLISHES A BUILDING ENVELOPE IN WHICH THE FINAL BUILDING FOOTPRINT WILL BE GENERALLY LOCATED. THE FINAL BUILDING FOOTPRINT SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT ISSUANCE AND SHALL BE GENERALLY AS CONFIGURED ON THE

10. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR

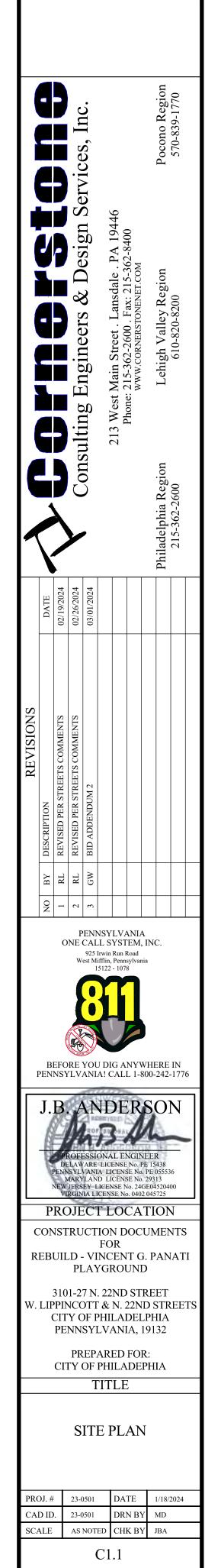
11. THE DRAWING IS PREPARED BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR, ENGINEER, ARCHITECT, OR DESIGN PROFESSIONAL. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION OR

12. BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN FEMA FLOOD MAP - OTHER AREAS/ ZONE X, PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, PHILADELPHIA COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)," MAP

15. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS SUPPLIED

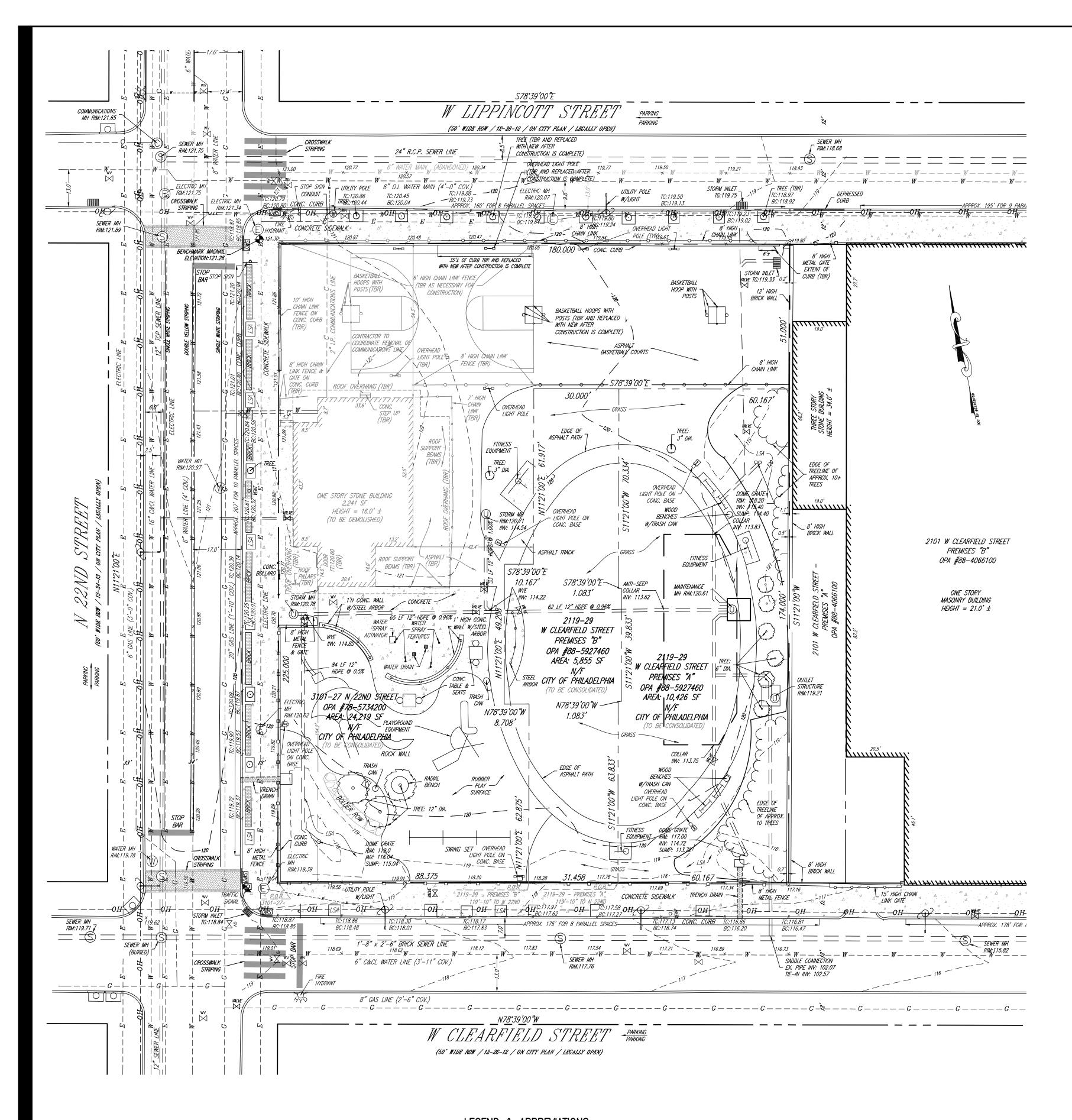
STANDARD DETAILS: PHILADELPHIA STREETS DEPARTMENT STANDARD DETAILS WILL BE THE STANDARD FOR ALL ROADWAY CONSTRUCTION IN THE CITY OF PHILADELPHIA. WHERE NO CURRENT STANDARD EXISTS, THE MOST RECENT EDITION OF THE PENNDOT ROADWAY CONSTRUCTION STANDARDS AND DESIGN MANUALS WILL APPLY. A LIST OF ALL CURRENT STREETS DEPARTMENT STANDARD DETAILS IS AVAILABLE AT:

