

CITY OF PHILADELPHIA PHILADELPHIA PARKS AND RECREATION

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - BRIAN ABERNATHY

COMMISSIONER OF PARKS AND RECREATION - KATHRYN OTT LOVELL

RENOVATIONS TO:

MILES MACK PLAYGROUND

736 N 36TH ST,
PHILADELPHIA, PA 19104

PPR PROJECT NO. 10-19-4395-01

LANDSCAPE ARCHITECT

LANGAN

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MECHANICAL, ELECTRICAL, PLUMBING



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ABBREVIATIONS

TBR	TO BE REMOVED	FBO	FURNISHED BY OTHERS	SQ	SQUARE
PT	POINT OF TANGENCY	FIXT	FIXTURE	STA	STATION
PC	POINT OF CURVE	FR	FROM RECORD	STL	STEEL
DI	DUCTILE IRON	FT	FOOT OR FEET	TC	TOP OF CURB
CI	CAST IRON	FTG	FOOTING	BC	BOTTOM OF CURB
RCP	REINFORCED CONCRETE PIPE	GA	GAUGE	TW	TOP OF WALL
PVC	POLYVINYL CHLORIDE	GALV	GALVANIZED	BW	BOTTOM OF WALL
INV.	INVERT ELEVATION	GR	GRADE	TEL	TELEPHONE
T.G.	TOP OF GRATE ELEVATION	HT	HEIGHT	W	WATER
C.O.	CLEAN OUT	CAL	CALIPER	SAN	SANITARY
FFE	FINISH FLOOR ELEVATION	GAL	GALLON	SD	STORM DRAIN
JNT	JOINT	QT	QUART	T	TREAD
EXP	EXPANSION	HDPE	HIGH DENSITY POLYETHYLENE	TS	TOP OF STEP
CJ	CONTROL JOINT	PE	POLYETHYLENE	BS	BOTTOM OF STEP
EJ	EXPANSION JOINT	HORIZ	HORIZONTAL	TYP	TYPICAL
CONST	CONSTRUCTION	VERT	VERTICAL	WWF	WELDED WIRE FABRIC
CIP	CAST-IN-PLACE	R	RADIUS OR RISER	SPD	SPREAD
CL	CENTERLINE	RAD	RADIUS		
CONC	CONCRETE	KJ	KEYED JOINT		
COND	CONDUIT	LP	LOW POINT		
CTR	CENTER	MET	METAL		
PNT	POINT	SS	STAINLESS STEEL		
CU YD	CUBIC YARD	MFR	MANUFACTURER		
DEP	DEPRESSED	MIN	MINIMUM		
DN	DOWN	MISC	MISCELLANEOUS		
DIA	DIAMETER	NIC	NOT IN CONTRACT		
DWL	DOWEL	CCL	CONTRACT LIMIT LINE		
EA	EACH	LOD	LIMIT OF DISTURBANCE		
EL	ELEVATION	LOW	LIMIT OF WORK		
ELEC	ELECTRIC	NO/#	NUMBER		
EQ	EQUAL	NTS	NOT TO SCALE		
EF	EACH FACE	OC	ON CENTER		
EW	EACH WAY	PERF	PERFORATED		
EX	EXISTING	POB	POINT OF BEGINNING		
UD	UNDERDRAIN	SCH	SCHEDULE		
FG	FINISH GRADE	SCHED	SCHEDULE		
		SF	SQUARE FOOT		

SYMBOLS

	EXISTING 1 FT CONTOURS
	EXISTING SPOT ELEVATION
	EXISTING UTILITY POLE
	EXISTING STORM SEWER/INLET
	EXISTING SIGN
	EXISTING LIGHT POLES
	EXISTING WATER MAIN
	EXISTING DRAINAGE PIPE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING GAS LINE
	EXISTING FENCE LINE
	EXISTING ELECTRIC
	PROPOSED 1 FT CONTOUR
	DRAINAGE FLOW ARROW & SLOPE
	PROPOSED SPOT ELEVATION
	PROPOSED TOP/BOTTOM OF CURB SPOT ELEVATION
	PROPOSED TOP OF GRATE ELEVATION

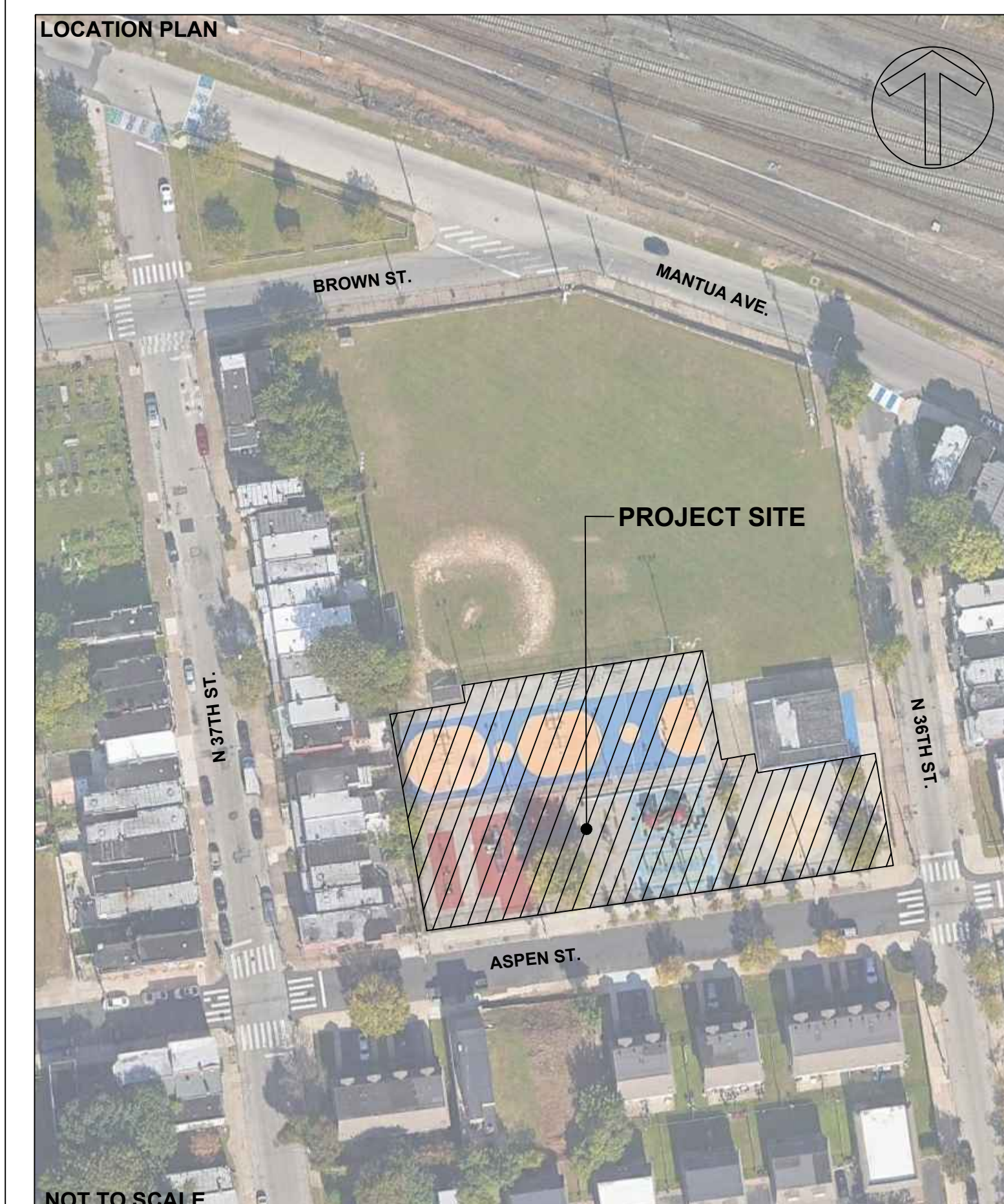
DRAWING LIST

LANDSCAPE SERIES:
CS-1 COVER SHEET
G-1.0 GENERAL NOTES

- EX-1.0 EXISTING CONDITIONS 1 OF 2
- EX-1.1 EXISTING CONDITIONS 2 OF 2
- L-1.0 DEMOLITION PLAN
- L-2.0 OVERALL SITE MATERIALS PLAN
- L-2.1 SITE MATERIALS COLOR SCHEME
- L-3.0 SITE LAYOUT PLAN
- L-3.1 SITE LAYOUT PLAN ENLARGEMENTS
- L-3.2 SAFETY SURFACE LAYOUT PLAN
- L-4.0 EROSION AND SEDIMENT CONTROL PLAN
- L-4.1 EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
- L-5.0 PLANTING AND SITE FURNISHING PLAN
- L-6.0 GRADING, DRAINAGE AND UTILITIES PLAN
- D-1.0 SITE FURNISHING AND HARDSCAPE DETAILS I
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- D-1.2 PLANTING NOTES AND DETAILS
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- D-1.4 FOOTING DETAILS I
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MECHANICAL SERIES
M-1.0 MECHANICAL COVER SHEET, PLANS, AND SPECIFICATIONS

SUPPLEMENTAL DRAWINGS
BORING LOCATION PLAN
SIGNAGE PLANS



PROJECT APPROVED

COMMISSIONER/PHILADELPHIA PARKS AND RECREATION

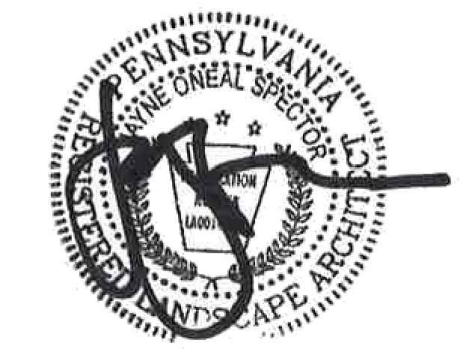
DEPUTY COMMISSIONER/PHILADELPHIA PARKS AND RECREATION

PROJECT DIRECTOR/PPR-CAPITAL PROJECTS DIVISION

ART COMMISSION

HISTORICAL COMMISSION

SEALS



**CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION**

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PPR PROJECT NO. 10-19-4395-01
CONSULTANT PROJECT NO. 220104104
DATE 01/21/2020
SCALE N/A
DRAWN BY YW
CHECKED BY TG/JS

CS-1

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL PLANS, SPECIFICATIONS, AND WORK ASSOCIATED WITH THIS PROJECT.
- EXISTING FEATURES BACKGROUND AND EXISTING CONDITIONS INFORMATION IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE CITY OF PHILADELPHIA PARKS & RECREATION, AND A SUPPLEMENTAL PARTIAL SITE SURVEY BY RODRIGUEZ CONSULTING, LLC. ALL LOCATIONS ARE TO BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD. NO DIGGING OR EXCAVATIONS WERE DONE IN THE PREPARATION OF THE EXISTING FEATURES BACKGROUND OR EXISTING CONDITIONS INFORMATION, THEREFORE, ALL UNDERGROUND UTILITIES SHOWN OR DEPICTED SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES AND/OR FACILITIES NOT SHOWN HEREON. ALL THE DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED HEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 187, HOUSE BILL 2627, AMENDING THE ACT OF DECEMBER 17, 1974 (P.L. 852, NO. 287) PN 1460 1996 EFFECTIVE 12/19/96. COMPLETENESS OR ACCURACY OF UNDERGROUND UTILITIES/FACILITIES ARE NOT GUARANTEED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287 DECEMBER 10, 1974 AS LAST AMENDED ON MARCH 29, 2007, PENNSYLVANIA ACT 187. LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBERS 220104103 FOR DESIGN PURPOSES ONLY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776 AT LEAST 3-WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK.
- DO NOT SCALE DRAWINGS. ALL MEASUREMENTS SHALL BE TAKEN FROM DIMENSIONS SHOWN ON THE DRAWING. WHERE DIMENSIONS BETWEEN PLAN AND IN DETAIL DRAWINGS DIFFER, NOTIFY THE DESIGN PROFESSIONAL FOR CLARIFICATION. FIELD VERIFY ALL DIMENSIONS AND NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES.
- INSTALL ALL MANUFACTURED ITEMS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS COMPLETE WITH ALL ITEMS AND COMPONENTS AS REQUIRED FOR A COMPLETE INSTALLATION.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) AND APPLICABLE LOCAL CODES AND STANDARDS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE FOR PROVIDING THE APPROPRIATE CONTRACT DOCUMENTS (PLANS, SPECIFICATIONS, AND OTHER INFORMATION) TO THE VARIOUS SUBCONTRACTORS AND TRADES IN ORDER FOR THEM TO COORDINATE AND PERFORM THE WORK.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANY REGULATIONS AND REQUIREMENTS FOR UTILITIES AFFECTED BY THE PROJECT AND PAY ALL REQUIRED FEES AND COSTS ASSOCIATED WITH THOSE UTILITIES.
- THE CONTRACTOR(S) SHALL OBTAIN ALL PERMITS RELATING TO THIS PROJECT PRIOR TO CONSTRUCTION AND SUBMIT PROOF/COPIES OF ALL NECESSARY PERMITS FOR CONSTRUCTION TO PHILADELPHIA PARKS & RECREATION.
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO MEET ALL OF THE REQUIREMENTS OF FEDERAL, STATE, AND LOCAL AUTHORITIES, HEALTH DEPARTMENT, AND UTILITY COMPANIES IN ADDITION TO THE INFORMATION STATED IN THESE PLANS, THE SPECIFICATIONS, AND THE CONTRACT DOCUMENTS.
- IN THE CASE OF CONFLICT BETWEEN ANY PART OF THESE PLANS, THE SPECIFICATIONS, OR THE CONTRACT DOCUMENTS, OR IF DISCREPANCIES ARE DISCOVERED THE CONTRACTOR SHALL NOTIFY THE PPR COORDINATOR AND DESIGN PROFESSIONAL IMMEDIATELY BY PHONE AND IN WRITING AND SHALL REQUEST A WRITTEN DETERMINATION PRIOR TO PROCEEDING WITH THE WORK INVOLVED. IF THE WORK PROCEEDS WITH THE KNOWLEDGE OF A DISCREPANCY AND WITHOUT A WRITTEN DETERMINATION, SUCH WORK WILL NOT BE CONSIDERED IN COMPLIANCE WITH THESE PLANS, THE SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- ALL WORK WITHIN A RIGHT OF WAY (R.O.W.) OR EASEMENT SHALL BE DONE IN ACCORDANCE WITH THE AGENCY OR ENTITY HAVING JURISDICTION OR OWNERSHIP OF THAT R.O.W. OR EASEMENT. CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, INSPECTIONS, ETC. FROM THE AGENCY OF ENTITY HAVING JURISDICTION FOR THIS WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROTECT EXISTING STRUCTURES AND FACILITIES, INCLUDING UTILITIES, NOT DESIGNATED FOR DEMOLITION OR REPLACEMENT/UPGRADE SUCH AS BUILDINGS, PIPES, INLETS/MANHOLES, CABLES/WIRES, CONDUITS, APRONS, PAVEMENTS, BRIDGES, UTILITIES, TREES, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXISTING UTILITY SERVICES MUST BE MAINTAINED AND UNINTERRUPTED FOR DURATION OF PROJECT. EXTREME CARE SHALL BE TAKEN IN UNDERCUT AREAS. THE CONTRACTOR(S) SHALL REPAIR OR REPAIR, AS DIRECTED BY THE PPR COORDINATOR/INSPECTOR OR DESIGN PROFESSIONAL, ANY STRUCTURES OR FACILITIES DAMAGED DURING CONSTRUCTION/THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGED ITEMS.
- THE CONTRACTOR(S) SHALL PROVIDE POSITIVE PROTECTION (MATS/SHEET COVERINGS) FOR ALL EXPOSED EXCAVATIONS TO PROTECT FROM INSTABILITY AND DETERIORATION DUE TO RAIN, WIND OR SNOW/ICE.
- THE CONTRACTOR SHALL PROVIDE SURFACE DRAINAGE CHANNELS OR DIVISION DIKES, SUMPS AND SUMP PUMPS AND/OR OTHER DEWATERING MEASURES AS REQUIRED TO PROTECT ALL EXCAVATIONS FROM FLOODING. FLOODING OF ANY EXCAVATION OF THE SUBGRADE WILL BE CAUSE FOR COMPLETE PREPARATION AND REAPPROVAL OF THE SUBGRADE, AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PROTECT POURED-IN-PLACE RUBBER SAFETY SURFACES DURING INSTALLATION AND AFTER THEY ARE INSTALLED. CONTRACTOR SHALL PREVENT SOIL OR OTHER DEBRIS FROM BEING DEPOSITED ON THESE SURFACES. IF THESE SURFACES ARE DAMAGED, HAVE HAD DEBRIS PLACED ON THEM, OR HAVE OTHER FOREIGN RESIDUES DEPOSITED ON THEM THE SURFACES SHALL BE CLEANED OR REPLACED TO THE SATISFACTION OF PHILADELPHIA PARKS & RECREATION OR THE DESIGN PROFESSIONAL, AT THE GENERAL CONTRACTOR'S EXPENSE.
- ALL ORGANIC, WET, SOFT AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM PAVEMENT SUBGRADE AND BACKFILLED WITH SUITABLE GRANULAR, FREE DRAINING MATERIAL. NO PAVEMENTS OR SLABS SHALL BE PLACED ONTO SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER AN EXPOSED EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED BY THE INDEPENDENT TESTING AND INSPECTION AGENCY AFTER REMOVAL OF WATER OR FROST.
- THE CONTRACTOR(S) SHALL ERECT PROTECTIVE DEVICES, SUCH AS TEMPORARY CHAIN-LINK FENCING, TO PROTECT THE SITE FROM UNAUTHORIZED PERSONS FROM ENTERING THE WORK SITE.
- THE CONTRACTOR(S) ARE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES TO REMAIN. NO EQUIPMENT, MATERIALS, SOIL, OR OTHER DEBRIS SHALL BE STORED UNDER THE DRIPNE OF THE TREE. IF TREES ARE DAMAGED, ITEMS ARE STORED, OR AREA UNDER THE DRIP IS DISTURBED, OTHER THAN DISTURBANCE CALLED FOR ON THE PLANS, IT IS THE CONTRACTORS RESPONSIBILITY CORRECT THE DAMAGE TO THE SATISFACTION OF THE PPR COORDINATOR OR THE DESIGN PROFESSIONAL.
- IF IT BECOMES NECESSARY TO CLOSE A PORTION OF THE ADJACENT STREET OR SIDEWALK DURING CONSTRUCTION, THE CONTRACTOR(S) SHALL NOTIFY THE LOCAL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR(S) SHALL OBTAIN ALL PERMITS REQUIRED FOR THIS WORK OR CLOSURE.
- SIDEWALKS TO BE INSPECTED FOR DAMAGE AND TO BE REPAIRED. DRAIN AND OVERFLOW INLETS TO BE INSPECTED FOR DAMAGE AND REPLACED WITH NEW.
- THE CONTRACTOR(S) SHALL KEEP ALL PUBLIC AREAS CLEAN OF DEBRIS ON A DAILY BASIS. THE CITY OF PHILADELPHIA MAINTAINS THE RIGHT TO CLEAN THE PROJECT SITE FOR CONTRACTOR NON-COMPLIANCE AT CONTRACTOR'S EXPENSE.
- ALL MATERIAL REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A LAWFUL MANNER ACCORDING TO APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH THE CLEAN FILL REQUIREMENTS AS NOTED ON THIS DRAWING AND PER APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS..
- ALL MATERIALS DEMOLISHED, UNLESS IDENTIFIED TO BE SAVED OR SALVAGED, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PER FEDERAL, STATE, AND LOCAL REGULATIONS. ALL COSTS OF HAULING, DISPOSAL, AND TIPPING FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR AS PART OF THE BASE BID.
- THE CONTRACTOR SHALL PROVIDE SAFETY, INGRESS/EGRESS, PEDESTRIAN, AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION. EMERGENCY VEHICLES MUST BE ALLOWED TO ENTER THE CONSTRUCTION SITE AT ALL TIMES.
- PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL STAKE OUT ALL CONSTRUCTION AND VERIFY OFFSETS, SETBACKS, EXISTING UTILITY LOCATIONS (HORIZONTAL AND VERTICAL) AND DIMENSIONS.
- ALL UTILITIES ARE TO BE RETAINED UNLESS MARKED OTHERWISE. ALL EXISTING AND PROPOSED APPURTENANCES ARE TO BE ADJUSTED TO FINISHED GRADE.
- ALL UTILITY DISCONNECTIONS FOR DEMOLITION AND/OR CONSTRUCTION SHALL BE COORDINATED WITH THE ENGINEER AND PHILADELPHIA PARKS & RECREATION.
- THE CONTRACTOR SHALL PROVIDE REPRESENTATIVE FIELD MOCK-UPS OF SHOP DRAWING ELEMENTS FOR REVIEW AND APPROVAL BY PHILADELPHIA PARKS & RECREATION OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MOCK-UPS TO REMAIN ON SITE FOR THE DURATION OF THE PROJECT AND WILL SERVE AS THE STANDARD FOR COMPARISON AS THE WORK PROGRESSES.
- CONTRACTOR SHALL OBTAIN FROM ALL PLAYGROUND EQUIPMENT MANUFACTURER'S REPRESENTATIVES A WRITTEN MANUFACTURER'S SAFETY INSPECTION FOR PLAYGROUND EQUIPMENT TO REMAIN ON SITE. THIS INSPECTION SHOULD VERIFY THAT ALL EQUIPMENT TO REMAIN OR BE AMENDED WITH NEW MODULES MEET ALL CURRENT CONSUMER PRODUCT SAFETY COMMISSION, ASTM, AND LOCAL CODES. NO EQUIPMENT MAY BE IMPROVED OR ADDED TO WITHOUT FIRST OBTAINING A WRITTEN SAFETY INSPECTION.
- ALL PLAY EQUIPMENT SHALL HAVE A LABEL OR A SIGN POSTED GIVING GUIDANCE AS TO THE AGE APPROPRIATENESS OF THE PLAY EQUIPMENT.
- PROVIDE ALL ELECTRICAL AND PLUMBING CONNECTIONS NECESSARY TO MAKE SPRAYGROUND ELEMENTS OPERATIONAL.

DEMOLITION AND REMOVALS NOTES:

- THE CONTRACTOR(S) SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER, OWNER'S REPRESENTATIVE AND DESIGN PROFESSIONAL OF ANY DISCREPANCIES. COMMENCEMENT WITH ANY WORK MEANS CONTRACTOR HAS ACCEPTED EXISTING AND FIELD CONDITIONS.
- ABANDONED SURFACE AND SUBSURFACE UTILITIES (I.E. WATER, ELECTRIC, TELEPHONE, STORM AND SANITARY LINES) AND CONCRETE FOOTINGS AND FOUNDATIONS UNCOVERED DURING CONSTRUCTION SHALL BE REMOVED WHEN NECESSARY AND AS APPROVED BY THE OWNER'S REPRESENTATIVE TO PERMIT NEW CONSTRUCTION. ABANDONED LINES SHALL BE REMOVED WITHIN THE PROJECT LIMITS AND TRENCHES PROPERLY BACKFILLED AND COMPACTED.
- IN ACCORDANCE WITH PENNSYLVANIA STATE LAW, NOTIFY ALL UTILITY COMPANIES (1-800-242-1776 PENNSYLVANIA ONE CALL SYSTEM) AT LEAST (3) THREE BUSINESS DAYS IN ADVANCE OF BEGINNING CONSTRUCTION.
- THE CONTRATOR(S) SHALL OBTAIN ALL REQUIRED/PERTINENT PERMITS FOR THIS WORK AND COMPLY AND ADHERE TO ALL APPLICABLE REGULATIONS SET FORTH.
- PERFORM DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND ORDINANCES AND WITH NATIONAL STANDARD SAFETY REQUIREMENTS FOR DEMOLITION.
- SAW-CUT LINES SHALL BE NEAT, TRUE AND SMOOTH.
- DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDING OR SITE AREAS.
- DIMENSIONS ARE SHOWN FOR REFERENCE ONLY. ALL SITE REMOVALS AND DEMOLITION NEED TO BE PERFORMED IN RELATION TO PROPOSED WORK.
- PREVENT MOVEMENT, SETTLEMENT, OR DAMAGE TO ADJACENT WALKWAYS, PAVEMENT, STRUCTURES, OR OTHER SITE ELEMENTS TO REMAIN. ANY MOVEMENT, DAMAGE, OR SETTLEMENT THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- PROTECT ALL EXISTING PLANT MATERIALS FROM DAMAGE UNLESS THEY ARE INDICATED TO BE REMOVED*. DO NOT PARK OR STORE CONSTRUCTION VEHICLES, EQUIPMENT, AND/OR MATERIALS UNDER THE CANOPY (WITHIN THE DRIP LINE) OF ANY TREE TO REMAIN. ANY DAMAGE SHALL BE REPAIRED OR THE PLANT MATERIAL REPLACED WITH PLANTS OF THE SAME SIZE BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. ANY REPLACEMENT PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- PROVIDE, ERECT AND MAINTAIN BARRICADE AND LIGHTING AS REQUIRED BY APPLICABLE REGULATION TO PROTECT OCCUPANTS OF BUILDING/FACILITY AND WORKERS.
- DEMOLISH AND REMOVE WORK IN A MANNER WHICH ALLOWS FOR INTRODUCTION OF NEW ADJACENT WORK WITH-OUT DAMAGING EDGE CONDITIONS TO THE EXISTING WORK.
- DEMOLITION OF EXISTING UTILITIES INCLUDES THE REMOVAL OF PIPE, UTILITY STRUCTURES, DRAINS, MANHOLES, ENCASEMENT, FITTINGS, VALVES, ETC.
- DISPOSE OF ALL UNUSABLE MATERIAL AND DEBRIS RESULTING FROM THE WORK OFF OF THE SITE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS. ENSURE THE WORK AREAS CLEAN AND READY FOR NEW WORK.
- MAINTAIN UTILITY SERVICES TO ACTIVE EXISTING BUILDINGS AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PERIOD. COORDINATE WITH THE OWNER AND UTILITY PROVIDERS FOR ALL SHUTDOWNS FOR UTILITY CONNECTION AND RELOCATION WORK.
- ALL UTILITIES NOT SCHEDULED/INDICATED FOR DEMOLITION WITHIN THE LIMIT OF DEMOLITION/WORK AREA SHALL BE PROTECTED AND MAINTAINED DURING CONSTRUCTION.
- SEE EROSION AND SEDIMENTATION CONTROL PLANS, NOTES AND DETAILS FOR EROSION CONTROL MEASURES AND CONSTRUCTION SEQUENCE.
- ALL MATERIALS DEMOLISHED, UNLESS IDENTIFIED TO BE SAVED OR SALVAGED (CONCRETE, PAVING, ROOF MAT, FENCING AND ALL OTHER DEBRIS) SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PER FEDERAL, STATE, AND LOCAL REGULATIONS. ALL COSTS OF HAULING, DISPOSAL, AND TIPPING FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR AS PART OF THE BASE BID.
- ALL MATERIALS IDENTIFIED TO BE SALVAGED SHALL BE REMOVED WITH CARE TO PREVENT AND MINIMIZE DAMAGE AND SHALL BE STORED ON-SITE FOR REUSE OR FOR RETRIEVAL BY OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL QUANTITIES OF DEMOLITION SHALL BE DETERMINED BY THE CONTRACTOR AND COVERED IN THE BASE BID. CONTRACTOR SHALL MAKE NECESSARY SITE INSPECTIONS PRIOR TO BID TO VERIFY ALL QUANTITIES AND CONDITIONS TO HIS/HER SATISFACTION.
- SAWCUT AND TRIM ALL EXISTING CONCRETE AND ASPHALT PAVEMENT EDGES PRIOR TO INSTALLING NEW PAVING. ENDS OF DAILY NEW ASPHALT PAVEMENT INSTALLATIONS SHALL BE SAWCUT AND TRIMMED NEATLY TO RECEIVE AND INTERSECT NEXT AREA OF NEW ASPHALT PAVEMENT.
- ALL EXCAVATED MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LAWFUL MANNER IN ACCORDANCE WITH PADEP CLEAN FILL REGULATION OR WASTE DISPOSAL REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULE FOR APPROVAL BY PHILADELPHIA PARKS & RECREATION PRIOR TO THE COMMENCEMENT OF DEMOLITION WORK AND SHALL ADHERE TO THE APPROVED SCHEDULE.
- EXISTING UTILITIES TO BE REMOVED/ABANDONED SHALL BE PROPERLY DISCONNECTED IN ACCORDANCE WITH THE APPLICABLE UTILITIES REQUIREMENTS.
- UTILITIES INDICATED TO BE REMOVED SHALL BE REMOVED COMPLETELY INCLUDING ALL PIPE AND STRUCTURE FOUNDATIONS. TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS OR AS DIRECTED BY THE PPR.
- UTILITIES TO BE ABANDONED MAY BE LEFT IN PLACE UNLESS DIRECTED OTHERWISE BY THE OWNER'S REPRESENTATIVE. UTILITIES LESS THAN 12" IN DIAMETER SHALL BE CAPPED IN PLACE, UTILITIES 12" AND LARGER SHALL BE CEMENT GROUTED.
- REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS AND LOCAL FROST DEPTHS FOR REQUIRED FOUNDATION DEPTHS. FOR TREES TO BE PLANTED IN FORMER PAVED AREAS, REMOVE GRAVEL TO A DEPTH SUFFICIENT TO ACCOMMODATE PLANTING PUT AS DEFINED BY PLANTING NOTES, DETAILS, AND SCHEDULE.
- STOCKPILE EXCESS GRAVEL ON-SITE FOR REUSE IN AREAS REQUIRING COMPACTED GRAVEL SUBBASE.
- ONCE EXISTING SURFACE HAS BEEN REMOVED, CONTRACTOR TO PERFORM A PERCOLATION TEST FOR DRAINAGE IF REQUIRED FOR STORMWATER MANAGEMENT AREAS. CONTRACTOR TO SUBMIT TEST RESULTS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF NEW SURFACE.

