

VICINITY MAP
1" = 2000'
TOOKANY/TACONY-FRANKFORD CREEK WATERSHED
COMBINED SEWER SERVICE AREA
FLOOD MANAGEMENT DISTRICT B-1

REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	10% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

SCALE

DEMO LEGEND

AREA TO BE REMOVED

BIT./ CONCRETE PAVEMENT

REMOVE FEATURE

LIMIT OF DISTURBANCE AND PROJECT SITE BOUNDARY

IMPERVIOUS TO BE REMOVED/REPLACED

PROPOSED SIDEWALK MILLING AND OVERLAY

EXISTING LEGEND

BUILDING

CONCRETE CURB

MAJOR CONTOUR LINE

MINOR CONTOUR LINE

GAS LINE

POTABLE WATER

SANITARY SEWER

STORM SEWER

TELECOMMUNICATION CONDUIT

ELECTRIC CONDUIT

FENCE

UNKNOWN MANHOLE

TELEPHONE MANHOLE

SANITARY MANHOLE

STORM MANHOLE

STORM/SANITARY MANHOLE

ELECTRIC MANHOLE

WATER MANHOLE

WATER VALVE

GAS VALVE

UNKNOWN VALVE

SEWER VENT

FIRE HYDRANT

UTILITY POLE/STREET LIGHT

LIGHT POLE

TRAFFIC LIGHT

SIGN

TREE

UNDER GROUND STORAGE TANK

CITY INLET

GRATE INLET

OMG INLET

PROPERTY LINE

EASEMENT LINE

- GENERAL NOTES:
- EXISTING TOPOGRAPHY AND OTHER SURFACE INFORMATION BASED ON FIELD SURVEY CONDUCTED BY KS ENGINEERS IN OCTOBER 2021. VERTICAL DATUM: PHILADELPHIA CITY DATUM. CONTROLLING BENCHMARK HYDRANT RIM LOCATED ON THE NORTHEAST CORNER OF DALKEITH ST. AND GERMANTOWN AVE. ELEV. = 108.96.
 - MERIDIANS AND BEARINGS ARE REFERENCED TO CITY PLAN NO. 171 DATED MARCH 31ST, 1971. LOT BEARINGS AND DISTANCES ARE SHOWN IN PHILADELPHIA DISTRICT STANDARD (D.S.). ALL OTHER DIMENSIONS ARE SHOWN IN U.S. SURVEY FEET.
 - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR ON THIS PLAN.
 - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
 - UNDERGROUND UTILITIES AS SHOWN HEREON, GAS ELECTRIC, TELEPHONE AND WATER ALIGNMENTS ARE BASED ON A "BEST FIT" OF UTILITIES PLANS PROVIDED BY UTILITY COMPANIES AND SURVEYED LOCATIONS OF EXISTING HARDWARE FEATURES SUCH AS VALVES AND MANHOLES.
 - THE ACCURACY REGARDING LOCATION AND DEPTH OF ALL UTILITIES CANNOT BE GUARANTEED PRIOR TO ANY DIGGING, DRILLING, TRENCHING OR OTHER EARTHMOVING ACTIVITIES. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS AT THE SITE. FOR INFORMATION REGARDING UTILITIES CONTACT PENNSYLVANIA ONE CALL 1-800-242-1776.
 - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
 - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE (SP-PO-A) ZONING DISTRICT.

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 460
Philadelphia, PA 19106
www.kseeng.com

ELECTRICAL AND PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE
EXISTING CONDITIONS PLAN

KSE PROJECT NO.	2471-02	DRAWING NO.	C-1.0
DATE	01.19.2024		
SCALE	1" = 30'-0"		
DRAWN BY	KSE		
CHECKED BY	RSB		

SOIL SYMBOL	SOIL DESCRIPTION	% OF SITE	RUNOFF CLASS	HYDRIC SOIL	SLOPE RANGE	DEPTH
Ub	URBAN-LAND	100.00%	VERY HIGH	NO	0-8%	0"-10"

LIMIT OF DISTURBANCE (LOD) SUMMARY TABLE		
TOTAL SITE AREA	96,462 S.F.	2.21 ACRES
LOD ON SITE	41,737 S.F.	0.958 ACRES
LOD IN R.O.W.	213 S.F.	0.005 ACRES
TOTAL LOD	41,950 S.F.	0.963 ACRES

ACT 187
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.
PENNSYLVANIA ONE CALL: 1-800-242-1776

PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA 19107 (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

PROTECT YOURSELF



WHAT YOU DON'T KNOW CAN HURT YOU.
CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE.
Pennsylvania One Call System, Inc.
1-800-242-1776

SITE LOCATION:
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

OPA ACCOUNT NO.:
132257005

PROPERTY OWNER:
CITY OF PHILADELPHIA

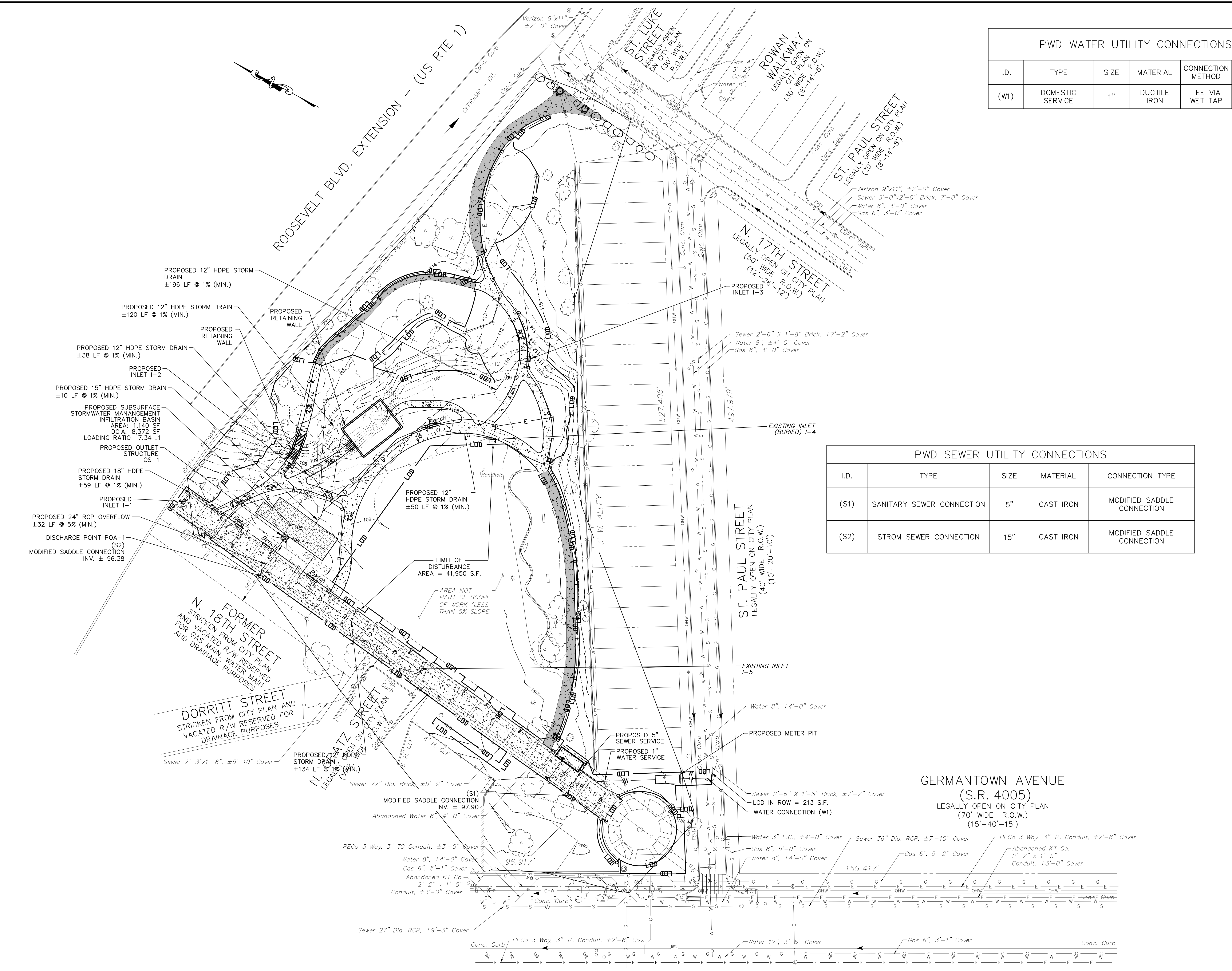
PROPERTY OWNER ADDRESS:
NICETOWN PARK
1401 JOHN F. KENNEDY BLVD
PHILADELPHIA, PA 19102-1617

APPLICANT:
GROUND RECONSIDERED

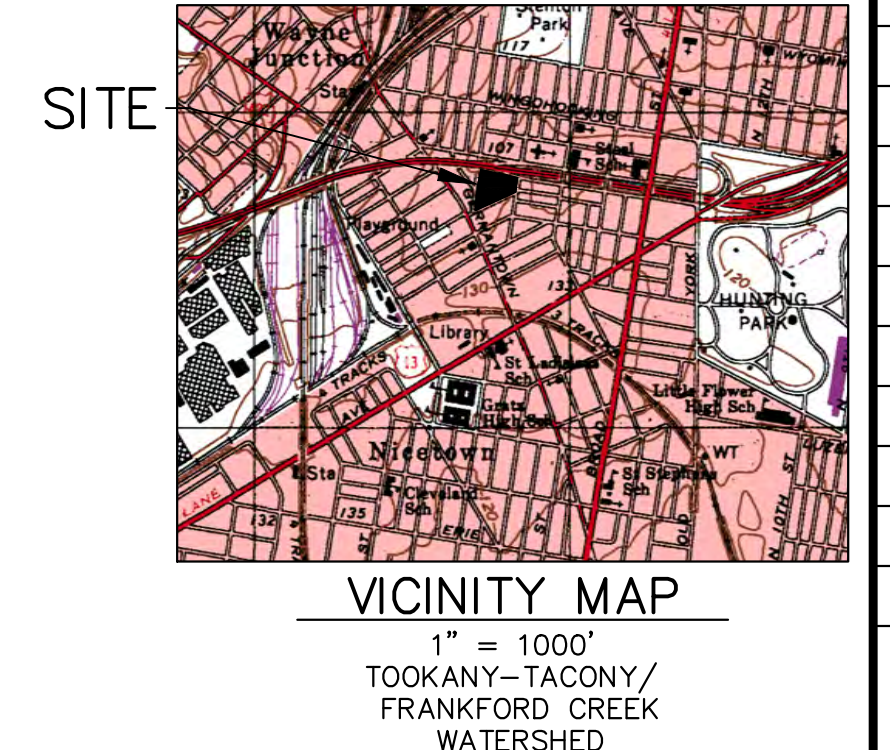
ZONING:
SPPOA-RECREATION

WARD:
#13

SCALE: 1" = 30'-0"



PWD WATER UTILITY CONNECTIONS					
I.D.	TYPE	SIZE	MATERIAL	CONNECTION METHOD	BACKFLOW PREVENTION
(W1)	DOMESTIC SERVICE	1"	DUCTILE IRON	TEE VIA WET TAP	REQUIRED



EXISTING LEGEND	
	BUILDING
	CONCRETE CURB
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	GAS LINE
	POTABLE WATER
	SANITARY SEWER
	STORM SEWER
	TELECOMMUNICATION CONDUIT
	ELECTRIC CONDUIT
	FENCE
	UNKNOWN MANHOLE
	TELEPHONE MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	STORM/SANITARY MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	SEWER VENT
	FIRE HYDRANT
	UTILITY POLE/STREET LIGHT
	LIGHT POLE
	TRAFFIC LIGHT
	SIGN
	TREE
	UNDER GROUND STORAGE TANK
	CITY INLET
	GRATE INLET
	OMG INLET
	PROPERTY LINE
	EASEMENT LINE

PWD SEWER UTILITY CONNECTIONS				
I.D.	TYPE	SIZE	MATERIAL	CONNECTION TYPE
(S1)	SANITARY SEWER CONNECTION	5"	CAST IRON	MODIFIED SADDLE CONNECTION
(S2)	STROM SEWER CONNECTION	15"	CAST IRON	MODIFIED SADDLE CONNECTION

PROPOSED LEGEND	
	GUIDE RAIL
	LIMIT OF DISTURBANCE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	PROPOSED FENCE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE SERVICE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED ELECTRICAL CONDUIT
	PROPOSED GAS LINE
	PROPOSED SWALE
	PROPOSED SIDEWALK MILLING AND OVERLAY
	PROPOSED SUBSURFACE STORMWATER MANAGEMENT
	BITUMINOUS PAVEMENT
	PROPOSED MANHOLE
	PROPOSED CLEANOUT
	PROPOSED HIGHWAY GRATE INLET
	PROPOSED YARD DRAIN
	PROPOSED TRENCH DRAIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED FLOW ARROW
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED TABLE
	PROPOSED BENCH
	PROPOSED PORTLAND LOO (BATHROOM)
	PROPOSED TRASH RECEPTACLE
	PROPOSED TREE
	PROPOSED SHRUB

- CONSTRUCTION NOTES:**
- UNDERGROUND UTILITIES AS SHOWN ARE TAKEN FROM FIELD EVIDENCE AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20212783218). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THE PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
 - CONTRACTOR SHALL PROVIDE PROTECTION OF EXISTING UTILITIES THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION.
 - DEVELOPER/ OWNER WILL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND/ OR REUSE OF WATER SERVICE LINES AND SEWER LATERALS. PROOF OF ABANDONMENT AND/ OR WATER DISCONTINUANCE MUST BE PROVIDED UPON REQUEST.
 - ALL EXISTING SERVICE UTILITIES SHALL BE CUT AND CAPPED AT LIMITS OF PROPOSED BUILDING.
 - CONTRACTOR TO COMPLETE SEWER CONNECTIONS IN ACCORDANCE WITH THE LATEST VERSION OF THE PHILADELPHIA WATER DEPARTMENT SEWER CONNECTION AND REPAIR MANUAL.

ACT 187
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.
PENNSYLVANIA ONE CALL: 1-800-242-1776

PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935

PECO-CONSTRUCTION DEPARTMENT
2307 MARKET STREET
PHILADELPHIA, PENNSYLVANIA 19103
(215) 731-3264

PROTECT YOURSELF

WHAT YOU DON'T KNOW CAN HURT YOU.
CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE
Pennsylvania One Call System, Inc.
1-800-242-1776

SITE LOCATION:
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

OPA ACCOUNT NO.:
132257005

PROPERTY OWNER:
CITY OF PHILADELPHIA

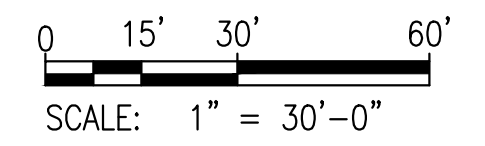
PROPERTY OWNER ADDRESS:
NICETOWN PARK
1401 JOHN F. KENNEDY BLVD
PHILADELPHIA, PA 19102-1617

APPLICANT:
GROUND RECONSIDERED

ZONING:
SPPOA-RECREATION

WARD:
#13

PWD TRACKING No.
FY22-NICE-6841-01



REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	10% BID DOCUMENTS



PROJECT COORDINATOR:
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

SCALE:

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 460
Philadelphia, PA 19106
www.kseeng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

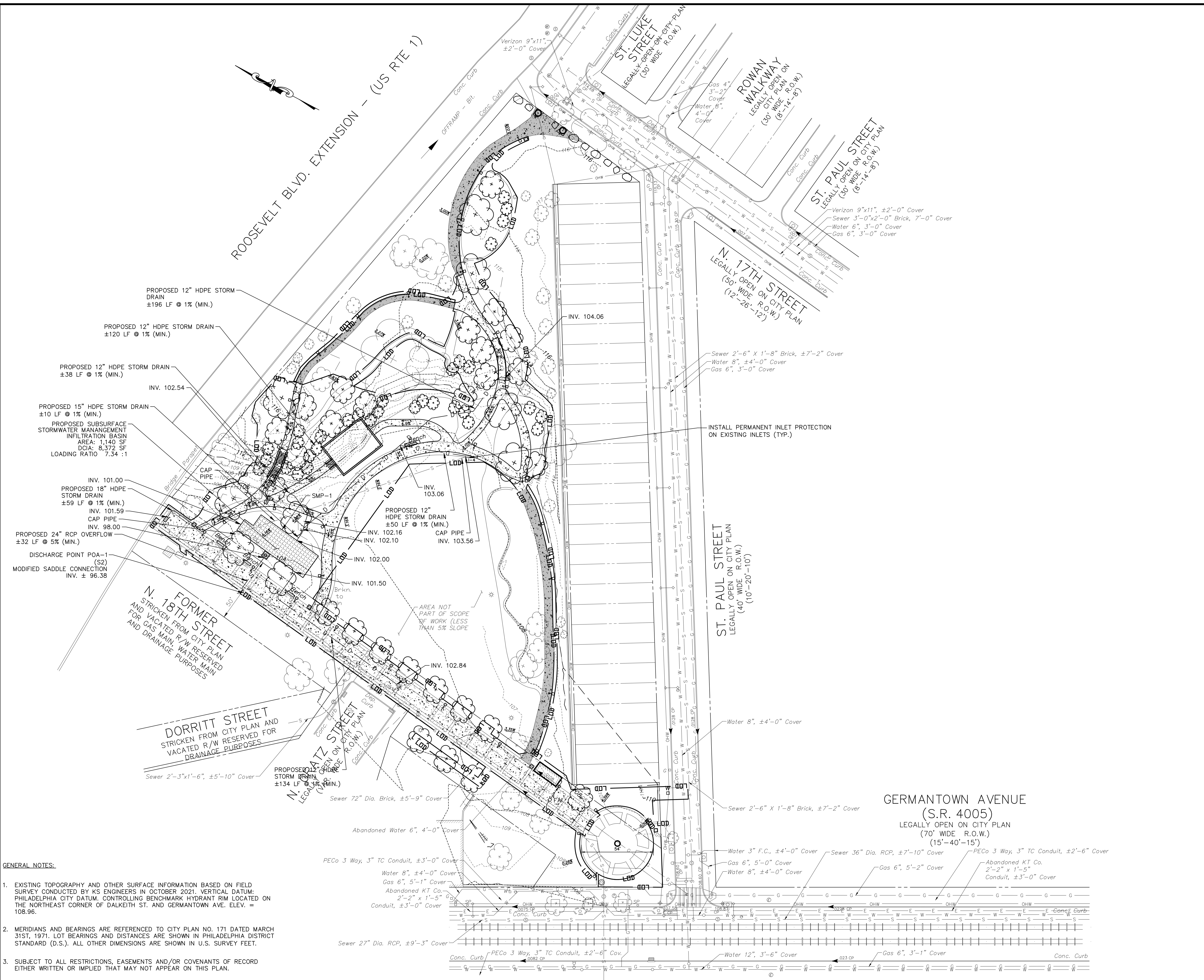
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE:
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE:
DRAINAGE & UTILITY PLAN

KSE PROJECT NO. 2471-02	DRAWING NO. C-1.1
DATE 01.19.2024	
SCALE 1" = 30'-0"	
DRAWN BY KSE	
CHECKED BY RSB	

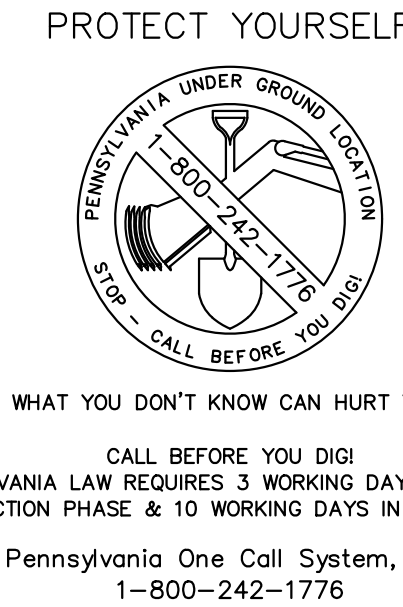
NOTE: ALL DIMENSIONS ARE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND RECORDING WITH THE OWNER.



- GENERAL NOTES:**
- EXISTING TOPOGRAPHY AND OTHER SURFACE INFORMATION BASED ON FIELD SURVEY CONDUCTED BY KS ENGINEERS IN OCTOBER 2021. VERTICAL DATUM: PHILADELPHIA CITY DATUM. CONTROLLING BENCHMARK HYDRANT RIM LOCATED ON THE NORTHEAST CORNER OF DALKEITH ST. AND GERMANTOWN AVE. ELEV. = 106.96.
 - MERIDIANS AND BEARINGS ARE REFERENCED TO CITY PLAN NO. 171 DATED MARCH 31ST, 1971. LOT BEARINGS AND DISTANCES ARE SHOWN IN PHILADELPHIA DISTRICT STANDARD (D.S.). ALL OTHER DIMENSIONS ARE SHOWN IN U.S. SURVEY FEET.
 - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR ON THIS PLAN.
 - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
 - UNDERGROUND UTILITIES AS SHOWN HEREON, INCLUDING GAS, ELECTRIC, TELEPHONE AND WATER ALIGNMENTS ARE BASED ON A "BEST FIT" OF UTILITY PLANS PROVIDED BY UTILITY COMPANIES AND SURVEYED LOCATIONS OF EXISTING HARDWARE FEATURES SUCH AS VALVES AND MANHOLES.
 - THE ACCURACY REGARDING LOCATION AND DEPTH OF ALL UTILITIES CANNOT BE GUARANTEED PRIOR TO ANY DIGGING, DRILLING, TRENCHING OR OTHER EARTH-MOVING ACTIVITIES. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS AT THE SITE. FOR INFORMATION REGARDING UTILITIES CONTACT PENNSYLVANIA ONE CALL 1-800-242-1776.
 - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
 - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE (SP-PO-A) ZONING DISTRICT.
 - PAVEMENT SUBBASE WILL NOT BE EXPOSED DURING THE MILLING PROCESS OF THE BRICK PAVEMENT REPLACEMENT PORTION OF THE PROJECT.

PWD TRACKING No. FY22-NICE-6841-01

ACT 187	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.	
PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA 19102 (215) 686-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2201 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

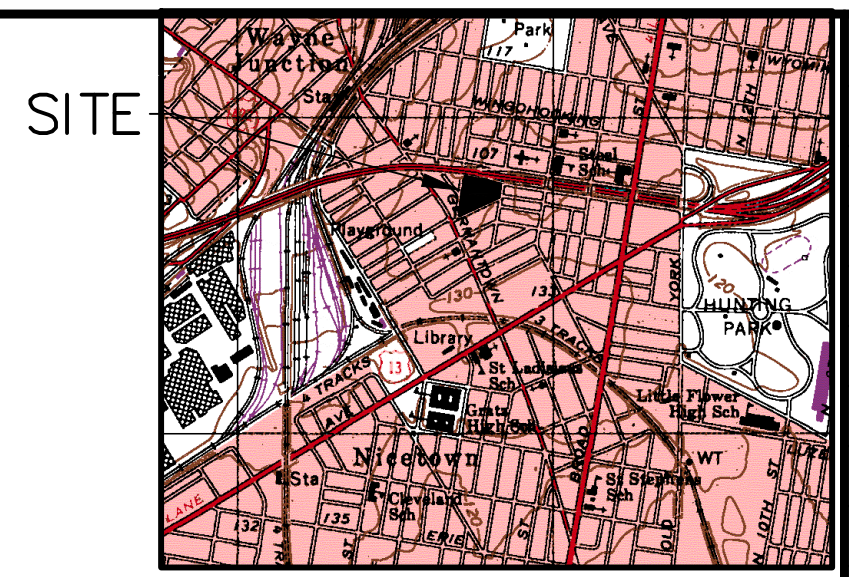


SOIL SYMBOL	SOIL DESCRIPTION	% OF SITE	RUNOFF CLASS	HYDRIC SOIL	SLOPE RANGE	DEPTH
Ub	URBAN-LAND	100.00%	VERY HIGH	NO	0-8%	0"-10"

LIMIT OF DISTURBANCE (LOD) SUMMARY TABLE		
TOTAL SITE AREA	96,462 S.F.	2.21 ACRES
LOD ON SITE	41,737 S.F.	0.958 ACRES
LOD IN R.O.W.	213 S.F.	0.005 ACRES
TOTAL LOD	41,950 S.F.	0.963 ACRES

	TOTAL PROPOSED AREA	PERCENT OF TOTAL LOD
DIRECTLY CONNECTED IMPERVIOUS COVER (DCIA)	8,372 S.F.	19.96%
DISCONNECTED IMPERVIOUS COVER (DIC)	4,586 S.F.	10.93%

	IMPERVIOUS COVER WITHIN LOD
PRE DEVELOPMENT	20,982 S.F.
POST DEVELOPMENT	12,958 S.F.
IMPERVIOUS COVER REDUCTION	38.24%



VICINITY MAP
1" = 1000'
TOOKANY/TACONY-FRANKFORD CREEK WATERSHED
COMBINED SEWER SERVICE AREA
FLOOD MANAGEMENT DISTRICT B-1

REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	100% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

EXISTING LEGEND	
	BUILDING
	CONCRETE CURB
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	GAS LINE
	POTABLE WATER
	SANITARY SEWER
	STORM SEWER
	TELECOMMUNICATION CONDUIT
	ELECTRIC CONDUIT
	FENCE
	UNKNOWN MANHOLE
	TELEPHONE MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	STORM/SANITARY MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	SEWER VENT
	FIRE HYDRANT
	UTILITY POLE/STREET LIGHT
	LIGHT POLE
	TRAFFIC LIGHT
	SIGN
	TREE
	UNDER GROUND STORAGE TANK
	CITY INLET
	GRATE INLET
	OMG INLET
	PROPERTY LINE
	EASEMENT LINE

PROPOSED LEGEND	
	GUIDE RAIL
	LIMIT OF DISTURBANCE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	PROPOSED FENCE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE SERVICE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED ELECTRICAL CONDUIT
	PROPOSED GAS LINE
	PROPOSED SWALE
	PROPOSED SIDEWALK
	MILLING AND OVERLAY
	PROPOSED SUBSURFACE STORMWATER MANAGEMENT
	BITUMINOUS PAVEMENT
	PROPOSED MANHOLE
	PROPOSED CLEANOUT
	PROPOSED HIGHWAY GRATE INLET
	PROPOSED YARD DRAIN
	PROPOSED TRENCH DRAIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED FLOW ARROW
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED TABLE
	PROPOSED BENCH
	PROPOSED PORTLAND LOO (BATHROOM)
	PROPOSED TRASH RECEPTACLE
	PROPOSED TREE
	PROPOSED SHRUB

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia, PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 460
Philadelphia, PA 19106
www.kseing.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-Vest Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

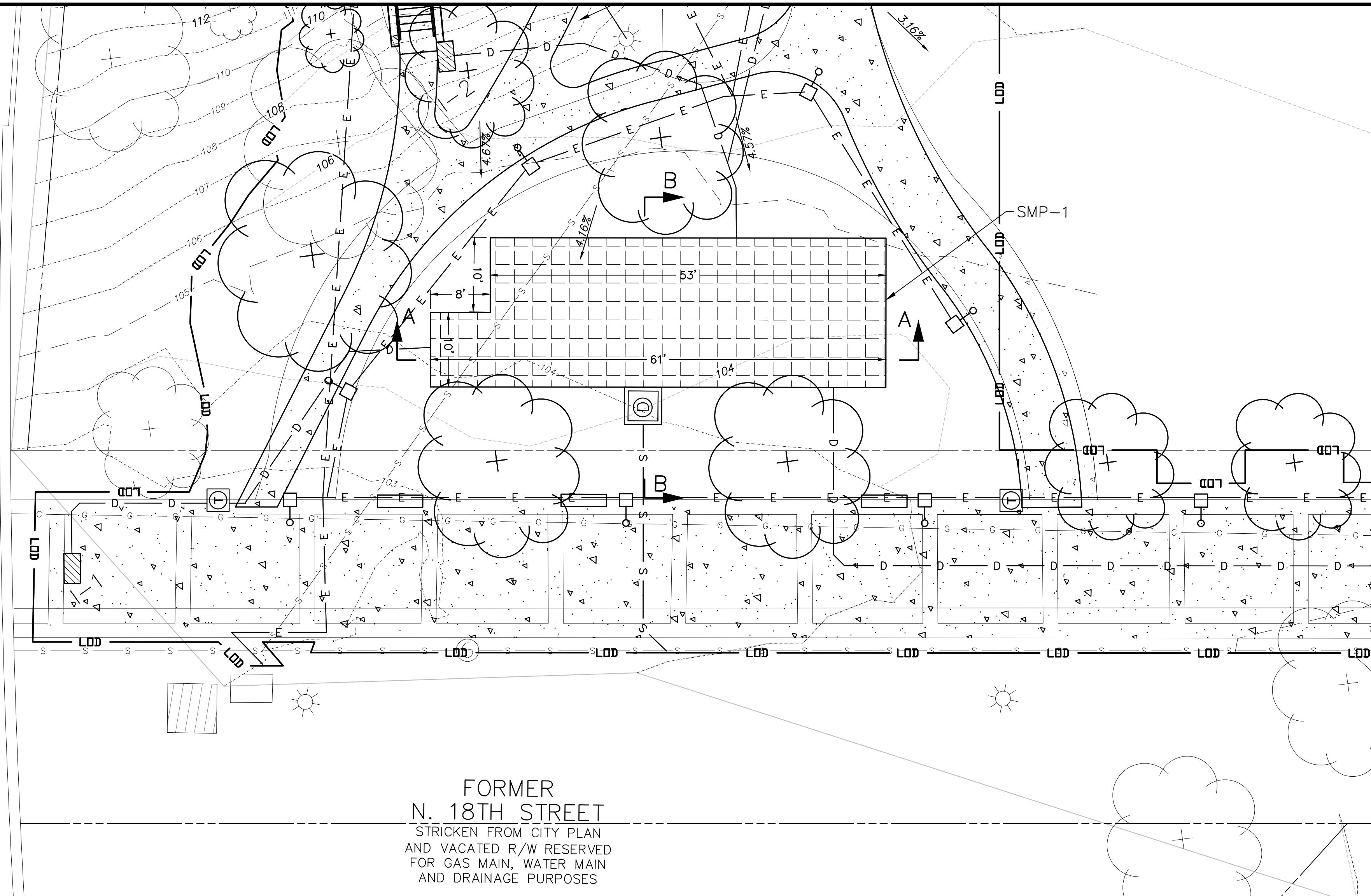
STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

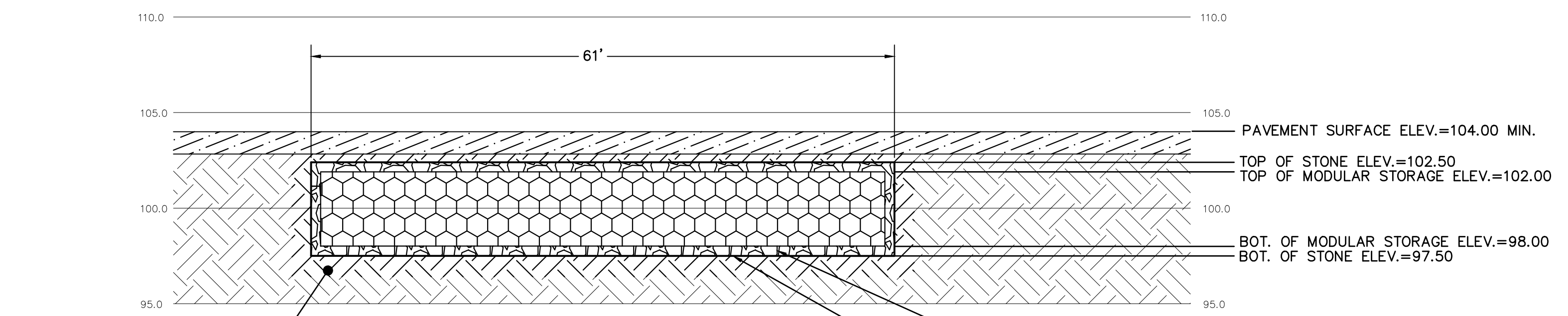
PROJECT TITLE
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE
STORMWATER MANAGEMENT PLAN

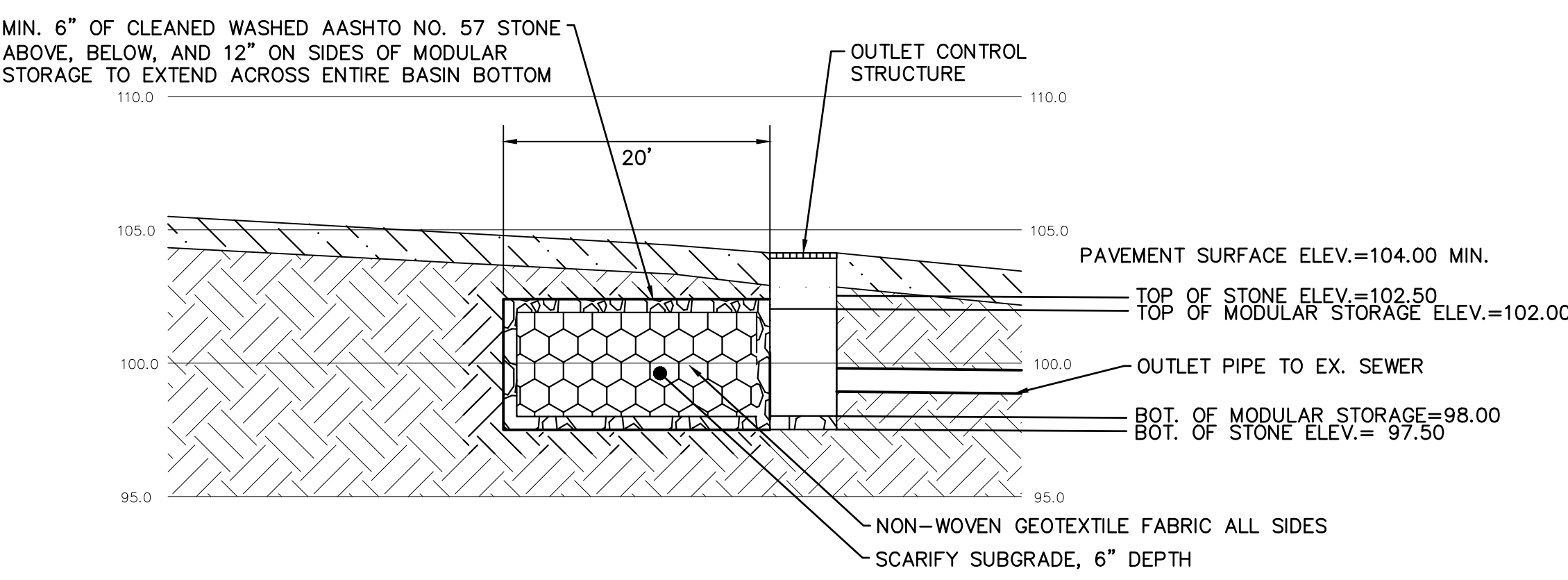
PROJECT NO.	2471-02	DRAWING NO.	C-2.1
DATE	01.19.2024	SCALE	1" = 30'-0"
DRAWN BY	KSE	CHECKED BY	RSB
NOTE: ALL DIMENSIONS AND COORDINATE DATA TO BE SHOWN SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.			



FORMER
N. 18TH STREET
STRICKEN FROM CITY PLAN
AND VACATED R/W RESERVED
FOR GAS MAIN, WATER MAIN
AND DRAINAGE PURPOSES



SECTION VIEW - A-A
SCALE: HOR. 1"=10'
VER. 1"=5'



SECTION VIEW - B-B
SCALE: HOR. 1"=10'
VER. 1"=5'

GENERAL NOTES:

- EXISTING TOPOGRAPHY AND OTHER SURFACE INFORMATION BASED ON FIELD SURVEY CONDUCTED BY KS ENGINEERS IN OCTOBER 2021. VERTICAL DATUM: PHILADELPHIA CITY DATUM. CONTROLLING BENCHMARK HYDRANT RIM LOCATED ON THE NORTHEAST CORNER OF DALKEITH ST. AND GERMANTOWN AVE. ELEV. = 108.96.
- MERIDIANS AND BEARINGS ARE REFERENCED TO CITY PLAN NO. 171 DATED MARCH 31ST, 1971. LOT BEARINGS AND DISTANCES ARE SHOWN IN PHILADELPHIA DISTRICT STANDARD (D.S.). ALL OTHER DIMENSIONS ARE SHOWN IN U.S. SURVEY FEET.
- SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR ON THIS PLAN.
- IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
- UNDERGROUND UTILITIES AS SHOWN HEREON, GAS ELECTRIC, TELEPHONE AND WATER ALIGNMENTS ARE BASED ON A "BEST FIT" OF UTILITY PLANS PROVIDED BY UTILITY COMPANIES AND SURVEYED LOCATIONS OF EXISTING HARDWARE FEATURES SUCH AS VALVES AND MANHOLES.
- THE ACCURACY REGARDING LOCATION AND DEPTH OF ALL UTILITIES CANNOT BE GUARANTEED PRIOR TO ANY DIGGING, DRILLING, TRENCHING OR OTHER EARTHMOVING ACTIVITIES. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS AT THE SITE. FOR INFORMATION REGARDING UTILITIES CONTACT PENNSYLVANIA ONE CALL 1-800-242-1776.
- INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE (SP-PO-A) ZONING DISTRICT.
- PAVEMENT SUBBASE WILL NOT BE EXPOSED DURING THE MILLING PROCESS OF THE BRICK PAVER REPLACEMENT PORTION OF THE PROJECT.

ACT 187	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.	
PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2307 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

PROTECT YOURSELF



WHAT YOU DON'T KNOW CAN HURT YOU.
CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE
Pennsylvania One Call System, Inc.
1-800-242-1776

SITE LOCATION:
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

OPA ACCOUNT NO.:
132257005

PROPERTY OWNER:
CITY OF PHILADELPHIA

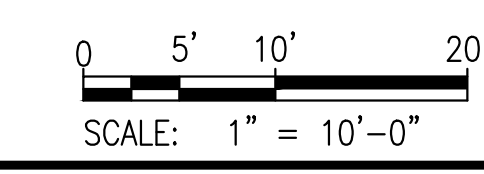
PROPERTY OWNER ADDRESS:
NICETOWN PARK
1401 JOHN F. KENNEDY BLVD
PHILADELPHIA, PA 19102-1617

APPLICANT:
GROUND RECONSIDERED

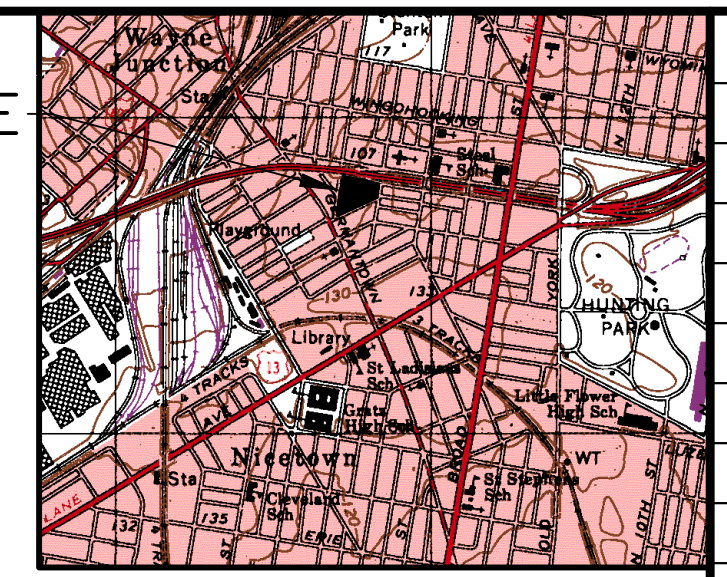
ZONING:
SPPOA-RECREATION

WARD:
#13

PWD TRACKING No.
FY22-NICE-6841-01



SITE



VICINITY MAP

1" = 1000'
TOOKANY/TACONY-FRANKFORD CREEK
WATERSHED
COMBINED SEWER SERVICE AREA
FLOOD MANAGEMENT DISTRICT B-1

EXISTING LEGEND

	BUILDING
	CONCRETE CURB
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	GAS LINE
	POTABLE WATER
	SANITARY SEWER
	STORM SEWER
	TELECOMMUNICATION CONDUIT
	ELECTRIC CONDUIT
	FENCE
	UNKNOWN MANHOLE
	TELEPHONE MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	STORM/SANITARY MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	SEWER VENT
	FIRE HYDRANT
	UTILITY POLE/STREET LIGHT
	LIGHT POLE
	TRAFFIC LIGHT
	SIGN
	TREE
	UNDER GROUND STORAGE TANK
	CITY INLET
	GRATE INLET
	OMG INLET
	PROPERTY LINE
	EASEMENT LINE

PROPOSED LEGEND

	GUIDE RAIL
	LIMIT OF DISTURBANCE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	PROPOSED FENCE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE SERVICE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED ELECTRICAL CONDUIT
	PROPOSED GAS LINE
	PROPOSED SWALE
	PROPOSED SIDEWALK MILLING AND OVERLAY
	PROPOSED SUBSURFACE STORMWATER MANAGEMENT
	BITUMINOUS PAVEMENT
	PROPOSED MANHOLE
	PROPOSED CLEANOUT
	PROPOSED HIGHWAY GRATE INLET
	PROPOSED YARD DRAIN
	PROPOSED TRENCH DRAIN
	PROPOSED OUTLET STRUCTURE
	PROPOSED FLOW ARROW
	PROPOSED LIGHT POLE
	PROPOSED BOLLARD
	PROPOSED BENCH
	PROPOSED PORTLAND LOO (BATHTUB)
	PROPOSED TRASH RECEPTACLE
	PROPOSED TREE
	PROPOSED SHRUB

REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	10% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 460
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE
STORMWATER MANAGEMENT PLAN

KSE PROJECT NO.
2471-02

DATE
01.19.2024

SCALE
1" = 30'-0"

DRAWN BY
KSE

CHECKED BY
RSB

DATE
01.19.2024

SCALE
1" = 30'-0"

DRAWN BY
KSE

CHECKED BY
RSB

DATE
01.19.2024

SCALE
1" = 30'-0"

DRAWN BY
KSE

CHECKED BY
RSB

DATE
01.19.2024

SCALE
1" = 30'-0"

DRAWN BY
KSE

CHECKED BY
RSB

C-2.2

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

SEALED

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 400
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY

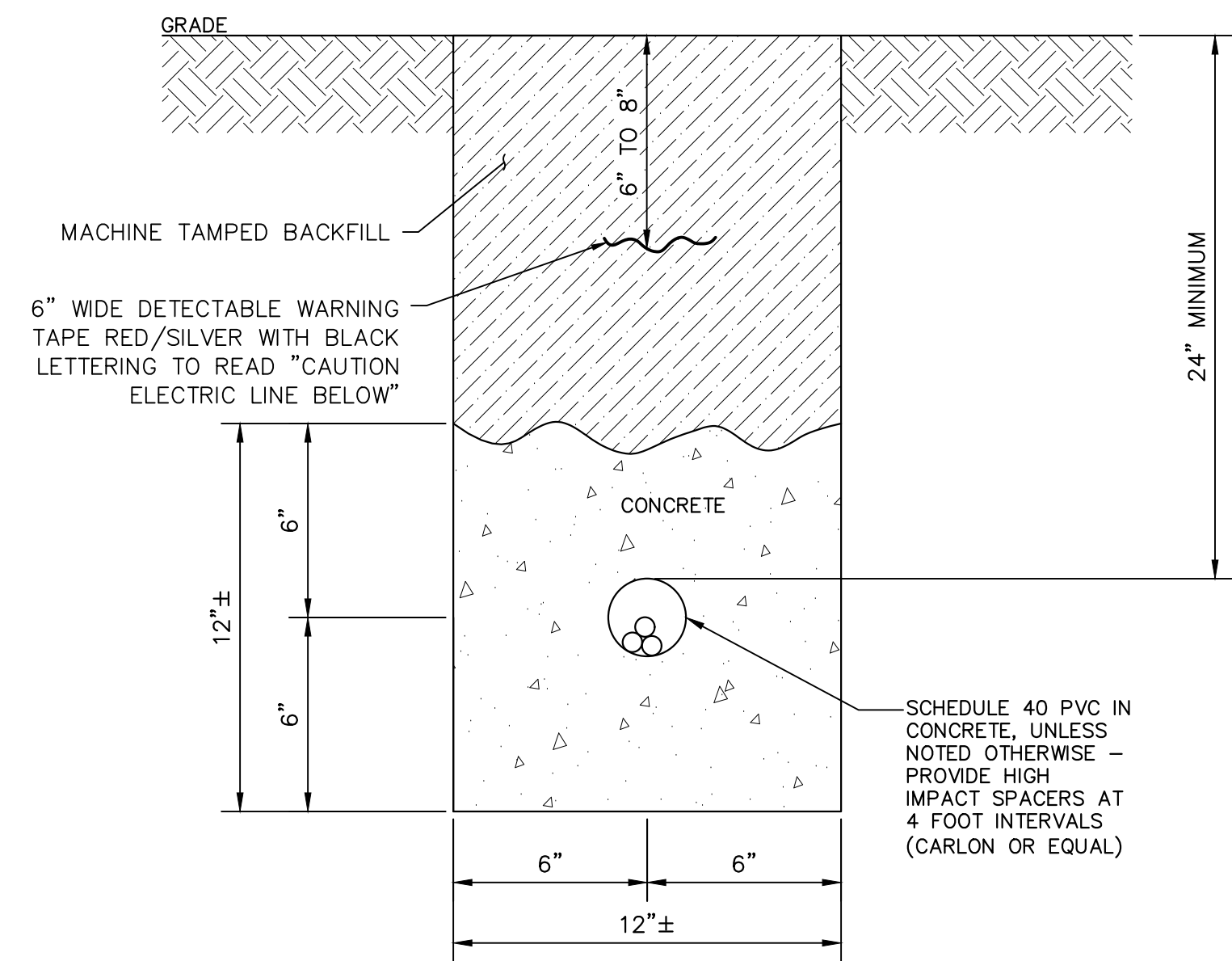
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE
UTILITY DETAILS

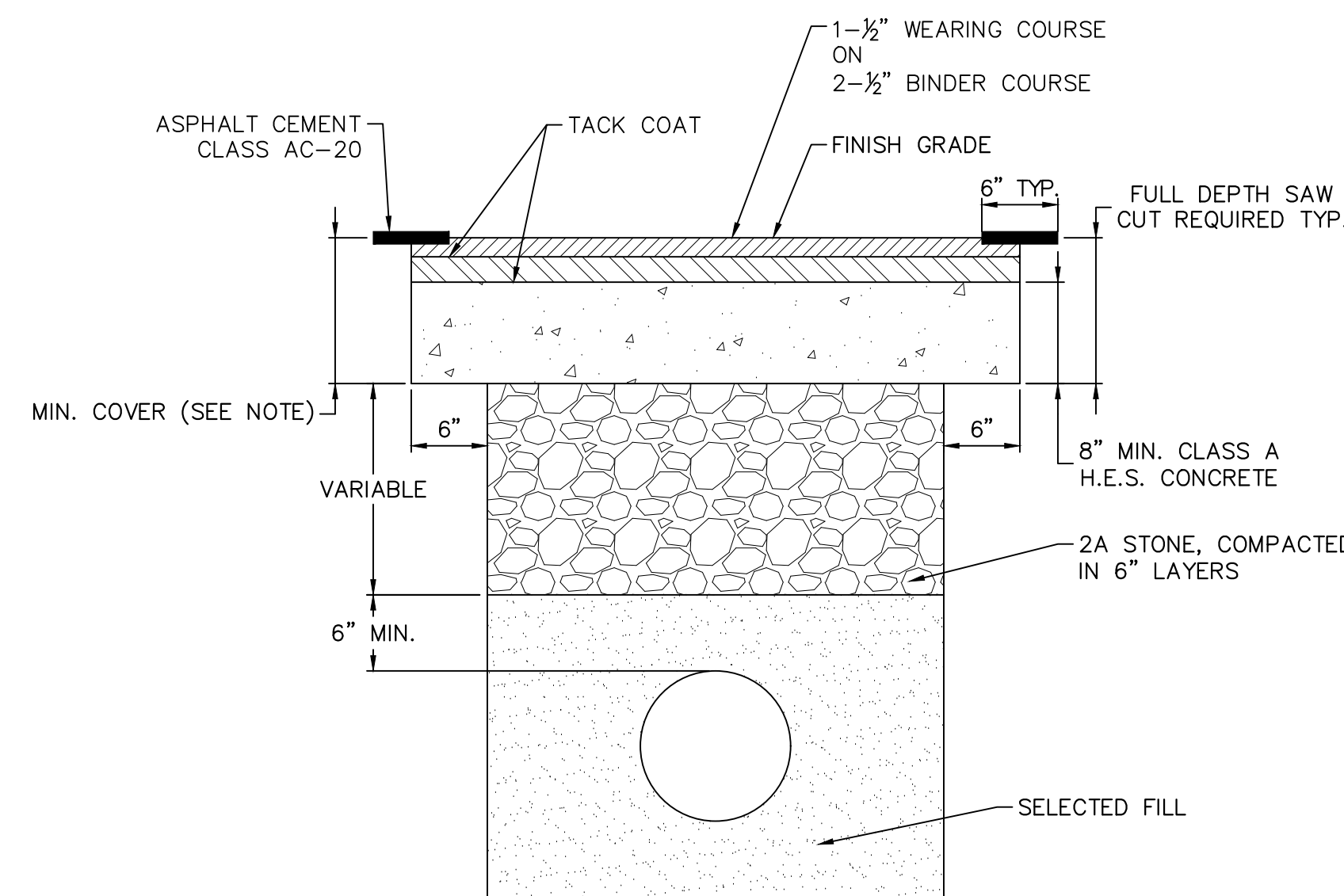
DATE	01.19.2024	C-5.1
SCALE	AS NOTED	
DRAWN BY	KSE	
CHECKED BY	RSB	

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PHILADELPHIA.



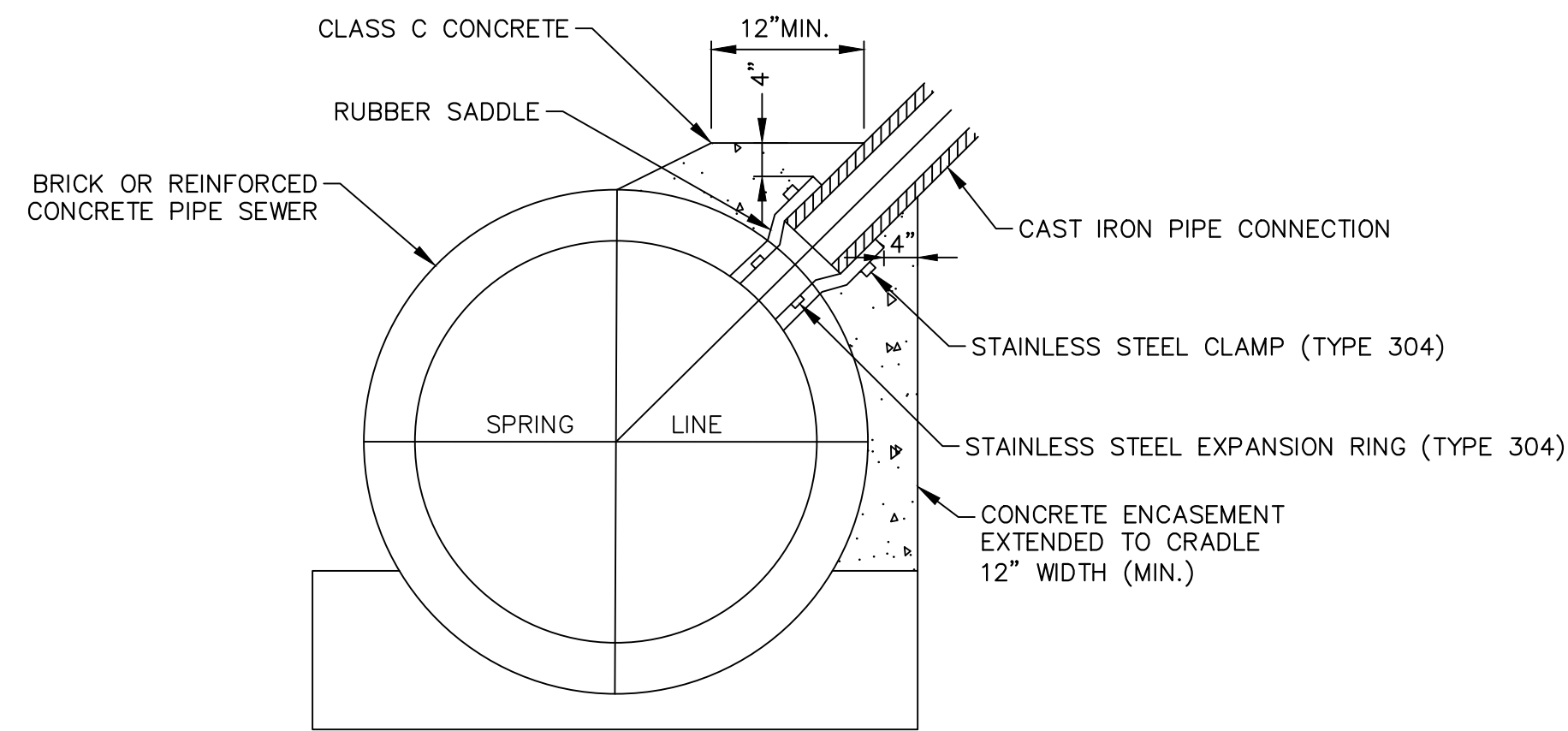
- NOTES:
- CONCRETE TO HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI & HAVE AN AIR ENTRAINING ADMIXTURE. AIR CONTENT TO BE 6% + OR - 1%.
 - EC SHALL TAKE EXTREME CARE IN EXCAVATING AREA. HAND-DIG IF NECESSARY. MODIFY/RE-ROUTE DUCT BANK AS REQUIRED TO MINIMIZE CONFLICT WITH EXISTING UTILITIES.
 - COORDINATE ALL CONDUIT ROUTING WITH EXISTING CONDITIONS AND SITE WORK.

DUCT BANK DETAIL
SCALE: N.T.S.



- NOTE:
- MINIMUM COVER: NO STRUCTURE SHALL BE PLACED LESS THAN 24-INCHES BELOW THE CARTWAY OR 15-INCHES BELOW THE FOOTWAY.
 - REPLACE ALL DISTURBED PAVEMENT MARKINGS WITH THERMOPLASTIC TAPE.
 - PAVEMENT MARKINGS MUST BE RESTORED WITHIN 7 DAYS OF TRENCH RESTORATION.
 - ALL RESTORATION BY PERMITTEE TO BE IN ACCORDANCE WITH THE LATEST STREETS DEPARTMENT STANDARDS.