DESIGN OR ADA STANDARDS AND SUBMIT COMPLETED AS-BUILT PENNDOT CS-4401 FORMS TO THE PHILADELPHIA STREETS DEPARTMENT ADA UNIT WITHIN 30 CALENDAR DAYS OF FINISHING CONSTRUCTION, FOR ALL



REVISION 3

CLIENT DATA



LEGEND & ABBREVIATIONS ----- PROPERTY BOUNDARY

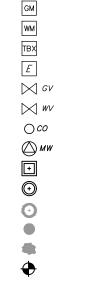
GRAPHIC SCALE

(IN FEET)

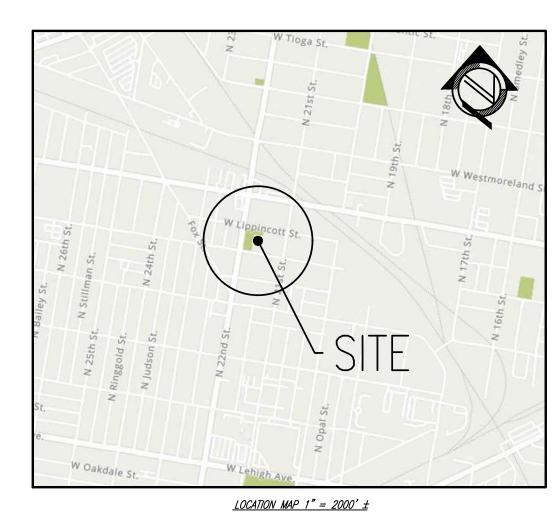
1 inch = 20 ft.

ADJOINER BOUNDARY
RIGHT OF WAY LINE
——————————————————————————————————————
95 EXISTING CONTOUR
x 95 EXISTING SPOT ELEVATION
EXISTING TREELINE
OH EXISTING OVERHEAD WIRE
G APPROXIMATE GAS LINE
————— W ————— APPROXIMATE WATER LINE
C APPROXIMATE TELCO LINE
E APPROXIMATE ELECTRIC LINE
S APPROXIMATE SANITARY LINE
================ APPROXIMATE DRAINAGE LINE
EXISTING CURB



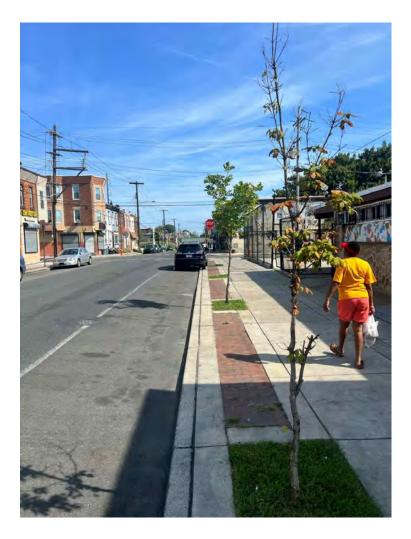


GAS METER WATER METER TRAFFIC SIGNAL BOX ELECTRIC VAULT GAS VALVE WATER VALVE CLEAN OUT MONITORING WELL CONCRETE MONUMENT FOUND IRON PIN FOUND IRON PIPE FOUND NAIL FOUND STONE FOUND BENCHMARK



