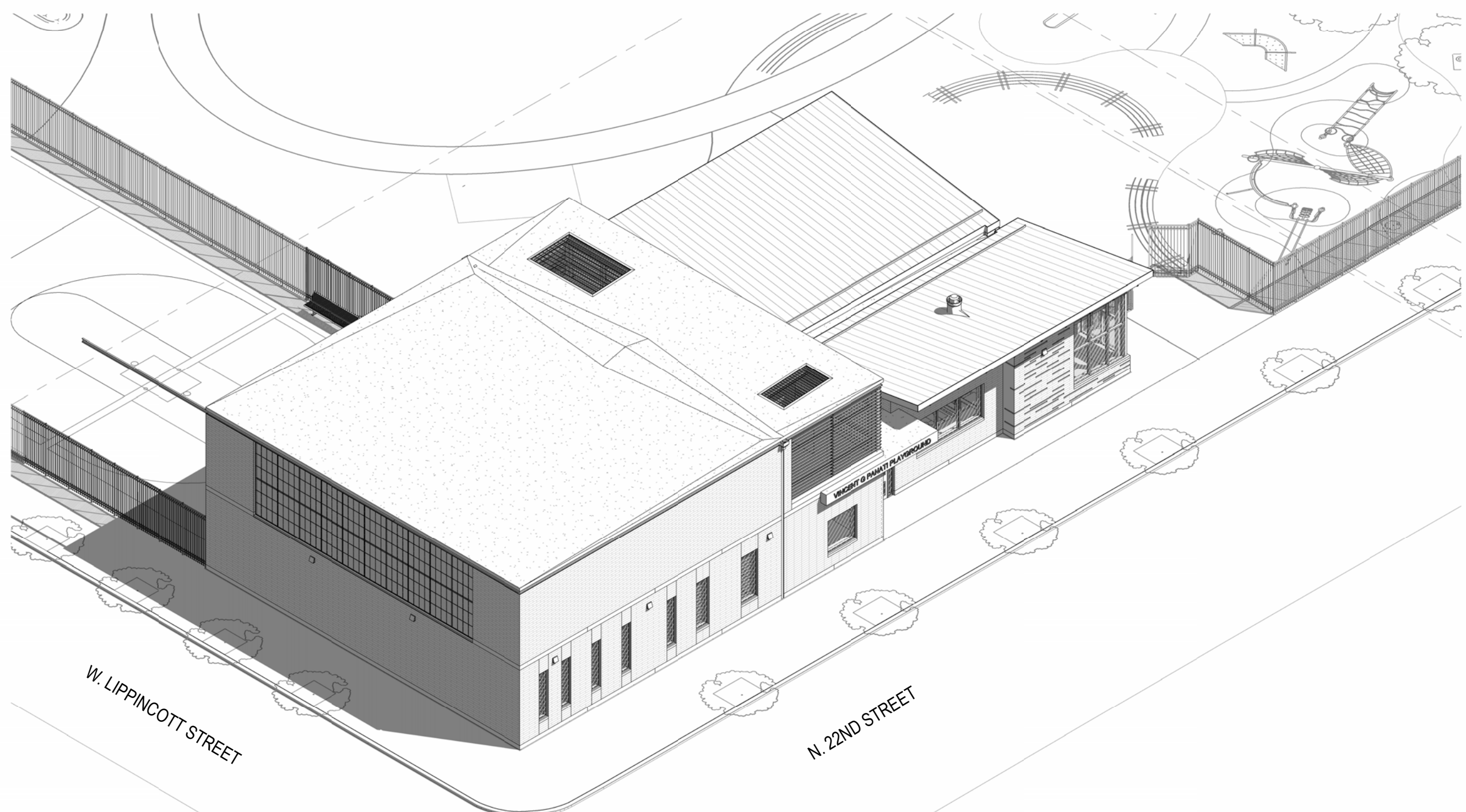






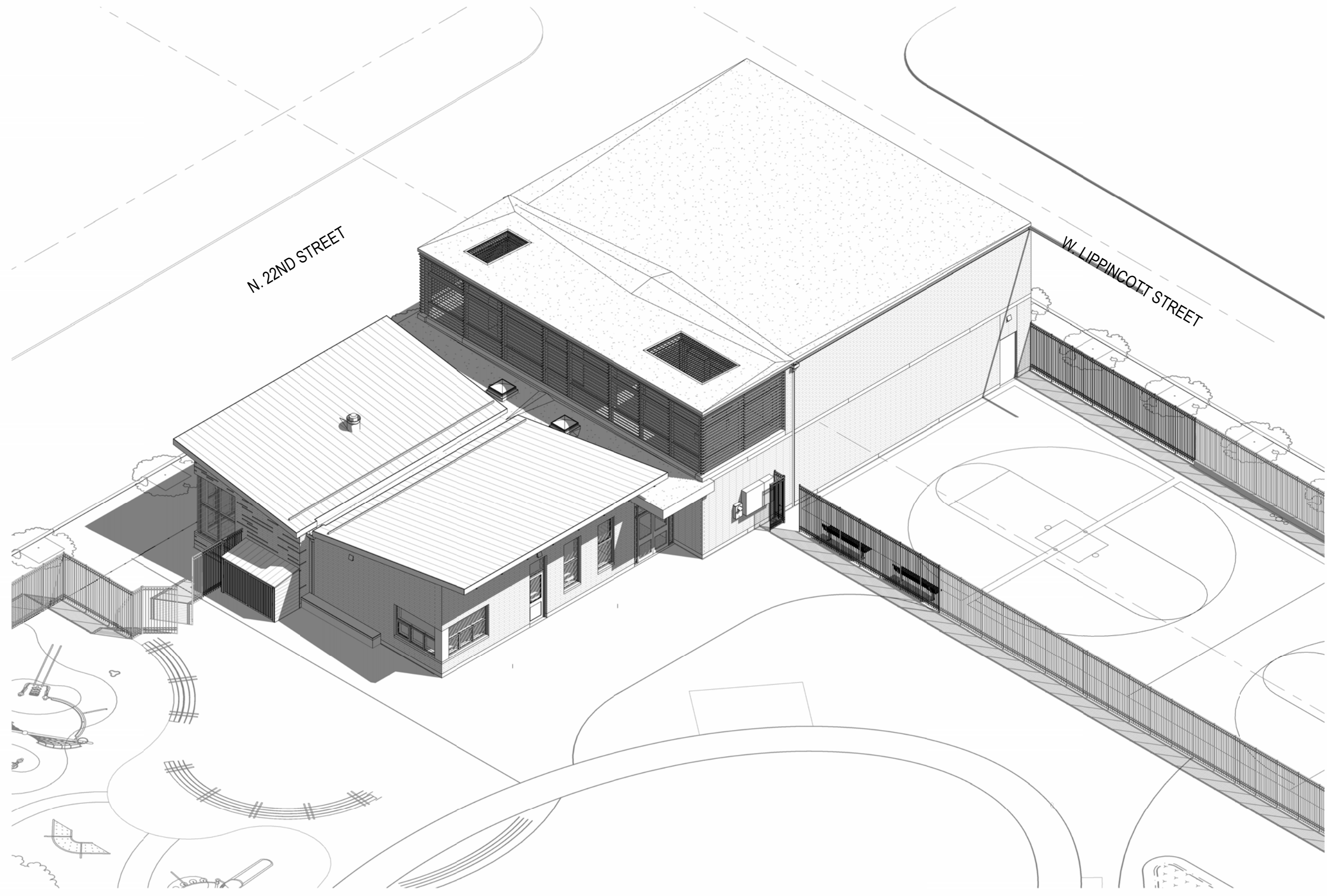
A



B2 VIEW FROM 22ND AND LIPPINCOTT

B

C



E2 VIEW FROM PLAYGROUND

D

E

**KEYNOTES**

KEY	DESCRIPTION
4.01	MASONRY VENEER
5.01	6" METAL CHANNEL
5.02	OPEN METAL GRATING
5.04	METAL DECKING @ SOFFIT
5.05	HSS 6x6 - SEE STRUCT DWGS
5.06	HSS 6x4 - SEE STRUCT DWGS
5.07	HSS 8x8 - SEE STRUCT DWGS
7.01	STANDING SEAM METAL ROOF
7.02	SCUPPER AND DOWNSPOUT
7.03	STAINLESS STEEL FASCIA
7.04	MEMBRANE ROOF
7.07	CRICKET
7.08	SNOW CLEATS
8.01	SKYLIGHT
8.02	INTERIOR ALUMINUM STOREFRONT SYSTEM
8.04	ALUMINUM STOREFRONT ENTRY SYSTEM
8.05	ROOF ACCESS HATCH
8.06	ALUMINUM STOREFRONT WINDOW SYSTEM W/ SECURITY SCREEN
8.08	TRANSLUCENT FIBERGLASS GLAZING
10.01	LOUVERS
10.04	RECESSED CLASS A FIRE EXTINGUISHER
10.05	RECESSED CLASS K FIRE EXTINGUISHER
10.06	WALL PADS
10.07	BACKSTOP SWITCH, COORDINATE WITH ELEC DWGS
11.03	CEILING MOUNTED BASKETBALL HOOP
11.04	KITCHEN HOOD EXHAUST FAN - SEE MEP & F.S. DWGS
12.02	TRASH ENCLOSURE
12.05	BENCH
22.01	DRINKING FOUNTAIN WITH BOTTLE FILLER
22.02	WALL HYDRANT - COORDINATE WITH PLUMBING DWGS
26.01	EXTERIOR WALL MOUNTED LIGHT FIXTURE
32.01	NEW FENCE TO MATCH EXISTING
32.02	NEW FENCE GATE TO MATCH EXISTING

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS WHICH SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE CONDITIONS OF THE WORK AT THE JOB SITE BEFORE PREPARING HIS PROPOSAL AND SHALL CHECK AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE STARTING ANY OF THIS WORK.
- IT IS INTENDED THAT ALL WORK REQUIRED UNDER THIS CONTRACT SHALL BE COMPLETE AND OPERATIONAL IN ALL RESPECTS AND SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST INDUSTRY STANDARDS AND TRADE PRACTICES.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO PREVENT DAMAGE TO TREES, EQUIPMENT AND EXISTING AND NEW WORK WITHIN THE LIMITS OF THE CONTRACT. DO NOT SCALE DRAWINGS, USE DIMENSIONS GIVEN.
- SHOULD AN ERROR OR DISCREPANCY BE FOUND IN THE DRAWINGS IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO PROCEEDING WITH THE WORK.
- ALL WORK DISTURBED BY THE OPERATIONS OF THIS CONTRACT SHALL BE PATCHED AND REINTEGRATED WITH WORK OF MATCHING MATERIALS AND QUALITY.
- "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
- "SIMILAR" MEANS REFERENCED ITEM IS SIMILAR IN NATURE TO ACTUAL DETAIL, SECTION OR ELEVATION (i.e. OPPOSITE-HAND, REVERSE DIRECTION, ETC.).
- MANUFACTURER'S SUGGESTED INSTALLATION METHODS SHALL TAKE PRECEDENCE OVER METHODS AS DOCUMENTED WHERE A CONFLICT EXISTS. CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT OR ENGINEER.
- INFORMATION SHOWN ON THESE DRAWINGS IS BASED ON INFORMATION PROVIDED TO OR OBTAINED BY ARCHITECT INDICATING EXISTING CONDITIONS. ACTUAL FIELD CONDITIONS MAY VARY FROM THOSE INDICATED ON THE DRAWINGS. SHOULD ACTUAL CONDITIONS DIFFER SUBSTANTIALLY FROM THOSE INDICATED ON THE DRAWINGS OR FROM THOSE ORDINARILY ENCOUNTERED IN RENOVATION WORK OF THIS TYPE, PROMPTLY NOTIFY ARCHITECT BEFORE ANY OF THESE CONDITIONS ARE DISTURBED. FAILURE TO DO SO MAY WAIVE THE CONTRACTOR'S RIGHT TO ADDITIONAL TIME OR OTHER CONSIDERATION DUE TO SUCH CONDITIONS.
- BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION, BEFORE PROCEEDING WITH THE WORK.
- COORDINATE TRADES TO ENSURE TIMELY COMPLETION OF WORK.
- REMOVAL OF HAZARDOUS MATERIALS NOTED IN THESE DOCUMENTS SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND UNDER THE DIRECTION OF THE OWNER OR THE OWNER'S DESIGNATED ENVIRONMENTAL CONSULTANT.
- REMOVE ALL DEBRIS FROM SITE.
- IF THE DIGITAL FILES USED TO CREATE THE CONTRACT DOCUMENTS ARE ACQUIRED, THEY SHOULD BE USED FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR FABRICATION OF BUILDING COMPONENTS, UNLESS AUTHORIZED BY THE PROJECT ARCHITECT IN WRITING. THESE DRAWINGS ARE THE SOLE PROPERTY OF THE ARCHITECT. THEY ARE PROVIDED TO THE OWNER AND CONTRACTOR FOR THEIR USE SOLELY WITH RESPECT TO THIS PROJECT.
- DEMOLISH AND REMOVE WORK AS INDICATED ON THE DRAWINGS AND AS REQUIRED TO ACCOMMODATE ALL NEW WORK. PERFORM DEMOLITION IN A SAFE, CAREFUL MANNER TO PREVENT ACCIDENTS AND PROPERTY DAMAGE. OPENINGS IN EXISTING CONSTRUCTION SHALL BE CUT NEAT AND CLEAN WITHOUT DISTURBING THE ADJOINING CONSTRUCTION. PROVIDE THE NECESSARY FRAMING, LINTELS, REINFORCEMENT, TEMPORARY SUPPORTS AND SHORING AS NEEDED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING.
- THE SUBMISSION OF PRICING SHALL BE EVIDENCE THAT THE CONTRACTOR HAS FULLY EVALUATED POTENTIAL PROBLEMS AND LATER ADDITIONAL COST CLAIMS FOR LABOR, EQUIPMENT, MATERIAL OR HARDSHIP WILL NOT BE CONSIDERED.
- MASONRY UNIT THICKNESSES ARE NOMINAL.