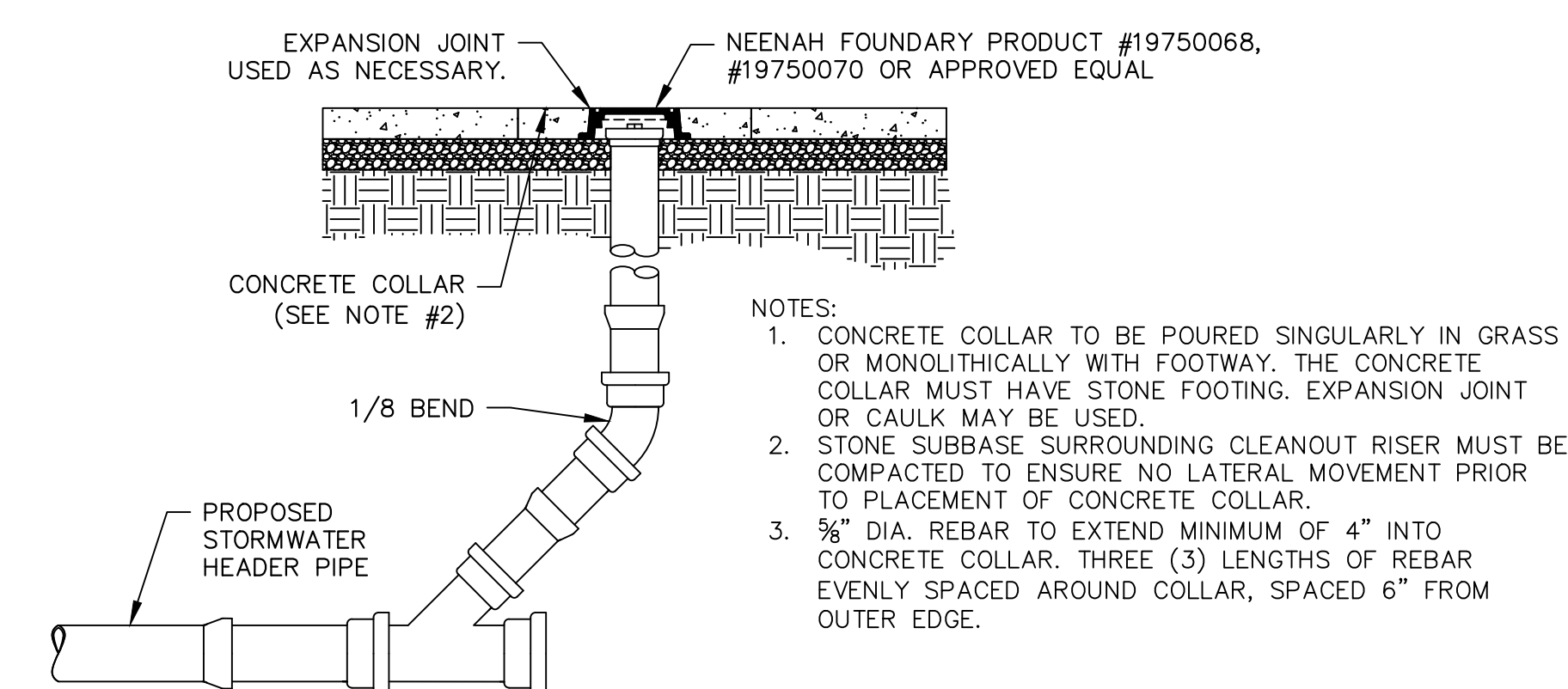
PERMANENT TRENCH RESTORATION FOR UTILITY CONNECTIONS
NOT TO SCALE



SADDLE CONNECTION INSTALLATION PROCEDURE:

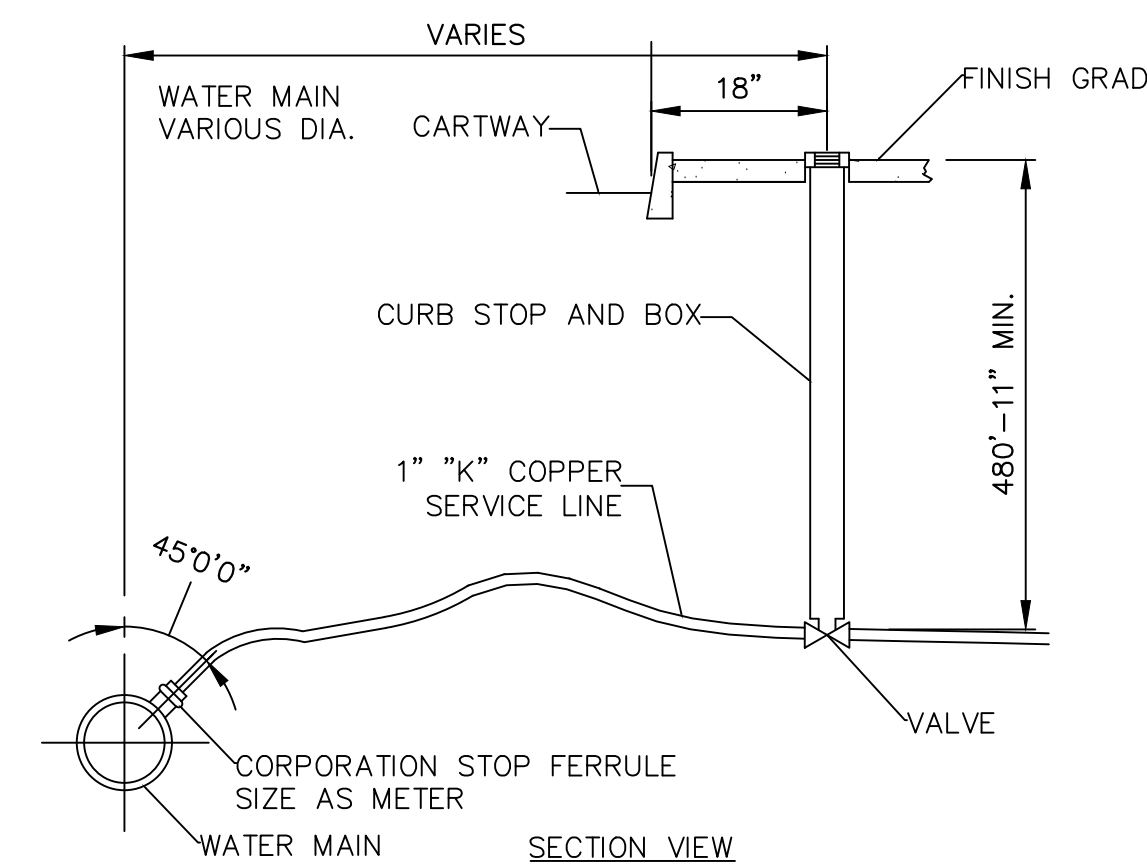
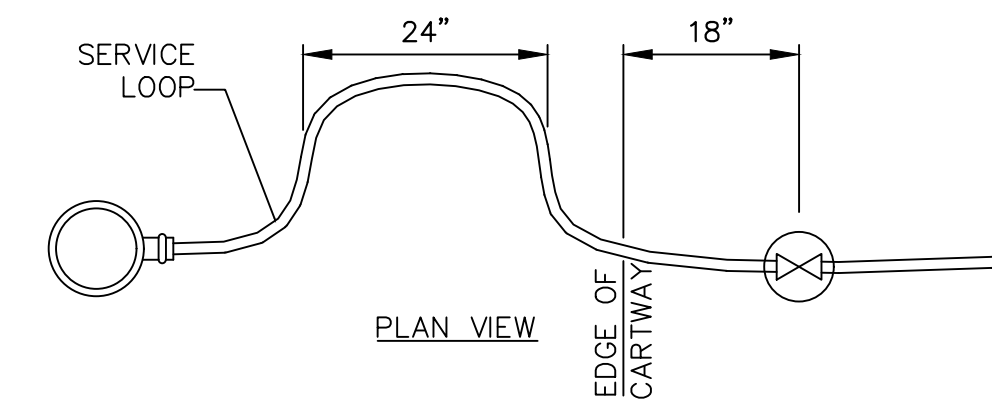
- THE CONNECTIONS SHOULD NOT JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE EXISTING SEWER LINES NOR JEOPARDIZE OR COMPROMISE THE OPERATION AND FLOW OF THE EXISTING SEWER LINES.
- EXCAVATE SAFELY TO EXPOSE THE EXISTING SEWER PIPE WITHOUT DAMAGING IT.
- EXCAVATE A DITCH WIDE ENOUGH TO ACCOMMODATE CORING THE EXISTING SEWER PIPE AND CONCRETING THE CONNECTION JOINT TO 1-FOOT PAST THE EDGE OF THE CORED OPENING IN ALL DIRECTIONS.
- CONTRACTORS SHOULD PERFORM THE CONNECTION IN A SAFE MANNER AND PER OSHA REGULATIONS.
- SHORING SHALL BE INSTALLED IN DITCHES AND TRENCHES AS PER OSHA REGULATIONS OR AS REGULATED BY PWD. VIOLATION OF THIS PROVISION WILL RESULT IN A STOP WORK ORDER AND/OR PENALTIES PRESCRIBED BY LAW. (REFER TO PHILADELPHIA PLUMBING CODE 2004 SECTION P- 1503.2 SHORING).
- CORE DRILL A HOLE NOT MORE THAN 1-INCH LARGER THAN THE OD OF THE CONNECTING PIPE OR SADDLE.
- PREVENT ANY PIECES OF CORED SECTION OR DEBRIS TO FALL INTO THE SEWER.
- REMOVE ALL THE BROKEN PIECES OR DEBRIS THAT FALL INTO THE SEWER.
- CAULK THE INTERIOR SURFACE OF THE CORED AREA WITH NON-SHRINK OR EPOXY MORTAR.
- CUT A SADDLE LONG ENOUGH ON THE BELL-END SIDE SO THAT WHEN INSERTED INTO THE CORED HOLE, IT WILL BE FLUSH WITH THE INSIDE FACE OF THE SEWER WALL OR WITH NOT MORE THAN 1-INCH PROTRUSION INTO THE SEWER PIPE AND ALSO THE BELL END WILL REST ON THE SEWER PIPE.
- FILL THE ANNULAR SPACE BETWEEN THE SADDLE AND THE SEWER PIPE WITH APPROVED CAULK OR NON-SHRINK MORTAR.
- SECURE THE SADDLE.
- CONNECT THE FIRST PIECE OF THE LATERAL PIPE TO THE SADDLE.
- FORM THE OUTSIDE OF THE CONNECTION JOINT SO THAT A 12-INCH THICK CONCRETE COLLAR COULD BE PLACED AROUND THE CONNECTION JOINT.
- PLACE A MINIMUM OF 3,000 PSI CONCRETE COLLAR EXTENDING 12 INCH AROUND THE JOINT.
- ALLOW AT LEAST 24 HOURS FOR THE CONCRETE TO HARDEN BEFORE BACKFILLING.
- ANY OTHER PIPELINE EXPOSED AND UNDERMINED DURING THIS OPERATION MUST BE SUPPORTED IMMEDIATELY AND BACKFILLED WITH CONTROLLED LOW STRENGTH MATERIAL (CLSM) AFTER THE COMPLETION OF THE CONNECTION.

SEWER LATERAL CONNECTION DETAIL TO CIRCULAR RC PIPE SEWERS
SCALE: N.T.S.

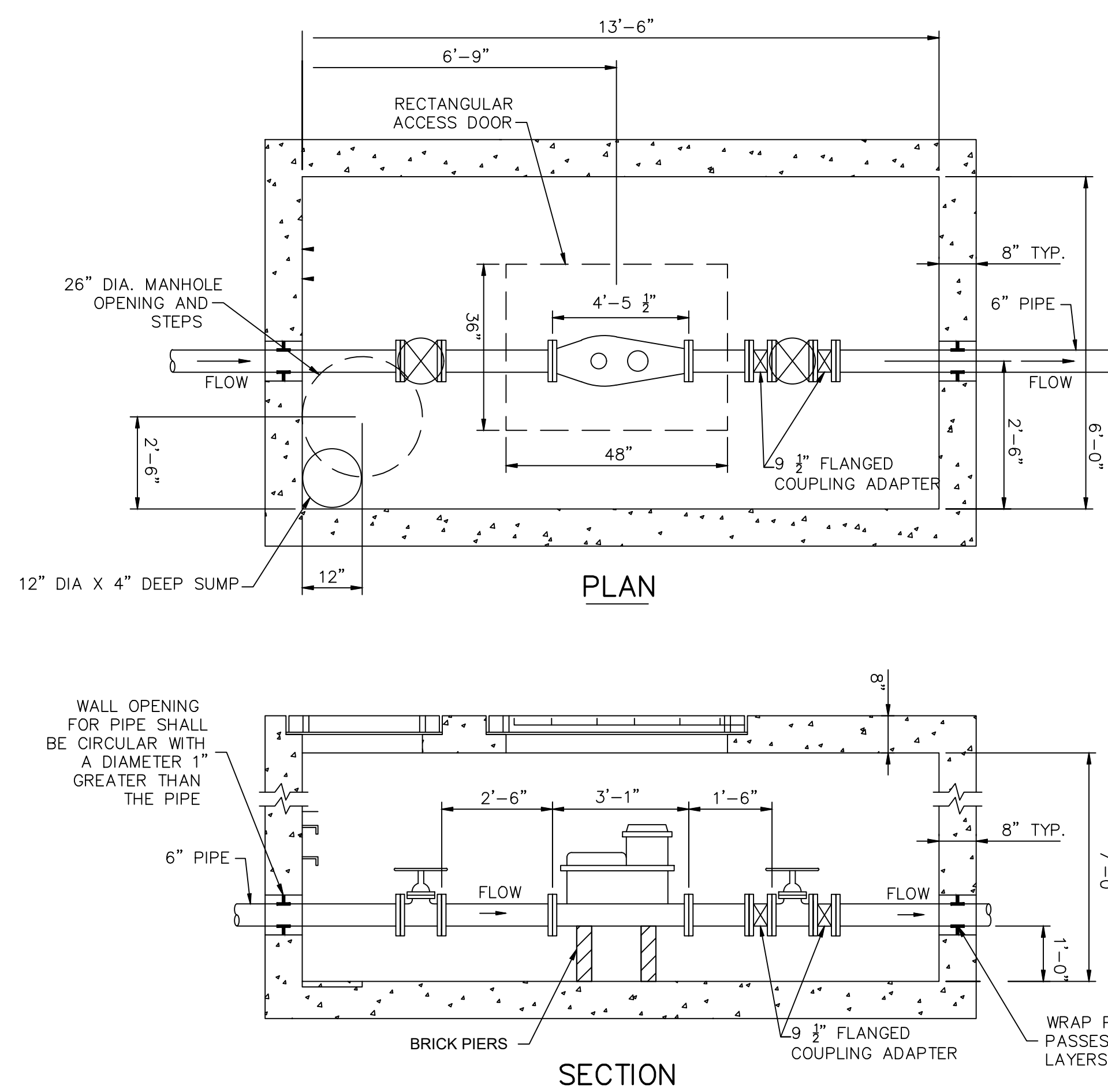


- NOTES:
- CONCRETE COLLAR TO BE POURED SINGULARLY IN GRASS OR MONOLITHICALLY WITH FOOTWAY. THE CONCRETE COLLAR MUST HAVE STONE FOOTING. EXPANSION JOINT OR CAULK MAY BE USED.
 - STONE SUBBASE SURROUNDING CLEANOUT RISER MUST BE COMPACTED TO ENSURE NO LATERAL MOVEMENT PRIOR TO PLACEMENT OF CONCRETE COLLAR.
 - 3/4" DIA. REBAR TO EXTEND MINIMUM OF 4" INTO CONCRETE COLLAR. THREE (3) LENGTHS OF REBAR EVENLY SPACED AROUND COLLAR, SPACED 6" FROM OUTER EDGE.

- NOTES:
- STREET CONTRACTOR SHALL STUB UP LATERAL AT RIGHT-OF-WAY LINE.
 - COMPLY WITH THE CITY PHILADELPHIA STANDARDS.

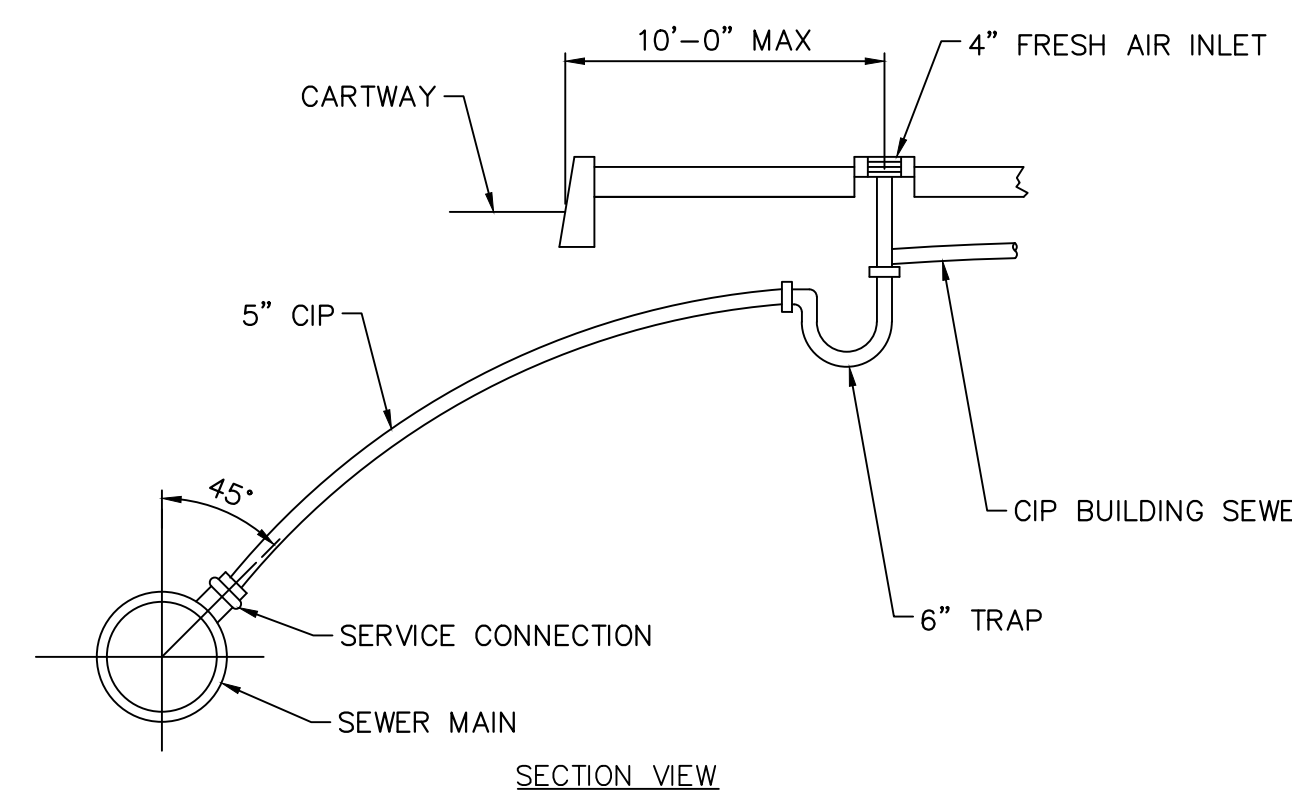


WATER/FIRE SERVICE CONNECTION



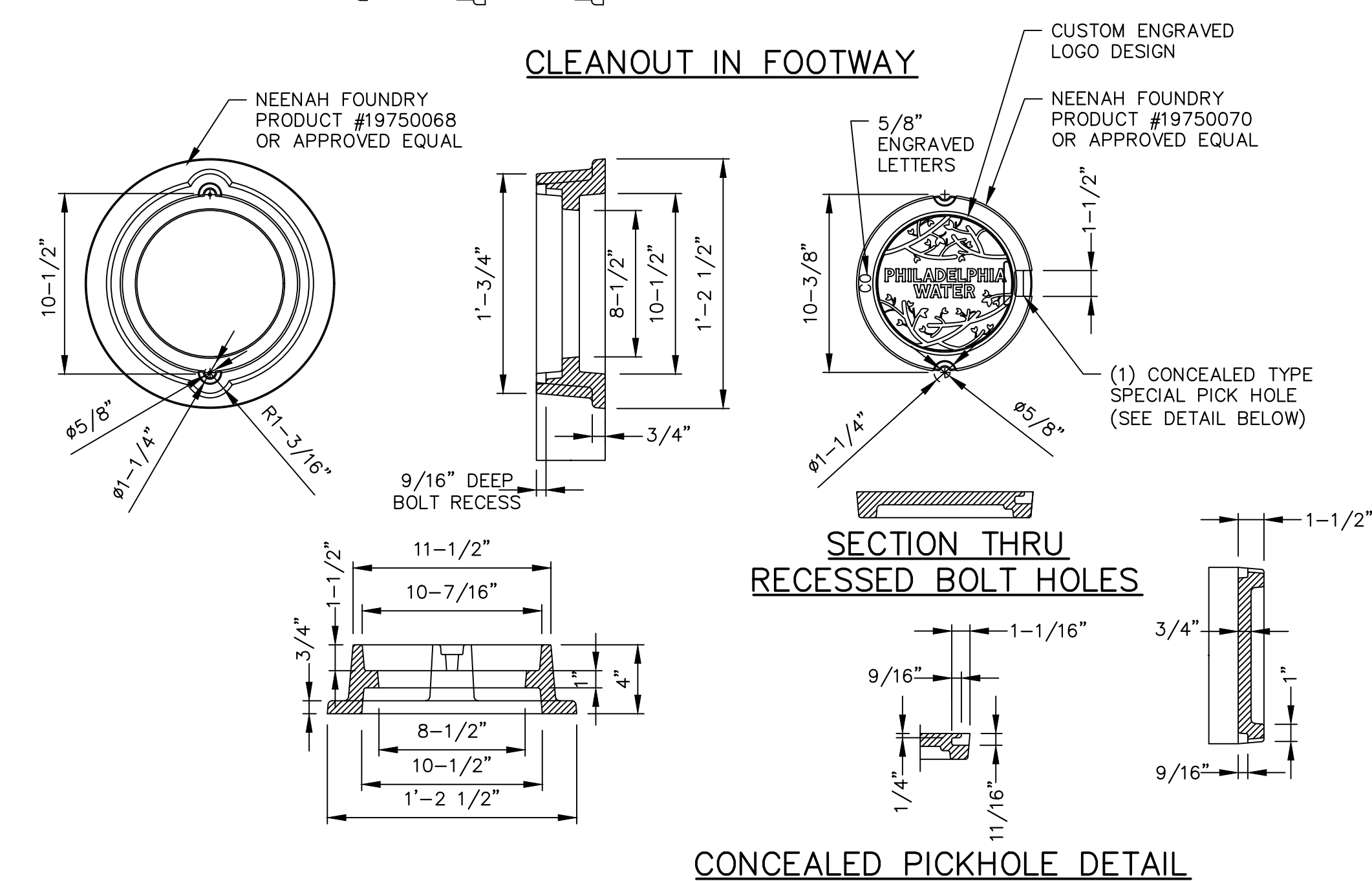
PWD WATER METER PIT
SCALE: N.T.S.

- WATER METER NOTES:
- WATER METER SHALL BE CONNECTED TO THE SERVICE PIPE WITH FLANGES.
 - SERVICE PIPE SHALL BE DUCTILE IRON FLANGED PIPE IN ACCORDANCE WITH ANSI/AWWA C115/A21.15.
 - FLANGES SHALL BE PRODUCES OF BRONZE AND SHALL BE FACED, DRILLED AND TAPPED IN CONFORMANCE WITH ANSI B.2.1. FLANGE DIMENSION SHALL CONFORM TO AWWA C700.
 - FLANGED FITTINGS SHALL BE PRODUCED OF DUCTILE IRON AND CONFORM TO THE APPLICABLE REQUIREMENTS FOR DUCTILE IRON FITTINGS SPECIFIED IN ANSI/AWWA C110/A21.10.
 - FLANGES OF BOTH DUCTILE IRON FLANGED PIPE AND FITTINGS SHALL BE ADEQUATE FOR WATER SERVICE OF 250 PSI WORKING PRESSURE. THE BOLT CIRCLE AND BOLT HOLES OF THE FLANGES SHALL MATCH THOSE OF THE CLASS 125 FLANGES SHOWN IN ANSI B16.1.
 - NUTS AND BOLTS SHALL BE IN ACCORDANCE WITH ASTM STANDARD A 193-B7 AND A 194, GRADE 4.
 - GASKETS SHALL BE 1/4" THICK AND MADE OF EITHER SBR OR NEOPRENE RUBBER MEETING THE MATERIAL REQUIREMENTS OF ANSI/AWWA C111/A21.11 MECHANICAL JOINT GASKETS.
 - GATE VALVES SHALL BE SUITABLE FOR WATER SERVICE OF 150 PSI WORKING PRESSURE AND SHALL BE IN ACCORDANCE WITH AWWA C500.
 - PRECAST METER PITS AND MANUFACTURERS SHALL BE CERTIFIED IN ACCORDANCE WITH OC-1 FOR PRECAST CONCRETE PRODUCTS BY THE PWD CERTIFICATION STAFF.
 - METER PITS SHALL BE DESIGNED FOR H-20 LOADING AND ALL PRECAST SEGMENTS SHALL BE KEYS AND THEIR JOINTS WATERTIGHT.
 - CONCRETE SHALL CONSIST OF PORTLAND CEMENT WHICH CONFORMS TO ASTM C150 AND AGGREGATE WHICH CONFORMS TO ASTM C33. MINIMUM COMPRESSIVE STRENGTH SHALL BE 4000 PSI.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 FOR BARS OR ASTM A195 FOR WELDED WIRE FABRIC.



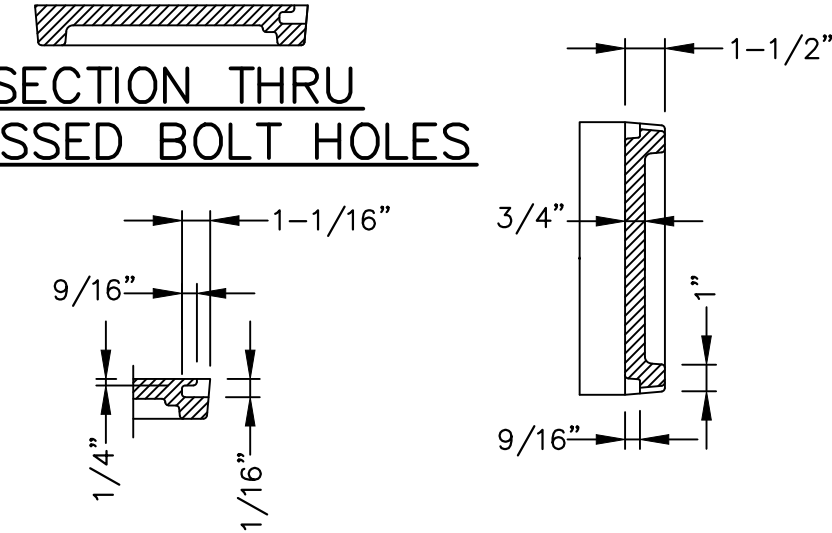
SEWER SERVICE DETAIL
NOT TO SCALE

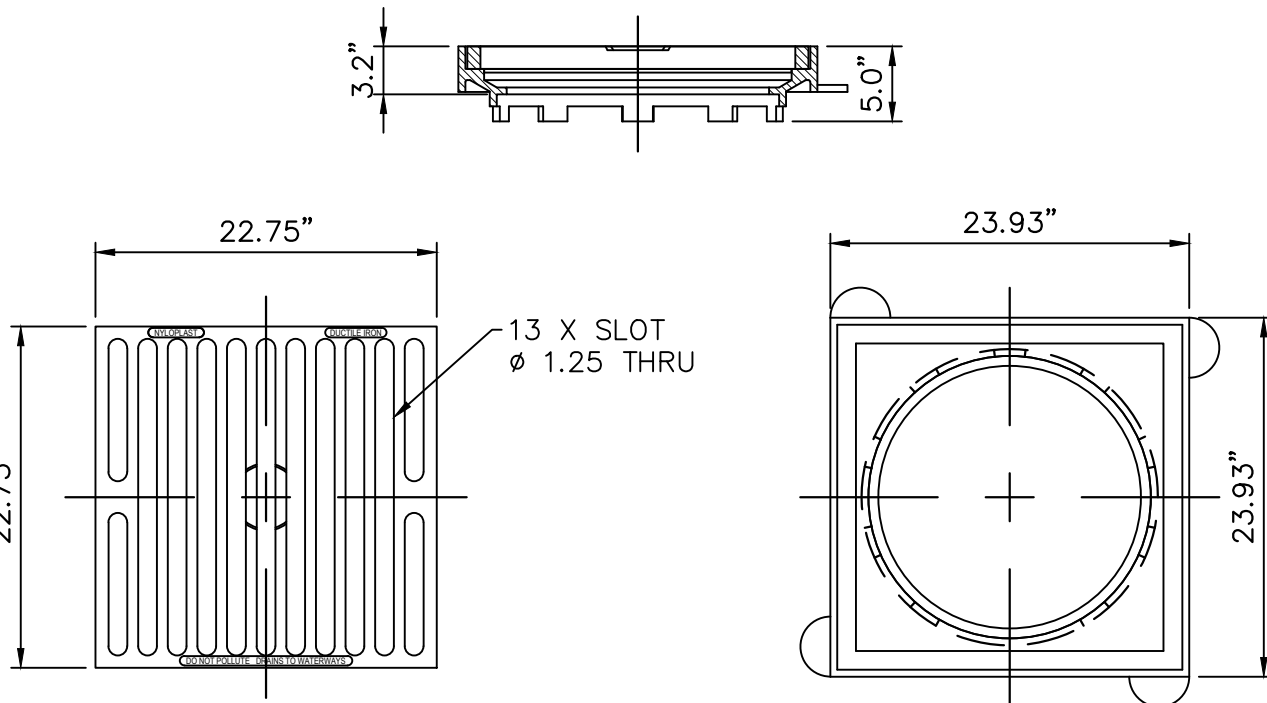
CLEANOUT IN FOOTWAY



CLEANOUT FRAME AND LID DETAIL
SCALE: N.T.S.

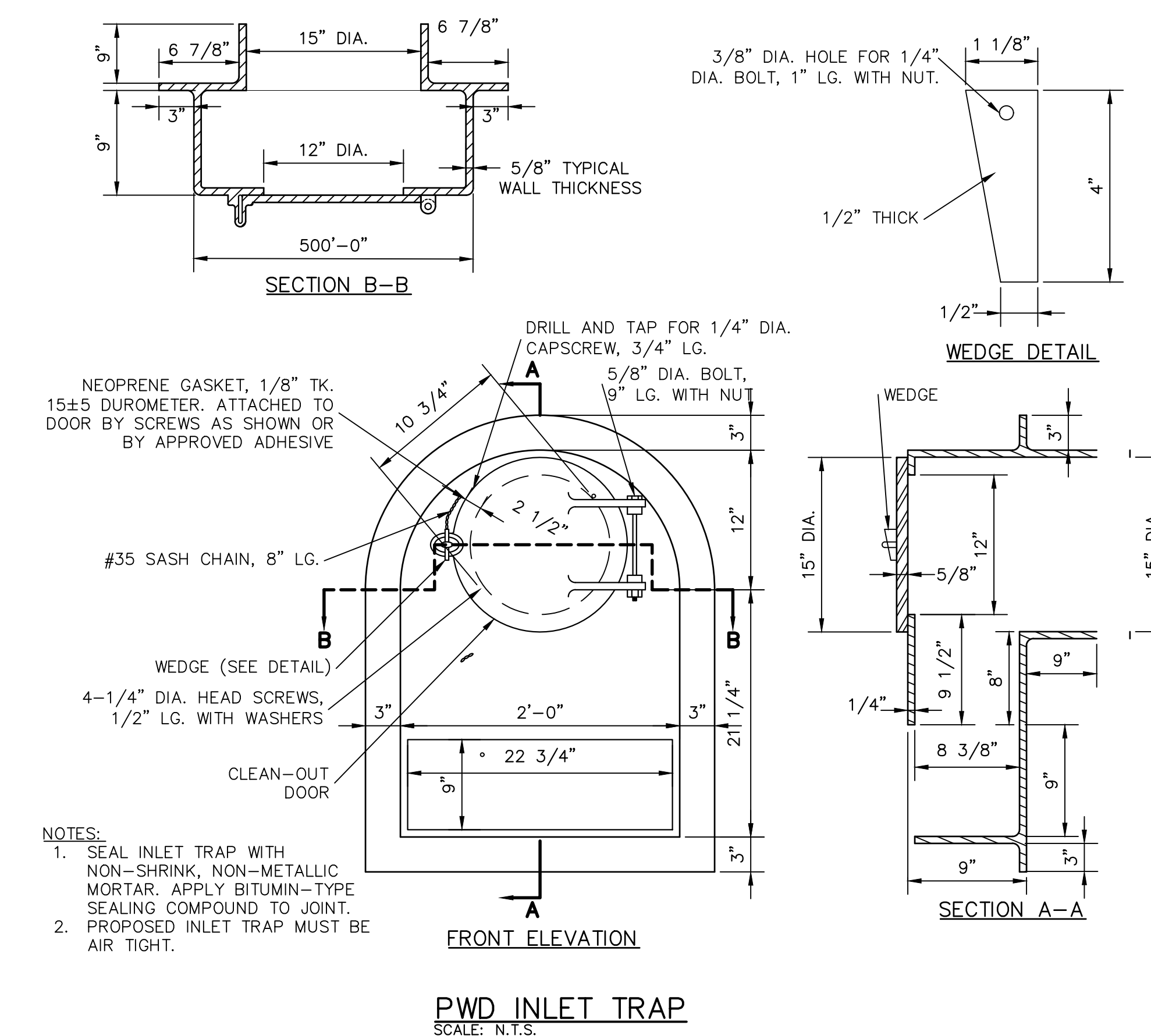
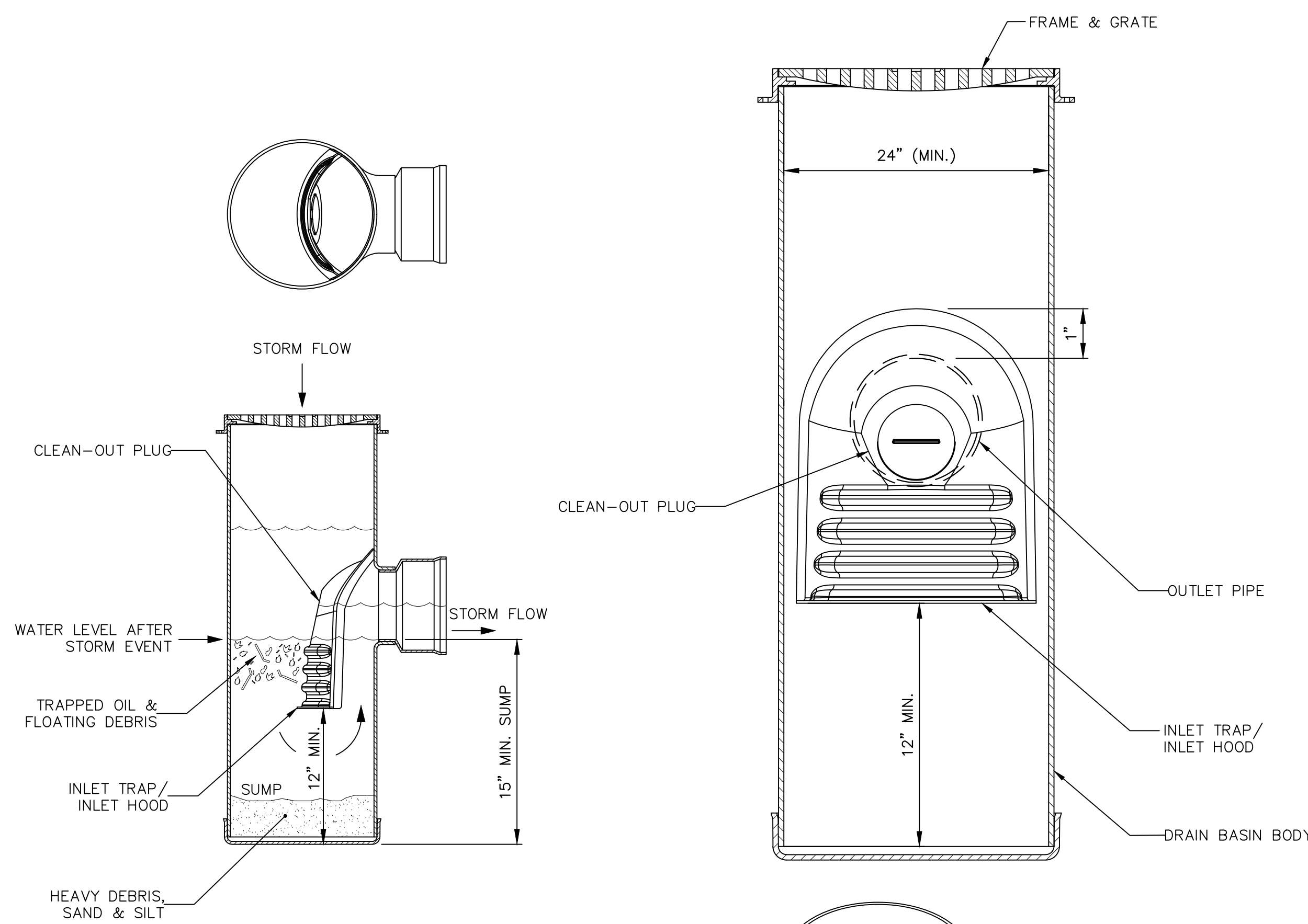
SECTION THRU RECESSED BOLT HOLES





- NOTES:
1. DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.
 2. GRATE SHALL MEET 75-PSI LOAD RATING.
 3. GRATE MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05.
 4. PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT.

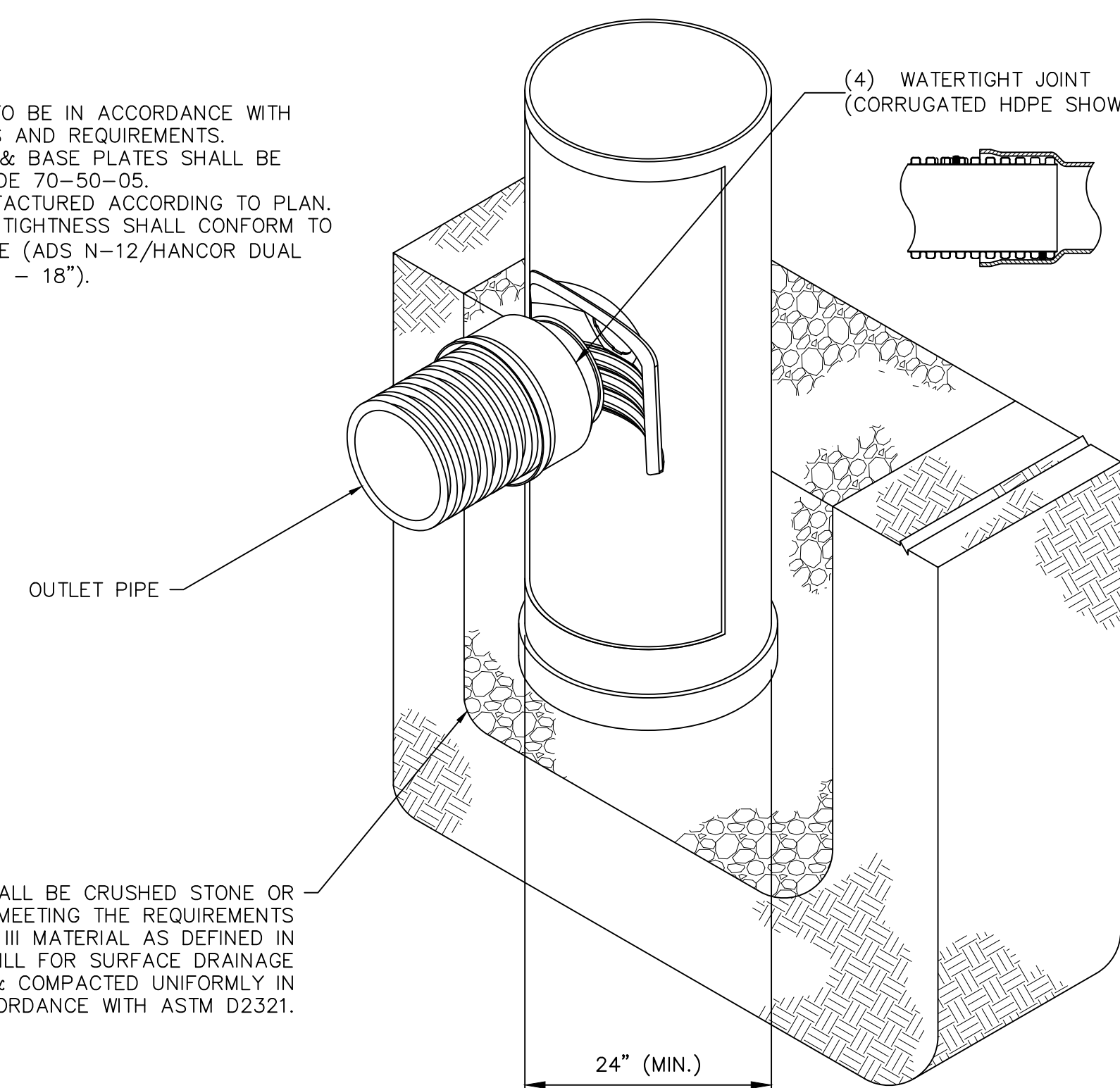
ROAD AND HIGHWAY 2' X 2' GRATE
SCALE: N.T.S.



- NOTES:
1. SEAL INLET TRAP WITH NON-SHRINK, NON-METALLIC MORTAR. APPLY BITUMIN-TYPE SEALING COMPOUND TO JOINT.
 2. PROPOSED INLET TRAP MUST BE AIR TIGHT.

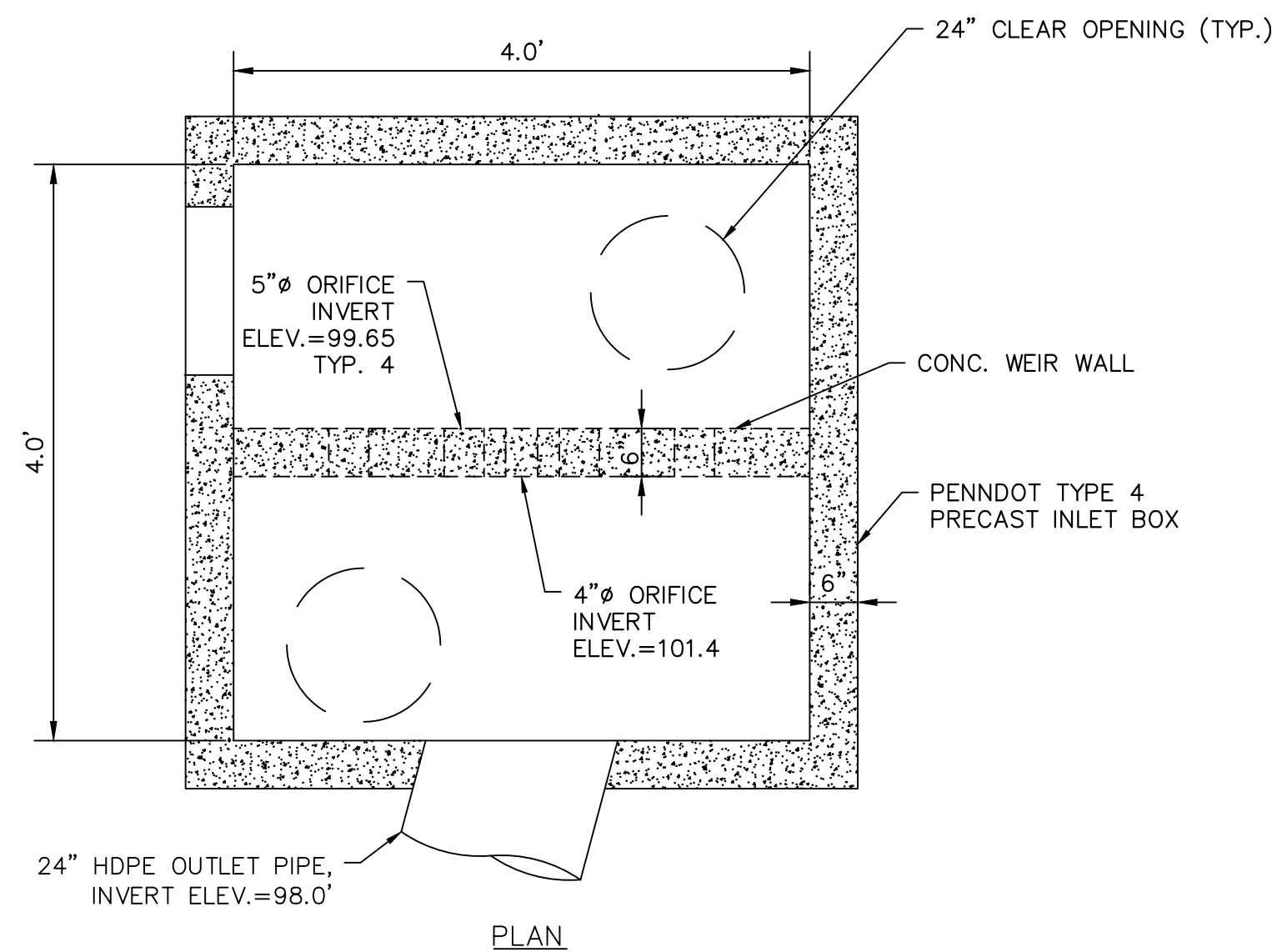
PWD INLET TRAP
SCALE: N.T.S.

1. INSTALLATION AND MAINTENANCE TO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND REQUIREMENTS.
2. FRAMES, GRATES, COVERS, HOODS, & BASE PLATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN.
4. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANGOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 18").

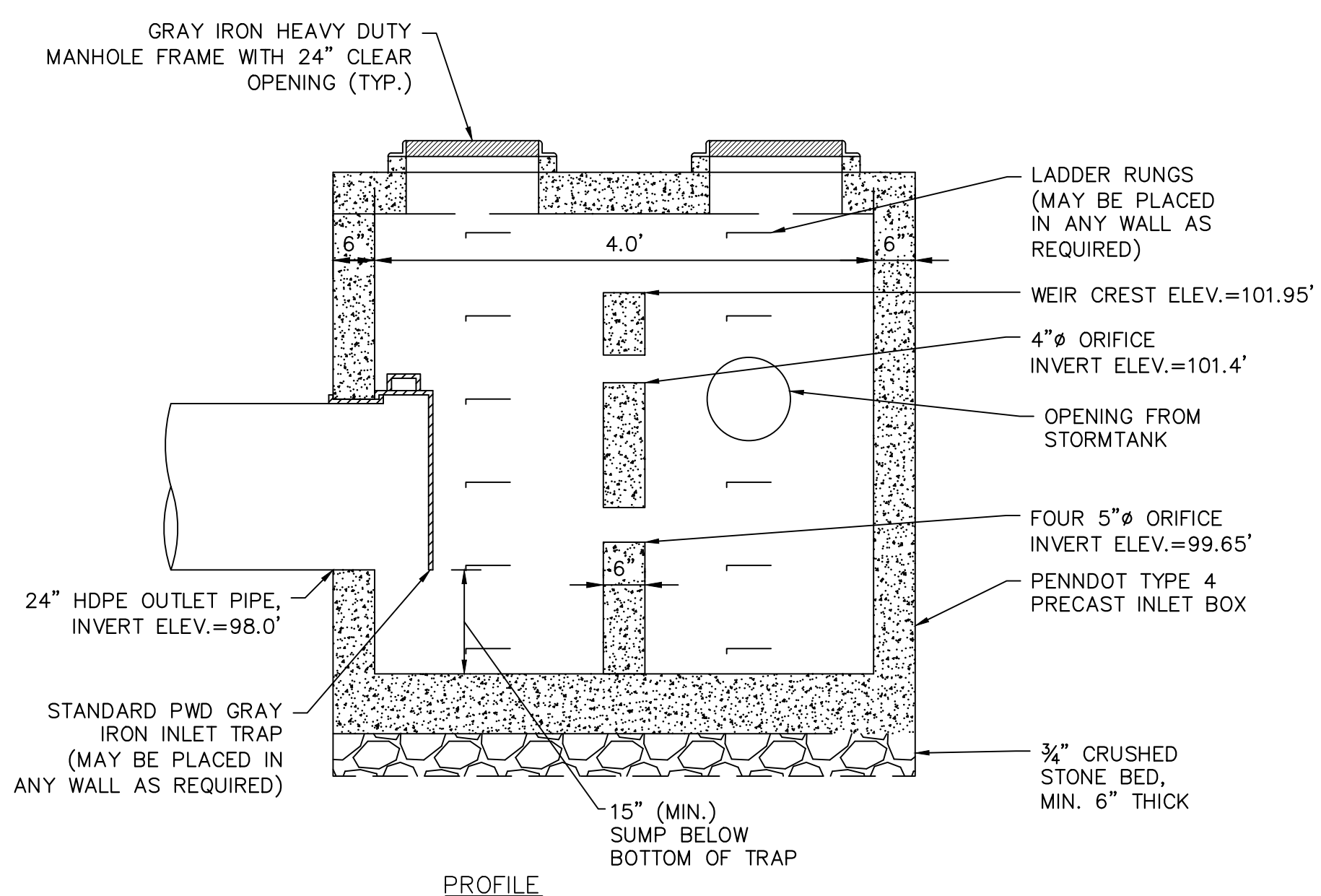


THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

YARD DRAIN
SCALE: N.T.S.



- NOTES:
1. COMPLY WITH PENNDOT STANDARDS.
 2. USE PRECAST PENNDOT INLET BOX TYPE 6 WITH 6"x6" INTERIOR DIMENSIONS AND 6" THICK WALLS.
 3. SEAL INLET TRAP WITH NON-SHRINK, NON-METALLIC MORTAR. APPLY BITUMIN-TYPE SEALING COMPOUND TO JOINT.
 4. PROPOSED INLET TRAP MUST BE AIR TIGHT.
 5. WEIR WALLS MUST BE POURED MONOLITHICALLY.
 6. SEE TRASH SCREEN DETAIL ON SHEET C5.06.



SMP-1 OUTLET CONTROL STRUCTURE
SCALE: N.T.S.

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

SEAL

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 460
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE
CONSTRUCTION DETAILS

KSE PROJECT NO.
2471-02

DATE
01.19.2024

SCALE
AS NOTED

DRAWN BY
KSE

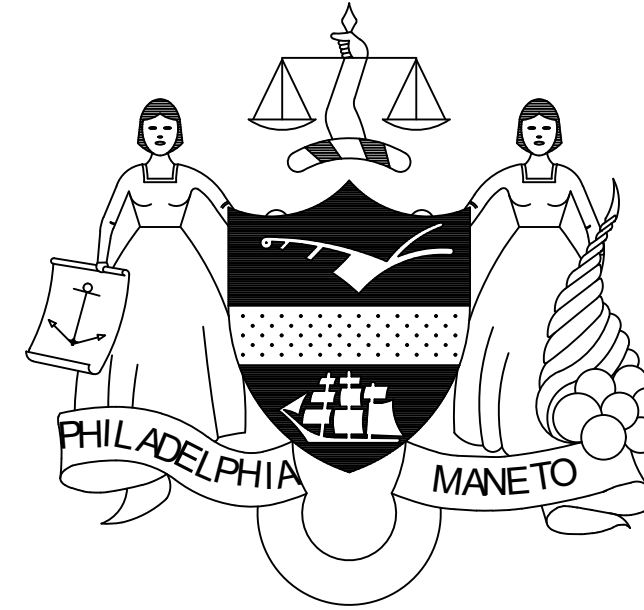
CHECKED BY
RSB

C-5.2

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY.

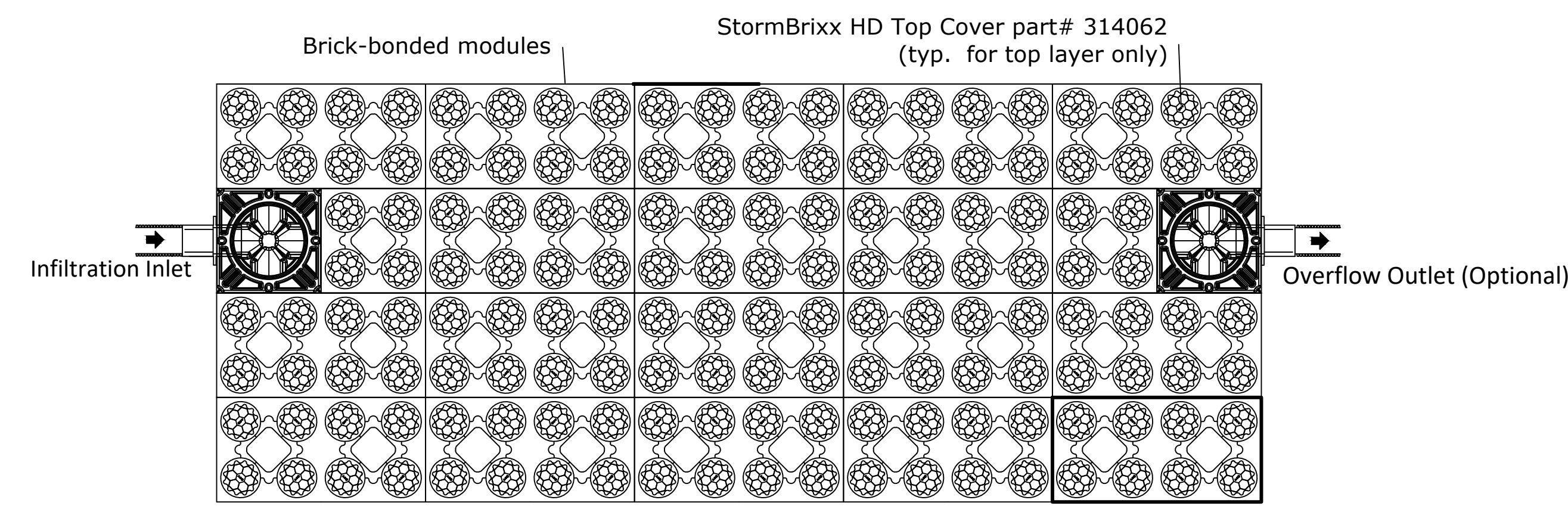
REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

SEALED

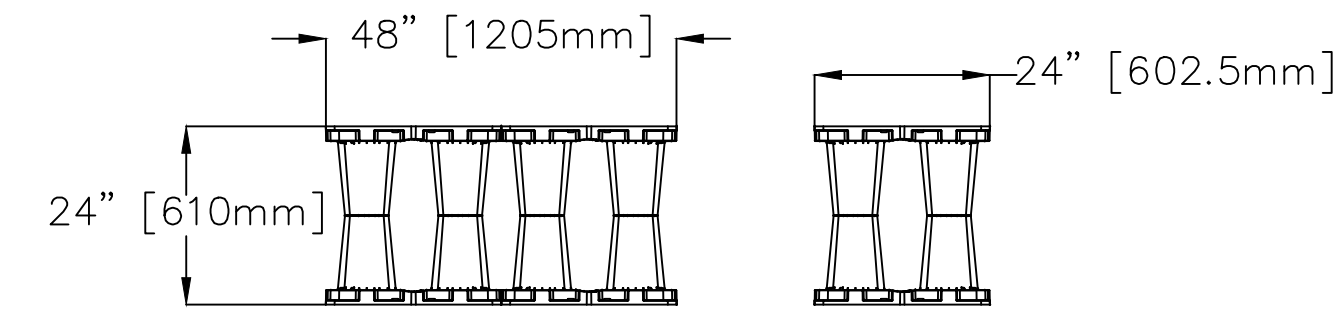


NOTES:

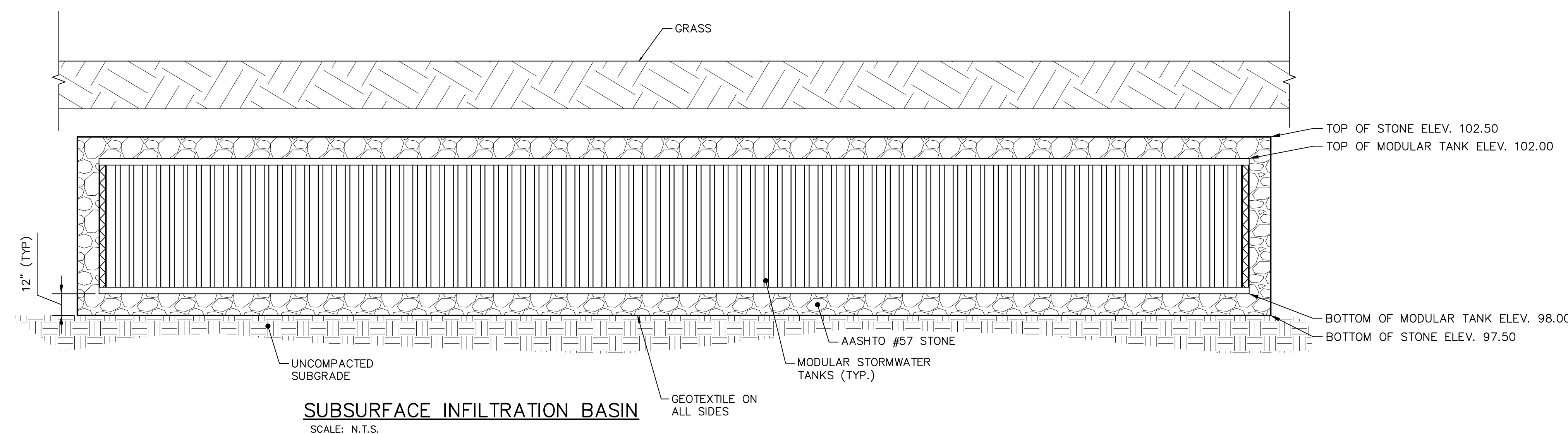
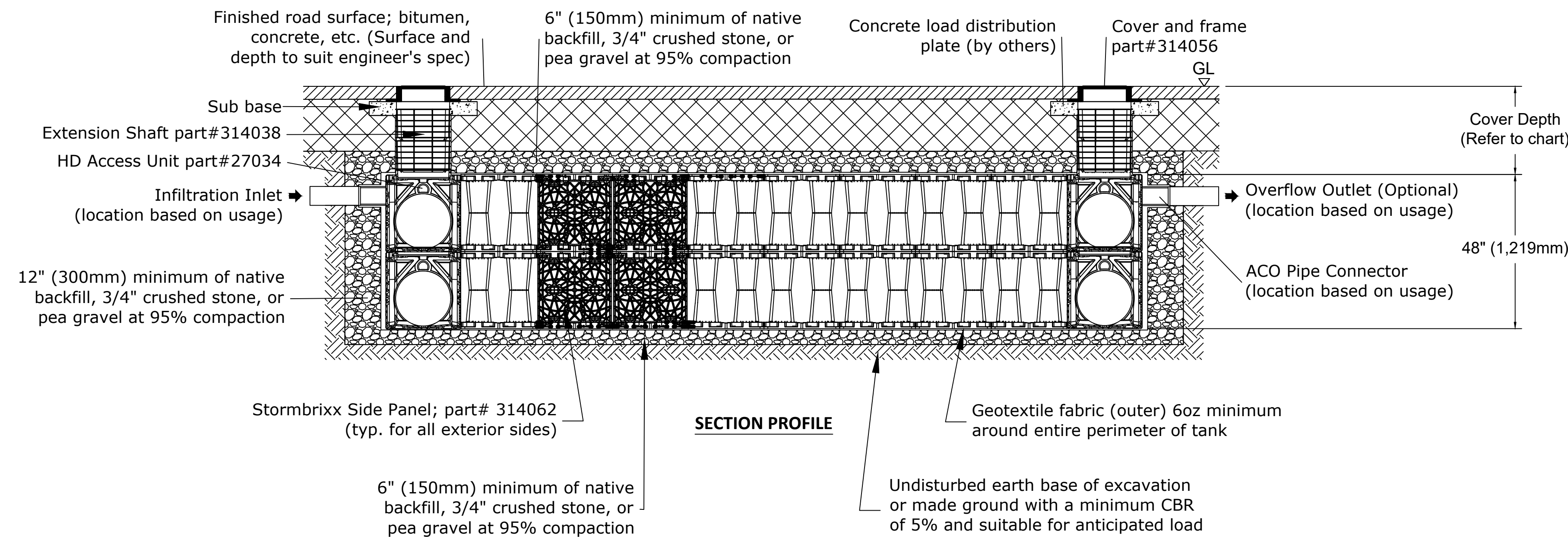
- GEOTEXTILE MUST CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS (AASHTO CLASS 1 OR CLASS 2 GEOTEXTILE IS RECOMMENDED):
 - GRAB TENSILE STRENGTH (ASTM-D4632): ≥ 120 LBS
 - MULLEN BURST STRENGTH (ASTM-D3786): ≥ 225 PSI
 - FLOW RATE (ASTM-D4491): ≥ 95 GAL/MIN/FT²
 - UV RESISTANCE AFTER 500 HRS (ASTM-D4355): $\geq 70\%$
 - HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED
- STORAGE PIPES:
 - PIPE USED WITHIN THE SUBSURFACE INFILTRATION SMP MUST BE CONTINUOUSLY PERFORATED AND HAVE A SMOOTH INTERIOR WITH A MINIMUM INNER DIAMETER OF FOUR INCHES.
 - HIGH-DENSITY POLYETHYLENE (HDPE) PIPE MUST MEET THE SPECIFICATIONS OF AASHTO M252, TYPE S OR AASHTO M294, TYPE S.
 - ANY PIPE MATERIALS OUTSIDE THE SMP ARE TO MEET CITY PLUMBING CODE STANDARDS.
- STONE SHALL BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. CLEAN-WASHED STONE IS DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION.