LOWER SCHUYLKILL RIVER WATERSHED

<u>WATERSHED MAP</u>

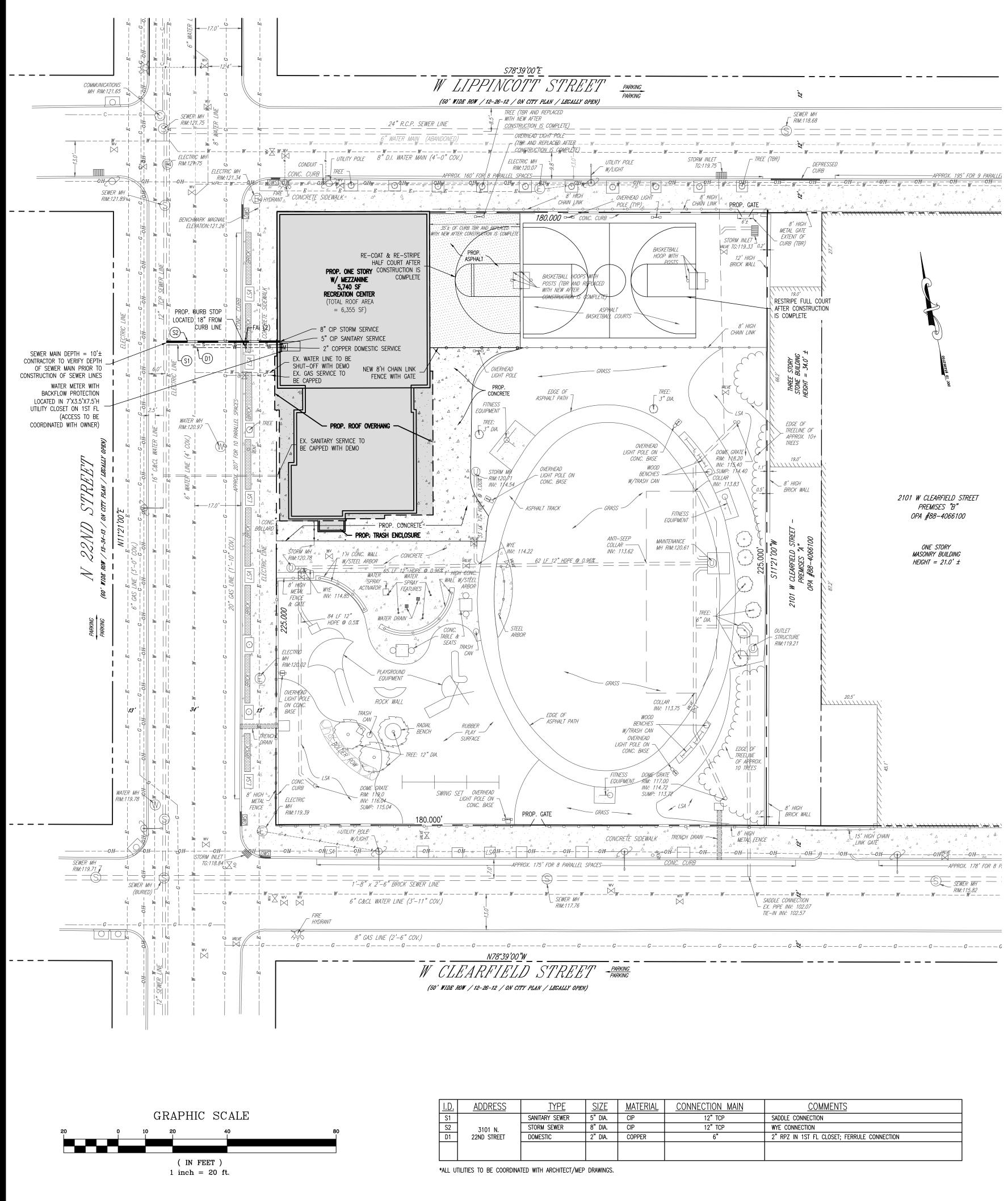


<u>PHOTO 1</u>: VIEW LOOKING NORTHEAST ALONG THE SITE'S FRONTAGE OF N 22ND STREET.



<u>PHOTO 3</u>: VIEW LOOKING SOUTHEAST ALONG THE SITE'S FRONTAGE OF W LIPPINCOTT STREET.

				С	LIF	NT	T DA	ATA		
GENERAL NOTE										
. This plan references A survey by:	CORNERSTONE CONSULTING ENGINEERING & DESIGN SERVICES, INC. 213 W. MAIN STREET, SUITE 201, LANSDALE, PA 19446 PLAN ENTITLED: "BOUNDARY/LOCATION AND TOPOGRAPHIC SURVEY" PLAN DATED: 08/24/2023									
. OWNER/APPLICANT:	CITY OF PHILADELPHIA 1515 ARCH STREET, 10TH FLOOR, PHILADELPHIA PA 19102 CONTACT: APARNA PALANTINO, DEPUTY COMMISSIONER OF CAPITOL INFRASTRUCTURE PH: 215.683.0202 E-MAIL: Aparna.Palantino@phila.gov		1						gion 770	
PROJECT LOCATION INFORMATION:	3101–27 N. 22ND STREET (OPA #78–5734200) 2119–29 W. CLEARFIELD STREET (OPA #88–5927460) *PROPOSED LOT CONSOLIDATION				s, Inc				Pocono Region 570-839-1770	
That were visible & ACC AND The Maps listed in All underground utiliti	ROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN FIELD LOCATED. ABOVE GROUND STRUCTURES CESSIBLE IN THE FIELD ARE SHOWN. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.)	Services				Po	,
ENGINEERS AND ARCHITECT	NFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CORNERSTONE CONSULTING TURAL, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON. SURVEY & TOPOGRAPHIC SON DERIVED FROM A FIELD SURVEY PERFORMED BY CORNERSTONE CONSULTING IN AUGUST, 2023.				esign S	7777	PA 19446 52-8400			
SITE BENCHMARK IS MAG SINCE THE TIME OF THE F	PON CITY PLAN (SEE REFERENCE #3) NAIL SET. ELEVATION = 121.26' TO ENSURE THAT THERE HAS BEEN NO ALTERATION OF THE SURVEY BENCHMARK FIELD SURVEY, IT IS RECOMMENDED THAT THE CONTRACTOR ESTABLISH A CONSTRUCTION BENCHMARK BASED ON AND ELEVATIONS OF OTHER EXISTING IMPROVEMENTS.			_ (& Des		et . Lansdale . PA 19. 00 . Fax: 215-362-8400	VET.COM	egion	`
THIS SURVEY WAS PREPAR	ED WITHOUT THE BENEFIT OF A TITLE REPORT AND SUBJECT THERETO.			<u>)</u>	ers d	T 200	. Lans	STONEN	gh Valley Region	2
	EASEMENTS OF RECORD WHETHER SHOWN HEREON OR NOT.				Ō.	+0007	treet 2-2600	JRNER	h Val	
. BY GRAPHICAL PLOTTING	WATER IMPOUNDMENT WAS FOUND ON THIS SITE OR ON ADJACENT PROPERTIES. ONLY THIS PROPERTY IS LOCATED IN FEMA FLOOD MAP — OTHER AREAS/ZONE X. (SEE MAP REFERENCE #2). BASED ON FOUND EVIDENCE AND OTHER REFERENCE MATERIALS AS LISTED HEREON AVAILABLE AT THE TIME OF				g Engine		213 West Main Street Phone: 215-362-260	WWW.CO	Lehigh V 610-	,
	E SITE IS THE LOWER SCHUYLKILL WATERSHED. DSING TO CONSTRUCT A 1-STORY RECREATION CENTER WITH ASSOCIATED SITE IMPROVEMENTS.				Consulting		Z15 W Pho			
EFERENCES:					Cons				tegion	2
MAP ENTITLED "FIRM,	ELPHIA COUNTY, COMMONWEALTH OF PENNSYLVANIA. FLOOD INSURANCE RATE MAP, PHILADELPHIA COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)," PANEL NOT PRINTED,		>						Philadelphia Region	1
	0095G, EFFECTIVE JANUARY 17, 2007. PLAN NO. 128 PROVIDED BY THE CITY OF PHILADELPHIA.		Y						Philad	
LEGAL STATUS CARDS LC014105, AND 21ST	TITLED IN PART FOR CLEARFIELD STREET – LC007494, 22ND STREET – LC001232, LIPPINCOTT STREET – STREET – LC001173.		DATE	02/19/2024	02/20/2024					
	PA ONE CALL SERIAL NO: 20232273390			02	02/					
		REVISION	DESCRIPTION		PEND VIT	INSY LL S 5 Irwin 1	LVAN YSTE Run Roa Pennsyl - 1078	M, IN	IC.	
		1							ERE IN -242-17	
<u>PHOTO 2</u> : V OF N 22ND	IEW LOOKING SOUTHEAST ALONG THE SITE'S FRONTAGE STREET.		J.I	39	Al	AL.)EI	RS	ON	1
			N	DEL/ ENNSY MA EW JE VIRC	WAR LVAN RYLA RSEY INIA I	E LICI NA LIO ND LIO LICEN LICENS	AL ENC ENSE N ICENSE ICENSE NSE No. SE No. C	No. PE 1: No. PE No. 293 24GE0 0402 04	5438 055536 313 4520400 5725	
			EBU	JILE J) - V PLA	FO INC YGF)R	G. F ND	MENT PANA FET	
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and the second			D ID. ALE	+	3-0501 S NO		DRN CHK	BY	MD JBA	
	IEW LOOKING NORTH WEST ALONG THE SITE'S FRONTAGE RFIELD STREET.					C1				
					RI	SVISI	ION 3			