SHEET NO.	SHEET NAME	BID ISSUE DATE
<b>00 GENERAL</b>		
G000	COVER SHEET	02/09/2024
G001	AXONS, KEYNOTES, AND DRAWING LIST	02/09/2024
G005	ACCESSIBILITY ROOMS, MOUNTING HEIGHT DIAGRAMS	02/09/2024
G100	CODE REVIEW & EGRESS PLANS	02/09/2024
G110	ENERGY COMPLIANCE	02/09/2024
<b>01 CIVIL</b>		
C1.1	SITE PLAN	02/09/2024
C1.2	EXISTING CONDITIONS PLAN	02/09/2024
C1.3	UTILITY PLAN	02/09/2024
C1.4	EROSION & SEDIMENTATION CONTROL PLAN	02/09/2024
C1.5	EROSION & SEDIMENTATION CONTROL DETAILS	02/09/2024
C1.6	DETAILS	02/09/2024
C1.7	DETAILS	02/09/2024
<b>02 DEMOLITION</b>		
AD100	DEMOLITION PLAN	02/09/2024
<b>03 ARCHITECTURAL</b>		
A100	SITE PLAN	02/09/2024
A110	FLOOR PLAN	02/09/2024
A120	FLOOR PLAN	02/09/2024
A130	ROOF PLAN	02/09/2024
A210	REFLECTED CEILING PLANS	02/09/2024
A300	BUILDING ELEVATIONS	02/09/2024
A301	BUILDING ELEVATIONS	02/09/2024
A400	BUILDING SECTIONS	02/09/2024
A401	BUILDING SECTIONS	02/09/2024
A450	WALL SECTIONS	02/09/2024
A451	WALL SECTIONS	02/09/2024
A500	ENLARGED DWGS - PLANS + INT ELEVS	02/09/2024
A501	ENLARGED DWGS - PLANS + ELEVS	02/09/2024
A610	ENLARGED PLAN DETAILS	02/09/2024
A620	EXTERIOR AND INTERIOR DETAILS	02/09/2024
A621	WINDOW DETAILS	02/09/2024
A630	ROOF DETAILS	02/09/2024
A810	FINISH & FURNISHING PLAN	02/09/2024
A810	WINDOW SCHEDULES, TYPES, DETAILS	02/09/2024
A830	DOOR SCHEDULES, TYPES, DETAILS	02/09/2024
A840	INTERIOR SIGNAGE TYPES, SCHEDULE	02/09/2024
<b>04 STRUCTURAL</b>		
S1.1	FOUNDATION PLAN	02/09/2024
S1.2	MEZZANINE & LOW ROOF FRAMING PLAN	02/09/2024
S1.3	HIGH ROOF FRAMING PLAN	02/09/2024
S1.4	LINTEL PLAN	02/09/2024
S2.1	FOUNDATION DETAILS	02/09/2024
S2.2	FOUNDATION DETAILS	02/09/2024
S3.1	FRAMING DETAILS	02/09/2024
S3.2	FRAMING DETAILS	02/09/2024
S3.3	FRAMING DETAILS	02/09/2024
S4.1	GENERAL NOTES	02/09/2024
<b>05 MECHANICAL</b>		
H0.1	COVER SHEET	02/09/2024
H2.1	FLOOR PLAN	02/09/2024
H2.2	ROOF PLAN	02/09/2024
H7.1	DETAILS	02/09/2024
H8.1	SCHEDULES	02/09/2024
<b>06 ELECTRICAL</b>		
E0.1	COVER SHEET	02/09/2024
E0.2	ELECTRICAL NOTES	02/09/2024
E0.3	SITE PLAN - DEMOLITION	02/09/2024
E0.4	SITE PLAN - NEW	02/09/2024
E2.1	FLOOR PLAN - LIGHTING	02/09/2024
E3.1	FLOOR PLAN - POWER	02/09/2024
E4.1	FLOOR PLAN - LOW VOLTAGE	02/09/2024
E5.1	MEZZANINE PLANS	02/09/2024
E7.1	DETAILS	02/09/2024
E7.2	DETAILS	02/09/2024
E7.3	DETAILS	02/09/2024
E8.1	SCHEDULES	02/09/2024
<b>07 PLUMBING</b>		
P0.1	COVERSHEET	02/09/2024
P1.1	SITE PLAN	02/09/2024
P2.1	FLOOR PLAN - DRAINAGE	02/09/2024
P2.2	ROOF & MEZZANINE PLANS	02/09/2024
P3.1	FLOOR PLAN - SUPPLY	02/09/2024
P7.1	DETAILS	02/09/2024
P8.1	SCHEDULES	02/09/2024
<b>08 FOOD SERVICE</b>		
FS-1.0	FOOD SERVICE EQUIPMENT PLAN AND SCHEDULE	02/09/2024
FS-1.1	FOOD SERVICE ELECTRICAL PLAN AND SCHEDULE	02/09/2024
FS-1.2	FOOD SERVICE PLUMBING PLAN AND SCHEDULE	02/09/2024
FS-2.0	FOOD SERVICE EXHAUST HOOD DETAILS	02/09/2024
FS-2.1	FOOD SERVICE EXHAUST HOOD DETAILS	02/09/2024



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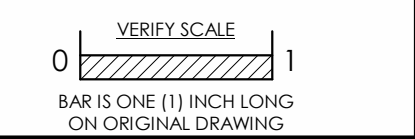
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**REBUILD - VINCENT G. PANATI PLAYGROUND**  
 for  
**PPR/REBUILD PHILADELPHIA**  
 3101-27 N 22ND ST, PHILADELPHIA PA 19132



No.	Date	By	Description
1	03/01/2024		BID ADDENDUM 2
2	03/04/2024		PERMIT REVISIONS
3	03/04/2024		

Date: 02/09/2024  
 Scale: 12" = 1'-0"  
 Job No.: 604.2  
 Drawn: NB, KN | Appd.: cs

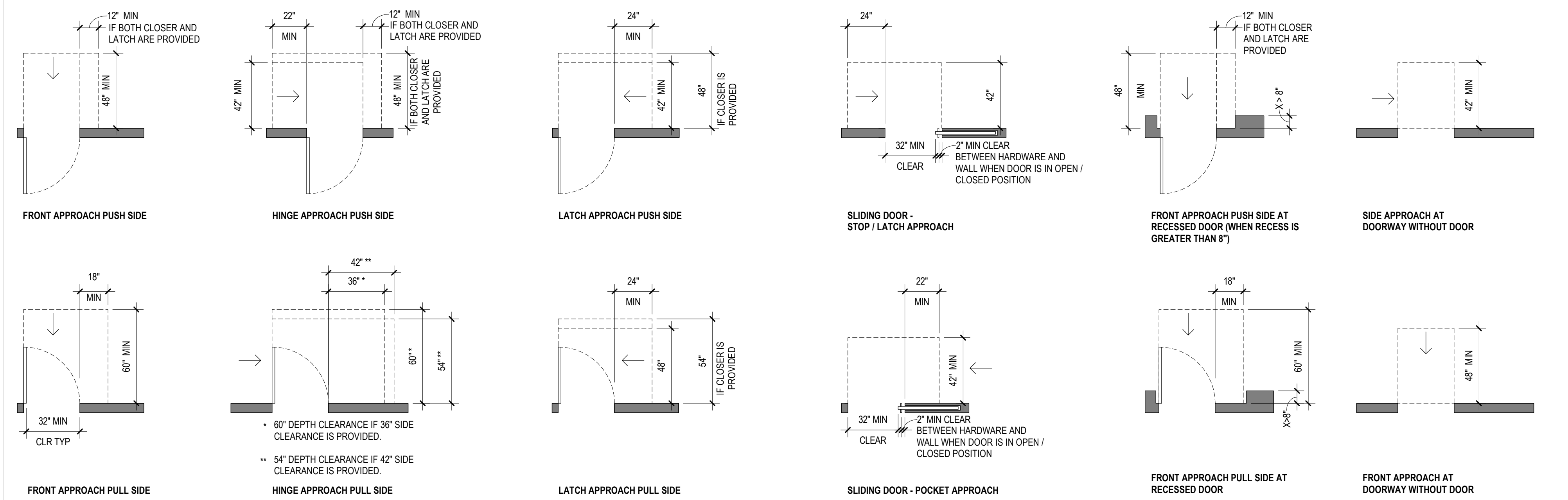
Sheet Title:  
 AXONS, KEYNOTES, AND DRAWING LIST

Sheet No.  
**G001**

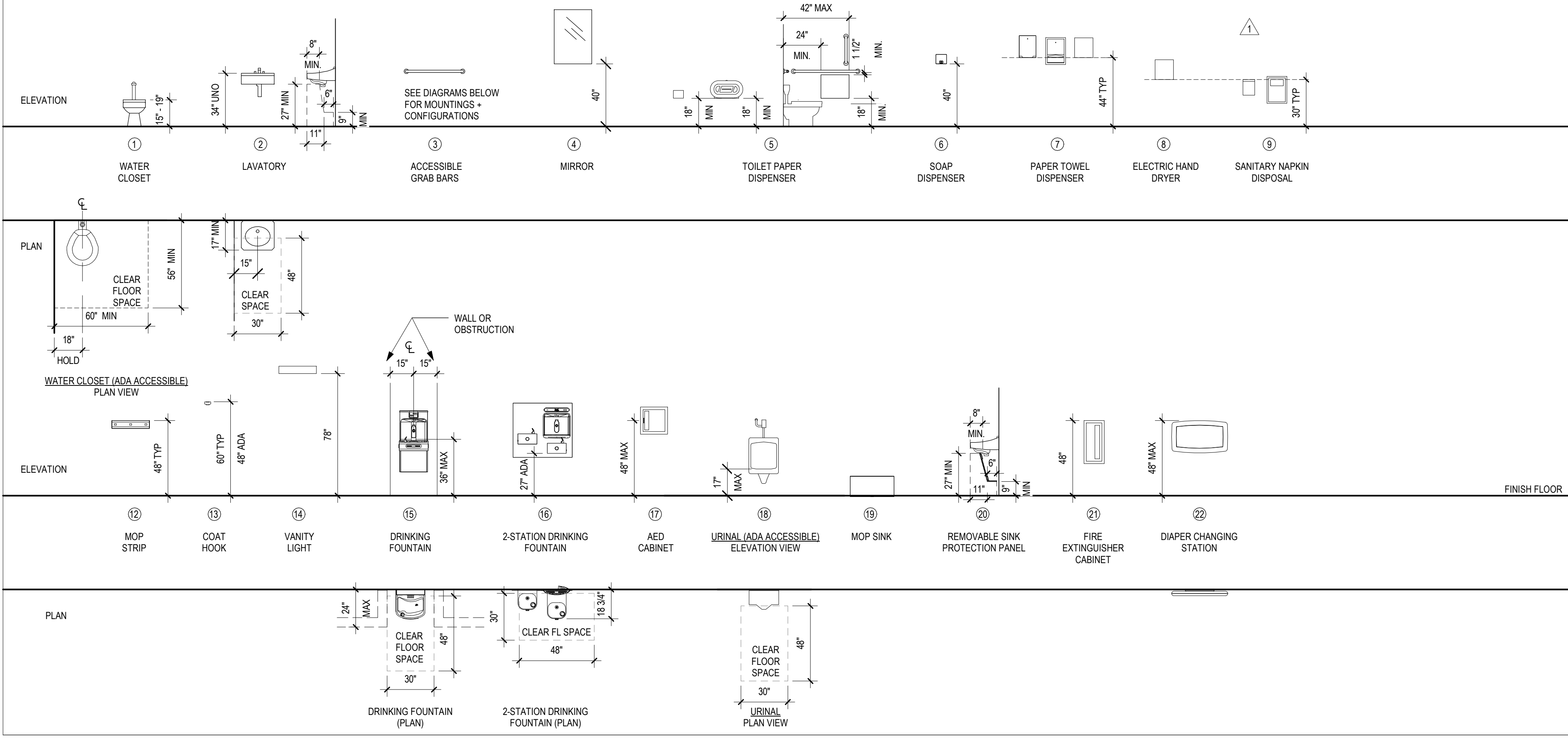


MANEUVERING CLEARANCES AT DOORWAYS

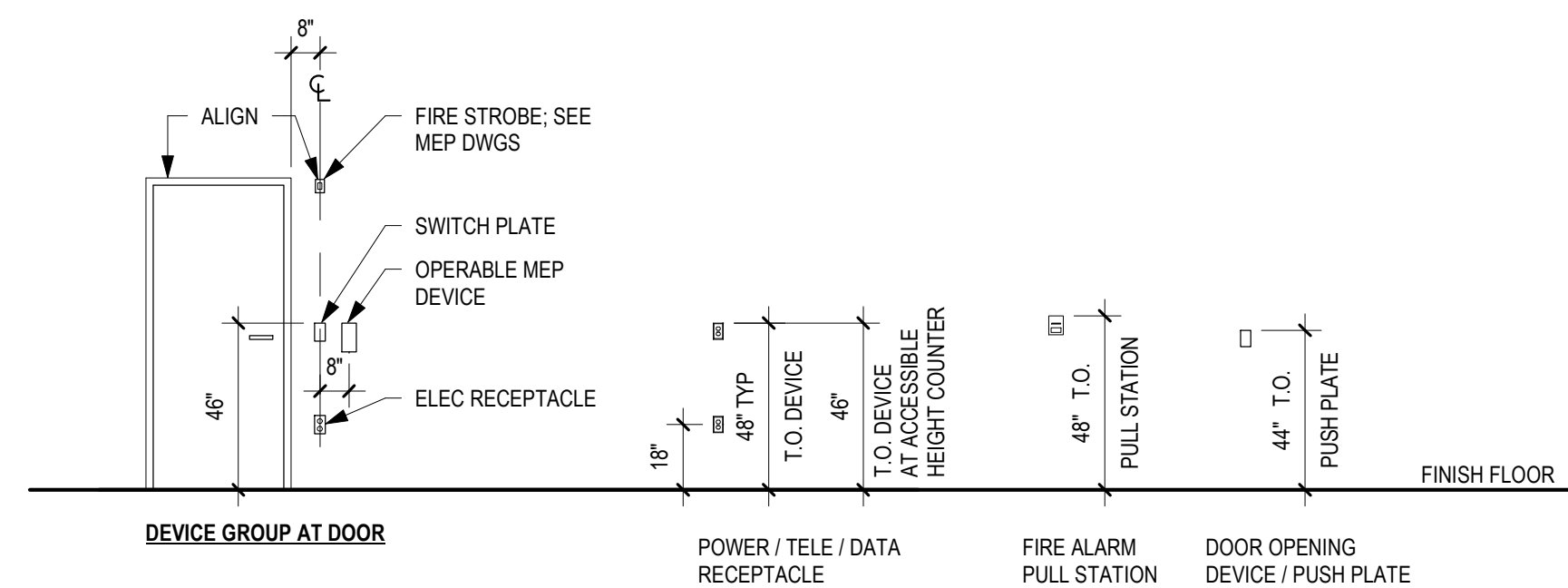
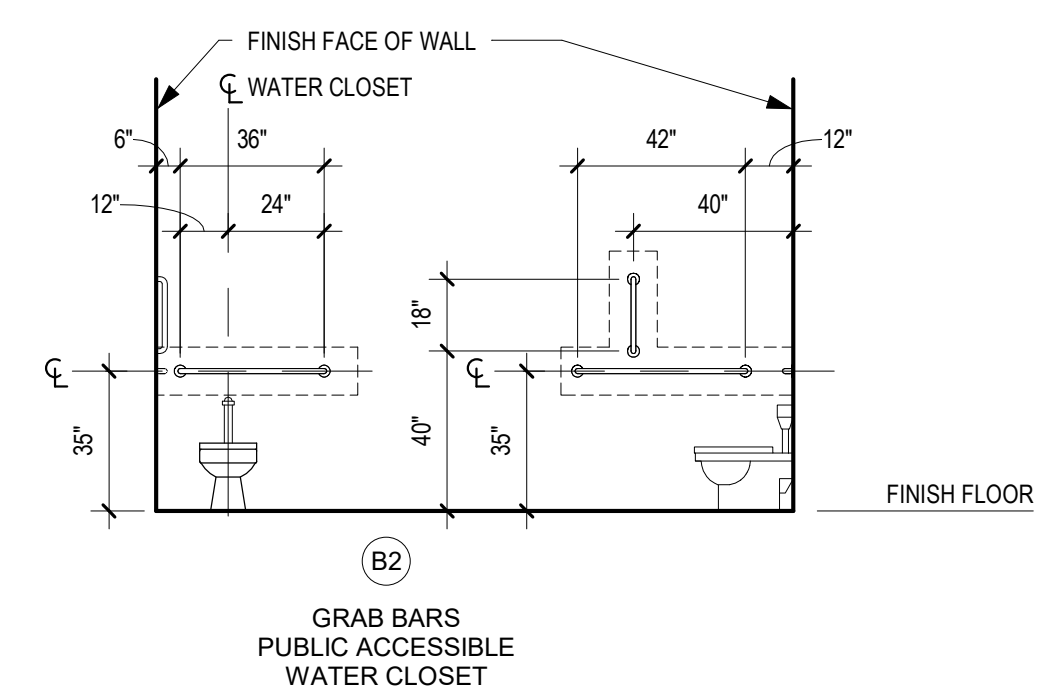
NOTE: FLOOR SLOPE WITHIN REQUIRED CLEARANCES NOT TO EXCEED 1:48