Installation depths of ACO StormBrixx HD	
Installation Location	Minimum cover depth ⁽⁴⁾ ft (m)
Non-trafficked areas i.e. landscaping ⁽²⁾	1.65 (0.5)
Parking lots, vehicles up to 5,512lbs gross mass ⁽¹⁾	1.8 (0.55)
Parking lots, occasional vehicles greater than 5,512lbs gross mass ⁽³⁾	2.00 (0.6)
Occasional heavy truck traffic up to HS-25 loading	Please consult with ACO
Maximum cover depth of ACO StormBrixx HD	11.16 (3.4)
Maximum depth to invert of ACO StormBrixx HD one layer system	15.16 (4.62)
Notes	
⁽¹⁾ Assumes 27 degree load distribution through fill material and overlaying surface asphalt or block paving	
⁽²⁾ Minimum cover depth to avoid accidental damage from gardening/landscaping work	
⁽³⁾ Occasional sanitation trucks or similar vehicles (typically one per week)	
⁽⁴⁾ Please check minimum frost cover depths and water table heights for geographical location	

ACO StormBrixx HD Module
48"x24"x36" [1205x602.5x914mm (H)]
14.85cuft [0.42m³] net volume per completed module
Brick or Cross Bonded (where applicable)
part# 314061



*All systems must be designed and installed to meet or exceed ACO StormBrixx minimum requirements. Although ACO StormBrixx offers support during the design, review, and construction phases of the module system, it is the ultimate responsibility of the Engineer of Record to design the system in full compliance with all applicable engineering practices, laws, and regulations.



SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 460
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

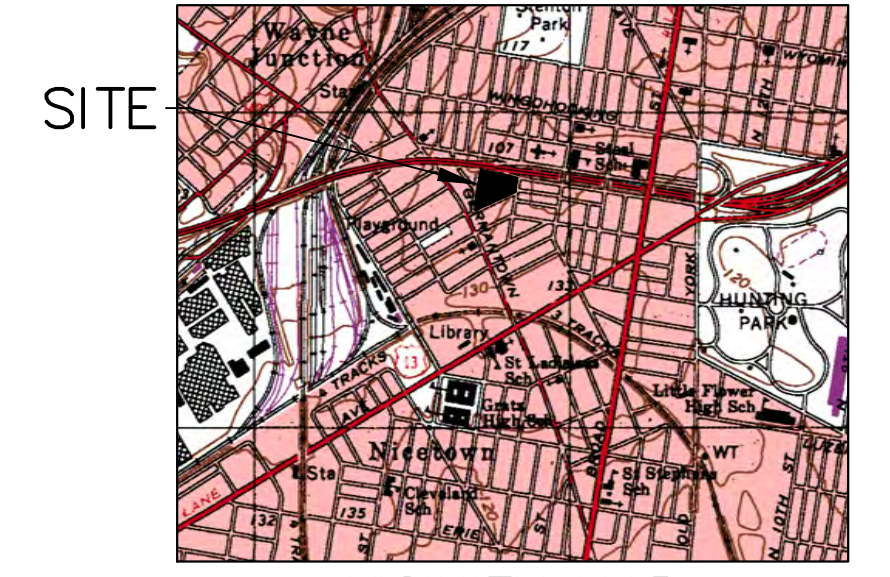
PROJECT TITLE
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE
CONSTRUCTION DETAILS

RSE PROJECT NO.	2471-02	DRAWING NO.	C-5.3
DATE	01.19.2024		
SCALE	AS NOTED		
DRAWN BY	KSE		
CHECKED BY	RSB		

NOTE: THE ENGINEER AND CONSULTANT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREON AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK SHOWN HEREON.

ROOSEVELT BLVD. EXTENSION - (US RTE 1)



VICINITY MAP
1" = 1000'
TOOKANY-TACONY/
FRANKFORD CREEK
WATERSHED

SOIL SYMBOL	SOIL DESCRIPTION	% OF SITE	RUNOFF CLASS	HYDRIC SOIL	SLOPE RANGE	DEPTH	SOIL LIMITATIONS
UdB	URBAN LAND - CHESTER COMPLEX	100.00%	LOW	NO	0-8%	0"-10"	N/A

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

SEALED

EROSION AND SEDIMENT CONTROL (E&SC) NOTES:

- EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT ALONG LIMIT OF DISTURBANCE LINE WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND SHALL SAFELY AND LEGALLY DISPOSE OF ALL THESE ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND REGULATORY AUTHORITY HAVING JURISDICTION. RECYCLING MUST BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS. BURNING OF ANY DEMOLISHED MATERIALS ON-SITE SHALL NOT BE PERMITTED. RECYCLING OF DEMOLITION DEBRIS SHALL BE APPROVED BY THE OWNER. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
- COMPOST FILTER SOCK ON PAVING TO BE WEIGHTED DOWN BY OBJECTS OF CONSIDERABLE MASS (SAND BAGS, CONCRETE BLOCK OR OTHER SUITABLE MATERIAL). COMPOST FILTER SOCK TO BE INSTALLED DOWNSTREAM OF ALL EARTH MOVING ACTIVITIES.
- INLET PROTECTION IN ROADWAYS NOT TO INCLUDE STONE OR BERMS FOR ROADWAY MAINTENANCE PURPOSES.
- MAXIMUM HEIGHT FOR STOCKPILE AREAS TO BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS NOT TO EXCEED 2H:1V.
- RUMBLE PAD TO BE SIZED IN ACCORDANCE WITH PA DEP MINIMUM REQUIREMENTS OF 50'L X 20'W AND INSTALLED.
- CONSTRUCTION, DEMOLITION AND EARTHWORK DUST CONTROL TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DUST CONTROL REQUIREMENTS (AIR MANAGEMENT REGULATION (AMR) II, SECTION IX.) AND TO INCLUDE BUT NOT LIMITED TO:
 - NOTIFY OCCUPANTS OF NEARBY PROPERTIES, IN WRITING 10 DAYS BEFORE ENGAGING IN EARTHWORK, CONSTRUCTION AND DEMOLITION ACTIVITIES.
 - USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING OR CUTTING.
 - APPLICATION OF WATER OR APPROVED DUST CONTROL SUPPRESSANT DURING EXCAVATION, DEMOLITION AND/OR CONSTRUCTION TO SUPPRESS DUST FORMATION.
 - COVERING AND WETTING OF STOCKPILES EARTH, SAND, GRAVEL AND OTHER SIMILAR CONSTRUCTION MATERIALS.
 - ALL PERIMETER FENCING MUST HAVE DUST CONTROL FABRIC AND MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF FENCING.
 - 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
 - WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.

E&SC LEGEND	
8" COMPOST FILTER SOCK	8 CFS
12" COMPOST FILTER SOCK	12 CFS
18" COMPOST FILTER SOCK	18 CFS
24" COMPOST FILTER SOCK	24 CFS
32" COMPOST FILTER SOCK	32 CFS
INLET PROTECTION (FILTER BAG)	FB
INLET PROTECTION (COMPOSITE FILTER SOCK)	CFS
LIMIT OF DISTURBANCE AND PROJECT SITE BOUNDARY	LOD
RUMBLE PAD	[Symbol]

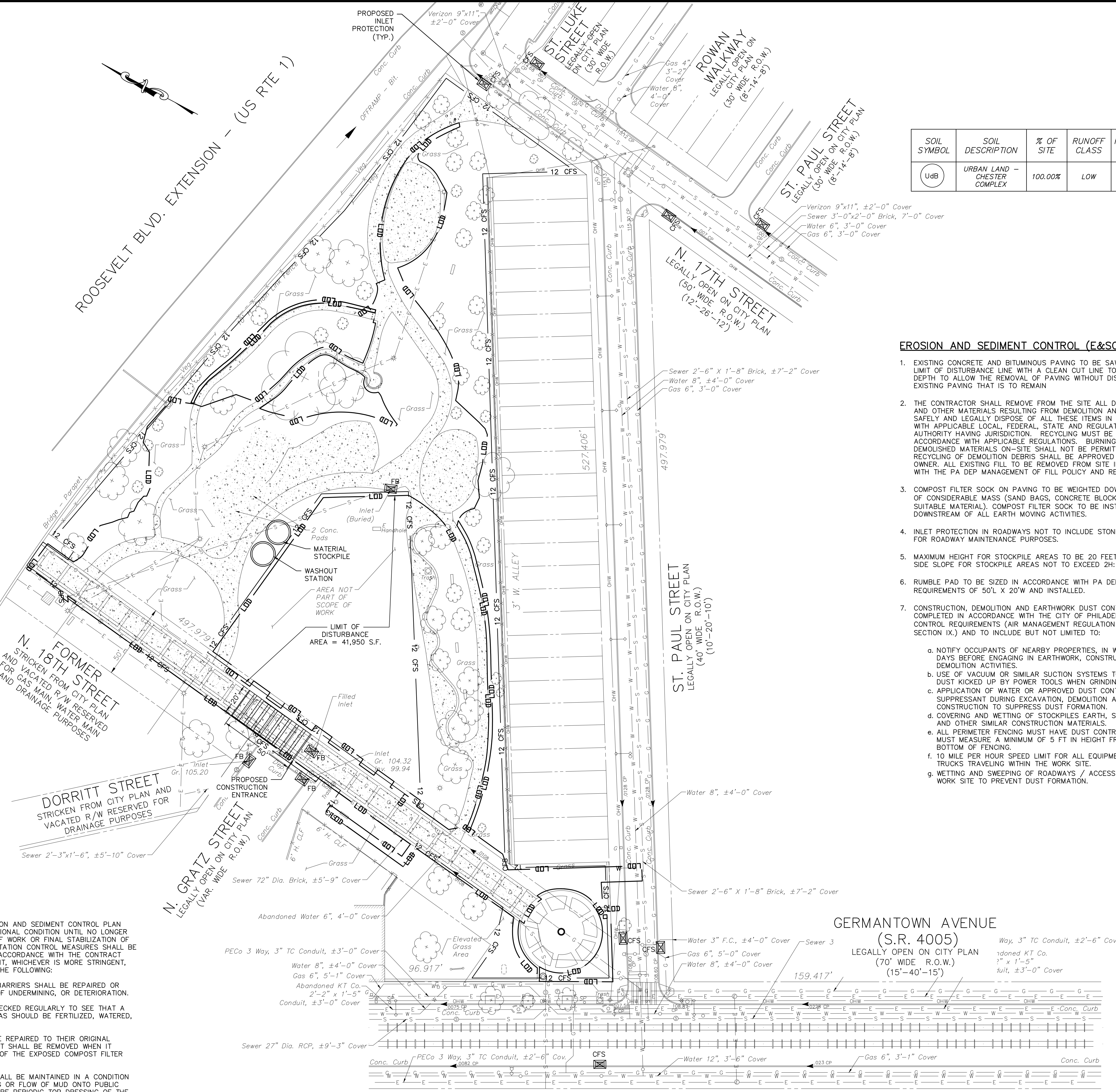
MAINTENANCE NOTES:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEDED AS NEEDED.
- COMPOST FILTER SOCKS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE-HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
- THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
- BMPs ARE TO BE INSPECTED ON A WEEKLY BASIS AND AFTER STORMWATER EVENTS. INSPECTIONS ARE TO BE LOGGED, DATED AND KEPT ON-SITE AT ALL TIMES.

GENERAL NOTES:

- SEE ARCHITECTURAL DRAWINGS FOR DETAILED RETAINING WALL DIMENSIONS AND LAYOUTS.
- HORIZONTAL DATUM IS THE NAD83 PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983, (PA83-SF, NAD 83). VERTICAL DATUM IS THE CITY OF PHILADELPHIA VERTICAL DATUM BASED UPON A BENCHMARK.
- SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR ON THIS PLAN.
- INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- SITE LIES WITHIN THE MAPPED LIMITS OF FLOOD ZONE X, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE PAY COMMUNITY-PANEL NO 4207570109G, DATED 01/17/2007 FOR THE CITY OF PHILADELPHIA.
- PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NOT WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
- NO PROPOSED PARKING AS PART OF THIS PROJECT.
- NO SIGNAGE PROPOSED AS PART OF THIS PROJECT.
- SEE LANDSCAPING PLANS FOR ALL LAYOUTS.



GERMANTOWN AVENUE
(S.R. 4005)
LEGALLY OPEN ON CITY PLAN
(70' WIDE, R.O.W.)
(15'-40'-15')

ACT 187
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.
PENNSYLVANIA ONE CALL: 1-800-242-1776

PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2307 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

PROTECT YOURSELF
WHAT YOU DON'T KNOW CAN HURT YOU.
CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE
Pennsylvania One Call System, Inc.
1-800-242-1776

SITE LOCATION:
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134
OPA ACCOUNT NO.:
132257005
PROPERTY OWNER:
CITY OF PHILADELPHIA
PROPERTY OWNER ADDRESS:
NICETOWN PARK
1401 JOHN F. KENNEDY BLVD
PHILADELPHIA, PA 19102-1617
APPLICANT:
GROUND RECONSIDERED
ZONING:
SPPCA-RECREATION
WARD:
#13

PWD TRACKING No.
FY22-NICE-6841-01

0 15' 30' 60'
SCALE: 1" = 30'-0"

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE:
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134
DRAWING TITLE:
EROSION AND SEDIMENT CONTROL PLAN
KSE PROJECT NO:
2471-02
DRAWING NO:
CE-1.1
DATE:
01.19.2024
SCALE:
1" = 30'-0"
DRAWN BY:
KSE
CHECKED BY:
RSB
NOTE:
THIS DRAWING IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE USED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA'S STANDARD SPECIFICATIONS FOR CONSTRUCTION.

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	6 mil HDPE	Multi-Filament Polypropylene (MFPP)	Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 30"	12" 18" 24" 30"	12" 18" 24" 30"	12" 18"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability %					
Original Strength (ASTM G-165)	25% at 1000 hr.	25% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

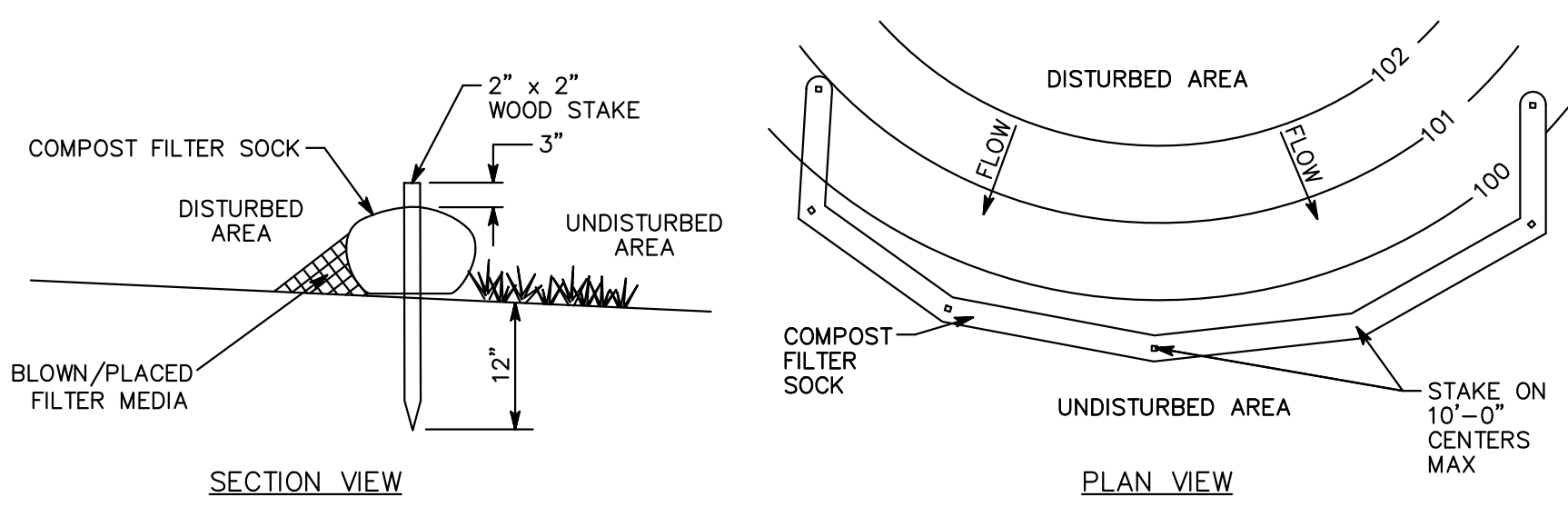
Two-ply systems

Inner Containment Netting	Outer Filtration Mesh
HDPE biaxial net Continuously wound Fusion-welded junctures 3/8" x 3/8" Max. aperture size	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch) 214" Max. aperture size

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

TABLE 4.2
Compost Standards

Organic Matter Content	80% - 100% (dry weight basis)
Organic Puffiness	Fibrous and elongated
Moisture Content	35% - 55%
Particle Size	98% pass through 1" screen
Soluble Salt Concentration	5.0 dS/m (unless otherwise specified)



- REMOVE DEPOSITS WHEN SEDIMENT ACCUMULATION IS ONE HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
- PLACE COMPOST FILTER SOCK ON LEVEL GRADE. EXTEND BOTH ENDS OF THE COMPOST FILTER SOCK AT LEAST 8'-0" UPSLOPE AT 45 DEGREES TO THE MAIN ALIGNMENT.
- REPLACE BIODEGRADABLE FILTER SOCK AFTER 6 MONTHS; PHOTODEGRADABLE AFTER 12 MONTHS.
- ALL DIMENSIONS ARE IN U.S. CUSTOMARY UNITS.
- CONTRACTOR SHALL PROVIDE SAND BAGS, CONCRETE BLOCKS, OR OTHER SUITABLE MATERIAL TO STABILIZE COMPOST FILTER SOCK ON PAVED AREAS AND PREVENT IT FROM MOVING OR SHIFTING. STABILIZING DEVICES SHALL BE SPACED TO FEET ON CENTER OR AS RECOMMENDED BY THE MANUFACTURER, WHICHEVER IS LESS.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

COMPOST FILTER SOCK

TOPSOIL APPLICATION

Graded areas should be scarified or otherwise loosened to a depth of 3 to 5 inches to permit bonding of the topsoil to the surface areas and to provide a roughened surface to prevent topsoil from sliding down slope.

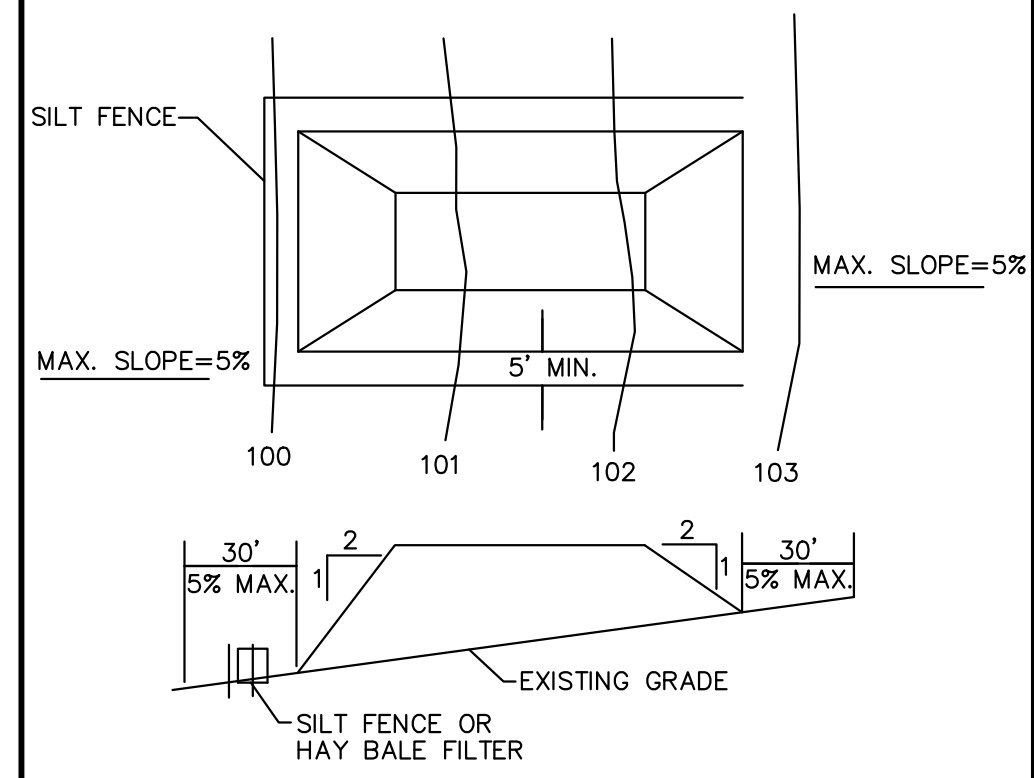
Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 8 inches minimum - 2 inches on fill cut slopes. Spreading should be done in such a manner that sodding or seeding can proceed with a minimum of additional preparation or tillage. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the TCSM plan.

Topsoil should not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation. Compacted soils should be scarified 6 to 12 inches along contour whenever possible prior to seeding.

TABLE 11.1
Cubic Yards of Topsoil Required for Application to Various Depths

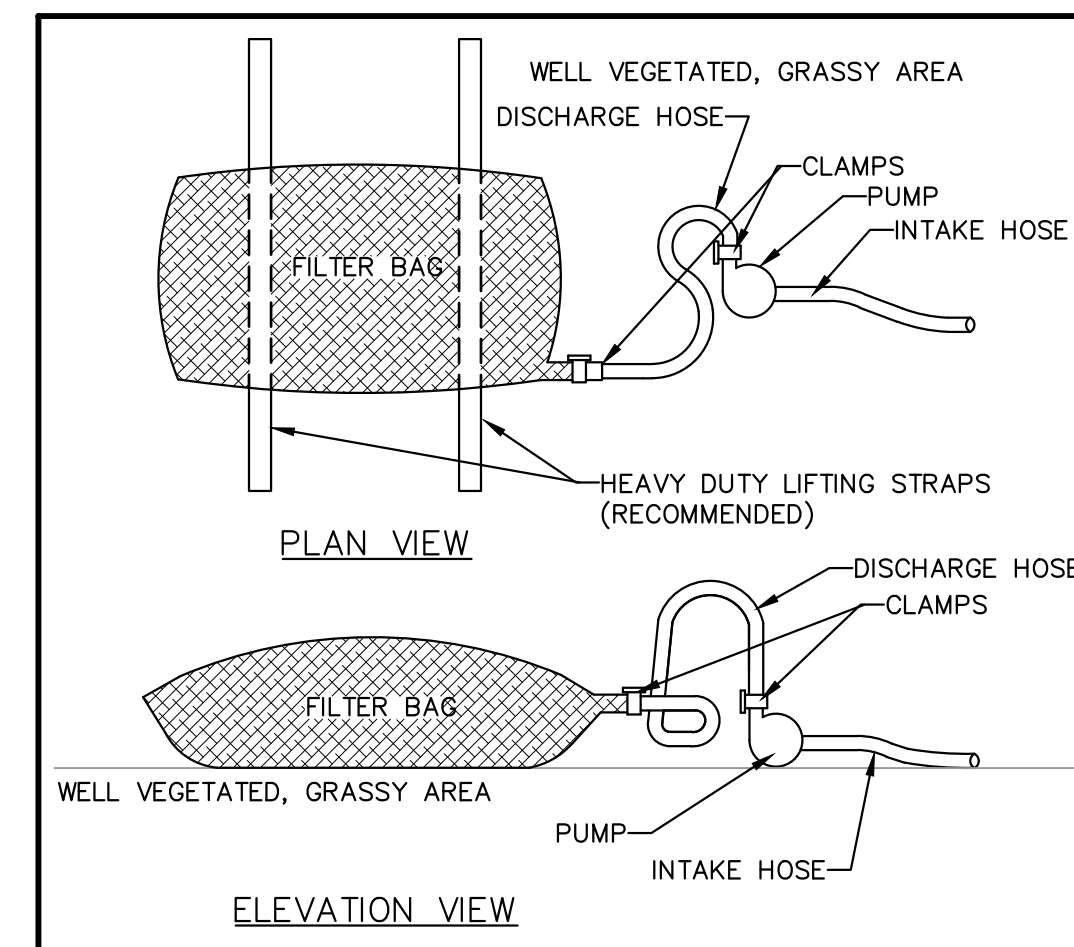
Depth (in)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

Adapted from VA DSWC

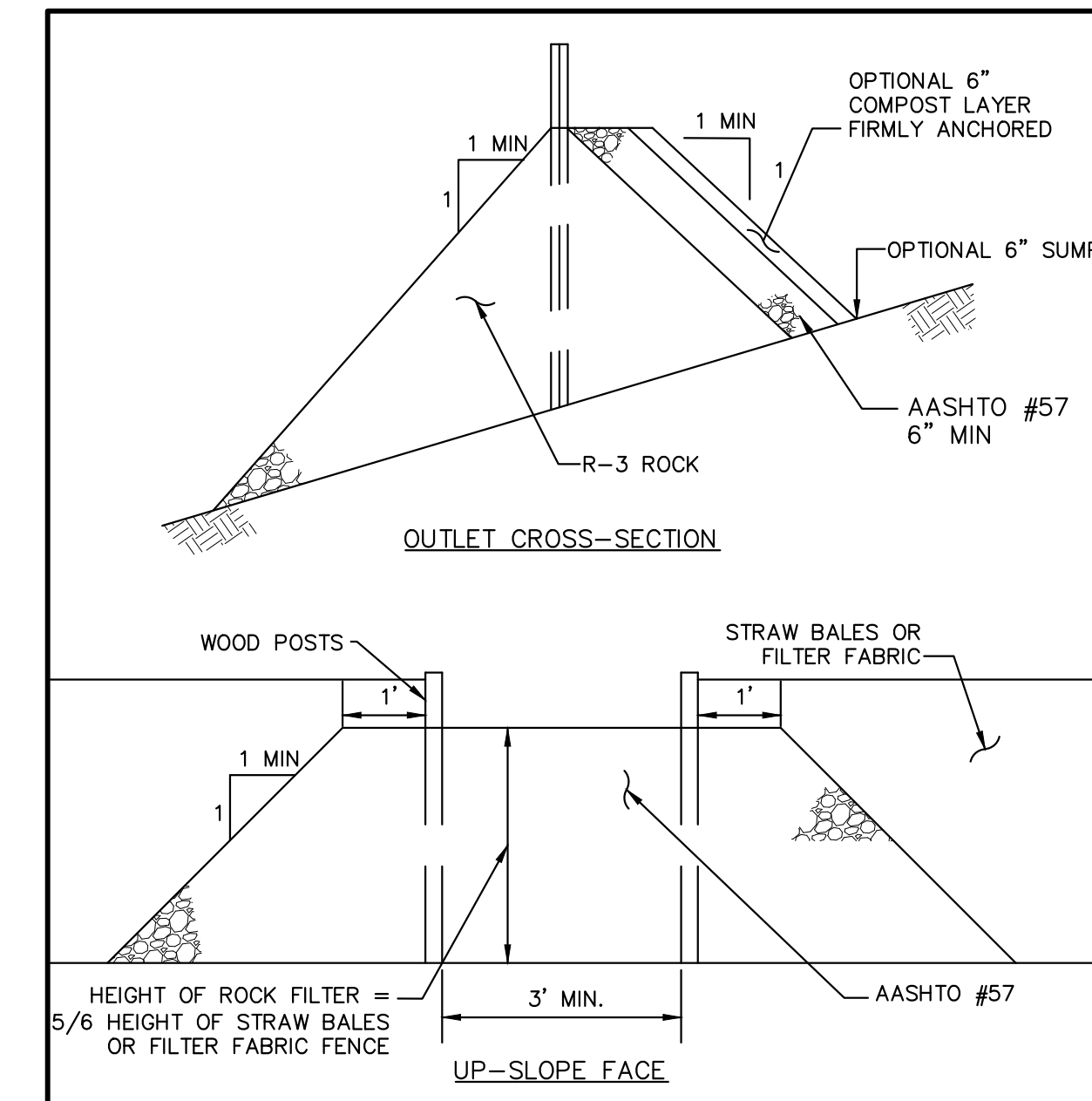


- NOTES:**
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
 - ALL SIDE SLOPES SHALL BE 2H:1V OR FLATTER.
 - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIRED.
 - SILT FENCE SHALL BE INSTALLED AS DETAILED HEREON.
 - STOCKPILE NOT TO EXCEED 20 FEET IN HEIGHT.

TEMPORARY STOCKPILE

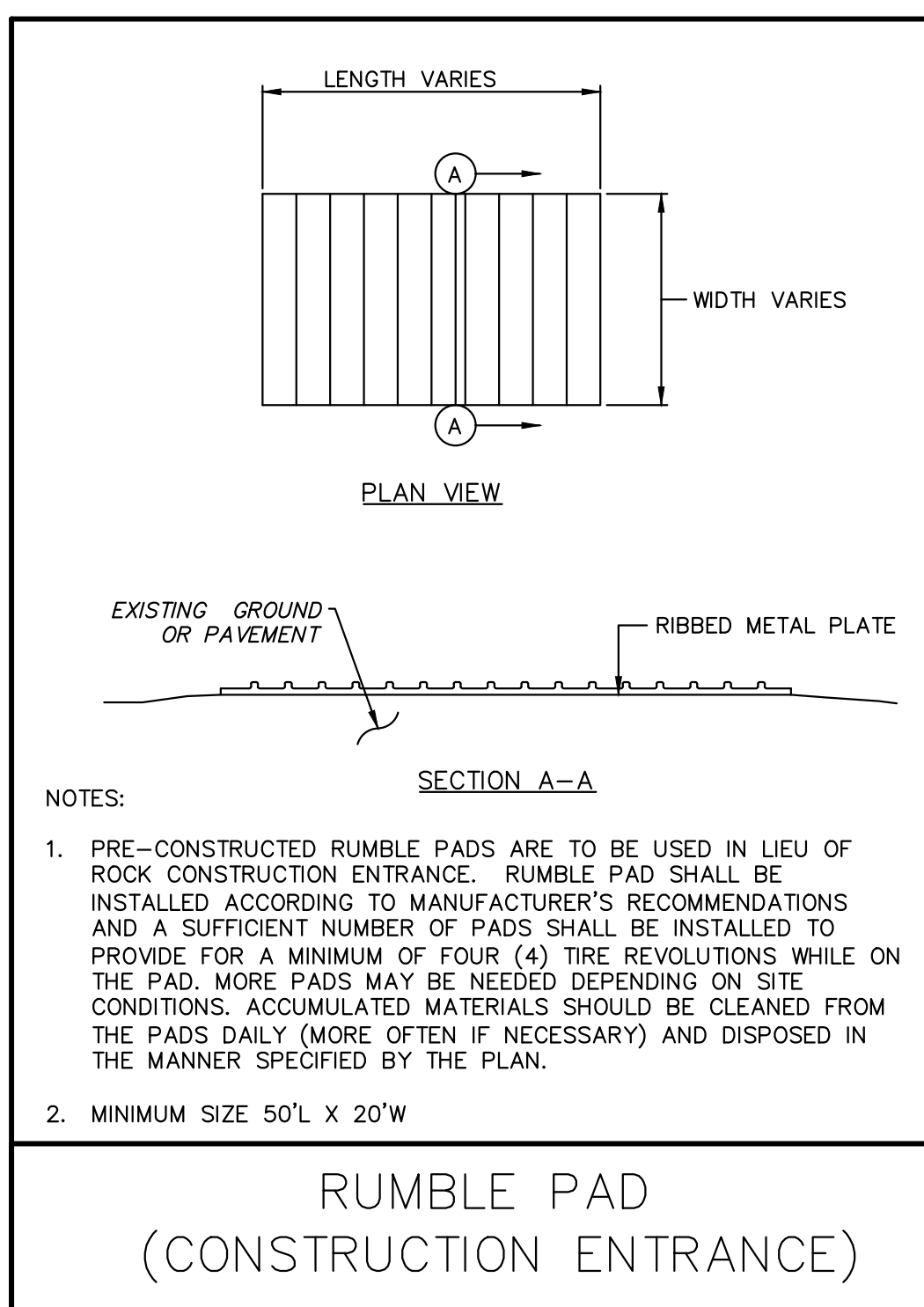


PUMPED WATER FILTER BAG



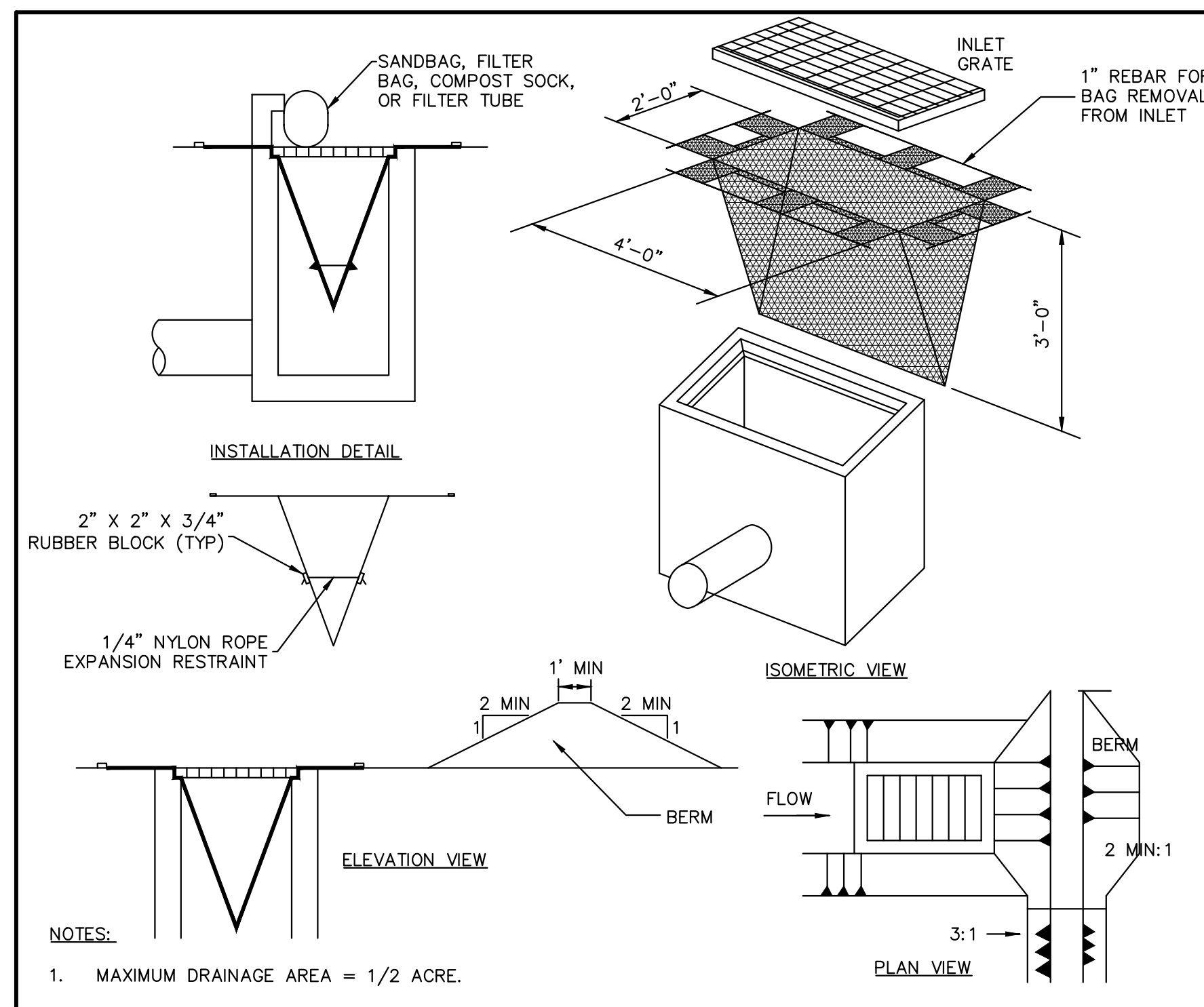
- Notes:**
- A rock filter outlet shall be installed where failure of a silt fence or straw barrier has occurred due to concentrated flow. Anchored compost layer shall be used on upslope face in HQ and EV watersheds.
 - Sediment must be removed when accumulations reach 1/3 the height of the outlet.

ROCK FILTER OUTLET



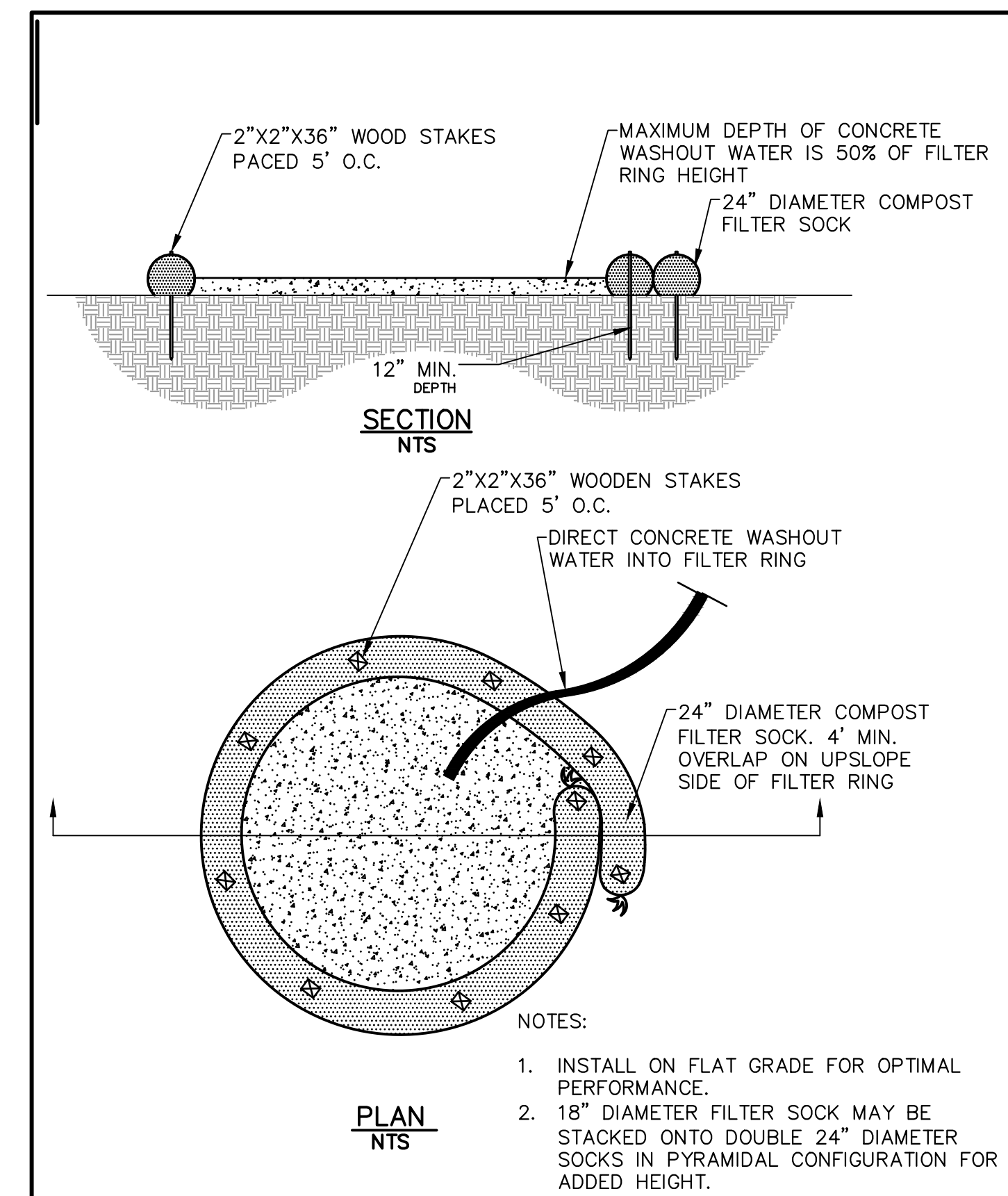
- NOTES:**
- PRE-CONSTRUCTED RUMBLE PADS ARE TO BE USED IN LIEU OF ROCK CONSTRUCTION ENTRANCE. RUMBLE PAD SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND A SUFFICIENT NUMBER OF PADS SHALL BE INSTALLED TO PROVIDE FOR A MINIMUM OF FOUR (4) TIRE REVOLUTIONS WHILE ON THE PAD. MORE PADS MAY BE NEEDED DEPENDING ON SITE CONDITIONS. ACCUMULATED MATERIALS SHOULD BE CLEANED FROM THE PADS DAILY (MORE OFTEN IF NECESSARY) AND DISPOSED IN THE MANNER SPECIFIED BY THE PLAN.
 - MINIMUM SIZE 50' L X 20' W

RUMBLE PAD
(CONSTRUCTION ENTRANCE)



- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 - INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.
 - EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.
 - DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS

FILTER BAG INLET PROTECTION



- NOTES:**
- INSTALL ON FLAT GRADE FOR OPTIMAL PERFORMANCE.
 - 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

COMPOST SOCK WASHOUT STATION

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% BID DOCUMENTS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102

SEALED

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KS Engineers, P.C.
530 Walnut Street, Suite 460
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK
4301 GERMANTOWN AVENUE
PHILADELPHIA, PA 19134

DRAWING TITLE
**EROSION AND
SEDIMENT CONTROL
DETAILS**

RSE PROJECT NO.
2471-02

DATE
01.19.2024

SCALE
AS NOTED

DRAWN BY
KSE

CHECKED BY
RSB

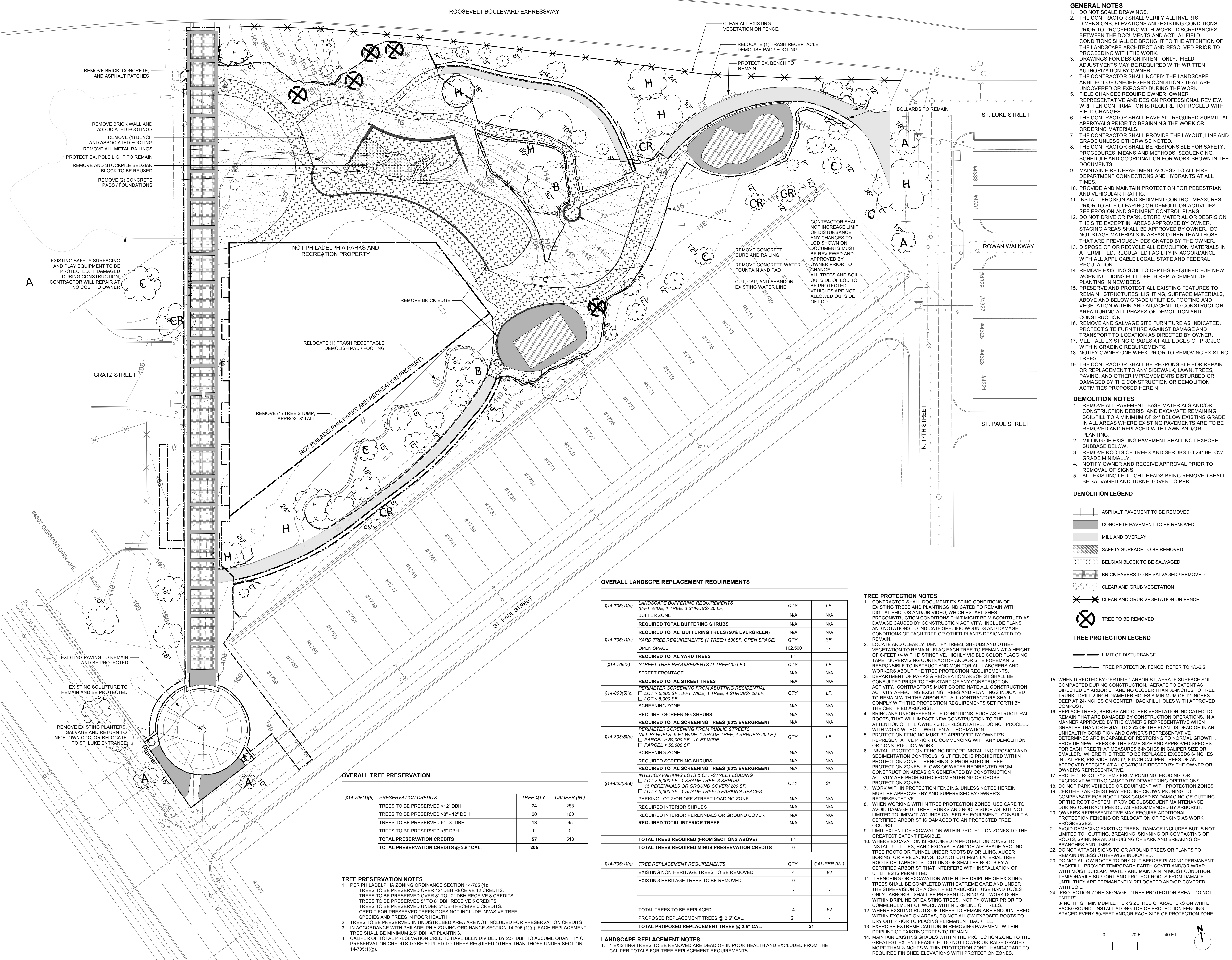
DATE
01.19.2024

SCALE
AS NOTED

DRAWN BY
KSE

CHECKED BY
RSB

CE-5.1



- ### GENERAL NOTES
- DO NOT SCALE DRAWINGS.
 - THE CONTRACTOR SHALL VERIFY ALL INVERTS, DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
 - DRAWINGS FOR DESIGN INTENT ONLY. FIELD ADJUSTMENTS MAY BE REQUIRED WITH WRITTEN AUTHORIZATION BY OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNFORESEEN CONDITIONS THAT ARE UNCOVERED OR DISCOVERED DURING THE WORK.
 - FIELD CHANGES REQUIRE OWNER, OWNER REPRESENTATIVE AND DESIGN PROFESSIONAL REVIEW. WRITTEN CONFIRMATION IS REQUIRED TO PROCEED WITH FIELD CHANGES.
 - THE CONTRACTOR SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING THE WORK OR ORDERING MATERIALS.
 - THE CONTRACTOR SHALL PROVIDE THE LAYOUT, LINE AND GRADE UNLESS OTHERWISE NOTED BY THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY, PROCEDURES, MEANS AND METHODS, SEQUENCING, SCHEDULE AND COORDINATION FOR WORK SHOWN IN THE DOCUMENTS.
 - MAINTAIN FIRE DEPARTMENT ACCESS TO ALL FIRE DEPARTMENT CONNECTIONS AND HYDRANTS AT ALL TIMES.
 - PROVIDE AND MAINTAIN PROTECTION FOR PEDESTRIAN AND VEHICULAR TRAFFIC.
 - INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE CLEARING OR DEMOLITION ACTIVITIES. SEE EROSION AND SEDIMENT CONTROL PLANS.
 - DO NOT DRIVE OR PARK, STORE MATERIAL OR DEBRIS ON THE SITE EXCEPT IN AREAS APPROVED BY OWNER. STAGING AREAS SHALL BE APPROVED BY OWNER. DO NOT STAGE MATERIALS IN AREAS OTHER THAN THOSE THAT ARE PREVIOUSLY DESIGNATED BY THE OWNER.
 - DISPOSE OF OR RECYCLE ALL DEMOLITION MATERIALS IN A PERMITTED, REGULATED FACILITY IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATION.
 - REMOVE EXISTING SOIL TO DEPTHS REQUIRED FOR NEW WORK INCLUDING FULL DEPTH REPLACEMENT OF PLANTING IN NEW BEDS.
 - PRESERVE AND PROTECT ALL EXISTING FEATURES TO REMAIN. STRUCTURES, LIGHTING, SURFACE MATERIALS, ABOVE AND BELOW GRADE UTILITIES, FOOTING AND VEGETATION WITHIN AND ADJACENT TO CONSTRUCTION AREA DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
 - REMOVE AND SALVAGE SITE FURNITURE AS INDICATED. PROTECT SITE FURNITURE AGAINST DAMAGE AND TRANSPORT TO LOCATION AS DIRECTED BY OWNER.
 - MEET ALL EXISTING GRADES AT ALL EDGES OF PROJECT WITHIN GRADING REQUIREMENTS.
 - NOTIFY OWNER ONE WEEK PRIOR TO REMOVING EXISTING TREES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT TO ANY SIDEWALK, LAWN, TREES, PAVING AND OTHER IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONSTRUCTION OR DEMOLITION ACTIVITIES PROPOSED HEREIN.

- ### DEMOLITION NOTES
- REMOVE ALL PAVEMENT, BASE MATERIALS AND/OR CONSTRUCTION DEBRIS AND EXCAVATE REMAINING SOIL/FILL TO A MINIMUM OF 24" BELOW EXISTING GRADE IN ALL AREAS WHERE EXISTING PAVEMENTS ARE TO BE REMOVED AND REPLACED WITH LAWN AND/OR PLANTING.
 - MILLING OF EXISTING PAVEMENT SHALL NOT EXPOSE SUBBASE BELOW.
 - REMOVE ROOTS OF TREES AND SHRUBS TO 24" BELOW GRADE MINIMALLY.
 - NOTIFY OWNER AND RECEIVE APPROVAL PRIOR TO REMOVAL OF SIGNS.
 - ALL EXISTING LED LIGHT HEADS BEING REMOVED SHALL BE SALVAGED AND TURNED OVER TO PPR.

- ### DEMOLITION LEGEND
- ASPHALT PAVEMENT TO BE REMOVED
 - CONCRETE PAVEMENT TO BE REMOVED
 - MILL AND OVERLAY
 - SAFETY SURFACE TO BE REMOVED
 - BELGIAN BLOCK TO BE SALVAGED
 - BRICK PAVERS TO BE SALVAGED / REMOVED
 - CLEAR AND GRUB VEGETATION
 - CLEAR AND GRUB VEGETATION ON FENCE

- ### TREE PROTECTION NOTES
- CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS OF EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH DIGITAL PHOTOS AND/OR VIDEO, WHICH ESTABLISHES DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. INCLUDE PLANS AND NOTATIONS TO INDICATE SPECIFIC WOUNDS AND DAMAGE CONDITIONS OF EACH TREE OR OTHER PLANTS DESIGNATED TO REMAIN.
 - LOCATE AND CLEARLY IDENTIFY TREES, SHRUBS AND OTHER VEGETATION TO REMAIN. FLAG EACH TREE TO REMAIN AT A HEIGHT OF 6-FEET +/- WITH DISTINCTIVE, HIGHLY VISIBLE COLOR FLAGGING TAPE. SUPERVISING CONTRACTOR AND/OR SITE FOREMAN IS RESPONSIBLE TO INSTRUCT AND MONITOR ALL LABORERS AND WORKERS ABOUT THE TREE PROTECTION REQUIREMENTS.
 - DEPARTMENT OF PARKS & RECREATION ARBORIST SHALL BE CONSULTED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. CONTRACTORS MUST COORDINATE ALL CONSTRUCTION ACTIVITY AFFECTING EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH THE ARBORIST. ALL CONTRACTORS SHALL COMPLY WITH THE PROTECTION REQUIREMENTS SET FORTH BY THE CERTIFIED ARBORIST.
 - BRING ANY UNFORESEEN SITE CONDITIONS, SUCH AS STRUCTURAL ROOTS, THAT WILL IMPACT NEW CONSTRUCTION TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. DO NOT PROCEED WITH WORK WITHOUT WRITTEN AUTHORIZATION.
 - PROTECTION FENCING MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH ANY DEMOLITION OR CONSTRUCTION WORK.
 - INSTALL PROTECTION FENCING BEFORE INSTALLING EROSION AND SEDIMENTATION CONTROLS. SILT FENCE IS PROHIBITED WITHIN PROTECTION ZONES. FLOWS OF WATER REDIRECTED FROM CONSTRUCTION AREAS OR GENERATED BY CONSTRUCTION ACTIVITY ARE PROHIBITED FROM ENTERING OR CROSSING PROTECTION ZONES.
 - WORK WITHIN PROTECTION FENCING, UNLESS NOTED HEREIN, MUST BE APPROVED BY AND SUPERVISED BY OWNER'S REPRESENTATIVE.
 - WHEN WORKING WITHIN TREE PROTECTION ZONES, USE CARE TO AVOID DAMAGE TO TREE TRUNKS AND ROOTS SUCH AS, BUT NOT LIMITED TO, IMPACT WOUNDS CAUSED BY EQUIPMENT. CONSULT A CERTIFIED ARBORIST IS DAMAGED TO AN PROTECTED TREE OCCURS.
 - LIMIT EXTENT OF EXCAVATION WITHIN PROTECTION ZONES TO THE GREATEST EXTENT FEASIBLE.
 - WHERE EXCAVATION IS REQUIRED IN PROTECTION ZONES TO INSTALL UTILITIES, HAND EXCAVATE AND/OR AIR-SPADE AROUND TREE ROOTS OR TUNNEL UNDER ROOTS BY DRILLING, AUGER BORING, OR PIPE JACKING. DO NOT CUT MAIN LATERAL TREE ROOTS OR TAPROOTS. CUTTING OF SMALLER ROOTS BY A CERTIFIED ARBORIST THAT INTERFERE WITH INSTALLATION OF UTILITIES IS PERMITTED.
 - TRENCHING OR EXCAVATION WITHIN THE DRIFLINE OF EXISTING UTILITIES SHALL BE COMPLETED WITH EXTREME CARE AND UNDER THE SUPERVISION OF A CERTIFIED ARBORIST. USE HAND TOOLS ONLY. ARBORIST SHALL BE PRESENT DURING ALL WORK DONE WITHIN DRIFLINE OF EXISTING TREES TO NOTIFY OWNER PRIOR TO COMMENCEMENT OF WORK WITHIN DRIFLINE OF TREES.
 - WHERE EXISTING ROOTS OF TREES TO REMAIN ARE ENCOUNTERED WITHIN EXCAVATION AREAS, DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACING PERMANENT BACKFILL.
 - EXERCISE EXTREME CAUTION IN REMOVING PAVEMENT WITHIN DRIFLINE OF EXISTING TREES TO REMAIN.
 - MAINTAIN EXISTING GRADES WITHIN THE PROTECTION ZONE TO THE GREATEST EXTENT FEASIBLE. DO NOT LOWER OR RAISE GRADES MORE THAN 2-INCHES WITHIN PROTECTION ZONE. HAND-GRADE TO REQUIRED FINISHED ELEVATIONS WITH PROTECTION ZONES.