SITE LAYOUT NOTES:

- VERIFY ALL DIMENSIONS AND ACCEPT SITE CONDITIONS PRIOR TO COMMENCING WORK. COMMENCING WORK MEANS THE CONTRACTOR(S) HAVE ACCEPTED SITE CONDITIONS.
- ALL DIMENSIONS ARE FROM FACE OF BUILDING/CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. WALKWAYS ABUTTING CURBS OR WALLS SHALL BE MEASURED FROM THE FACE OF THE CURB/WALL.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL RADII AND DIMENSIONS ARE TO THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL UNLESS OTHERWISE NOTED WITH (B-B), WHICH INDICATES BACK OF CURB, WALL, ETC.
- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR LAYOUT AS DETAILED IN THESE CONSTRUCTION DOCUMENTS FOR THIS PROJECT.
- THE NEW PAVING SHALL PROVIDE A SMOOTH TRANSITION TO EXISTING PAVING WITHOUT ABRUPT CHANGE IN GRADE.
- MAINTAIN POSITIVE DRAINAGE AND ELIMINATE LOW SPOTS.

GRADING AND DRAINAGE NOTES:

- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATION INDICATED, REGARDLESS OF CHARACTER OF MATERIALS OF OBSTRUCTIONS ENCOUNTERED.
- GRADES ON ALL PAVED WALKWAYS AND PLAYGROUND SAFETY SURFACES SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT.
- UNLESS OTHERWISE NOTED, MINIMUM SLOPE SHALL BE ¼ INCH PER FOOT OR 2% AND A MAXIMUM SLOPE SHALL NOT EXCEED 3:1 (H:V) OR 33% FOR NON-PAVED SURFACES.
- GRADE EARTHEN, NON-PAVED, SURFACES TO A SMOOTH FINISH. SLOPE LAWN AREAS IN SWALES TO A GENTLE CROWN ALONG THE CENTERLINE UNLESS OTHERWISE SHOWN.
- GRADE ALL SEEDED FINE LAWN AREAS FLUSH WITH FINISH GRADE. ADJUST FINISHED GRADE TO THE PROPER DEPTH WHERE SOD ABUTS PAVED AREAS.
- GRADE ALL TREE/SHRUB/GROUNDCOVER PLANTING BEDS TO 3 INCHES BELOW TOP OF ABUTTING CURBS, PAVING, OR LAWN AREAS TO ALLOW FOR MULCHING.
- REFER TO PLANTING PLAN FOR ADDITIONAL NOTES.
- ADJUST EXISTING AND NEW MANHOLE, CATCH BASINS, AND DRAINS RIM/GRATE ELEVATIONS TO NEW GRADE ELEVATIONS (PAVEMENT OR SOIL).
- ELIMINATE ROUGH AND LOW AREAS TO ENSURE POSITIVE DRAINAGE.
- PIPE SLOPES ARE APPROXIMATE, CONTRACTOR SHALL USE INVERTS TO INSTALL GRAVITY LINES.
- FINISHED SURFACES SHALL BE GRADED SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE. SURFACE FINISHES NOT MEETING THIS STANDARD OR NOT DEEMED ACCEPTABLE BY THE DESIGNER OR OWNER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF SLOPE REQUIREMENTS CANNOT BE MET. AT NO TIME WILL SLOPES IN EXCESS OF THOSE ABOVE THE MAXIMUM ALLOWED WILL BE ACCEPTED, UNLESS PRIOR APPROVAL IS RECEIVED IN WRITING BY THE DESIGNER.
- PLANS INDICATE ALL FINISH GRADE ELEVATIONS. PROVIDE SUBGRADE ELEVATIONS AS REQUIRED BY PLANS, DETAILS, OR SPECIFICATIONS. PROVIDE PROPERLY COMPACTED SUBGRADES OF NATIVE SOIL OR APPROVED FILL. SUBGRADES SHALL BE INSPECTED BY A QUALIFIED INSPECTOR TO ENSURE COMPACTION REQUIREMENTS ARE MET. NATIVE SOILS, FILL, OR SUBGRADES DEEMED INSUFFICIENT SHALL BE REMOVED AND REPLACED WITH APPROPRIATE MATERIAL.
- COORDINATE GRADING WORK WITH WORK OF OTHER TRADES OR WORK BY OTHERS AS REQUIRED TO COMPLETE THE PROJECT.
- REFER TO CLEAN FILL REQUIREMENTS NOTES ON THIS DRAWING FOR INFORMATION ON CLEAN FILL IMPORT AND EXPORT.
- EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS, STREETS, AND UTILITY LINES. VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE AROUND UTILITIES AS REQUIRED.
- COMPACT SOILS TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY OF MODIFIED PROCTOR (ASTM D1557):
 - UNDER FOUNDATIONS, PAVING, AND SLABS - 95%
 - UNDER EARTHEN SURFACES/LAWN/LANDSCAPING - 85%
- BACKFILL SHALL BE BROUGHT UP BY EQUALLY ON EACH SIDE OF FOUNDATIONS, WALLS, AND GRADE BEAMS.
- ALL ORGANIC, WET, SOFT AND/OR UNSUITABLE MATERIALS SHALL BE REMOVED FROM PAVEMENT SUBGRADE AND BACKFILLED WITH SUITABLE GRANULAR, FREE DRAINING MATERIAL. NO PAVEMENTS OR SLABS SHALL BE PLACED ONTO SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FRONT ENTER AN EXPOSED EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED BY THE INDEPENDENT TESTING AND INSPECTION AGENCY AFTER REMOVAL OF WATER OR FROST.
- COMPACTED SUBGRADE IS TO INCLUDE THE SOIL MATERIALS SUPPORTING STRUCTURAL FILLS, FOUNDATIONS, SLABS, PITS, STRUCTURES, PAVEMENTS, WALKS, ETC. THE SUITABILITY OF SUBGRADE IS TO BE DETERMINED BY PROOF-ROLLING OR SOILS TESTING PRIOR TO FURTHER CONSTRUCTION.
- EXCAVATE TO THE LINES AND GRADES SHOWN AND TEST AND PROOF-ROLL ALL SURFACES WITHIN AREAS QUALIFIED AS COMPACTED SUBGRADE.
- THE BOTTOMS OF TRENCHES, FOUNDATION AND PAVEMENT SUBGRADES SHALL BE COMPACTED TO THE SATISFACTION OF THE INSPECTOR. IF UNSUITABLE MATERIALS OR INSUFFICIENT BEARING CAPACITY IS ENCOUNTERED IN IN-SITU MATERIALS, CARRY EXCAVATIONS DEEPER AS DIRECTED BY THE INSPECTOR AND WITH APPROVAL OF THE OWNER AND REPLACE WITH COMPACTED BACKFILL MATERIAL.
- ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER TIGHT JOINTS.
- THE CONTRACTOR SHALL MAINTAIN ANY EXISTING DRAINAGE STRUCTURES AND PIPING WHICH MAY STILL DRAIN ANY AREAS NOT COMPENSATED BY THE PROPOSED DRAINAGE SYSTEM. IF ANY PIPES OR STRUCTURES THAT NEED TO BE REPLACED OR REROUTED OUTSIDE OF THE EXTENTS OF THE PLANS ARE FOUND, THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING DRAINAGE FLOW WITHIN THE SITE AND MAY NEED TO INSTALL TEMPORARY FACILITIES TO MAINTAIN PHASING.
- ALL EARTHWORK AND UNDERGROUND UTILITY FOUNDATION WORK SHALL BE COORDINATED WITH THE REQUIREMENTS OUTLINED BY THE CIVIL ENGINEER, IF APPLICABLE. ANY SPECIAL HANDLING PROCEDURES AND PRECAUTIONARY MEASURES NECESSARY DURING CONSTRUCTION SHALL BE ADHERED TO BY THE SITE CONTRACTOR.
- CONTRACTOR TO PLUG ALL ABANDONED PIPES.
- CONTRACTOR TO VERIFY GRADING FOR ALL NEW SURFACES BY STAKING OUT PROPOSED ELEVATIONS BEFORE CONSTRUCTION AND NOTIFYING PPR IMMEDIATELY IF ANY PROPOSED SURFACES WILL EXCEED ADA SLOPE ALLOWANCES.

CLEAN FILL REQUIREMENTS:

IF THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE CONTRACTOR.

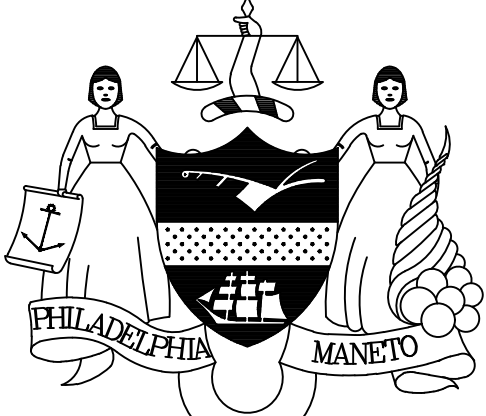





CLEAN FILL: DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR REUSE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS AS NOTED IN TABLES FP-1A AND FP-1B FOUND IN THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S POLICY "MANAGEMENT OF FILL."

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.

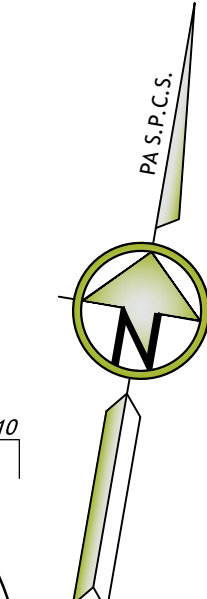
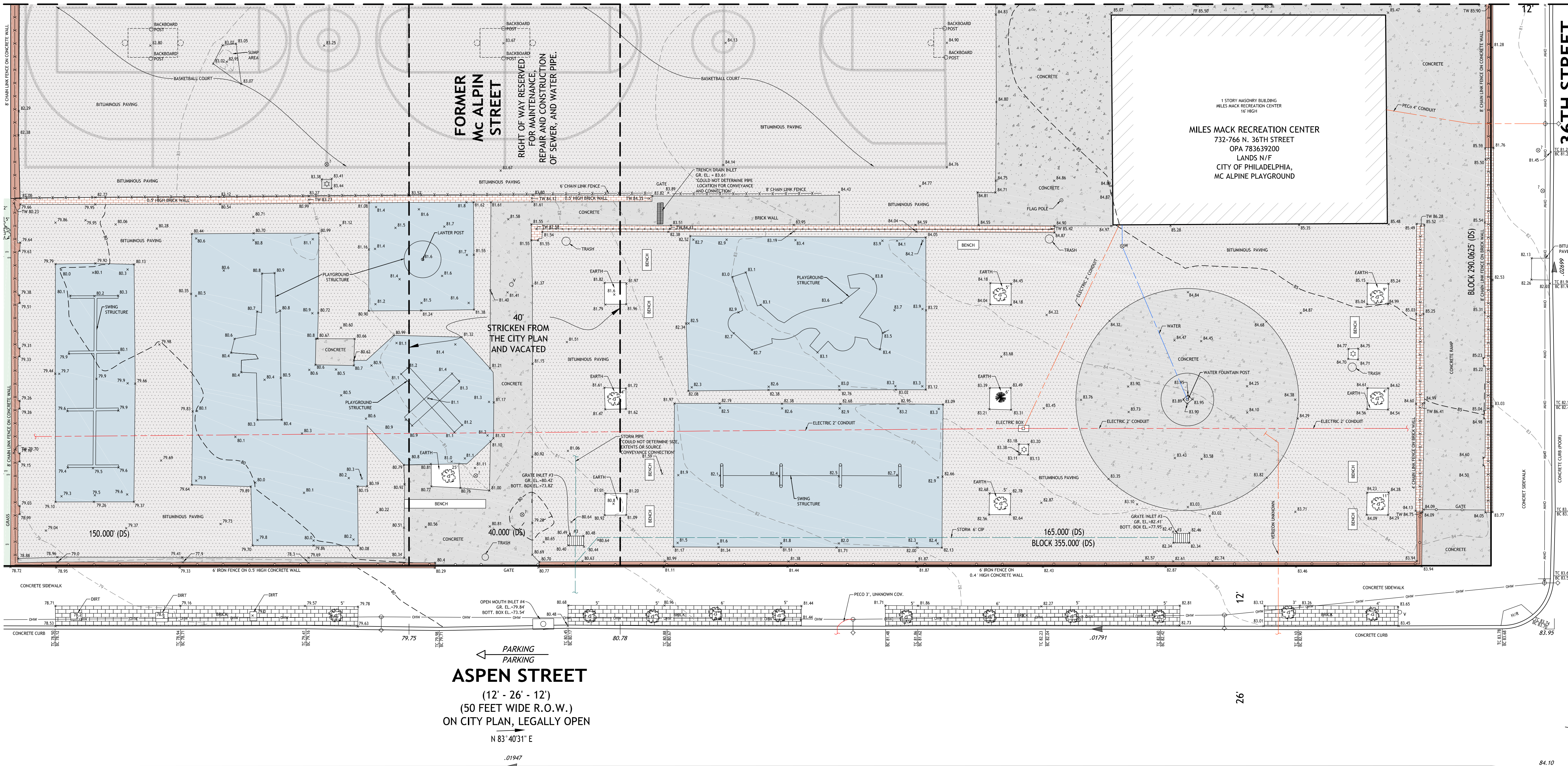
ENVIRONMENTAL DUE DILIGENCE: THE LANDOWNER/APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINE AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S POLICY "MANAGEMENT OF FILL."

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTER 281 RESIDUAL WASTE MANAGEMENT OR CHAPTER 211 MUNICIPAL WASTE MANAGEMENT, WHICH EVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM

REVISIONS		
ISSUE	DATE	REVISIONS
		
PENNSYLVANIA ONE CALL SYSTEM, INC. <small>825 14th St. Road West Mifflin, Pennsylvania 15122 - 1078</small>		
		
<small>BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH</small>		
PA ONE CALL NUMBER (FOR DESIGN ONLY):		
PPR PROJECT COORDINATOR:	NICHOLAS UPMEYER	
LAND ARCH. SEAL:		
SIGNATURE:	JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT PA Lic. No. LA001000R	DATE SIGNED:
CIVIL ENG. SEAL:		
PRIMARY CONSULTANT:		
Langan Engineering and Environmental Services, Inc. 1818 Market Street, Suite 3300 Philadelphia, PA 19103 T: 215.845.8900 F: 215.845.8901 www.langan.com		
SUB-CONSULTANT:	 Chestnut Engineering 2 E Lancaster Ave - 2nd Fl. Ardmore, PA 19003 Phone: (610) 642-1750 www.chestnut-engineering.com	
CONSULTANT PROJECT NUMBER		
SUB-CONSULTANT:	 Rodriguez Consulting 1301 N 2nd Street Philadelphia, PA 19122 Phone: (215) 839-8087 www.RodriguezConsulting.biz	
CONSULTANT PROJECT NUMBER		
CITY OF PHILADELPHIA PHILADELPHIA PARKS AND RECREATION		
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING		
PPR PROJECT NUMBER	10-19-4395-01	
PROJECT TITLE:	IMPROVEMENTS TO MILES MACK PLAYGROUND 736 N 36TH ST, PHILADELPHIA, PA	
DRAWING TITLE:	GENERAL NOTES	
PPR PROJECT NO:	10-19-4395-01	DRAWING NO:
CONSULTANT PROJECT NO.:	220104104	G-1.0
DATE:	01/21/2020	
SCALE:	1"=10'	
DRAWN BY:	YW/ZC	
CHECKED BY:	TG/JS	
NOTE:	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

MATCH LINE

SEE SHEET 2



REVISIONS	
1.	ADD ADDITIONAL AREA PER CLIENT REQUEST
	09/11/19 J.S.

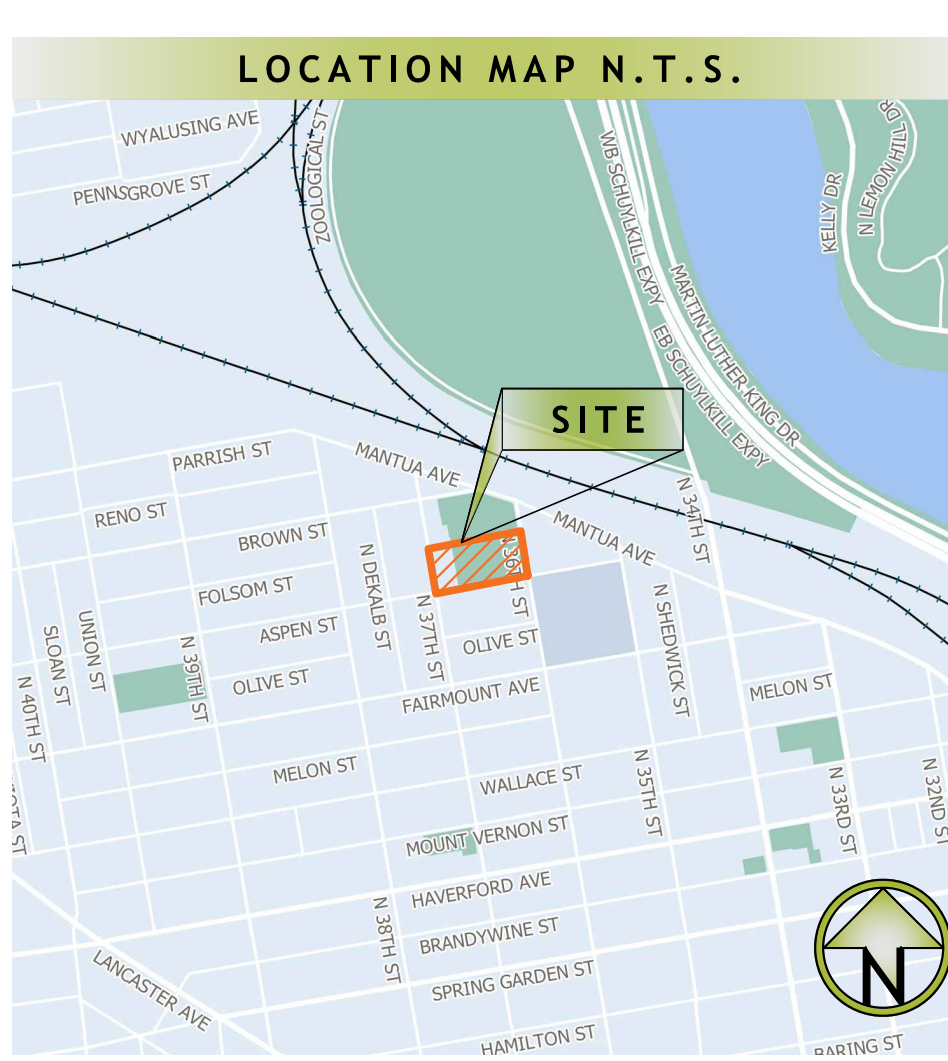
SEAL

SIGNATURE

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Phone: (215) 839-8087
Fax: (877) 839-6975
www.rodriquez.biz

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(MBE) & Disadvantaged
Business Enterprise (DBE)



LIST OF IDENTIFIED UTILITIES

COMPANY: PECO ENERGY
ADDRESS: C/O USIC
450 S HENDERSON RD SUITE B
KING OF PRUSSIA, PA 19106
CONTACT: NIKKIA SIMPKINS
EMAIL: nikkiasimpkins@usicinc.com
PHONE: 215-731-3283

COMPANY: PHILADELPHIA CITY DEPT OF STREETS
ADDRESS: 1401 JFK BLVD ROOM 940 5th FLOOR
PHILADELPHIA, PA 19103
CONTACT: MAUREEN WANGARI
EMAIL: maureen.wangari@phila.gov

COMPANY: PHILADELPHIA GAS WORKS
ADDRESS: 800 W MONTGOMERY AVE
PHILADELPHIA, PA 19122
CONTACT: MICHAEL PARZANESE
EMAIL: MICHAEL.PARZANESE@PGWORKS.COM

COMPANY: VERIZON PENNSYLVANIA INC
ADDRESS: 180 SHREVE BLVD STE 2100
EXTON, PA 19341
CONTACT: KELLY BLOUNT
EMAIL: kelly.b.blount@verizon.com
PHONE: 610-280-1914

PA ONE CALL NUMBER: 20190572992, 20190572997 & 20190573000

"CALL BEFORE YOU DIG"

PURSUANT TO THE REQUIREMENTS OF PENNSYLVANIA ACT 121 (2008), THE CONTRACTOR SHALL CONTACT THE PENNSYLVANIA ONE CALL SYSTEM 1-800-242-1776, OR 811, 3 TO 10 WORKING DAYS PRIOR TO EXCAVATION.

STOP! CALL!