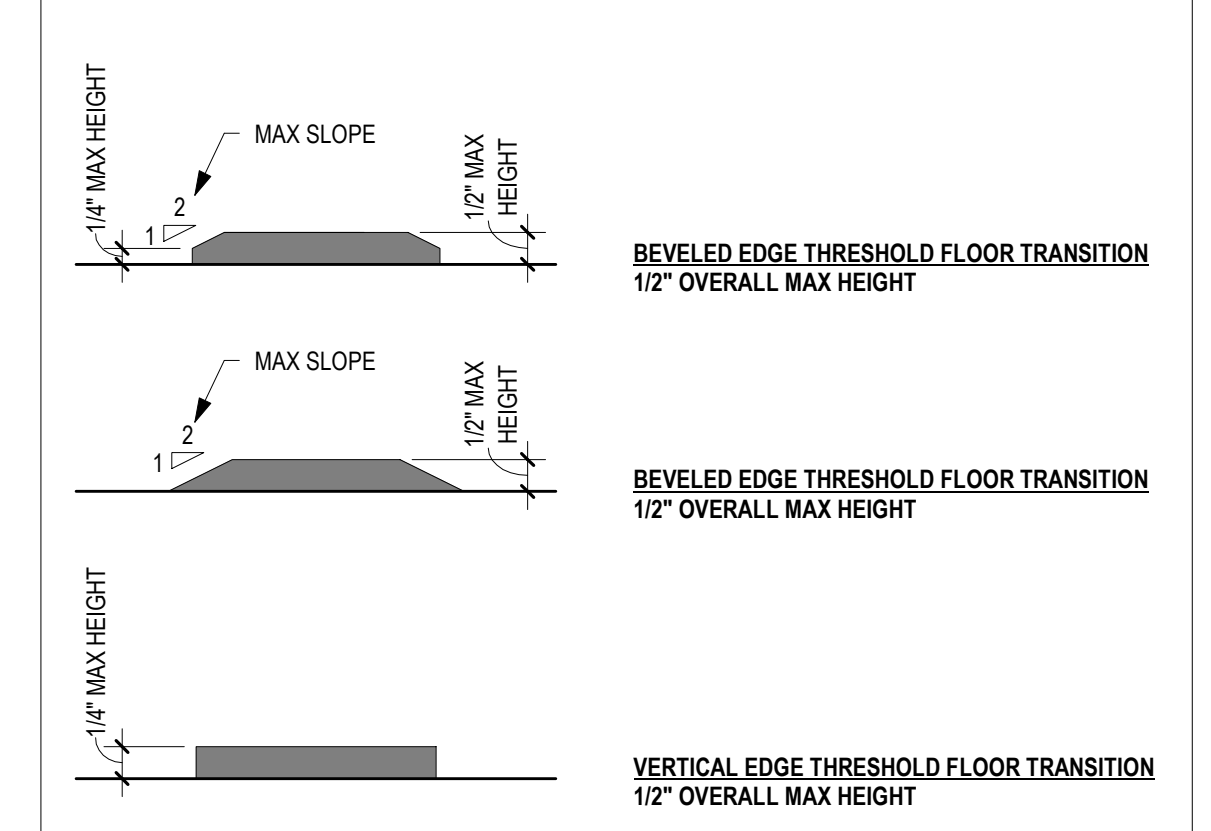
MISC ACCESSORY MOUNTING HEIGHTS - PER ANSI/ICC 117.1 2017



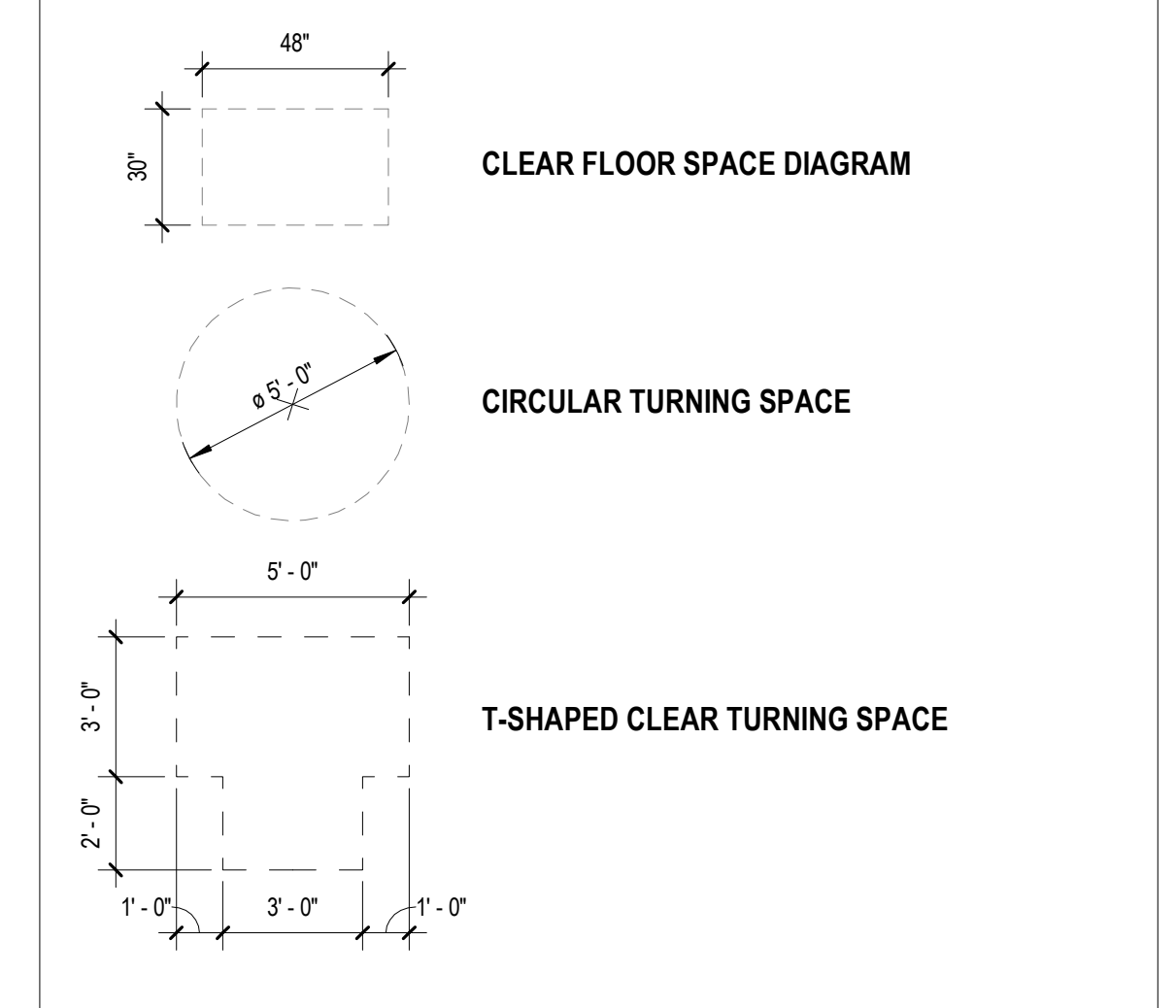
WATER CLOSET GRAB BAR CONFIGURATIONS / MOUNTING HEIGHTS



CHANGE IN FLOOR LEVEL / THRESHOLDS



WHEELCHAIR CLEARANCE DIAGRAMS



GENERAL NOTES

- 1. ACCESSIBILITY CLEARANCES SHOWN HERE MEET OR EXCEED THE FOLLOWING STANDARDS: ANSIA117.1 2009, AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS), AND FAIR HOUSING ACT (FHA).
2. ANY DISCREPANCY BETWEEN THIS SHEET AND THE PROJECT DESIGN DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY PRIOR TO STARTING WORK. NOT ALL CONDITIONS SHOWN HERE APPLY TO SPECIFIC PROJECT; REFER TO DESIGN DOCUMENTS FOR PROJECT SPECIFIC INFORMATION.
3. \*HOLD\* DIMENSIONS INDICATE EXACT MEASUREMENT; NO DEVIATION OR TOLERANCE IS ALLOWED.
4. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FROM PARTITION FINISH FACE OR FINISH FLOOR; TYPICAL.
5. DIMENSIONS SHOWN ARE FOR SPECIFIC TOILET ACCESSORIES SPECIFIED. ALTERNATE ACCESSORIES MUST CONFORM TO ACCESSIBILITY REQUIREMENTS.
6. PROVIDE BLOCKING AT ALL LOCATIONS FOR ACCESSORIES, GRAB BARS AND FUTURE GRAB BARS.
7. PROVIDE PIPE / TRAP INSULATION AT ALL ACCESSIBLE LAVATORIES AND WALL-HUNG LAVATORIES.
8. REFER TO PLUMBING DRAWINGS FOR PLUMBING FIXTURES SCHEDULE.
9. VANITY LAVATORIES TO RECEIVE INTEGRAL BACKSPASH AND SIDESPLASH AT ALL ADJACENT WALLS.
10. PROVIDE ACCESSIBLE BATH ACCESSORIES ONLY AT ACCESSIBLE BATHROOMS AND ADAPTABLE BATHROOMS; REFER TO FLOOR PLANS FOR LOCATIONS.
11. INSTALL SCHEDULED FLOORING UNDER WALL-HUNG LAVATORIES AND REMOVABLE BASE CABINETS.

LEGEND

DESIGNATES LOCATION OF CONCEALED BLOCKING IN PARTITION

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REBUILD - VINCENT G. PANATI PLAYGROUND for PPR/REBUILD PHILADELPHIA 3101-27 N 22ND ST, PHILADELPHIA PA 19132

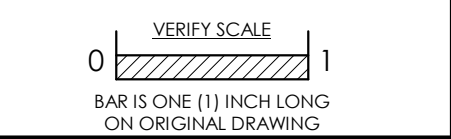


Table with columns: No., Date, By, Description. Row 1: 1, 02/15/2024, BHP, ADDENDUM 1

Table with fields: Date: 02/09/2024, Scale: As indicated, Job No.: 604.2, Drawn: NB, KN, Appd.: CS, Sheet Title: ACCESSIBILITY ROOMNTS, MOUNTING HEIGHT DIAGRAMS

Sheet No. G005

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APPLICABLE CODES	
CITY OF PHILADELPHIA ZONING CODE	
2018 INTERNATIONAL BUILDING CODE	
2018 INTERNATIONAL MECHANICAL CODE	
2018 INTERNATIONAL FIRE CODE	
2018 INTERNATIONAL PLUMBING CODE	
2017 NATIONAL ELECTRICAL CODE	
2018 INTERNATIONAL ENERGY CODE	
AMERICANS WITH DISABILITIES ACT, TITLE II	
ICC/ANSI A117.1-2017	
CITY OF PHILADELPHIA ZONING CODE	
ZONING DISTRICT:	SP-PO-A (RECREATION)
FIRE DISTRICT:	CITY OF PHILADELPHIA
MAX BUILDING HEIGHT:	38 FT
INTERNATIONAL BUILDING CODE (2018)	
PROPOSED OCCUPANCY USE/GROUP:	ASSEMBLY GROUP "A-3" (RECREATION)
PROPOSED CONSTRUCTION TYPE:	IIIB - NONSPRINKLERED, NON-COMUSTIBLE
ALLOWABLE BUILDING HEIGHT AND AREA:	55 FT / 2-STORIES / 9,500 GSF
FIRE RESISTANCE REQUIREMENTS, TYPE IIIB - NONSPRINKLERED, NON-COMUSTIBLE	
PRIMARY STRUCTURE FRAME:	0 HR
BEARING WALL, EXT.:	0 HR
BEARING WALLS, INT.:	0 HR
BEARING WALLS, EXT. LESS THAN 10 FT FSD:	0 HR
NONBEARING WALLS, INT.:	0 HR
FLOOR CONSTR. + SECONDARY MEMBERS:	0 HR
ROOF CONSTR. + SECONDARY MEMBERS:	0 HR
FIRE SEPARATION REQUIREMENTS	
BETWEEN GROUP "A" & GROUP "E":	NONE REQUIRED
BETWEEN GROUP "A" & GROUP "B":	NONE REQUIRED

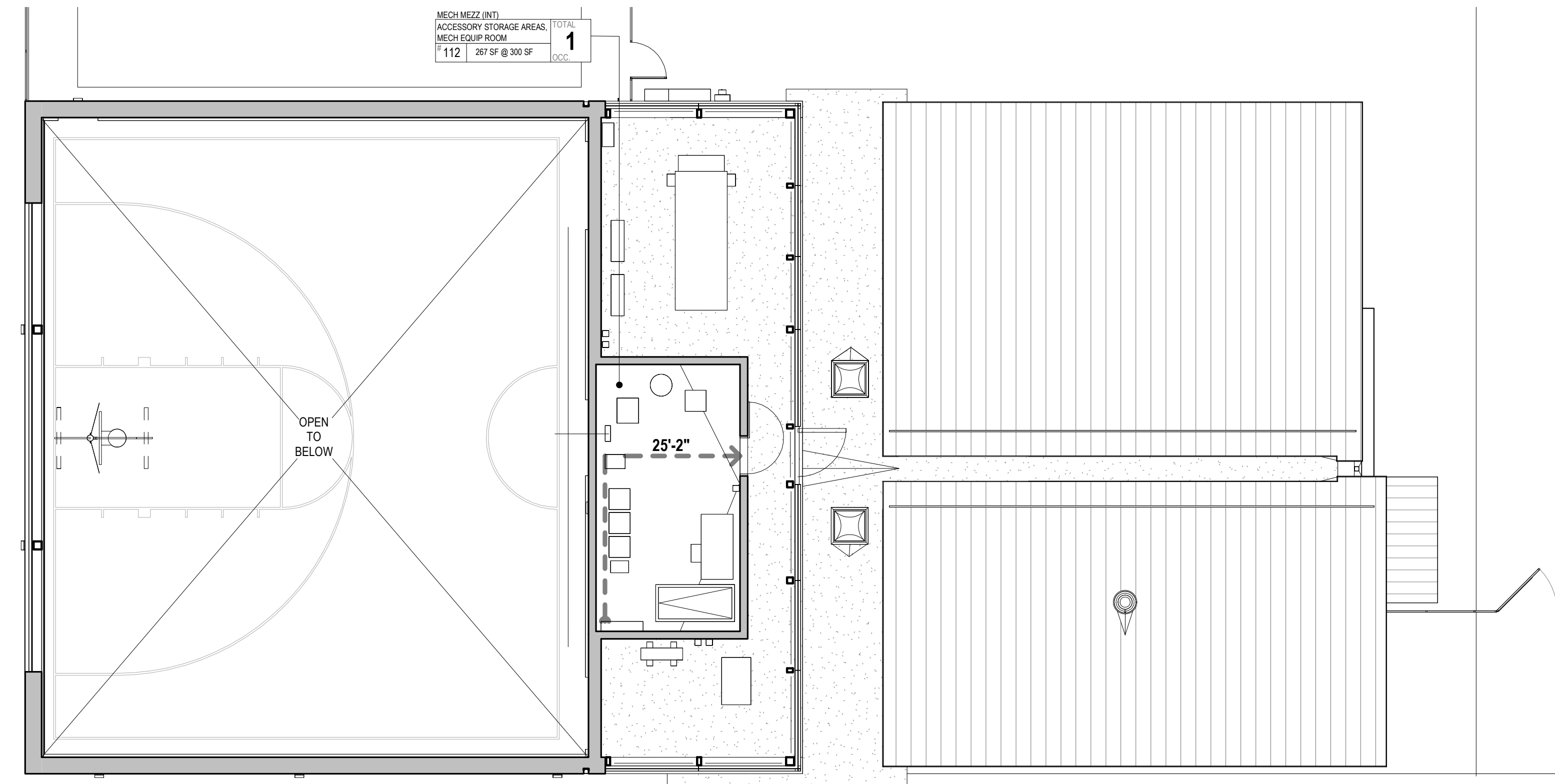
OCCUPANT LOAD TABULAR						
NAME	AREA	CLASSIFICATION	FUNCTION OF SPACE	LOAD FACTOR	NET/ GROSS	LOAD
MULTIPURPOSE ROOM	787 SF	A-3 (ASSEMBLY)	ASSEMBLY, UNCONCENTRATED (TABLES AND CHAIRS)	15 SF	NET	53
CLOSET	29 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
MAKER SPACE	342 SF	E (EDUCATION)	EDUCATIONAL SHOPS & OTHER VOCATIONAL RM AREAS	50 SF	NET	7
COMMUNITY KITCHEN	268 SF	E (EDUCATION)	EDUCATIONAL SHOPS & OTHER VOCATIONAL RM AREAS	50 SF	GROSS	6
OFFICE + CLOSET	199 SF	B (BUSINESS)	BUSINESS AREAS	100 SF	GROSS	2
GYM	2467 SF	A-3 (ASSEMBLY)	EXERCISE ROOMS	50 SF	GROSS	50
GENERAL STORAGE	37 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
JANITOR CLOSET	20 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
MECH MEZZANINE	267 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
MECH	25 SF	A-3 (ASSEMBLY)	ACCESSORY STORAGE AREAS, MECH EQUIP RM	300 SF	GROSS	1
TOTAL SPACES: 10				TOTAL OCCUPANCY: 123		