- ### TREE PROTECTION LEGEND
- LIMIT OF DISTURBANCE
 - TREE PROTECTION FENCE, REFER TO 11L-6.5
 - 15. WHEN DIRECTED BY CERTIFIED ARBORIST, AERATE SURFACE SOIL COMPACTED DURING CONSTRUCTION. AERATE TO EXTENT AS DIRECTED BY ARBORIST AND NO CLOSER THAN 36-INCHES TO TREE TRUNK. DRILL 2-INCH DIAMETER HOLES A MINIMUM OF 12-INCHES DEEP AT 24-INCHES ON CENTER. BACKFILL HOLES WITH APPROVED COMPOST.
 - 16. REPLACE TREES, SHRUBS AND OTHER VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS. IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE WHEN GREATER THAN OR EQUAL TO 25% OF THE PLANT IS DEAD OR IN AN UNHEALTHY CONDITION AND OWNER'S REPRESENTATIVE DETERMINES ARE INCAPABLE OF RESTORING TO NORMAL GROWTH. PROVIDE NEW TREES OF THE SAME SIZE AND APPROVED SPECIES FOR EACH TREE THAT MEASURES 6-INCHES IN CALIPER SIZE OR SMALLER, WHERE THE TREE TO BE REPLACED EXCEEDS 6-INCHES IN CALIPER. PROVIDE TWO (2) 8-INCH CALIPER TREES OF AN APPROVED SPECIES AT A LOCATION DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - 17. PROTECT ROOT SYSTEMS FROM PONDING, ERODING, OR EXCESSIVE WETTING CAUSED BY DETERIORATING OPERATIONS.
 - 18. DO NOT PARK VEHICLES OR EQUIPMENT WITH PROTECTION ZONES. CERTIFIED ARBORIST MAY REQUIRE CROWN PRUNING TO COMPENSATE FOR ROOT LOSS CAUSED BY DAMAGING OR CUTTING OF THE ROOT SYSTEM. PROVIDE SUBSEQUENT MAINTENANCE DURING CONTRACT PERIOD AS RECOMMENDED BY ARBORIST.
 - 19. OWNER'S REPRESENTATIVE MAY REQUIRE ADDITIONAL PROTECTION FENCING OR RELOCATION OF FENCING AS WORK PROGRESSES.
 - 20. AVOID DAMAGING EXISTING TREES. DAMAGE INCLUDES BUT IS NOT LIMITED TO: CUTTING, BREAKING, SKINNING OR COMPACTING OF ROOTS, SKINNING AND BRUISING OF BARK AND BREAKING OF BRANCHES AND LIMBS.
 - 21. DO NOT ALLOW ROOTS TO DRY OUT BEFORE PLACING PERMANENT BACKFILL. PROVIDE TEMPORARY EARTH COVER AND/OR WRAP WITH MOIST BURLAP. WATER AND MAINTAIN IN MOIST CONDITION. TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY RELOCATED AND/OR COVERED WITH SOIL.
 - 22. PROTECTION-ZONE SIGNAGE: "TREE PROTECTION AREA - DO NOT ENTER" 3-INCH HIGH MINIMUM LETTER SIZE, RED CHARACTERS ON WHITE BACKGROUND. INSTALL ALONG TOP OF PROTECTION FENCING SPACED EVERY 50-FEET AND/OR EACH SIDE OF PROTECTION ZONE.

OVERALL LANDSCAPE REPLACEMENT REQUIREMENTS

SECTION	REQUIREMENTS	QTY.	LF.
§14-705(1)(d)	LANDSCAPE BUFFERING REQUIREMENTS (8-FT WIDE, 1 TREE, 3 SHRUBS/20 LF)		
	BUFFER ZONE	N/A	N/A
	REQUIRED TOTAL BUFFERING SHRUBS	N/A	N/A
§14-705(1)(e)	YARD TREE REQUIREMENTS (1 TREE/1,600SF OPEN SPACE)		
	REQUIRED TOTAL YARD TREES	102,500	-
§14-705(2)	STREET TREE REQUIREMENTS (1 TREE/35 LF.)		
	STREET FRONTAGE	N/A	N/A
§14-803(5)(c)	PERIMETER SCREENING FROM ABUTTING RESIDENTIAL (ALL PARCELS: 5-FT WIDE, 1 SHADE TREE, 4 SHRUBS/20 LF.)		
	SCREENING ZONE	N/A	N/A
	REQUIRED SCREENING SHRUBS	N/A	N/A
§14-803(5)(d)	PERIMETER SCREENING FROM PUBLIC STREETS (ALL PARCELS: 5-FT WIDE, 1 SHADE TREE, 4 SHRUBS/20 LF.)		
	SCREENING ZONE	N/A	N/A
	REQUIRED SCREENING SHRUBS	N/A	N/A
§14-803(5)(e)	INTERIOR PARKING LOTS & OFF-STREET LOADING (LOT > 5,000 SF: 1 SHADE TREE, 3 SHRUBS, 15 PERENNIALS OR GROUND COVER/200 SF.)		
	SCREENING ZONE	N/A	N/A
	REQUIRED SCREENING SHRUBS	N/A	N/A
§14-705(1)(g)	TREE REPLACEMENT REQUIREMENTS		
	EXISTING NON-HERITAGE TREES TO BE REMOVED	4	52
	EXISTING HERITAGE TREES TO BE REMOVED	0	-
	TOTAL TREES TO BE REPLACED	4	52
	PROPOSED REPLACEMENT TREES @ 2.5" CAL.	21	-
	TOTAL PROPOSED REPLACEMENT TREES @ 2.5" CAL.	21	21

OVERALL TREE PRESERVATION

SECTION	PRESERVATION CREDITS	TREE QTY.	CALIPER (IN.)
§14-705(1)(h)	TREES TO BE PRESERVED >12" DBH	24	288
	TREES TO BE PRESERVED 8" - 12" DBH	20	160
	TREES TO BE PRESERVED 5" - 8" DBH	13	65
	TREES TO BE PRESERVED <5" DBH	0	0
	TOTAL PRESERVATION CREDITS	57	513
	TOTAL PRESERVATION CREDITS @ 2.5" CAL.	205	

LANDSCAPE REPLACEMENT NOTES

- EXISTING TREES TO BE REMOVED ARE DEAD OR IN POOR HEALTH AND EXCLUDED FROM THE CALIPER TOTALS FOR TREE REPLACEMENT REQUIREMENTS.

TREE PRESERVATION NOTES

- PER PHILADELPHIA ZONING ORDINANCE SECTION 14-705(1): TREES TO BE PRESERVED OVER 12" DBH RECEIVE 12 CREDITS. TREES TO BE PRESERVED OVER 8" TO 12" DBH RECEIVE 8 CREDITS. TREES TO BE PRESERVED 5" TO 8" DBH RECEIVE 5 CREDITS. TREES TO BE PRESERVED UNDER 5" DBH RECEIVE 0 CREDITS. CREDIT FOR PRESERVED TREES DOES NOT INCLUDE INVASIVE TREE SPECIES AND TREES IN POOR HEALTH.
- TREES TO BE PRESERVED IN UNDISTURBED AREA ARE NOT INCLUDED FOR PRESERVATION CREDITS.
- IN ACCORDANCE WITH PHILADELPHIA ZONING ORDINANCE SECTION 14-705(1)(g), EACH REPLACEMENT TREE SHALL BE MINIMUM 2.5" DBH AT PLANTING.
- CALIPER OF TOTAL PRESERVATION CREDITS HAVE BEEN DIVIDED BY 2.5" DBH TO ASSUME QUANTITY OF PRESERVATION CREDITS TO BE APPLIED TO TREES REQUIRED OTHER THAN THOSE UNDER SECTION 14-705(1)(g).

REVISIONS		
ISSUE	DATE	REVISIONS

PHILADELPHIA MANETO

PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.632.2174

SEALED

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia, PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 460
Philadelphia, PA 19106
www.kseeng.com

MEP ENGINEERS:
Arora Engineers, Inc.
1600 Market Street
Suite 1630
Philadelphia, PA 19103
www.aroraengineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

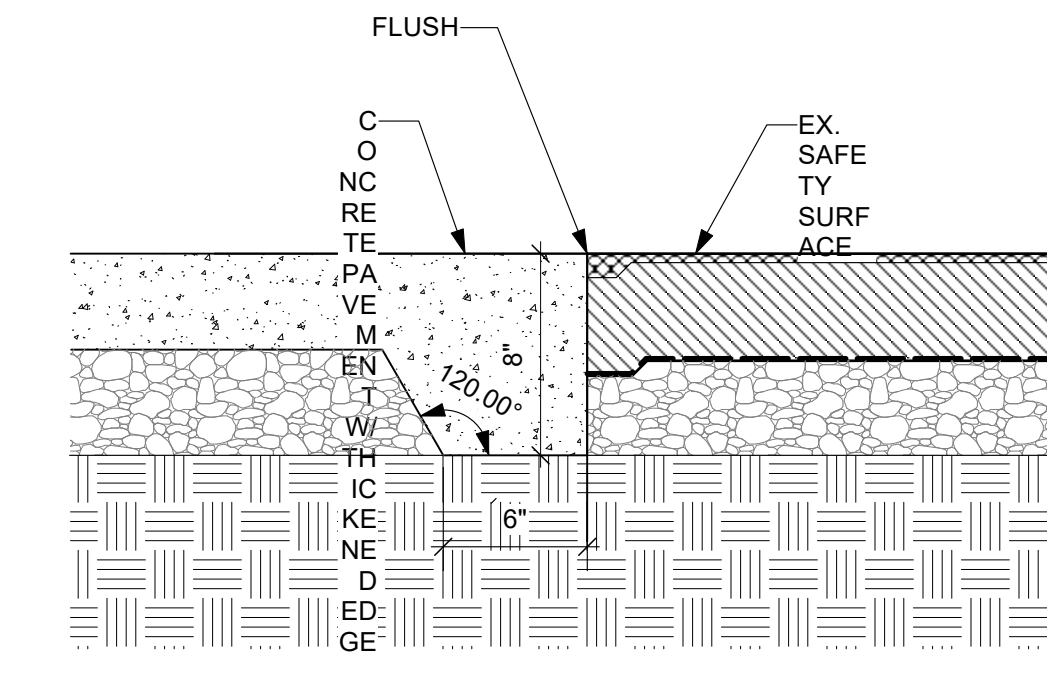
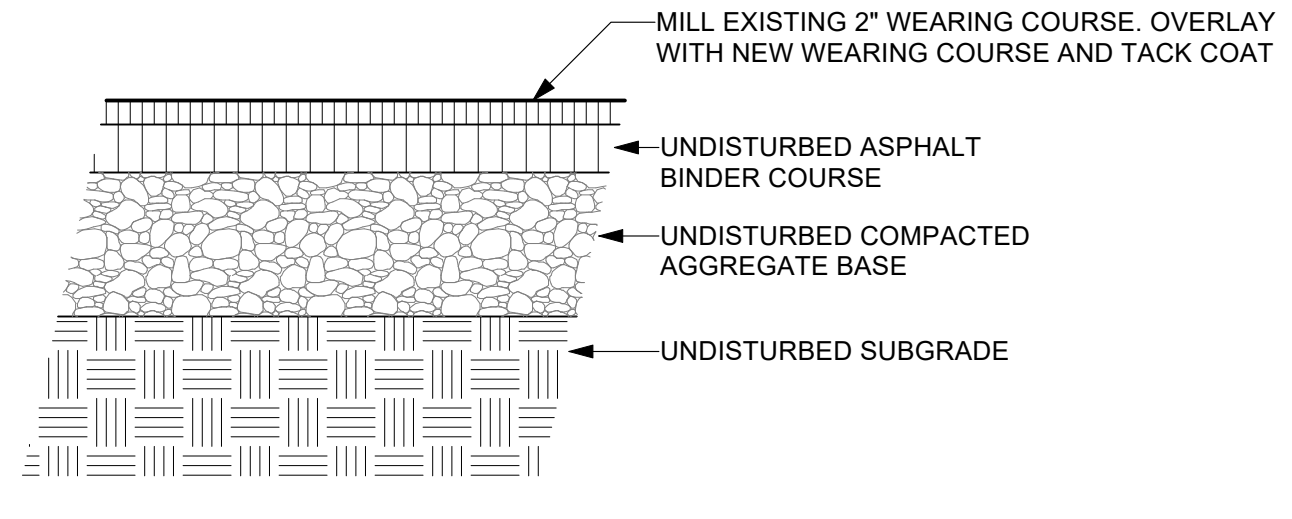
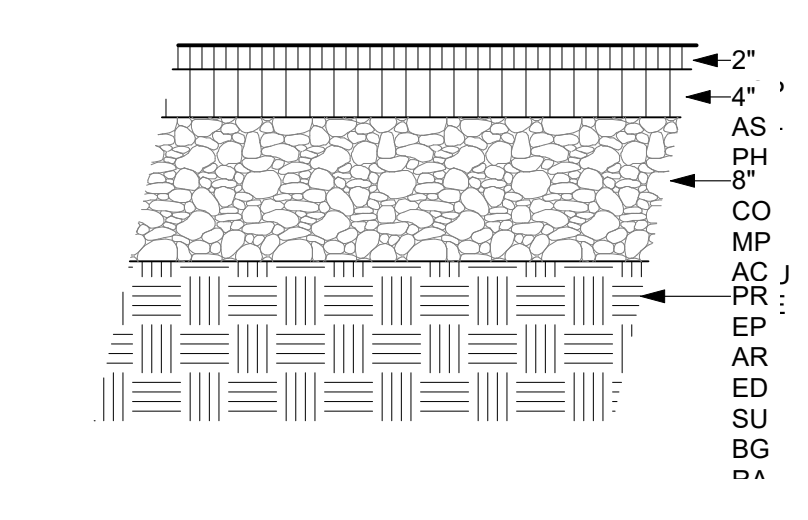
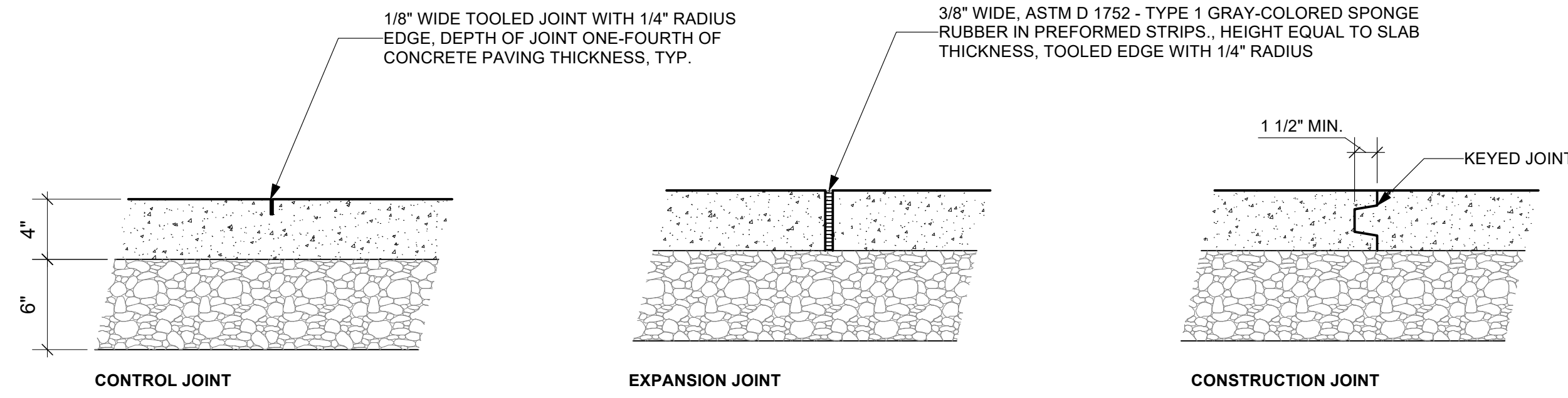
PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
TREE PROTECTION AND DEMOLITION PLAN

PROJECT NO.	DRAWING NO.
2009.05	L-1.0

DATE: 01.19.2024
SCALE: AS NOTED
DRAWN BY: TM, JCB, JD & SE
CHECKED BY: JB

DATE: 01.19.2024
SCALE: AS NOTED
DRAWN BY: TM, JCB, JD & SE
CHECKED BY: JB

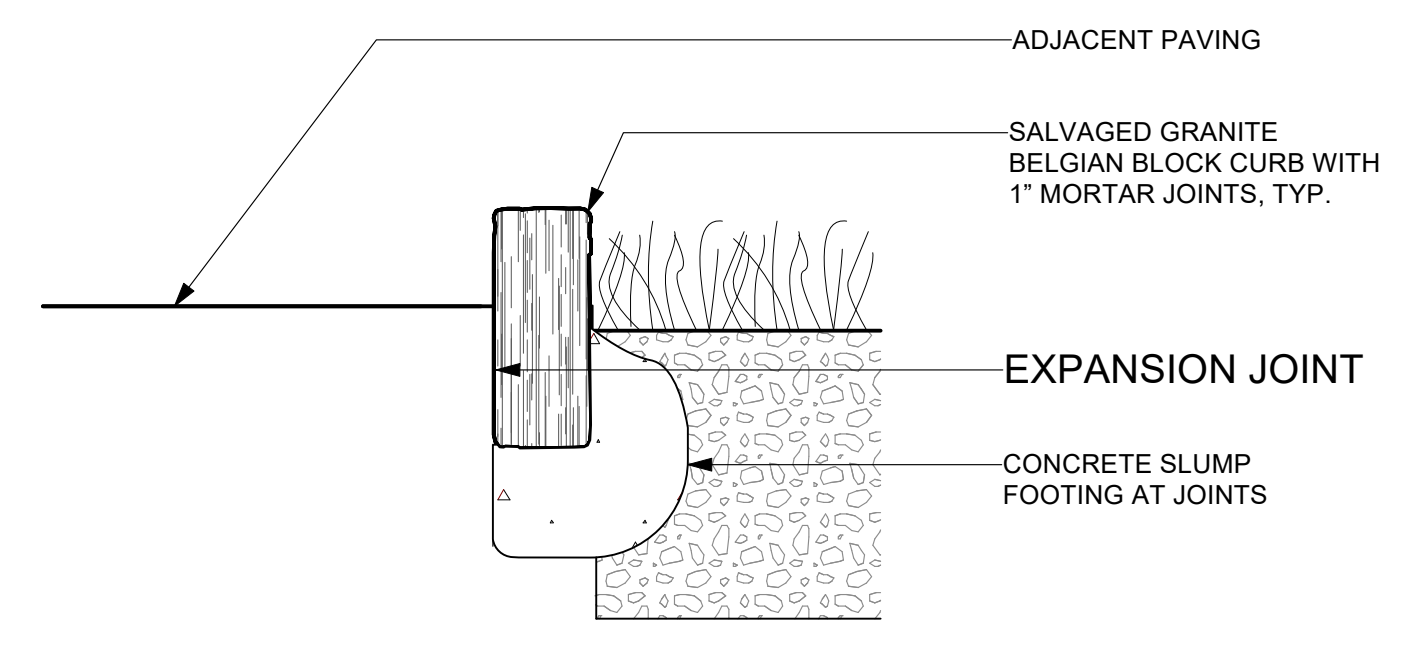
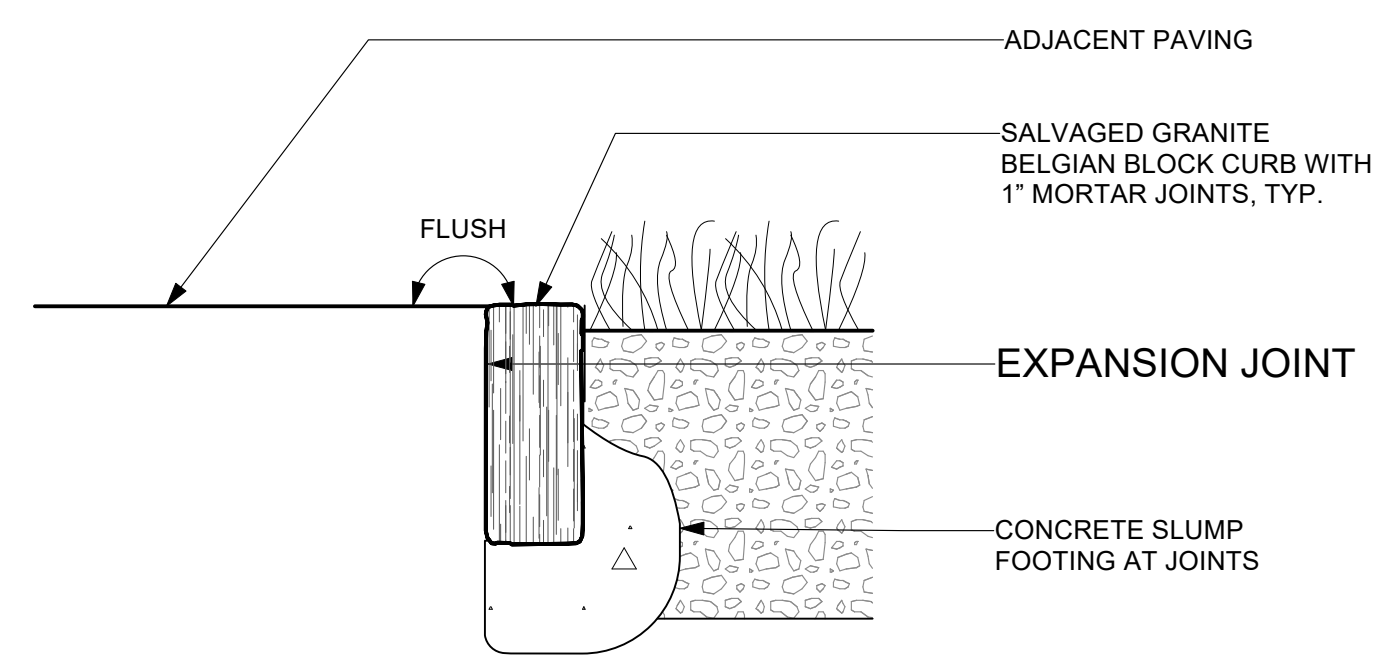
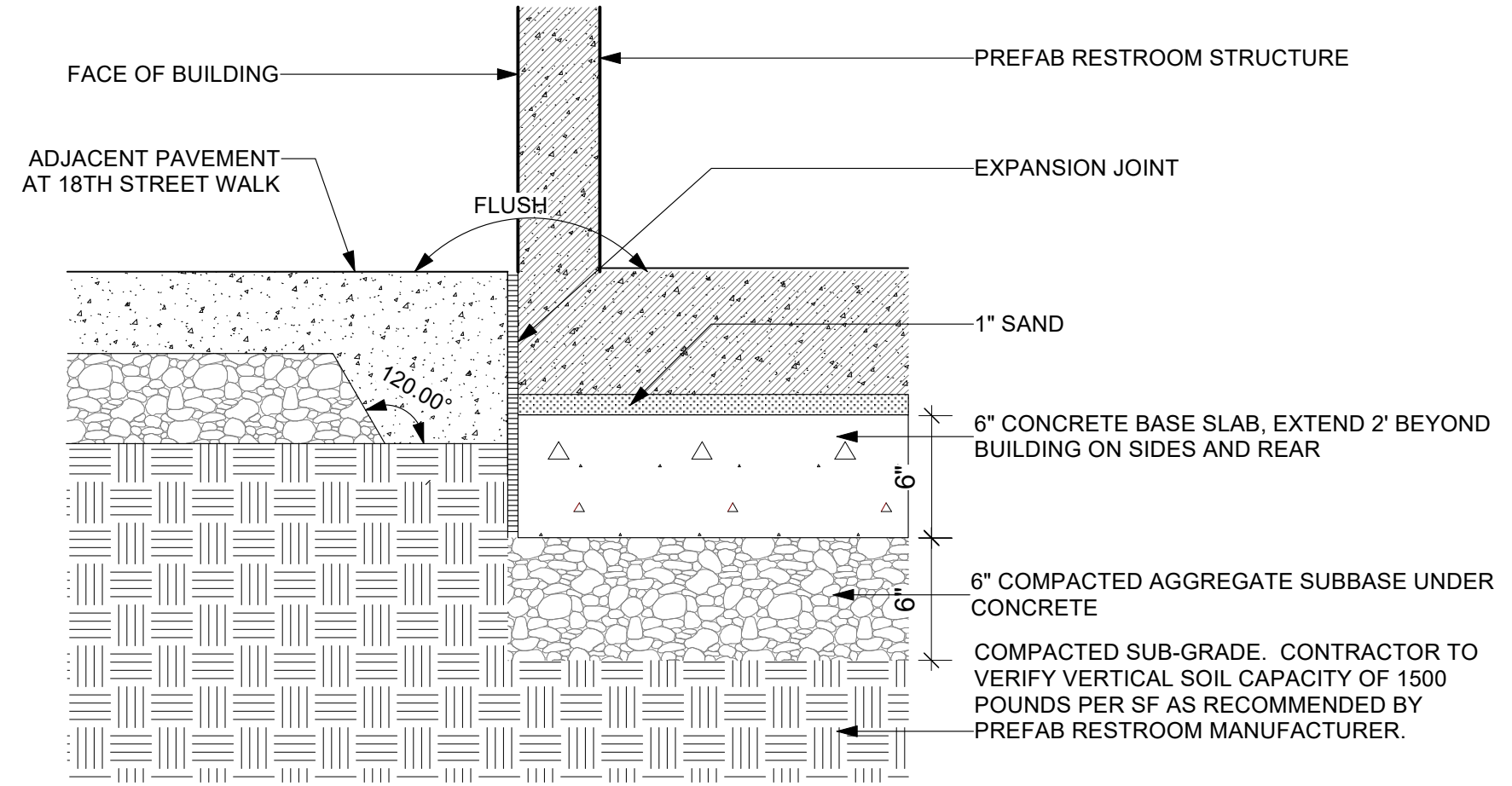
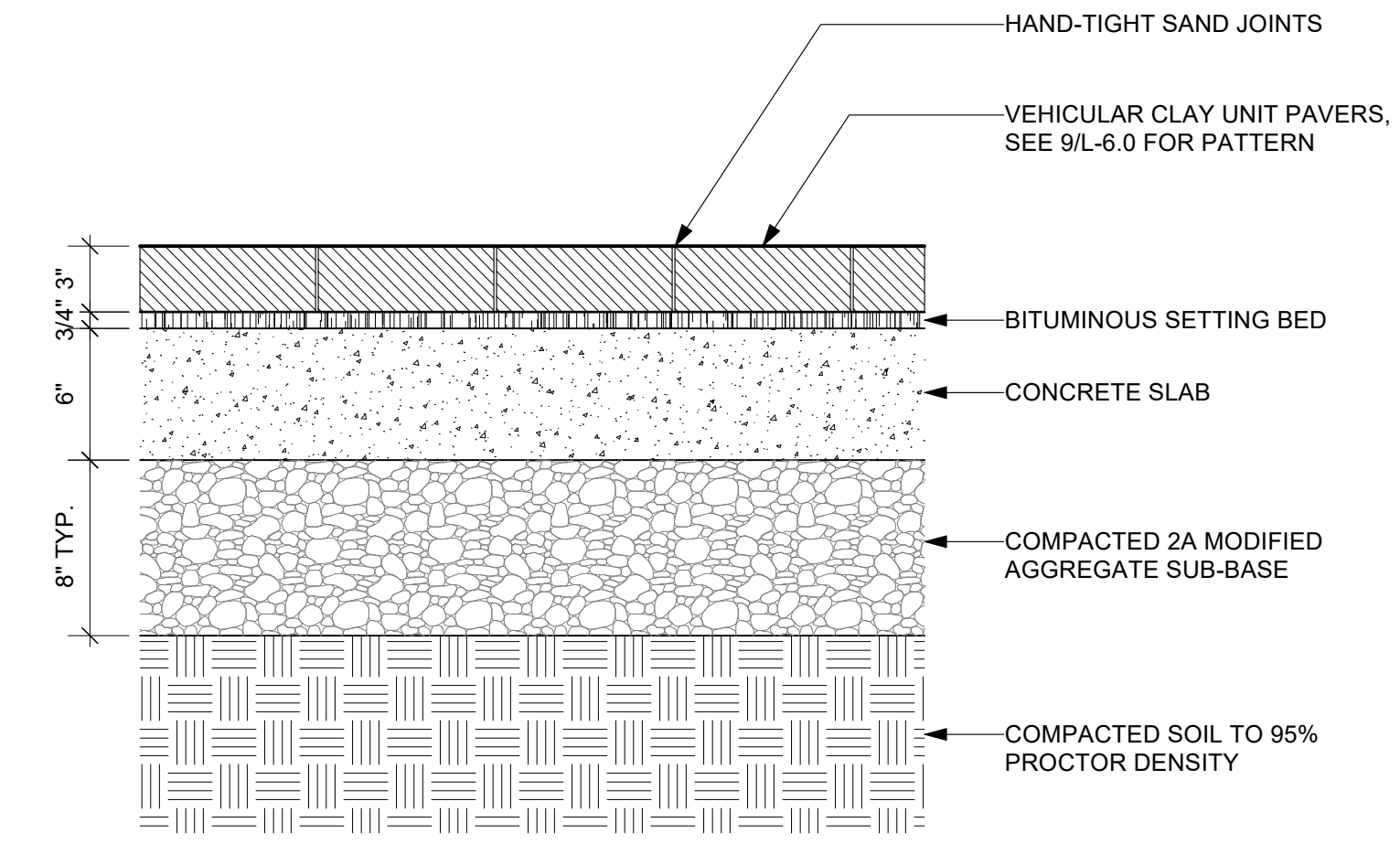


1 CIP CONCRETE PAVING
L-6.0 Scale: 1 1/2" = 1'-0"

2 FULL DEPTH PEDESTRIAN ASPHALT PAVING
L-6.0 Scale: 1 1/2" = 1'-0"

3 PEDESTRIAN ASPHALT OVERLAY PAVING
L-6.0 Scale: 1 1/2" = 1'-0"

4 CONC. TRANSITION AT EX. SAFETY SURFACE
L-6.0 Scale: 1 1/2" = 1'-0"

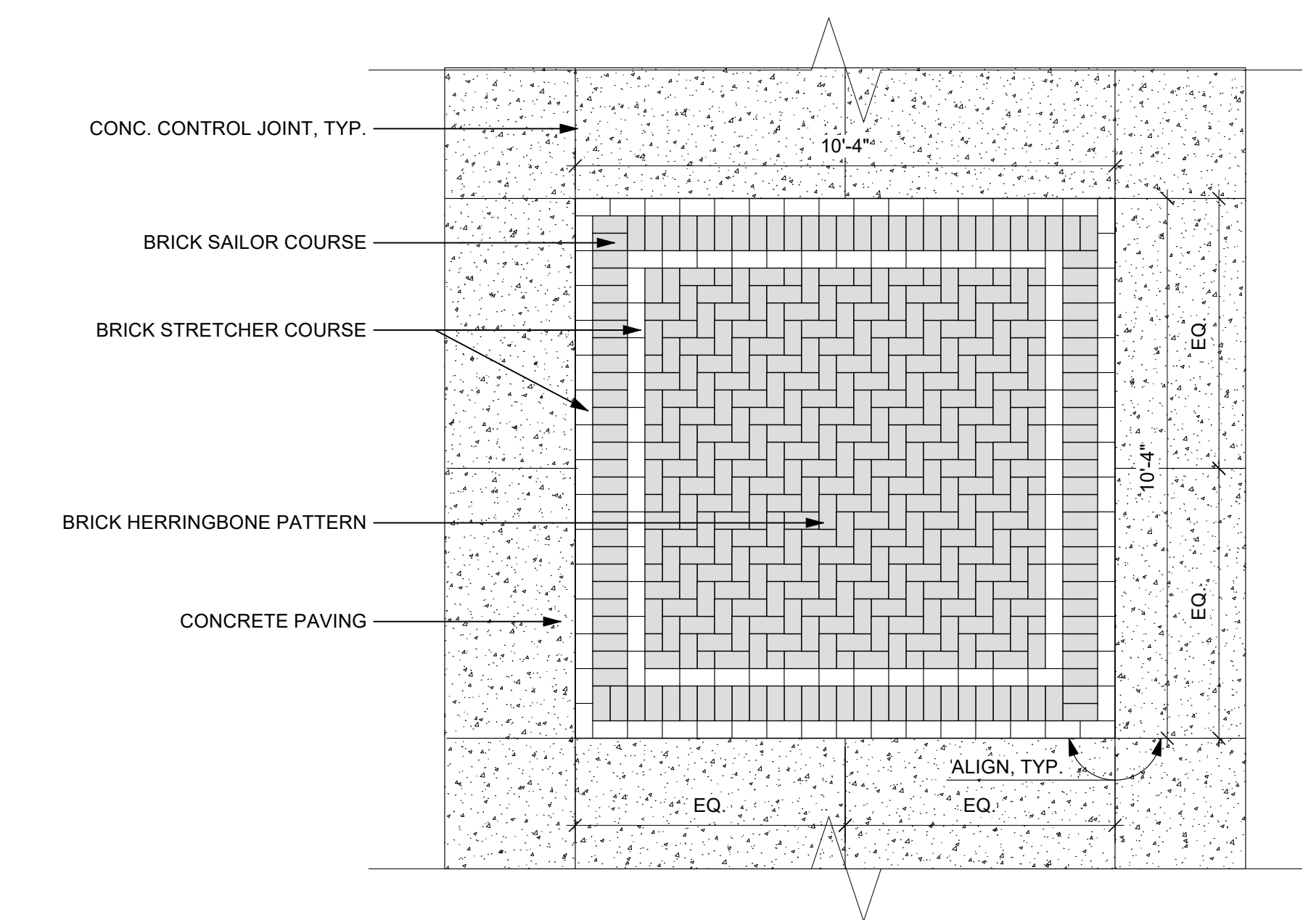


5 BRICK PAVERS ON BITUMINOUS SETTING BED
L-6.0 Scale: 1 1/2" = 1'-0"

6 CONCRETE SLAB TRANSITION AT PREFABRICATED RESTROOM
L-6.0 Scale: 1 1/2" = 1'-0"

7 FLUSH BELGIAN BLOCK CURB AT PLANTING / EX. UNIT PAVERS
L-6.0 Scale: 1 1/2" = 1'-0"

8 BELGIAN BLOCK CURB AT PLANTING / CONCRETE PAVING
L-6.0 Scale: 1 1/2" = 1'-0"



9 18TH ST. WALK PAVING PATTERN, TYP.
L-6.0 Scale: 3/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS
1	12.01.2021	SD SUBMISSION
2	04.11.2023	DD SUBMISSION
3	06.16.2023	50% CD SUBMISSION
4	07.28.2023	100% CD SUBMISSION



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.632.2174



SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 460
Philadelphia, PA 19106
www.kseeng.com

MEP ENGINEERS:
Arora Engineers, LLC
1600 Market Street
Suite 1630
Philadelphia, PA 19103
www.aroraengineers.com

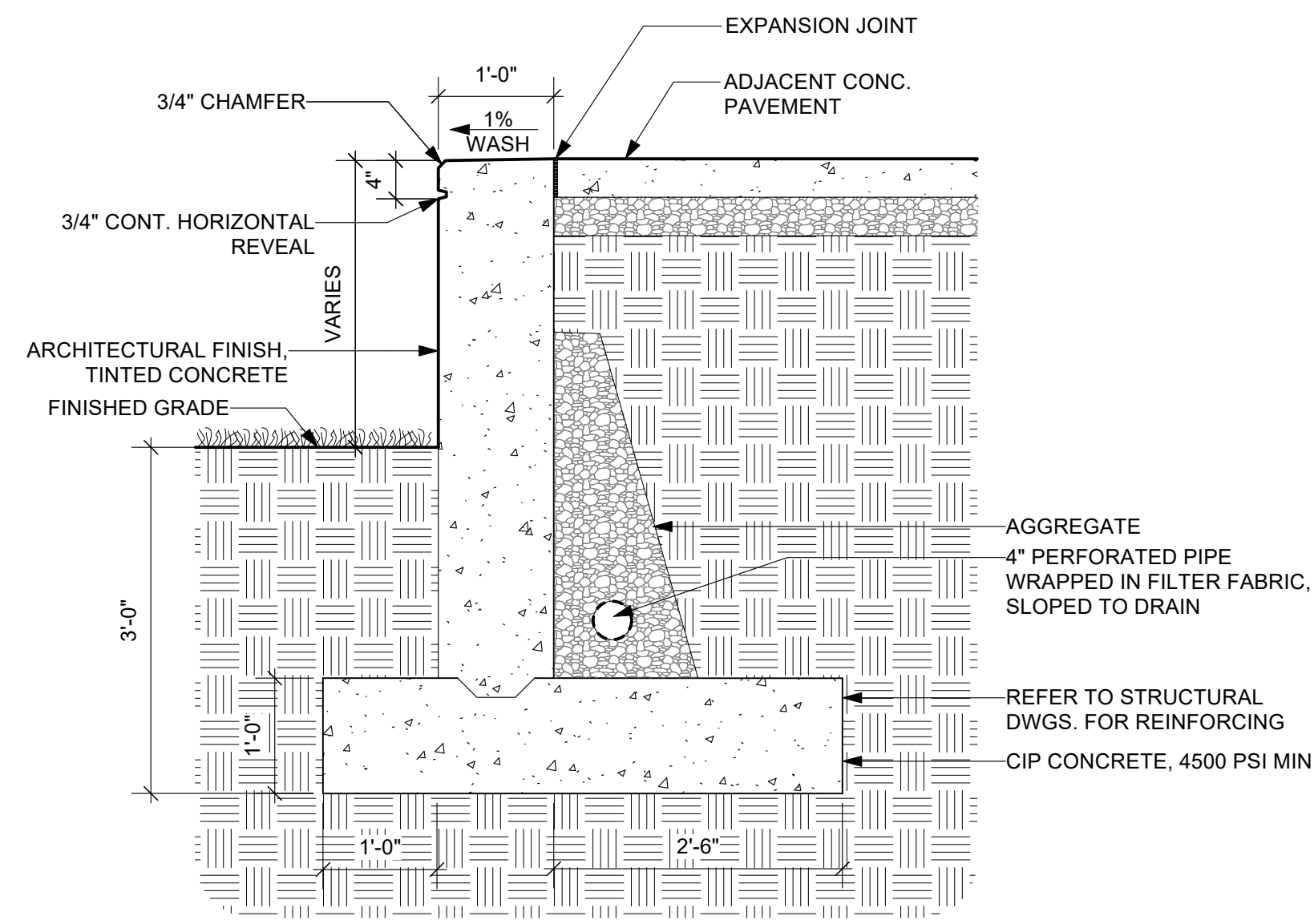
STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

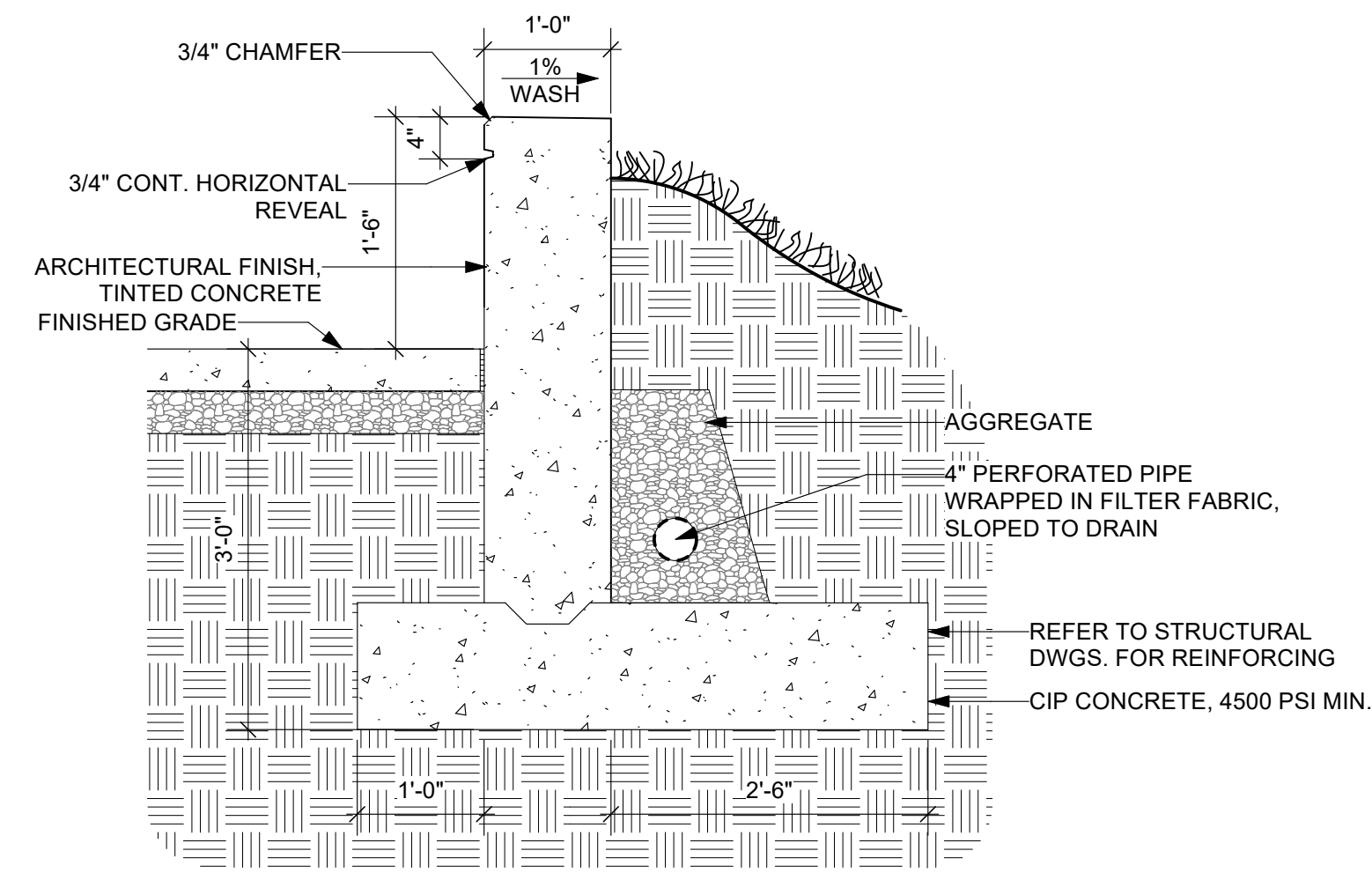
PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
SITE DETAILS

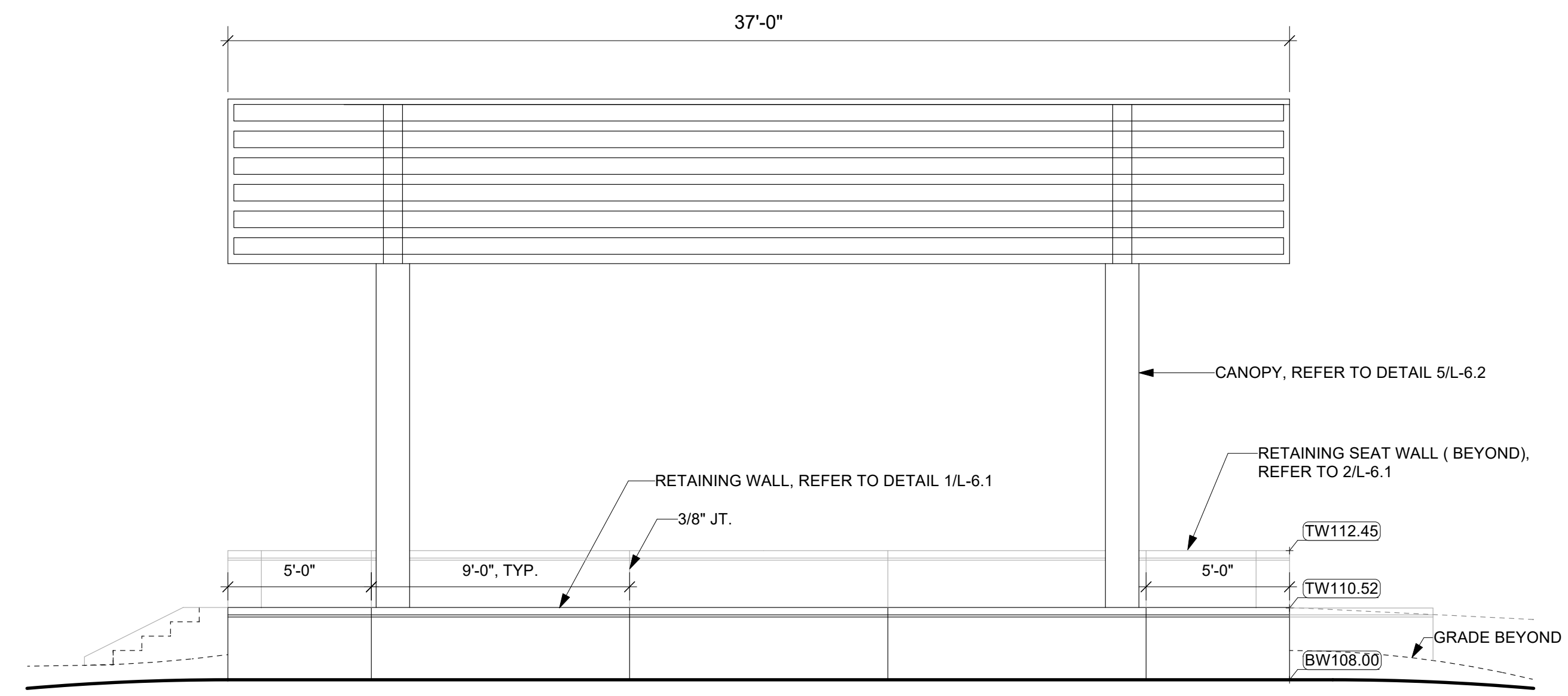
PROJECT NO. 2009.05	DRAWING NO. L-6.0
DATE 01.19.2024	
SCALE AS NOTED	
DRAWN BY TM, JCB, JD & SE	
CHECKED BY JB	



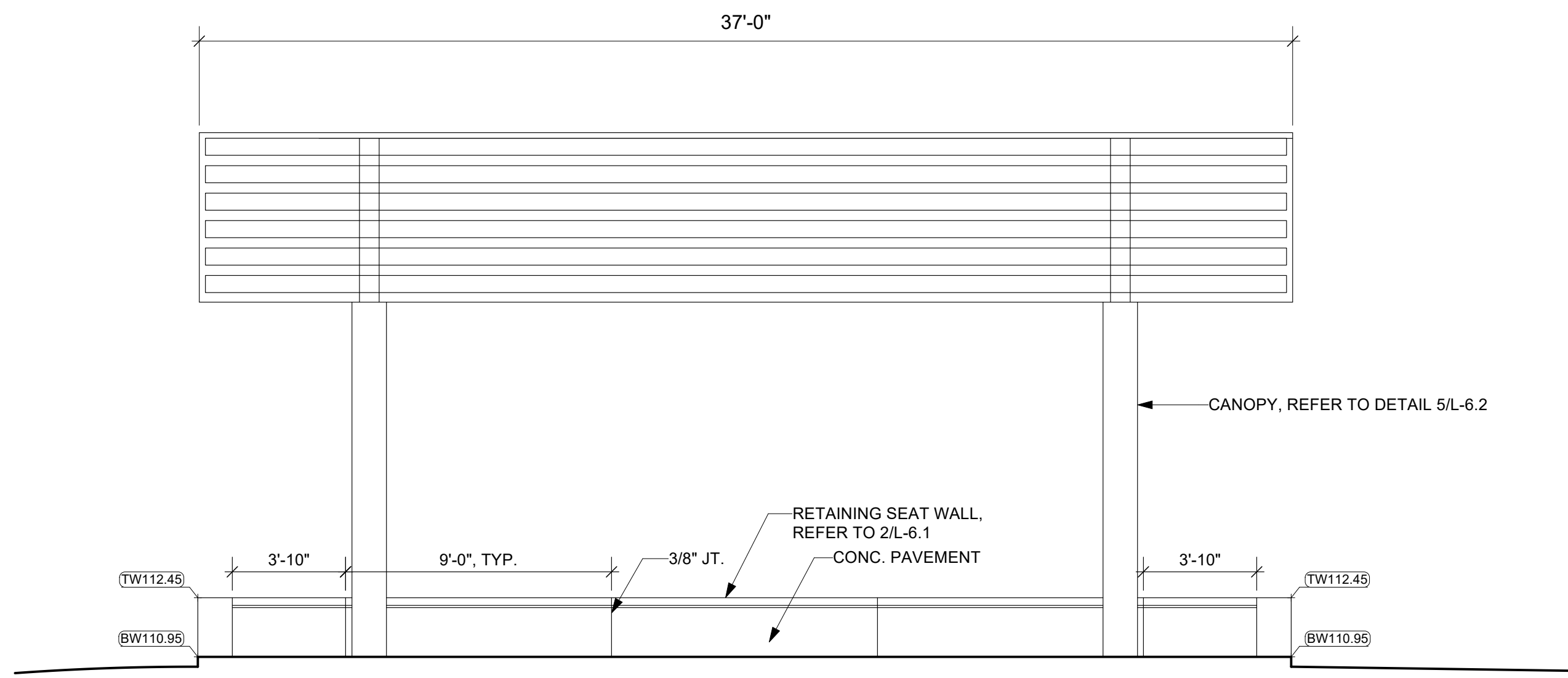
1 RETAINING WALL
L-6.1 Scale: 3/4" = 1'-0"



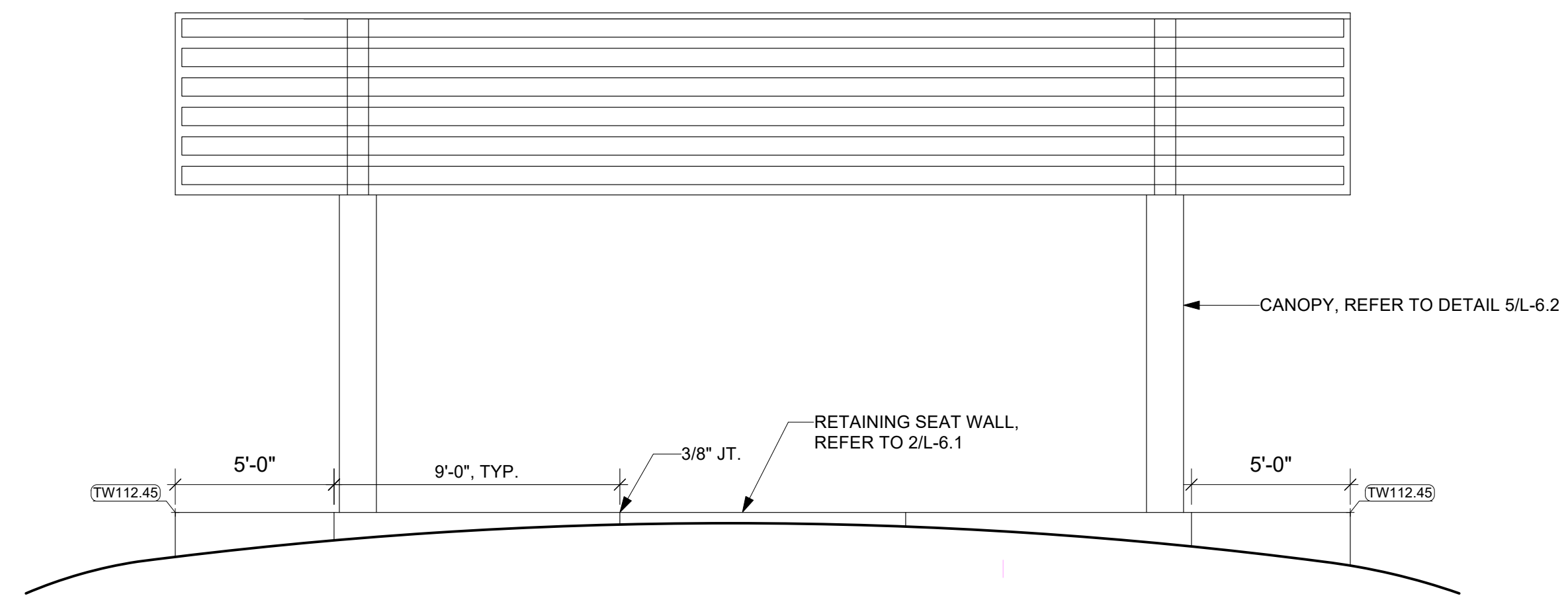
2 RETAINING SEAT WALL
L-6.1 Scale: 3/4" = 1'-0"



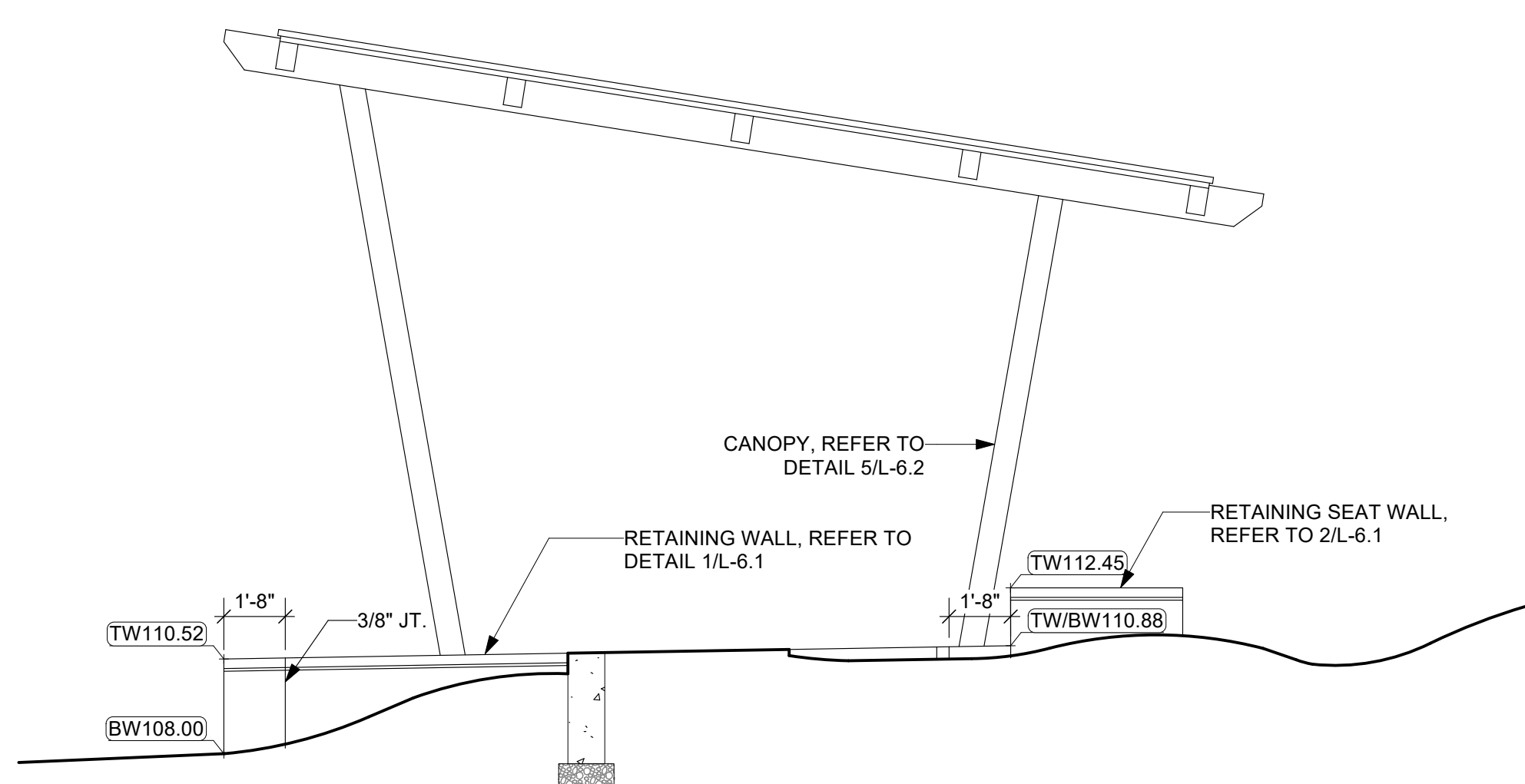
3 FRONT STAGE WALL ELEVATION LOOKING NORTH
L-6.1 Scale: 1/4" = 1'-0"