- NOTES**
- PLAN MADE AS PER INSTRUCTIONS OF: TIM GARRETT, 1818 MARKET STREET, SUITE 3300 PHILADELPHIA, PA 19103 TEL: 215.845.8966
 - PARCEL KNOWN AS MILES MACK RECREATION CENTER LOCATED AT 732-766 N. 36TH STREET, PHILADELPHIA, PA 19104. BENCHMARK PROVIDED BY 7TH SURVEY DISTRICT.
 - THE HORIZONTAL CONTROL NETWORK IS REFERENCED TO THE PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83). THE VERTICAL CONTROL NETWORK IS REFERENCED TO CITY OF PHILADELPHIA DATUM. BENCHMARK PROVIDED BY 7TH SURVEY DISTRICT.
 - NORTHWEST CORNER OF THE BOTTOM STEP OF LANDING ENTRANCE TO 3524 MANTUA ST., EL. -74.77
 - 3611 FAIRMOUNT AVENUE EL. +91.22
 - ACTUAL FIELD SURVEY WAS PERFORMED BY RODRIGUEZ CONSULTING, LLC DURING MONTH OF MARCH, 2019. ADDITIONAL SURVEY PER CLIENT REQUEST WAS PERFORMED DURING MONTH OF AUGUST, 2019.
 - ALL DIMENSIONS ARE SHOWN IN UNITED STATES SURVEY FEET UNLESS DESIGNATED 'DS' TO DENOTE PHILADELPHIA DISTRICT STANDARD FEET UNITS. PHILADELPHIA DISTRICT STANDARD MEASURE IS USED TO DEFINE PARTY LINES AND PROPERTY LINES IN EACH BLOCK.
 - UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
 - A BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
 - ANY SUBSURFACE OR SUBTERRANEAN CONDITION, SUBSURFACE UTILITIES, EASEMENTS OR RIGHTS INCLUDING, BUT NOT LIMITED TO, MINERAL OR MINING RIGHTS.
 - THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT OR COMPLETE TITLE REPORT AND IS NOT INTENDED TO GUARANTEE OWNERSHIP. THERE MAY EXIST RIGHT-OF-WAYS, EASEMENTS, CONDEMNATIONS, OR OTHER ISSUES THAT MAY AFFECT THE DEVELOPMENT OF THIS PARCEL.
 - THIS PLAN DOES NOT SHOW, OR INTEND TO SHOW, ANY NON-RECORDED EASEMENTS OR RIGHT-OF-WAY.
 - THIS IS NOT A BOUNDARY SURVEY.
 - UTILITIES ARE TAKEN FROM PUBLIC RECORD. THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND DEPTH.
 - UTILITIES AS SHOWN ARE APPROXIMATE AND MAY OR MAY NOT BE COMPLETE.
 - LOCATIONS OF ON SITE UTILITIES AS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AND FROM SURFACE OBSERVATION OF THE SITE AT THE TIME THESE PLANS WERE PREPARED. THE LOCATIONS ARE APPROXIMATE, AND MAY OR MAY NOT BE COMPLETE. THE NATURE AND EXACT LOCATION OF EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO INITIATING ANY ACTIVITY THAT MAY AFFECT THEIR USE OR LOCATION.
 - COMPLETENESS OF LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - WE ARE NOT EXPERTS IN THE DETECTION AND/OR IDENTIFICATION OF POTENTIALLY HAZARDOUS SOILS AND SUBSTANCES; THEREFORE, THIS PLAN DOES NOT PURPORT TO LOCATE OR REVEAL SAME.
 - VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
 - ONLY COPIES FROM THE ORIGINAL OF THIS PLAN, CLEARLY MARKED WITH APPROPRIATE PROFESSIONAL SEAL SHALL BE CONSIDERED TO BE VALID COPIES. THIS CORPORATION AND/OR ITS EMPLOYEES ARE NOT LIABLE FOR ERRORS OR OMISSIONS RESULTING FROM THIS CONDITION.

LEGEND

	SIGN		R.O.W. LINE
	UTILITY POLE WITH LIGHT		IRON FENCE
	UTILITY POLE		CHAIN LINK FENCE
	LIGHT POST		HAND RAIL
	WATER VALVE		MINOR CONTOUR LINE
	CURB BOX UNKNOWN ORIGIN		MAJOR CONTOUR LINE
	SEWER VENT		OVERHEAD WIRES
	TREE CONIFEROUS/TRUNK SIZE		VERIZON LINE, MANHOLE
	TREE DECIDUOUS/TRUNK SIZE		SEWER, MANHOLE
	OPEN MOUTH GRATE INLET		GAS LINE, MANHOLE
	GRATE INLET / YARD DRAIN		ELECTRIC LINE, MANHOLE
	BITUMINOUS PAVING		WATER LINE, MANHOLE
	PLAY SURFACE		TC 79.41 TOP OF CURB ELEVATION
	CONCRETE PAVING		BC 79.16 BOTTOM OF CURB ELEVATION
	DIRT		81.76 SPOT ELEVATION
	BRICK PAVING		80TT BOTTOM
	GRASS		GR GRATE
	CONCRETE WALL		TW TOP OF WALL
	BRICK WALL		

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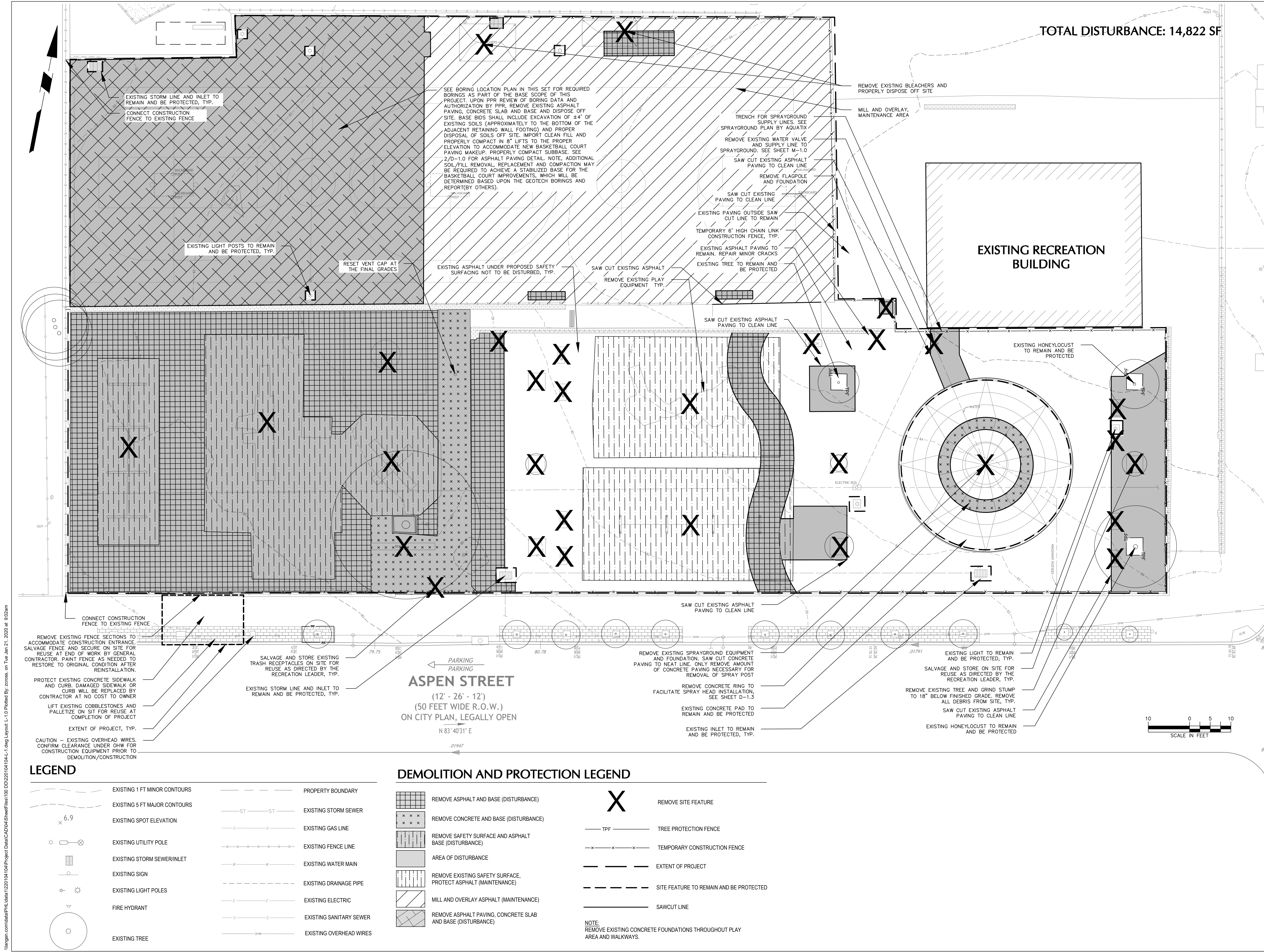
GRAPHIC SCALE

1 INCH = 10 FEET

EXISTING CONDITIONS

1 OF 2
PREPARED FOR
LANGAN

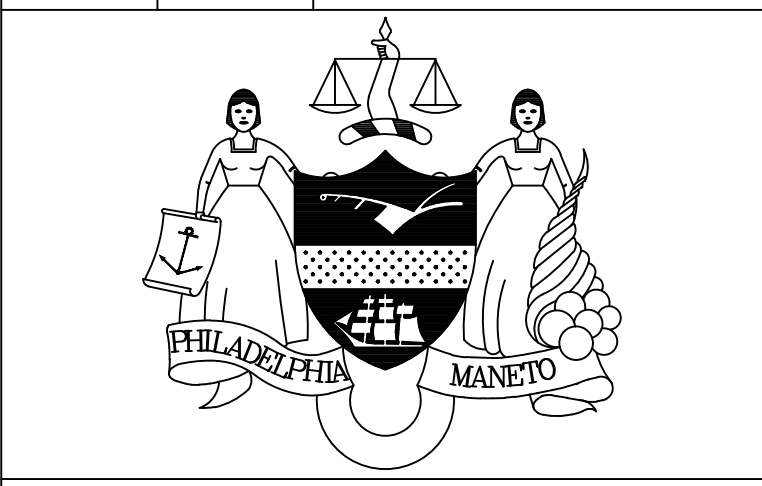
PROJECT: MILES MACK RECREATION CENTER
Drwn/Chk By: J.S./D.V.S.
Municipality: CITY OF PHILADELPHIA
Ward: 31ST
County: PHILADELPHIA
State: PENNSYLVANIA
Scale: 1"=10'
Project Number: LANGAN 2019-001
File Name: LANGAN 2019-001_Miles Mack Rec Cen.dwg
Field Date: 03/01/2019 & 08/22/2019
Completed: 09/11/2019
Drawing Number:
EX-1.0



TOTAL DISTURBANCE: 14,822 SF

REVISIONS

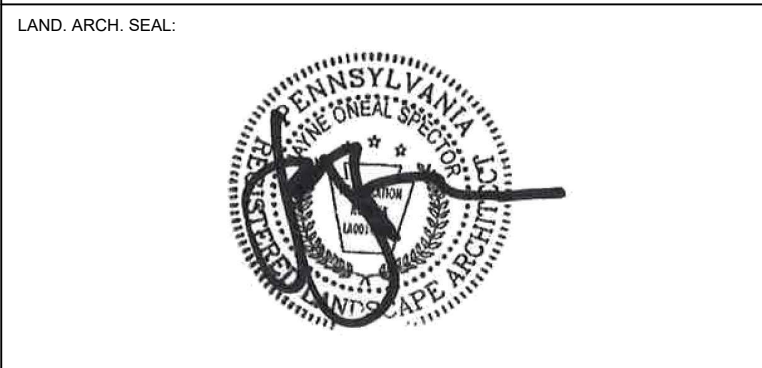
ISSUE	DATE	REVISIONS



PENNSYLVANIA ONE CALL SYSTEM, INC.
 825 Oak Run Road
 West 98th, Philadelphia
 19122 - 1078

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
 NON-MEMBERS MUST BE CONTACTED DIRECTLY
 PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

PA ONE-CALL NUMBER (FOR DESIGN ONLY):
 PRR PROJECT COORDINATOR: NICHOLAS UPMEYER



SIGNATURE: JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT
 PA Lic. No. LA001000R

CIVIL ENG. SEAL:
 PRIMARY CONSULTANT: **LANGAN**
 Langan Engineering and Environmental Services, Inc.
 1818 Market Street, Suite 3300
 Philadelphia, PA 19103
 T: 215.845.8900 F: 215.845.8901 www.langan.com

SUB-CONSULTANT: Chestnut Engineering
 2 E Lancaster Ave - 2nd Fl.
 Ardmore, PA 19003
 Phone: (610) 642-1750
 www.chestnut-engineering.com

SUB-CONSULTANT: Rodriguez Consulting
 1301 N 2nd Street
 Philadelphia, PA 19122
 Phone: (215) 839-8087
 www.RodriguezConsulting.biz

CONSULTANT PROJECT NUMBER
CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PRR PROJECT NUMBER: 10-19-4395-01

PROJECT TITLE:
IMPROVEMENTS TO MILES MACK PLAYGROUND
 736 N 36TH ST, PHILADELPHIA, PA

DEMOLITION PLAN

PRR PROJECT NO.: 10-19-4395-01	DRAWING NO.: 220104104
DATE: 01/21/2020	SCALE: 1"=10'
DRAWN BY: YW/ZC	CHECKED BY: TG/JS
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

I:\langan\com\data\PHL\Langan1220104104\Project Data\CAD\SheetFiles\100 DD\220104104-L1.dwg Layout: L-1.0 Plotted By: zcosas on Tue Jan 21, 2020 at 9:02am

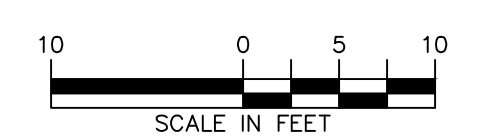
LEGEND

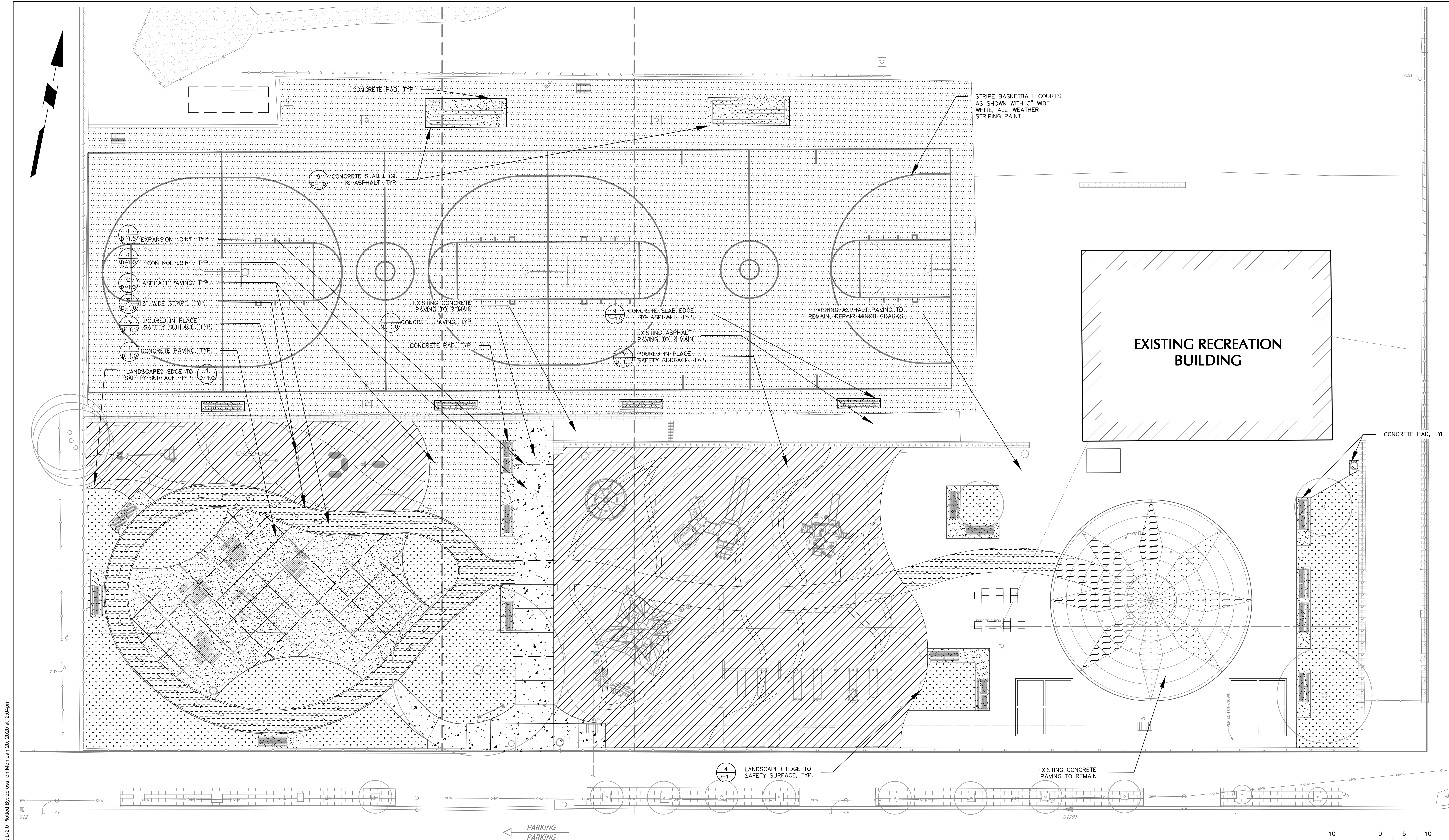
	EXISTING 1 FT MINOR CONTOURS		PROPERTY BOUNDARY
	EXISTING 5 FT MAJOR CONTOURS		EXISTING STORM SEWER
	EXISTING SPOT ELEVATION		EXISTING GAS LINE
	EXISTING UTILITY POLE		EXISTING FENCE LINE
	EXISTING STORM SEWER/INLET		EXISTING WATER MAIN
	EXISTING SIGN		EXISTING DRAINAGE PIPE
	EXISTING LIGHT POLES		EXISTING ELECTRIC
	FIRE HYDRANT		EXISTING SANITARY SEWER
	EXISTING TREE		EXISTING OVERHEAD WIRES

DEMOLITION AND PROTECTION LEGEND

	REMOVE ASPHALT AND BASE (DISTURBANCE)		REMOVE SITE FEATURE
	REMOVE CONCRETE AND BASE (DISTURBANCE)		TREE PROTECTION FENCE
	REMOVE SAFETY SURFACE AND ASPHALT BASE (DISTURBANCE)		TEMPORARY CONSTRUCTION FENCE
	AREA OF DISTURBANCE		EXTENT OF PROJECT
	REMOVE EXISTING SAFETY SURFACE, PROTECT ASPHALT (MAINTENANCE)		SITE FEATURE TO REMAIN AND BE PROTECTED
	MILL AND OVERLAY ASPHALT (MAINTENANCE)		SAWCUT LINE
	REMOVE ASPHALT PAVING, CONCRETE SLAB AND BASE (DISTURBANCE)		

NOTE:
 REMOVE EXISTING CONCRETE FOUNDATIONS THROUGHOUT PLAY AREA AND WALKWAYS.





REVISIONS

ISSUE	DATE	REVISIONS



PENNSYLVANIA ONE CALL SYSTEM, INC.
 825 1st Ave. Road
 West Chester, Pennsylvania
 19380 - 1078



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 PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PRR PROJECT COORDINATOR: NICHOLAS UPMEYER

LAND ARCH. SEAL:



SIGNATURE: JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT
 PA Lic. No. LA001000R

CIVIL ENG. SEAL:

PRIMARY CONSULTANT:
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 www.RodriguezConsulting.biz

CONSULTANT PROJECT NUMBER

CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION

1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING

PRR PROJECT NUMBER: 10-19-4395-01

PROJECT TITLE:
IMPROVEMENTS TO MILES MACK PLAYGROUND
 736 N 36TH ST, PHILADELPHIA, PA

DRAWING TITLE:
OVERALL SITE MATERIALS PLAN

PRR PROJECT NO.:	10-19-4395-01	DRAWING NO.:	L-2.0
CONSULTANT PROJECT NO.:	220104104		
DATE:	01/21/2020		
SCALE:	1"=10'		
DRAWN BY:	YW/ZC		
CHECKED BY:	TG/JS		

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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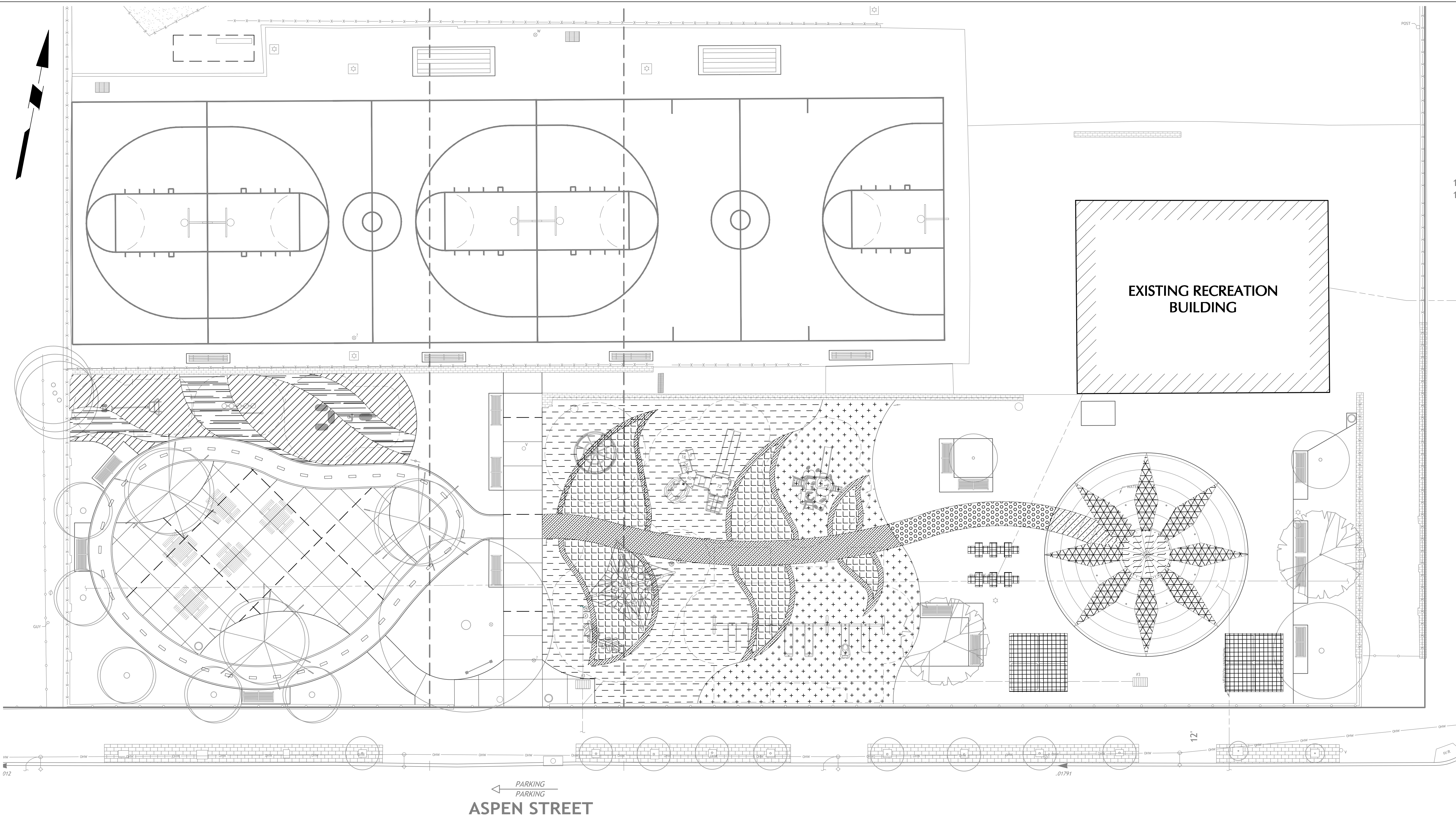
LEGEND

	EXISTING 1 FT MINOR CONTOURS		PROPERTY BOUNDARY
	EXISTING 5 FT MAJOR CONTOURS		EXISTING STORM SEWER
	EXISTING SPOT ELEVATION		EXISTING GAS LINE
	EXISTING UTILITY POLE		EXISTING FENCE LINE
	EXISTING STORM SEWER/INLET		EXISTING WATER MAIN
	EXISTING SIGN		EXISTING DRAINAGE PIPE
	EXISTING LIGHT POLES		EXISTING ELECTRIC
	FIRE HYDRANT		EXISTING SANITARY SEWER
	EXISTING TREE		

MATERIALS LEGEND

	ASPHALT PAVING
	PAINTED ASPHALT PAVING (SEE L-2.1 FOR COLOR SCHEME)
	BROOM FINISH CONCRETE PAVING
	MICA ENHANCED BROOM FINISH CONCRETE PAVING
	EXISTING CONCRETE PAVING TO BE PAINTED (SEE L-2.1 FOR COLOR SCHEME)
	POURED IN PLACE RUBBER SAFETY SURFACE (SEE L-2.1 FOR COLOR SCHEME)
	LANDSCAPE AREA (SEE L-5.0 FOR PLANTING PLAN)

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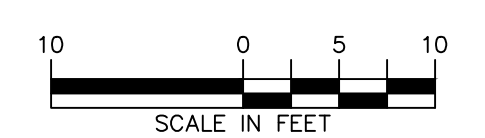


LEGEND	
	EXISTING 1 FT MINOR CONTOURS
	EXISTING 5 FT MAJOR CONTOURS
	EXISTING SPOT ELEVATION
	EXISTING UTILITY POLE
	EXISTING STORM SEWER/INLET
	EXISTING SIGN
	EXISTING LIGHT POLES
	FIRE HYDRANT
	EXISTING TREE
	PROPERTY BOUNDARY
	EXISTING STORM SEWER
	EXISTING GAS LINE
	EXISTING FENCE LINE
	EXISTING WATER MAIN
	EXISTING DRAINAGE PIPE
	EXISTING ELECTRIC
	EXISTING SANITARY SEWER

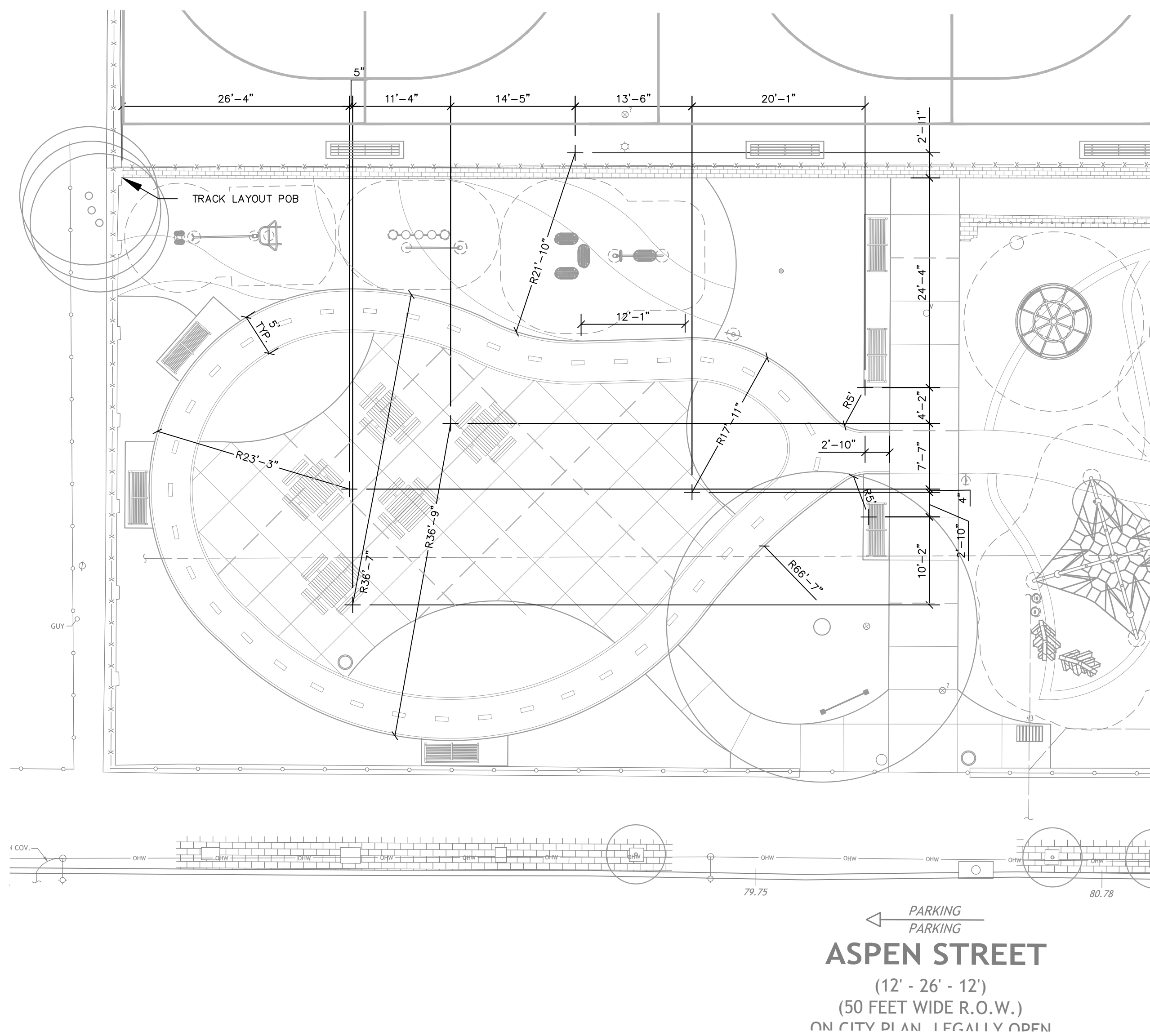
MATERIALS LEGEND	
	STRIPED ASPHALT PAVING: GREEN TO MATCH DARK GREEN SAFETY SURFACING WITH WHITE STRIPING
	PAINTED ASPHALT: GREEN TO MATCH DARK GREEN SAFETY SURFACING
	PAINTED ASPHALT: RED, BLUE, YELLOW, GREEN
	PAINTED CONCRETE: GREEN
	PAINTED CONCRETE: PURPLE
	PAINTED CONCRETE: YELLOW
	POURED IN PLACE SAFETY SURFACE COLORS
	DARK BLUE - 20% BLACK, 20% AZURE BLUE, 60% STANDARD BLUE
	LIGHT BLUE - 20% BLACK, 20% TURQUOISE, 60% SKY BLUE
	LIGHT GREEN - 20% BLACK 20% STANDARD GREEN 60% BRIGHT GREEN
	DARK GREEN - 20% BLACK 20% DARK GREEN 60% STANDARD GREEN
	DARK BROWN - 20% BLACK, 20% BEIGE, 60% BROWN
	LIGHT BROWN - 20% BLACK, 25% CREAM, 55% BEIGE

NOTE: PAINT FOR RECREATIONAL SURFACES SHALL BE 100% ACRYLIC, NON FADING, ALL WEATHER PAINT SUCH AS PLUSH BY LATEX-ITE OR APPROVED EQUIVALENT.