PLUMBING FIXTURE REQUIREMENTS						
TOTAL OCCUPANTS:	123		(62) MEN (62) WOMEN			
	REQUIRED		PROPOSED		ALL-GENDER	
	MEN	WOMEN	MEN	WOMEN		
WATER CLOSETS:	1	1	2	3	1	
LAVATORIES:	1	1	2	2	1	
URINALS (SUBST. FOR WC):	1	N/A	1			
DRINKING FOUNTAINS:	2	2		2		
SERVICE SINK:	1			1		

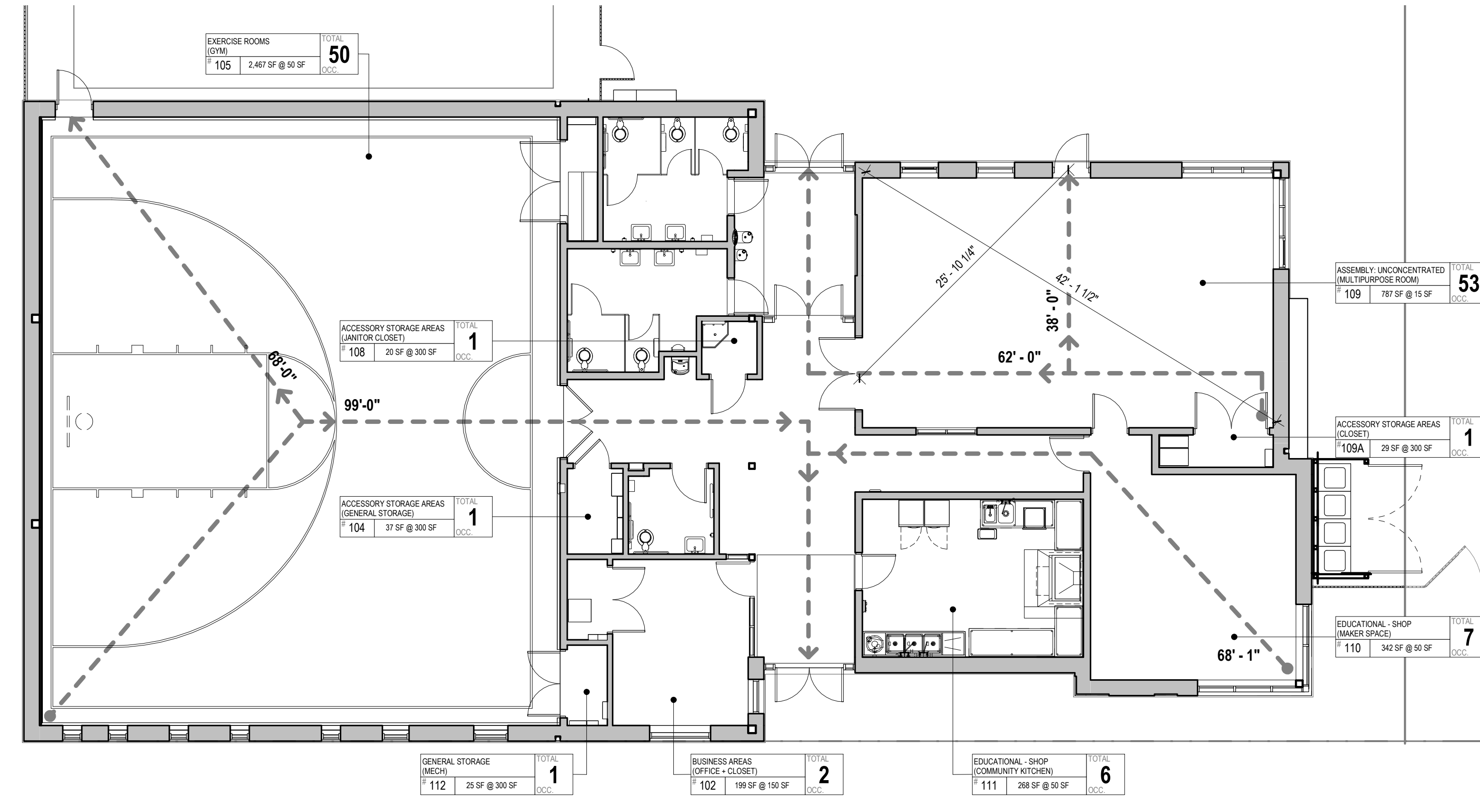
BUILDING AREA					
LEVEL	AREA	USES	EGRESS STAIR	# OF EXITS	# OF OCCUPANTS
LEVEL 1	5775	A-3, E, B	-	2 MIN	123

ENERGY CODE (IECC 2018)			
OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MIN REQUIREMENTS, R-VALUE METHOD			
CLIMATE ZONE: 4A	REQUIREMENTS	PROVIDED	NOTES
ROOF INSULATION			
ABOVE DECK	R-30 CI		
WALLS ABOVE GRADE	R-9.5 CI - MASS (8" CMU) - METAL FRAMED	R-20 CI R-13 + R-7.5 CI	@ MECH MEZZ
WALLS BELOW GRADE	R-7.5 CI	R-10 CI	
FLOORS	- JOIST / FRAMING	R-30 MIN	@ MECH MEZZ
SLAB-ON-GRADE FLOORS	- UNHEATED SLAB	R-10 FOR 24" BELOW	

BLDG ENVELOPE FENESTRATION MAX U-FACTOR AND SHGC REQUIREMENTS		
CLIMATE ZONE: 4A	REQUIREMENTS	PROVIDED
U-FACTOR		
FIXED FENESTRATION	0.38	0.38
OPERABLE FENESTRATION	0.45	0.45
ENTRANCE DOORS	0.77	0.77
SKYLIGHT	0.50	0.50
SHGC		
ORIENTATION	SEW N	
PF < 0.2	0.36	0.48
0.2 ≤ PF < 0.5	0.43	0.53
PF ≥ 0.5	0.58	0.58
SKYLIGHT	0.40	0.40



B3 MECH MEZZANINE  
1/8" = 1'-0"



E3 FIRST FLOOR  
1/8" = 1'-0"

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VERIFY SCALE  
 0 1  
 BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

No.	Date	By	Description
1	03/01/2024		BID ADDENDUM 2
2			

Date: 02/09/2024  
 Scale: As indicated  
 Job No.: 604.2  
 Drawn: NB, KN | Appd.: cs

Sheet Title:  
**CODE REVIEW & EGRESS PLANS**

Sheet No.  
**G100**

A

B

C

D

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ENVELOPE COMPLIANCE PATH		
	2018 IECC	ASHRAE 90.1-2016
PRESCRIPTIVE R-VALUE METHOD		
PRESCRIPTIVE U-FACTOR METHOD		
PRESCRIPTIVE W/ COMCHECK		
TOTAL BUILDING PERFORMANCE		
ENERGY COST BUDGET METHOD		
PERFORMANCE RATING METHOD		

NOTE: REGARDLESS OF THE COMPLIANCE PATH BEING USED, COMCHECK ENVELOPE CERTIFICATE AND ENERGY CODE INSPECTION CHECKLIST SHALL BE SUBMITTED WITH PERMIT APPLICATION

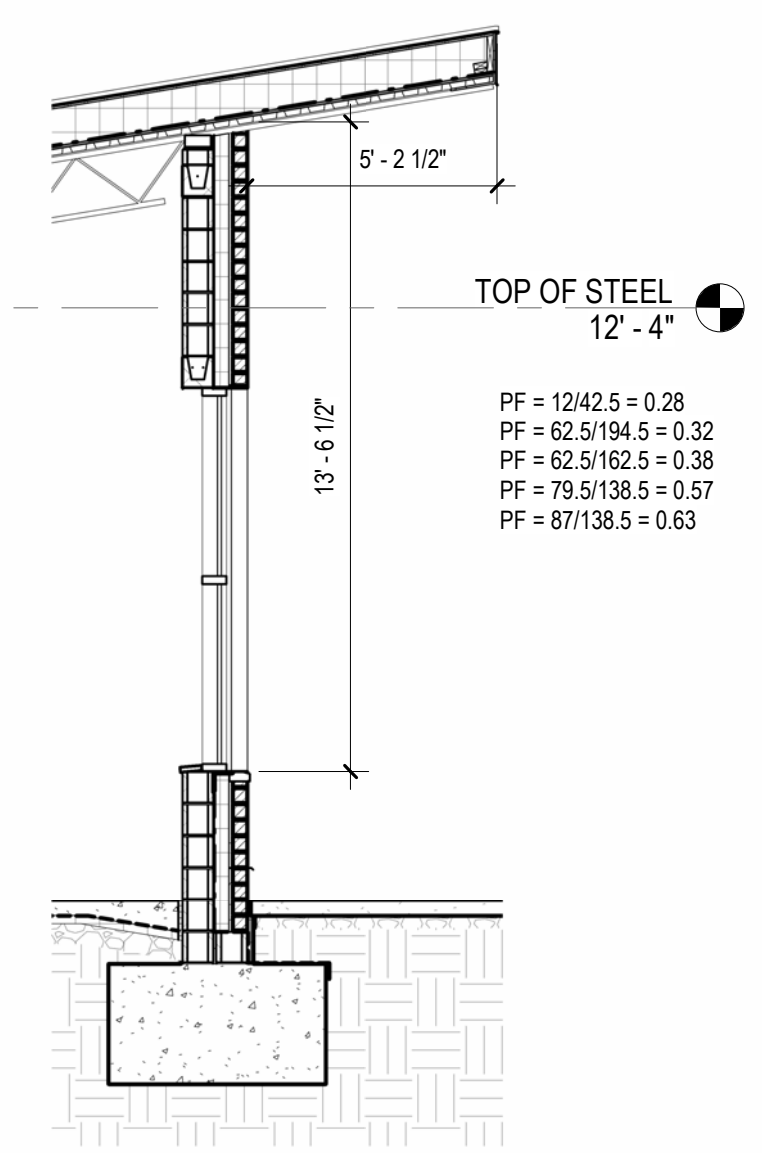
WINDOW-TO-WALL RATIO	
A. TOTAL WINDOW AREA	1.112 (ft <sup>2</sup> )
B. TOTAL ABOVE-GRADE WALL AREA	7.381 (ft <sup>2</sup> )
C. A / B X 100	15.06%

\* IF > 30% AND ≤ 40%, DAYLIGHTING REQUIREMENTS OF C402.1.1 MUST BE MET.  
IF > 40%, CHOOSE ANOTHER ENVELOPE COMPLIANCE PATH

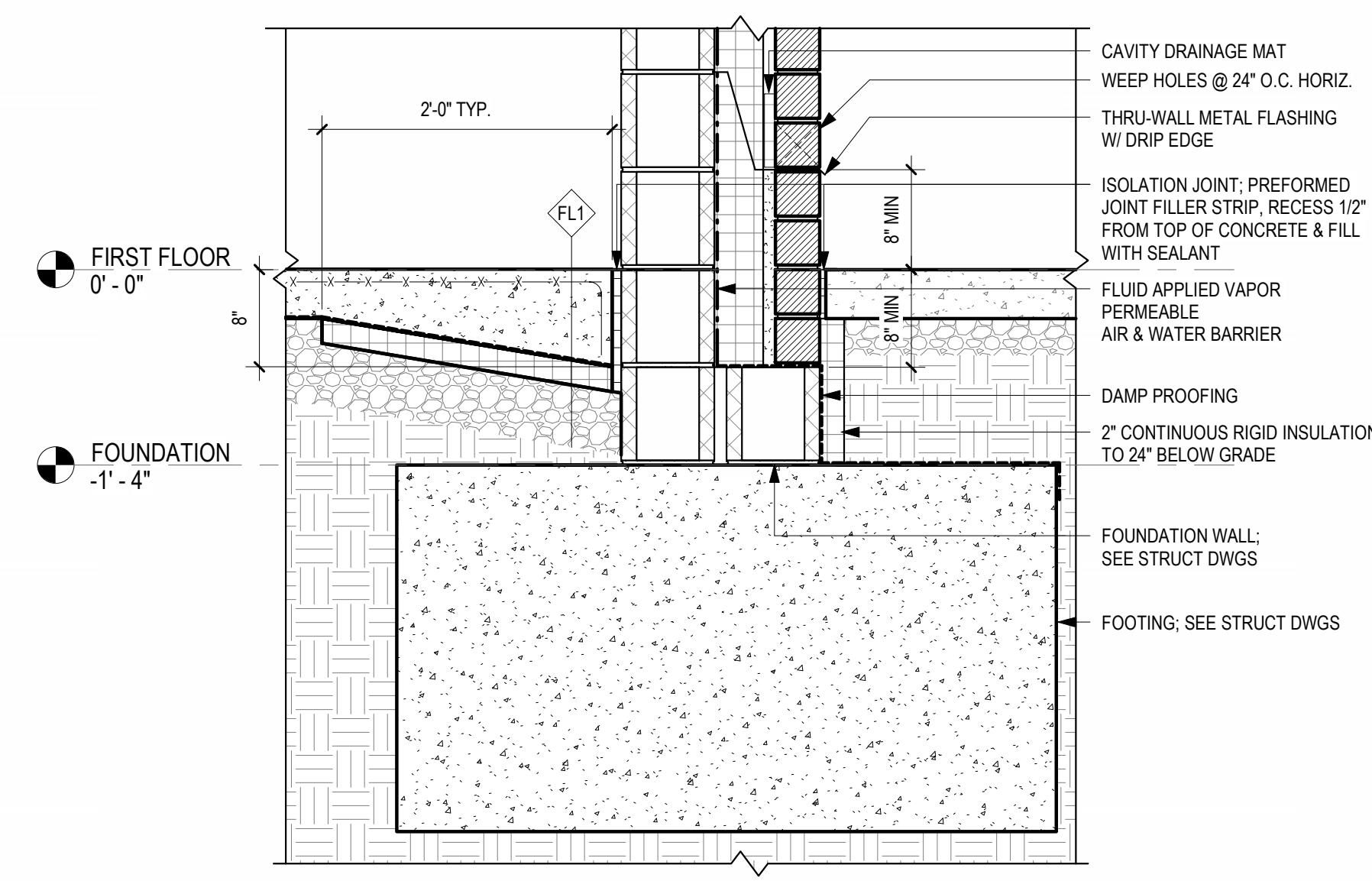
THERMAL ENVELOPE INFORMATION	
AIR BARRIER METHOD	
WHOLE BUILDING TEST	<input type="checkbox"/>
MATERIALS METHOD	<input type="checkbox"/>
ASSEMBLIES METHOD	<input type="checkbox"/>
ADDITIONAL INSULATION & AIR BARRIER DETAILS	
ADDITIONAL INSULATION AND AIR BARRIER DETAILS NOT FOUND ON THE CROSS-SECTION BELOW ARE AT THE LOCATIONS BELOW:	
SHEET #	ASSEMBLY DETAIL
A600	ROOFS/CEILINGS
A600/A621	ABOVE-GRADE WALLS (INCL. WINDOWS)
A600	FLOORS
A411/A620	SLAB-ON-GRADE WITH THERMAL BREAK AND DEPTH
N/A	BASEMENT WALLS

DOES BUILDING CONTAIN ENTRANCES THAT OPEN TO CONDITIONED SPAEC ≥ 3,000 FT <sup>2</sup> ?	
<input type="checkbox"/> YES. VESTIBULES, REVOLVING DOORS, OR AIR CURTAINS SHOWN ON SHEET(S) #:	
<input checked="" type="checkbox"/> NO. NO REQUIREMENT.	