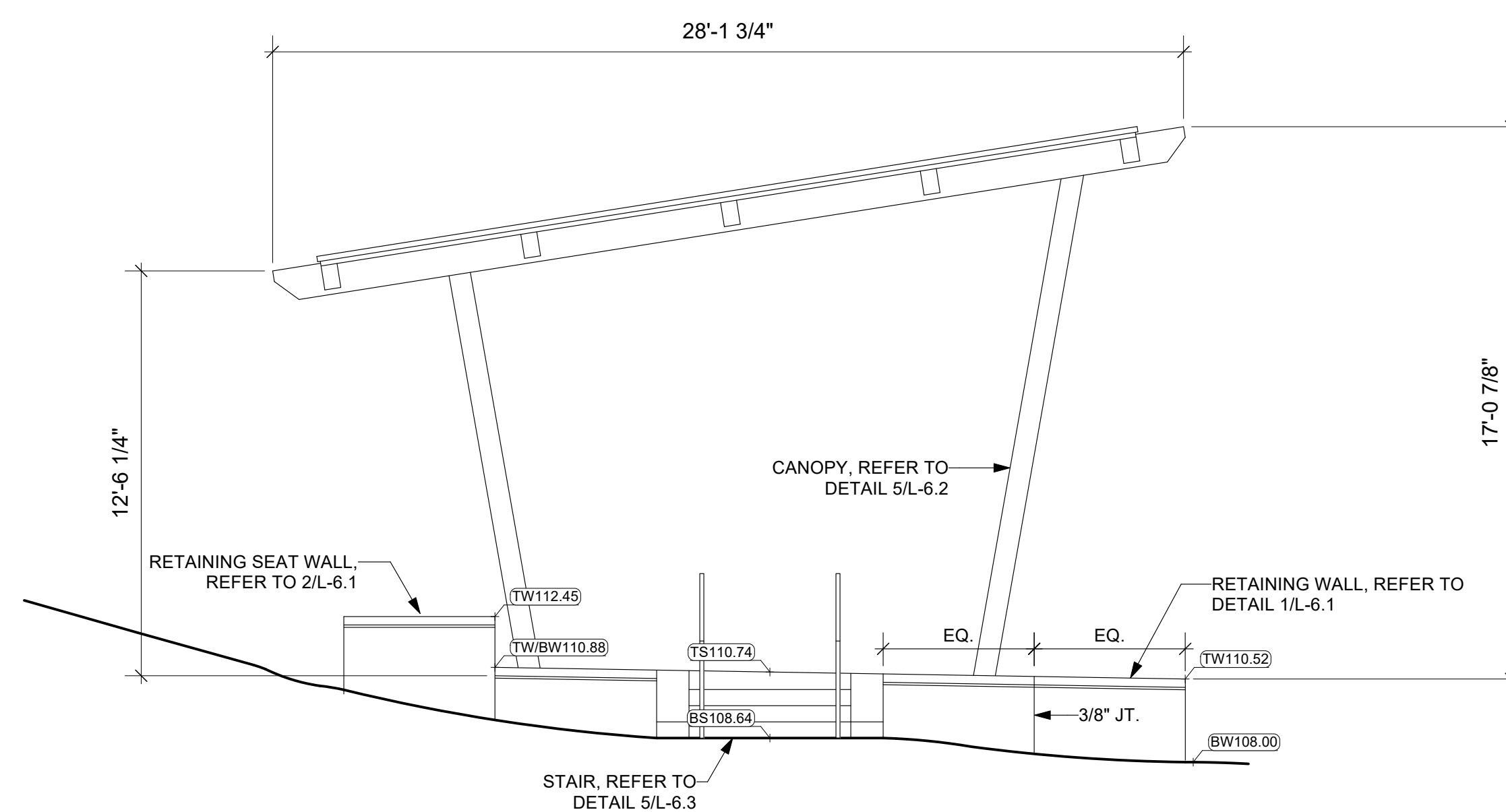
4 REAR STAGE WALL ELEVATION LOOKING NORTH
L-6.1 Scale: 1/4" = 1'-0"



5 REAR STAGE WALL ELEVATION LOOKING SOUTH
L-6.1 Scale: 1/4" = 1'-0"



6 SIDE STAGE ELEVATION LOOKING WEST
L-6.1 Scale: 1/4" = 1'-0"



7 SIDE STAGE ELEVATION LOOKING EAST
L-6.1 Scale: 1/4" = 1'-0"

REVISIONS

ISSUE	DATE	REVISIONS
1	12.01.2021	SD SUBMISSION
2	04.11.2023	DD SUBMISSION
3	06.16.2023	50% CD SUBMISSION
4	07.28.2023	100% CD SUBMISSION



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.632.2174

SEAL



SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 450
Philadelphia, PA 19106
www.kseeng.com

MEP ENGINEERS:
Arora Engineers, LLC
1600 Market Street
Suite 1630
Philadelphia, PA 19103
www.aroraengineers.com

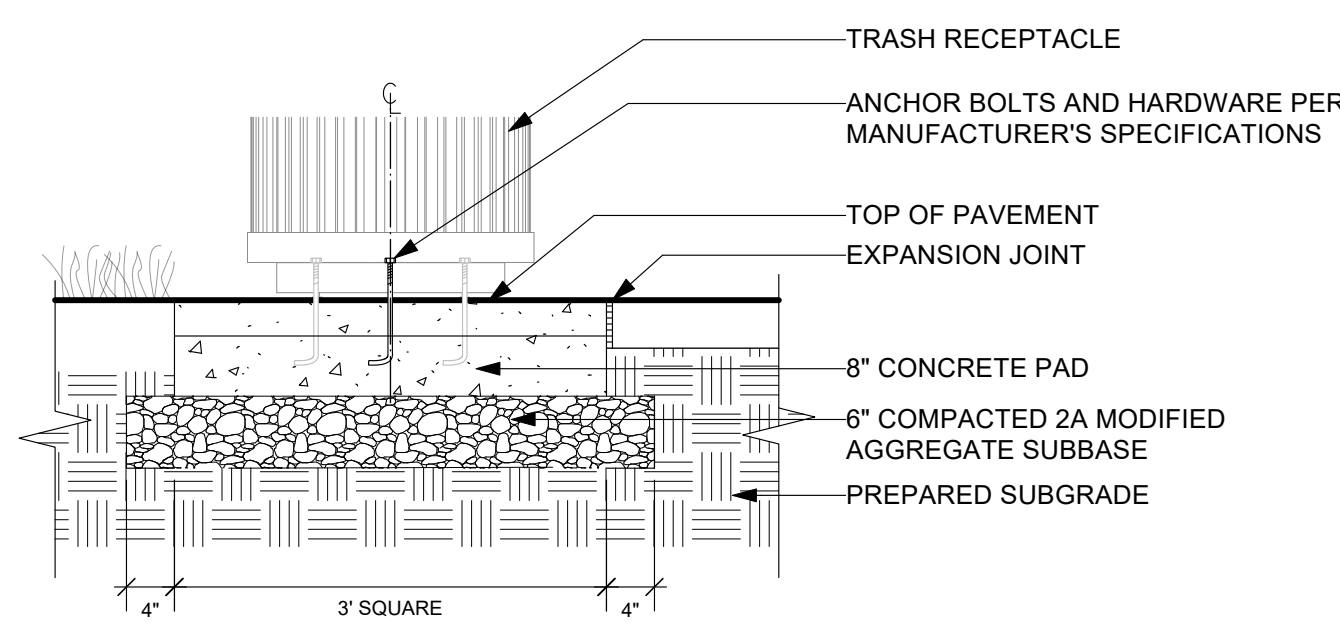
STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

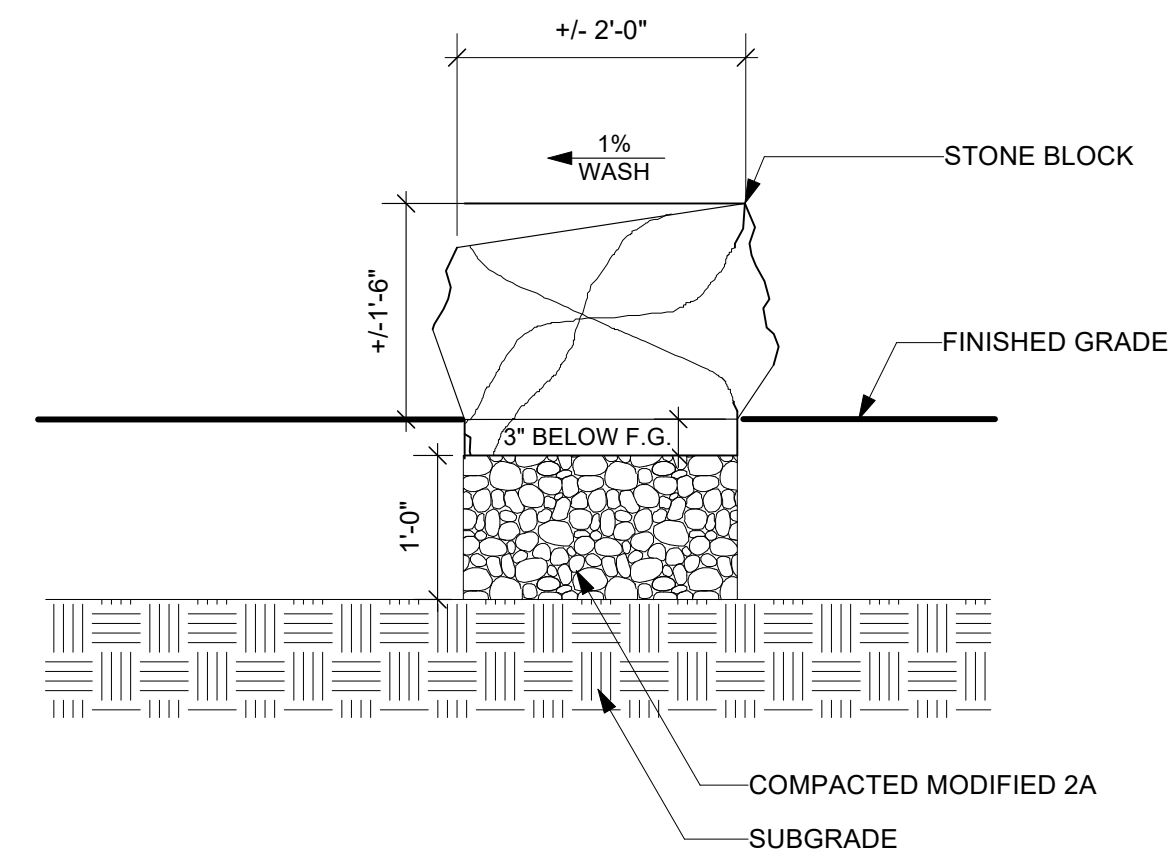
PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
SITE DETAILS

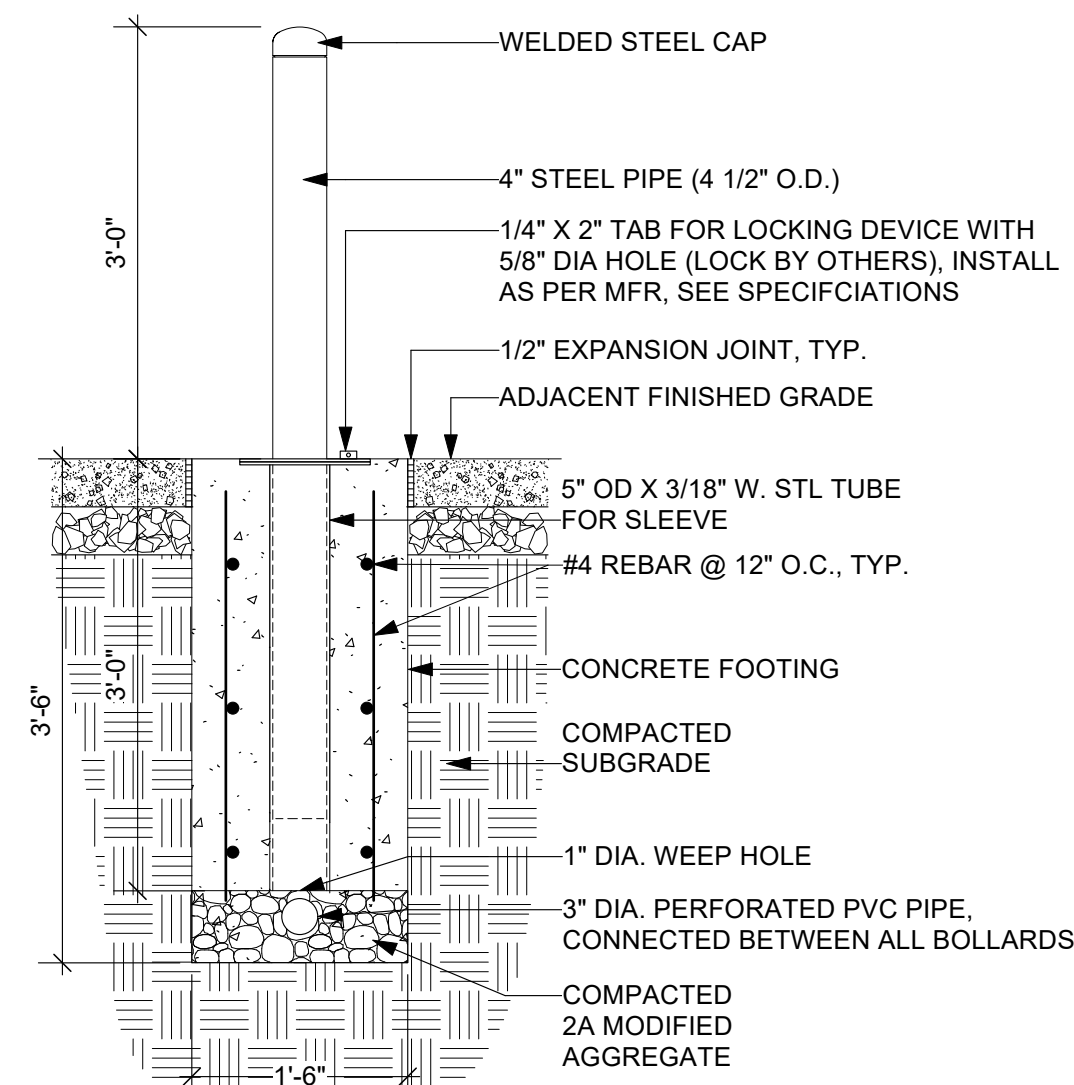
PROJECT NO. 2009.05	DRAWING NO. L-6.1
DATE 01.19.2024	
SCALE AS NOTED	
DRAWN BY TM, JCB, JD & SE	
CHECKED BY JB	



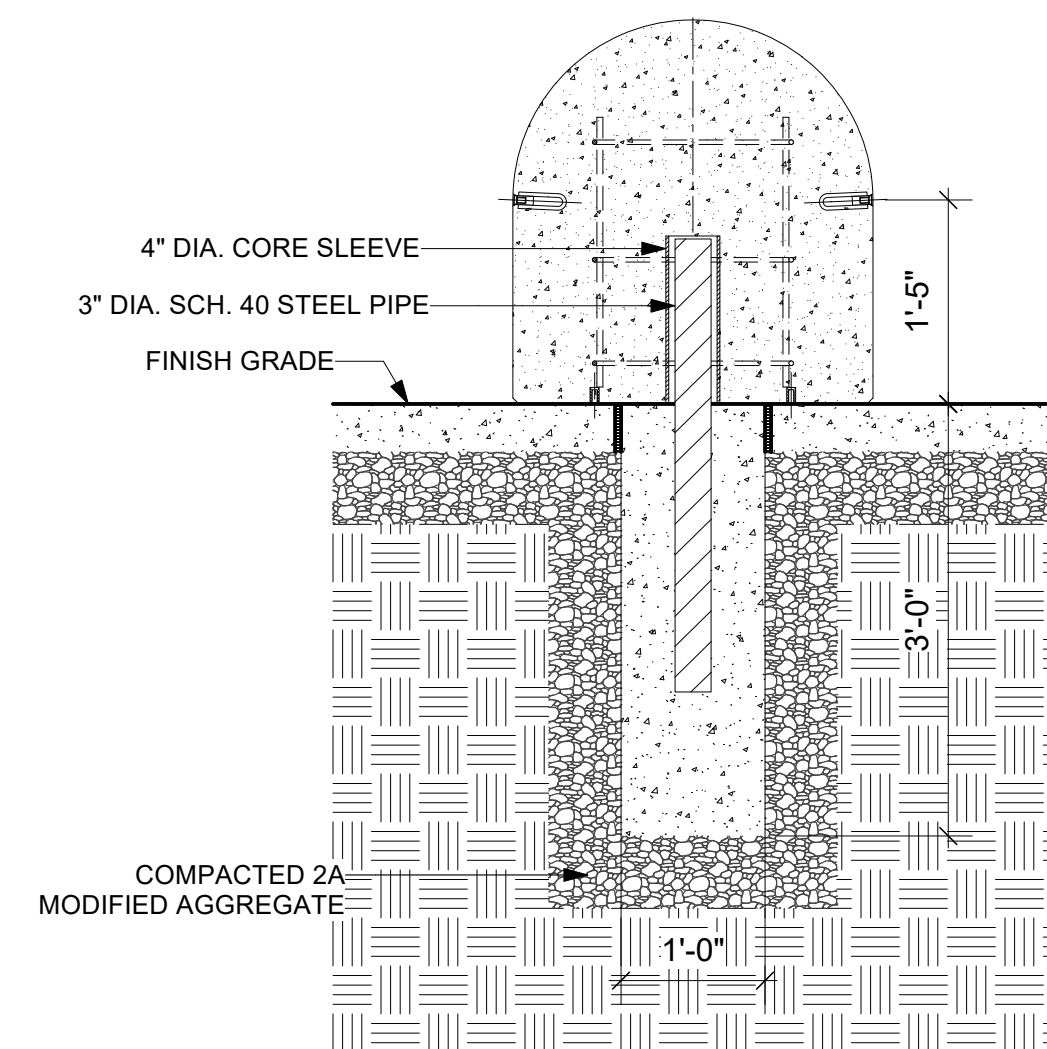
1 TRASH RECEPTACLE
L-6.2 Scale: 3/4" = 1'-0"



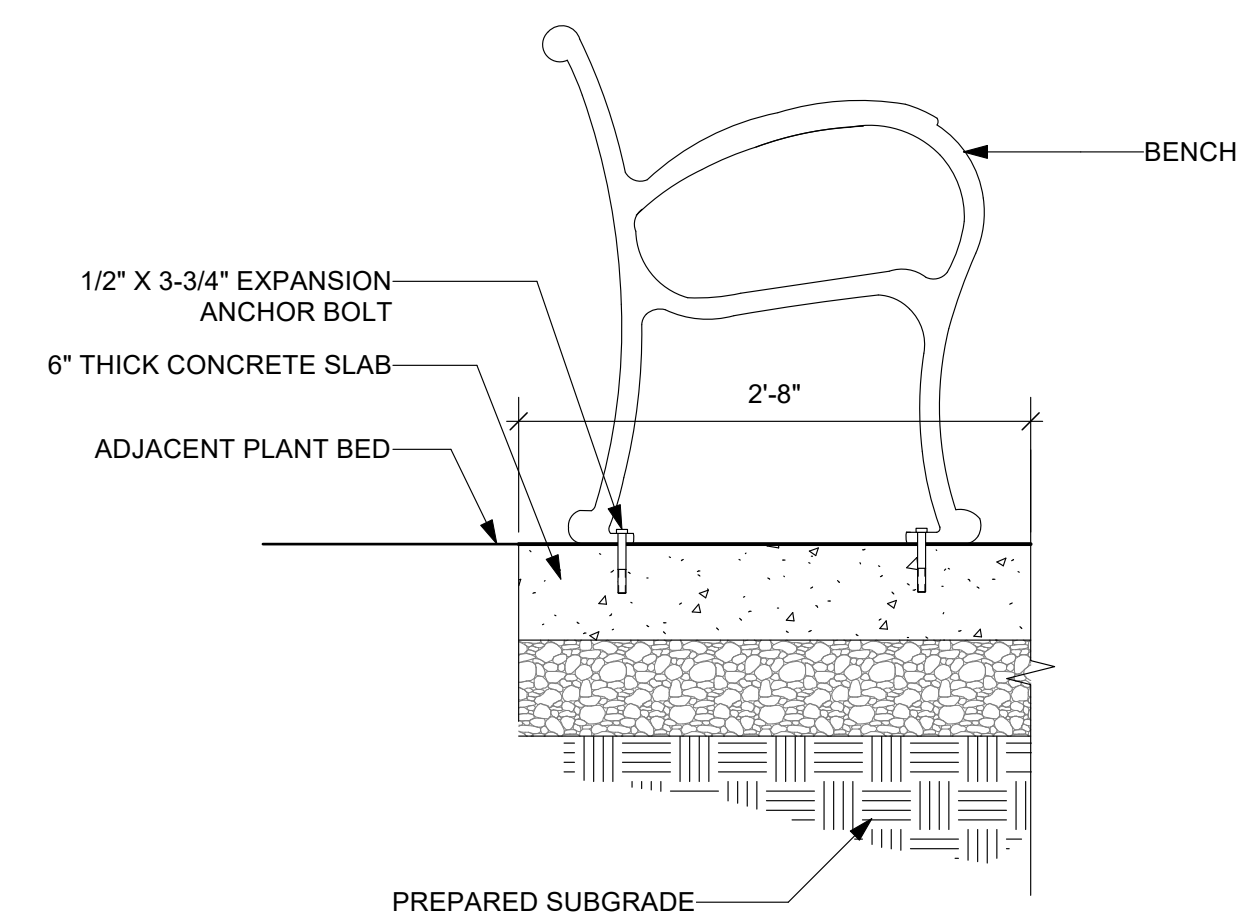
2 BOULDER AT LAWN
L-6.2 Scale: 3/4" = 1'-0"



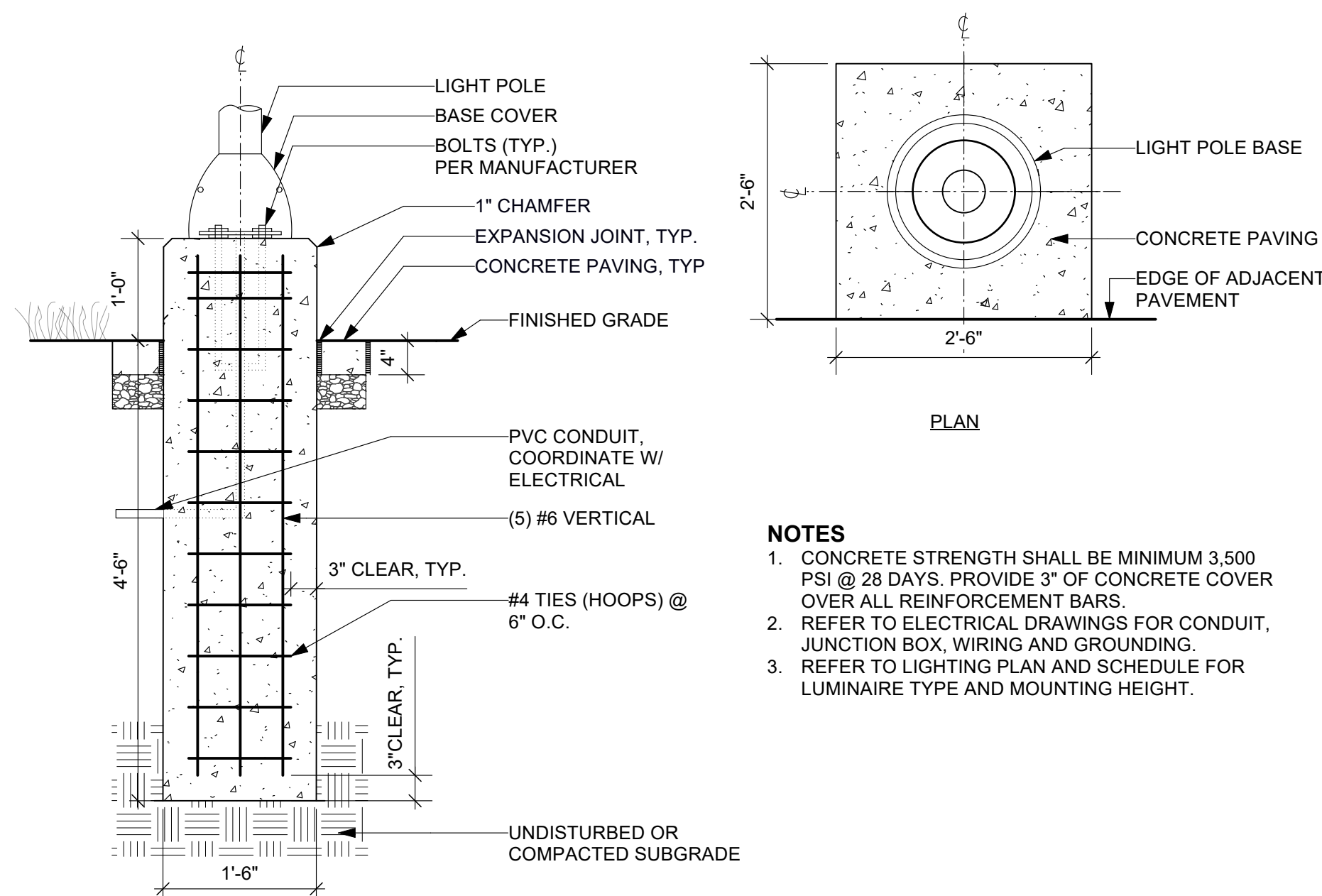
3 REMOVABLE BOLLARD
L-6.2 Scale: 3/4" = 1'-0"



4 CONCRETE BOLLARD
L-6.2 Scale: 3/4" = 1'-0"

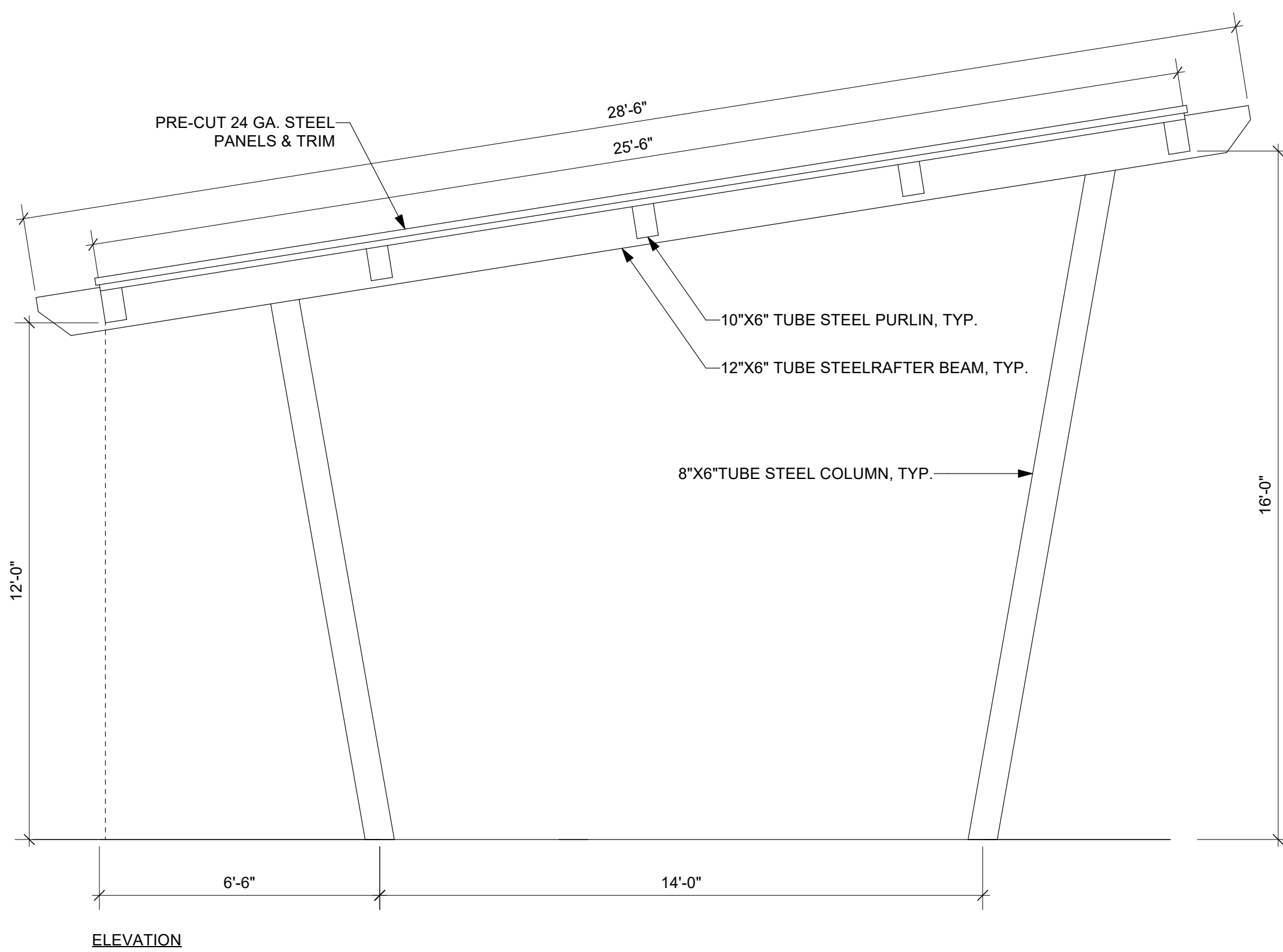


5 BENCH MOUNTING, TYP.
L-6.2 Scale: 1" = 1'-0"

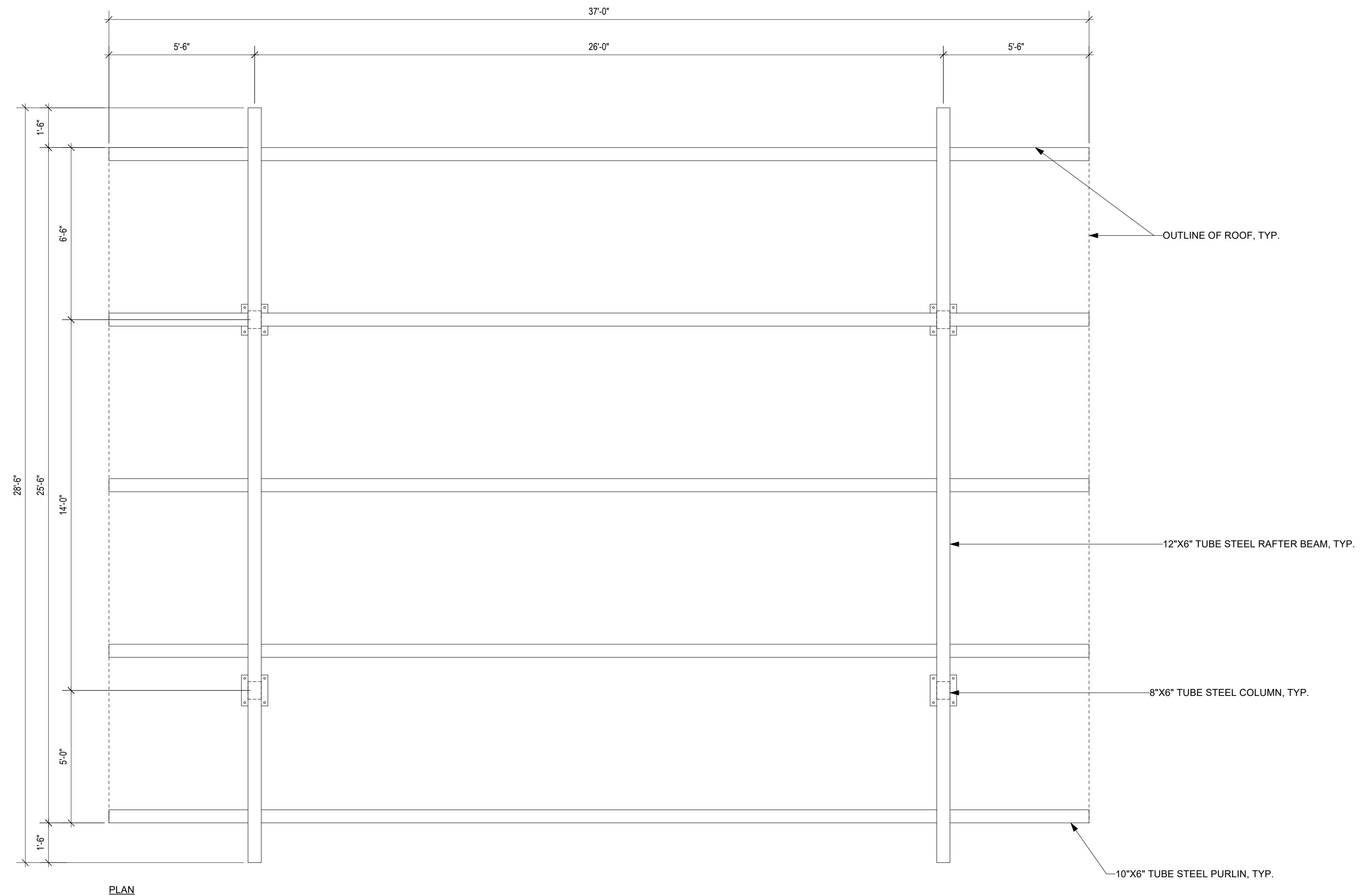


- NOTES**
1. CONCRETE STRENGTH SHALL BE MINIMUM 3,500 PSI @ 28 DAYS, PROVIDE 3" OF CONCRETE COVER OVER ALL REINFORCEMENT BARS.
 2. REFER TO ELECTRICAL DRAWINGS FOR CONDUIT, JUNCTION BOX, WIRING AND GROUNDING.
 3. REFER TO LIGHTING PLAN AND SCHEDULE FOR LUMINAIRE TYPE AND MOUNTING HEIGHT.

6 LIGHT POLE
L-6.2 Scale: 3/4" = 1'-0"



7 CANOPY
L-6.2 Scale: 3/8" = 1'-0"



PLAN

REVISIONS

ISSUE	DATE	REVISIONS
1	12.01.2021	SD SUBMISSION
2	04.11.2023	DD SUBMISSION
3	06.16.2023	50% CD SUBMISSION
4	07.28.2023	100% CD SUBMISSION



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.632.2174

SEALED



SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 460
Philadelphia, PA 19106
www.kseng.com

MEP ENGINEERS:
Arora Engineers, LLC
1600 Market Street
Suite 1630
Philadelphia, PA 19103
www.aroraengineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK

DRAWING TITLE

SITE DETAILS

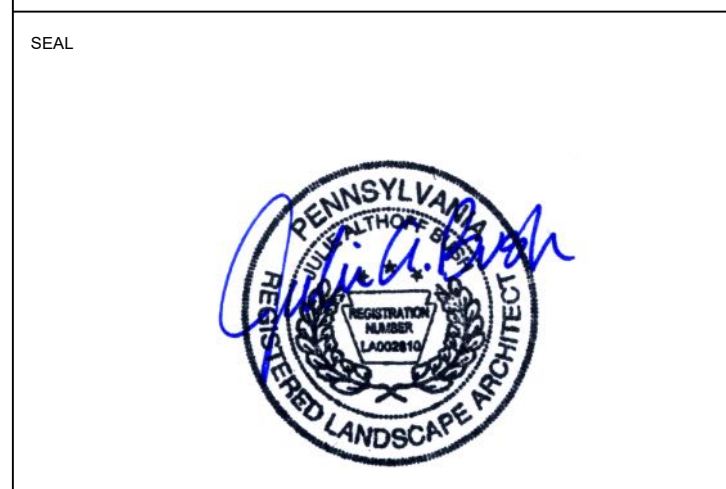
PROJECT NO.	2009.05	DRAWING NO.	L-6.2
DATE	01.19.2024		
SCALE	AS NOTED		
DRAWN BY	TM, JCB, JD & SE		
CHECKED BY	JB		

REVISIONS

ISSUE	DATE	REVISIONS
1	12.01.2021	SD SUBMISSION
2	04.11.2023	DD SUBMISSION
3	06.16.2023	50% CD SUBMISSION
4	07.28.2023	100% CD SUBMISSION



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 10th Floor
 Philadelphia, PA 19102
 Contact: Nancy Q. O'Donnell, 215.632.2174



LANDSCAPE ARCHITECT:
 Ground Reconsidered
 915 Spring Garden Street
 Suite 403
 Philadelphia PA 19123
 www.groundreconsidered.com

CIVIL ENGINEERS:
 KSE Engineering
 530 Walnut Street
 Suite 460
 Philadelphia, PA 19106
 www.kseng.com

MEP ENGINEERS:
 Arora Engineers, LLC
 1600 Market Street
 Suite 1630
 Philadelphia, PA 19103
 www.aroraengineers.com

STRUCTURAL ENGINEERS:
 David Mason and Associates
 123 S. Broad Street, Suite 1130
 Philadelphia, PA 19109
 www.DavidMason.com

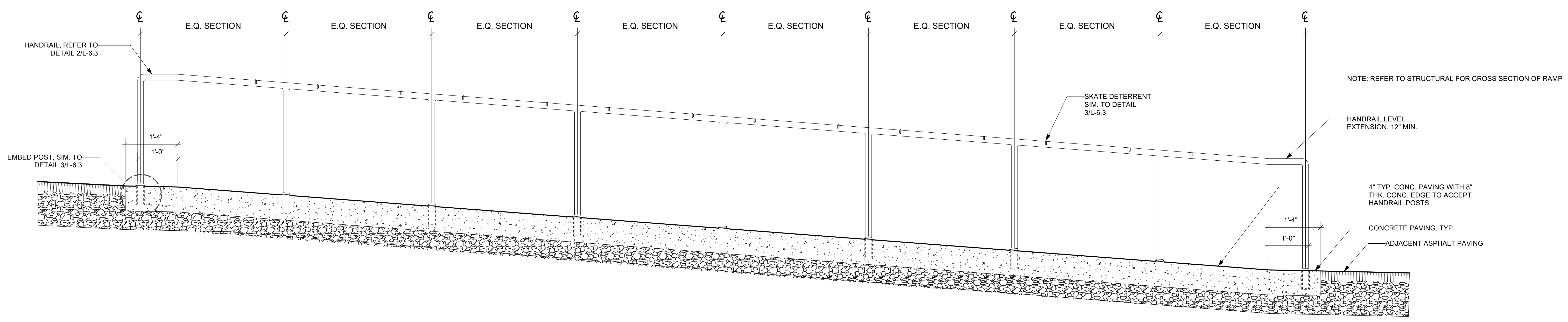
CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 NICETOWN PARK

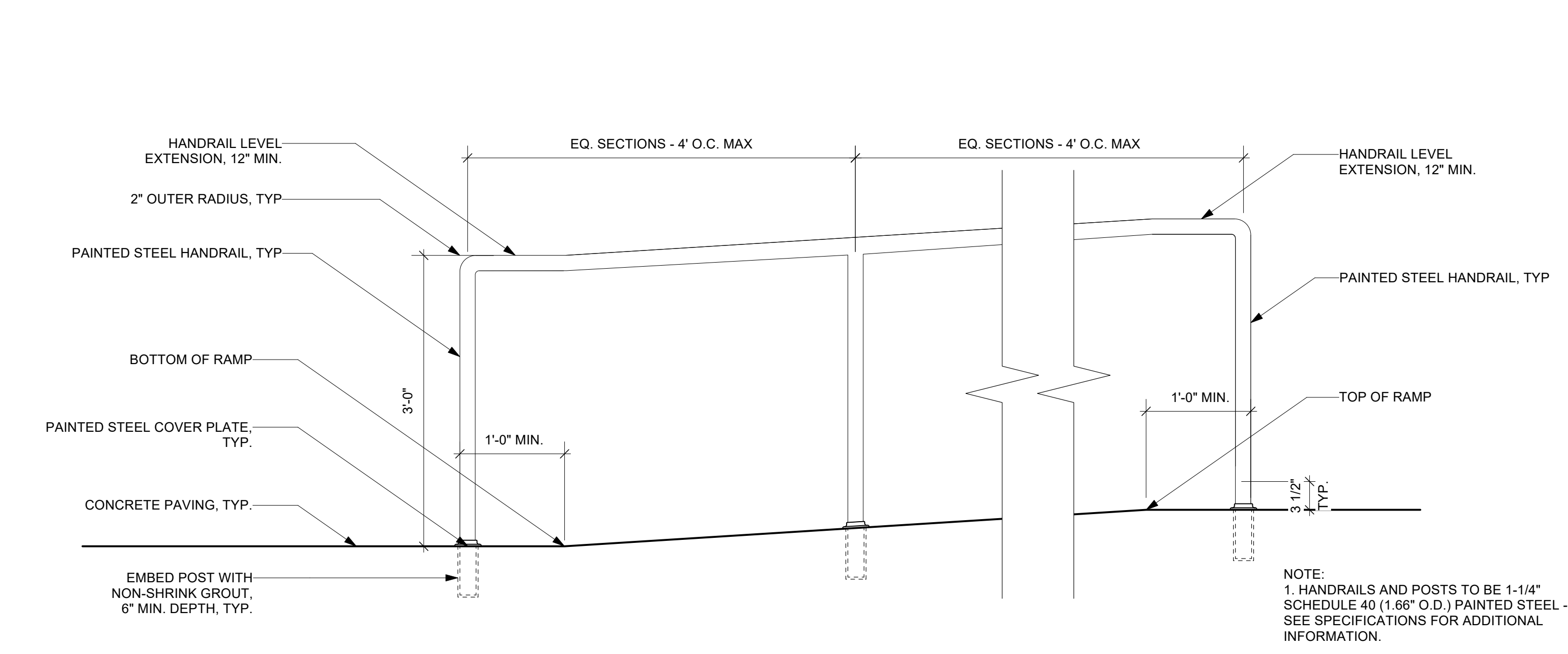
SITE DETAILS

PROJECT NO.	2009.05	DRAWING NO.	L-6.3
DATE	01.19.2024		
SCALE	AS NOTED		
DRAWN BY	TM, JCB, JD & SE		
CHECKED BY	JB		

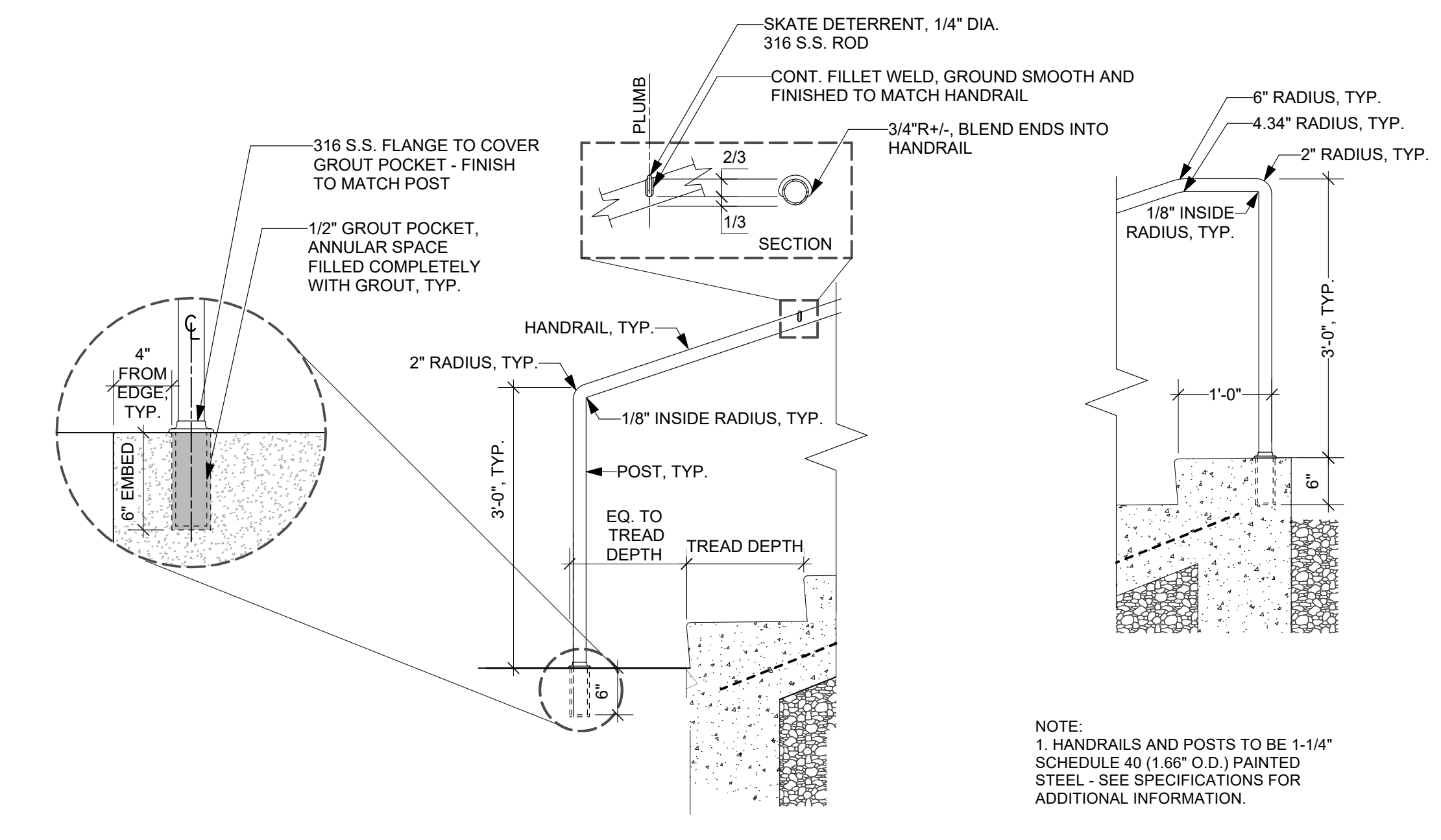
NOT: REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT PERMISSION FROM THE OWNER.



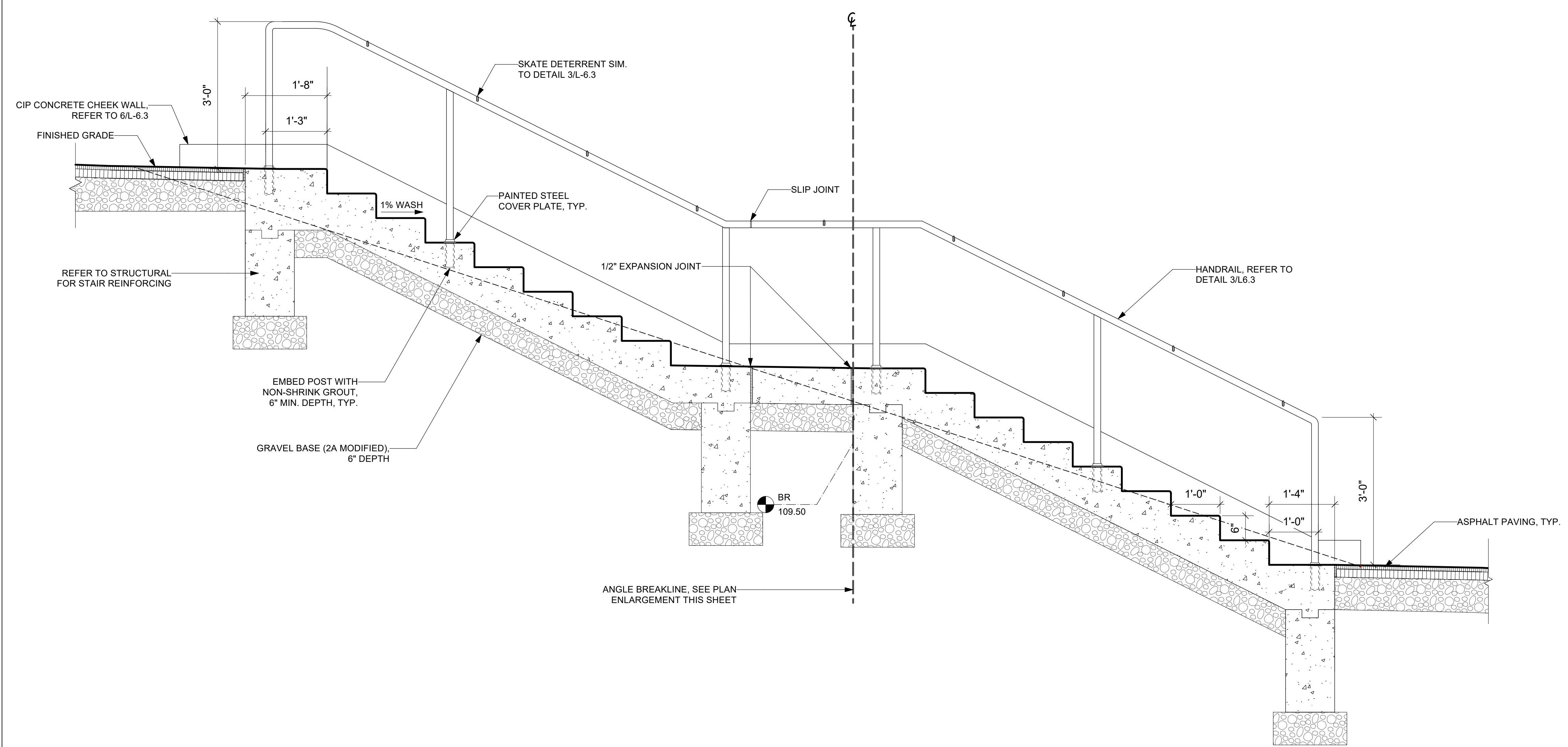
1 RAMP
 Scale: 3/4" = 1'-0"



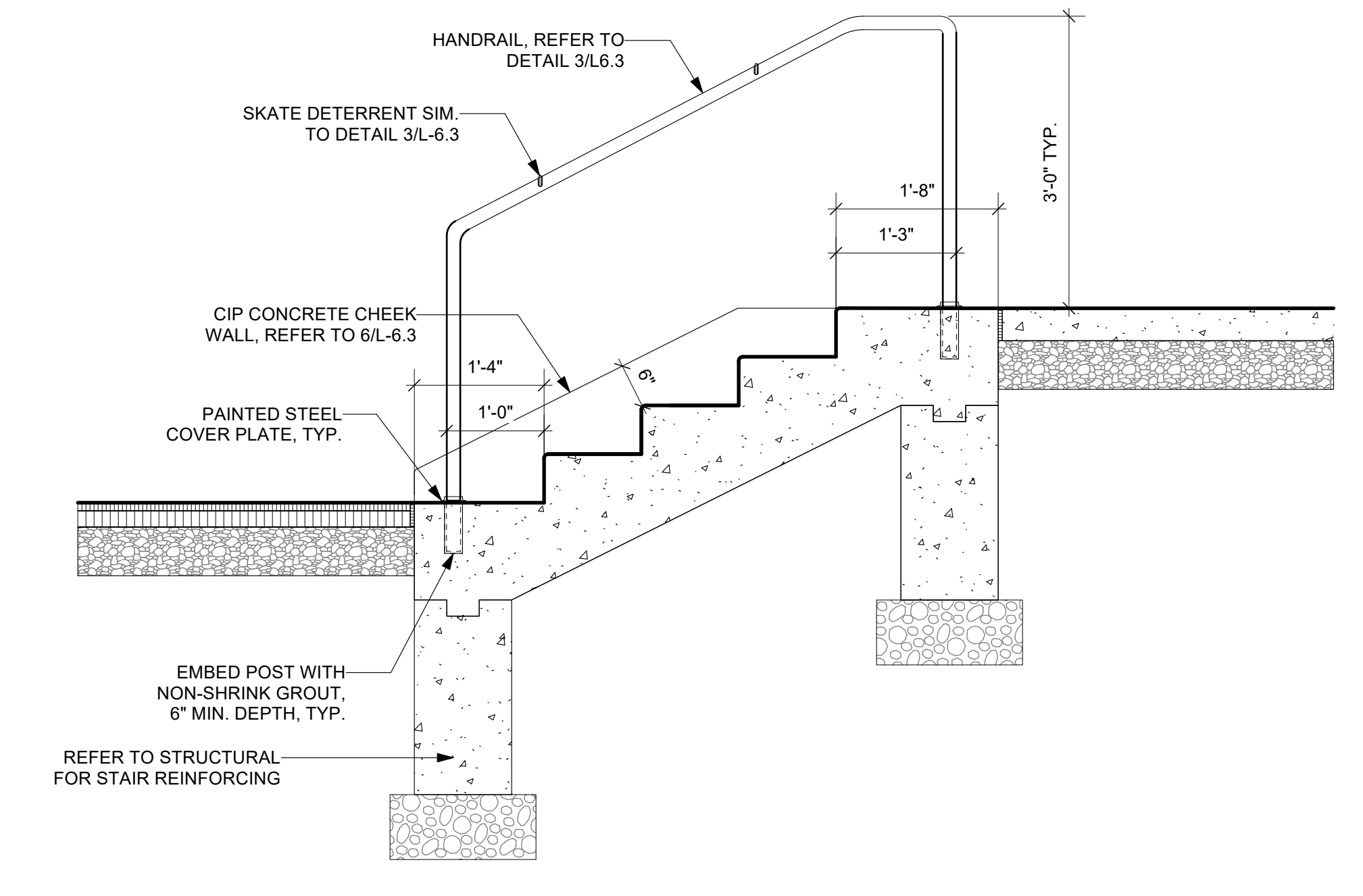
2 TYPICAL RAMP HANDRAIL
 Scale: 1" = 1'-0"



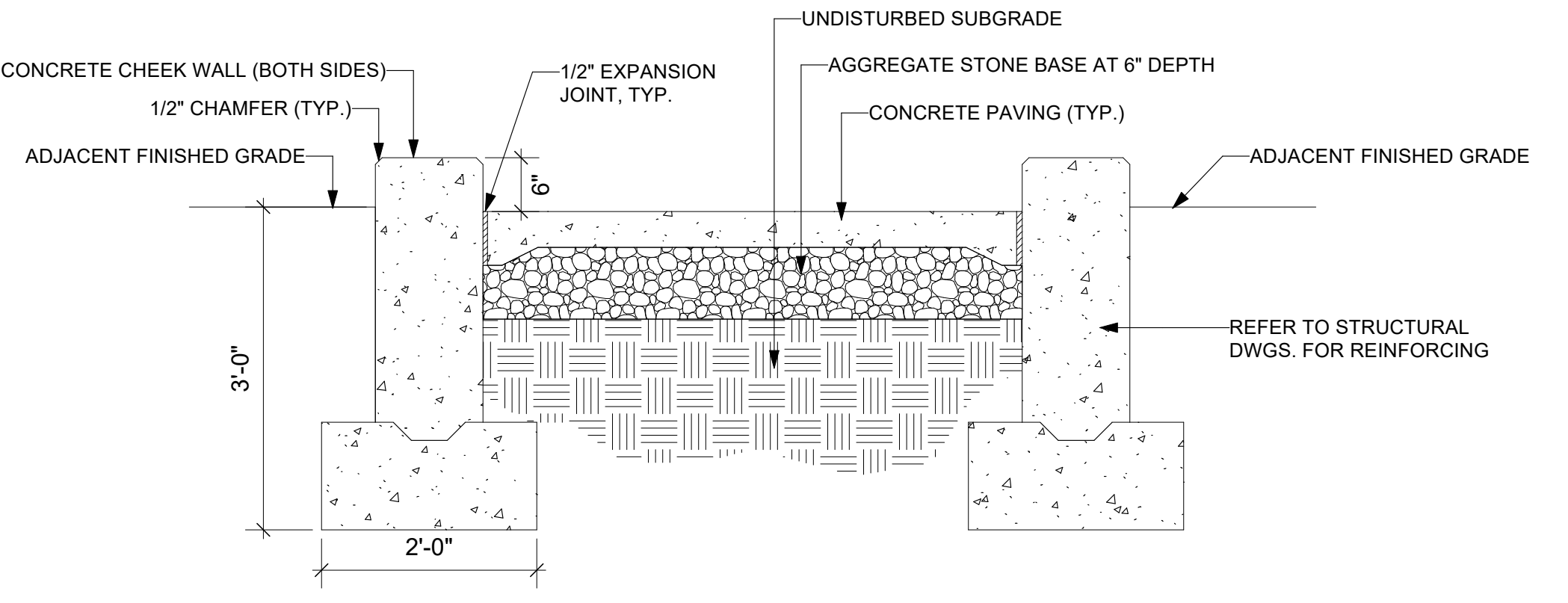
3 TYPICAL TOP/BOTTOM CONDITION AND SKATE DETERRENT
 Scale: 3/4" = 1'-0"