NOTE: SAFETY SURFACE LAYOUT TO BE STAKED AND APPROVED BY PPR IN FIELD PRIOR TO POURING

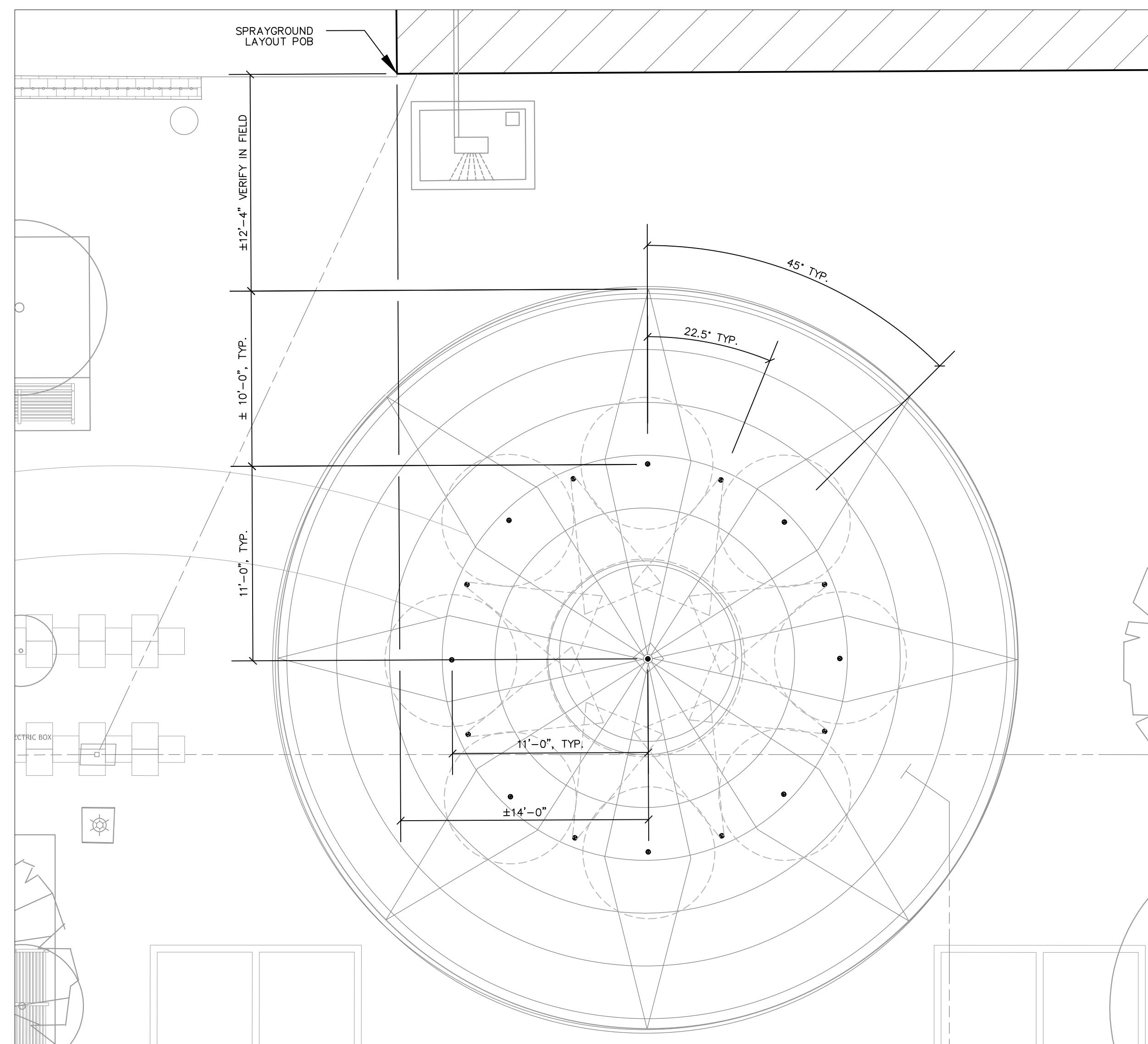


REVISIONS		
ISSUE	DATE	REVISIONS
PENNSYLVANIA ONE CALL SYSTEM, INC. <small>625 Oak Run Road West Mifflin, Pennsylvania 15122 - 1078</small>		
<small>BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH</small>		
<small>PA ONE-CALL NUMBER (FOR DESIGN ONLY):</small>		
<small>PPR PROJECT COORDINATOR:</small>	NICHOLAS UPMEYER	
<small>LAND ARCH. SEAL:</small>		
<small>SIGNATURE:</small>	JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT PA Lic. No. LA001000R	<small>DATE SIGNED:</small>
<small>CIVIL ENG. SEAL:</small>		
<small>PRIMARY CONSULTANT:</small>		
<small>Langan Engineering and Environmental Services, Inc. 1818 Market Street, Suite 3300 Philadelphia, PA 19103 T: 215.845.8900 F: 215.845.8901 www.langan.com</small>		
<small>SUB-CONSULTANT:</small>	Chestnut Engineering <small>2 E Lancaster Ave - 2nd Fl. Ardmore, PA 19003 Phone: (610) 642-1750 www.chestnut-engineering.com</small>	
<small>CONSULTANT PROJECT NUMBER</small>		
<small>SUB-CONSULTANT:</small>	Rodriguez Consulting <small>1301 N 2nd Street Philadelphia, PA 19122 Phone: (215) 839-8087 www.RodriguezConsulting.biz</small>	
<small>CONSULTANT PROJECT NUMBER</small>		
CITY OF PHILADELPHIA PHILADELPHIA PARKS AND RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING <small>PPR PROJECT NUMBER 10-19-4395-01</small>		
<small>PROJECT TITLE:</small>		
IMPROVEMENTS TO MILES MACK PLAYGROUND <small>736 N 36TH ST, PHILADELPHIA, PA</small>		
<small>DRAWING TITLE:</small>		
SITE MATERIALS COLOR SCHEME		
<small>PPR PROJECT NO.:</small>	10-19-4395-01	<small>DRAWING NO.:</small>
<small>CONSULTANT PROJECT NO.:</small>	220104104	<h1 style="font-size: 2em; margin: 0;">L-2.1</h1>
<small>DATE:</small>	01/21/2020	
<small>SCALE:</small>	1"=10'	
<small>DRAWN BY:</small>	YW/ZC	
<small>CHECKED BY:</small>	TG/JUS	
<small>NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.</small>		



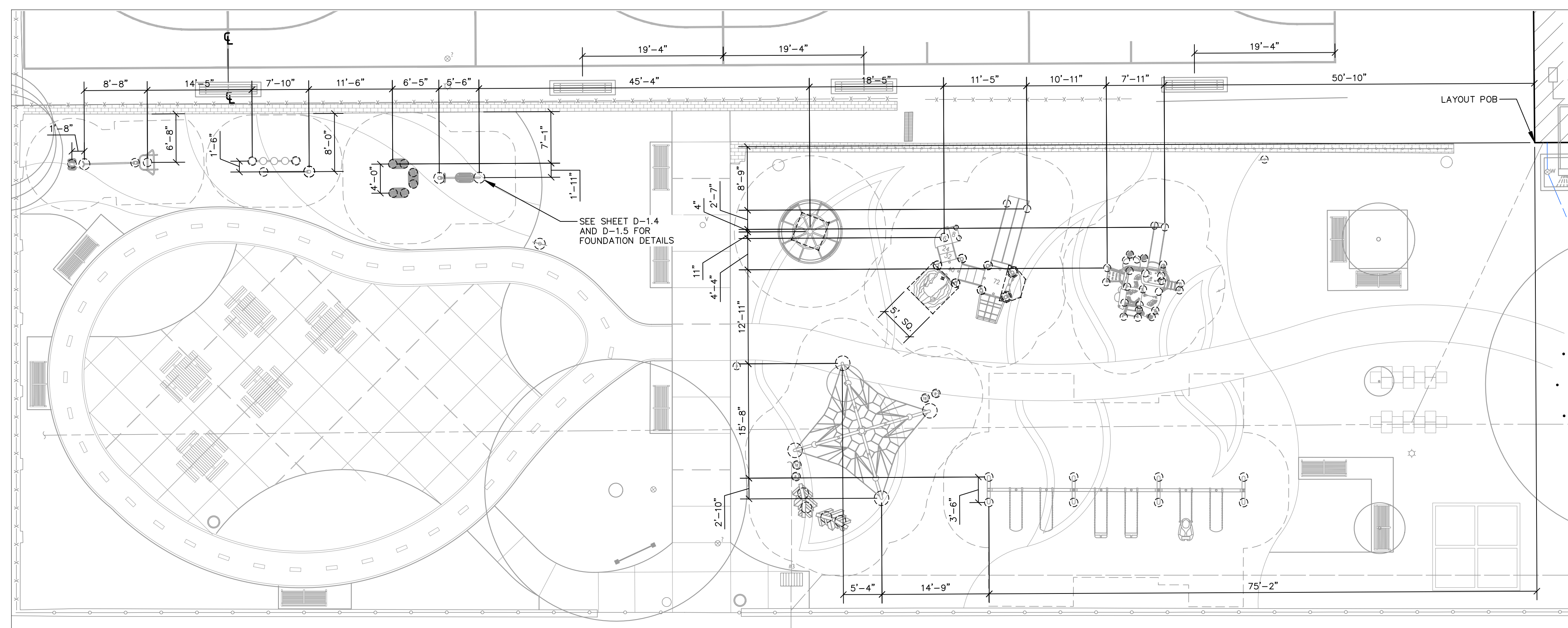
1 TRACK LAYOUT PLAN

1"=10'-0"



2 SPRAYGROUND LAYOUT PLAN

1"=5'-0"

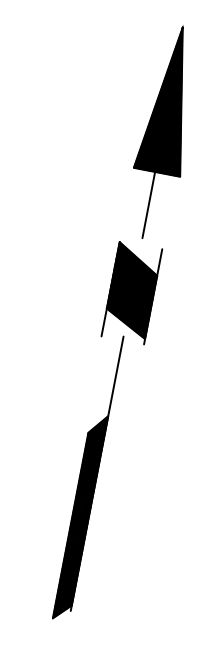


3 PLAY AND FITNESS EQUIPMENT FOUNDATION LAYOUT PLAN

1"=10'-0"

LEGEND

	EXISTING 1 FT MINOR CONTOURS		PROPERTY BOUNDARY
	EXISTING 5 FT MAJOR CONTOURS		EXISTING STORM SEWER
	EXISTING SPOT ELEVATION		EXISTING GAS LINE
	EXISTING UTILITY POLE		EXISTING FENCE LINE
	EXISTING STORM SEWER/INLET		EXISTING WATER MAIN
	EXISTING SIGN		EXISTING DRAINAGE PIPE
	EXISTING LIGHT POLES		EXISTING ELECTRIC
	FIRE HYDRANT		EXISTING SANITARY SEWER
	EXISTING TREE		



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ISSUE	DATE	REVISIONS

PHILADELPHIA MANITO

PENNSYLVANIA ONE CALL SYSTEM, INC.
 625 West Sun Road
 West Mifflin, Pennsylvania
 15122 - 1078

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
 NON-MEMBERS MUST BE CONTACTED DIRECTLY
 PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PPR PROJECT COORDINATOR: NICHOLAS UPMEYER

LAND ARCH. SEAL:

SIGNATURE: JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT
 PA Lic. No. LA001000R

DATE SIGNED:

CIVIL ENG. SEAL:

PRIMARY CONSULTANT:

LANGAN
 Langan Engineering and Environmental Services, Inc.
 1818 Market Street, Suite 3300
 Philadelphia, PA 19103
 T: 215.845.8900 F: 215.845.8901 www.langan.com

SUB-CONSULTANT:

Chestnut Engineering
 2 E Lancaster Ave - 2nd FL
 Ardmore, PA 19003
 Phone: (610) 642-1750
 www.chestnut-engineering.com

CONSULTANT PROJECT NUMBER:

SUB-CONSULTANT:

Rodriguez Consulting
 1301 N 2nd Street
 Philadelphia, PA 19122
 Phone: (215) 839-8087
 www.RodriguezConsulting.biz

CONSULTANT PROJECT NUMBER:

CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING

PPR PROJECT NUMBER: 10-19-4395-01

PROJECT TITLE:
IMPROVEMENTS TO MILES MACK PLAYGROUND
 736 N 36TH ST, PHILADELPHIA, PA

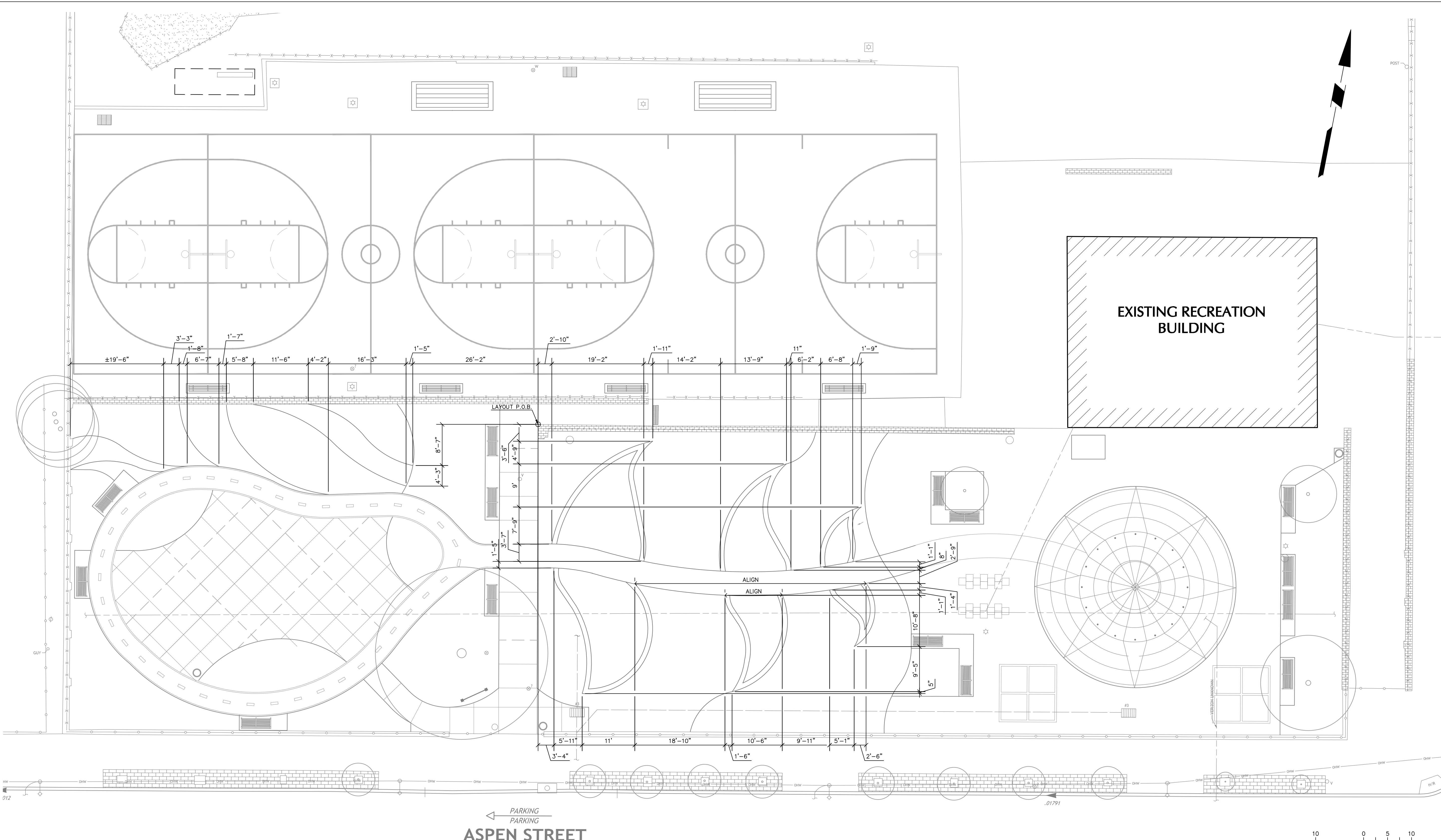
DRAWING TITLE:
SITE LAYOUT PLAN ENLARGEMENTS

PPR PROJECT NO.: 10-19-4395-01	DRAWING NO.:
CONSULTANT PROJECT NO.: 220104104	L-3.1
DATE: 01/21/2020	
SCALE: 1"=10'	
DRAWN BY: YW/ZC	
CHECKED BY: TG/JUS	

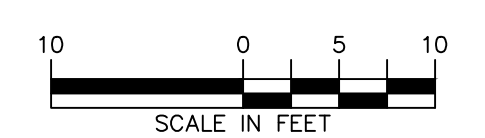
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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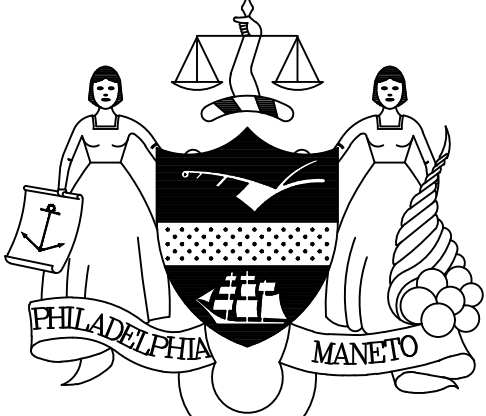
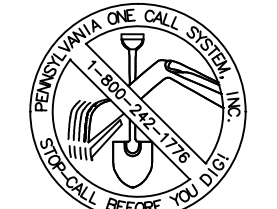
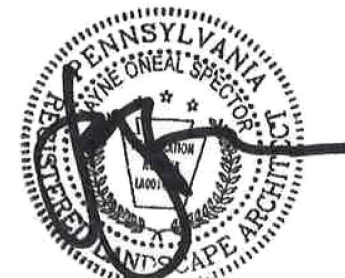





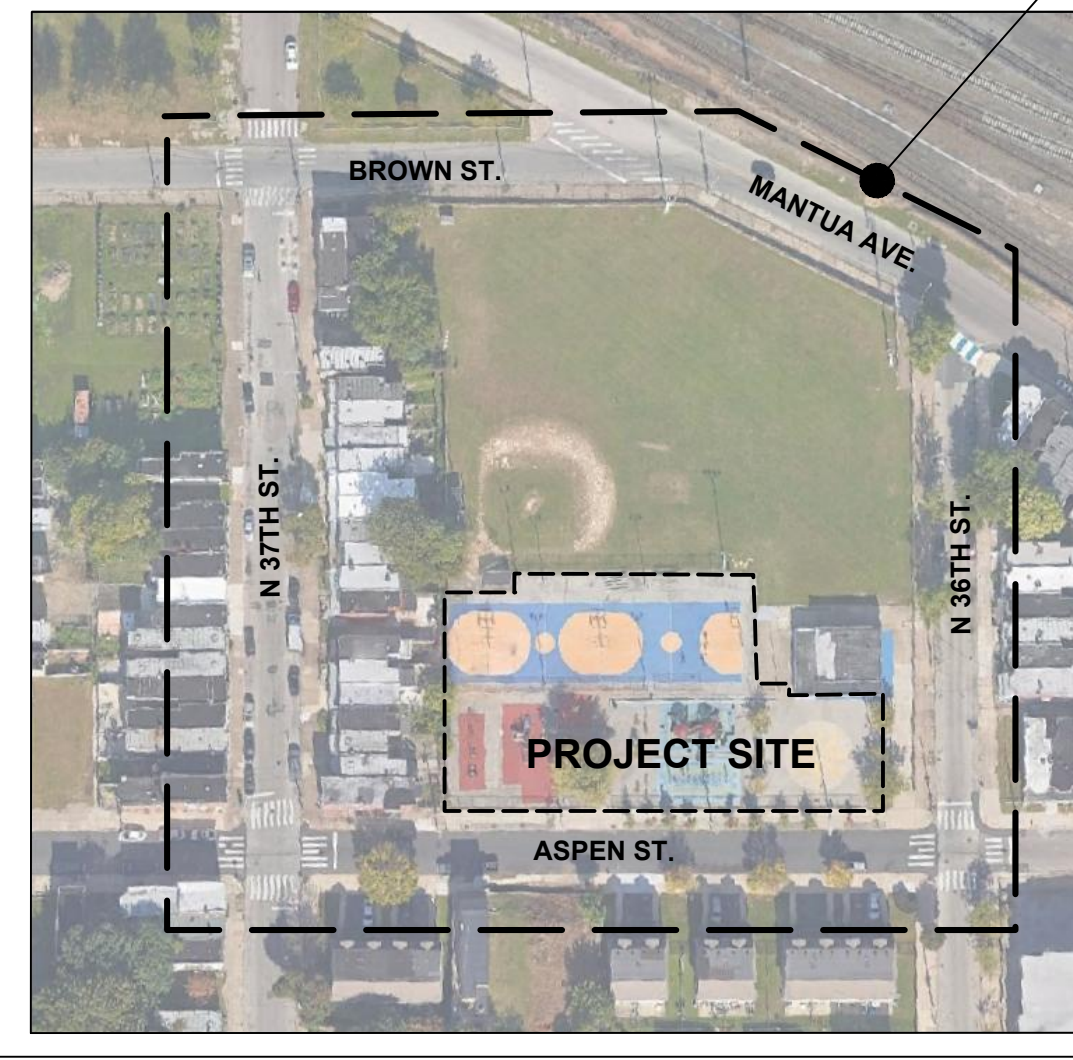
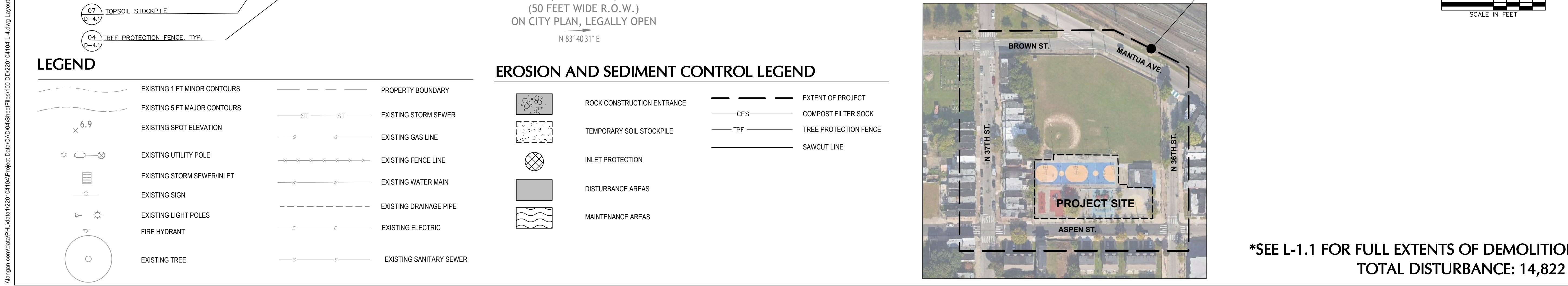
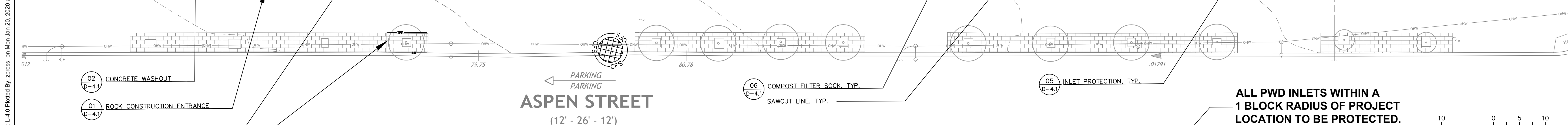
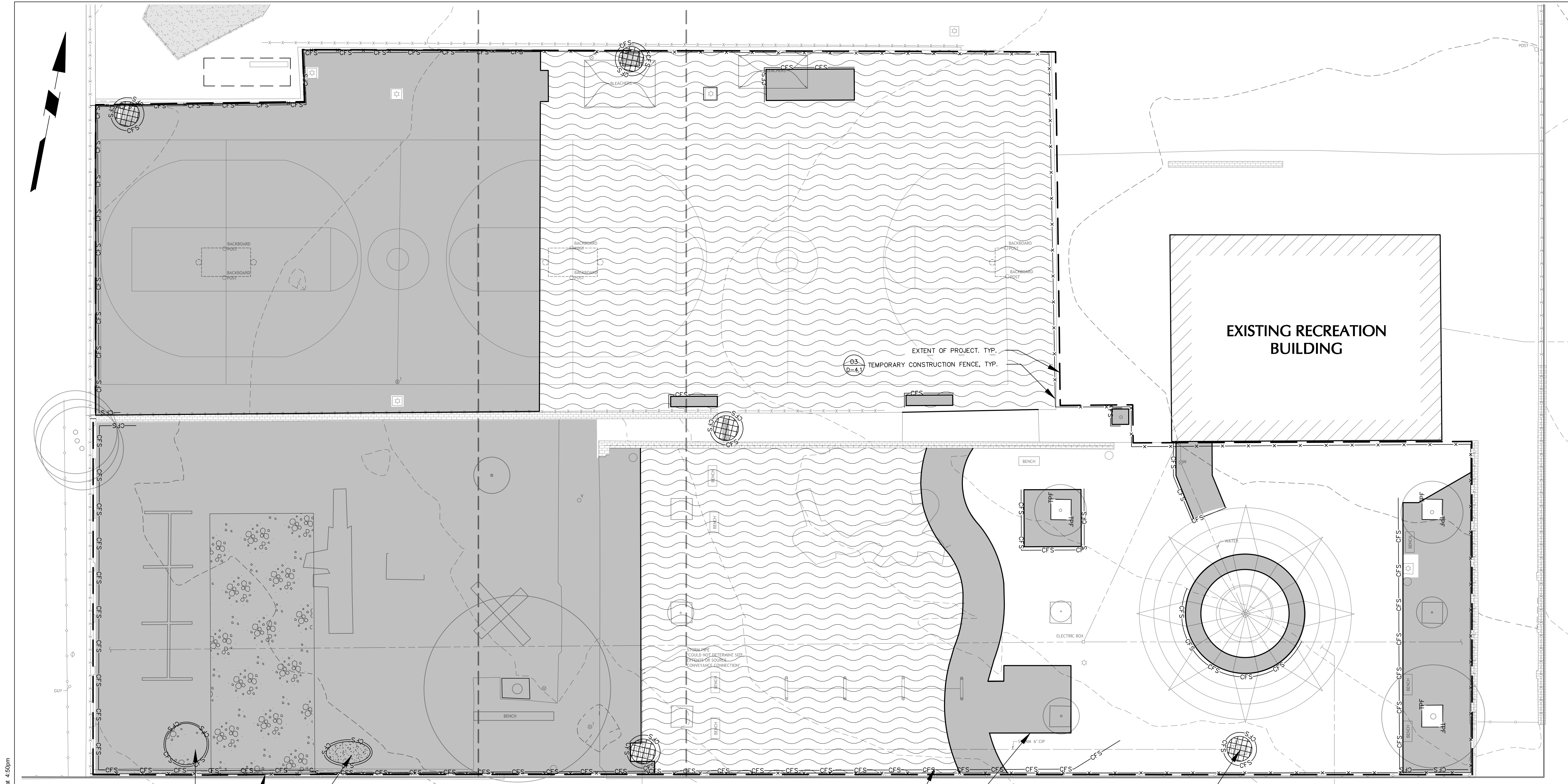
← PARKING
PARKING
ASPEN STREET