WINDOW SCHEDULE												
ID #	TYPE	MANUF	MODEL	SINGLE WDW AREA	QTY	TOTAL WDW AREA	U-FACTOR	SHGC	PF, DETAIL PAGE #	VT	ROLLER-SHADES	NOTES
NORTH												
P	FIXED	KALWALL	WALL SYSTEMS	487	1	487	0.30	0.30	0	N/A	NA	
EAST												
E	FIXED	KAWNEER	TRIFAB 601T	44	1	44	0.38	0.36	0	N/A	NA	
L	FIXED	KAWNEER	TRIFAB 601T	42	1	42	0.38	0.36	0	N/A	1 & 2	
M	FIXED	KAWNEER	TRIFAB 601T	9	1	9	0.38	0.36	0	N/A	1 & 2	
N	FIXED	KAWNEER	TRIFAB 601T	26	1	26	0.38	0.36	0	N/A	1 & 2	
O	CASEMENT/ FIXED	KAWNEER	TRIFAB 601T	26	1	26	0.38	0.36	0	N/A	1 & 2	
SOUTH												
F	FIXED	KAWNEER	TRIFAB 601T	13	1	13	0.38	0.36	0	N/A	1	
J	FIXED	KAWNEER	TRIFAB 601T	75	1	75	0.38	0.36	0	N/A	1	
K	CASEMENT/ FIXED	KAWNEER	TRIFAB 601T	42	1	42	0.38	0.36	0	N/A	1 & 2	
WEST												
A	FIXED	KAWNEER	TRIFAB 601T	12	5	60	0.38	0.36	0	N/A	NA	
B	FIXED	KAWNEER	TRIFAB 601T	16	1	16	0.38	0.36	0	N/A	NA	
C	FIXED	KAWNEER	TRIFAB 601T	21	1	21	0.38	0.36	0	N/A	NA	
D	FIXED	KAWNEER	TRIFAB 601T	28	1	28	0.38	0.36	0	N/A	1	
E	FIXED	KAWNEER	TRIFAB 601T	44	1	44	0.38	0.36	0	N/A	NA	
G	FIXED	KAWNEER	TRIFAB 601T	63	1	63	0.38	0.36	0	N/A	NA	
H	FIXED	KAWNEER	TRIFAB 601T	96	1	96	0.38	0.36	0	N/A	1	
ROOF												
Q	FIXED	WASCO	DOMED UNITS	10	2	20	0.50	0.40	0	N/A	NA	



B2 PROJECTION FACTOR CALCULATIONS  
1/4" = 1'-0"



B3 SLAB ON GRADE DETAIL  
1" = 1'-0"

- FL1 FLOOR ASSEMBLY R-10**  
4" CAST-IN-PLACE CONCRETE  
CONTINUOUS VAPOR BARRIER, LAP ALL JOINTS 6"-12" & TAPE TO DIRECTION OF FIN. FLOOR BOARDS  
EXTEND 24" MIN. FROM BUILDING PERIMETER, TYP.  
5" MIN. CRUSHED STONE GRAVEL  
COMPACTED/UNDISTURBED EARTH
- FL2 FLOOR ASSEMBLY R-30**  
WOOD FLOORING  
PLYWOOD SUBFLOOR, EXPOSURE 1; INSTALLED PERPENDICULAR TO DIRECTION OF FIN. FLOOR BOARDS  
7/16" THICK PAD BY MFR; 12" O.C.  
6MIL POLYETHYLENE FILM  
4" CAST-IN-PLACE CONCRETE  
CONTINUOUS VAPOR BARRIER, LAP ALL JOINTS 6"-12" & TAPE TO DIRECTION OF FIN. FLOOR BOARDS  
EXTEND 24" MIN. FROM BUILDING PERIMETER, TYP.  
5" MIN. CRUSHED STONE GRAVEL  
COMPACTED/UNDISTURBED EARTH
- R1 ROOF ASSEMBLY R=30ci**  
STYRENE BUTADIENE STYRENE (SBS)  
MODIFIED BITUMINOUS MEMBRANE ROOFING  
1/2" COVER BOARD  
6" MIN. RIGID INSULATION, TAPE & STAGGER SEAMS  
TAPERED AS REQUIRED TO ROOF DRAINS  
VAPOR BARRIER/AIR BARRIER ROOFING UNDERLAYMENT  
MIN 3/4 IN. T&G PLYWOOD DECKING; GLUED AND SCREWED (VERIFY W/ STRUCTURAL REQUIREMENTS)  
1 1/2" METAL DECKING
- R2 ROOF ASSEMBLY R=30ci**  
STANDING SEAM METAL ROOFING  
1/2" COVER BOARD  
6" MIN. RIGID INSULATION, TAPE & STAGGER SEAMS  
TAPERED AS REQUIRED TO ROOF DRAINS  
VAPOR BARRIER/AIR BARRIER ROOFING UNDERLAYMENT  
MIN 3/4 IN. T&G PLYWOOD DECKING; GLUED AND SCREWED (VERIFY W/ STRUCTURAL REQUIREMENTS)  
1-1/2" METAL DECKING
- EW1 WALL ASSEMBLY R=20ci**  
4" BRICK VENEER  
1" AIR SPACE  
4" CONT. RIGID INSULATION BOARD  
FLUID APPLIED VAPOR PERMEABLE AIR & WATER BARRIER  
6" NOM. CONCRETE MASONRY UNIT, INTERIOR PTD.  
GROUT SOLID AND REINFORCE AS SPECIFIED IN LOCATIONS SHOWN ON STRUCTURAL DWGS
- EW2 WALL ASSEMBLY R=13cav + 7ci**  
CORRUGATED GALV. METAL SIDING - INSTALL PER MANUF. SPECS  
SELF-ADHERED VAPOR PERMEABLE AIR & WATER BARRIER  
1/2" APA RATED SHEATHING - SEE STRUCTURAL DRAWINGS  
4" METAL STUDS @ 16" O.C. - SEE STRUCTURAL DRAWINGS  
CONT. RIGID INSULATION (2" MIN)  
FILL CAVITY WITH RIGID INSULATION R-13 MIN.  
1/2" MIN. PTD MOLD RESISTANT GWB
- EW3 WALL ASSEMBLY R=13 + 7ci**  
CORRUGATED GALV. METAL SIDING - INSTALL PER MANUF. SPECS  
1/2" RECOVERY BOARD  
4" CONTINUOUS RIGID INSULATION BOARD  
FLUID APPLIED VAPOR PERMEABLE AIR & WATER BARRIER  
6" NOM. CONC MASONRY UNITS, INTERIOR PTD.  
GROUT SOLID AND REINFORCE AS SPECIFIED IN LOCATIONS SHOWN ON STRUCTURAL DRAWINGS



E1 ENERGY COMPLIANCE SECTION  
1/4" = 1'-0"

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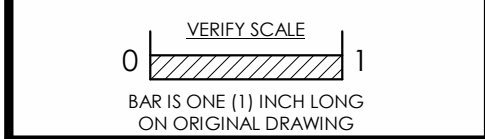
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**cicada**  
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**CORSI ASSOCIATES**  
1489 Baltimore Pike, Ste 105, Springfield, PA 19084  
(610) 267-7447 www.corsiassociates.com

**REBUILD - VINCENT G. PANATI PLAYGROUND**  
for  
**PPR/REBUILD PHILADELPHIA**  
3101-27 N 22ND ST, PHILADELPHIA PA 19132



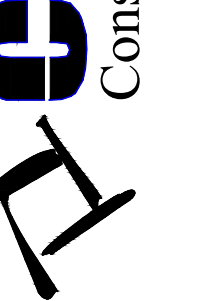
No.	Date	By	Description
2	03/01/2024		BID ADDENDUM 2

Date: 02/09/2024  
Scale: As indicated  
Job No.: 604.2  
Drawn: KN, NB Appd.: cs

Sheet Title:  
ENERGY COMPLIANCE

Sheet No.  
**G110**





REVISIONS table with columns: NO, BY, DATE, DESCRIPTION

811 logo and text: BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA! CALL 1-800-242-1776

J.B. ANDERSON logo and text: PROFESSIONAL ENGINEER

PROJECT LOCATION

CONSTRUCTION DOCUMENTS FOR REBUILD - VINCENT G. PANATI PLAYGROUND

3101-27 N. 22ND STREET W. LIPPINCOTT & N. 22ND STREETS CITY OF PHILADELPHIA PENNSYLVANIA, 19132

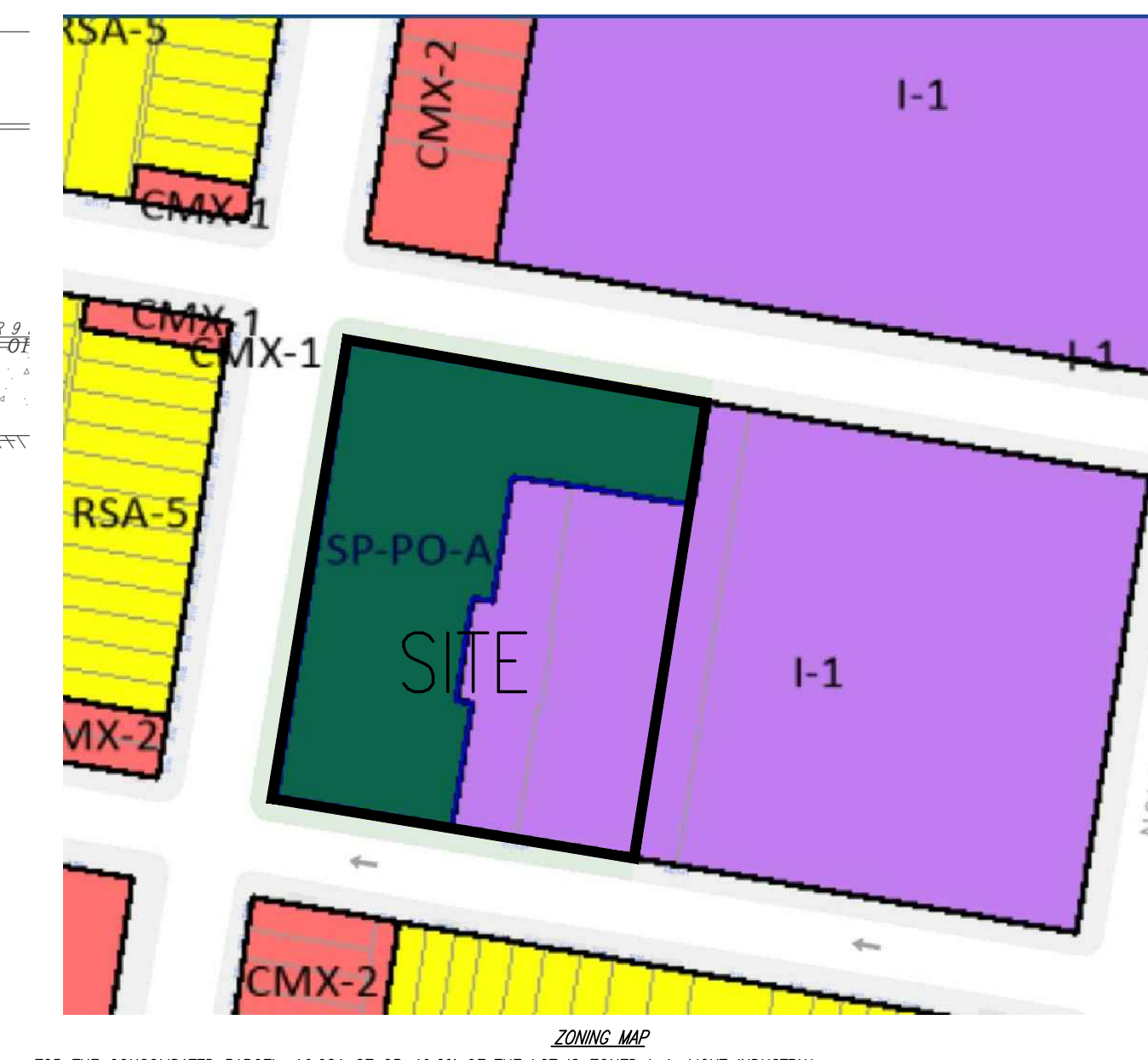
PREPARED FOR: CITY OF PHILADELPHIA

TITLE

SITE PLAN

Table with columns: PROJ. NO, DATE, DRN BY, CHK BY

REVISION 3



FOR THE CONSOLIDATED PARCEL: 16,281 SF OR 40.2% OF THE LOT IS ZONED I-1, LIGHT INDUSTRIAL. 24,219 SF OR 59.8% OF THE LOT IS ZONED SP-PO-A, ACTIVE PARKS AND OPEN SPACE (SPECIAL PURPOSE). ALL PROPOSED IMPROVEMENTS ARE LOCATED WITHIN THE SP-PO-A ZONING DISTRICT.

GENERAL NOTES:

- 1. THIS PLAN REFERENCES A SURVEY BY: CORNERSTONE CONSULTING ENGINEERING & ARCHITECTURAL, INC. 213 W. MAIN STREET, SUITE 201, LANSDALE, PA 19446...

LANDSCAPE ZONING CODE COMPLIANCE CHART

- 1. SECTION 14-705(1)(d) - LANDSCAPING BETWEEN DIFFERENT ZONING DISTRICTS - N/A AS THE ABUTTING LOT IS NOT ZONED RESIDENTIAL

Table with columns: MINIMUM LOT REQUIREMENTS, RSA-5 REQUIRED, I-1 REQUIRED, PROPOSED. Rows include MIN. LOT WIDTH, MIN. LOT AREA, MAX OCCUPIED AREA, etc.

- 1-1 NOTES: [3] WHERE THE LOT ABUTS A RESIDENTIAL DISTRICT, FRONT YARDS, SIDE YARDS, AND REAR YARDS SHALL BE PROVIDED ON THE LOT ON THE SIDES ABUTTING THE RESIDENTIAL DISTRICTS...

- 7. NO PARKING IS PROPOSED.

- 8. NO BICYCLE PARKING IS REQUIRED AS THE GFA IS LESS THAN 7,500 SF.

- 9. THIS PLAN IS TO BE USED FOR GRAPHICAL REPRESENTATION OF THE PHYSICAL FEATURES OF THE PROPERTY AND NOT TO BE USED FOR CONSTRUCTION.

- 10. THE WORD "CERTIFY" OR "CERTIFIED" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS PLAN AND REFERENCED SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

- 11. THE DRAWING IS PREPARED BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPIING, RECORDING OR BY ANY OTHER MEANS, OR STORED, REPRODUCED, OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF THE SURVEYOR, ENGINEER, ARCHITECT, OR DESIGN PROFESSIONAL.

- 12. BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN FEMA FLOOD MAP - OTHER AREAS / ZONE X, PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, PHILADELPHIA COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)," MAP NUMBER 407570095G, EFFECTIVE JANUARY 17, 2007.

- 13. THE APPLICANT IS PROPOSING TO CONSTRUCT A 1-STORY WITH MEZZANINE LEVEL, COMMUNITY CENTER ALONG WITH ASSOCIATED SITE IMPROVEMENTS.

- 14. THE WATERSHED FOR THE SITE IS THE SCHUYLKILL RIVER.

- 15. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS SUPPLIED THROUGH THE PA ONE CALL SYSTEM WHICH WERE AVAILABLE AT THE TIME OF THE SURVEY.