ATERIAL	CONNECTION MAIN	<u>COMMENTS</u>
Ρ	12" TCP	SADDLE CONNECTION
Р	12" TCP	WYE CONNECTION
opper	6"	2" RPZ IN 1ST FL CLOSET; FERRULE CONNECTION

UTILITY NOTES

GENERAL NOTES

- 1. COORDINATE LOCATIONS AND TIE-IN POINTS OF PROPOSED MECHANICAL AND ELECTRIC SYSTEMS WITH THE APPROPRIATE CONSULTANTS PLANS, AND / OR THE APPROPRIATE GOVERNMENTAL AGENCY HAVING JURISDICTION AT THE TIME OF CONSTRUCTION.
- 2. ALL TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS. ALL 3. DIMENSIONS AND DISTANCES SHOWN WITHIN THE PLAN SET ARE U.S. STANDARD MEASURE, EXCEPT LOT BOUNDARY DIMENSIONS, WHICH ARE PHILADELPHIA DISTRICT
- STANDARD MEASURE. 4. CASTINGS TO BE ADJUSTED TO GRADE AND INLETS TO BE MAINTAINED AND PROTECTE THROUGH CONSTRUCTION.
- UTILITY LINE TRENCH EXCAVATION NOTES: 1. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO
- LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. 2. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCT BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING RESTORATION AND STABILIZATION OPERATIONS.
- 3. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF TI 4. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLA BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- 5. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED SHALL BE P THROUGH A FILTRATION DEVICÉ.
- 6. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED A GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

SANITARY SEWER NOTES

- 1. SANITARY SEWER LINES SHALL BE CIP. 2. ALL SANITARY SYSTEM MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS.
- 3. ALL PROPOSED SANITARY SEWER SERVICES SHALL BE COORDINATED WITH THE MECHA PLUMBING CONSTRUCTION DOCUMENTS.
- 4. SANITARY SEWER LINES AND STORM SEWER CROSSINGS SHALL HAVE A MINIMUM VER CLEARANCE OF EIGHTEEN (18) INCHES OR A MINIMUM HORIZONTAL SEPARATION OF (10) FEET. IF 18" VERTICAL ÉLEARANCE CANNOT BE MAINTAINED, THE SANITARY SEWE OR SEWER LATERAL SHALL BE CONCRETE ENCASED, IN ACCORDANCE WITH PA D.E.P. REQUIREMENTS.

WATER GENERAL NOTES:

- 1. ALL WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY SPECIFICA 2. LOCATION OF EXISTING WATER FACILITIES SHOWN ARE APPROXIMATE. ANY UTILITIES N SHOWN, OR NOT LOCATED AS SHOWN, SHALL NOT BE THE CAUSE OF THE CONTRACT RESPONSIBILITY FOR PROTECTION AND/OR REPAIR DURING CONSTRUCTION. EXACT L BE VERIFIED IN THE FIELD.
- 3. ALL WATER MAINS AND SERVICE LATERALS REQUIRE A MINIMUM OF FOUR (4) FEET OTHERWISE APPROVED.
- 4. WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF TEN (10) FEET HORI SEPARATION UNLESS OTHERWISE APPROVED.
- 5. SANITARY LINES SHALL HAVE A MINIMUM OF EIGHTEEN (18) INCH VERTICAL SEPARATION WATER LINE UNLESS OTHERWISE APPROVED.
- 6. DEVELOPER SHALL OBTAIN ALL NECESSARY ROAD OPENING PERMITS REQUIRED FOR OF THE WATER FACILITIES, AND SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL