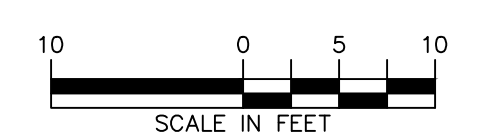
LEGEND

	EXISTING 1 FT MINOR CONTOURS		PROPERTY BOUNDARY
	EXISTING 5 FT MAJOR CONTOURS		EXISTING STORM SEWER
	EXISTING SPOT ELEVATION		EXISTING GAS LINE
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	EXISTING LIGHT POLES		EXISTING ELECTRIC
	FIRE HYDRANT		EXISTING SANITARY SEWER
	EXISTING TREE		

REVISIONS		
ISSUE	DATE	REVISIONS
 PENNSYLVANIA ONE CALL SYSTEM, INC. 625 Oak Run Road West Mifflin, Pennsylvania 15122 - 1078  BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH		
PA ONE-CALL NUMBER (FOR DESIGN ONLY):		
PPR PROJECT COORDINATOR:	NICHOLAS UPMEYER	
LAND ARCH. SEAL:		
SIGNATURE:	JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT PA Lic. No. LA001000R	DATE SIGNED:
CIVIL ENG. SEAL:		
PRIMARY CONSULTANT:	 Langan Engineering and Environmental Services, Inc. 1818 Market Street, Suite 3300 Philadelphia, PA 19103 T: 215.845.8900 F: 215.845.8901 www.langan.com	
SUB-CONSULTANT:	 Chestnut Engineering 2 E Lancaster Ave - 2nd FL Ardmore, PA 19003 Phone: (610) 642-1750 www.chestnut-engineering.com	
SUB-CONSULTANT:	 Rodriguez Consulting 1301 N 2nd Street Philadelphia, PA 19122 Phone: (215) 839-8087 www.RodriguezConsulting.biz	
CITY OF PHILADELPHIA PHILADELPHIA PARKS AND RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PPR PROJECT NUMBER: 10-19-4395-01		
PROJECT TITLE: IMPROVEMENTS TO MILES MACK PLAYGROUND 736 N 36TH ST, PHILADELPHIA, PA		
DRAWING TITLE: SAFETY SURFACE LAYOUT PLAN		
PPR PROJECT NO.:	10-19-4395-01	DRAWING NO.:
CONSULTANT PROJECT NO.:	220104104	L-3.2
DATE:	01/21/2020	
SCALE:	1"=10'	
DRAWN BY:	YW/ZC	
CHECKED BY:	TGJS	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.		



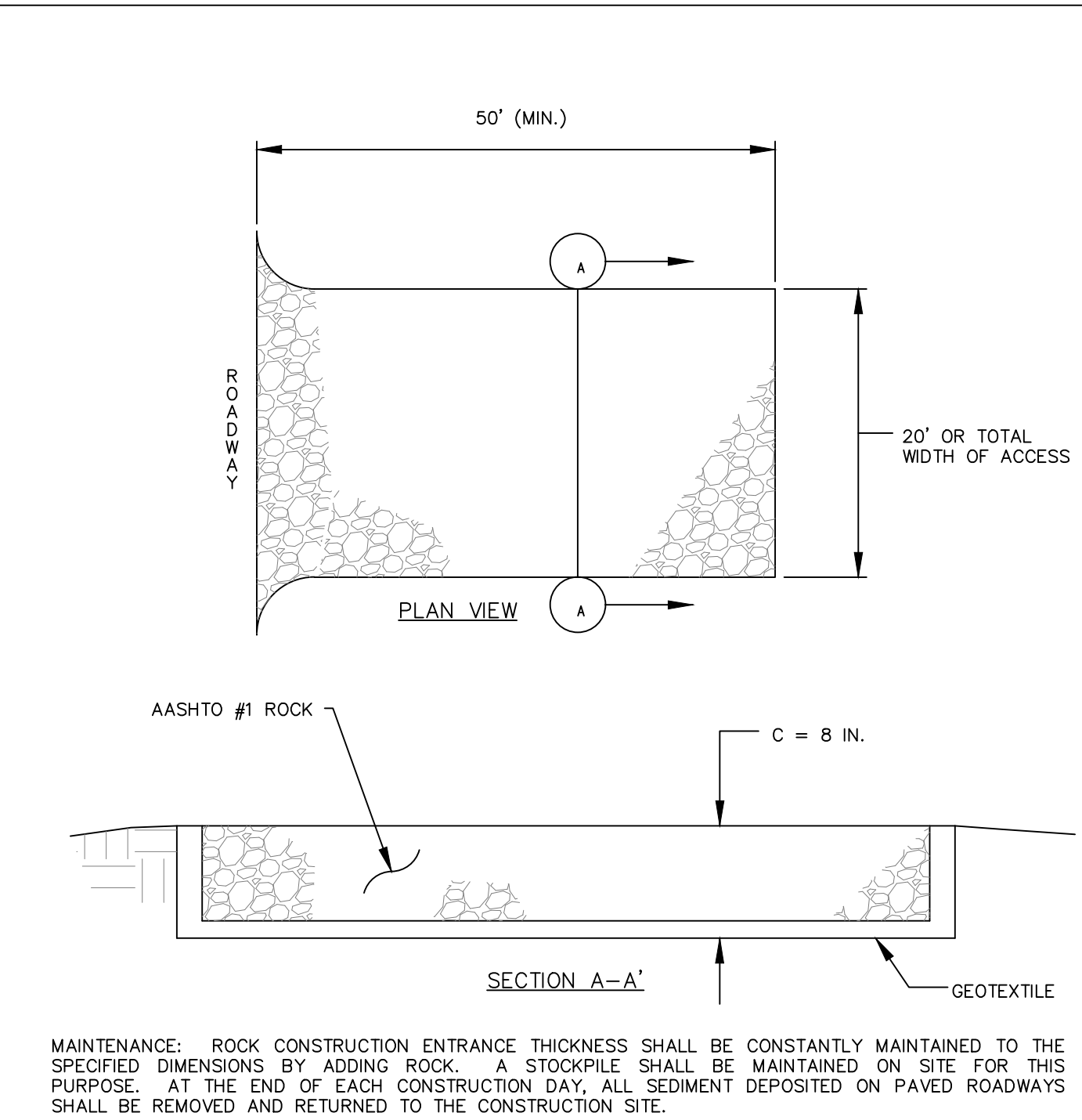
ALL PWD INLETS WITHIN A 1 BLOCK RADIUS OF PROJECT LOCATION TO BE PROTECTED.



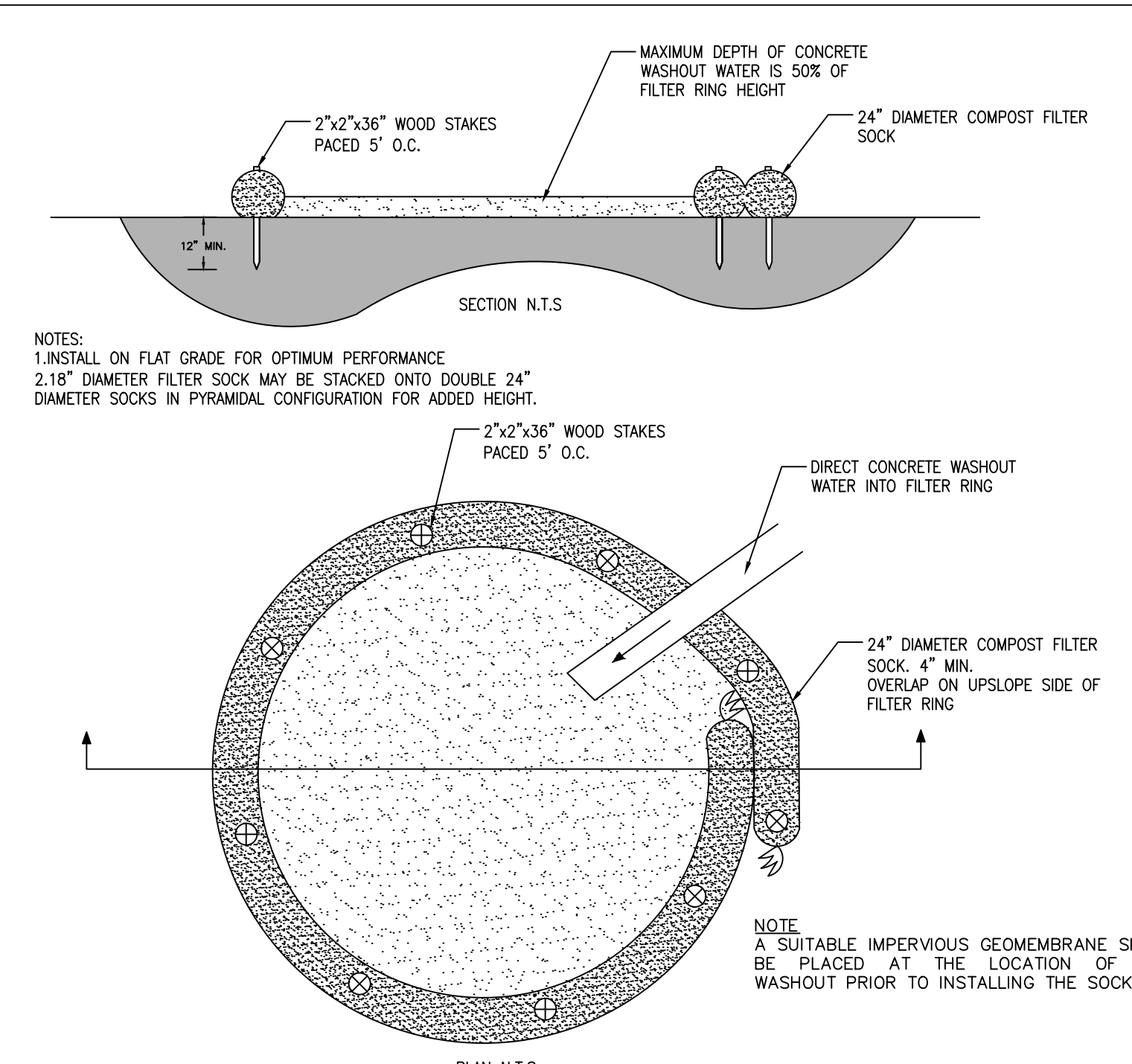
REVISIONS		
ISSUE	DATE	REVISIONS
PENNSYLVANIA ONE CALL SYSTEM, INC. 625 Oak Run Road West Mifflin, Pennsylvania 15122 - 1078 		
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH		
PA ONE-CALL NUMBER (FOR DESIGN ONLY):		
PPR PROJECT COORDINATOR:	NICHOLAS UPMEYER	
LAND ARCH. SEAL:		
SIGNATURE:	JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT PA Lic. No. LA001000R	DATE SIGNED:
CIVIL ENG. SEAL:		
PRIMARY CONSULTANT:	LANGAN Langan Engineering and Environmental Services, Inc. 1818 Market Street, Suite 3300 Philadelphia, PA 19103 T: 215.845.8900 F: 215.845.8901 www.langan.com	
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CONSULTANT PROJECT NUMBER:	10-19-4395-01	
SUB-CONSULTANT:	Rodriguez Consulting 1301 N 2nd Street Philadelphia, PA 19122 Phone: (215) 839-8087 www.RodriguezConsulting.biz	
CONSULTANT PROJECT NUMBER:	10-19-4395-01	
CITY OF PHILADELPHIA PHILADELPHIA PARKS AND RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING		
PPR PROJECT NUMBER:	10-19-4395-01	
PROJECT TITLE:	IMPROVEMENTS TO MILES MACK PLAYGROUND 736 N 36TH ST, PHILADELPHIA, PA	
DRAWING TITLE:	EROSION AND SEDIMENT CONTROL PLAN	
PPR PROJECT NO.:	10-19-4395-01	DRAWING NO.:
CONSULTANT PROJECT NO.:	220104104	
DATE:	01/21/2020	
SCALE:	1"=10'	L-4.0
DRAWN BY:	YW/ZC	
CHECKED BY:	TG/JS	
NOTE:	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

*SEE L-1.1 FOR FULL EXTENTS OF DEMOLITION
TOTAL DISTURBANCE: 14,822 SF

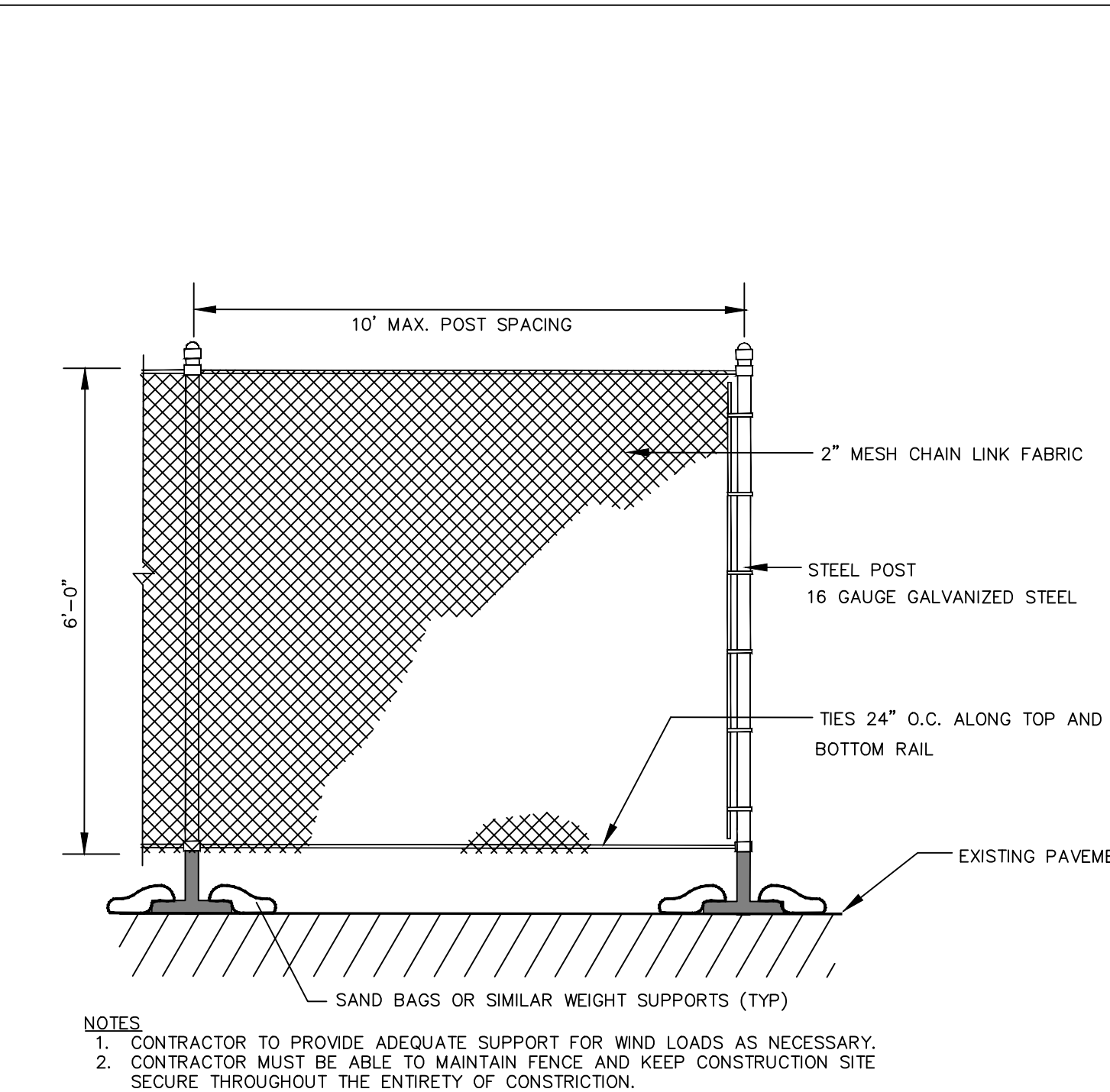
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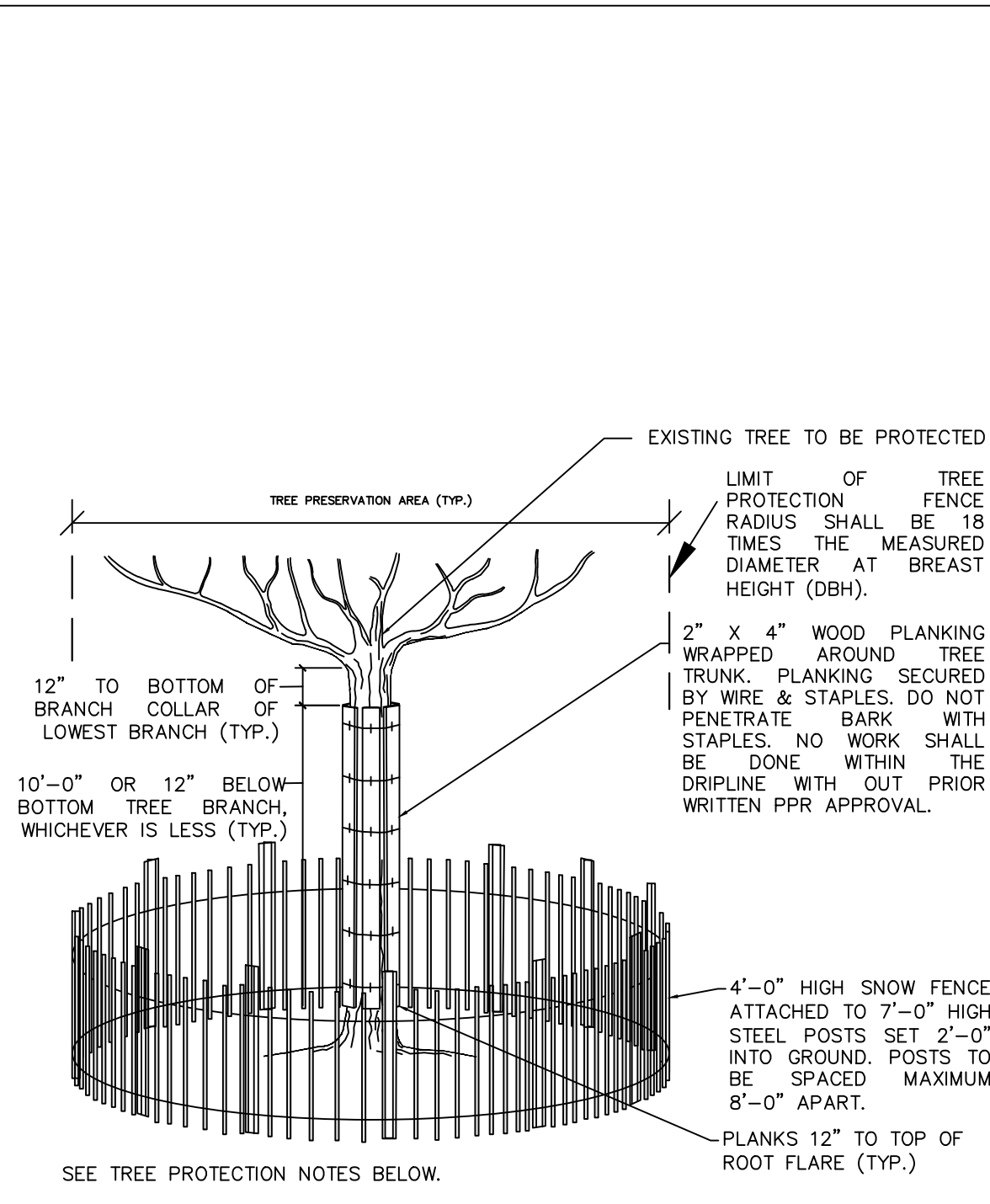
1 ROCK CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