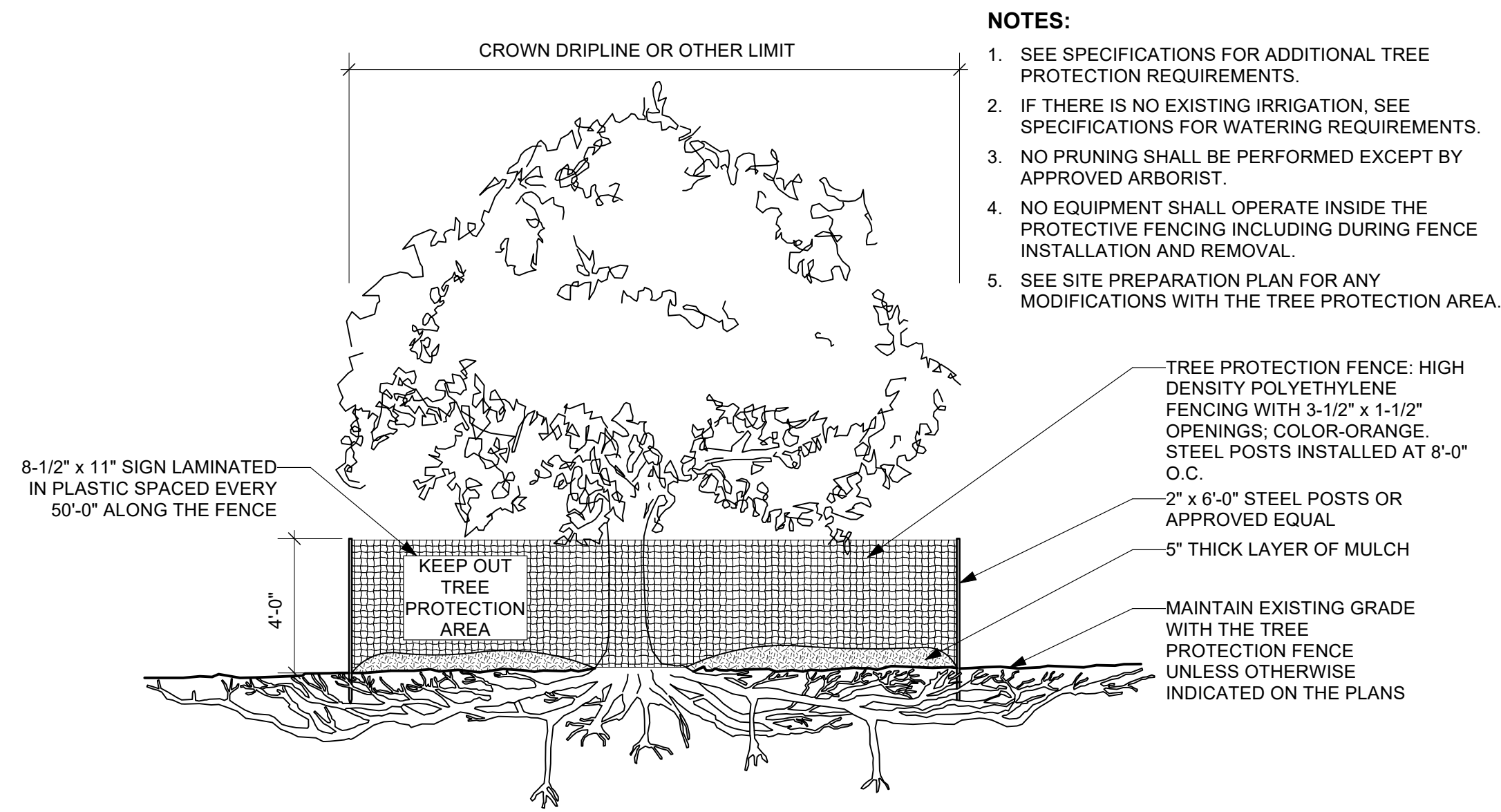
4 STAIR SECTION
 Scale: 3/4" = 1'-0"



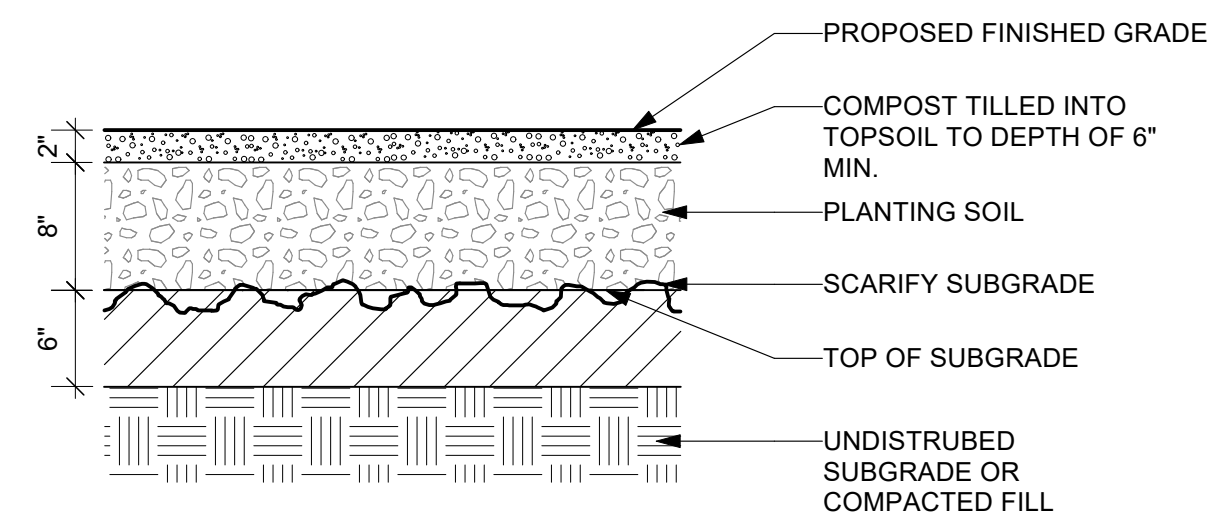
5 STAIR SECTION
 Scale: 3/4" = 1'-0"



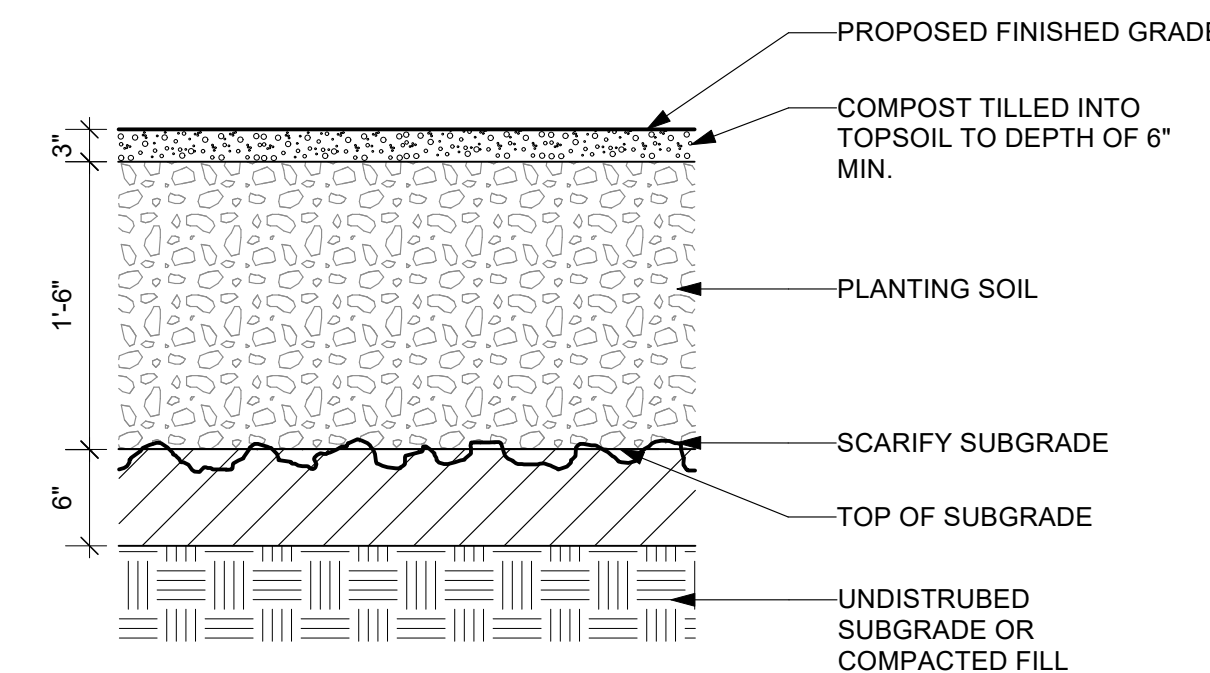
6 CONC. CHEEK WALL
 Scale: 3/4" = 1'-0"



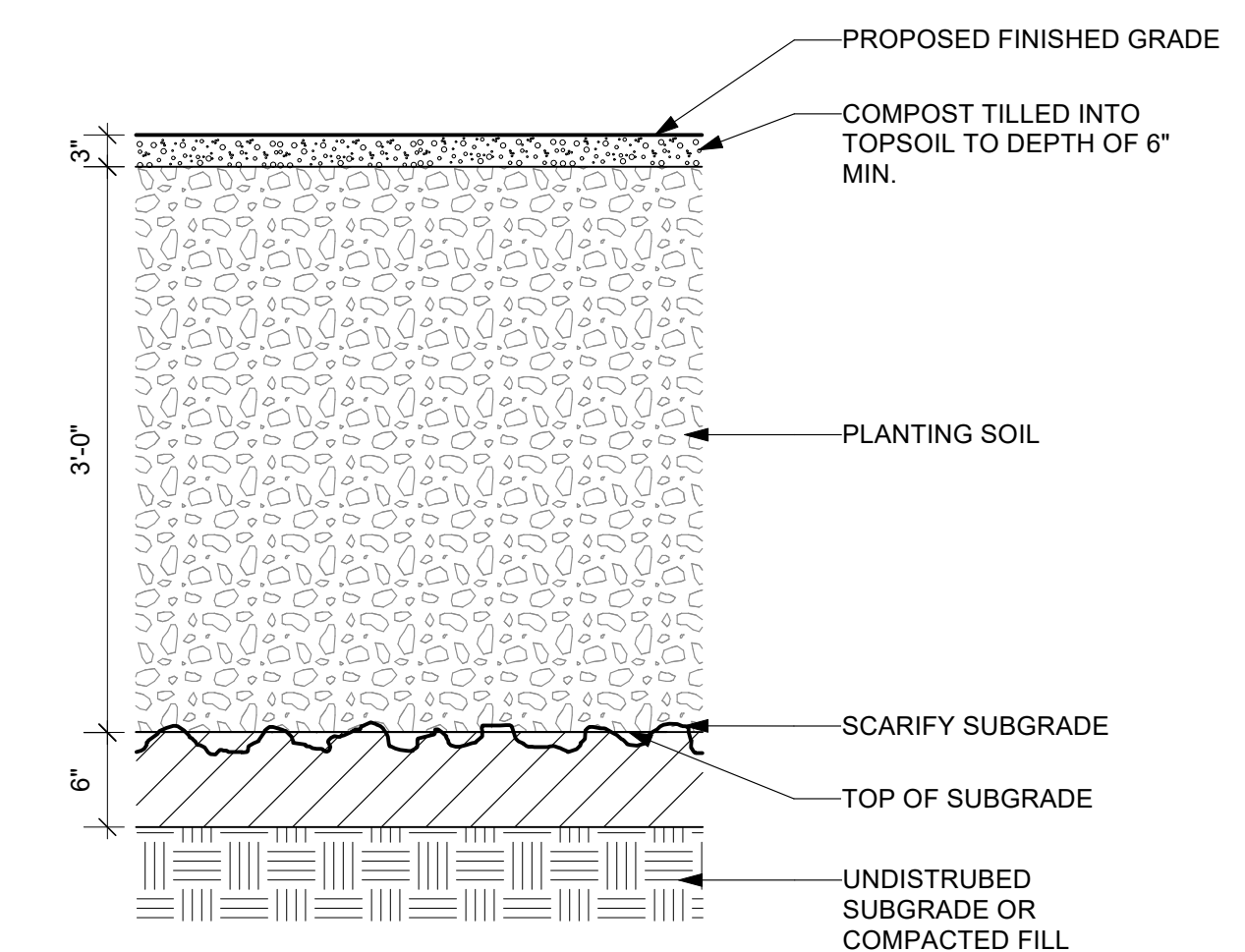
1 TREE PROTECTION
L-6.4 Scale: 1/4" = 1'-0"



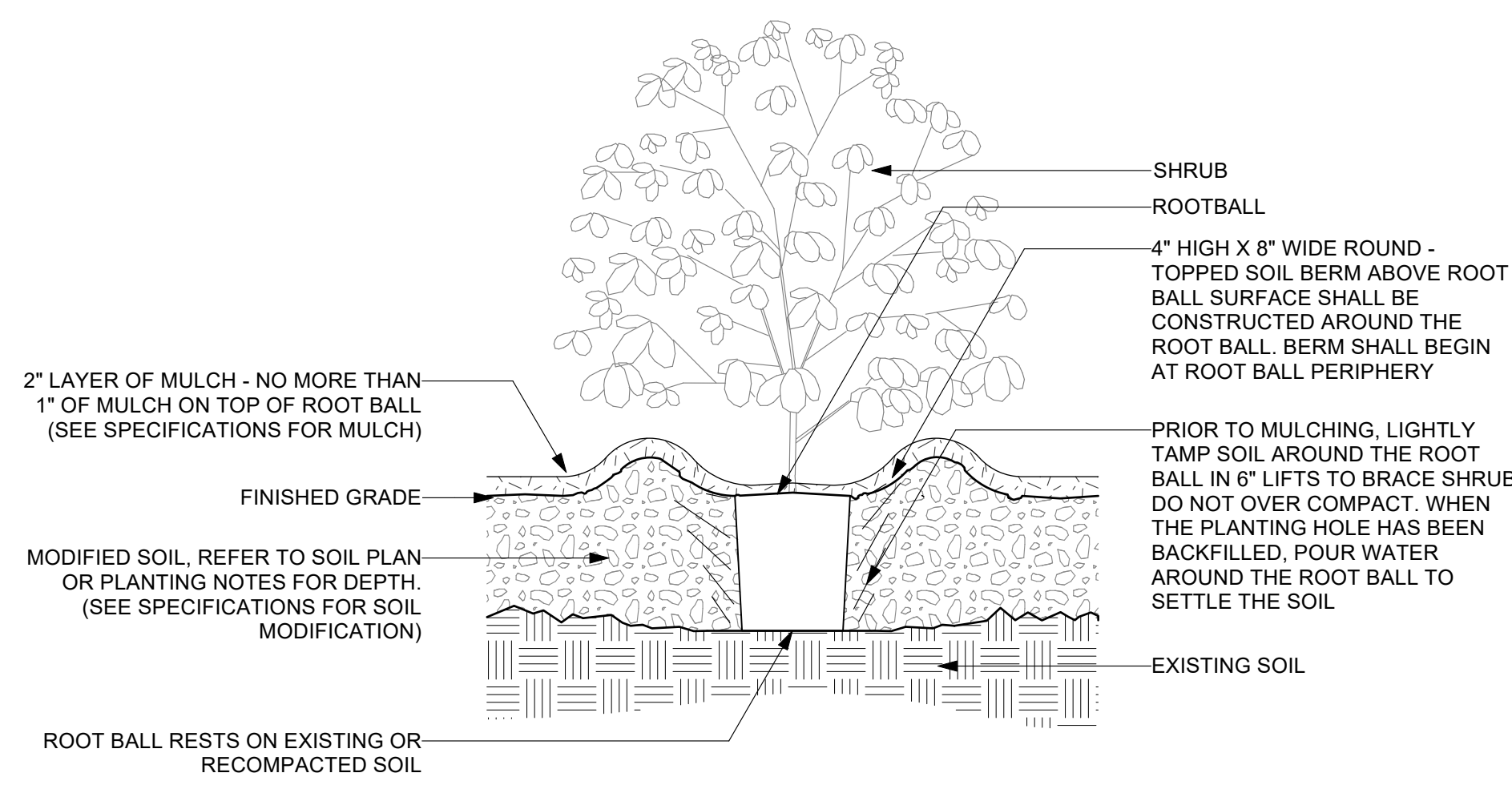
2 SOIL PROFILE - LAWN
L-6.4 Scale: 1" = 1'-0"



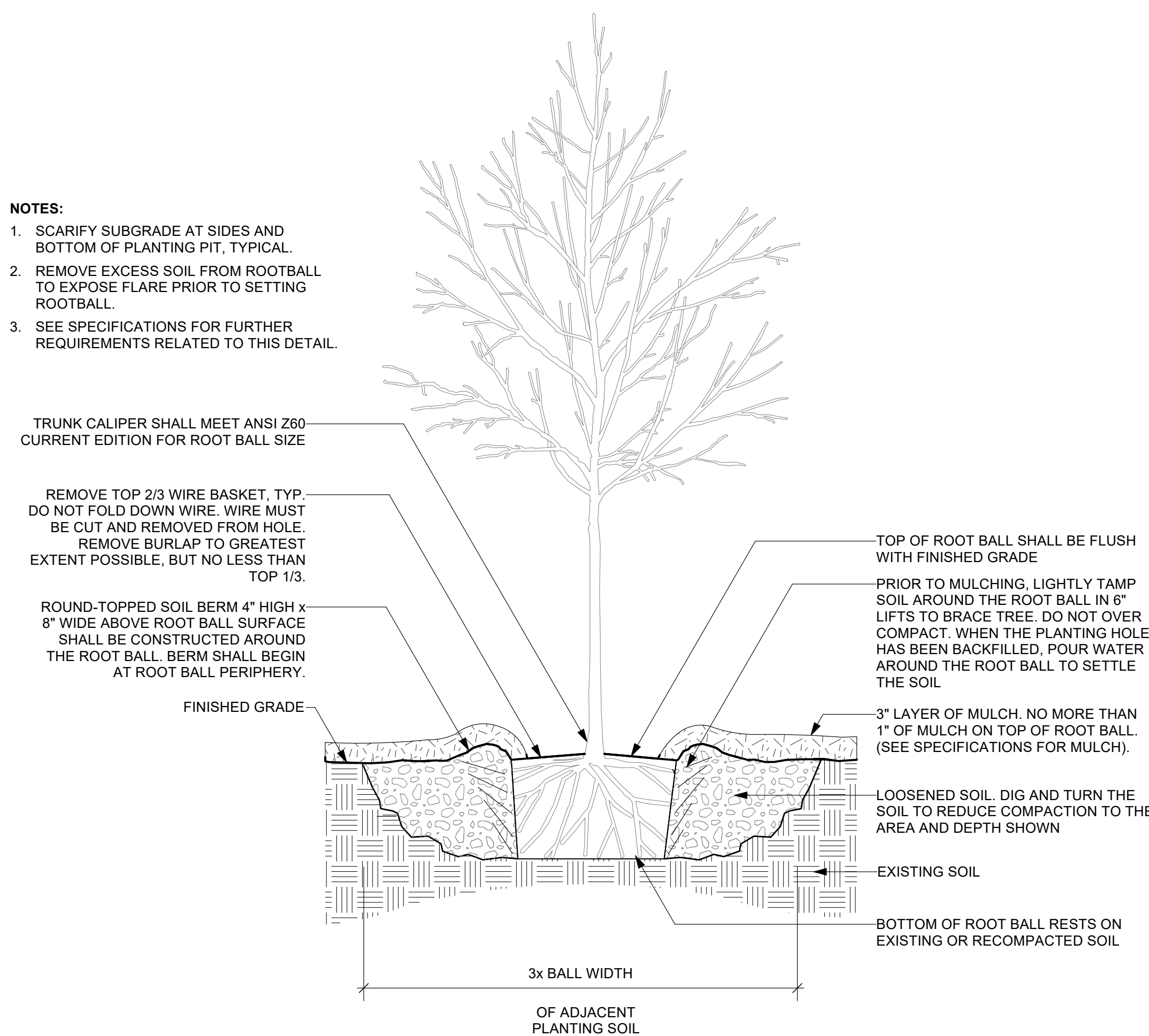
3 SOIL PROFILE - PLANT BED
L-6.4 Scale: 1" = 1'-0"



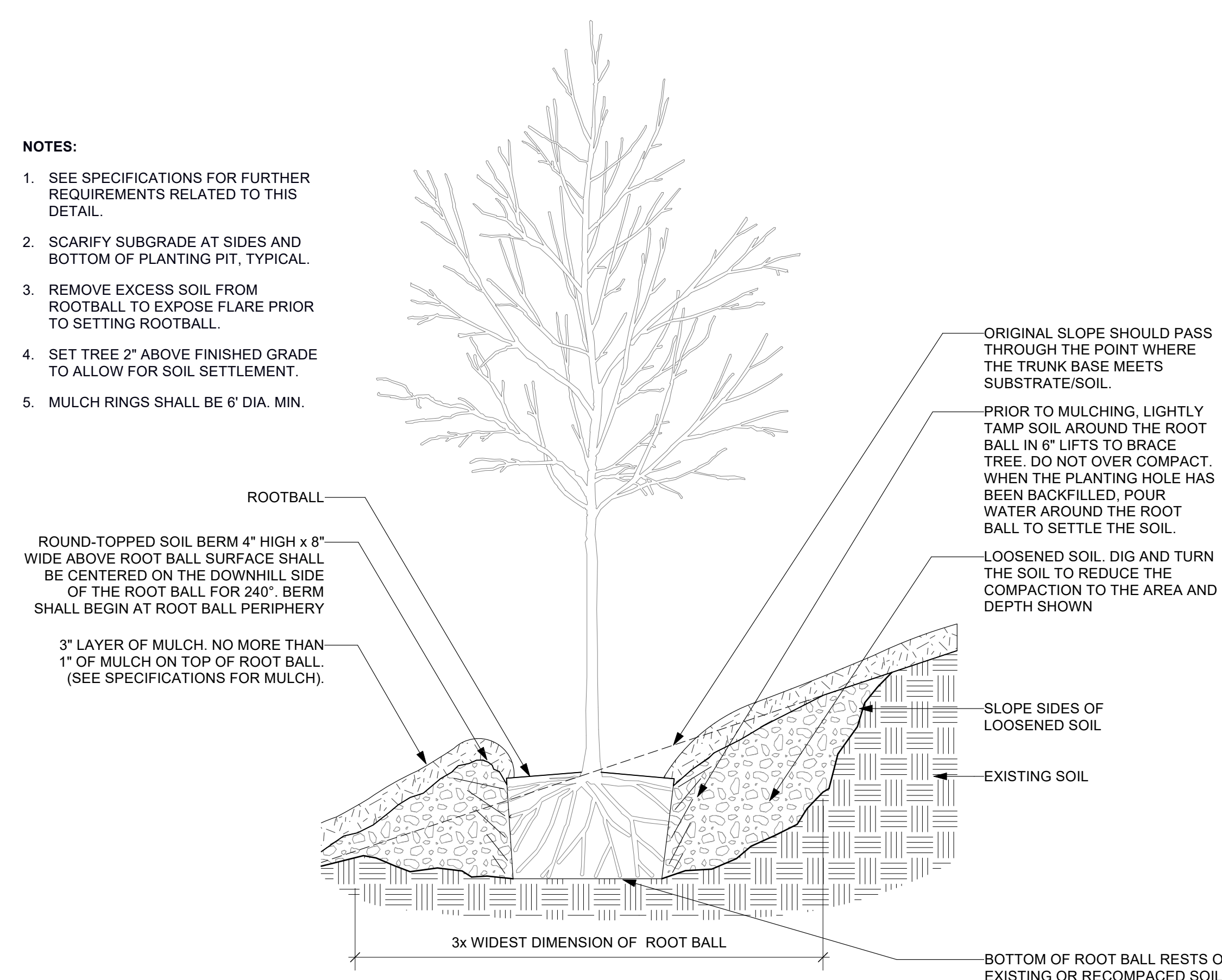
4 SOIL PROFILE - TREE
L-6.4 Scale: 1" = 1'-0"



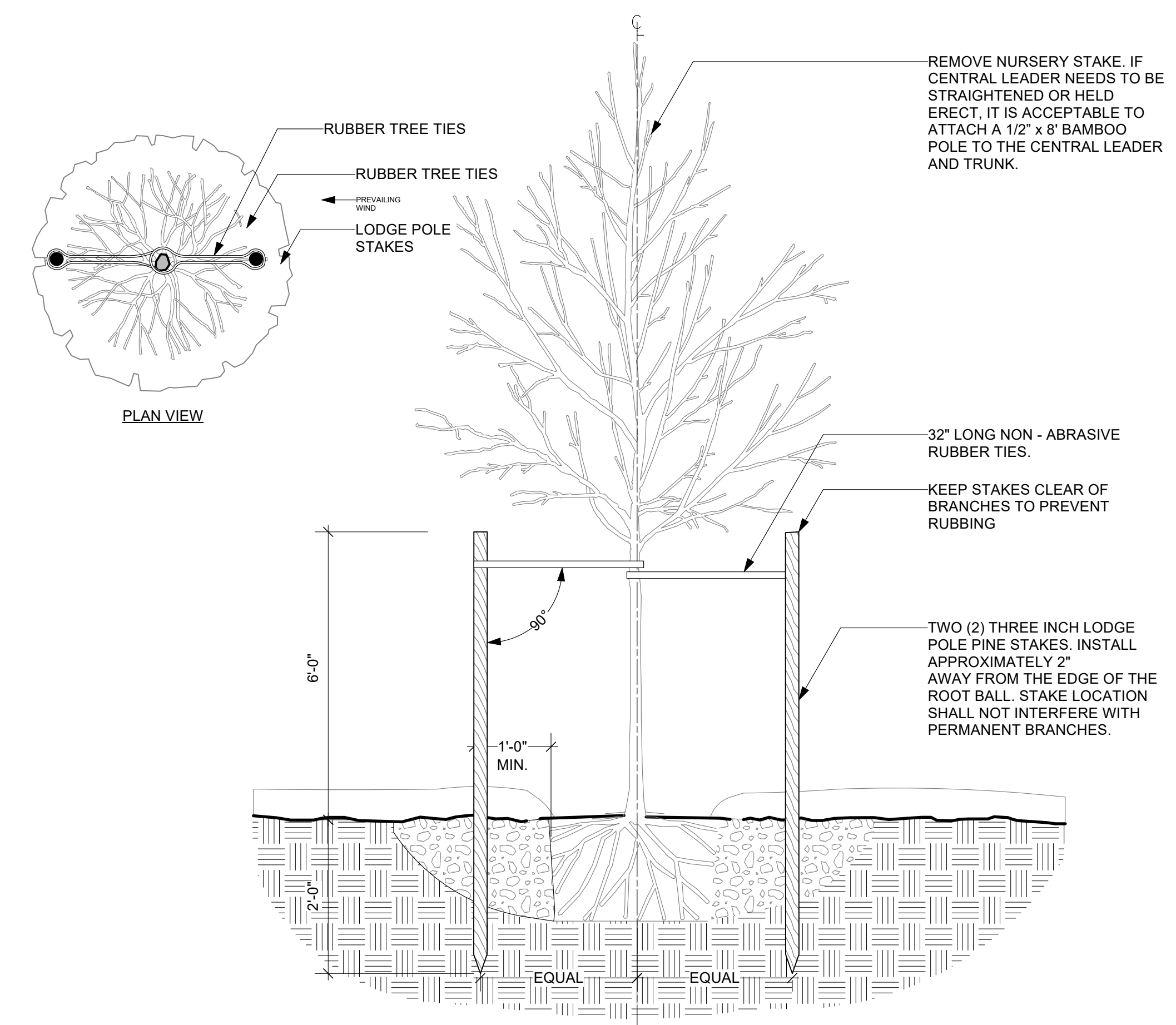
5 SHRUB PLANTING
L-6.4 Scale: 3/4" = 1'-0"



6 TREE PLANTING
L-6.4 Scale: 3/4" = 1'-0"



7 TREE PLANTING - ON SLOPE
L-6.4 Scale: 3/4" = 1'-0"



8 TREE STAKING - LODGE POLES (2)
L-6.4 Scale: 3/4" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS
1	12.01.2021	SD SUBMISSION
2	04.11.2023	DD SUBMISSION
3	06.16.2023	50% CD SUBMISSION
4	07.28.2023	100% CD SUBMISSION



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.632.2174



SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 460
Philadelphia, PA 19106
www.kseeng.com

MEP ENGINEERS:
Arora Engineers, LLC
1600 Market Street
Suite 1630
Philadelphia, PA 19103
www.aroraengineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE FARMWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
PLANTING DETAILS

PROJECT NO. 2009.05	DRAWING NO.
DATE 01.19.2024	L-6.4
SCALE AS NOTED	
DRAWN BY TM, JCB, JD & SE	
CHECKED BY JB	

ELECTRICAL GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS ADOPTED BY MUNICIPAL, COUNTY, STATE, AND FEDERAL AUTHORITIES, INCLUDING THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) NFPA 70, AND WITH THE REQUIREMENTS/AMENDMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
- CONTRACT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO CONVEY SCOPE, DESIGN INTENT, AND GENERAL ARRANGEMENT ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK OF ALL TRADES INCLUDING RESOLUTION OF FIELD CONFLICTS THAT MAY ARISE.
- WIREWAY, JUNCTION AND PULL BOXES ARE NOT NECESSARILY INDICATED, BUT SHALL BE PROVIDED WHERE MANDATED BY THE NEC, AND AS REQUIRED FOR EASE OF INSTALLATION. BOXES SHALL BE SIZED (MINIMUM) IN ACCORDANCE WITH NEC ARTICLE 314. TROUGHES SHALL BE SIZED PER NEC ARTICLE 376.
- PROVIDE A DEDICATED NEUTRAL FOR ALL 120V CIRCUITS.
- VERIFY EXACT LOCATION OF ALL EQUIPMENT WITH EQUIPMENT INSTALLER PRIOR TO ROUGH-IN.
- CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND LOCATIONS OF FINISHED CONSTRUCTION PRIOR TO FABRICATION AND INSTALLATION OF FIXTURES AND EQUIPMENT. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT/ENGINEER.
- EXISTING CONDITIONS AND UTILITIES INDICATED ARE TAKEN FROM EXISTING CONSTRUCTION DOCUMENTS, VARIOUS SURVEYS AND FIELD INVESTIGATIONS. CONTRACTOR IS TO FIELD VERIFY DIMENSIONS OF ALL SITE UTILITIES, ETC., PRIOR TO BID AND INCLUDE ANY DEVIATIONS IN THE CONTRACT.
- LOCATE ALL EXISTING UTILITIES AND PROTECT THEM FROM DAMAGE.
- ELECTRICAL CONTRACTOR SHALL FURNISH, INSTALL, CONNECT AND MAINTAIN TEMPORARY ELECTRICAL SERVICES AND LIGHTING THROUGHOUT THE ENTIRE PROJECT AREA WHERE REQUIRED BY OTHER TRADES UNTIL NEW, PERMANENT SERVICES ARE INSTALLED. CONTRACTOR SHALL RELOCATE OR OTHERWISE MODIFY TEMPORARY SERVICES AS MANY TIMES AS NECESSARY FOR THE WORK OF ALL CONTRACTORS TO PROCEED UNTIL COMPLETION OF THE PROJECT. ALL TEMPORARY ELECTRICAL WIRING AND/OR ELECTRICAL DEVICES SHALL HAVE GROUND FAULT PROTECTION DURING THE ENTIRE CONSTRUCTION PROJECT LENGTH. THE INSTALLATION AND MAINTENANCE OF ALL TEMPORARY SERVICES SHALL COMPLY WITH APPLICABLE NEC AND OSHA REQUIREMENTS.
- EACH CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS OF ALL TRADES PRIOR TO BIDDING. DISCREPANCIES BETWEEN DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT/ENGINEER, PRIOR TO BIDDING.
- CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, SUBMIT AS-BUILT RECORD DRAWINGS SHOWING ALL CHANGES FROM THE CONTRACT DRAWINGS MADE DURING THE INSTALLATION. DIMENSION LOCATIONS OF CONCEALED EQUIPMENT.
- UNLESS OTHERWISE NOTED, ALL PARTS, EQUIPMENT, MATERIALS SHALL BE NEW AND FROM SAME MANUFACTURER AND UL LISTED.
- UPON COMPLETION OF WORK, CONTRACTOR SHALL THOROUGHLY CLEAN ALL WORK AREAS AND EQUIPMENT AS REQUIRED.
- COORDINATE ALL CONDUIT ROUTING WITH EXISTING CONDITIONS AND UTILITIES.
- ALL EXPOSED CONDUITS SHALL BE RGS UNLESS OTHERWISE NOTED.
- PROVIDE PULL STRINGS IN ALL EMPTY CONDUIT, RACEWAYS AND LABEL AT EACH END.
- ALL CONDUCTORS INCREASED IN SIZE FOR VOLTAGE DROP CONSIDERATION SHALL BE SPLICED TO APPROPRIATE SIZE CONDUCTORS FOR TERMINATING ONTO EQUIPMENT AND DEVICES. SPLICES SHALL BE MADE INSIDE THE EQUIPMENT AS ALLOWED BY THE NEC OR AT THE CLOSEST JUNCTION BOX TO THE EQUIPMENT OR DEVICE. THE SPLICED CONDUCTOR SHALL BE SIZED AS THE LARGEST ACCEPTABLE CONDUCTOR BASE ON THE TERMINATION OF THE EQUIPMENT OR DEVICE.
- CALL BEFORE YOU DIG (PA ONE CALL SYSTEM 1-800-242-1776 OR DIAL 811). ELECTRICAL CONTRACTOR TO HIRE AN INDEPENDENT UTILITY LOCATING COMPANY TO MARK-OUT CUSTOMER OWNED/PRIVATE PROPERTY FACILITIES BEFORE DIGGING AT ELECTRICAL CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL DETERMINE THE EXTENT, EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND UNDERGROUND VAULTS PRIOR TO COMMENCING WORK.
- ALL CONDUCTORS SHALL BE COLOR-CODED. SINGLE CONDUCTOR, COPPER WIRE OF THE SPECIFIED SIZE, 600V, TYPE XHHW-2 INSULATION, #12 AWG MINIMUM.
- THE ELECTRICAL CONTRACTOR HAS FULL RESPONSIBILITY FOR MEETING WITH THE LOCAL ELECTRIC UTILITY AND COORDINATING WITH THE LOCAL ELECTRIC UTILITY COMPANY'S REQUIREMENTS BEFORE INSTALLATION BEGINS.

ELECTRICAL SERVICE NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NEC.
- SERVICE EQUIPMENT TO BE LOCATED AS CLOSE AS POSSIBLE TO SERVICE CONDUCTORS ENTERING THE BUILDING.
- ALL CONDUCTORS SHALL BE CU AND THHN/THWN UNLESS OTHERWISE NOTES.
- CONNECT MAIN GROUNDING ELECTRODE CONDUCTOR (GEC) TO BUILDING STEEL IF AVAILABLE.
- ALL SERVICE RELATED WORK TO BE DONE IN STRICT ACCORDANCE WITH UTILITY COMPANY REQUIREMENT.
- VERIFY SHORT CIRCUIT REQUIREMENTS WITH UTILITY COMPANY AND MAKE ADJUSTMENTS AS REQUIRED.
- ALL SERVICE EQUIPMENT SHALL BE LISTED FOR SERVICE ENTRANCE USE.
- COORDINATE ALL SERVICE CHANGES WITH PECO. EC SHALL BE RESPONSIBLE FOR SUBMITTING S&M AS REQUIRED.
- ARRANGE EQUIPMENT IN ENCLOSURE AS EFFICIENTLY AS POSSIBLE. LEAVE ROOM FOR FUTURE EQUIPMENT IF POSSIBLE.
- OTHER SERVICE CONFIGURATIONS MAY BE ACCEPTABLE.

CONVENTIONS:

- ELECTRICAL EQUIPMENT DESIGNATED BY SOLID HEAVY LINE WEIGHT INDICATES NEW WORK TO BE FURNISHED AND INSTALLED.
- ELECTRICAL EQUIPMENT DESIGNATED BY SOLID LIGHT LINE WEIGHT INDICATES EXISTING EQUIPMENT TO REMAIN, UNLESS OTHERWISE INDICATED.
- ELECTRICAL EQUIPMENT DESIGNATED BY DASHED HEAVY LINE WEIGHT REPRESENTS EXISTING EQUIPMENT TO BE REMOVED AND DISPOSED, UNLESS INDICATED TO BE REMOUNTED, RELOCATED, OR TURNED OVER TO OWNER.

ELECTRICAL LINE TYPE:

- UNDERGROUND DUCTBANK AND CONDUCTOR, (FURNISH AND INSTALL)

DETAIL CALLOUT SYMBOLS:

- EQUIPMENT NAME
- DRAWING #
- DETAIL NUMBER
- DRAWING #
- SECTION #
- DRAWING #

ELECTRICAL SYMBOLS:

- DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V
- DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION
- DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION IN A WEATHER-PROOF ENCLOSURE
- SIMPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V
- QUADRUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V
- QUADRUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION
- 20A, 120/277 VAC, SINGLE POLE TOGGLE SWITCH
- WEATHER PROOF SWITCH
- MANUAL MOTOR RATED SWITCH
- NON-FUSIBLE DISCONNECT SWITCH, SIZE AS NOTED
- COMBINATION MAGNETIC STARTER, SIZE AS REQUIRED BY NEC
- FUSIBLE DISCONNECT SWITCH, SIZE AS NOTED
- LOOP LINE INDICATES CIRCUIT CONDUCTORS AND CONDUIT CONNECTING IDENTIFIED DEVICES
- INDICATES HOMERUN CIRCUIT CONDUCTORS AND CONDUIT CONNECTING IDENTIFIED DEVICES TO PANEL
- ENCLOSED CIRCUIT BREAKER BOX
- JUNCTION BOX
- TRANSFORMER
- SURFACE MOUNTED PANELBOARD
- CIRCUIT BREAKER, RATINGS AS INDICATED
- PHOTO CELL
-
-

LIGHT SYMBOLS:

- POLE MOUNTED LIGHT FIXTURE, TYPE AS NOTED
- EXISTING POLE MOUNTED LIGHT FIXTURE

ELECTRICAL ABBREVIATIONS:

- A, AMP AMPERES
- AC ALTERNATING CURRENT
- AFCI ARC FAULT CIRCUIT INTERRUPTER
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- AHU AIR HANDLING UNIT
- AIC AMP INTERRUPTING CAPACITY
- AT AMP TRIP
- AF AMP FRAME
- ATS AUTOMATIC TRANSFER SWITCH
- AWG AMERICAN WIRE GAUGE
- BKR BREAKER
- C, CND CONDUIT
- C.B. CIRCUIT BREAKER
- CKT CIRCUIT
- CLG CEILING, EQUIPMENT MOUNTED EITHER ON OR IN CEILING AREA
- CU COPPER
- DC DIRECT CURRENT
- DWG DRAWING
- (E) EXISTING WORK/EQUIPMENT TO REMAIN
- (ER) EXISTING WORK/EQUIPMENT TO BE REMOVED AND RELOCATED
- EC ELECTRICAL CONTRACTOR
- ELEC ELECTRICAL
- EQUIP EQUIPMENT
- EM EMERGENCY
- EMT ELECTRICAL METALLIC TUBING
- FT FOOT (FEET)
- G, GND GROUND
- GFCI, GFI GROUND FAULT CIRCUIT INTERRUPTER
- HZ HERTZ
- HOA HAND OFF AUTO SWITCH
- JB JUNCTION BOX
- KA KILO AMPERES
- KAIC KILO AMPERES INTERRUPTING CURRENT
- KVA KILO VOLTS AMPERES
- KW KILOWATTS
- LFMC LIQUID TIGHT FLEXIBLE METAL CONDUIT
- MC MECHANICAL CONTRACTOR
- MCB MAIN CIRCUIT BREAKER
- MCA MAXIMUM CIRCUIT AMPACITY
- MIN MINIMUM
- MISC MISCELLANEOUS
- MLO MAIN LUG ONLY
- MOCP MAXIMUM OVER CURRENT PROTECTION
- MOCD MAXIMUM OVER CURRENT PROTECTIVE DEVICE
- (N) NEW
- NEC NATIONAL ELECTRIC CODE
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- P POLE
- PH, Ø PHASE
- PNL PANEL
- PWR POWER
- (R) EXISTING EQUIPMENT TO BE DISCONNECTED AND REMOVED
- (RE) RELOCATED EXISTING WORK
- RCPT RECEPTACLE
- RGS RIGID GALVANIZED STEEL
- RMC RIGID METAL CONDUIT
- RM ROOM
- RNC RIGID NON-METALLIC CONDUIT
- SCCR SHORT CIRCUIT CURRENT RATING
- SPECS SPECIFICATIONS
- TYP. TYPICAL
- UE UNDERGROUND ELECTRIC
- UON UNLESS OTHERWISE NOTED
- V VOLTS
- VIF VERIFY IN FIELD
- WP WEATHER PROOF
- XFMR TRANSFORMER

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 15th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.632.2174

SEA

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 460
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

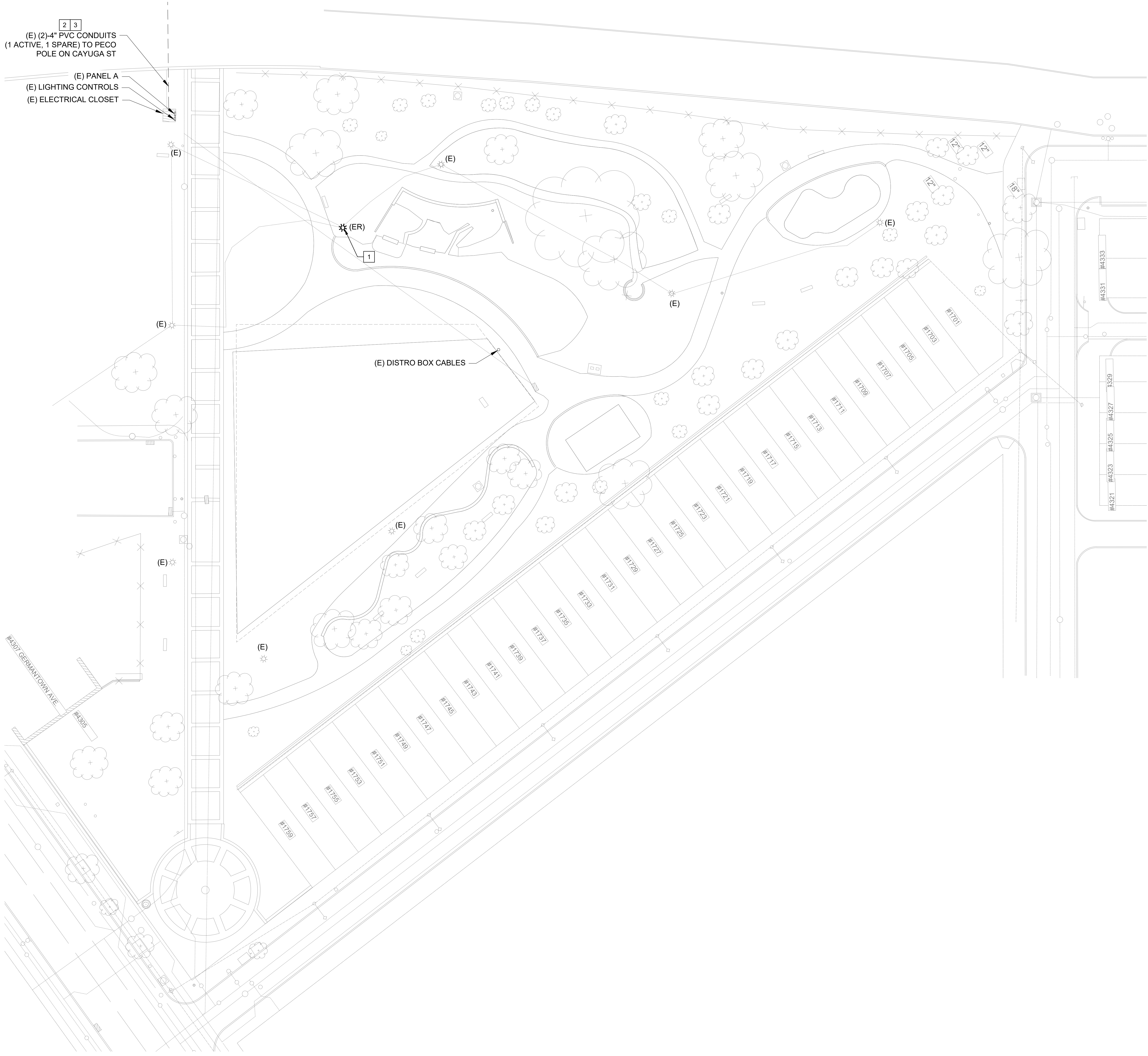
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
GENERAL NOTES SYMBOLS
AND ABBREVIATIONS

PROJECT NO. 2009.05	DRAWING NO. E-1.0
DATE 01.19.2024	
SCALE	
DRAWN BY AT	
CHECKED BY PL	

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.



GENERAL NOTES:

- REFER TO DRAWING E-1.0 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- COORDINATE ALL NEW WORK WITH OWNER PRIOR TO START OF WORK.
- FIELD INVESTIGATE AND VERIFY THE ROUTING OF THE LIGHTING AND RECEPTACLES CIRCUITS FOR THE WORK AREA AND DETERMINE IF ANY CIRCUITS REQUIRE SPLICING AND CONTINUATION OF SERVICE OUTSIDE OF THE WORK AREA.

KEYED NOTES:

- REMOVE EXISTING LIGHT POLE, LIGHT FIXTURE, POLE BASE AND RECEPTACLE AND PRESERVE THEM FOR RELOCATION. PROVIDE NEW HAND HOLE TO MAINTAIN CONTINUATION OF LIGHTING AND RECEPTACLE CIRCUIT. SPLICE AND EXTEND CIRCUIT WIRING AS REQUIRED.
- FIELD VERIFY EXISTING CONDUIT CONDITION. NOTIFY ENGINEER IF CONDUCTORS CANNOT BE REMOVED AND/OR INSTALLED IN EXISTING CONDUIT(S) PRIOR TO COMMENCEMENT OF WORK.
- ONLY AFTER KEYED NOTE 2 HAS BEEN COMPLETED, DISCONNECT AND REMOVE EXISTING UNDERGROUND SERVICE WIRING FROM PECO POLE BACK TO EXISTING PANEL A. PRESERVE PANEL A FOR RE-FEED FROM NEW SERVICE PANEL. DEMOLITION SHALL TAKE PLACE AFTER INSTALLATION OF THE NEW SERVICE FEEDS TO LIMIT OUTAGE TIME TO THE SITE. SEE SINGLE LINES FOR MORE INFORMATION.

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 10th Floor
 Philadelphia, PA 19102
 Contact: Nancy Q. O'Donnell, 215.832.2174

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
 Ground Reconsidered
 915 Spring Garden Street
 Suite 403
 Philadelphia PA 19123
 www.groundreconsidered.com

CIVIL ENGINEERS:
 KSE Engineering
 530 Walnut Street
 Suite 400
 Philadelphia, PA 19106
 www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
 Arora Engineering, Inc.
 61 Wilmington-West Chester Pike.
 Chadds Ford, PA 19317
 www.AroraEngineers.com

STRUCTURAL ENGINEERS:
 David Mason and Associates
 123 S. Broad Street, Suite 1130
 Philadelphia, PA 19109
 www.DavidMason.com

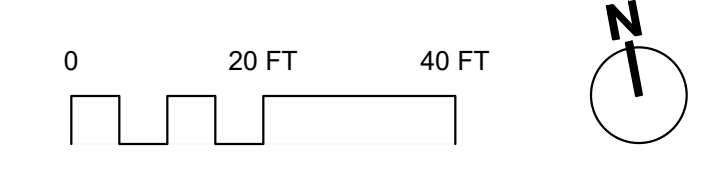
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

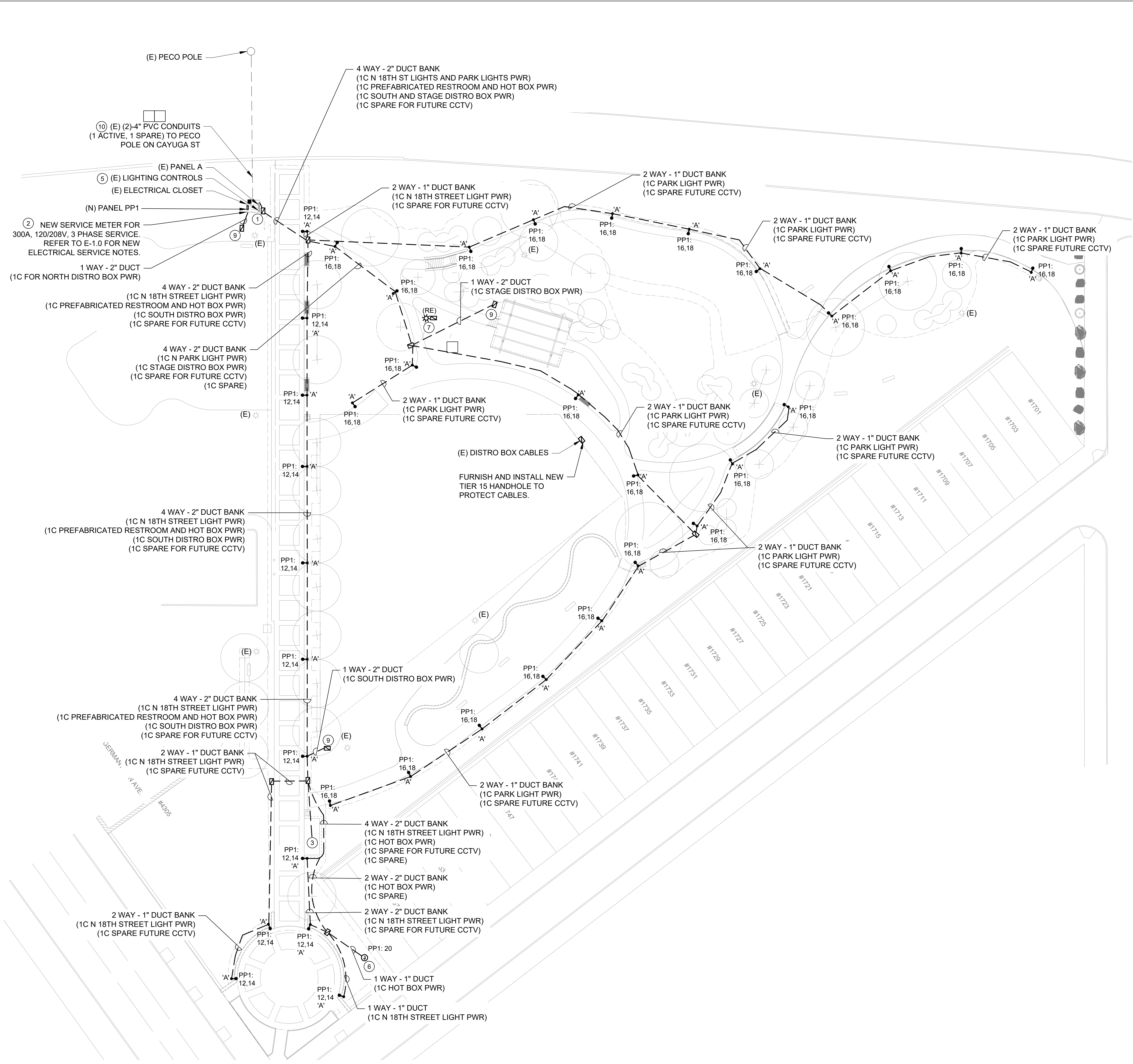
PROJECT TITLE
 NICETOWN PARK

DRAWING TITLE
 DEMOLITION SITE PLAN

PROJECT NO. 2009.05	DRAWING NO. E-2.0
DATE 01.19.2024	
SCALE 	
DRAWN BY AT	
CHECKED BY PL	
NOTE <small>REVISIONS AND CORRECTIONS SHALL BE MADE BY THE CONTRACTOR AND THE CITY ENGINEER SHALL APPROVE THE SAME.</small>	

1 DEMOLITION WORK SITE PLAN
 E-2.0 SCALE: 1" = 20'-0"





GENERAL NOTES:

- REFER TO DRAWING E-1.0 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO DRAWING E-5.0 & E-6.0 FOR DETAILS AND LUMINAIRE SCHEDULE.
- COORDINATE ALL NEW WORK WITH OWNER PRIOR TO START OF WORK.
- ALL CONDUCTORS INCREASED IN SIZE FOR VOLTAGE DROP CONSIDERATION SHALL BE SPLICED TO APPROPRIATE SIZE CONDUCTORS FOR TERMINATING ONTO EQUIPMENT AND DEVICES. SPLICES SHALL BE MADE INSIDE THE EQUIPMENT AS ALLOWED BY THE NEC OR AT THE CLOSEST JUNCTION BOX TO THE EQUIPMENT OR DEVICE. THE SPLICED CONDUCTOR SHALL BE SIZED AS THE LARGEST ACCEPTABLE CONDUCTOR BASE ON THE TERMINATION OF THE EQUIPMENT OR DEVICE.
- ALL CONDUCTORS SHALL BE COLOR-CODED. SINGLE CONDUCTOR, COPPER WIRE OF THE SPECIFIED SIZE, 600V, TYPE XHHW-2 INSULATION.
- EC SHALL COORDINATE WITH LIGHTING FIXTURE MANUFACTURER FOR CONNECTION REQUIREMENTS OF LIGHTING FIXTURES (IE. QUICK DISCONNECT) AND SHALL MAKE ALL WIRING CONNECTIONS AS REQUIRED.
- CALL BEFORE YOU DIG (PA ONE CALL SYSTEM 1-800-242-1776 OR DIAL 811). ELECTRICAL CONTRACTOR TO HIRE AN INDEPENDENT UTILITY LOCATING COMPANY TO MARK-OUT CUSTOMER OWNED/PRIVATE PROPERTY FACILITIES BEFORE DIGGING AT ELECTRICAL CONTRACTOR'S EXPENSE.
- EC SHALL INSTALL DUCT BANK TO AVOID CONFLICT WITH FOUNDATIONS.
- ALL NEW CIRCUIT BREAKERS WITHIN EACH EXISTING PANELBOARD SHALL BE THE SAME MANUFACTURER TYPE, STYLE AND A.I.C. RATING OF EXISTING PANELBOARD.
- ELECTRICAL CONTRACTOR TO TAKE LOAD READINGS OF EXISTING PANEL VIA RECORDING AMMETER TO VERIFY NEC COMPLIANT LOADING PER 220.87 AND VERIFY IF THE EXISTING PANEL IS CAPABLE OF NEW LOAD. REPORT RESULTS TO ENGINEER PRIOR TO PERFORMING ANY WORK.