STANDARD GSI PLAN NOTES

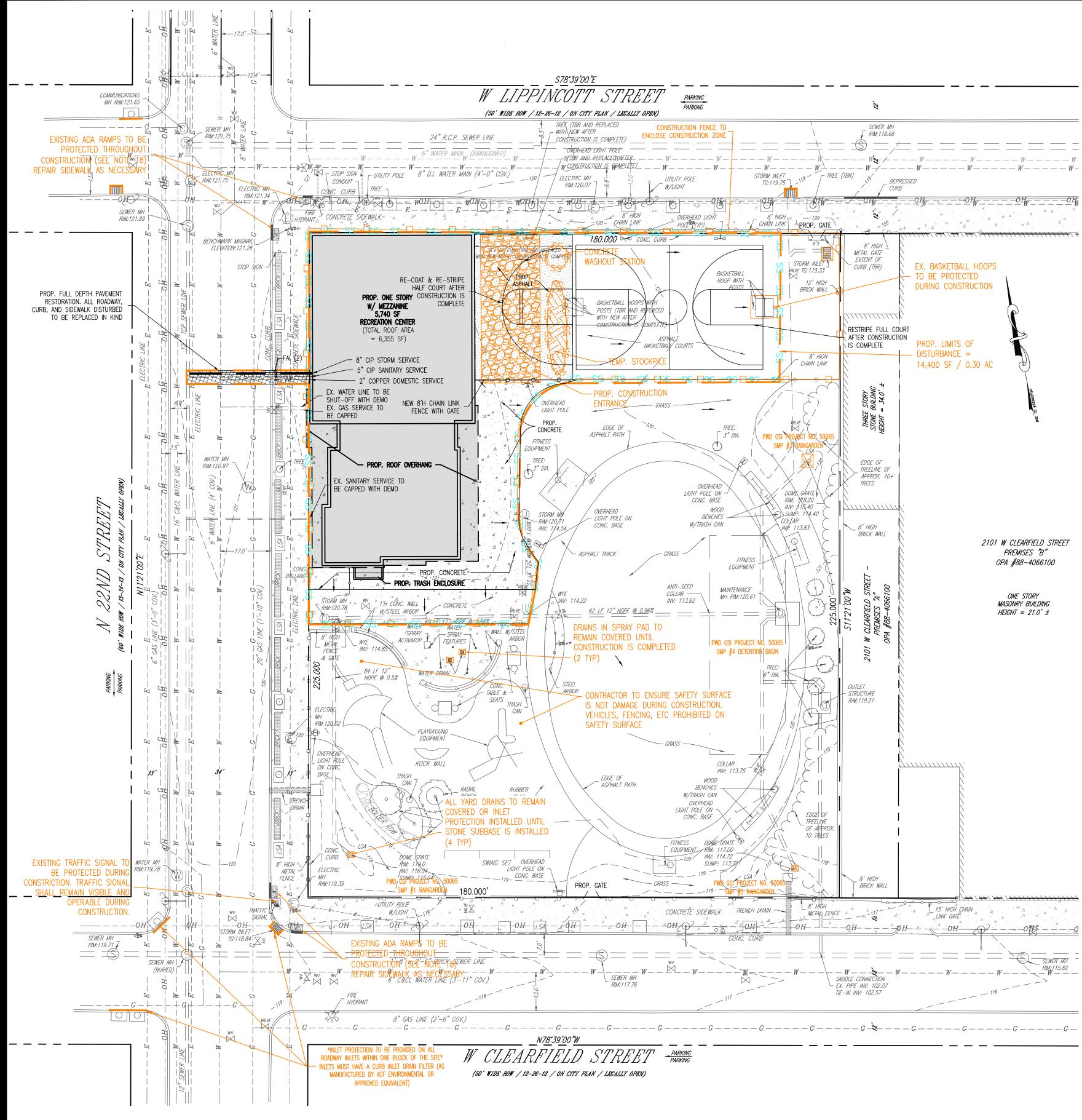
AND INSPECTION COSTS ASSOCIATED WITH THESE PERMITS.

THE STANDARD PLAN NOTES BELOW SHOULD TYPICALLY BE PROVIDED TO THE DEVELOPE THAT ARE NOT REQUIRED TO GO THROUGH THE PRIVATE COST PROCESS.

- 1. THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR. 2. THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY PWD'S GREEN STORMWATER LEAST 7 DAYS PRIOR TO STARTING WORK TO SCHEDULE AN INSPECTOR (ATTN: GERAL
- 215-300-9079). 3. APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO T GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF F
- RIGHT OF WAY. 4. ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING MUST BE APPROVED BY PWD.
- 5. CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY GREEN STORMWATER INFRASTRUCTURE.
- 6. CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS CONSTRUCTION. SEE PWD REGULATION 501.3 AND 600.4, PHILA CODE S. 13-603, CHAPTER 102.
- 7. SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED A THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREE INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED A COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND
- REPLACEMENT) AT NO ADDITIONAL COST TO PWD. 8. CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIN THE WORK SITE, TO PREVENT EROSIVE CONDITIONS, AND TO SUPPRESS DUST ON T SURROUNDING AREAS. CONTRACTOR MUST COVER AND SURROUND STOCKPILES WITH MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR EN SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEE THE END OF EACH WORKDAY. THE CITY MAY REQUIRE THE CONTRACTOR / OWNER
- CITY-OWNED INLETS AND SYSTEMS AFFECTED BY NONCOMPLIANT OR FAILED E&S C 9. CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS ADJACENT WORK AREA. INLET PROTECTION MEASURES MUST BE INSPECTED DAILY TO ENSURE AND MAINTAINED, POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNC PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PR FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS AND CURB-CUT