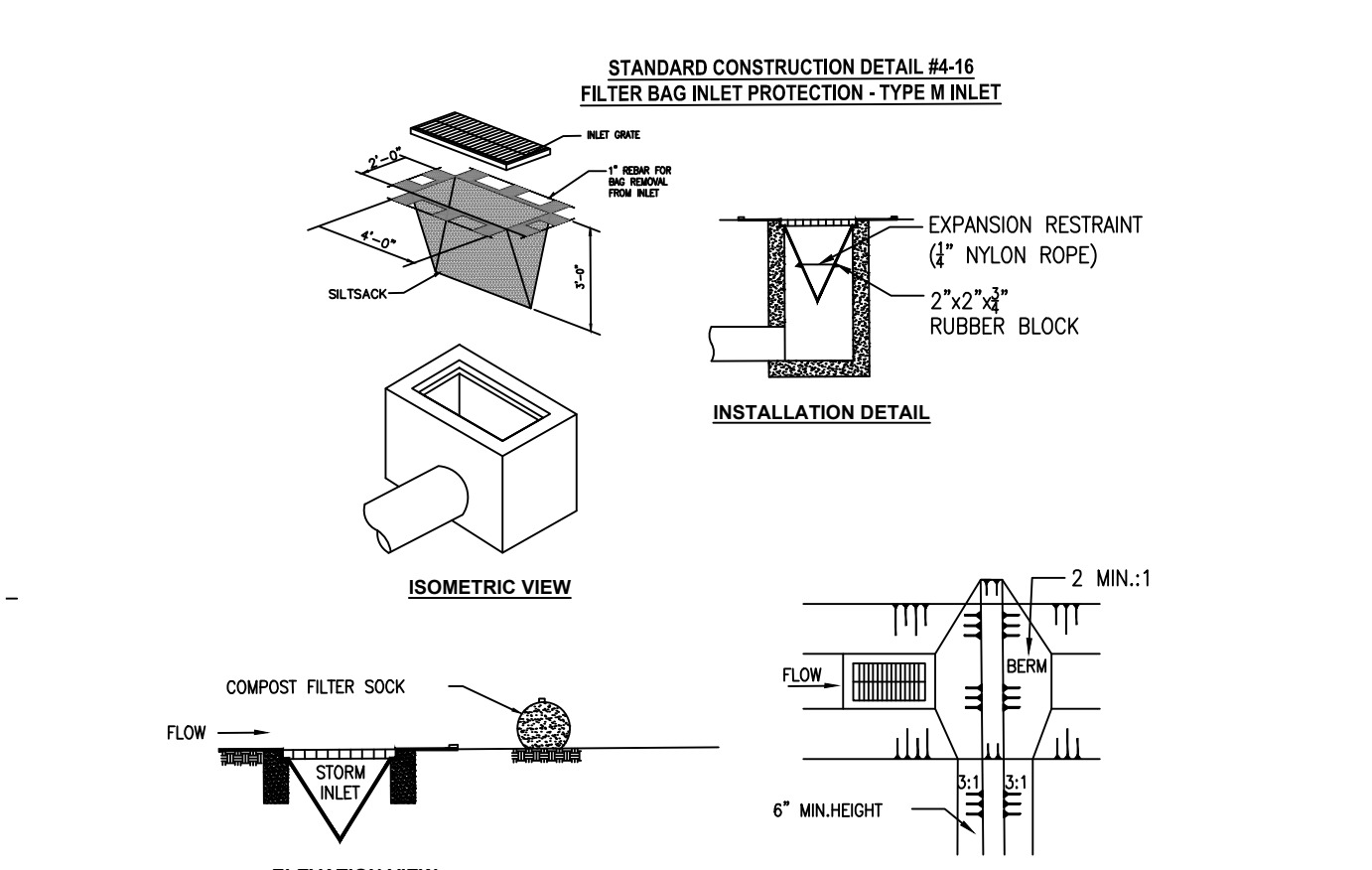
2 CONCRETE WASHOUT AREA DETAIL
NOT TO SCALE



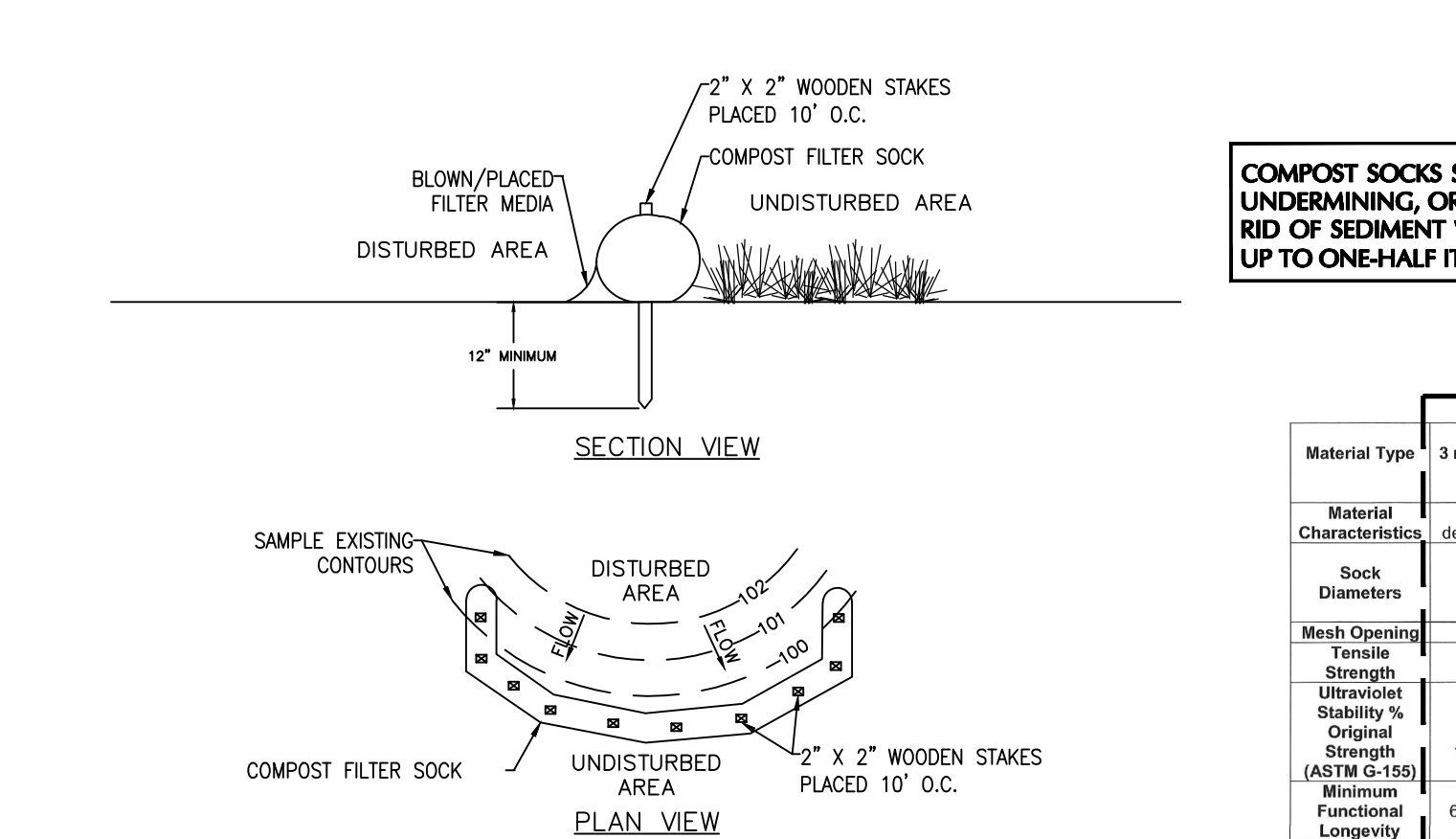
3 TEMPORARY CONSTRUCTION FENCE
NOT TO SCALE



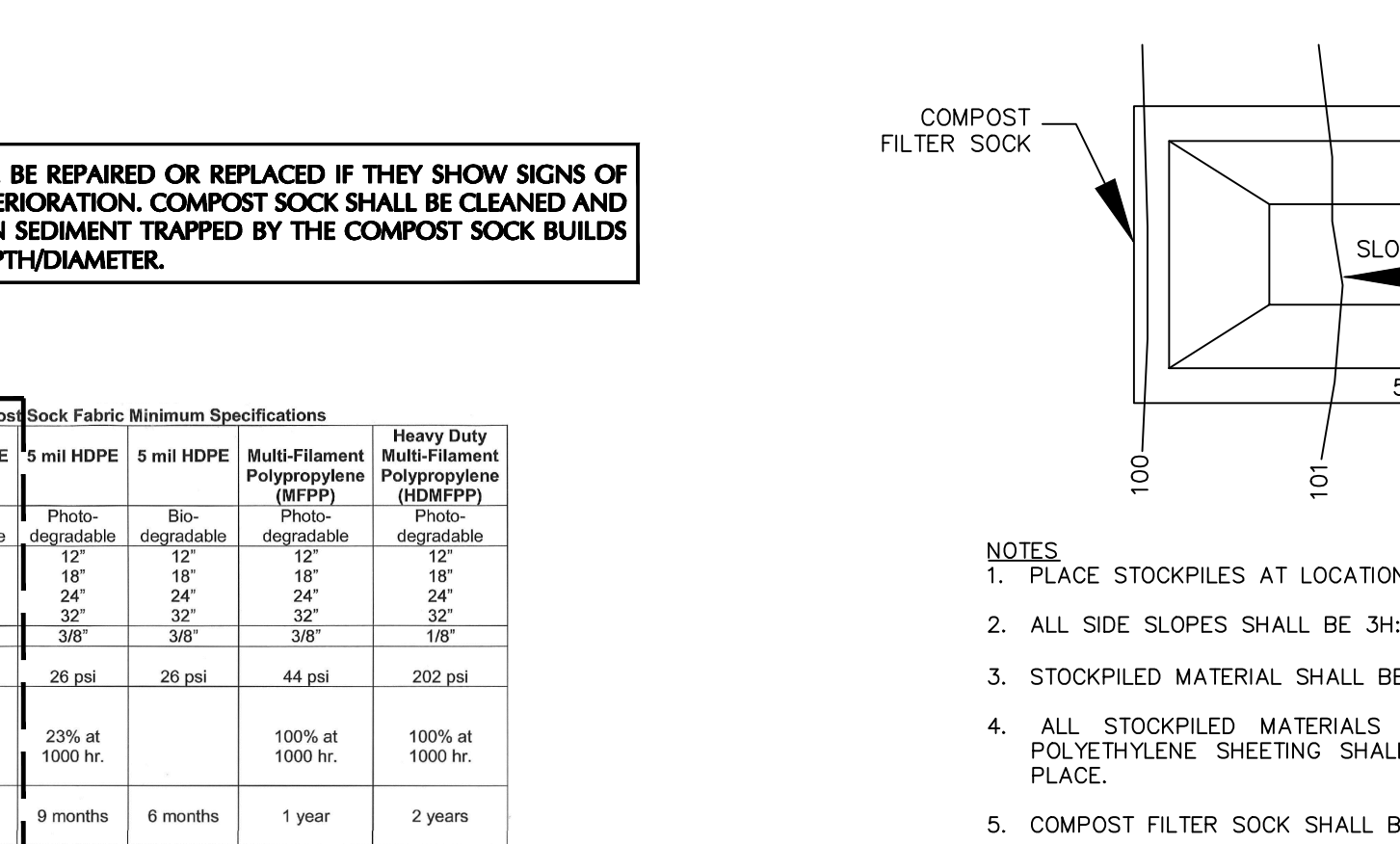
4 TREE PROTECTION FENCING
NOT TO SCALE



5 INLET PROTECTION DETAIL
NOT TO SCALE



6 COMPOST FILTER SOCK
NOT TO SCALE



7 SOIL STOCKPILE DETAIL
NOT TO SCALE

EROSION AND SEDIMENTATION CONTROL NOTES:

- ALL SEDIMENT AND EROSION CONTROL PRACTICES (BMP'S) ARE TO BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL PRIOR TO ANY SOIL DISTURBANCE IN THEIR PROPER SEQUENCE WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE STABILIZED IMMEDIATELY. ANY DISTURBED AREAS NOT SUBJECT TO CONSTRUCTION TRAFFIC AND LEFT EXPOSED SHALL BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING. THE DISTURBED AREAS WILL BE MULCHED WITH UNROTTED STRAW OR SALT OR SALT HAY AT A MINIMUM RATE OF 1,200 LBS PER 1,000 SQUARE YARDS OR AN EQUIVALENT MEASURE ACCORDING TO STATE STANDARDS. SEE STABILIZATION MATERIALS BELOW.
- PERMANENT VEGETATION TO BE IMMEDIATELY SEEDING OR SOODED ON ALL EXPOSED AREAS AFTER FINAL GRADING. MULCH TO BE USED AT A RATE OF 1,200 LBS PER 1,000 SQUARE YARDS FOR PROTECTION UNTIL SEEDING IS ESTABLISHED. SEE SEEDING MIXTURE BELOW.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH PENNSYLVANIA EROSION AND SEDIMENT POLLUTION CONTROL MANUAL.
- PRIOR TO ANY SITE GRADING, DRAINAGE FACILITIES SHALL BE INSTALLED TO ALLOW FOR THE MAJORITY OF STORED FLOW TO BE TRANSPORTED TO THE PROPOSED OUTLET WITHOUT ERODING THE SITE.
- ALL INLETS NOT TO BE USED AS SEDIMENT TRAPS, SHALL BE TEMPORARILY PROTECTED BY FILTERS PLACED IMMEDIATELY AFTER THEIR CONSTRUCTION. FILTER SHALL REMAIN IN PLACE UNTIL SITE IS PERMANENTLY STABILIZED.
- ALL DISTURBED AREAS SHALL BE LIMED OR FERTILIZED IN ACCORDANCE WITH HORTICULTURAL PRACTICES PRIOR TO EITHER TEMPORARY OR PERMANENT SEEDING.
- STABILIZATION MATERIALS:
 - TEMPORARY SEEDING
 - THE SURFACES OF EXPOSED EARTH AREAS NOT SUBJECT TO CONSTRUCTION SHALL BE TEMPORARILY SEEDING AND MULCHED.
 - SEEDING SHALL OCCUR IMMEDIATELY AFTER THE ESTABLISHMENT OF ROUGH GRADED AREAS. THE FOLLOWING SEED SHALL BE PLANTED: RYEGRASS - BLUE TAG CERTIFIED - 100% - 4 TO 5 LBS. PER 1,000 SQUARE FEET. ANNUAL TYPE - TYPICAL, PERENNIAL TYPE - NOT APPLICABLE.
 - PREPARE ALL AREAS TO BE SEEDING AS FOLLOWS:
 - REMOVE ALL DEBRIS, INCLUDING LARGE STONES, TILL SOIL TO A DEPTH OF SIX INCHES. APPLY LIME AT A RATE RECOMMENDED BY APPROVED SOIL TEST.
 - BEFORE AUGUST, SEPTEMBER OR OCTOBER SEEDING, APPLY 20-25 LBS. OF 5-10-10 FERTILIZER PER 1,000 SQUARE FEET. BEFORE FEBRUARY, MARCH, APRIL, MAY, JUNE, JULY, OR NOVEMBER SEEDING, APPLY 40 LBS. OF 10-20-10 FERTILIZER PER 1,000 SQUARE FEET. WORK INTO THE TOP INCH OF SOIL.
 - SOW SEED AT THE INDICATED RATE. DIVIDE SEED INTO TWO EQUAL LOTS. SOW ONE LOT IN ONE DIRECTION, SOW SECOND LOT AT RIGHT ANGLE TO FIRST LOT. RAKE SEEDED AREA SLIGHTLY. ROLL SURFACE LIGHTLY TO FIRM SOIL AROUND PERIMETER.
 - PLACE CLEAN DRY STRAW OR HAY MULCH WITHIN 48 HOURS AFTER SEEDING. PLACE SEED AT THE RATE INDICATED ON PLANS.

COMPOST STANDARDS

Organic Matter Content	25% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.5
Moisture Content	30% - 90%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dSm (mmhos/cm) Maximum

TABLE 4.2

NOTE: COMPOST FILTER SOCK MATERIAL SHALL BE BIODEGRADABLE. PROVIDE SUBMITTAL TO OWNER'S ENGINEER FOR REVIEW.

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12", 18"	12", 18", 24"	12", 18", 24", 30", 36"	12", 18", 24", 30", 36"	12", 18", 24", 30", 36"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	3/8"
Tensile Strength	26 psi	26 psi	44 psi	202 psi	202 psi
UV Stability % Original Strength (ASTM G515)	23% at 1000 hr.	23% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

TABLE 4.1

TABLE 4.2

USE

NOTE: COMPOST SOCKS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETRIORATION. COMPOST SOCK SHALL BE CLEANED AND RID OF SEDIMENT WHEN SEDIMENT TRAPPED BY THE COMPOST SOCK BUILDS UP TO ONE-HALF ITS DEPTH/DIAMETER.

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USE

NOTE: COMPOST SOCKS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETRIORATION. COMPOST SOCK SHALL BE CLEANED AND RID OF SEDIMENT WHEN SEDIMENT TRAPPED BY THE COMPOST SOCK BUILDS UP TO ONE-HALF ITS DEPTH/DIAMETER.

CONSTRUCTION SEQUENCING:

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED.
- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVIATE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION THE SEDIMENTATION CONTROL PLAN PREPARER AND THE REPRESENTATIVE OF THE PWD TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- LIMITS OF DISTURBANCE ARE TO BE MARKED IN THE FIELD ALONG THE PERIMETER DESCRIBED ON THE PLAN.
- INSTALL CONSTRUCTION ENTRANCE AS INDICATED ON THE PLAN. CONSTRUCTION ENTRANCE SHALL BE SWEEP ON A WEEKLY BASIS OR SOONER AS REQUIRED.
- INSTALL FILTER FABRIC FENCE AND CONSTRUCTION FENCE IMMEDIATELY, AS SHOWN ON THE PLANS OR INDICATED IN DETAILS, PRIOR TO ANY EARTH DISTURBANCE.
- INSTALL INLET PROTECTION TO EXISTING INLET. SEE PLANS FOR DETAIL.
- INSTALL TREE PROTECTION FENCE. SEE PLAN FOR DETAILS.
- DEMOLISH ANY ON-SITE FEATURES AS NECESSARY. DELETERIOUS MATERIALS, INCLUDING, BUT NOT LIMITED TO, BRUSH, TREES, STUMPS AND DEMOLITION DEBRIS SHOULD BE DISPOSED OF OFF-SITE ACCORDING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS. THIS WORK SHOULD BE PERFORMED IN CONFORMANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND TECHNICAL SPECIFICATIONS PREPARED FOR THIS PROJECT.
- REMOVE EXISTING CURBING AND ASPHALT FROM SITE AS INDICATED IN THE PLANS AS NECESSARY TO COMPLETE CONSTRUCTION.
- ROUGH GRADE SOIL AS NECESSARY TO SUITABLE SUB-GRADE ELEVATIONS. GRADES SHOWN REPRESENT FINAL GRADING.
- BEGIN CONSTRUCTION OF PLAYGROUND ELEMENTS AND SUBSURFACE ELEMENTS. BEGIN AND CONTINUE INSTALLATION OF UTILITIES INCLUDING BUT NOT LIMITED TO WATER AND STORM DRAINAGE STRUCTURES, WITH INLET PROTECTION. TRENCH EXCAVATION SHOULD BE LIMITED TO THE LENGTH OF PIPE THAT CAN BE COMPLETED IN ONE DAY.
- INSTALL SUB-BASE IN NEW PLAY SURFACE AREAS, ASPHALT AND CONCRETE AREAS INDICATED ON PLANS.
- FINAL GRADE ALL LANDSCAPE ISLANDS AND AREAS, PLANT TREES AND SHRUBS.
- CLEAR SITE OF ALL EXTRANEOUS DEBRIS AND STRUCTURAL MATERIAL.
- INSTALL PAVEMENT AND PLAY SURFACES.
- RESTORE FINISH GRADES. PREPARE SEED AREAS IN CONFORMANCE WITH SPECIFICATIONS.
- SEED LAWN AREAS.
- REPAIR AND RESTORE ACCESS PATHS AND DAMAGED AREAS TO CONDITIONS AS NOTED ON PLANS.
- REMOVE REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES WHEN ALL CONTRIBUTING DRAINAGE AREAS BECOME STABILIZED. ANY AREA DISTURBED DURING THE REMOVAL OF THESE FACILITIES SHALL BE STABILIZED IMMEDIATELY.

REVISIONS

ISSUE	DATE	REVISIONS

PENNSYLVANIA ONE CALL SYSTEM, INC.
625 West Sun Run Road
West Mifflin, Pennsylvania
15122 - 1078

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS
NOTE: TO UTILIZE BEFORE YOU DIG, YOU MUST
DRILL EAST OR DEMOLISH

PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PRR PROJECT COORDINATOR: **NICHOLAS UPMEYER**

LAND ARCH. SEAL:

JAYNE O. SPECTOR
PROFESSIONAL LANDSCAPE ARCHITECT
PA Lic. No. LA001000R

CIVIL ENG. SEAL:

LANGAN
Langan Engineering and Environmental Services, Inc.
1818 Market Street, Suite 3000
Philadelphia, PA 19103

T: 215.845.8900 F: 215.845.8901 www.langan.com

SUB-CONSULTANT: **Chestnut Engineering**
2 E Lancaster Ave - 2nd Fl.
Ardmore, PA 19003
Phone: (610) 642-1750
www.chestnut-engineering.com

CONSULTANT PROJECT NUMBER

SUB-CONSULTANT: **Rodriguez Consulting**
1301 N 2nd Street
Philadelphia, PA 19122
Phone: (215) 839-8087
www.RodriguezConsulting.biz

CONSULTANT PROJECT NUMBER

CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PRR PROJECT NUMBER: 10-19-4395-01

PROJECT TITLE: **IMPROVEMENTS TO MILES MACK PLAYGROUND**
736 N 36TH ST, PHILADELPHIA, PA

DRAWING TITLE: **EROSION AND SEDIMENT CONTROL NOTES AND DETAILS**

PRR PROJECT NO.: 10-19-4395-01 DRAWING NO.: 220104104

DATE: 01/21/2020

SCALE: AS SHOWN

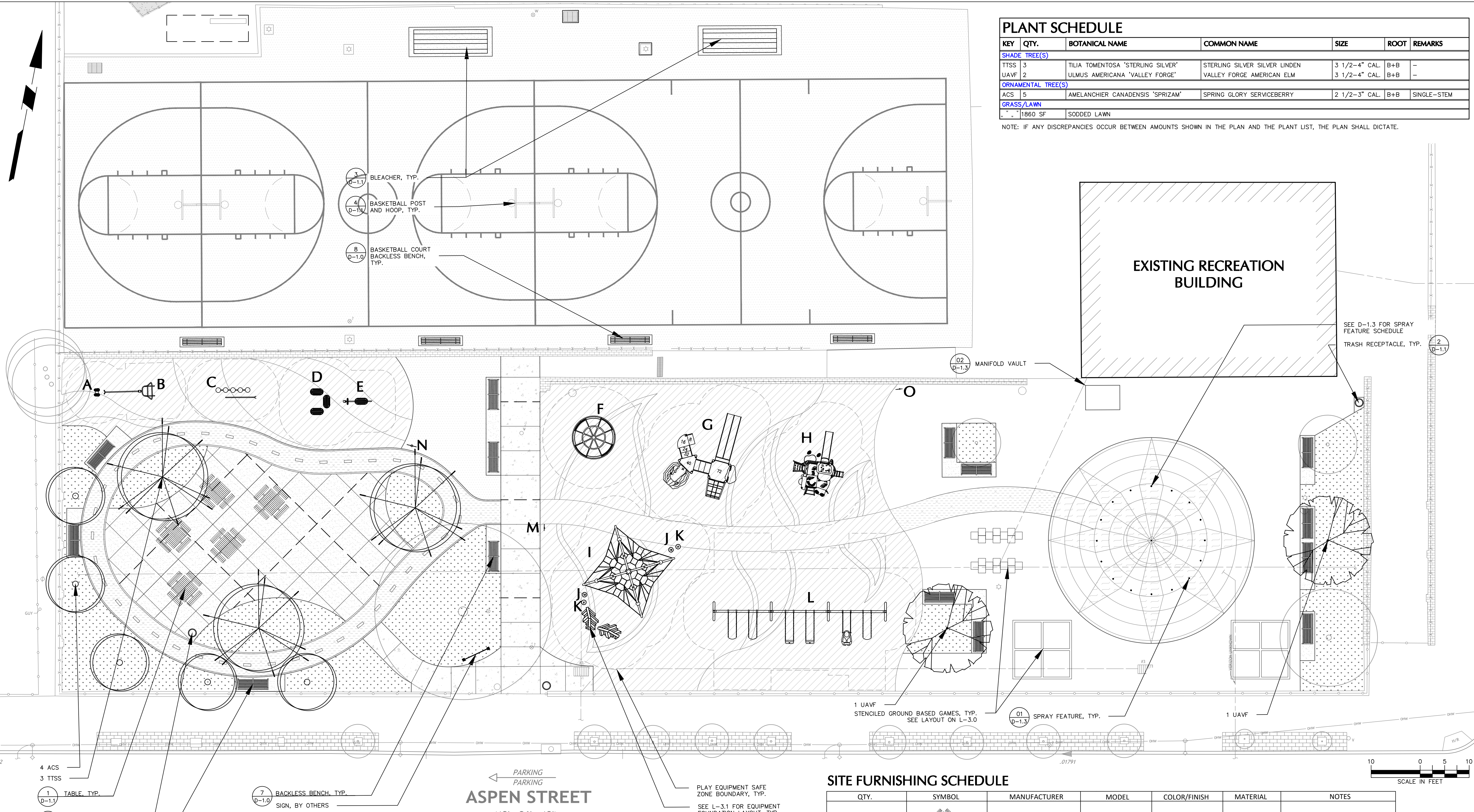
DRAWN BY: YWZCC

CHECKED BY: TGJMS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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L-4.1



PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
TTSS	3	TILIA TOMENTOSA 'STERLING SILVER'	STERLING SILVER SILVER LINDEN	3 1/2-4" CAL.	B+B	--
UAVF	2	ULMUS AMERICANA 'VALLEY FORGE'	VALLEY FORGE AMERICAN ELM	3 1/2-4" CAL.	B+B	--
ORNAMENTAL TREE(S)						
ACS	5	AMELANCHIER CANADENSIS 'SPRIZAM'	SPRING GLORY SERVICEBERRY	2 1/2-3" CAL.	B+B	SINGLE-STEM
GRASS/LAWN						
	1	1860 SF	SOODED LAWN			

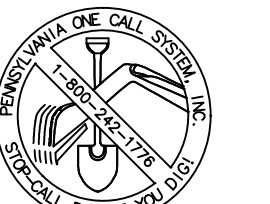
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

REVISIONS

ISSUE	DATE	REVISIONS



PENNSYLVANIA ONE CALL SYSTEM, INC.
825 1st Ave. 2nd Floor
West Chester, Pennsylvania
19380 - 1078

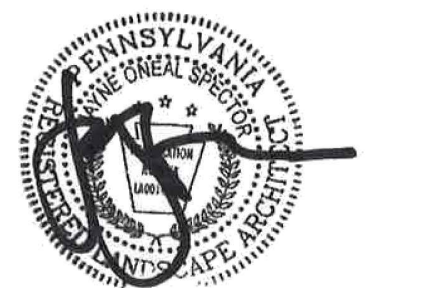


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PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PRR PROJECT COORDINATOR: NICHOLAS UPMEYER

LAND ARCH. SEAL:



SIGNATURE: JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT
PA Lic. No. LA001000R

CIVIL ENG. SEAL:

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CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PRR PROJECT NUMBER: 10-19-4395-01