- 16. THE ENTIRE SITE CONTAINS UG - URBAN LAND SOIL (PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY).

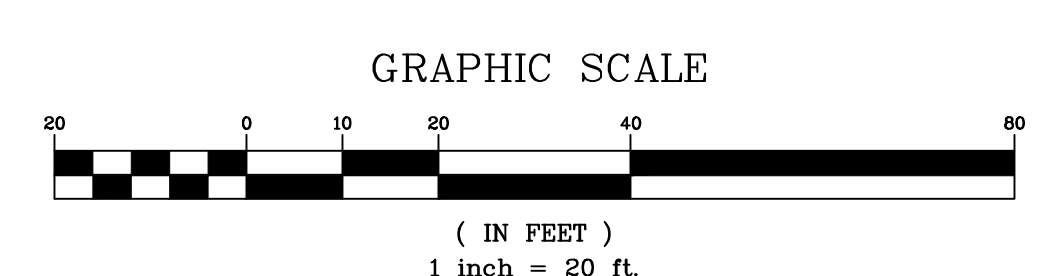
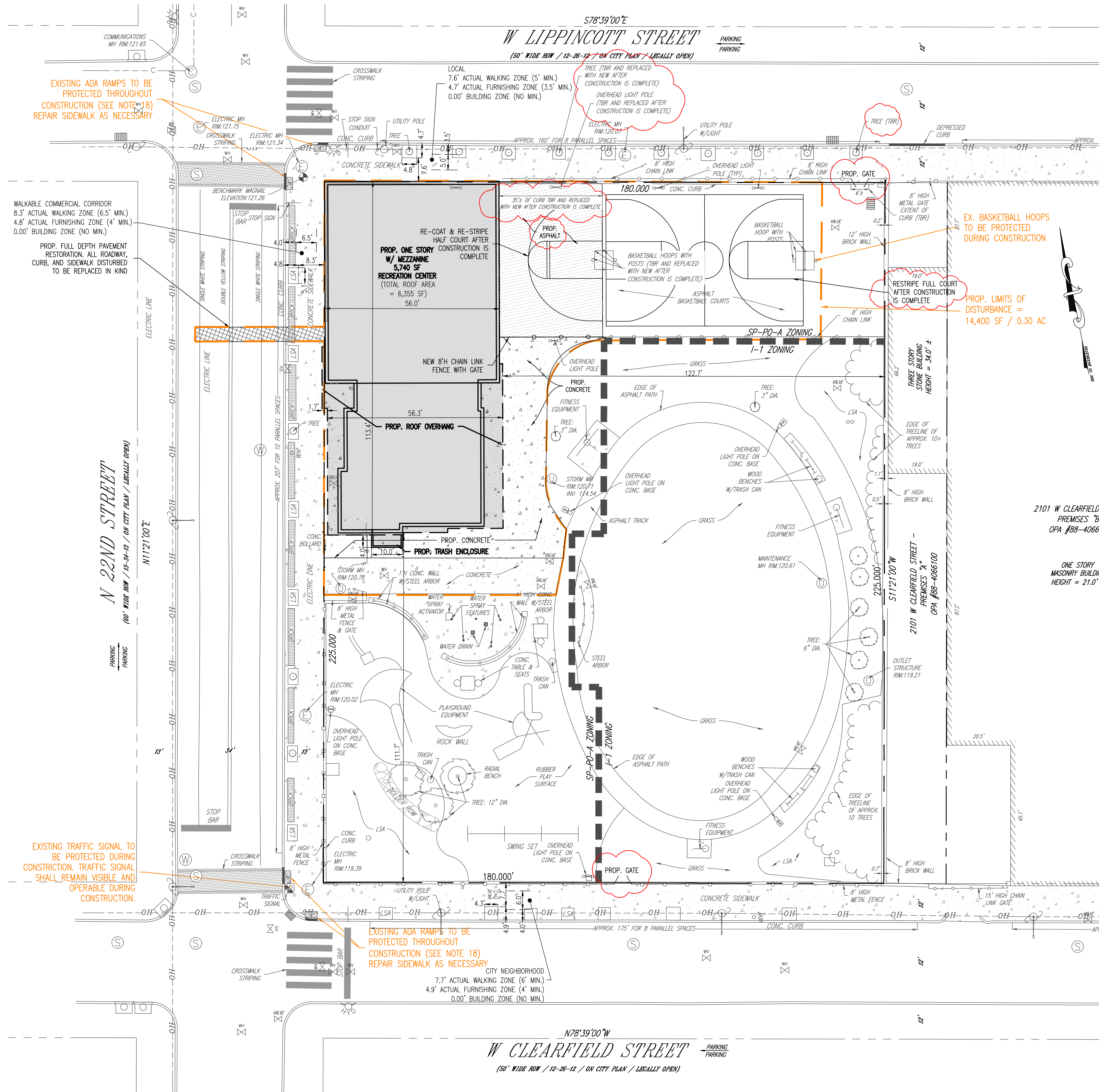
- 17. THE ACCEPTABLE CONSTRUCTION SPECIFICATIONS OF THE PHILADELPHIA STREETS DEPARTMENT, AS LISTED IN THE RIGHT OF WAY IMPROVEMENT STANDARD, CHAPTER 1. STANDARD NOTES PER THE CITY STREETS DEPARTMENT FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

- A. ALL PROPOSED CURB AND FOOTWAY CONSTRUCTION AND ROADWAY RESTORATION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL NO. SC0101.

- B. ALL PROPOSED BICYCLE RACKS WITHIN THE RIGHT-OF-WAY SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAILS FZ0101A, FZ0101B, AND FZ0101C.

- C. ADDITIONALLY, THE ACCEPTABLE CONSTRUCTION SPECIFICATIONS OF THE PHILADELPHIA STREETS DEPARTMENT ARE THE FOLLOWING: - CONSTRUCTION ITEMS: PENNDOT PUB. 408 CONSTRUCTION SPECIFICATIONS (MOST CURRENT EDITION)

- 18. THE EXISTING ADA RAMP AT THE SITE'S CORNERS OF N 22ND STREET / W CLEARFIELD STREET AND N 22ND STREET / W LIPPINCOTT STREET ARE CURRENTLY ADA COMPLIANT.



LEGEND & ABBREVIATIONS table with symbols for property boundary, building area, etc.

LIST OF DRAWINGS: SHEET TITLE table with columns: SHEET, TITLE

1 inch = 20 ft.



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Consulting Engineers & Design Services, Inc.

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WWW.CORNERSTONEINC.COM

Pocotico Region  
570-839-1770

Lehigh Valley Region  
610-620-8200

Philadelphia Region  
215-362-2600

NO.	BY	DESCRIPTION	DATE
1	RL	REVISED PER STREET'S COMMENTS	02/19/2024
2	RL	REVISED PER STREET'S COMMENTS	02/26/2024
3	GW	BID ADDENDUM 2	03/01/2024

PENNSYLVANIA  
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PENNSYLVANIA LICENSE No. PE 953536  
MONTGOMERY LICENSE No. 2017  
NEW JERSEY LICENSE No. 24604970400  
PHILADELPHIA LICENSE No. 000510575

**PROJECT LOCATION**  
CONSTRUCTION DOCUMENTS FOR  
REBUILD - VINCENT G. PANATI  
PLAYGROUND

3101-27 N. 22ND STREET  
W. LIPPINCOTT ST. & N. 22ND STREETS  
CITY OF PHILADELPHIA  
PENNSYLVANIA, 19132

PREPARED FOR:  
CITY OF PHILADELPHIA

TITLE

EXISTING  
CONDITIONS PLAN

PWD SW TRACKING NO. F724-PANA-7562-01	PROJ. # 23-0501	DATE 1/18/2024
CAD ID 23-0501	DRN BY MD	SCALE AS NOTED
	CHK BY JBA	

C1.2  
REVISION 3

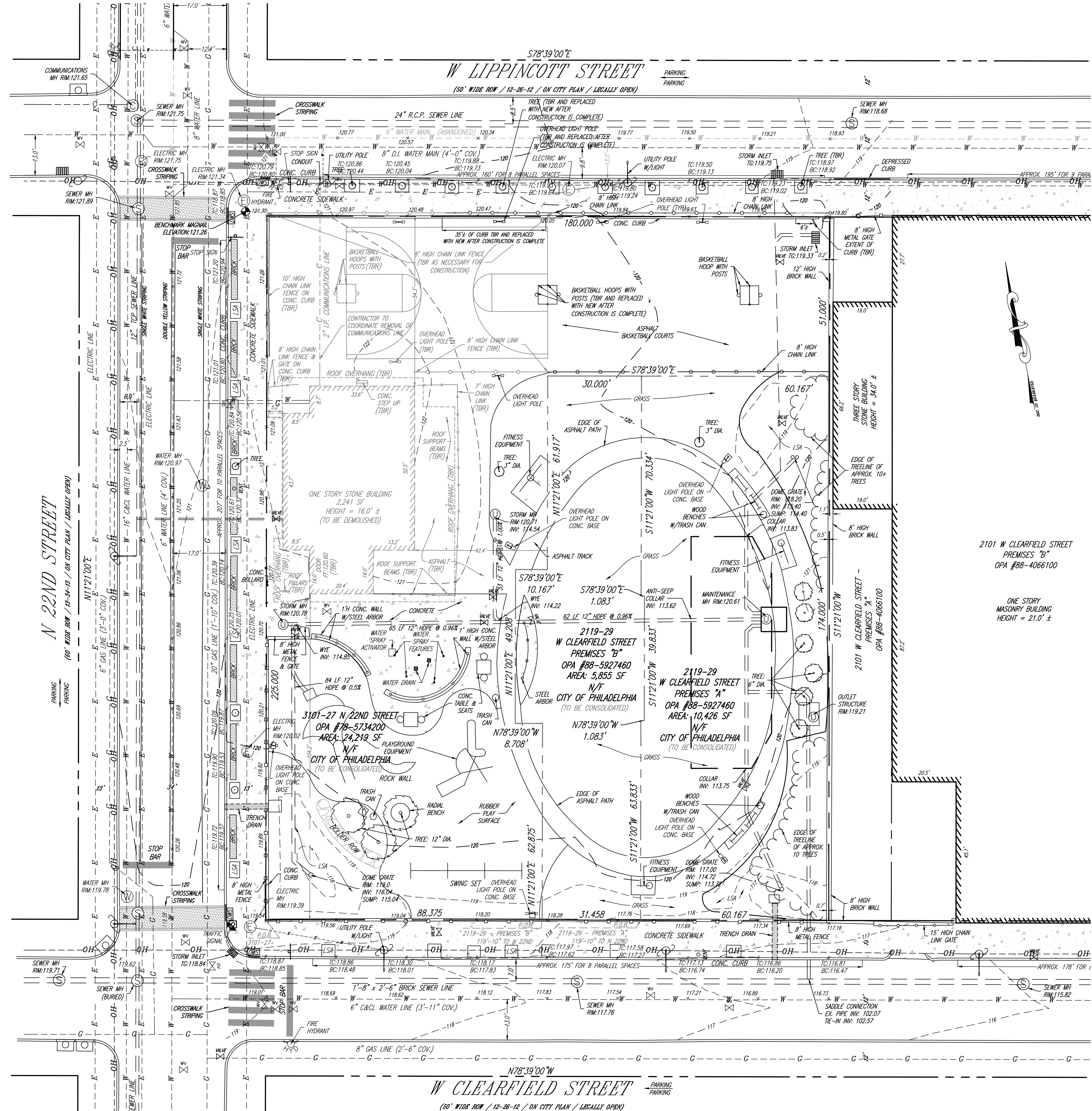
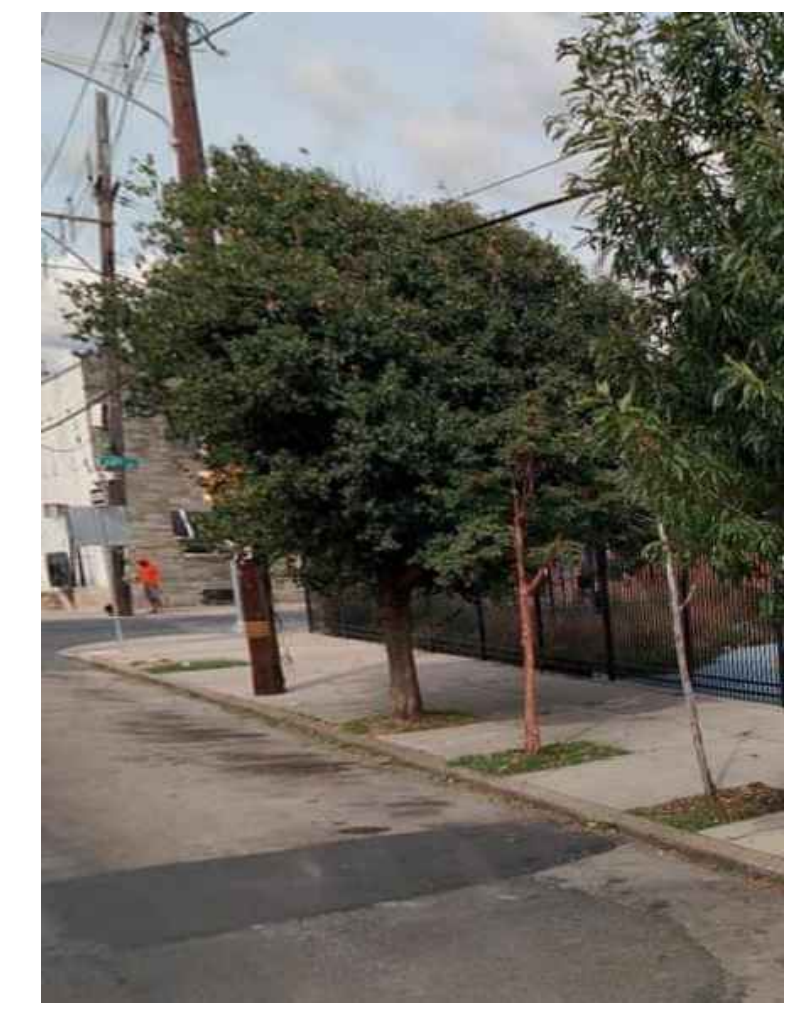
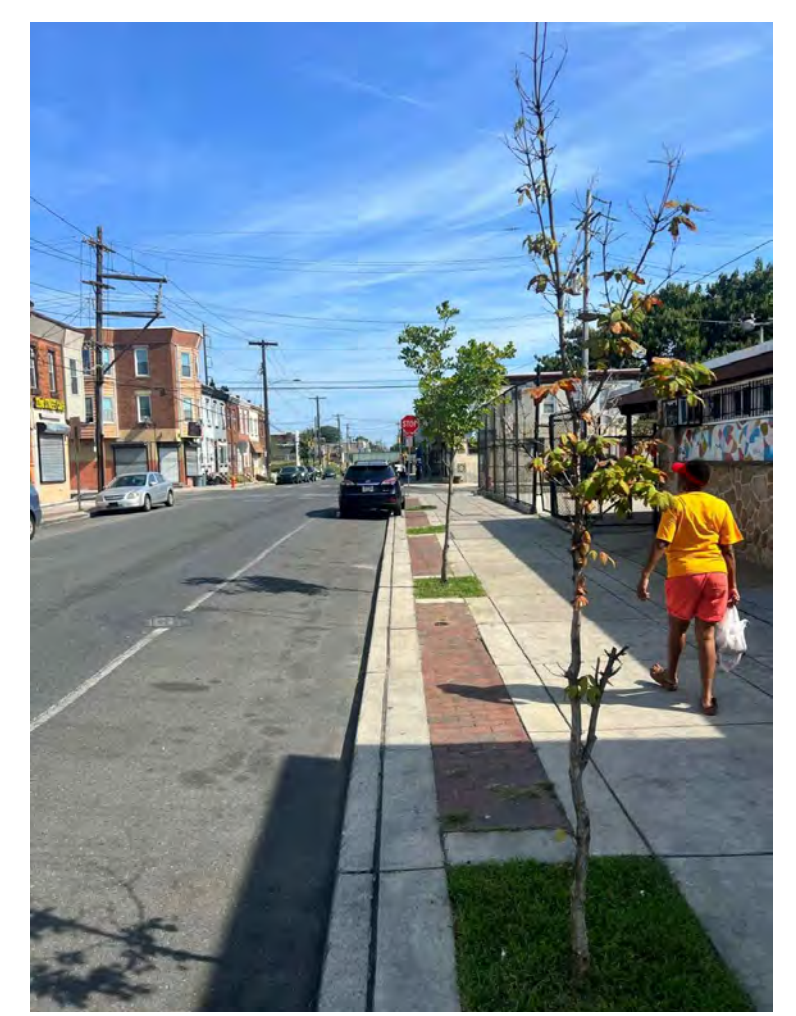
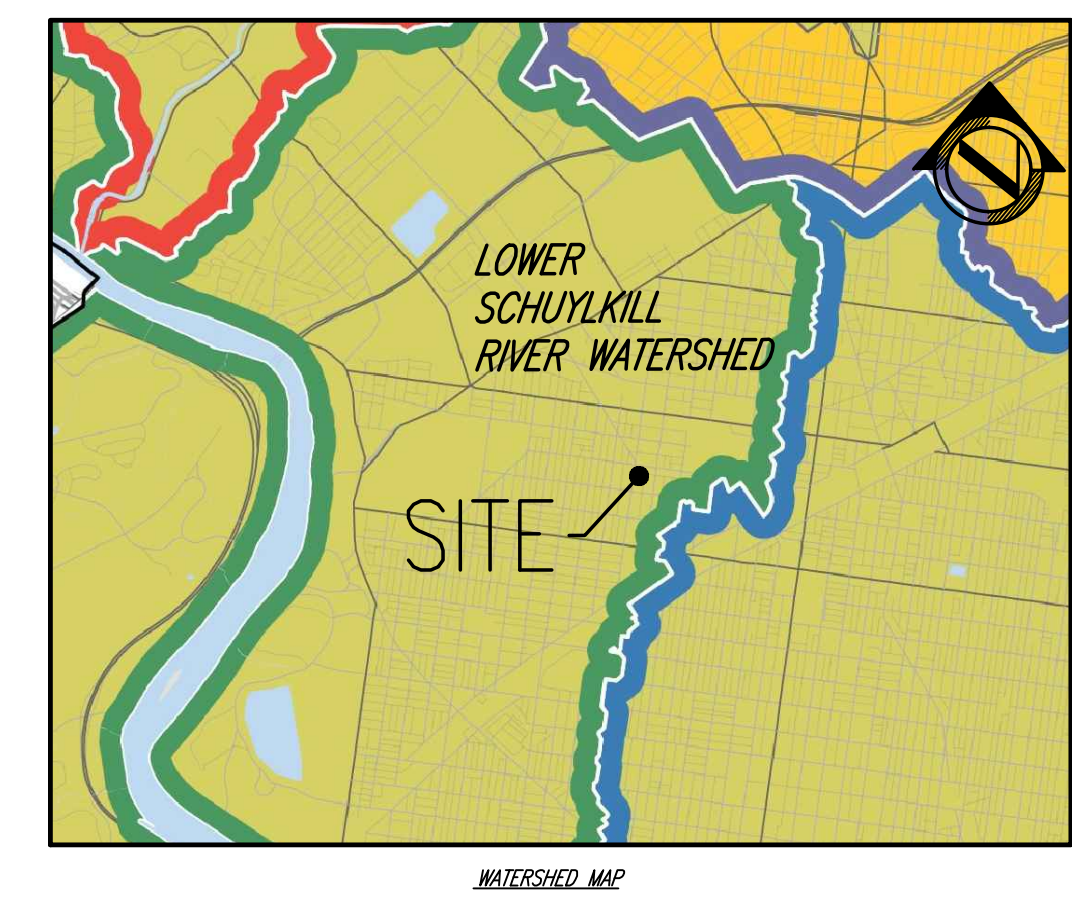
**GENERAL NOTES:**