KEYED NOTES:

- FURNISH AND INSTALL 18" X 24" X 12" TIER 15 HANDHOLE. PROVIDE TERMINAL BLOCK INSIDE HANDHOLE. MAKE FINAL CONNECTION TO LIGHT FIXTURE.
- EC SHALL REMOVE EXISTING SINGLE PHASE METER AND SERVICE FEEDER BACK TO PECO AFTER NEW THREE PHASE SERVICE IS INSTALLED AND ACTIVE. EC SHALL COORDINATE WITH PECO. SEE SHEET E-5.0 FOR ADDITIONAL INFORMATION.
- PROVIDE DEDICATED 40A/2P CIRCUIT TO NEW PRE-FABRICATED RESTROOM. EC SHALL COORDINATE LOCATION OF CIRCUIT STUB-UP INTO THE CHASE ROOM OF RESTROOM WITH RESTROOM MANUFACTURER. CONNECT AND TERMINATE CIRCUIT ON LOAD CENTER CONTAINED WITHIN. VERIFY CORRECT OPERATION OF LOAD CENTER ONCE CONNECTED TO DEDICATED CIRCUIT.
- NOT USED.
- EC SHALL INSTALL NEW ASTRONOMIC TIME CLOCK IN THE ELECTRICAL SHELTER FOR CONTROL OF THE TWO NEW SITE LIGHTING CIRCUITS. SEE SHEET E-5.0 FOR ADDITIONAL INFORMATION.
- PROVIDE DEDICATED 20A/1P CIRCUIT TO HOT BOX IN METER PIT. COORDINATE WITH CIVIL PLANS FOR EXACT LOCATION.
- REINSTALL THE EXISTING LIGHT POLE, LIGHT FIXTURE, AND RECEPTACLE THAT WERE PRESERVED DURING DEMOLITION FOR RELOCATION. PROVIDE NEW HAND HOLE TO MAINTAIN CONTINUATION OF LIGHTING AND RECEPTACLE CIRCUIT. SPLICE AND EXTEND CIRCUIT WIRING AS REQUIRED, 2#1/0 & 1#4G IN 2" C MINIMUM.
- FURNISH AND INSTALL NEW TIER 15 HANDHOLE TO ENCLOSE EXISTING DISTRO BOX QUIK PLUG CABLES THAT ARE CURRENTLY INSTALLED EXPOSED IN FIELD.
- FURNISH AND INSTALL NEW TIER 15 HANDHOLE FOR NEW DISTRO BOX CABLE. EC SHALL PROVIDE SPLICES AND CONNECT UNDERGROUND XHHW-2 CONDUCTORS TO 100A 300 VAC, (5) 16 SERIES CAM-TYPE, SINGLE POLE FEMALE (CONNECTORS) BLK, WHT, RED, BLUE, GRN, #2 TYPE SC, BANDED 10' FEEDER CABLE FOR USE BY QUIK PLUG EVENT EQUIPMENT. EC SHALL WRAP CABLES AND PLACE WITHIN NEW HANDHOLE FOR FUTURE EVENT USE. COORDINATE FINAL LOCATION WITH PPR IN THE FIELD.
- FIELD VERIFY EXISTING CONDUIT CONDITION. NOTIFY ENGINEER IF NEW CONDUCTORS CANNOT BE INSTALLED IN EXISTING CONDUIT PRIOR TO COMMENCEMENT OF WORK.

REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 15th Floor
 Philadelphia, PA 19102
 Contact: Nancy Q. O'Donnell, 215.832.2174

LANDSCAPE ARCHITECT:
 Ground Reconsidered
 915 Spring Garden Street
 Suite 403
 Philadelphia PA 19123
 www.groundreconsidered.com

CIVIL ENGINEERS:
 KSE Engineering
 530 Walnut Street
 Suite 400
 Philadelphia, PA 19106
 www.kseeng.com

ELECTRICAL and PLUMBING ENGINEERS:
 Arora Engineering, Inc.
 61 Wilmington-West Chester Pike,
 Chadds Ford, PA 19317
 www.AroraEngineers.com

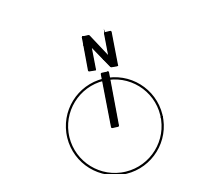
STRUCTURAL ENGINEERS:
 David Mason and Associates
 123 S. Broad Street, Suite 1130
 Philadelphia, PA 19109
 www.DavidMason.com

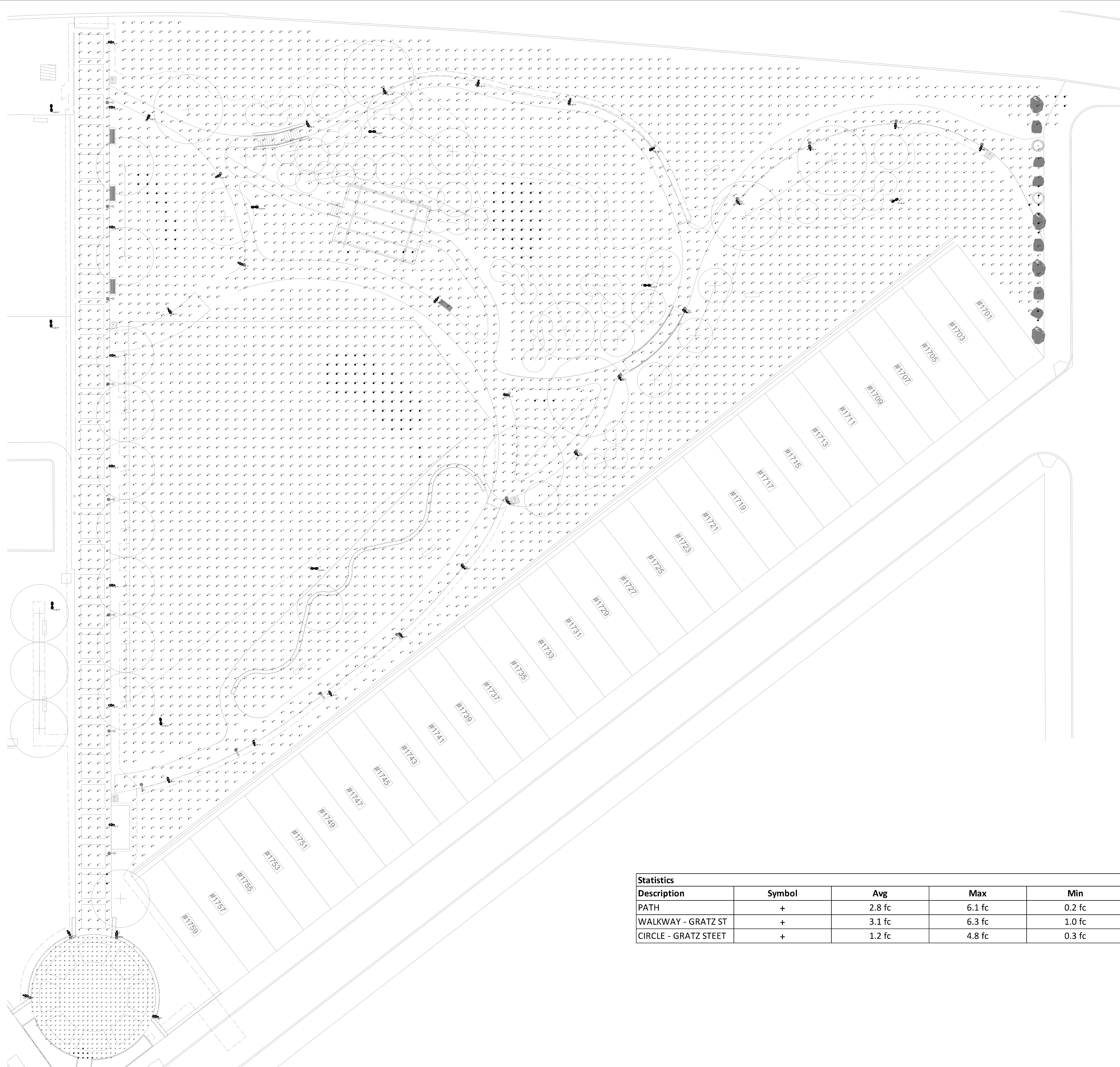
CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 NICETOWN PARK

DRAWING TITLE
 NEW WORK SITE PLAN

PROJECT NO. 2009.05	DRAWING NO. E-3.0
DATE 01.19.2024	
SCALE	
DRAWN BY AT	
CHECKED BY PL	
<small>NOTE: CONTRACTOR SHALL VERIFY ALL CONDITIONS AND CONDITIONS OF THE SITE PRIOR TO COMMENCEMENT OF WORK.</small>	





GENERAL NOTES:

1. REFER TO DRAWING E-1.0 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.

LIGHTING NOTES:

1. NEW LIGHT FIXTURES MOUNTING HEIGHT AT 14'.
2. CALCULATIONS ARE TAKEN AT GRADE.
3. CALCULATIONS ARE ESTIMATIONS BASED ON THE INFORMATION PROVIDED AND MAY VARY WITH ACTUAL CONDITIONS.

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 10th Floor
 Philadelphia, PA 19102
 Contact: Nancy Q. O'Donnell, 215.832.2174

SEA

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
 Ground Reconsidered
 915 Spring Garden Street
 Suite 403
 Philadelphia PA 19123
 www.groundreconsidered.com

CIVIL ENGINEERS:
 KSE Engineering
 530 Walnut Street
 Suite 400
 Philadelphia, PA 19106
 www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
 Arora Engineering, Inc.
 61 Wilmington-West Chester Pike,
 Chadds Ford, PA 19317
 www.AroraEngineers.com

STRUCTURAL ENGINEERS:
 David Mason and Associates
 123 S. Broad Street, Suite 1130
 Philadelphia, PA 19109
 www.DavidMason.com

CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 NICETOWN PARK

DRAWING TITLE
 LIGHTING PHOTOMETRICS

PROJECT NO.
 2009.05

DATE
 01.19.2024

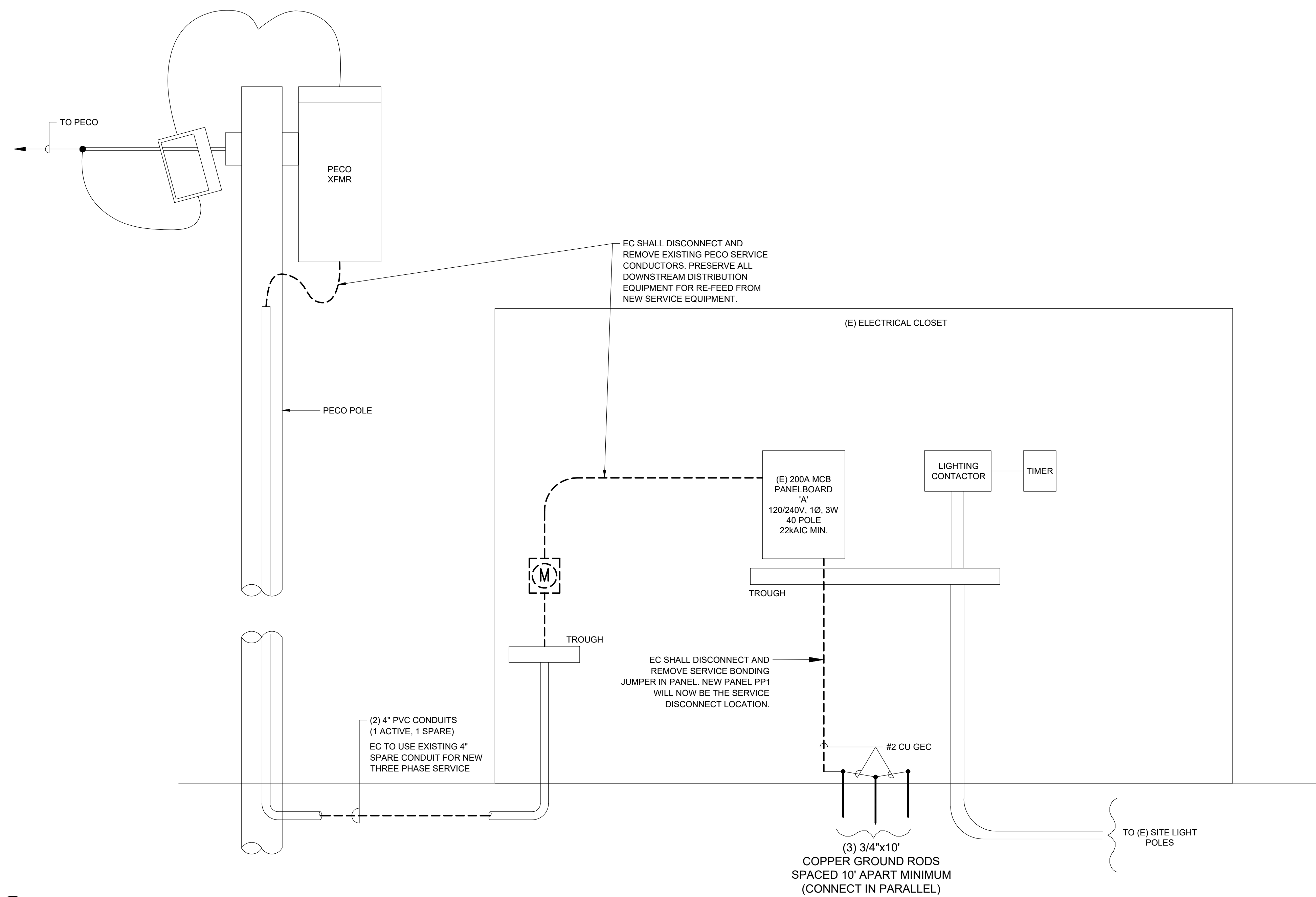
SCALE

DRAWN BY
 MM

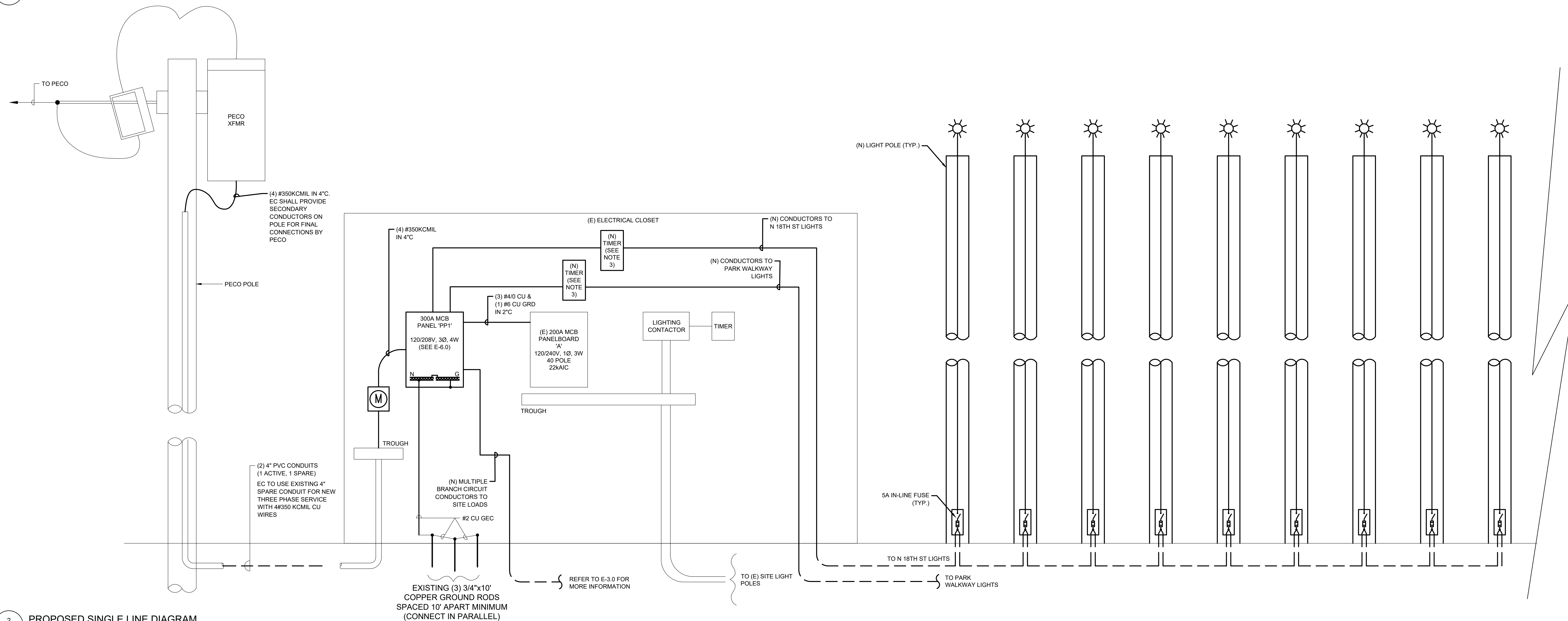
CHECKED BY
 RR

DATE OF THE CONTRACT AND THE DATE OF THE DRAWING

DRAWING NO.
 E-4.0



1 DEMOLITION SINGLE LINE DIAGRAM
Scale: NTS



2 PROPOSED SINGLE LINE DIAGRAM
Scale: NTS

GENERAL NOTES:

- REFER TO DRAWING E-1.0 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- COORDINATE ALL NEW WORK WITH OWNER PRIOR TO START OF WORK.
- EC SHALL FURNISH AND INSTALL ELECTRONIC TIMER CONTROL FOR EACH OF THE TWO NEW SITE LIGHTING CIRCUITS IN THE UTILITY SHACK. BASIS OF DESIGN: - ASTRONOMIC 7-DAY 2-CIRCUIT ELECTRONIC CONTROL, 120-277 VAC, 2-SPST, INDOOR METAL ENCLOSURE INTERMATIC ITEM # ET8215C.
- SEE SITE PLAN ON SHEET E-3.0 FOR CONTINUATION OF CIRCUITING TO SUPPLIED EQUIPMENT.

REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.832.2174

SEA

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 400
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
ELECTRICAL DETAILS

PROJECT NO.
2009.05

DATE
01.19.2024

SCALE

DRAWN BY
AT

CHECKED BY
PL

NOTE

DRAWING NO.

E-5.0

SCALE

DRAWN BY

CHECKED BY

NOTE

LUMINAIRE SCHEDULE										
FIXTURE TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	CATALOG NUMBER	POLE DESCRIPTION	POLE HEIGHT	POLE CATALOG	TYPE	TOTAL WATTS	VOLTS
A	SINGLE HEAD POLE MOUNTED PEDESTRIAN LIGHT FIXTURE WITH PHOTOCELL	POLE	DISCERA 4 LED SELUX	DSC4L-R2-S1-5G350-35-BK-UNV-TLRP	TAPERED POLE	14'	AT535-14-BK	LED	32	208

GENERAL NOTES:

- REFER TO DRAWING E-1.0 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- COORDINATE ALL NEW WORK WITH OWNER PRIOR TO START OF WORK.
- ALL CONDUCTORS INCREASED IN SIZE FOR VOLTAGE DROP CONSIDERATION SHALL BE SPLICED TO APPROPRIATE SIZE CONDUCTORS FOR TERMINATING ONTO EQUIPMENT AND DEVICES. SPLICES SHALL BE MADE INSIDE THE EQUIPMENT AS ALLOWED BY THE NEC OR AT THE CLOSEST JUNCTION BOX TO THE EQUIPMENT OR DEVICE. THE SPLICED CONDUCTOR SHALL BE SIZED AS THE LARGEST ACCEPTABLE CONDUCTOR BASE ON THE TERMINATION OF THE EQUIPMENT OR DEVICE.

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents

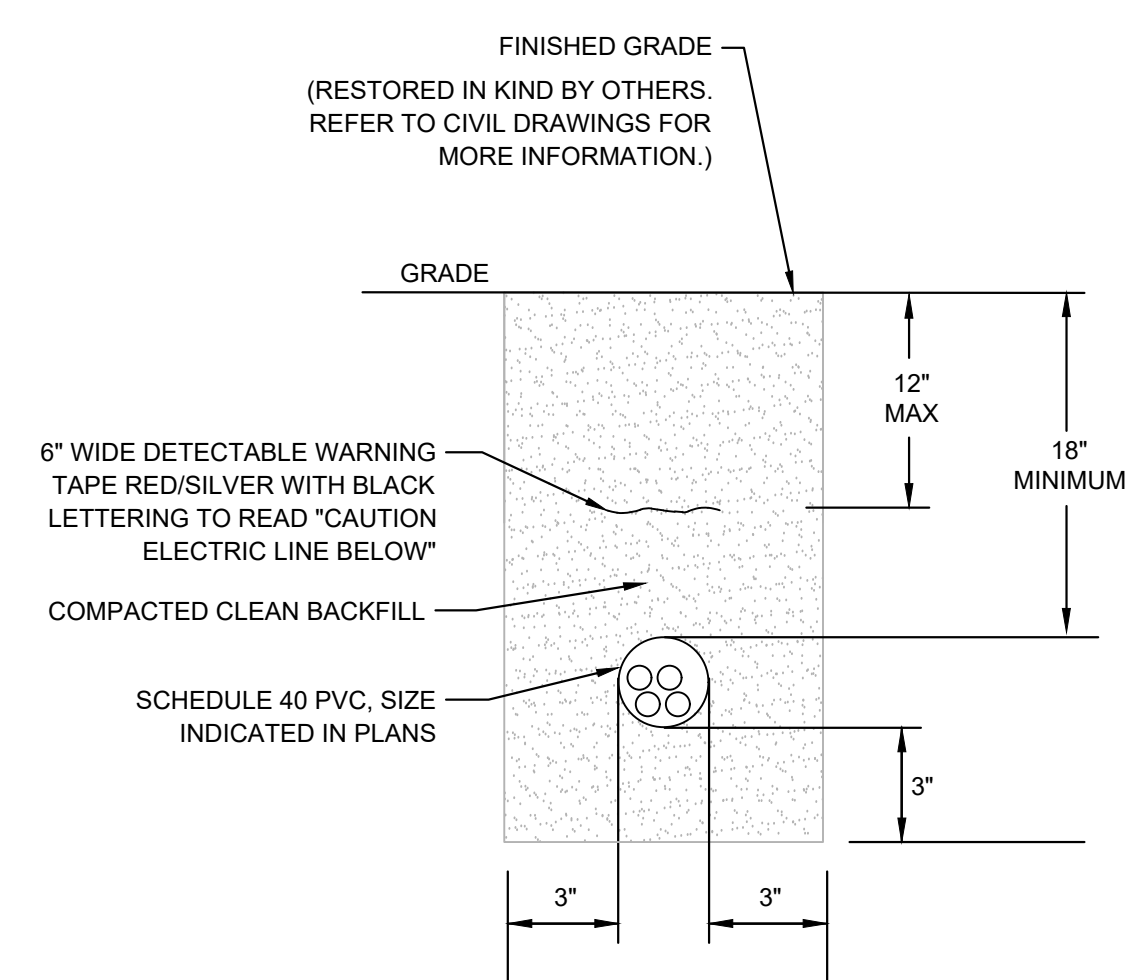


PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.632.2174

SEALED

NEW PANEL PP1 SCHEDULE													
PANEL: PP1		INTERRUPTING RATING: 22 KAIC				MOUNTING: SURFACE							
VOLTAGE: 208Y/120V		PHASE: 3		WIRE: 4		BUS AMPS: 300 A		MAIN: 300 A					
NEMA 3R		NEUTRAL: 100%		LOCATION: ELEC CLOSET									
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA / PHASE			VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT
					A	B	C						
1					7000	7000		0					2
3	DISTRO BOX - STAGE	4#1 & 1#8G (NOTE 3)	3	100	7000		7000	0	30	3	4#10 & 1#10G IN 3/4"C	SPD	4
5					7000			7000					6
7					7000	16115			200	2	SEE SINGLE LINE	(E) PANEL A	8
9	DISTRO BOX - NORTH PARK (NOTE 2)	4#1/0 & 1#6G (NOTE 3)	3	100	7000		16115	9115			SEE SINGLE LINE		10
11					7000			7192	20	2	2#10 & 1#10G (NOTE 3)	LIGHTS - N 18TH ST (NOTE 1)	12
13					7000	7192		192					14
15	DISTRO BOX - SOUTH PARK (NOTE 2)	4#1/0 & 1#6G (NOTE 3)	3	100	7000		7384	384			2#10 & 1#10G (NOTE 3)	LIGHTS - PARK WALKWAY (NOTE 1)	16
17					7000			7384	20	2			18
19	PREFABRICATED RESTROOM (NOTE 1)	3#1/0 & 1#4G (NOTE 3)	2	80	6700	7400		700	20	1	2#8 & 1#8G (NOTE 3)	HOT BOX (NOTE 1)	20
21					6700			6700					22
23					0			0					24
25					0			0					26
27					0			0					28
29					0			0					30
31					0			0					32
33					0			0					34
35					0			0					36
37					0			0					38
39					0			0					40
41					0			0					42
NOTES:					TOTALS								
1. CONDUCTORS SIZED FOR VOLTAGE DROP.					37707	37199	21576						
2. CONDUCTORS ADJUSTED FOR NUMBER OF CONDUCTORS IN CONDUIT.					96482 VA			267.80 CONNECTED AMPS					
3. REFER TO AREA PLANS FOR CONDUIT SIZE AND CIRCUIT ROUTING.													

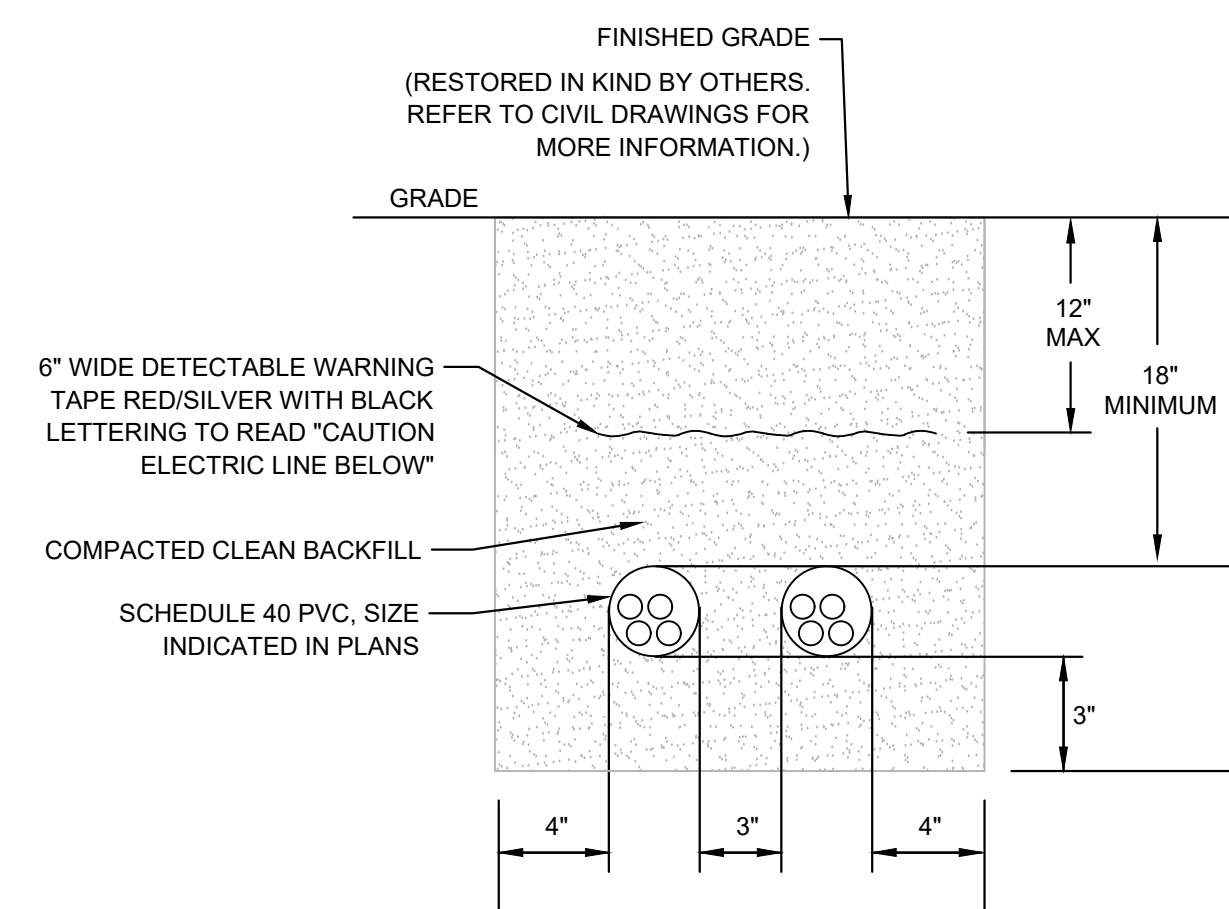
MODIFIED PANEL A SCHEDULE														
PANEL: (E) A		FED FROM: PANEL PP1				INTERRUPTING RATING: 22 KAIC				MOUNTING: SURFACE				
VOLTAGE: 208/120V		PHASE: 1		WIRE: 3		BUS AMPS: 200A		MAIN: 200A MCB						
NEMA (E)		NEUTRAL: 100%		LOCATION: ELEC CLOSET										
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA / PHASE			VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT	
					A	B	C							
1	SPARE (ON POSITION)	-	2	100	0	50		50	20	1	(E)	CLOSET LIGHT & TIME CLOCK	2	
3	SPARE (ON POSITION)	-	2	100	0	180		180	20	1	(E)	RECEPTACLES	4	
5	SPARE (ON POSITION)	-	1	20	0	0		0	0	50	2	(E)	EXISTING LOAD (OFF POSITION)	6
7	ARCH	(E)	1	20	0	0		0	0	-	(E)		8	
9	-	-	-	-	0	0		0	0	-	-	-	10	
11	-	-	-	-	0	0		0	0	-	-	-	12	
13	-	-	-	-	0	0		0	0	-	-	-	14	
15	-	-	-	-	0	0		0	0	-	-	-	16	
17	-	-	-	-	0	0		0	0	-	-	-	18	
19	-	-	-	-	0	0		0	0	-	-	-	20	
21	-	-	-	-	0	0		0	0	-	-	-	22	
23	-	-	-	-	0	0		0	0	-	-	-	24	
25	-	-	-	-	0	0		0	0	-	-	-	26	
27	-	-	-	-	0	0		0	0	-	-	-	28	
29	-	-	-	-	0	0		0	0	-	-	-	30	
31	-	-	-	-	0	0		0	0	-	-	-	32	
33	-	-	-	-	0	0		0	0	-	-	-	34	
35	SITE LIGHTS	(E)	2	60	4500	4500		0			-	-	36	
37	SITE LIGHTS	(E)	2	60	4500	4500		4500	0		-	-	38	
39	SITE LIGHTS	(E)	2	60	4500	4500		0			-	-	40	
NOTES:					TOTALS									
					9050	9180								
					18230 VA			87.64 CONNECTED AMPS						



1 TYPICAL DUCT DETAIL
Scale: NTS

DUCT BANK NOTES:

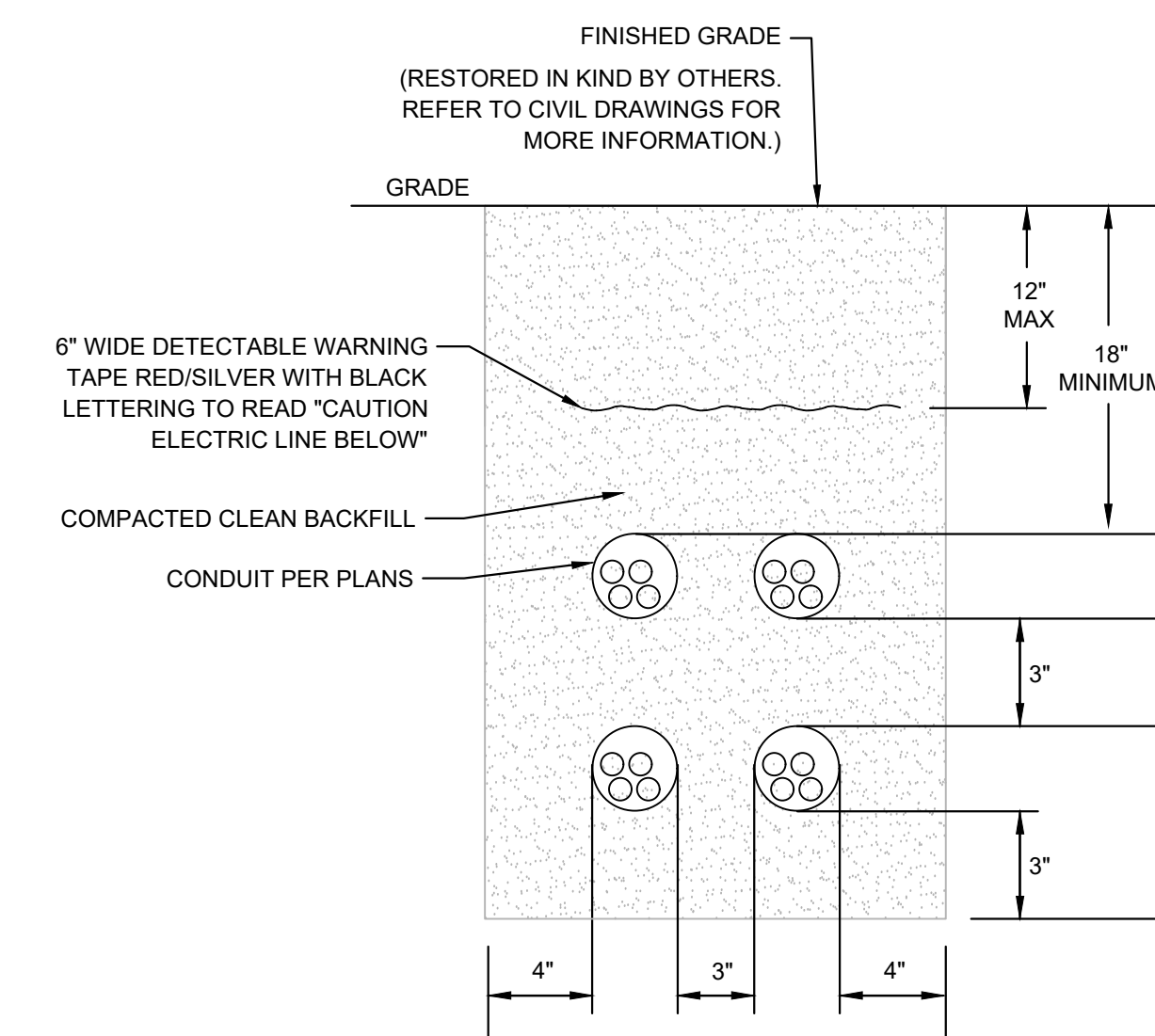
- EC SHALL TAKE EXTREME CARE IN EXCAVATING AREA. HAND-DIG IF NECESSARY. MODIFY/RE-ROUTE DUCT BANK AS REQUIRED TO MINIMIZE CONFLICT WITH EXISTING UTILITIES.
- COORDINATE ALL CONDUIT ROUTING WITH EXISTING CONDITIONS AND ROADWAY CUTTING AND TRENCHING.
- ADJUST TRENCH DETAIL FOR MULTIPLE CONDUITS WHEN REQUIRED. OBTAIN ENGINEER'S APPROVAL.
- REMOVE ALL SHARP STONES AND OBJECTS FROM COMPACTED BEDDING, SIDE SUPPORTS, AND FILL.



2 TYPICAL 2 WAY DUCT BANK DETAIL
Scale: NTS

DUCT BANK NOTES:

- EC SHALL TAKE EXTREME CARE IN EXCAVATING AREA. HAND-DIG IF NECESSARY. MODIFY/RE-ROUTE DUCT BANK AS REQUIRED TO MINIMIZE CONFLICT WITH EXISTING UTILITIES.
- COORDINATE ALL CONDUIT ROUTING WITH EXISTING CONDITIONS AND ROADWAY CUTTING AND TRENCHING.
- ADJUST TRENCH DETAIL FOR MULTIPLE CONDUITS WHEN REQUIRED. OBTAIN ENGINEER'S APPROVAL.
- REMOVE ALL SHARP STONES AND OBJECTS FROM COMPACTED BEDDING, SIDE SUPPORTS, AND FILL.



3 TYPICAL 4 WAY DUCT BANK DETAIL
Scale: NTS

DUCT BANK NOTES:

- EC SHALL TAKE EXTREME CARE IN EXCAVATING AREA. HAND-DIG IF NECESSARY. MODIFY/RE-ROUTE DUCT BANK AS REQUIRED TO MINIMIZE CONFLICT WITH EXISTING UTILITIES.
- COORDINATE ALL CONDUIT ROUTING WITH EXISTING CONDITIONS AND ROADWAY CUTTING AND TRENCHING.
- ADJUST TRENCH DETAIL FOR MULTIPLE CONDUITS WHEN REQUIRED. OBTAIN ENGINEER'S APPROVAL.
- REMOVE ALL SHARP STONES AND OBJECTS FROM COMPACTED BEDDING, SIDE SUPPORTS, AND FILL.

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 400
Philadelphia, PA 19106
www.kseeng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike.
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
ELECTRICAL SCHEDULES

PROJECT NO.
2009.05

DATE
01.19.2024

SCALE

DRAWN BY
AT

CHECKED BY
PL

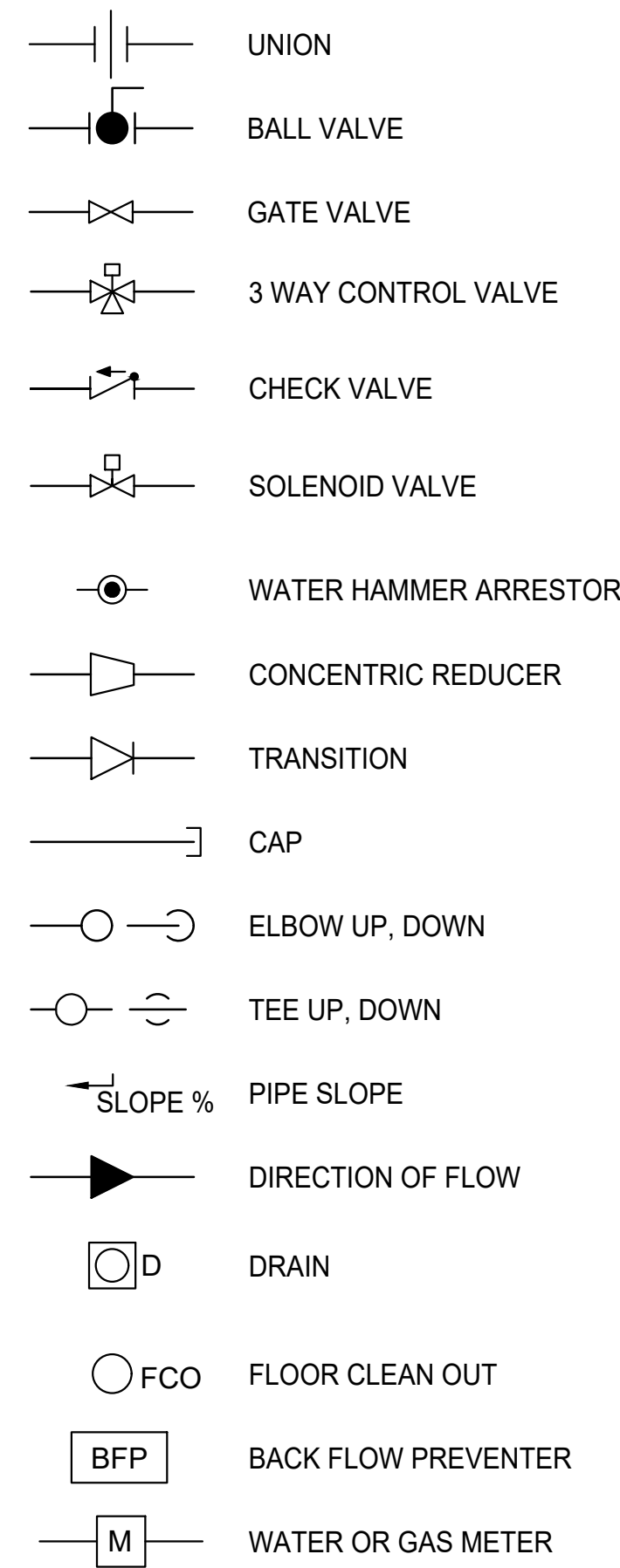
DATE OF REVISION AND REVISIONS SHALL BE MAINTAINED BY THE CONTRACTOR AND THE USER SHALL BE RESPONSIBLE FOR THE USER.

E-6.0

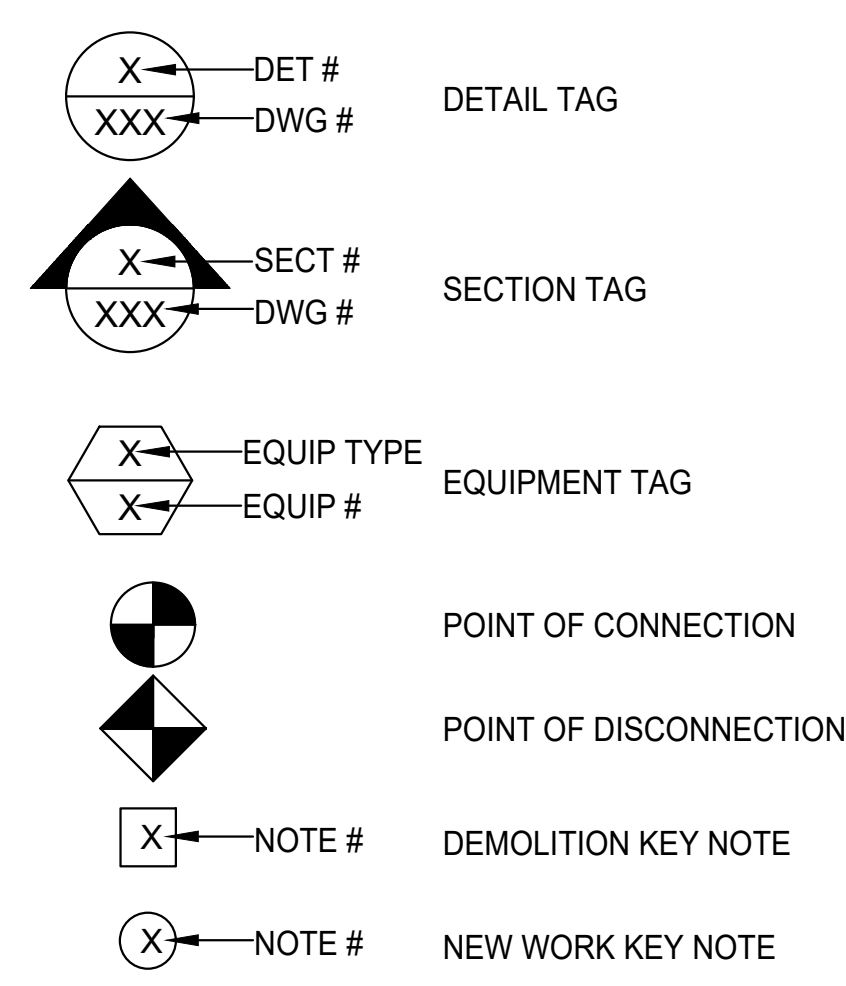
ABBREVIATIONS:

ABV	ABOVE	M	METER
AD	AREA DRAIN/ ACCESS DOOR	M.C.	MECHANICAL CONTRACTOR
ADA	AMERICAN WITH DISABILITIES ACT	MFR	MANUFACTURER
AFF	ABOVE FINISH FLOOR	(N)	NEW
AFWH	ANTI-FREEZE WALL HYDRANT	NC	NORMALLY CLOSED
AG	AIR GAP	NIC	NOT IN CONTRACT
AHJ	AUTHORITIES HAVING JURISDICTION	NO	NORMALLY OPEN (FAIL SAFE OPEN)
ASPE	AMERICAN SOCIETY OF PLUMBING ENGINEERS	NPW	NON-POTABLE WATER
BEL	BELOW	NTS	NOT TO SCALE
BFP	BACK FLOW PREVENTER	OC	ON CENTER
BFF	BELOW FINISHED FLOOR	OD	OUTSIDE DIAMETER
CI	CAST IRON	P.C.	PLUMBING CONTRACTOR
CL	CENTERLINE	POC	POINT OF CONNECTION
CO	CLEANOUT	PRV	PRESSURE REDUCING VALVE
CW	DOMESTIC COLD WATER	PW	POTABLE WATER
CWFU	COLD WATER FIXTURE UNITS	PWD	PHILADELPHIA WATER DEPARTMENT
DFU	DRAINAGE FIXTURE UNITS	(R)	REMOVE
DIA	DIAMETER	SAN	SANITARY
DN	DOWN	S	SINK/LAVATORY
(E)	EXISTING	SFU	SUPPLY FIXTURE UNITS
E.C.	ELECTRICAL CONTRACTOR	STD	STANDARD
EQUIP	EQUIPMENT	SW	STORM WATER
ET	EXPANSION TANK	T	TOILET/WATER CLOSET
(ER)	EXISTING TO REMAIN	TDH	TOTAL DYNAMIC HEAD
FD	FLOOR DRAIN	TSFU	TOTAL SUPPLY FIXTURE UNITS
FLA	FULL LOAD AMPS	TYP.	TYPICAL
FU	FIXTURE UNITS	U.F.	UNDER FLOOR
GAL	GALLON	UG	UNDER GROUND OR UNDER SLAB
GPM	GALLONS PER MINUTE	UON	UNLESS OTHERWISE NOTED
HB	HOSE BIBB	V/Ø/HZ	VOLTS/PHASE/HZ
IBC	INTERNATIONAL BUILDING CODE	VB	VACUUM BREAKER
IMC	INTERNATIONAL MECHANICAL CODE	WH	WATER HEATER
IN	INCHES	W.O.	WITHOUT
INV EL	INVERT ELEVATION	W	WITH
IPC	INTERNATIONAL PLUMBING CODE		

PLUMBING SYMBOLS:



GENERAL SYMBOLS:



GENERAL PLUMBING NOTES:

- ALL SYMBOLS AND ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.
- CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND LAWS OF AUTHORITIES HAVING JURISDICTION. INSTALLATION SHALL BE IN ACCORDANCE WITH 2018 PHILADELPHIA PLUMBING CODE, ADOPTED OCTOBER 1, 2019 AND THE PHILADELPHIA WATER DEPARTMENT CROSS CONNECTION CONTROL MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE TO FIELD LOCATE AND IDENTIFY ALL UNDERGROUND UTILITIES WITHIN THE CONSTRUCTION AREA, WHETHER INDICATED ON DRAWINGS OR NOT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO UNDERGROUND UTILITIES DAMAGED DURING CONSTRUCTION. NO REIMBURSEMENT WILL BE ALLOWED FOR UTILITY REPAIR/OR REPLACEMENT.
- THE CONTRACTOR SHALL NOT BE ALLOWED ANY STORAGE AREA OTHER THAN THAT AVAILABLE WITHIN THE LIMITS OF THE STAGING AREA, CONFINES OF THE WORK AREA, OR AS DESIGNATED BY THE OWNER.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS. CONTRACTOR SHALL NOT SCALE DRAWINGS FOR DIMENSIONS.
- ALL MATERIAL SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
- ALL PENETRATIONS SHALL BE PROPERLY SEALED. CONTRACTOR SHALL SUBMIT MANUFACTURER'S CATALOG DATA AND INSTALLATION DETAIL TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE, THE CONTRACTOR SHALL PROVIDE MATERIAL SAFETY DATA SHEETS FOR ALL ITEMS AND MATERIALS USED IN THE WORK.
- PRIOR TO ACCEPTANCE, ALL SYSTEMS SHALL BE TESTED AND OPERATED TO DEMONSTRATE TO THE OWNER, OR HIS DESIGNATED REPRESENTATIVE, THAT THE INSTALLATION AND PERFORMANCE OF THESE SYSTEMS AND/OR PARTS THEREOF CONFIRM TO THE DESIGN INTENT.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS & EQUIPMENT REQUIRED FOR THE COMPLETION & OPERATION OF ALL SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND AND APPROVAL AND PAY ALL RELATED FEES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL HIS EMPLOYEES WITH SAFE AND HEALTHY WORKING CONDITIONS AS PRESCRIBED IN THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION OF THE U.S. DEPARTMENT OF LABOR.
- SECURE AND DELIVER TO THE OWNER'S REPRESENTATIVE ALL CERTIFICATES OF COMPLIANCE REQUIRED BY THE AHJ.
- CONTRACTOR SHALL GIVE SUITABLE NOTICE TO ALL APPLICABLE UTILITY COMPANIES AND OWNER PRIOR TO PERFORMING WORK INVOLVING UTILITIES.
- ALL EQUIPMENT SHALL BE HANDLED, STORED AND PROTECTED TO PREVENT DAMAGE BEFORE AND DURING INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ACCESS DOORS FOR ACCESS TO EACH CONCEALED VALVE, PIECE OF EQUIPMENT, ETC.
- ALL EQUIPMENT, ETC. SHALL BE LOCATED AND INSTALLED IN A READILY ACCESSIBLE LOCATION SO AS TO PERMIT ACCESS FOR SERVICE WITHOUT DAMAGE TO BUILDING OR FINISHED MATERIALS, PER MANUFACTURER'S INSTRUCTIONS AND APPLICABLE CODES.
- ALL MATERIAL SHALL BE NEW AND SHALL FIT THE SPACE AVAILABLE. VERIFY DIMENSIONS AT SITE.
- ALL PIPING, APPARATUS, EQUIPMENT, ETC. SHALL BE PROPERLY SUPPORTED, BRACED VERTICALLY AND HORIZONTALLY IN ACCORDANCE WITH APPLICABLE CODES AND AS REQUIRED TO PREVENT EXCESSIVE MOVEMENT.
- VALVES AND FITTINGS SHALL BE OF THE SAME SIZE AS THE PIPING FOR WHICH THEY ARE INSTALLED, UNLESS OTHERWISE NOTED.
- STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH HEALTH DEPARTMENT REGULATIONS.
- WATER PIPING SHALL NOT BE RUN IN AREAS SUBJECTED TO FREEZING TEMPERATURES UNLESS OTHERWISE NOTED.
- PROVIDE DRAIN VALVES AT ALL LOW POINTS OF DOMESTIC WATER PIPING SYSTEMS FOR COMPLETE DRAINAGE AND INDICATE LOCATION OF SAME ON RECORD DRAWINGS.
- PROVIDE VACUUM BREAKERS AS REQUIRED.
- CONTRACTOR SHALL REPAIR/PATCH ALL FINISHED SURFACES INCLUDING BUT NOT LIMITED TO, WALLS AND FLOORS DAMAGED BY CONSTRUCTION.

PIPING LEGEND:

----	DOMESTIC COLD WATER
----	DOMESTIC HOT WATER
----	SANITARY (UNDERGROUND)
----	SANITARY ABOVE GROUND
----	VENT PIPE

REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents

PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 10th Floor
 Philadelphia, PA 19102
 Contact: Nancy Q. O'Donnell, 215.832.2174



SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
 Ground Reconsidered
 915 Spring Garden Street
 Suite 403
 Philadelphia PA 19123
 www.groundreconsidered.com

CIVIL ENGINEERS:
 KSE Engineering
 530 Walnut Street
 Suite 400
 Philadelphia, PA 19106
 www.kseeng.com

ELECTRICAL and PLUMBING ENGINEERS:
 Arora Engineering, Inc.
 61 Wilmington-West Chester Pike,
 Chadds Ford, PA 19317
 www.AroraEngineers.com

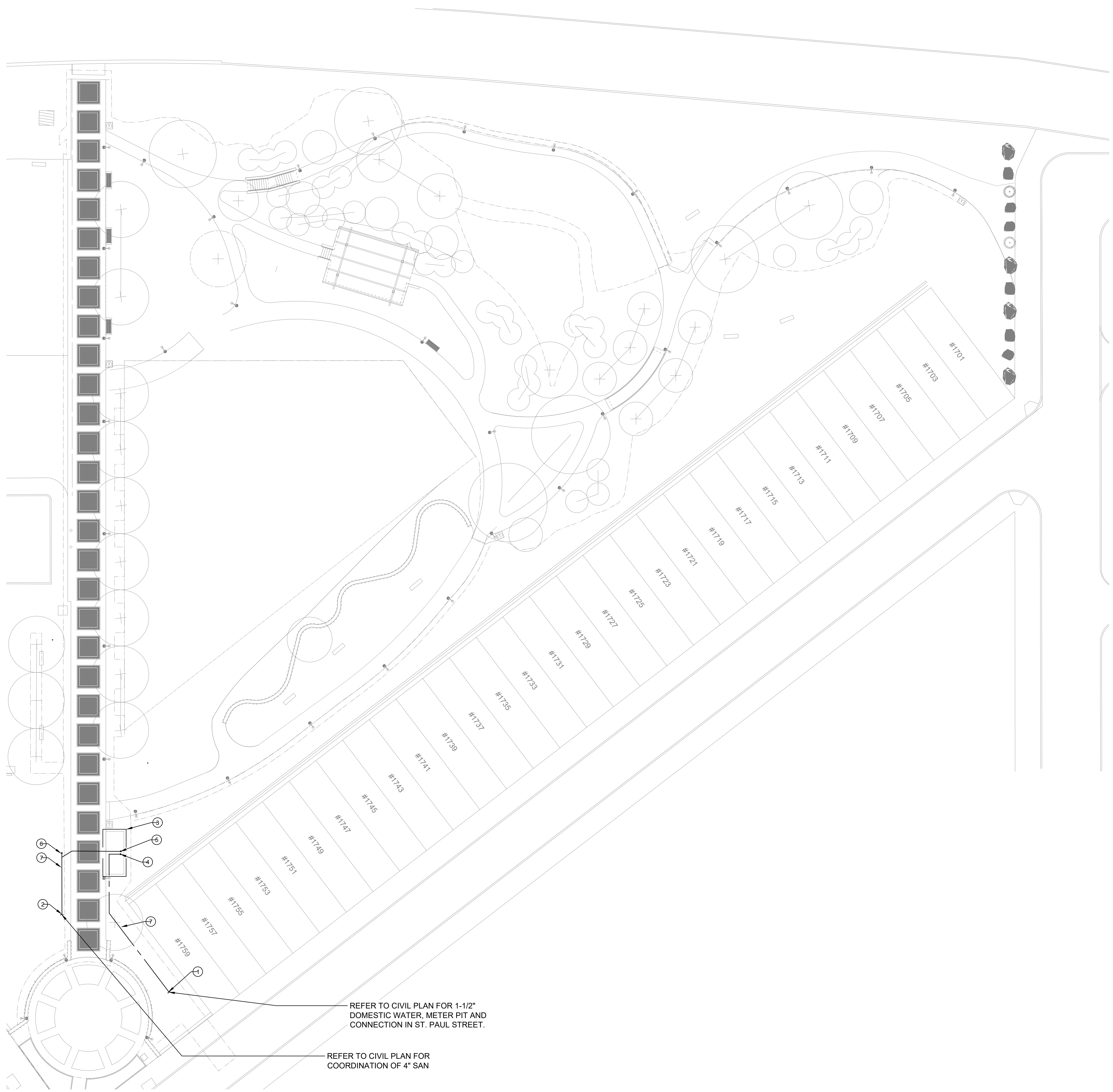
STRUCTURAL ENGINEERS:
 David Mason and Associates
 123 S. Broad Street, Suite 1130
 Philadelphia, PA 19109
 www.DavidMason.com

CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 NICETOWN PARK

DRAWING TITLE
 GENERAL NOTES SYMBOLS
 AND ABBREVIATIONS

PROJECT NO.	2009.05	DRAWING NO.	P-1.0
DATE	01.19.2024		
SCALE	NONE		
DRAWN BY	VP		
CHECKED BY	DAG		
NOTE	ALL DIMENSIONS ARE CONSTRUCTION SHALL BE CHECKED BY THE CONTRACTOR AT THE END BEFORE PROCEEDING WITH THE WORK.		



GENERAL NOTES:

1. REFER TO DRAWING P-1 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. REFER TO P-4 FOR ENLARGED PLAN AND SCHEDULES.
3. FIELD COORDINATE LOCATION OF NEW PIPE WITH UNDERGROUND UTILITIES, INCLUDING, BUT NOT LIMITED TO NEW ELECTRICAL.

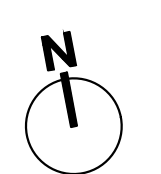
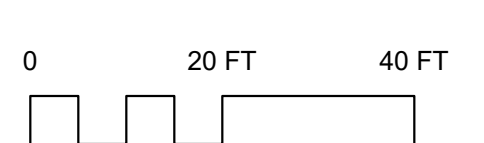
KEYED NOTES:

- ① REFER TO CIVIL PLAN C1.1 FOR COORDINATION AND LOCATION OF NEW 1-1/2" DOMESTIC WATER SERVICE.
- ② REFER TO CIVIL PLAN C1.1 FOR COORDINATION AND LOCATION OF NEW 4" SANITARY.
- ③ NEW RESTROOM LOCATION.
- ④ PROVIDE DOMESTIC WATER TO PREFABRICATED REST ROOM BUILDING. BRING WATER INTO CHASE FOR CONNECTION TO FIXTURE SUPPLY.
- ⑤ PROVIDE SANITARY SERVICE TO PREFABRICATED REST ROOM BUILDING. BRING SANITARY INTO CHASE FOR CONNECTION TO BUILDING SANITARY PIPING.
- ⑥ PROVIDE SANITARY CLEAN-OUT. COORDINATE LOCATIONS WITH LANDSCAPE AND PARK FEATURES.
- ⑦ REFER TO CIVIL PLAN CE-1.1 FOR SANITARY AND DOMESTIC WATER.

REFER TO CIVIL PLAN FOR 1-1/2" DOMESTIC WATER, METER PIT AND CONNECTION IN ST. PAUL STREET.