LEGE ____O

			CLIENT DATA
	PROJECT GENER 1. ENGINEER NAME:	JOHN B. ANDERSON, P.E.	
AND ELECTRICAL		CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL INC. 213 W. MAIN STREET, SUITE 201, LANSDALE, PA 19106 PH: 215–362–2600	
APPROPRIATE CTION. JS. ALL	2. OWNER/APPLICANT:	E-MAIL: JANDERSON@CORNERSTONENET.COM	
NDARD A DISTRICT		1515 ARCH STREET, 10TH FLOOR, PHILADELPHIA PA 19102 CONTACT: APARNA PALANTINO, DEPUTY COMMISSIONER OF CAPITOL INFRASTRUCTURE PH: 215.683.0202	
ID PROTECTED	3. PROJECT LOCATION	E-MAIL: Aparna.Palantino@phila.gov 3101-27 N. 22ND STREET (OPA #78-5734200)	
ual to two times the Ig construction and	INFORMATION: 4. EXISTING USE:	2119–29 W. CLEARFIELD STREET (OPA #88–5927460) *PROPOSED LOT CONSOLIDATION	Pocono Region 570-839-1770
D GRUBBING AND SITE	PROPOSED USE:	1-STORY COMMUNITY CENTER BUILDING (TO BE DEMOLISHED), PLAYGROUND, BASKETBALL COURT, ETC. 1-STORY COMMUNITY CENTER BUILDING, PLAYGROUND, BASKETBALL COURT, ETC.	CS, 270-8
REMOVED BY PUMPING	5. SITE DATA:	TOTAL LOT AREA OF CONSOLIDATED LOT = 40,500 SF $/$ 0.93 ACRES TOTAL AREA OF DISTURBANCE = 14,400 SF	B ervic
SHALL BE PUMPED	6. PERMIT & UTILITY REFE	RENCE NUMBERS: LIMIT OF DISTURBANCE: 14,400 SF PWD STORMWATER PLAN REVIEW: FY24-PANA-7562-01	
DISTURBED AREA WILL BE	7. SITE GOVERNANCE: SIN	PA ONE CALL SERIAL #20232273390	esign ⁶²⁻⁸⁴⁰⁰
DRDANCE 1 THE MECHANICAL/ MINIMUM VERTICAL	 CONTRACTOR TO LOCA LATERALS TO BE SEALED A AND WASTEWATER CONTROL LATERAL VALVES SHALL BE DEVELOPER/OWNER WII 	TE EXISTING WATER AND SEWER LATERALS FOR BUILDING AND DECOMMISSION LATERALS. SEWER ND PROPERLY DISCONNECTED IN ACCORDANCE WITH THE PWD REGULATIONS, CHAPTER 5, SEWER A PLUMBING PERMIT SHALL BE OBTAINED FOR SEALING ALL EXISTING SEWER LATERALS. WATER TURNED OFF AND LATERALS SEALED. LL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND/OR LINES AND SEWER LATERALS. PROOF OF ABANDONMENT AND/OR WATER DISCONTINUANCE MUST BE	ers & D ers & D 0. Fax: 215-3 RSTONENET.CO alley Region \$20-8200
ARATION OF TEN ANITARY SEWER TH PA D.E.P.	10. ADJUST ALL CASTINGS	TO GRADE.	Aain Stree www.conve 610-8
	THESE SHOULD BE REPAIR	ECT INLETS. SHOULD THE EXISTING INLETS BE IN ANY WAY DAMAGED DURING CONSTRUCTION, ED TO THE SATISFACTION OF THE PWD INSPECTOR. IF DEEMED DAMAGED BEYOND REASONABLE REPLACED PER PWD STANDARDS.	Engin Engin st Main Str www.com Lehigh 610
TY SPECIFICATIONS. 7 UTILITIES NOT 1E CONTRACTOR TO DENY	12. CRANE FOOTING LOC		
N. EXACT LOCATION SHALL R (4) FEET COVER UNLESS		IWATER MANAGEMENT BMPS MUST BE PROTECTED DURING CONSTRUCTION; IF ANY EXISTING E DAMAGED, THEN THE CONTRACTOR MUST REPLACE THEM IN-KIND AT THEIR OWN EXPENSE.	Consultin Consultin Ph Ph
D) FEET HORIZONTAL	14. MAXIMUM FLOW RATE	E: DOMESTIC = 52.86 GPM	
CAL SEPARATION FROM THE			Philadelphia Region 215-362-2600
INT OF ALL APPLICATION FEES			adelpl
			Phile
HE DEVELOPER FOR PROJECTS			DATE 02/19/2024 02/26/2024 03/01/2024
SPECTOR.		PWD_TRACKING_NO:_UPR-FY24-NTHS-6267	DA 02/26 03/01
STORMWATER OPERATIONS AT (ATTN: GERALD BRIGHT,			
MITED TO THE PROTECTION OF E CITY OF PHILADELPHIA PUBLIC			
ANS DURING CONSTRUCTION THE STABILITY OF THE PWD			NS I I I I I I I I I I I I I I I I I I I
QUIREMENTS DURING S. 13-603, AND 25 PA CODE			COMMENTS COMMENTS
INSTALLED AND MAINTAINED BY TEMS. GREEN STORMWATER			REV STREETS CC M 2 M 2
ROTECTED AND THEREBY UP TO AND INCLUDING FULL			
REVENT SEDIMENT FROM LEAVING DUST ON THE SITE AND (PILES WITH EROSION CONTROL ROW OR ENTER THE PUBLIC MUST SWEEP WORK SITE AT / OWNER TO CLEAN			DESCRIP REVISED REVISED BID ADDI
LED E&S CONTROLS. 5 ADJACENT TO OR WITHIN THE 10 ENSURE PROPER PLACEMENT,			NO BY 1 RL 2 RL 3 GW
OPER FUNCTION AND TO NALS AND PROTECTION METHODS O CURB-CUT INLETS.			PENNSYLVANIA
			ONE CALL SYSTEM, INC. 925 Irwin Run Road West Mifflin, Pennsylvania
			15122 - 1078
			BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776
			J.B. ANDERSON
LEGEND			Margara
	<i>EX. PROPERTY LINE</i>		PROFESSIONAL ENGINEER DELAWARE LICENSE No. PE 15438 PENNSYLVANIA LICENSE No. PE 055536
 U/G – A/G	EX. CURB UNDER/ABOVE GROUND		MARYLAND LICENSE No. 29313 NEW JERSEY LICENSE No. 24GE04520400 VIRGINIA LICENSE No. 0402 045725
95	EX. CONTOUR	сн сн ех. <i>Combined sewer main</i>	PROJECT LOCATION CONSTRUCTION DOCUMENTS
	INLET	TBR TO BE REMOVED	FOR REBUILD - VINCENT G. PANATI
₩ ₩	HYDRANT		PLAYGROUND 3101-27 N. 22ND STREET
	ex. Trees Utility pole	PROP. CONCRETE	W. LIPPINCOTT & N. 22ND STREETS CITY OF PHILADELPHIA
\bigotimes	UTILITY VALVE	PROP. ASPHALT	PENNSYLVANIA, 19132
-0-	SIGN	——————————————————————————————————————	PREPARED FOR: CITY OF PHILADEPHIA
Ŵ	WATER MANHOLE		TITLE
S	SEWER MANHOLE	M PROP. WATER METER	UTILITY PLAN
Ē			
(T) EEE	TELEPHONE MANHOLE		
SS			PROJ. # 23-0501 DATE 1/18/2024 CAD ID. 23-0501 DRN BY MD
			SCALE AS NOTED CHK BY JBA
			C1.3 REVISION 3