- THIS PLAN REFERENCES A SURVEY BY: CORNERSTONE CONSULTING ENGINEERING & DESIGN SERVICES, INC. 213 W. MAIN STREET, SUITE 201, LANSDALE, PA 19380. PLAN ENTITLED: "BOUNDARY/LOCATION AND TOPOGRAPHIC SURVEY" PLAN DATED: 08/24/2023.
- OWNER/APPLICANT: CITY OF PHILADELPHIA 1515 ARCH STREET, 10TH FLOOR, PHILADELPHIA PA 19102. CONTACT: ANNA PALANING, DEPUTY COMMISSIONER OF CAPITAL INFRASTRUCTURE. PH: 215.683.0202. E-MAIL: Apalana.Palaning@phila.gov
- PROJECT LOCATION INFORMATION: 3101-27 N. 22ND STREET (OPA #78-5734200) 2119-29 W. CLEARFIELD STREET (OPA #88-5927460) \*PROPOSED LOT CONSOLIDATION
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN FIELD LOCATED. ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD ARE SHOWN. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, AND THE MAPS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CORNERSTONE CONSULTING ENGINEERS AND ARCHITECTURAL, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. SURVEY & TOPOGRAPHIC INFORMATION SHOWN HEREON DERIVED FROM A FIELD SURVEY PERFORMED BY CORNERSTONE CONSULTING IN AUGUST, 2023.
- ELEVATIONS ARE BASED UPON CITY PLAN (SEE REFERENCE #3)
- SITE BENCHMARK IS MAG NAIL SET, ELEVATION = 121.26' TO ENSURE THAT THERE HAS BEEN NO ALTERATION OF THE SURVEY BENCHMARK SINCE THE TIME OF THE FIELD SURVEY, IT IS RECOMMENDED THAT THE CONTRACTOR ESTABLISH A CONSTRUCTION BENCHMARK BASED ON THE SURVEY BENCHMARK AND ELEVATIONS OF OTHER EXISTING IMPROVEMENTS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND SUBJECT THERETO.
- SUBJECT TO ANY AND ALL EASEMENTS OF RECORD WHETHER SHOWN HEREON OR NOT.
- NO EVIDENCE OF STORM WATER IMPONDMENT WAS FOUND ON THIS SITE OR ON ADJACENT PROPERTIES.
- BY GRAPHICAL PLOTTING ONLY THIS PROPERTY IS LOCATED IN FEMA FLOOD MAP - OTHER AREAS/ZONE X. (SEE MAP REFERENCE #2).
- BOUNDARY RESOLUTION BASED ON FOUND EVIDENCE AND OTHER REFERENCE MATERIALS AS LISTED HEREON AVAILABLE AT THE TIME OF SURVEY.
- THE WATERSHED FOR THE SITE IS THE LOWER SCHUYLKILL WATERSHED.
- THE APPLICANT IS PROPOSING TO CONSTRUCT A 1-STORY RECREATION CENTER WITH ASSOCIATED SITE IMPROVEMENTS.

**REFERENCES:**

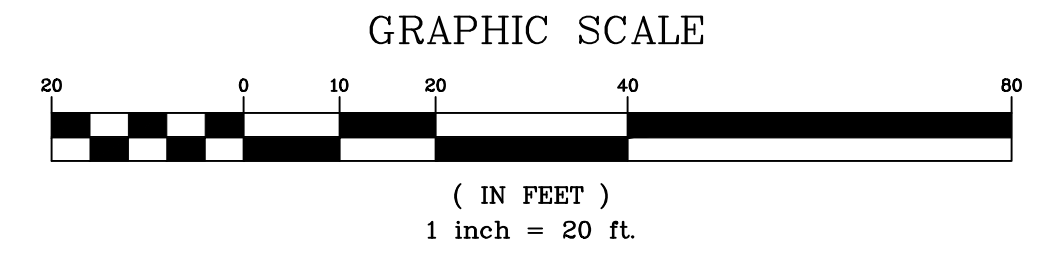
- TAX MAPS OF PHILADELPHIA COUNTY, COMMONWEALTH OF PENNSYLVANIA.
- MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, PHILADELPHIA COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)," PANEL NOT PRINTED, MAP NUMBER 4207570956, EFFECTIVE JANUARY 17, 2007.
- COMPILATION OF CITY PLAN NO. 128 PROVIDED BY THE CITY OF PHILADELPHIA.
- LEGAL STATUS CARDS TITLED IN PART FOR CLEARFIELD STREET - LC007494, 22ND STREET - LC001232, LIPPINCOTT STREET - LC014105, AND 21ST STREET - LC001173.

PA ONE CALL SERIAL NO: 2023273390



**LEGEND & ABBREVIATIONS**

	PROPERTY BOUNDARY		EXISTING DEPRESSED CURB (DC)		GAS METER
	ADJOINER BOUNDARY		EXISTING SIGN		WATER METER
	RIGHT OF WAY LINE		EXISTING UTILITY POLE (UP)		TRAFFIC SIGNAL BOX
	BUILDING SETBACK LINE		CONDUIT - TRANSFORMER		ELECTRIC VAULT
	EXISTING CONTOUR		LIGHT - METER - BOX		GAS VALVE
	EXISTING SPOT ELEVATION		CABLE WIRE		WATER VALVE
	EXISTING TREELINE		LANDSCAPE AREA		CLEAN OUT
	EXISTING FENCE		LAMP POST		MONITORING WELL
	EXISTING OVERHEAD WIRE		STORM MANHOLE		CONCRETE MONUMENT FOUND
	APPROXIMATE GAS LINE		SANITARY MANHOLE		IRON PIN FOUND
	APPROXIMATE WATER LINE		COMMUNICATION MANHOLE		NAIL FOUND
	APPROXIMATE TELCO LINE		ELECTRIC MANHOLE		STONE FOUND
	APPROXIMATE ELECTRIC LINE		WATER MANHOLE		BENCHMARK
	APPROXIMATE SANITARY LINE		UNKNOWN MANHOLE		
	APPROXIMATE DRAINAGE LINE		TANK LID		
	EXISTING CURB		STORM INLET		





PROJECT GENERAL NOTES:

- 1. ENGINEER NAME: JOHN B. ANDERSON, P.E. CORNERSTONE CONSULTING ENGINEERS & ARCHITECTURAL INC. 213 W. MAIN STREET, SUITE 201, LANSDALE, PA 19106 PH: 215-362-2600 E-MAIL: JANDERSON@CORNERSTONEINC.COM

UTILITY NOTES

- GENERAL NOTES 1. COORDINATE LOCATIONS AND THE IN POINTS OF PROPOSED MECHANICAL AND ELECTRICAL SYSTEMS WITH THE APPROPRIATE CONSULTANTS PLANS, AND / OR THE APPROPRIATE GOVERNMENTAL AGENCY HAVING JURISDICTION AT THE TIME OF CONSTRUCTION.

SANITARY SEWER NOTES

- 1. SANITARY SEWER LINES SHALL BE CIP. 2. ALL SANITARY SYSTEM MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS.

WATER NOTES

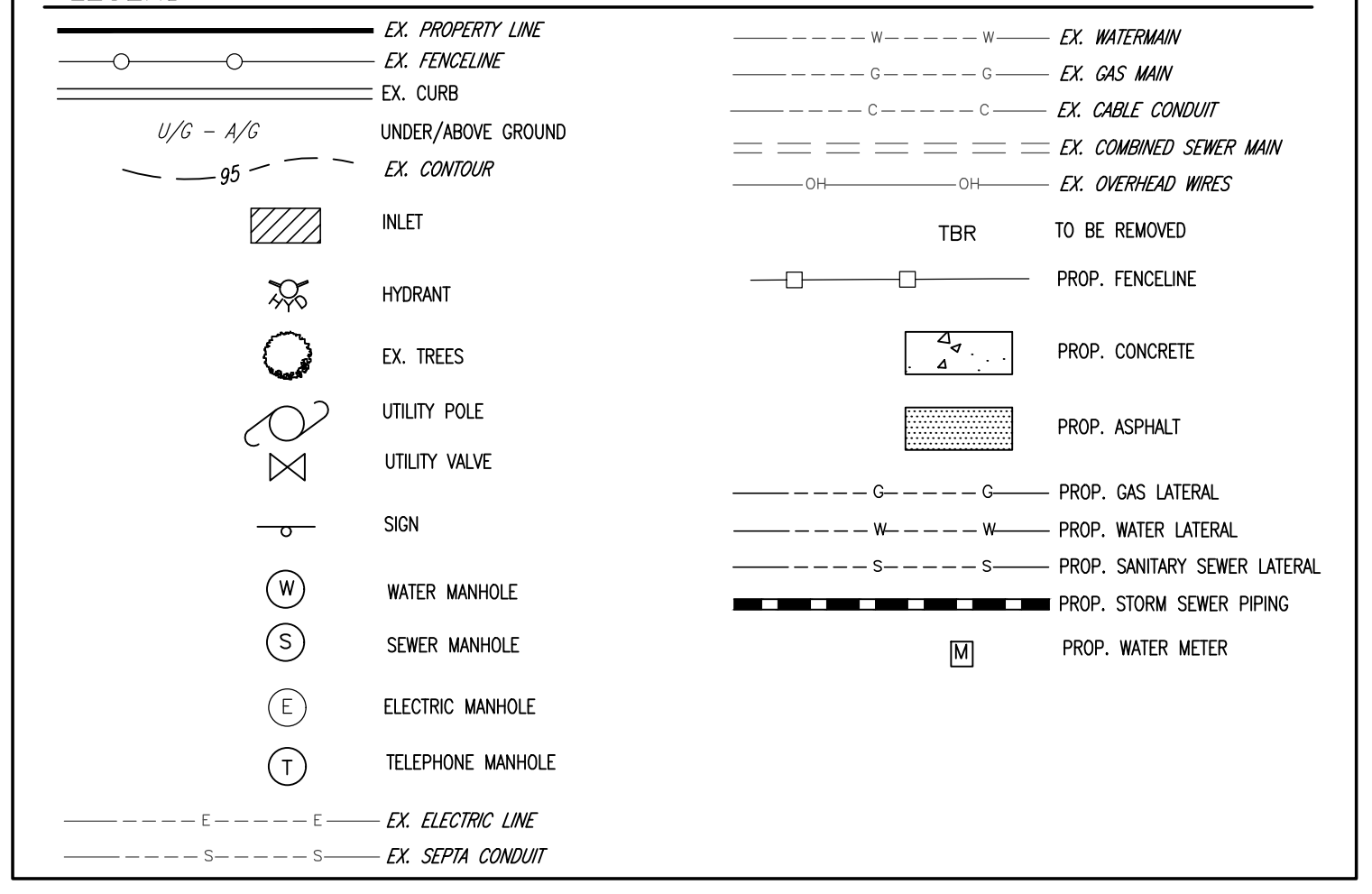
- 1. ALL WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY SPECIFICATIONS. 2. LOCATION OF EXISTING WATER FACILITIES SHOWN ARE APPROXIMATE. ANY UTILITIES NOT SHOWN, OR NOT LOCATED AS SHOWN, SHALL NOT BE THE CAUSE OF THE CONTRACTOR TO DENY RESPONSIBILITY FOR PROTECTION AND/OR REPAIR DURING CONSTRUCTION.

STANDARD GSI PLAN NOTES

- THE STANDARD PLAN NOTES BELOW SHOULD TYPICALLY BE PROVIDED TO THE DEVELOPER FOR PROJECTS THAT ARE NOT REQUIRED TO GO THROUGH THE PRIVATE COST PROCESS.