REFER TO CIVIL PLAN FOR COORDINATION OF 4" SAN

1 NEW WORK SITE PLAN
SCALE: 1" = 20'-0"



REVISIONS		
ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.832.2174

SEA

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 400
Philadelphia, PA 19106
www.kseng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike.
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

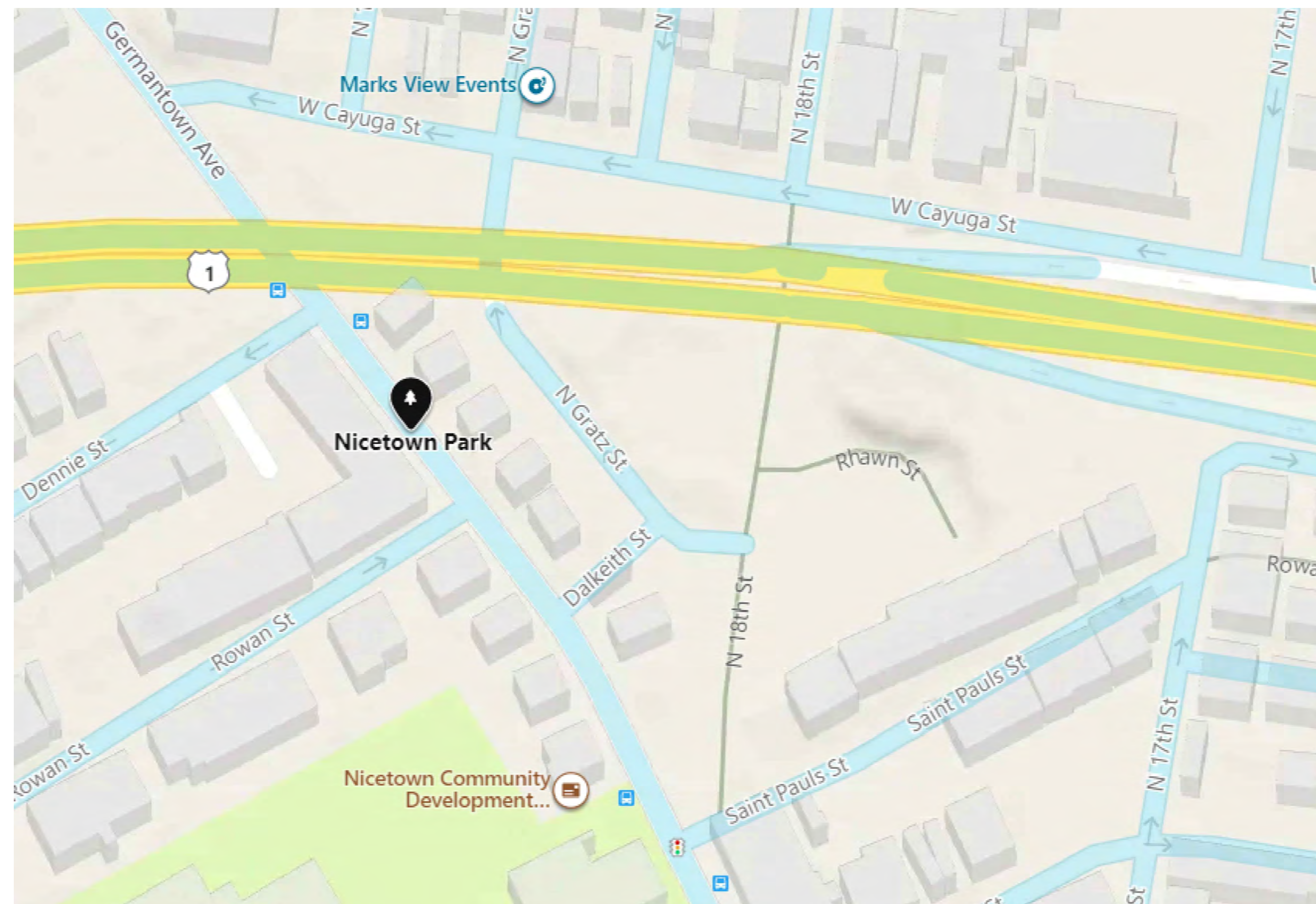
PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
NEW WORK SITE PLAN

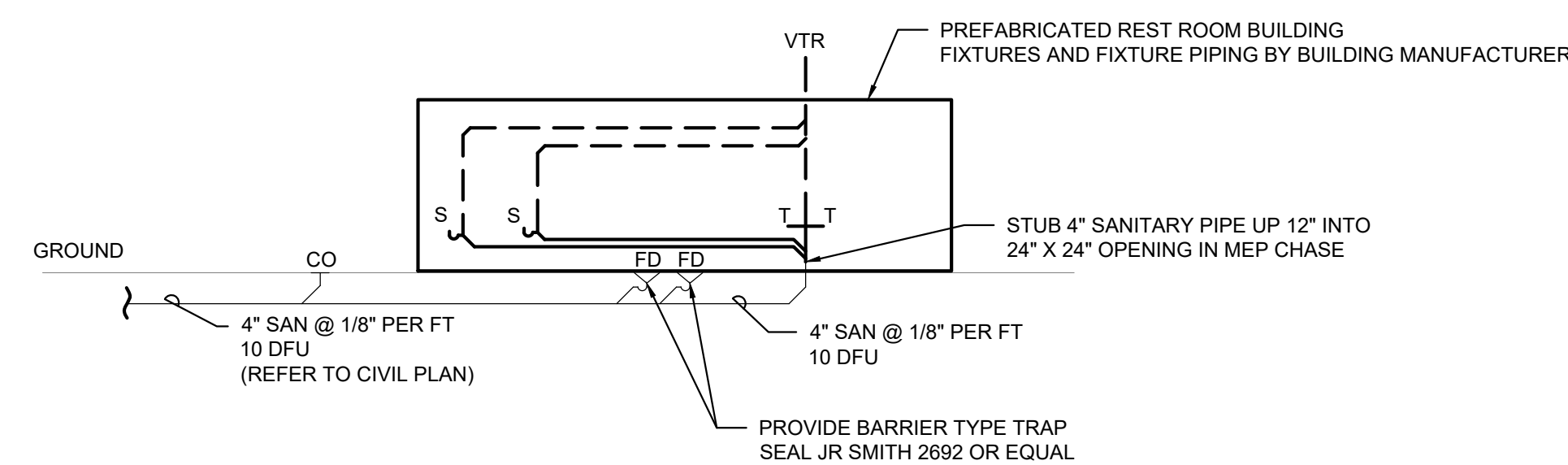
PROJECT NO.	2009.05
DATE	01.19.2024
SCALE	AS NOTED
DRAWN BY	VP
CHECKED BY	DAG

DRAWING NO.
P-3.0

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY.



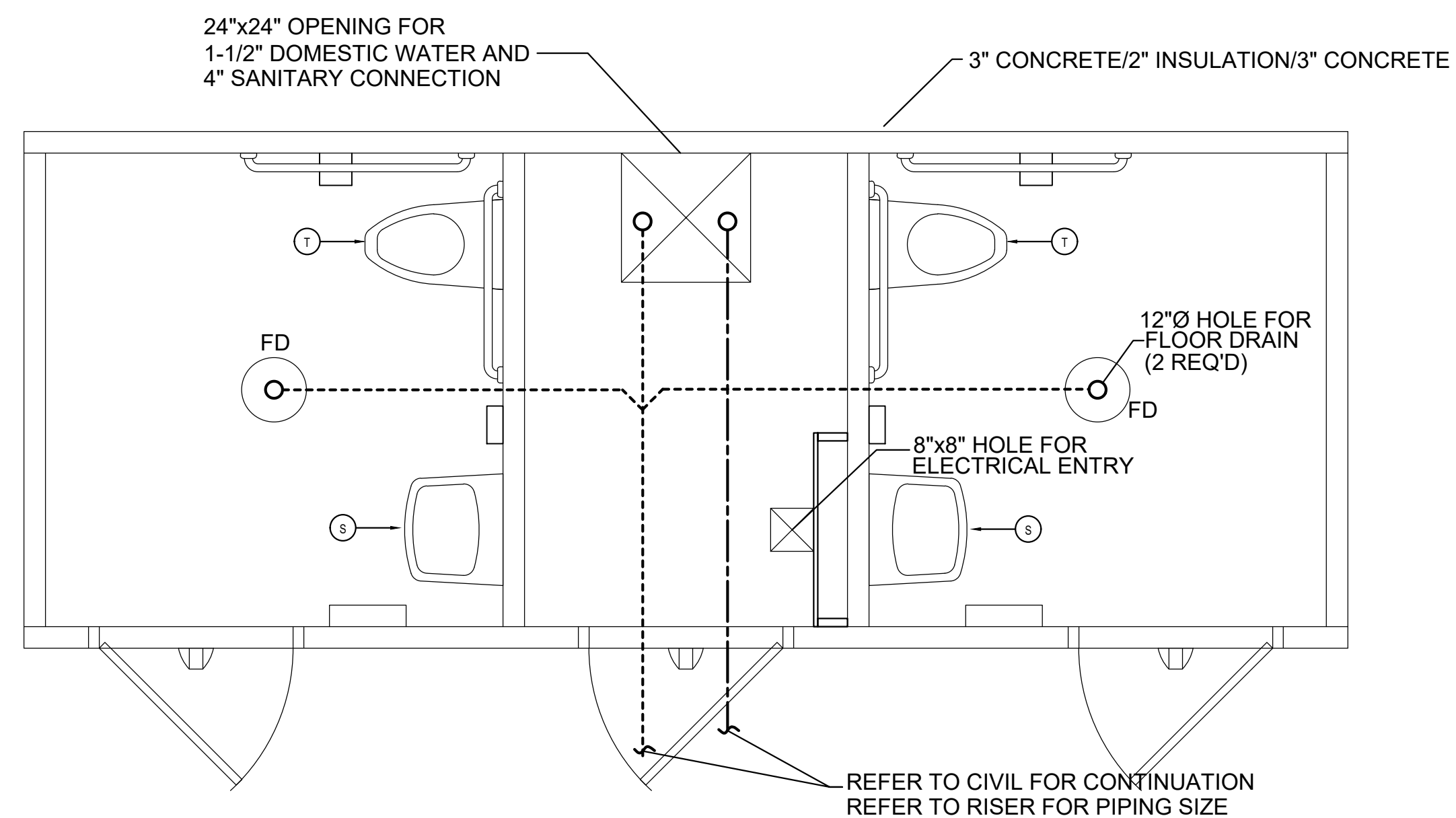
1 AREA PLAN
P-4.0 NOT TO SCALE



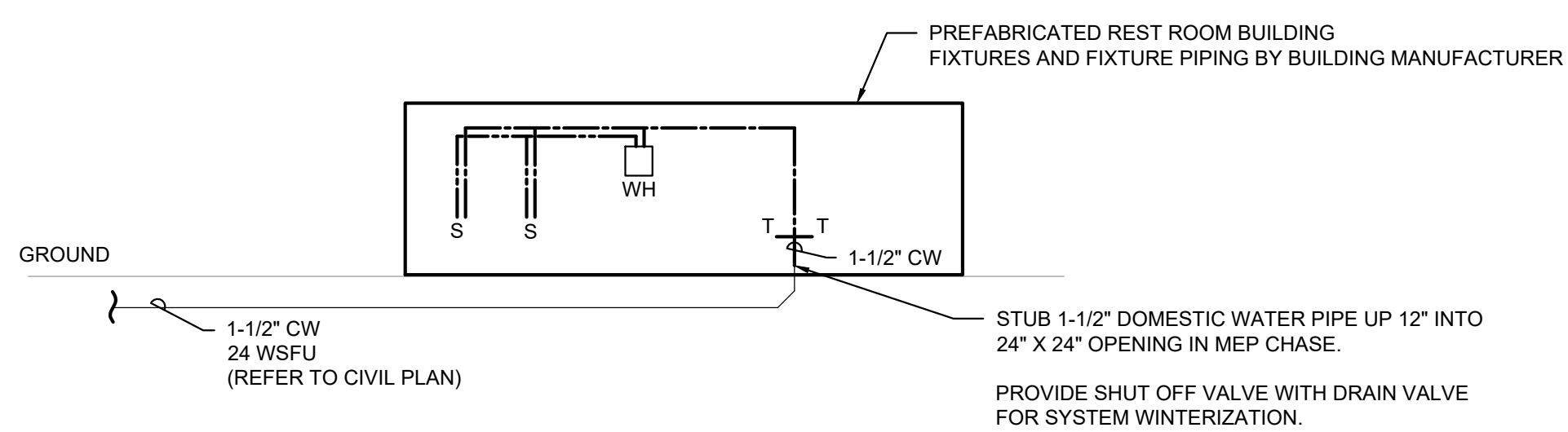
3 SANITARY RISER DETAIL - TYPICAL
P-4.0 NOT TO SCALE

SANITARY AND VENT NOTES:

1. PIPING SHOWN IS DIAGRAMATIC.
2. PREFABRICATED TOILET ROOM BUILDING SHALL BE PROVIDED WITH FIXTURES AND SANITARY AND VENT PIPING. FIXTURES INCLUDE LAVATORIES AND WATER CLOSETS. REFER TO PREFABRICATED BUILDING MANUFACTURE'S PLUMBING DRAWING FOR PIPING, FIXTURES AND RISER DIAGRAM.
3. CONTRACTOR TO EXTEND NEW SANITARY PIPING FROM EXISTING CIVIL SANITARY CONNECTION INTO BUILDING FOR FIXTURE CONNECTIONS.
4. NEW 4" SANITARY SHALL STUB UP INTO PLUMBING SHAFT. CONTRACTOR SHALL MAKE FINAL CONNECTION FROM STUB UP TO BUILDING PIPING. FIELD COORDINATE CONNECTION TO SAN PIPING, SAN PIPING BELOW BUILDING AND LOCATION OF OPENING IN PLUMBING CHASE.
5. ALL STUB UPS FOR BUILDING DRAIN SHALL BE EXTENDED UP 12" ABOVE FLOOR SLAB ELEVATION FOR CONNECTION.
6. THE FOLLOWING ARE THE DRAINAGE SLOPES PER PHILADELPHIA PLUMBING CODE:
 - FOR PIPE LESS THAN 4", SLOPE SHALL BE 1/4" PER FOOT
 - FOR PIPE 4" OR GREATER, SLOPE SHALL BE 1/8" PER FOOT.



2 DURAREST FLOOR PLAN
P-4.0 NOT TO SCALE



4 DOMESTIC RISER DETAIL - TYPICAL
P-4.0 NOT TO SCALE

DOMESTIC WATER NOTES:

1. PIPING SHOWN IS DIAGRAMATIC.
2. PREFABRICATED TOILET ROOM BUILDING SHALL BE PROVIDED WITH FIXTURES AND PIPING TO EACH FIXTURE. PROVIDED FIXTURES INCLUDE LAVATORIES AND WATER CLOSETS. REFER TO PREFABRICATED BUILDING MANUFACTURE'S PLUMBING DRAWING FOR PIPING, FIXTURES AND RISER DIAGRAM.
3. CONTRACTOR TO EXTEND NEW DOMESTIC WATER PIPING FROM EXISTING CIVIL DOMESTIC WATER INTO BUILDING.
4. NEW 1-1/2" DOMESTIC WATER SHALL STUB UP INTO PLUMBING CHASE. CONTRACTOR SHALL MAKE FINAL CONNECTION FROM STUB UP IN PLUMBING CHASE TO PREFABRICATED BUILDING PIPING.
5. ALL DOMESTIC WATER STUB UPS SHALL BE EXTENDED 12" ABOVE FLOOR SLAB FOR CONNECTION FOR PREFABRICATED BUILDING PIPING CONNECTIONS. PROVIDE BALL VALVE SHUT OFF AND SYSTEM DRAIN VALVE FOR WINTERIZATION AT STUB UP.

PIPE SCHEDULE		
SERVICE	SIZE	MATERIAL
ABOVE GROUND, DOMESTIC WATER	ALL	COPPER TYPE "L"
BELOW GROUND, DOMESTIC WATER	ALL	COPPER TYPE "K"
ABOVE GROUND, SANITARY AND VENT	ALL	CAST IRON/ NO HUB
BELOW GROUND, SANITARY AND VENT	ALL	CAST IRON HUB AND SPIGOT

PREFABRICATED REST ROOM		
SYMBOL	DESCRIPTION	MANUFACTURER, MODEL, NOTES & ACCESSORIES
PL-1	PREFABRICATED REST ROOM	BASIS OF DESIGN PREFABRICATED REST ROOM BUILDING IS EASI-SET MODEL 081908 AS MANUFACTURED BY M&W PRECAST LLC. PIPING INTO THE BUILDING BY PLUMBING CONTRACTOR.

PREFABRICATED BUILDING PLUMBING FIXTURE SCHEDULE		
LABEL	DESCRIPTION	QTY.
T	WILLOUGHBY ETW-1490-FM-BS-HC-1.6-TWE-FV1.6-TFE-WS-HS TOILET FIXTURE, ADA APPROVED, BACK SUPPLY, WALL HUNG, 14 GA. 304 STAINLESS STEEL. SLOAN ROYAL PRISON MODEL 9803-1.28 FLUSHOMETER. SLOAN HYDRAULIC PUSH BUTTON ACTUATOR	2
S	WILLOUGHBY HS-1013-46-HC-SBPH-PML2-PBH-EB-LWE LAVATORY FIXTURE, ADA APPROVED, HOT & COLD, PNEUMATIC VALVE, 304 GAUGE STAINLESS STEEL.	2
WH	AO SMITH DEL-30 GALLON ELECTRIC WATER HEATER	1
FD	SIoux CHIEF 832-35PNR FLOOR DRAIN	2
	3/4" HOSE BIB WITH VACUUM BREAKER	
	SHUT OFF VALVE TO DRAIN AND WINTERIZE BUILDING	

NOTES:
ALL FIXTURES SHALL BE WALL MOUNTED AND INSTALLED WITH CARRIER SYSTEM WITH PIPING THROUGH THE WALL INTO THE MEP CHASE ROOM. PLUMBING, DRAIN, WASTE, AND VENT PIPING SHALL BE SCHEDULE 40 PVC. WATER LINES SHALL BE TYPE L COPPER. ALL PIPING SHALL BE RUN TO AN AGREED UPON LOCATION WITHIN THE MEP CHASE FOR CONNECTION ON SITE BY GENERAL CONTRACTOR. THE PIPING WILL BE SLOPED TOWARD THE HOSE BIB FOR WINTERIZING OR TO DRAIN DOWN THE BUILDING. AN AIR COMPRESSION NOZZLE SHALL BE ADDED TO THE PIPELINE FOR FINAL BLOW OUT OF THE LINES. PENETRATION WILL BE PROVIDED IN THE MEP CHASE FLOOR FOR ENTRANCE OF PLUMBING UTILITIES. CONNECTION TO SITE UTILITIES BY PLUMBING CONTRACTOR.

PLUMBING FIXTURE FIXTURE UNITS						
FIXTURE DESCRIPTION	AREA SERVED	NUMBER OF FIXTURES	FIXTURE FLOW RATE	TOTAL GPM	DFU	TOTAL DFU
WATER CLOSET	TOILET RM	2	10	20	4	8
LAVATORY	TOILET RM	2	2	4	1	2
		VALUE ROUNDED UP TO THE NEAREST WHOLE NUMBER	TOTAL WSFU	24	TOTAL DFU	10

NOTES:
1. WSFU BASED ON TABLE E-103.3(2) PER 2018 PHILADELPHIA PLUMBING CODE.
1. DFU BASED ON TABLE P-709.1 PER 2018 PHILADELPHIA PLUMBING CODE.

REVISIONS

ISSUE	DATE	REVISIONS
1	01.19.2024	100% Bid Documents



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 10th Floor
Philadelphia, PA 19102
Contact: Nancy Q. O'Donnell, 215.832.2174

SEALED

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
915 Spring Garden Street
Suite 403
Philadelphia PA 19123
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
530 Walnut Street
Suite 400
Philadelphia, PA 19106
www.kseeng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

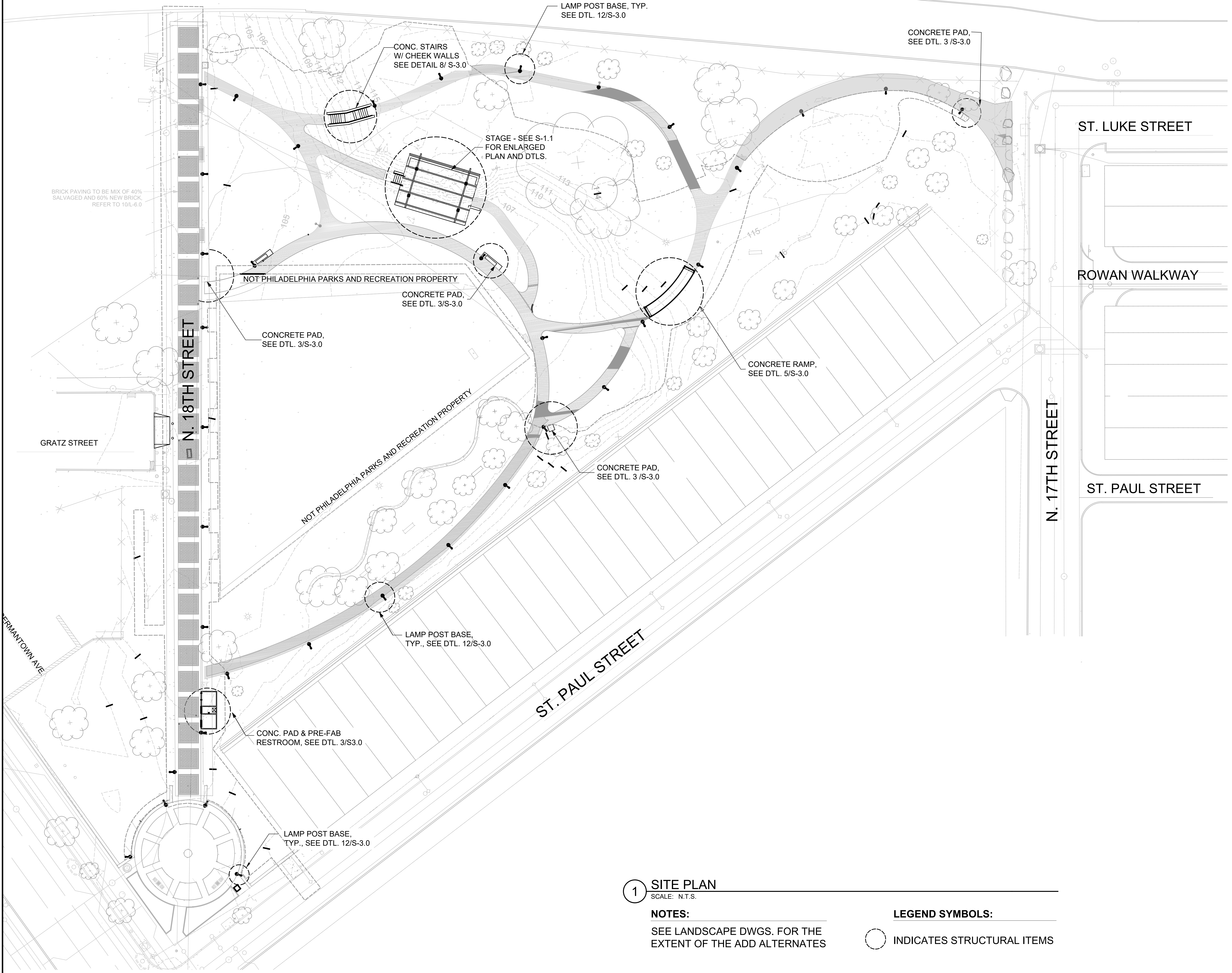
PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
PLUMBING DETAILS AND SCHEDULES

PROJECT NO. 2009.05	DRAWING NO. P-4.0
DATE 01.19.2024	
SCALE AS NOTED	
DRAWN BY VP	
CHECKED BY DAG	

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY.

ROOSEVELT BOULEVARD EXPRESSWAY



1 SITE PLAN
SCALE: N.T.S.

NOTES:
SEE LANDSCAPE DWGS. FOR THE EXTENT OF THE ADD ALTERNATES

LEGEND SYMBOLS:
○ INDICATES STRUCTURAL ITEMS

REVISIONS		
ISSUE	DATE	REVISIONS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Priyanka Malik, 215.683.4472

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
35 South 3rd Street
Philadelphia, PA 19106
www.kseeng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

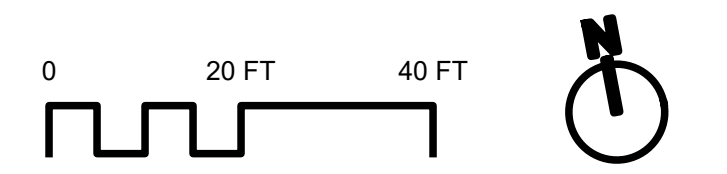
STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

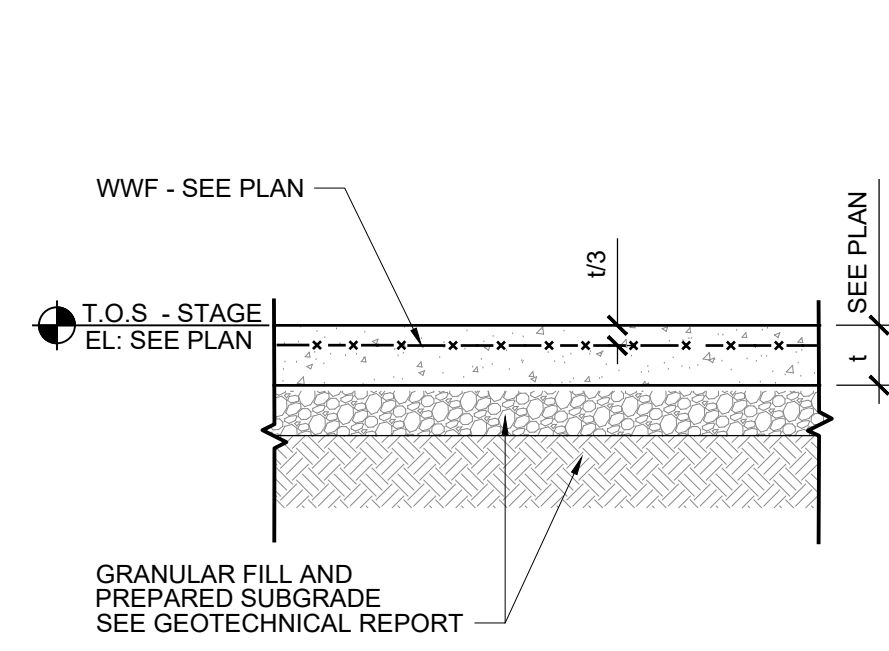
PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
STRUCTURAL LOCATION PLAN

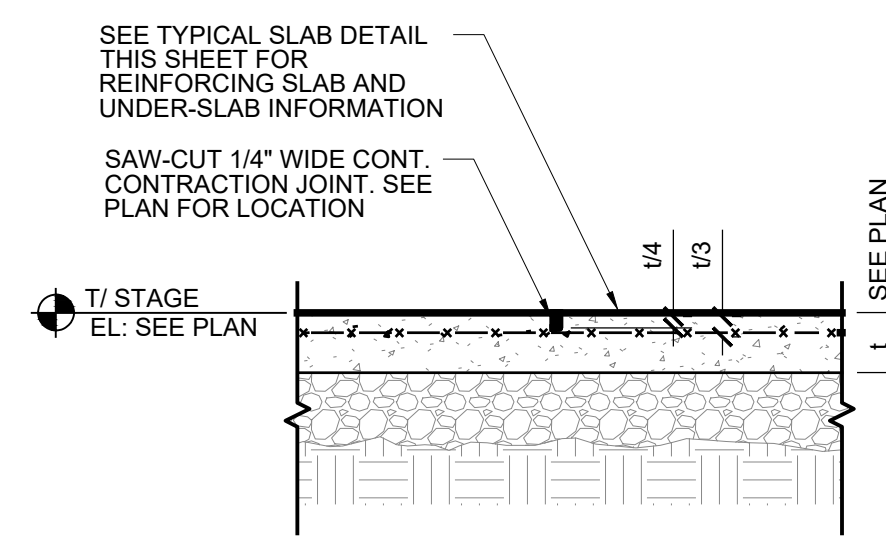
PROJECT NO. 2021235-00	DRAWING NO. S-1.0
DATE 01.19.2024	
SCALE AS NOTED	
DRAWN BY QW	
CHECKED BY JE	



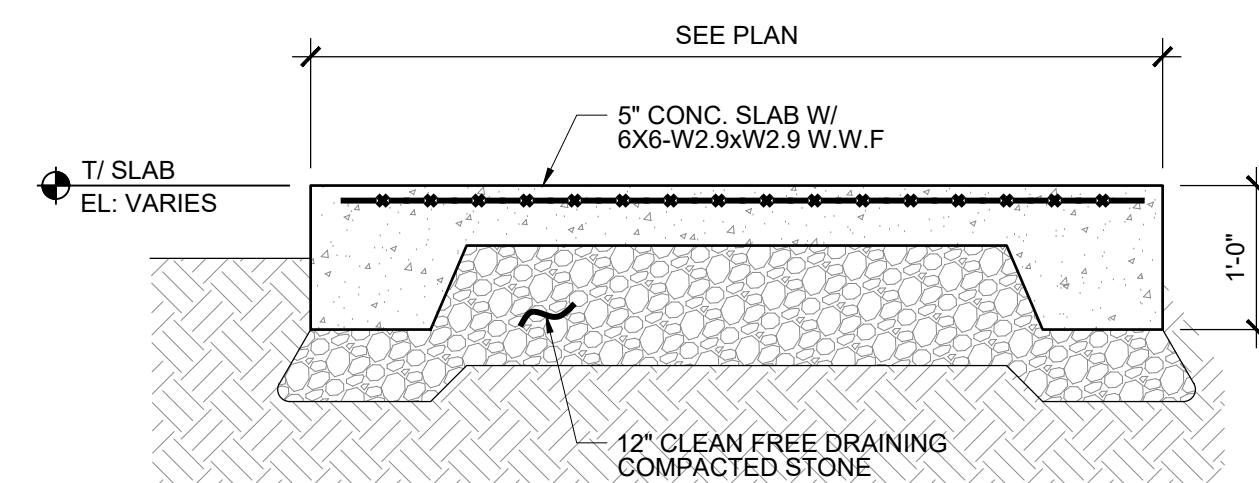
ALL DIMENSIONS AND CONSTRUCTION SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION AND SHALL BE APPROVED BY THE CITY ENGINEER.



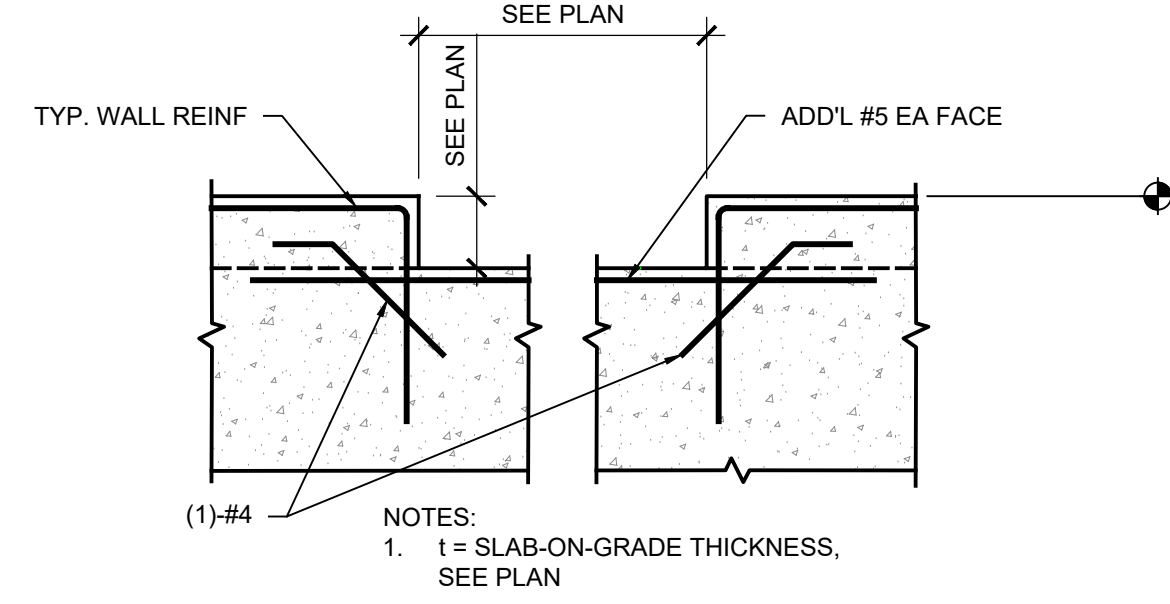
1 TYP. SLAB ON GRADE
SCALE: 3/4" = 1'-0"



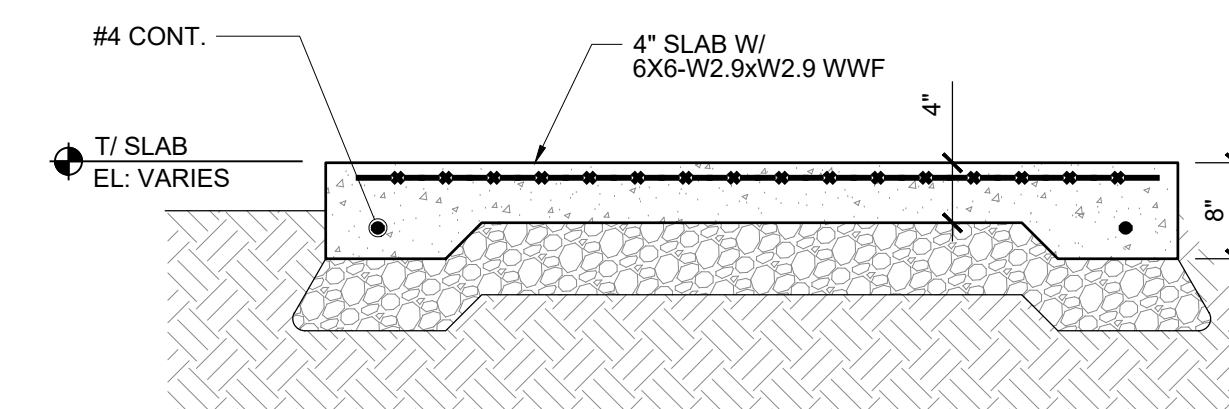
2 TYP. CONTRACTION JOINT
SCALE: 3/4" = 1'-0"



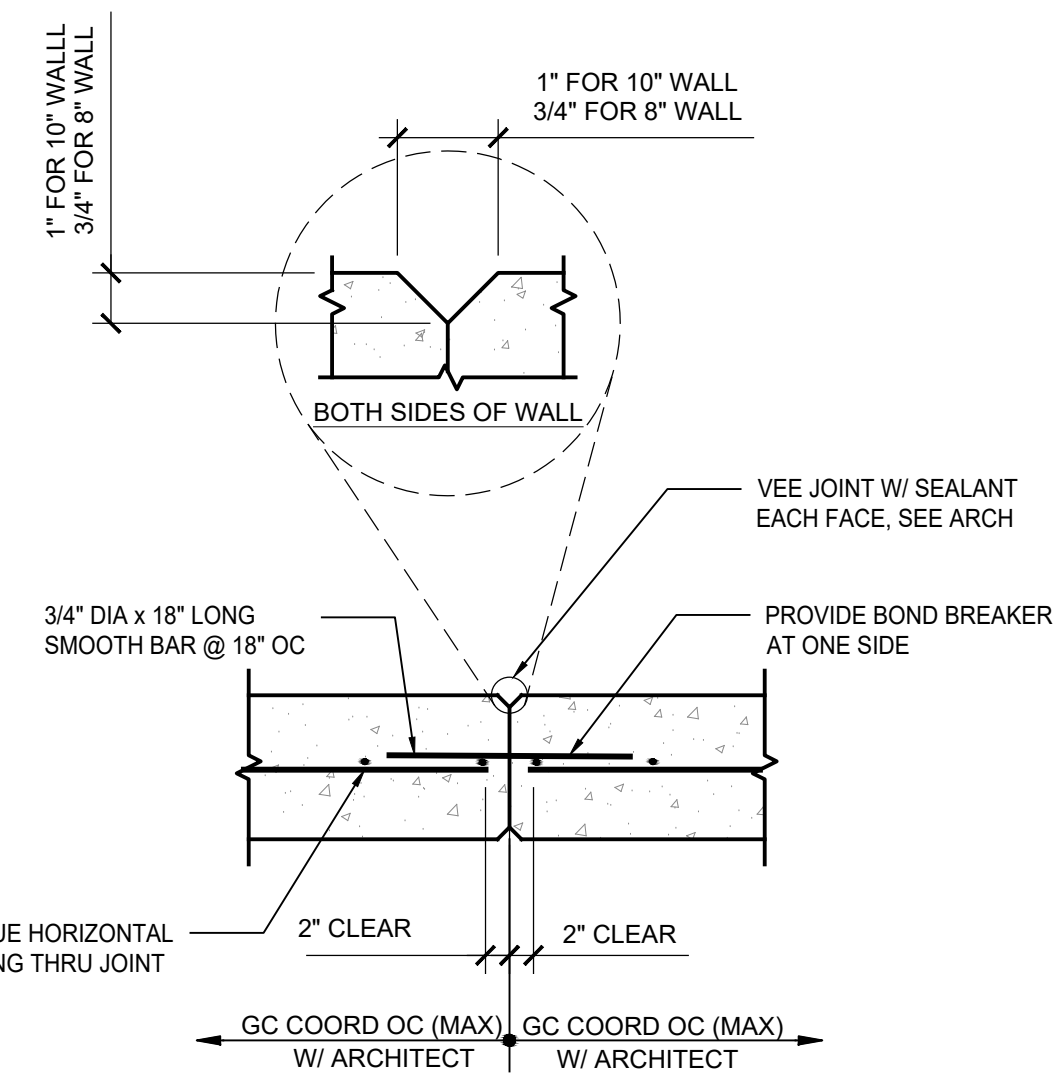
3 CONCRETE SLAB ON GRADE
SCALE: 3/4" = 1'-0"



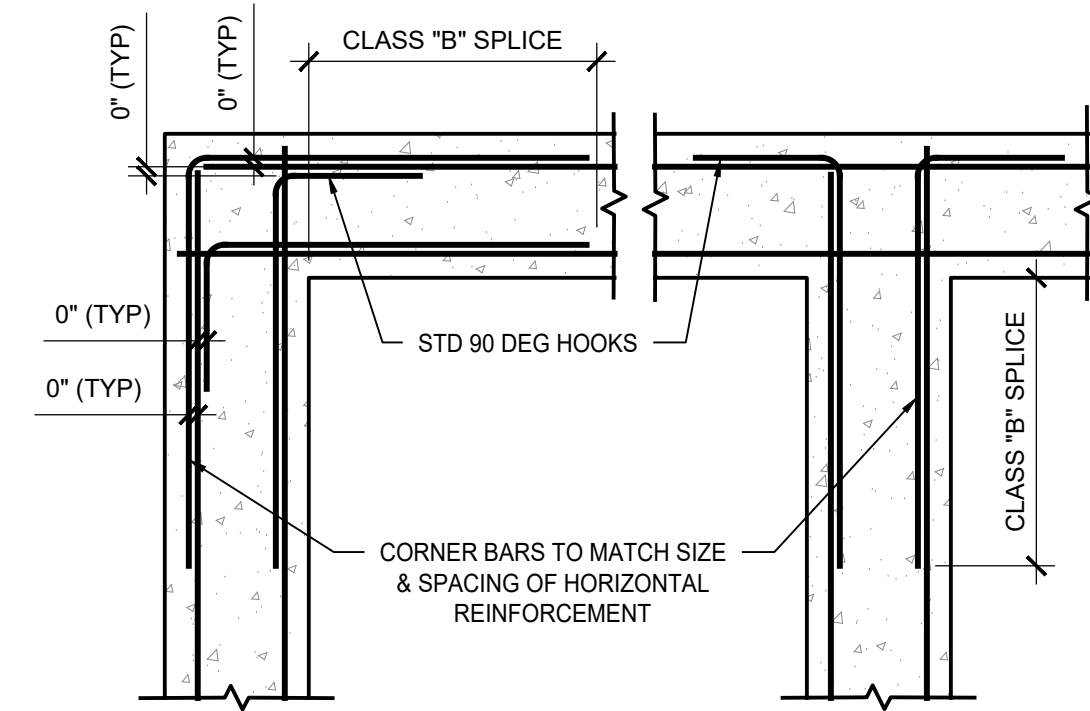
4 TYP. WALL DEPRESSION SLAB
SCALE: 3/4" = 1'-0"



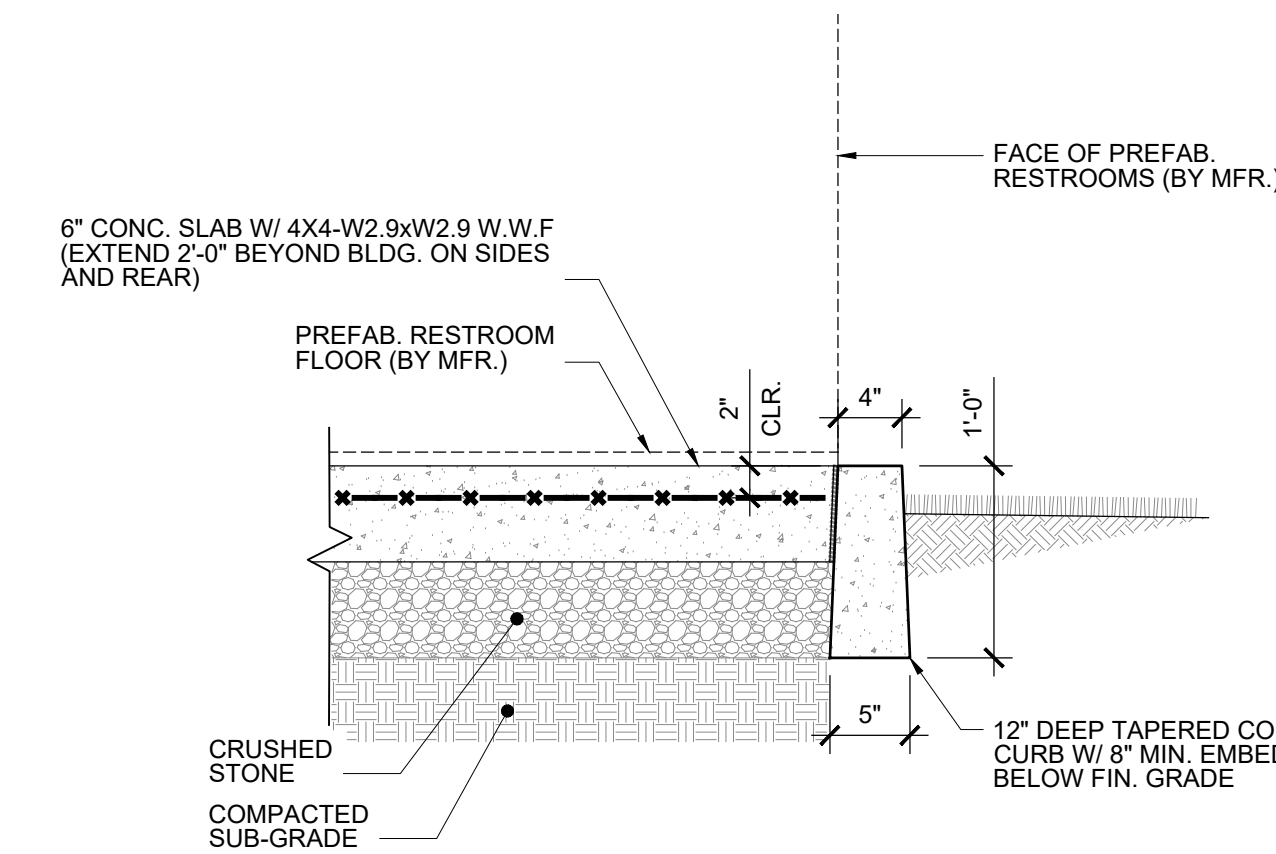
5 TYP. FOUNDATION AT CONCRETE RAMP
SCALE: 3/4" = 1'-0"



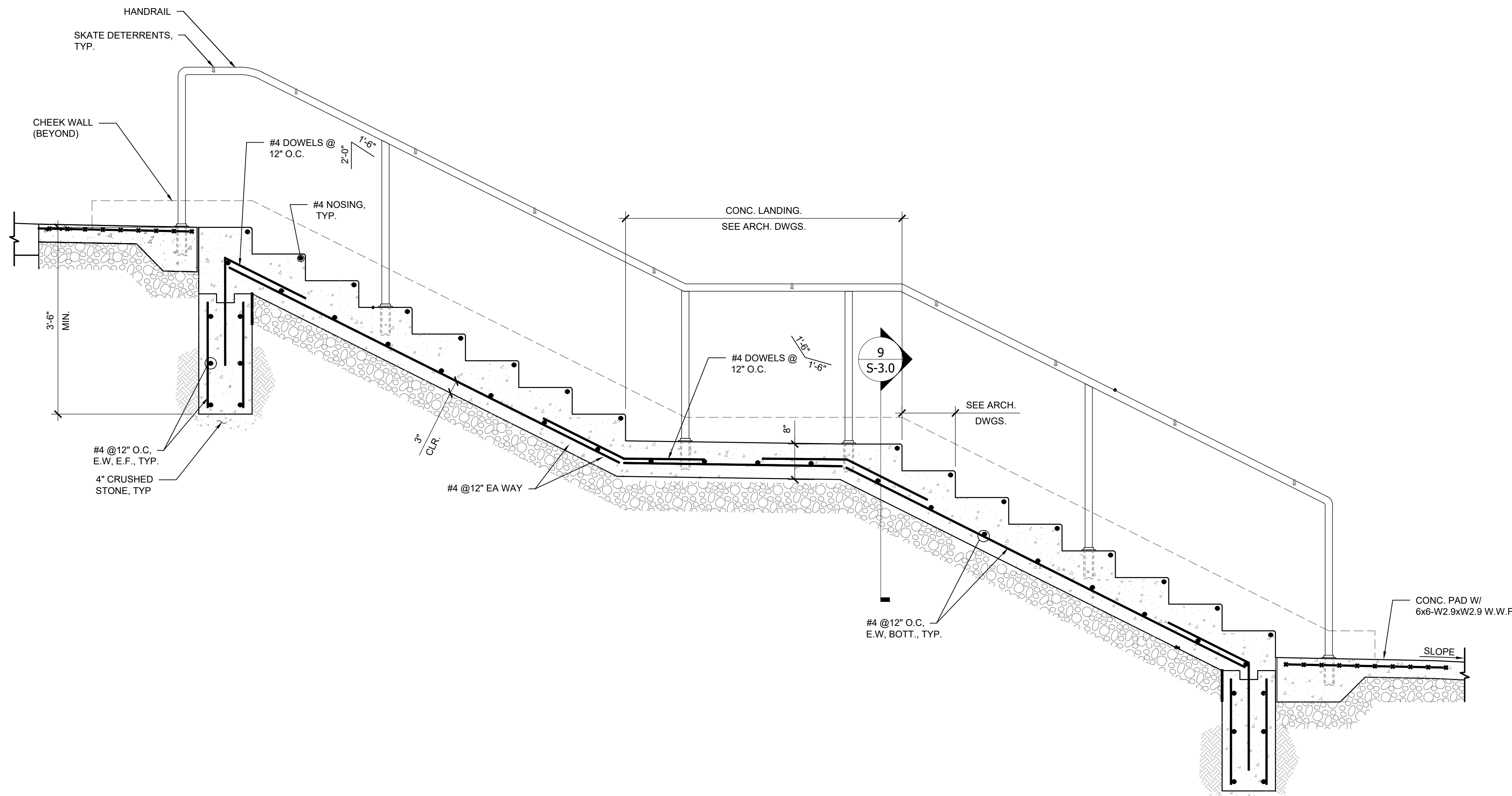
6 TYP. WALL CONTRACTION JOINT FOR 8" & 10" WALLS
SCALE: 3/4" = 1'-0"



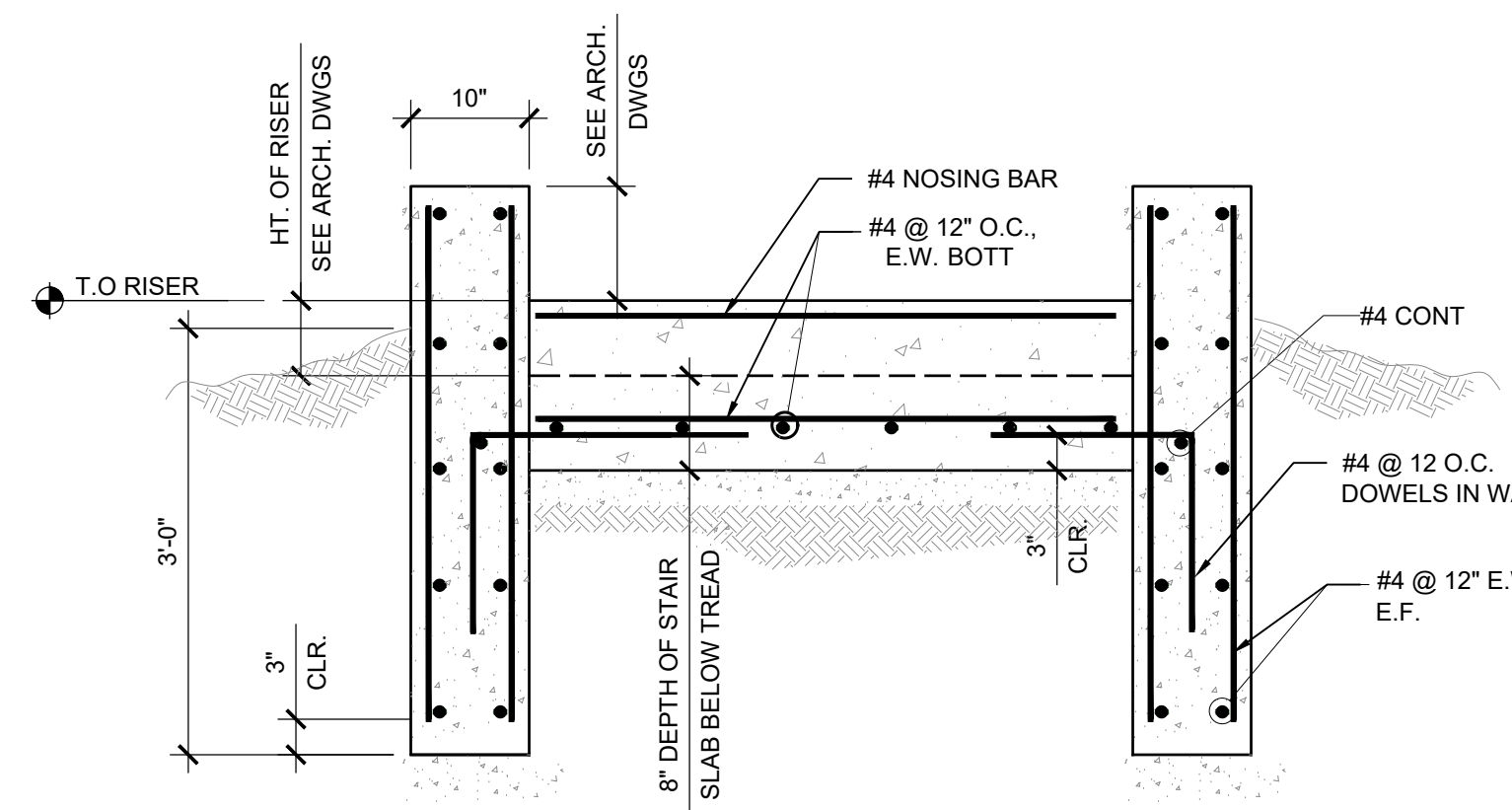
7 TYP. CONC. WALL CORNER BAR DETAIL
SCALE: 3/4" = 1'-0"



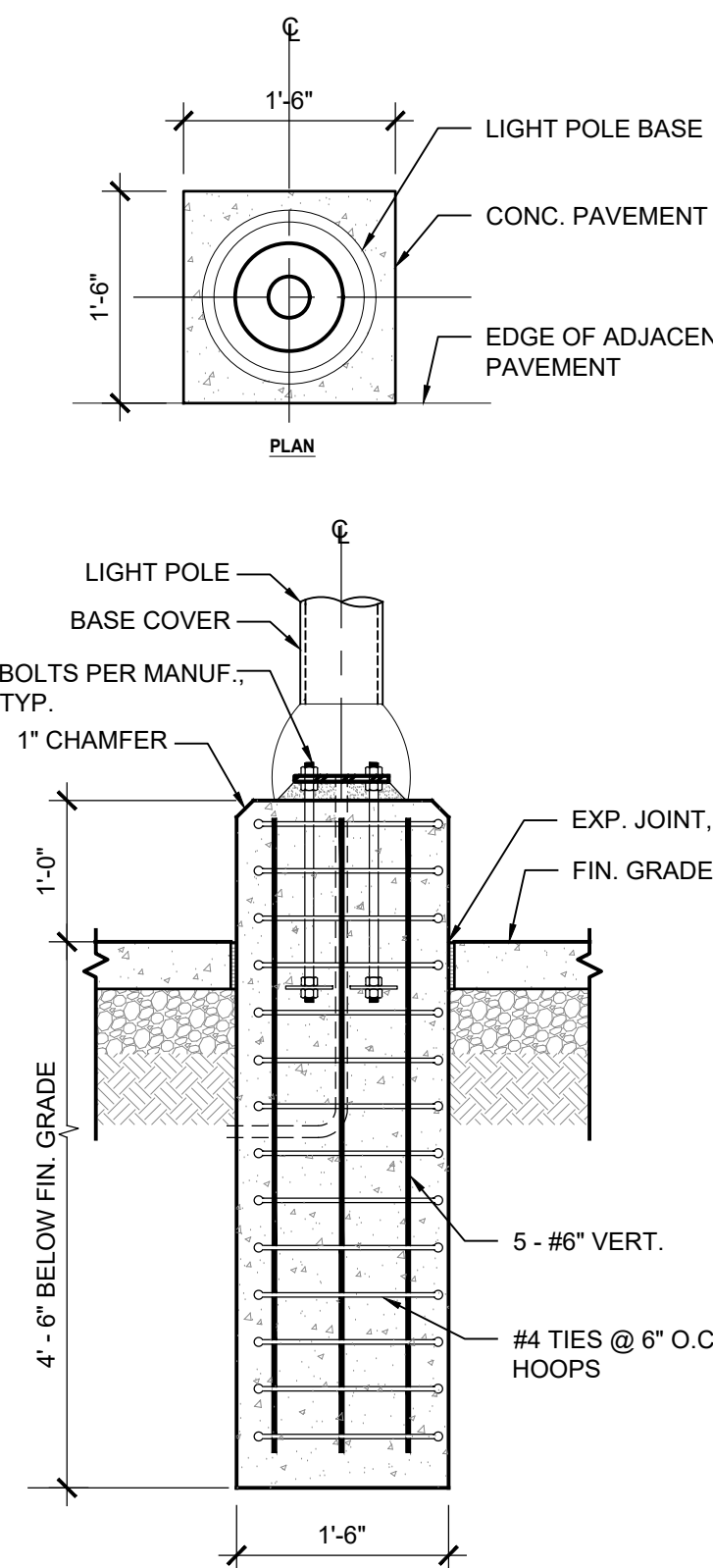
11 PORTABLE BUILDING FOUNDATION DETAIL
SCALE: 1" = 1'-0"



8 STAIR SECTION
SCALE: 3/4" = 1'-0"



9 TYP. FOUNDATION AT STAIR
SCALE: 3/4" = 1'-0"



10 TYP. LIGHT POLE BASE
SCALE: 3/4" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Priyanka Malik, 215.683.4472

SEAL

SPACE FOR CONSULTANT RECOGNITION

LANDSCAPE ARCHITECT:
Ground Reconsidered
203 S. Broad Street
Philadelphia PA 19102
www.groundreconsidered.com

CIVIL ENGINEERS:
KSE Engineering
35 South 3rd Street
Philadelphia, PA 19106
www.kseeng.com

ELECTRICAL and PLUMBING ENGINEERS:
Arora Engineering, Inc.
61 Wilmington-West Chester Pike,
Chadds Ford, PA 19317
www.AroraEngineers.com

STRUCTURAL ENGINEERS:
David Mason and Associates
123 S. Broad Street, Suite 1130
Philadelphia, PA 19109
www.DavidMason.com

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
NICETOWN PARK

DRAWING TITLE
SECTIONS AND DETAILS

PROJECT NO.	2021235-00	DRAWING NO.	S-3.0	
DATE	01.19.2024	SCALE		AS NOTED
DRAWN BY	QW	CHECKED BY		JE
CHECKED BY	JE	DATE		01.19.2024
DATE	01.19.2024	SCALE		AS NOTED

NOTES:
ALL DIMENSIONS AND CONDITIONS SHALL BE
AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE
SPECIFIED BY THE CONTRACTOR OR THE CITY.