CONSTRUCTION FENCE

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IFGEND & ABBREVIATIONS

PROPERTY BOUNDARY	S	SEWER MANHOLE		PROPOSED LIMIT OF DISTURBANCE BOUNDARY LINE
95 EXISTING CONTOUR	©	COMMUNICATION MANHOLE		
× ⁹⁵ EXISTING SPOT ELEVATION	E	ELECTRIC MANHOLE		PROP. BUILDING AREA
OH EXISTING OVERHEAD WIRE	(W)	WATER MANHOLE	à 4 · · 4 · · 4	PROP. CONCRETE AREA
G APPROXIMATE GAS LINE		STORM INLET		
W APPROXIMATE WATER LINE	\bowtie	UTILITY VALVE		PROP. ASPHALT AREA
C APPROXIMATE CABLE LINE	₹ \$ \$\$	HYDRANT		
E APPROXIMATE ELECTRIC LINE	5	TREES	—	DRAINAGE FLOW
======== existing sewer main	L C A	LANDSCAPE AREA	8768668568	TENDODADY CONCTRUCTION ENTRANCE
	LSA	LANDJUAFE ANEA		TEMPORARY CONSTRUCTION ENTRANCE
CO EXISTING UTILITY POLE (UP)		■ PROP. STORM LATERAL	SSSSSS	SILT SOXX
			ATT	TEMPORARY TOPSOIL
				STOCKPILE



1. AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. 2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT

3. PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL CITY-OWNED INFRASTRUCTURE IS FUNCTIONING PROPERLY. 4. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS. 5. THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.

6. THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER. 7. FILTER FABRIC FENCE SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT

LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH ½ THE ABOVE GROUND HEIGHT OF THE FILTER FENCE. 8. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET. 9. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS. 10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND PA DEP.

11. UNTIL THE SITE IS STABILIZED, ALL E&S BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMPS PRIOR TO ANY ANTICIPATED STORM EVENT, AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED. WILL BE REQUIRED. 12. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.

PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION. 13. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION. 15. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL

16. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN 17. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES

SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN. 18. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.

19. ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE FOLLOWING MANNER: SEDIMENT TO BE RETURNED TO SITE LANDSCAPE AREAS. 20. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES - SIX TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.

21. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. 22. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS. 23. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. 24. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.

25. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. 26. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD. 27. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS

OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN. 28. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT. THE OPERATOR SHAL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS. 29. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.

30. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY PWD AND PA DEP. 31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS. SUCH REMOVAL/CONVERSIONS

ARE TO BE DONE ONLY DURING THE GERMINATING SEASON. 32. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. (WHEN APPLICABLE) 33. DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE PCSMP APPROVED BY PWD. NO CHANGE OF DEVIATION FROM THE APPROVED PCSMP IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD. 34. ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT "WATER MAIN STANDARD DETAILS AND CORROSION CONTROL SPECIFICATIONS", 1985 EDITION,

AND "STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS", 1985 EDITION. 35. CONTACT PWD WATER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR, PHONE: 215-685-6271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED PWD FACILITIES.

36. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. 37. A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING OR STRUCTURE THAT IS MORE THAN THREE (3) STORIES. GREATER THAN FORTY (40) FEET TALL. OR ENCOMPASSES MORE THAN TEN THOUSAND (10.000) SQUARE FEET: COMPLETELY OR PARTIALLY DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLOSION; OR ENGAGING IN EARTHWORKS, DEFINED AS "CLEARING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND IN EXCESS OF 5,000 SQUARE FEET."

38. UTILITY LINE TRENCH EXCAVATION NOTES A. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY. B. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS. C. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH. D. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.

E. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE. F. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

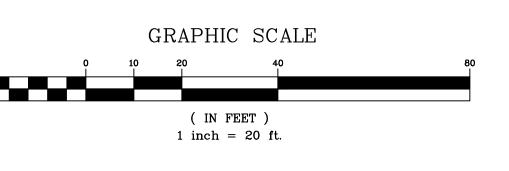
9. IMPORTING AND/OR EXPORTING OF FILL IS NOT ANTICIPATED FOR THE PROPOSED CONSTRUCTION OF THE SITE. HOWEVER, IF IT IS LATER DEEMED NECESSARY FOR THE SITE TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, INCLUDING THE POTENTIAL OF A SPILL OR RELEASE OF A REGULATED SUBSTANCE, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE RESTS ON THE APPLICANT

ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258-2182-773. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN

OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

40. CONSTRUCTION FENCING TO BE CHAIN LINK FENCE WITH PEG END/LINE STABILIZED BRACKET. NO DIGGING OR EARTH DISTURBANCE REQUIRED





<u>GE</u>	NEF	RAL	NOTES:
4	TUIC		DECEDENCES

THIS PLAN REFERENCES
A SURVEY BY:

2. OWNER/APPLICANT:

3. PROJECT LOCATION INFORMATION:

1515 ARCH STREET, 10TH FLOOR, PHILADELPHIA PA 19102 CONTACT: APARNA PALANTINO, DEPUTY COMMISSIONER OF CAPITOL INFRASTRUCTURE PH: 215.683.0202 E-MAIL: Aparna.Palantino@phila.gov 3101–27 N. 22ND STREET (OPA #78–5734200)

CORNERSTONE CONSULTING ENGINEERING & ARCHITECTURAL, INC.