PROJECT TITLE: **IMPROVEMENTS TO MILES MACK PLAYGROUND**
736 N 36TH ST, PHILADELPHIA, PA

DRAWING TITLE: **PLANTING AND SITE FURNISHING PLAN**

PRR PROJECT NO.: 10-19-4395-01

CONSULTANT PROJECT NO.: 220104104

DATE: 01/21/2020

SCALE: 1"=10'

DRAWN BY: YW/ZC

CHECKED BY: TG/JS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

SITE FURNISHING SCHEDULE

QTY.	SYMBOL	MANUFACTURER	MODEL	COLOR/FINISH	MATERIAL	NOTES
3		DUMOR, INC.	76-PL-4-S1	BLACK	RECYCLED PLASTIC/STEEL	STANDARD TABLE
2		DUMOR, INC.	76-PL-3-S1	BLACK	RECYCLED PLASTIC/STEEL	ACCESSIBLE TABLE
3		DUMOR, INC.	164 SERIES BACKLESS	BLACK	STEEL	ALL BENCHES TO INCLUDE FAIRMOUNT PARK DESIGNED CENTRAL ARMREST
11		DUMOR, INC.	160 SERIES-3AR	BLACK	STEEL	ALL BENCHES TO INCLUDE FAIRMOUNT PARK DESIGNED CENTRAL ARMREST
3		DUMOR, INC.	157-32-FTO	BLACK	STEEL	LITTER RECEPTACLE
4		DUMOR, INC.	139-80	BLACK	RECYCLED PLASTIC AND STEEL	BACKLESS; SURFACE MOUNT INTO CONCRETE PAVING UNDER BENCH
2		PW ATHLETIC	1171-315G	BLACK	STEEL	STANDARD SERIES 3-ROW 15' BLEACHER
5		BISON, INC.	BA873U-BK	BLACK	POLYCARBONATE	

FITNESS EQUIPMENT SCHEDULE

Type	Quantity	Name	Age	Sensory Systems Engaged
A	1	Healthbeat Stretch	13 years and older	Vestibular, Proprioception, Tactile
B	1	Healthbeat Pull-Up/Dip	13 years and older	Vestibular, Proprioception, Tactile
C	1	Healthbeat Balance Steps	13 years and older	Proprioception, Tactile
D	3	Healthbeat Plyometrics	13 years and older	Vestibular, Proprioception, Tactile
E	1	Healthbeat Ab crunch/leg lift	13 years and older	Vestibular, Proprioception, Tactile

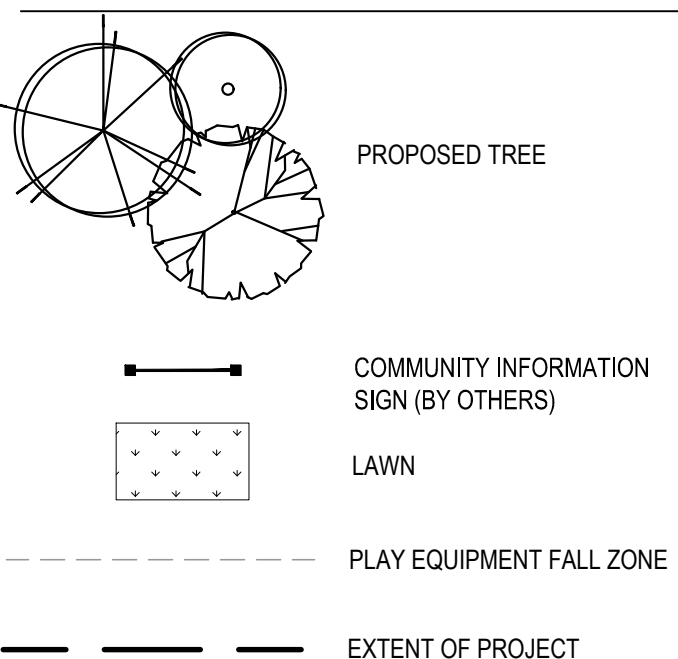
PLAY EQUIPMENT SCHEDULE

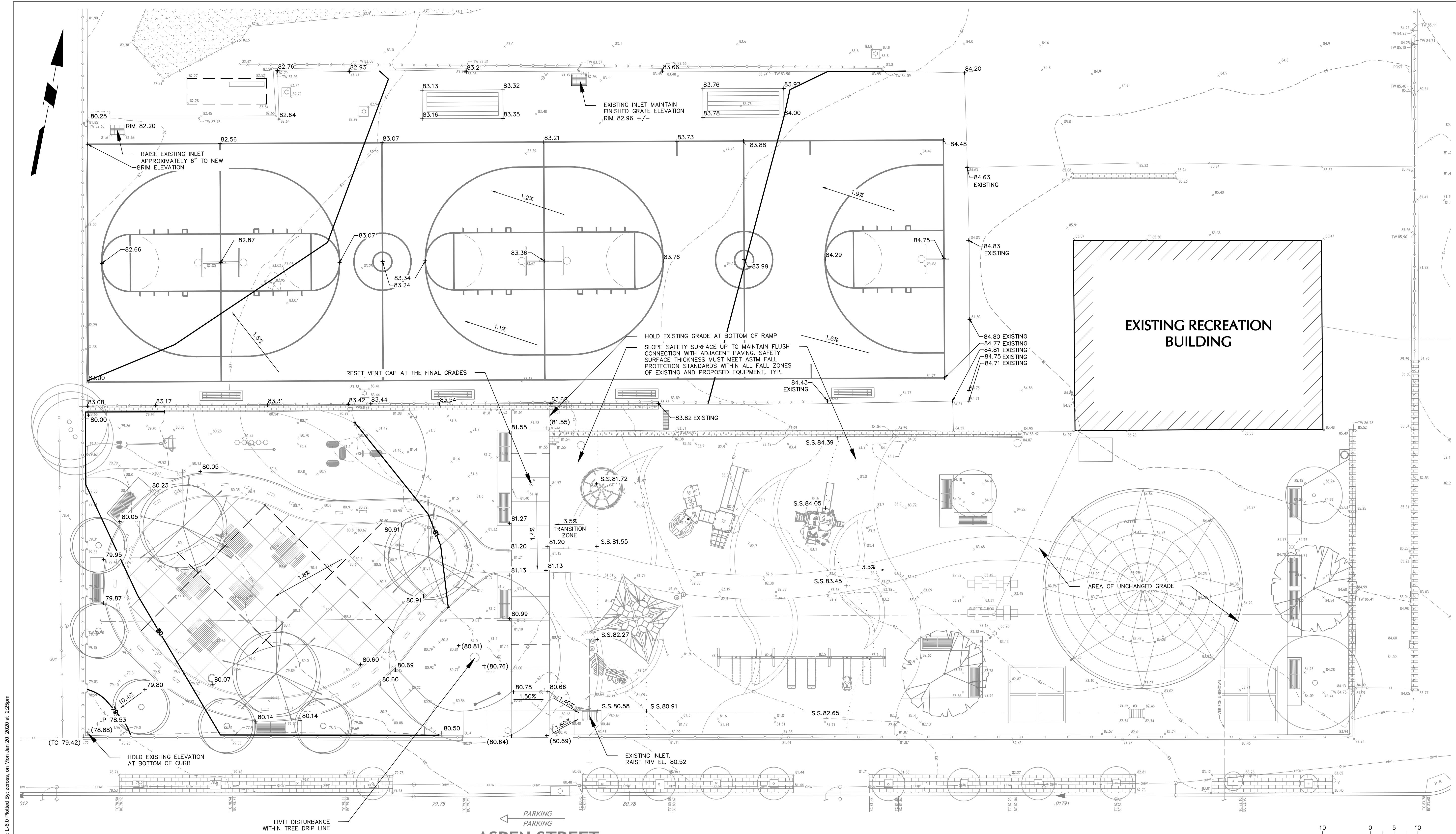
Type	Quantity	Name	Age	Sensory Systems Engaged
F	1	We-go-round w/seasons digifuse panels 2seats	2-12	Vestibular, Proprioception
	1	Stainless Steel Double Slide	5-12	Vestibular, Proprioception
	1	The ascent rock	5-12	Vestibular, Proprioception, Tactile
	1	Crest climber w/permeable handholds	5-12	Vestibular, Proprioception, Tactile
	1	Peak Rock climber	5-12	Vestibular, Proprioception, Tactile, Visual
	1	Deck link w/barriers & steel end panels three steps	N.A.	N.A.
	1	Transfer module	N.A.	N.A.
H	1	Smart Play Motion	2-5	Vestibular, Proprioception, Tactile, Visual, Auditory
I	1	Eclipse climber net	5-12	Vestibular, Proprioception, Tactile, Visual
J	2	Log stepper 18" height	5-12	Vestibular, Proprioception, Tactile, Visual
K	2	Log stepper 8" height	5-12	Vestibular, Proprioception, Tactile, Visual
	2	Additional bay swing frame 8ft w/anti-wrap hangers	5-12	N.A.
	2	Full bucket seat swing 8' beam height	5-12	Vestibular, Proprioception, Tactile, Visual
	3	Belt seat swing 8' beam height	5-12	Vestibular, Proprioception, Tactile, Visual
	1	Molded bucket seat w/ harness swing 8' beam height	5-12	Vestibular, Proprioception, Tactile, Visual

SIGN SCHEDULE

Type	Quantity	Name	Age	Sensory Systems Engaged
M	1	Welcome Sign (5-12 years old)	N.A.	N.A.
N	1	Healthbeat fitness sign	N.A.	N.A.
O	1	Welcome Sign (2-5 years old)	N.A.	N.A.

PLANTING AND SITE FURNISHING LEGEND





LEGEND

	EXISTING 1 FT MINOR CONTOURS		PROPERTY BOUNDARY
	EXISTING 5 FT MAJOR CONTOURS		EXISTING STORM SEWER
	EXISTING SPOT ELEVATION		EXISTING GAS LINE
	EXISTING UTILITY POLE		EXISTING FENCE LINE
	EXISTING STORM SEWER/INLET		EXISTING WATER MAIN
	EXISTING SIGN		EXISTING DRAINAGE PIPE
	EXISTING LIGHT POLES		EXISTING ELECTRIC
	FIRE HYDRANT		EXISTING SANITARY SEWER
	EXISTING TREE		

GRADING AND DRAINAGE LEGEND

	PROPOSED 1 FT CONTOUR
	DRAINAGE FLOW ARROW & SLOPE
	PROPOSED SPOT ELEVATION
	PROPOSED SAFETY SURFACE ELEVATION
	EXISTING SPOT ELEVATION TO REMAIN
	SAFETY SURFACE TRANSITION ZONE

REVISIONS		
ISSUE	DATE	REVISIONS

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LAND ARCH. SEAL:

SIGNATURE: **JAYNE O. SPECTOR**, PROFESSIONAL LANDSCAPE ARCHITECT, PA Lic. No. LA001000R. DATE SIGNED:

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CONSULTANT PROJECT NUMBER:

CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PPR PROJECT NUMBER: 10-19-4395-01

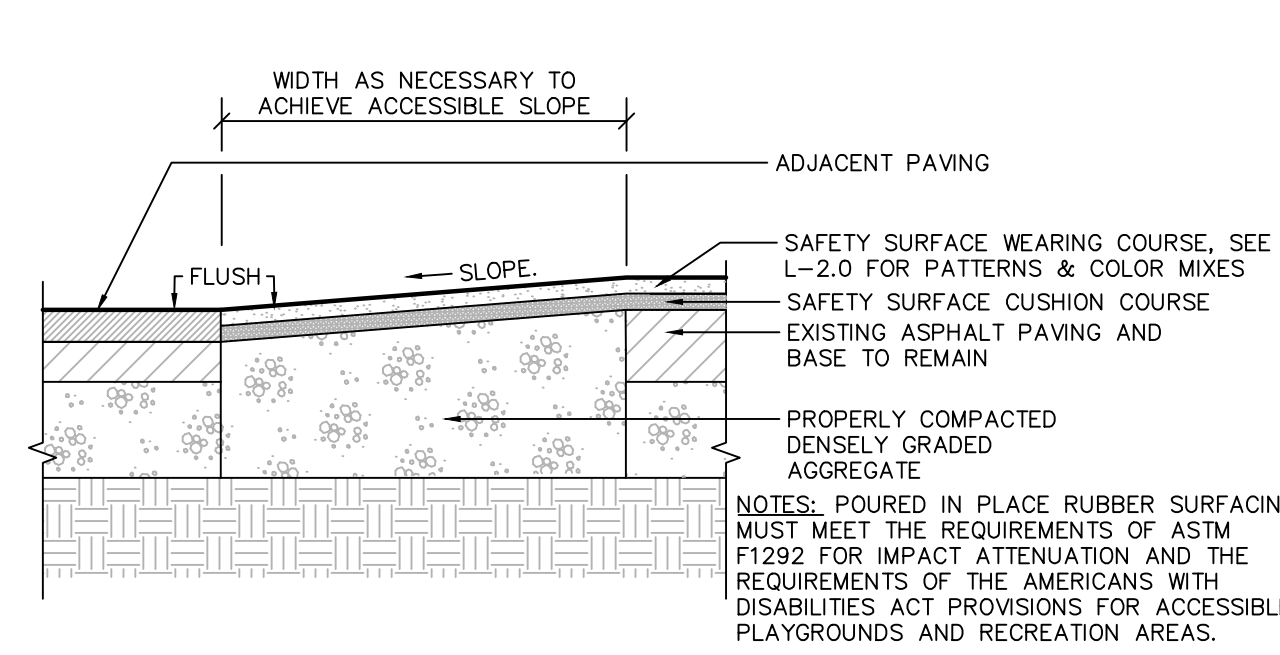
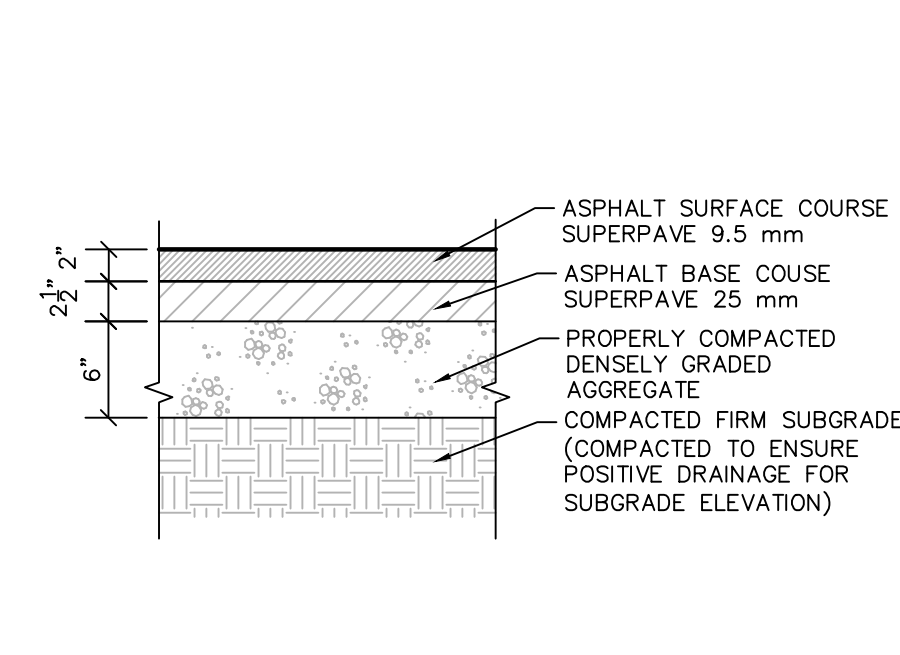
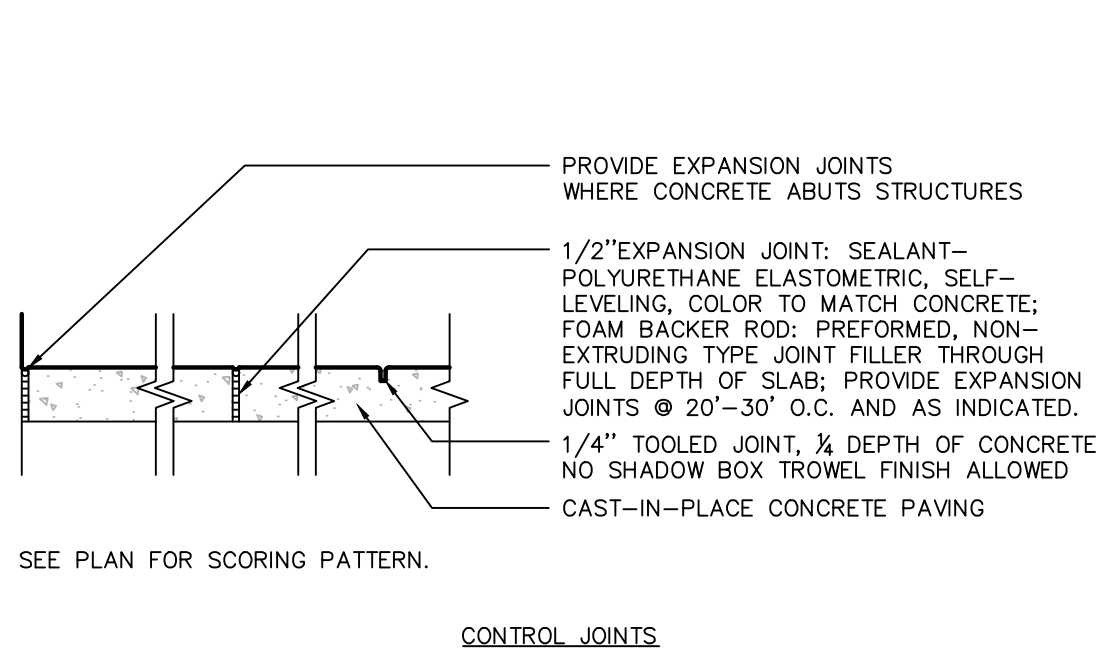
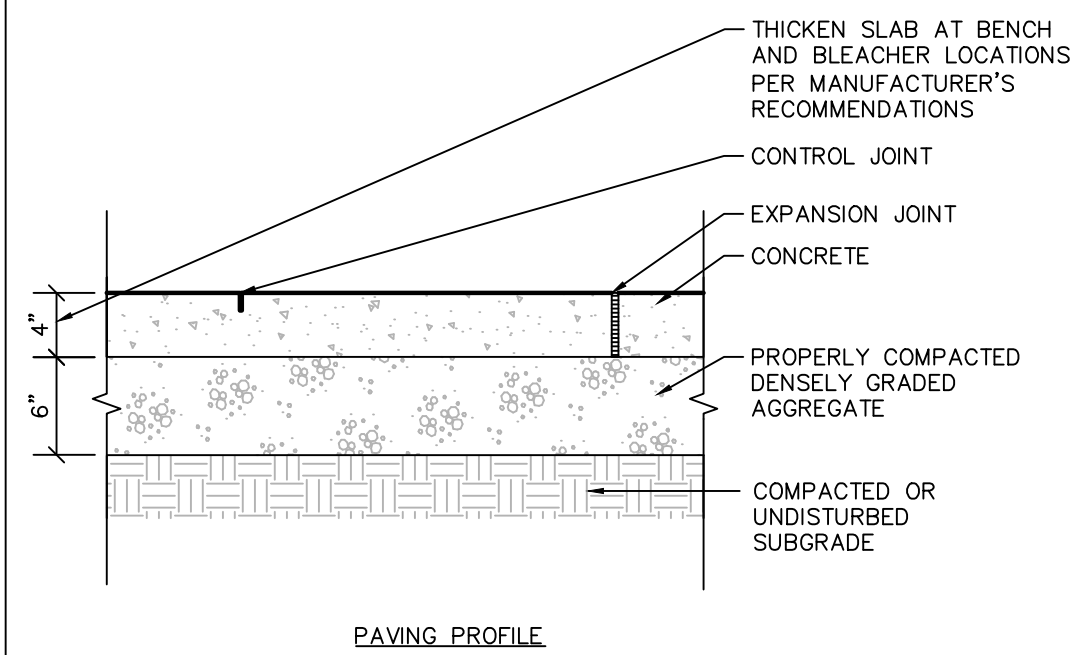
PROJECT TITLE: **IMPROVEMENTS TO MILES MACK PLAYGROUND**
736 N 36TH ST, PHILADELPHIA, PA

DRAWING TITLE: **GRADING AND DRAINAGE PLAN**

PPR PROJECT NO.: 10-19-4395-01	DRAWING NO.:
CONSULTANT PROJECT NO.: 220104104	L-6.0
DATE: 01/21/2020	
SCALE: 1"=10'	
DRAWN BY: YW/ZC	
CHECKED BY: TG/JS	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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1 CONCRETE PAVING

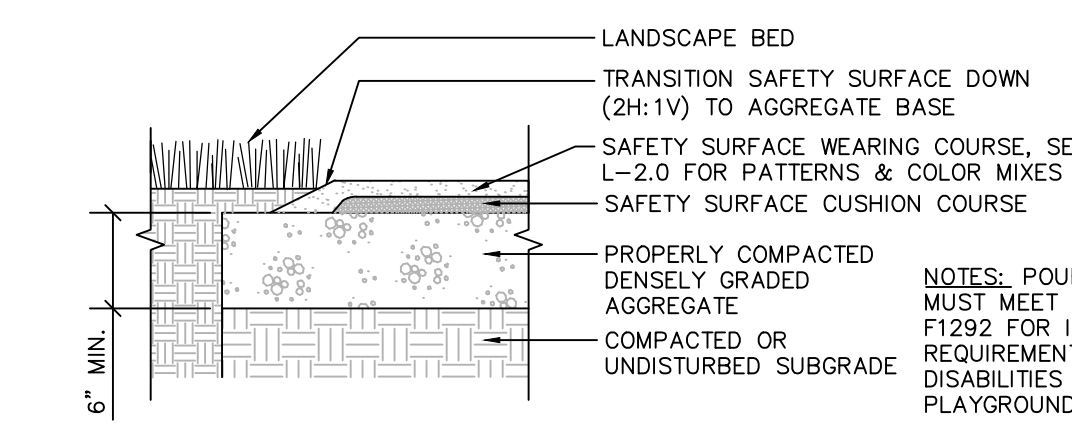
1" = 1'-0"

2 ASPHALT PAVING

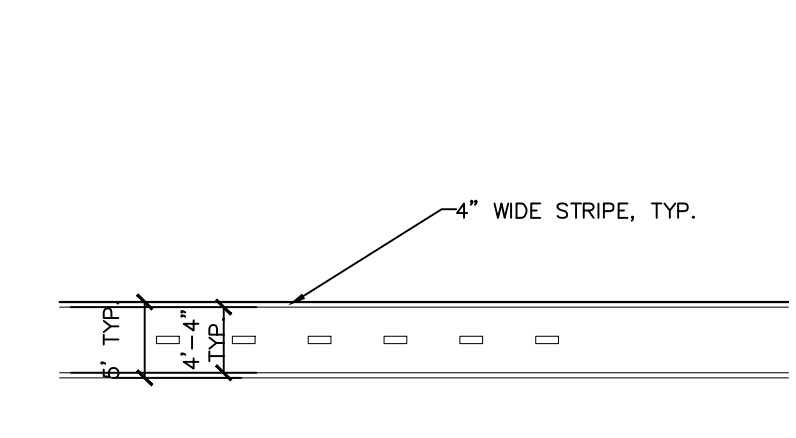
1" = 1'-0"

3 PAVING TO SAFETY SURFACE

1" = 1'-0"



NOTES: POURED IN PLACE RUBBER SURFACING MUST MEET THE REQUIREMENTS OF ASTM F1292 FOR IMPACT ATTENUATION AND THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT PROVISIONS FOR ACCESSIBLE PLAYGROUNDS AND RECREATION AREAS.