PWD TRACKING NO: UPR-FY24-NTHS-6267

LEGEND



578'39"00"E W LIPPINCOTT STREET (50' WIDE ROW / 12-26-12 / ON CITY PLAN / LEGALLY OPEN)

N78'39"00"W W CLEARFIELD STREET (50' WIDE ROW / 12-26-12 / ON CITY PLAN / LEGALLY OPEN)

2101 W CLEARFIELD STREET PREMISES 'A' OPA #88-4066100

ONE STORY MASONRY BUILDING HEIGHT = 21.0' ±

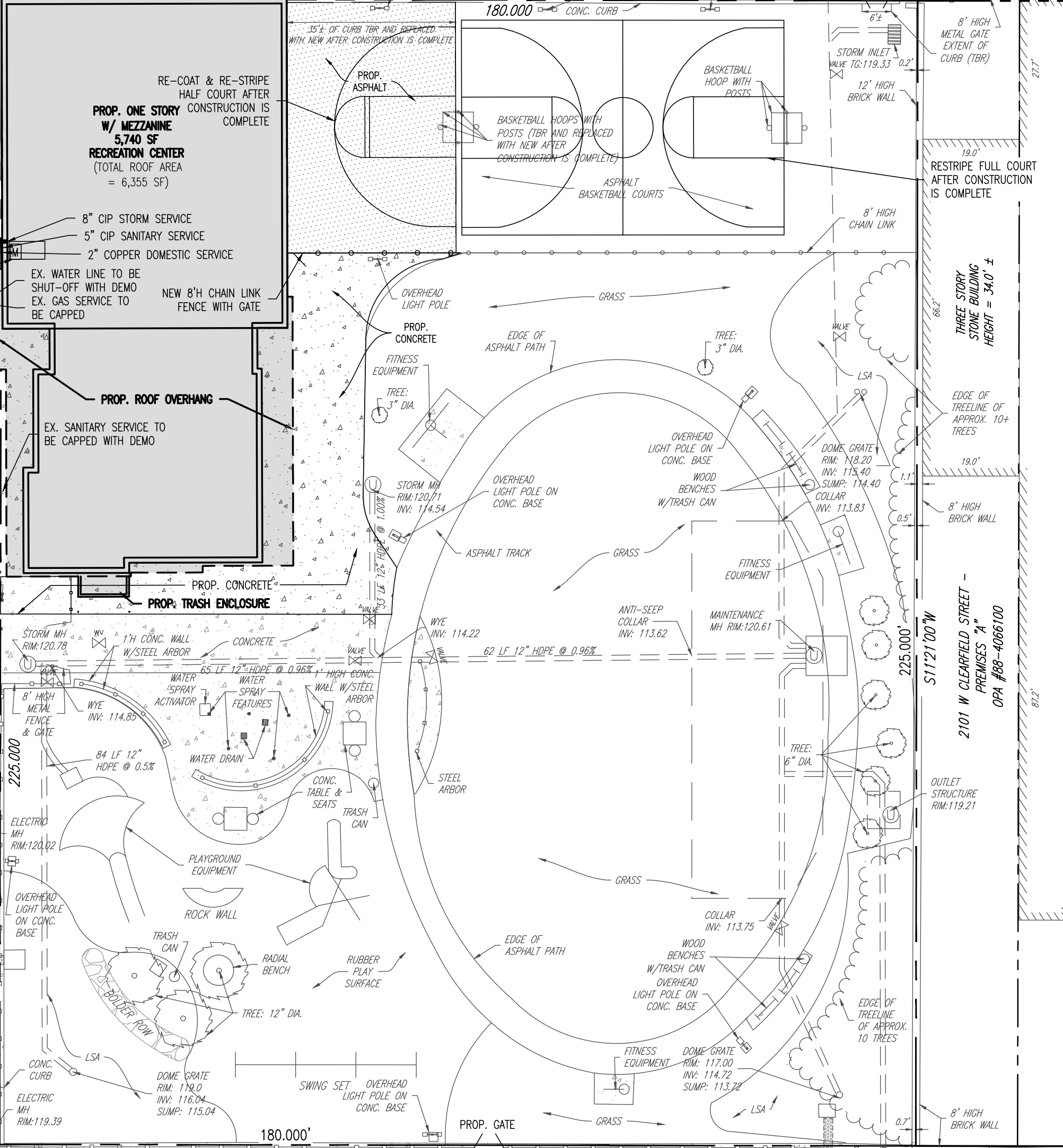
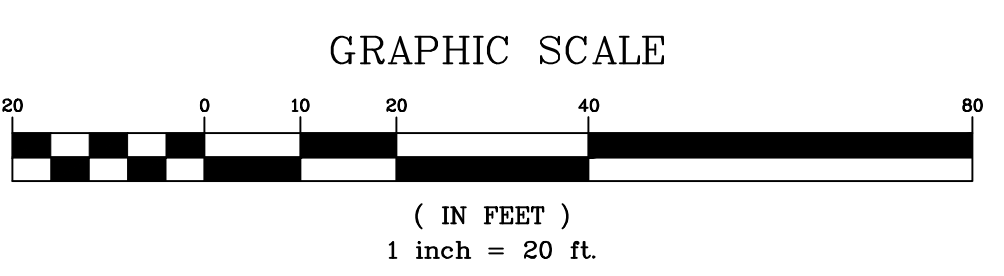


Table with columns: I.D., ADDRESS, TYPE, SIZE, MATERIAL, CONNECTION MAIN, COMMENTS. Rows include S1, S2, D1.

\*ALL UTILITIES TO BE COORDINATED WITH ARCHITECT/MEP DRAWINGS.







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REVISIONS

NO	BY	DESCRIPTION	DATE
1	RL	REVISED PER STREET COMMENTS	02/19/2024
2	RL	REVISED PER STREET COMMENTS	02/26/2024
3	GW	BID ADDENDUM 2	03/01/2024

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PROJECT LOCATION  
CONSTRUCTION DOCUMENTS  
FOR  
REBUILD - VINCENT G. PANATI  
PLAYGROUND

3101-27 N. 22ND STREET  
W. LIPPINCOTT & N. 22ND STREETS  
CITY OF PHILADELPHIA  
PENNSYLVANIA, 19132

PREPARED FOR:  
CITY OF PHILADELPHIA

TITLE

EROSION & SEDIMENTATION CONTROL PLAN

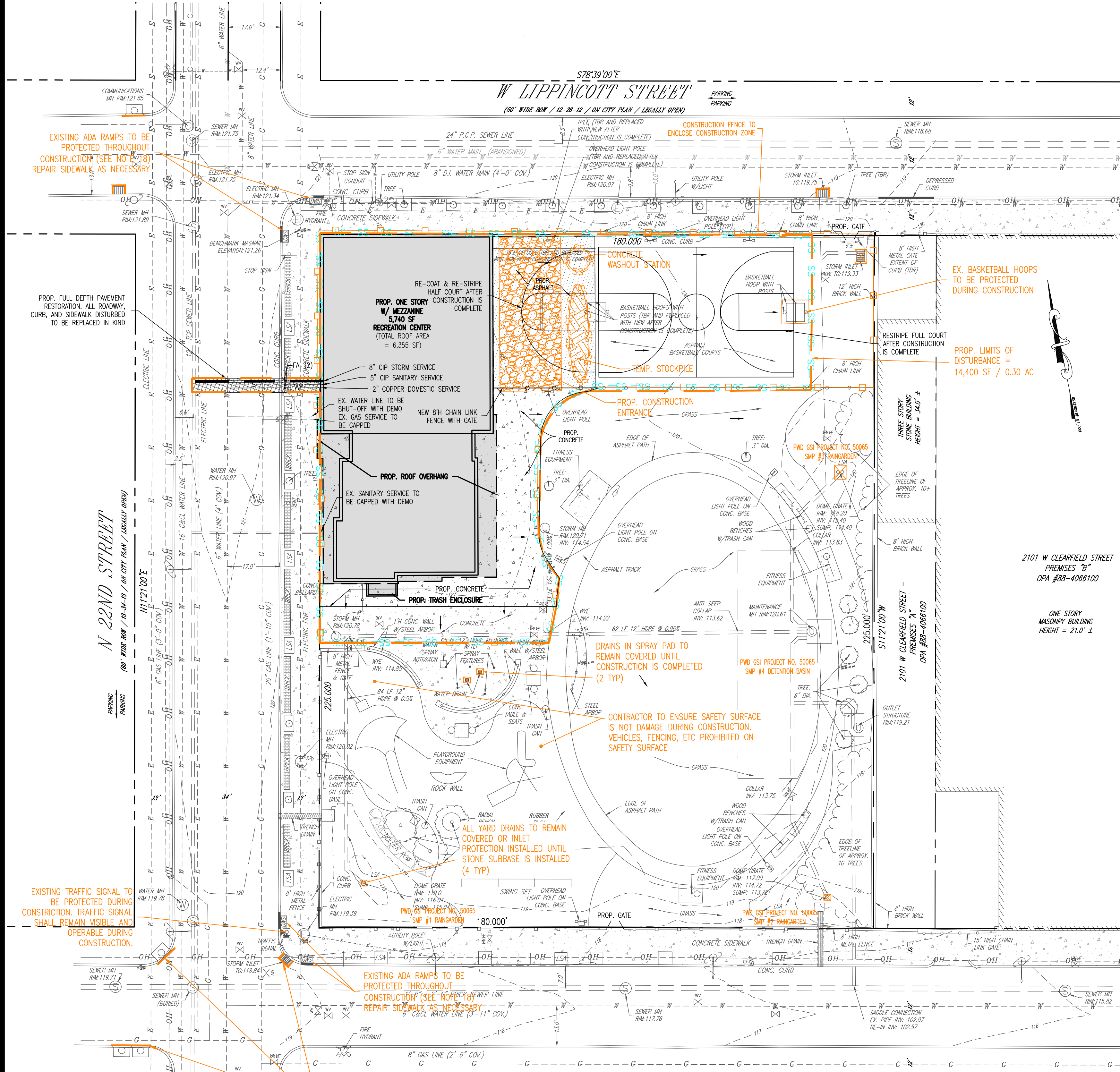
PWD SW TRACKING NO. F124-PANA-7562-01

PROJ. #	24-0901	DATE	1/18/2024
CAD ID	23-0901	DRN BY	MD
SCALE	AS NOTED	CHK BY	JB

C1.4  
REVISION 3

SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
3. PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL CITY-OWNED INFRASTRUCTURE IS FUNCTIONING PROPERLY.
4. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
5. THE MAXIMUM HEIGHT FOR STOCKPILE AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.
6. THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED OPEN FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED SURFACES SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
7. FILTER FABRIC FENCE SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPWARD AT 45 DEGREES TO THE MAIN BARRED ALIGNMENT. SUPPORT STAKES SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FILTER FABRIC.
8. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TORN MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
9. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3:1:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND THE CITY OF PHILADELPHIA IMMEDIATELY.
11. UNTIL THE SITE IS STABILIZED, ALL E&S BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMPs PRIOR TO ANY STABILIZED STORM EVENT, AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RESEEDING, REEMULCHING, AND RETENING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
12. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
13. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES OR EXPANDING INTO AN AREA PREVIOUSLY MARKED, THE GENERAL CONTRACTOR SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE AT THE DISCRETION OF PWD AND THE CITY OF PHILADELPHIA WILL BE PERMITTED.
15. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REVEAL TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
16. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STATE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
17. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
18. A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.
19. ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE FOLLOWING MANNER: SEDIMENT TO BE RETURNED TO SITE LANDSCAPE AREAS.
20. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES - SIX TO TWELVE INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.
21. ALL FILLS SHALL BE PLACED ON SATURATED OR FROZEN SUBSTRATE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
22. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS.
23. FILL MATERIALS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS. FILL MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
24. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
25. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SUBSTRATE.
26. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
27. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN INCOMPLETE BACKFILL AND ROCK FILLS NEED NOT BE VEGETATED. SEIZED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
28. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS WITHIN 60 DAYS. STABILIZATION SHALL BE PERFORMED BY SEEDING, MULCHING, OR OTHER RELATED ACTIVITIES DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
29. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
30. E&S BMPs SHALL REMAIN FUNCTIONAL AS LONG AS THEY ARE NECESSARY TO PROTECT THE SITE FROM EROSION. PERMANENTLY STABILIZED AREAS ARE TO BE REPLACED BY ANOTHER BMP APPROVED BY PWD AND PA DEP.
31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT E&S BMPs. CONSTRUCTION MANAGEMENT PRACTICES AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
32. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS (WHEN APPLICABLE).
33. DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE P&MP APPROVED BY PWD. NO CHANGE OR DEVIATION FROM THE APPROVED P&MP IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD.
34. ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER CONVEYANCE AND CORROSION CONTROL SPECIFICATIONS, 1985 EDITION, AND STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS, 1985 EDITION.
35. CONTACT PWD WATER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR, PHONE: 215-685-6271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED PWD FACILITIES.
36. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 280.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
37. A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING OR STRUCTURE THAT IS MORE THAN THREE (3) STORES, GREATER THAN FORTY (40) FEET TALL, OR ENCOMPASSES MORE THAN TEN THOUSAND (10,000) SQUARE FEET; COMPLETELY OR PARTIALLY DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLOSION; OR ENGAGING IN EARTHWORKS, DEFINED AS "CLEARING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND IN EXCESS OF 5,000 SQUARE FEET."
38. UTILITY LINE TRENCH EXCAVATION NOTES  
A. LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.  
B. WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.  
C. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.  
D. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.  
E. WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.  
F. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOUR AND IMMEDIATELY STABILIZED.
39. IMPORTING AND/OR EXPORTING OF FILL IS NOT ANTICIPATED FOR THE PROPOSED CONSTRUCTION OF THE SITE. HOWEVER, IF IT IS LATER DETERMINED NECESSARY FOR THE SITE TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, INCLUDING THE POTENTIAL OF A SPILL OR RELEASE OF A REGULATED SUBSTANCE, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE RESTS ON THE APPLICANT.  
ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258-2182-773.  
CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECONSIDERED AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.  
ENVIRONMENTAL DUE DILIGENCE INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, HISTORY OF PROPERTY USE, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUSCEPTIBLE TO SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL".  
FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.  
40. CONSTRUCTION FENCING TO BE CHAIN LINK FENCE WITH PEG END/LINE STABILIZED BRACKET. NO DIGGING OR EARTH DISTURBANCE REQUIRED.



LEGEND & ABBREVIATIONS

- |           |                            |   |                       |           |   |
|-----------|----------------------------|---|-----------------------|-----------|---|
| — 95 —    | PROPERTY BOUNDARY          | ⊙ | SEWER MANHOLE         | — — — — — | PROPOSED LIMIT OF DISTURBANCE BOUNDARY LINE |
| — 95 —    | EXISTING CONTOUR           | ⊙ | COMMUNICATION MANHOLE | ▭         | PROP. BUILDING AREA                         |
| — 95 —    | EXISTING SPOT ELEVATION    | ⊙ | ELECTRIC MANHOLE      | ▭         | PROP. CONCRETE AREA                         |
| — OH —    | EXISTING OVERHEAD WIRE     | ⊙ | WATER MANHOLE         | ▭         | PROP. ASPHALT AREA                          |
| — G —     | APPROXIMATE GAS LINE       | ⊙ | STORM INLET           | ▭         | DRAINAGE FLOW                               |
| — W —     | APPROXIMATE WATER LINE     | ⊙ | UTILITY VALVE         | ▭         | TEMPORARY CONSTRUCTION ENTRANCE             |
| — C —     | APPROXIMATE CABLE LINE     | ⊙ | HYDRANT               | ▭         | SILT SOX                                    |
| — E —     | APPROXIMATE ELECTRIC LINE  | ⊙ | LANDSCAPE AREA        | ▭         | TEMPORARY TOPSOIL STOCKPILE                 |
| — — — — — | EXISTING SEWER MAIN        | ⊙ | PROP. STORM LATERAL   | ▭         | CONSTRUCTION FENCE                          |
| — — — — — | EXISTING SIGN              | ⊙ |                       |           |   |
| — — — — — | EXISTING UTILITY POLE (UP) | ⊙ |                       |           |   |

GRAPHIC SCALE