213 W. MAIN STREET, SUITE 201, LANSDALE, PA 19446

PLAN ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY"

2119–29 W. CLEARFIELD STREET (OPA #88–5927460) *PROPOSED LOT CONSOLIDATION TOTAL LOT AREA = 40,500 SF /0.93 AC

PLAN DATED: 8/24/2023

CITY OF PHILADELPHIA

- 4. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- 5. THE DRAWING IS PREPARED BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR, ENGINEER, ARCHITECT, OR DESIGN PROFESSIONAL. COPIES OF THIS PLAN WITHOUT A RAISED IMPRESSION OR COLOR SEAL ARE NOT VALID.
- 6. THIS PLAN IS TO BE USED FOR GRAPHICAL REPRESENTATION OF THE PHYSICAL FEATURES OF THE PROPERTY AND NOT TO BE USED FOR CONSTRUCTION. THE BUILDING FOOTPRINT IS CONCEPTUAL ONLY AND ESTABLISHES A BUILDING ENVELOPE IN WHICH THE FINAL BUILDING FOOTPRINT WILL BE GENERALLY LOCATED. THE FINAL BUILDING FOOTPRINT SHALL BE DETERMINED AT THE TIME OF BUILDING PERMIT ISSUANCE AND SHALL BE GENERALLY AS CONFIGURED ON THE PLAN WITH AN OVERALL SQUARE FOOTAGE NOT TO EXCEED THE TOTAL SHOWN ON THE APPROVED PLAN.
- 7. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS SUPPLIED THROUGH THE PA ONE CALL SYSTEM WHICH WERE AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- 8. BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN FEMA FLOOD MAP OTHER AREAS/ ZONE X. PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, PHILADELPHIA COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)," MAP NUMBER 4207570095G, EFFECTIVE JANUARY 17, 2007.
- 9. THE WATERSHED FOR THE SITE IS THE LOWER SCHUYLKILL WATERSHED.
- 10. THE ENTIRE SITE CONTAINS Ub URBAN LAND (PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY).
- 11. THE APPLICANT IS PROPOSING TO CONSTRUCT A 1-STORY WITH MEZZANINE LEVEL, COMMUNITY CENTER ALONG WITH ASSOCIATED SITE IMPROVEMENTS.

SEQUENCE OF CONSTRUCTION

STANDARD NOTES 1. AT LEAST SEVEN (7) DAYS PRIOR TO ANY EARTH DISTURBANCE, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE A PRECONSTRUCTION MEETING. 2. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS. 3. AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION. 4. WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER".

- 1. PRE-CONSTRUCTION MEETING WITH PWD IS REQUIRED PRIOR TO ANY EARTH DISTURBANCE. THE INSPECTIONS COORDINATOR OF PWD (OFFICE 215.685.6387) MUST BE CALLED TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST SEVEN (7) DAYS PRIOR TO THE START OF CONSTRUCTION.
- 2. CONTRACTOR SHALL INITIATE CONSTRUCTION BY INSTALLING THE CONSTRUCTION ENTRANCE, SILT SOXX, INLET PROTECTION ON-SITE AND WITHIN THE ROADWAYS, AND CONSTRUCTION FENCE WITH A GATE AT THE CONSTRUCTION ENTRANCE.
- 3. FOR THE SITE WORK PHASE OF THE PROJECT, CONTRACTOR SHALL BEGIN BY DEMOLISHING THE EXISTING BUILDING AND ROUGH GRADING THE SITE / EXCAVATING THE SOIL FOR THE FOUNDATION WALLS. IF AT ANY TIME DURING EARTH MOVING ACTIVITIES, WORK IS STOPPED, THE SITE SHOULD BE STABILIZED. THE AREA IS CONSIDERED PERMANENTLY STABILIZED WHEN A UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED, OR THE DISTURBED AREA IS COVERED WITH AN ACCEPTABLE BMP WHICH PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION. CONTRACTOR TO STOCKPILE TOPSOIL AND INSTALL THE ASSOCIATED SILT SOXX. CONTRACTOR TO STABILIZE THE STOCKPILE WITH TEMPORARY SEEDING AS DIRECTED IN FERTILIZATION NOTES.
- 4. CONCURRENTLY WITH EXCAVATION WORK, CONTRACTOR CAN INSTALL PROPOSED UTILITY LINES.
- 5. UPON STABILIZATION OF THE SUBBASE, CONTRACTOR SHALL INSTALL BUILDING PAD AND CONCRETE. UPON ACCEPTANCE OF THE BUILDING PAD, BUILDING CONSTRUCTION MAY COMMENCE.
- 6. UPON STABILIZATION OF THE SITE, CONTRACTOR SHALL REMOVE THE EROSION AND SEDIMENTATION CONTROL MEASURES. UNTIL SUCH TIME THAT THE ENTIRE SITE HAS ACHIEVED THE STANDARD DEFINED IN #3 ABOVE, INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES THAT ARE USED TO TREAT PROJECT RUNOFF MAY NOT BE REMOVED. ADDITIONALLY CONTRACTOR SHALL CLEAR ANY UNWANTED DEBRIS AND MISCELLANEOUS CONSTRUCTION MATERIAL. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER/OPERATOR SHALL CONTACT THE INSPECTIONS COORDINATOR OF PWD (215.685.6387) FOR A FINAL INSPECTION PRIOR TO THE REMOVAL OF THE E&S BMPS.

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			Services, Inc.		6				Pocono Region 570-839-1770			
			Consulting Engineers & Design Services, Inc.		213 West Main Street . Lansdale . PA 19446 Phone: 215-362-2600 . Fax: 215-362-8400 www.cornerstonenet.com				Lehigh Valley Region 610-820-8200			
				•		W 212			Philadelphia Region	215-362-2600		
	DATE	02/19/2024	02/26/2024	03/01/2024								
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