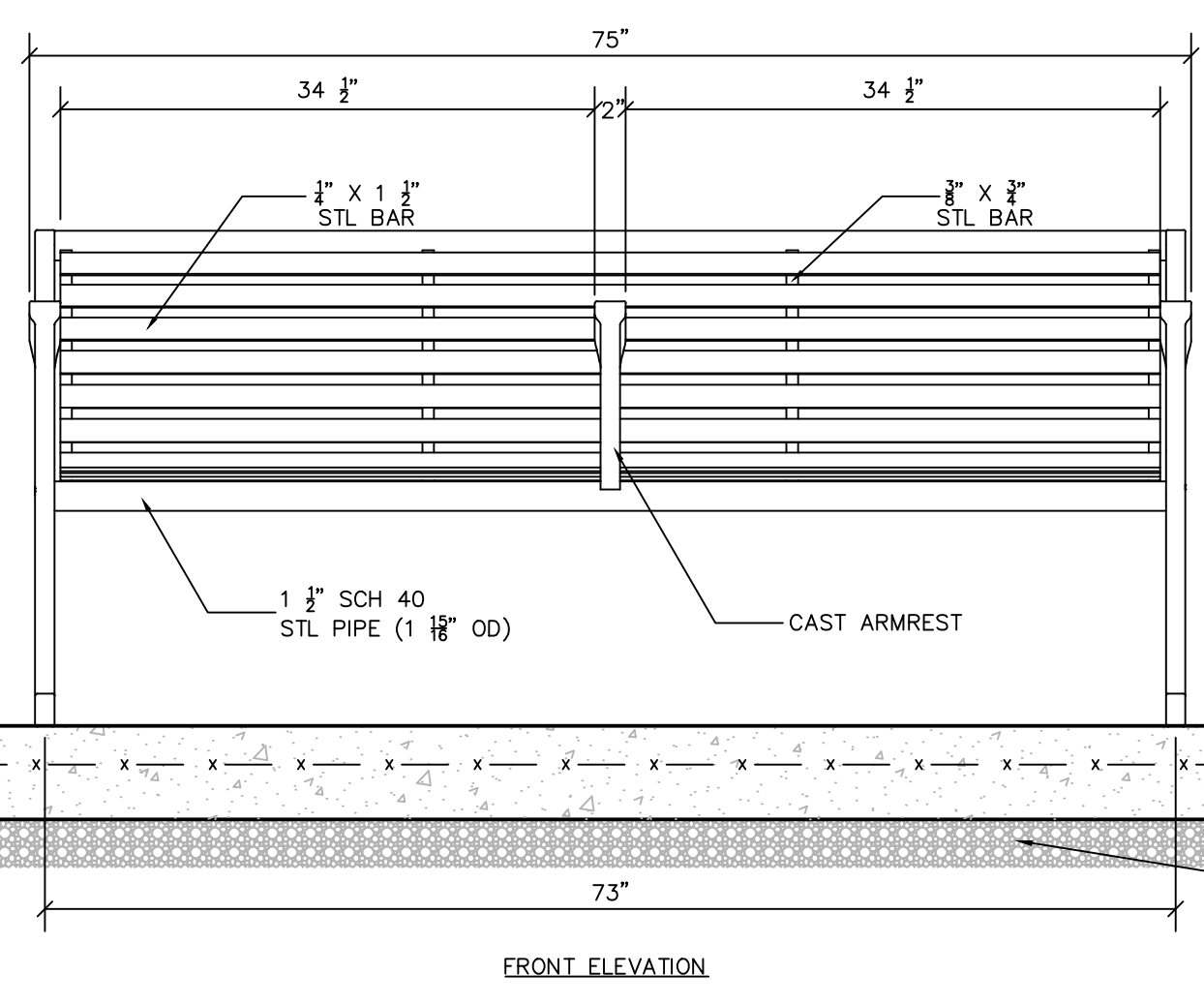
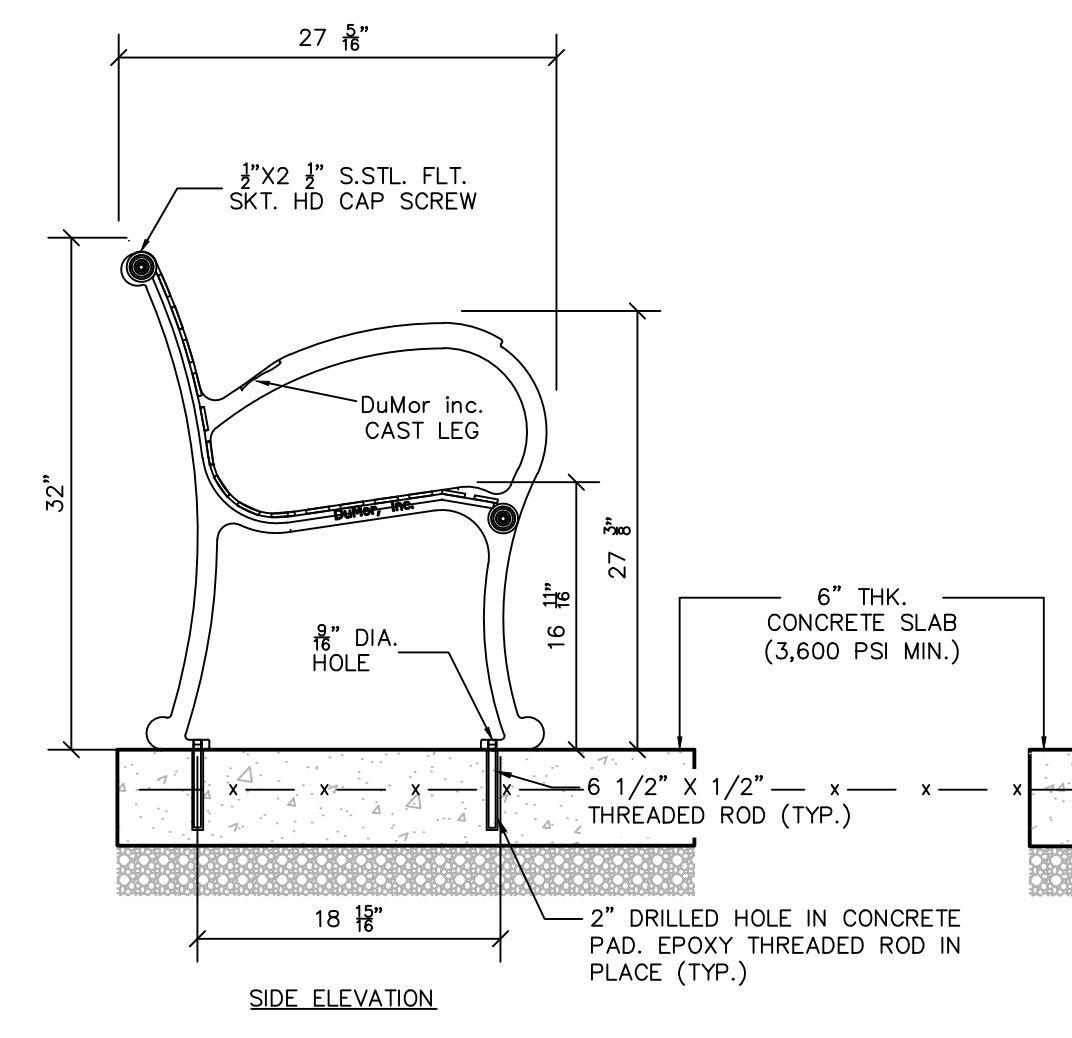


4 LANDSCAPED EDGE TO SAFETY SURFACE

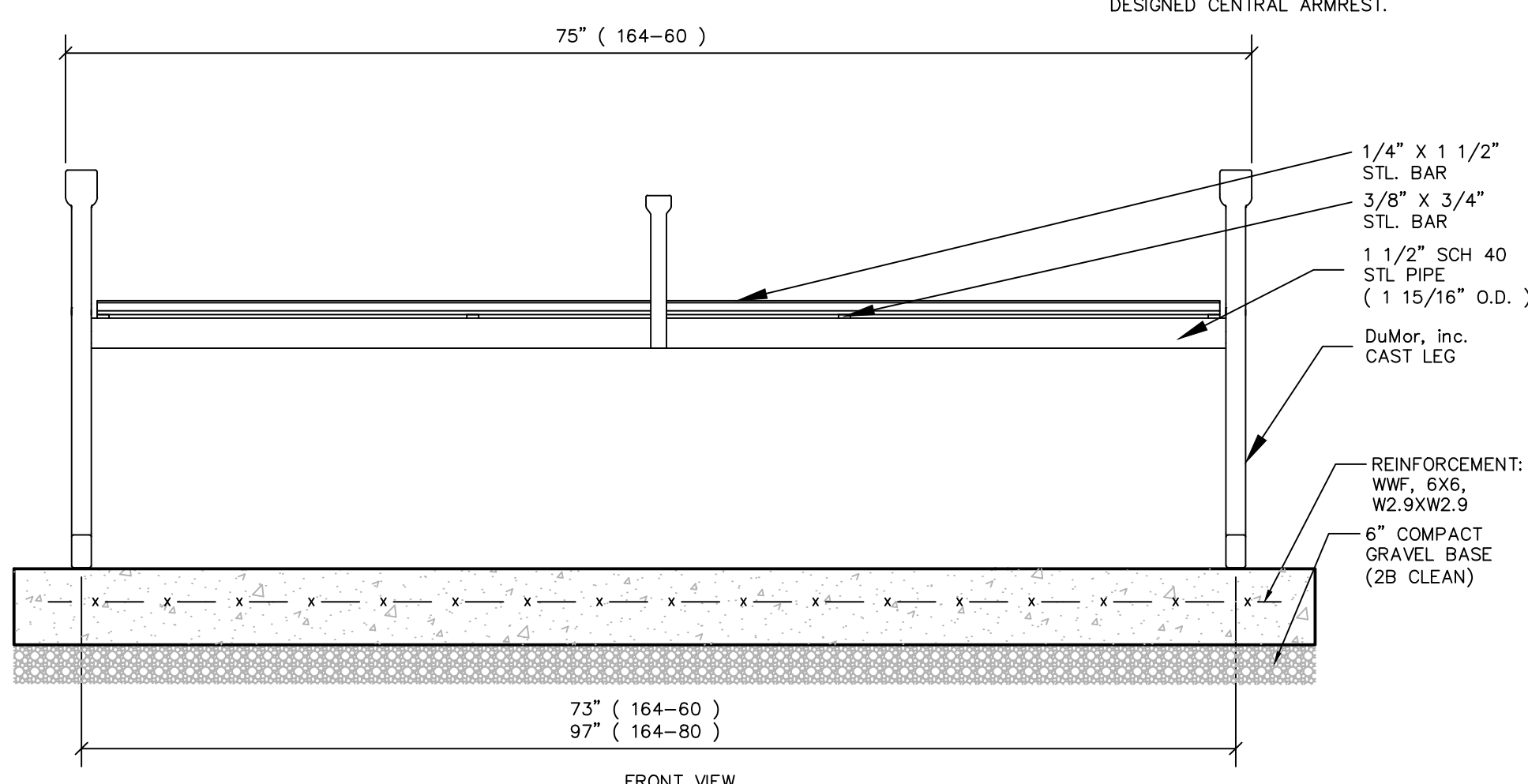
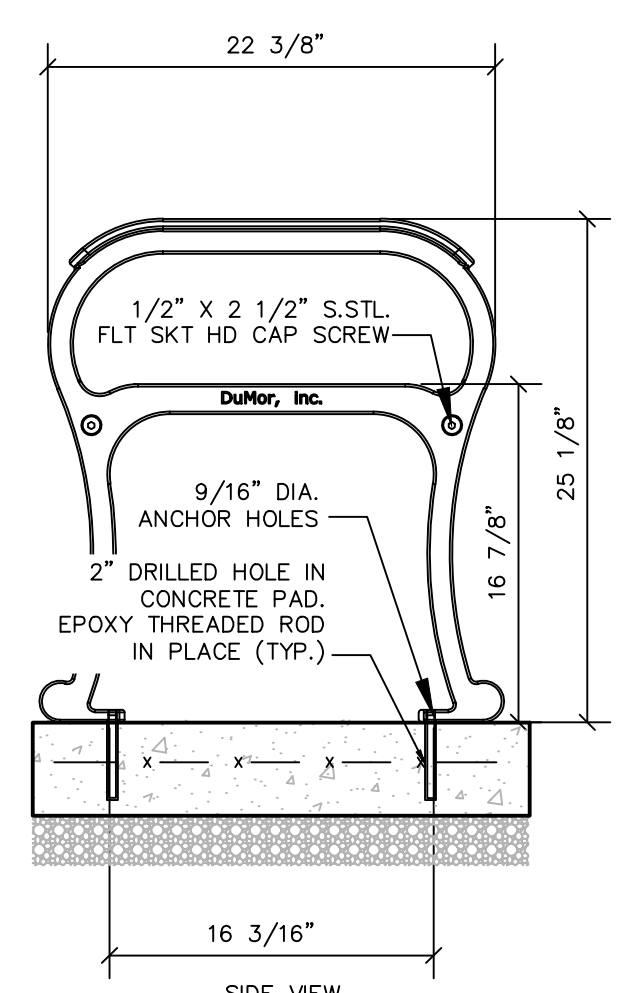
1" = 1'-0"

5 4\"/>

1" = 1'-0"



NOTES:
 1. BENCH SHALL BE 160 SERIES-3AR STEEL BENCH AS MANUFACTURED BY DUMOR, INC., OR APPROVED EQUIVALENT, COLOR ARGENTO.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWINGS.
 4. ALL STEEL MEMBERS COATED W/ ZINC RICH COATING THEN POLYESTER POWDER COATED.
 5. BENCH IS SHIPPED UNASSEMBLED.
 6. 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED FOR SURFACE MOUNT OPTION INTO CONCRETE PAVING UNDER BENCH.
 7. BENCH AND CONCRETE PAVING/BASE SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.
 8. ALL BENCHES TO INCLUDE FAIRMOUNT PARK DESIGNED CENTRAL ARMREST.

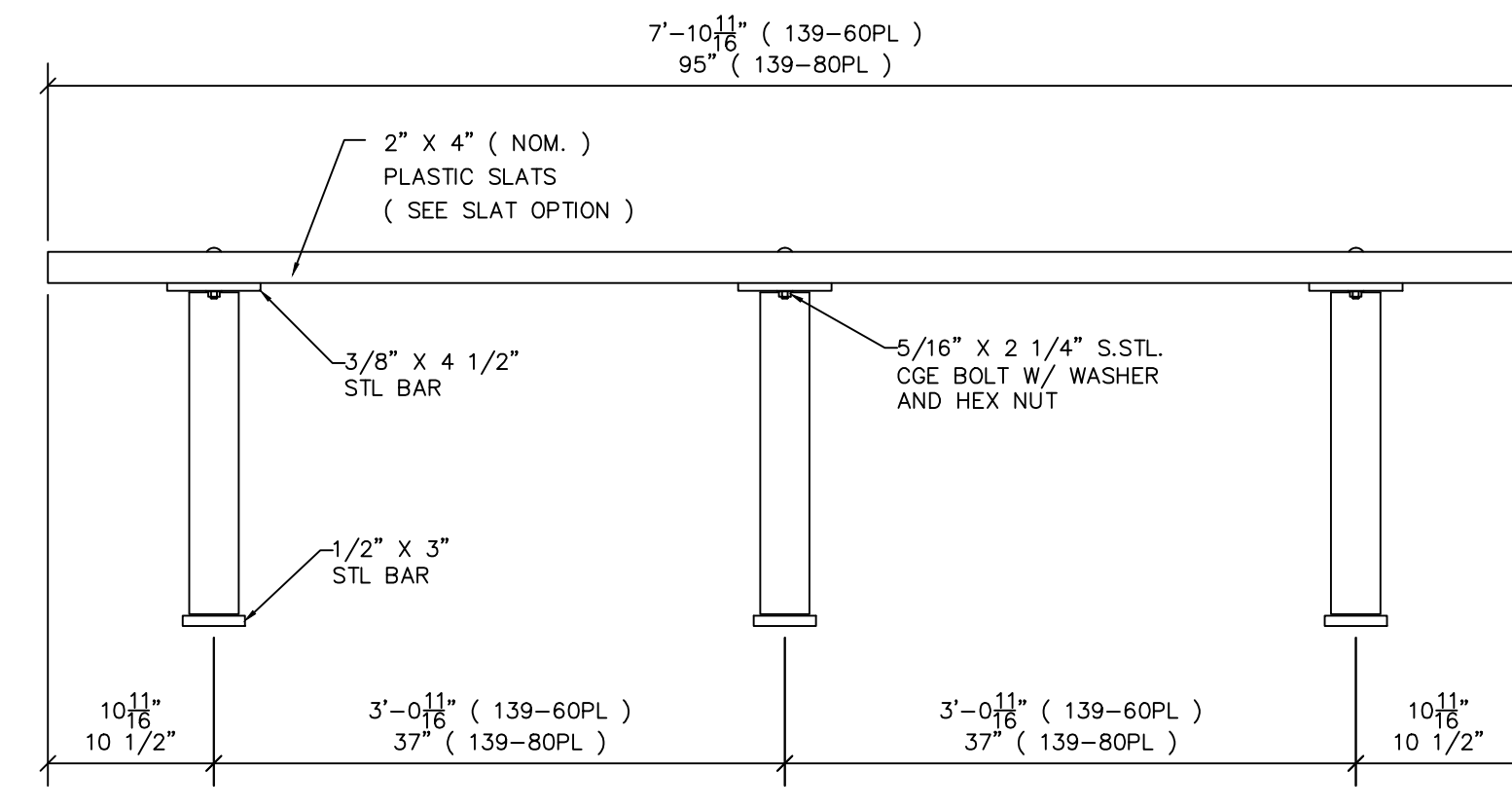
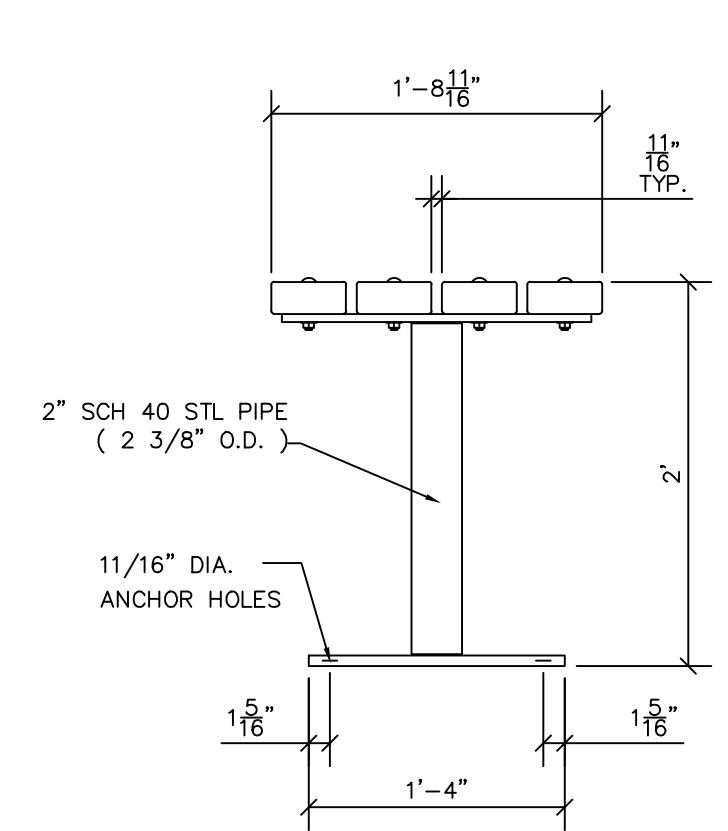


6 BENCH

1" = 1'-0"

7 BACKLESS BENCH

1" = 1'-0"



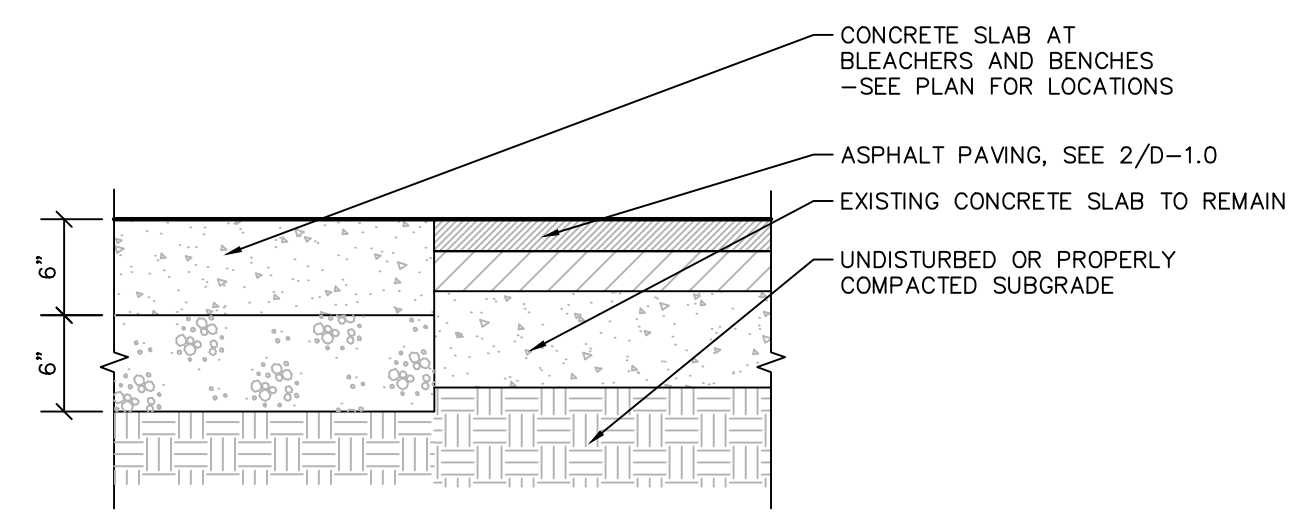
NOTES:
 1. BENCH SHALL BE SERIES 139-80, BACKLESS, RECYCLED PLASTIC BENCH AS MANUFACTURED BY DUMOR, INC., OR APPROVED EQUIVALENT, COLOR ARGENTO.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWINGS.
 4. ALL STEEL MEMBERS COATED W/ ZINC RICH COATING THEN POLYESTER POWDER COATED.
 5. BENCH IS SHIPPED UNASSEMBLED.
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 7. BENCH AND CONCRETE PAVING/BASE SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR.

8 BASKETBALL COURT BACKLESS BENCH

1" = 1'-0"

9 CONCRETE SLAB EDGE TO ASPHALT UNDER BASKETBALL COURT BACKLESS BENCHES AND BLEACHERS

1" = 1'-0"



REVISIONS		
ISSUE	DATE	REVISIONS

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LAND ARCH. SEAL:

SIGNATURE: JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT PA Lic. No. LA001000R DATE SIGNED:

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1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING

PPR PROJECT NUMBER: 10-19-4395-01

PROJECT TITLE: **IMPROVEMENTS TO MILES MACK PLAYGROUND**
 736 N 36TH ST, PHILADELPHIA, PA

DRAWING TITLE: **SITE FURNISHING AND HARDSCAPE DETAILS I**

PPR PROJECT NO.: 10-19-4395-01 DRAWING NO.: 220104104
 CONSULTANT PROJECT NO.: 220104104
 DATE: 01/21/2020
 SCALE: AS SHOWN
 DRAWN BY: YW
 CHECKED BY: TG/JS

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GENERAL LANDSCAPE PLANTING NOTES:

PLANTING MATERIALS

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS, IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.

PLANTING SOILS

- REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
- SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
- IF DEPTH OF PLANTING SOILS AND TOPSOIL IS NOT INDICATED IN PLANS OR DETAILS, A MINIMUM 18" DEPTH SHALL BE PROVIDED FOR ALL TREES AND LARGE SHRUBS; MINIMUM 12" DEPTH SHALL BE PROVIDED FOR GROUNDCOVERS, HERBACEOUS AND MEADOW OR ORNAMENTAL GRASS AREAS AND A MINIMUM 6" LAYER SHALL BE INSTALLED IN ALL LAWN AREAS. TOPSOIL AND PLANTING SOIL DEPTH INDICATED ON PLANS AND PLANTING DETAILS AND NARRATIVE SPECIFICATIONS SHALL GOVERN DEPTH WHEN PROVIDED.
- WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
- IF THE QUANTITY OF SOILS FROM THE SITE IS NOT ADEQUATE TO FILL PLANTING AREAS TO A DEPTH INDICATED IN PLANS AND DETAILS, TOPSOIL AND PLANTING SOILS TO DETERMINE IF THE MATERIALS ARE CONDUCTIVE TO SUSTAINING PROPOSED PLANTINGS SHOULD BE FURNISHED BY THE CONTRACTOR. TOPSOIL AND PLANTING SOILS SHALL BE FREE OF BROKEN GLASS, PAINT CHIPS, PLASTIC, DELETERIOUS MATERIALS, ROOTS, WEEDS, BOULDERS, COBBLES AND GRAVEL OVER 1" IN DIAMETER AND COMPLY WITH THE FOLLOWING CRITERIA:
 - SOILS SHALL MEET ALL APPLICABLE SOIL REMEDIATION STANDARDS
 - ORGANIC CONTENT: 2-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
 - SOLUBLE SALTS: LESS THAN 0.5 MM HOS/CM
 - SOIL PH: 4.5-7% TO BE AMENDED PER SOIL TEST RESULTS
 - PHYSICAL (SIEVE) ANALYSIS/ SOIL TEXTURE
 - SAND: 40-60% SILT: 25-60% CLAY: 5-20%
 - NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE.
- ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
- IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8; MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL; FREE OF BROKEN GLASS, PAINT CHIPS, PLASTIC, DELETERIOUS MATERIALS, ROOTS, WEEDS, BOULDERS, COBBLES AND GRAVEL OVER 1" IN DIAMETER
- SCARIFY AND/OR TILL ALL COMPACTED SUBSOILS PRIOR TO ADDING PLANTING SOIL OR TOPSOIL. PLANTING SOILS AND TOPSOIL SHALL BE PLACED IN 12-18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.

DELIVERY, STORAGE, AND HANDLING

- PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
- TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSPORT. DO NOT DROP OR BREAK BALLED STOCK DURING DELIVERY OR HANDLING.
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT BALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8" INTO THE PLANTING HOLE. WITH CONTAINER-GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
- THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

INSTALLATION

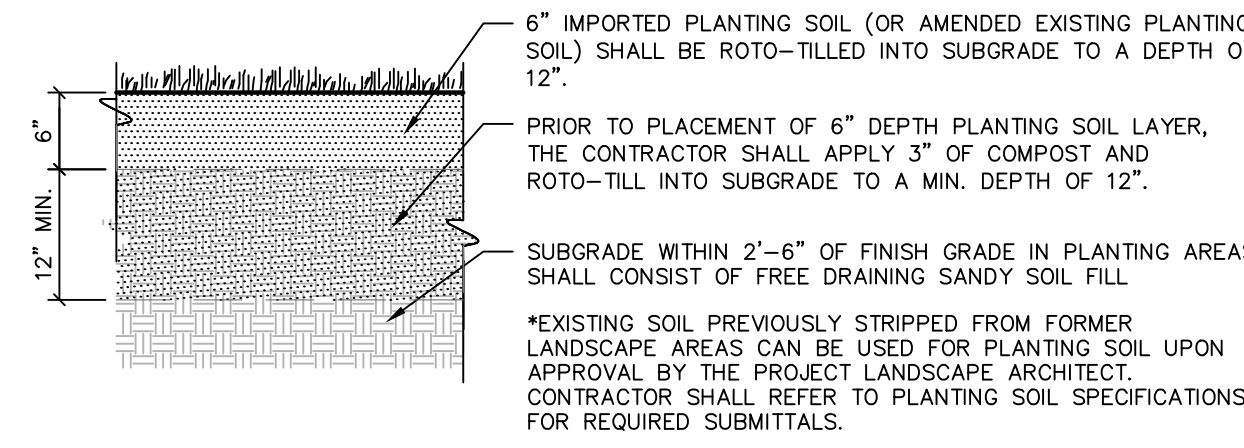
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
- AFTER COMPLETION OF A PROJECT, ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A SHREDED HARDWOOD BARK OR APPROVED EQUAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
- TREES MAY BE STAKED AT LANDSCAPE CONTRACTOR'S DISCRETION. CURRENT HORTICULTURAL PRACTICE DOES NOT RECOMMEND STAKING TREES EXCEPT IN CONDITIONS WHERE TREES ARE SUBJECT TO BLOW DOWNS DUE TO SOIL CONDITIONS, HEAVY PREVAILING WINDS OR A HIGH RATIO OF TOP GROWTH TO ROOT BALL. IF STAKING IS DEEMED NECESSARY BY CONTRACTOR, STAKE AND GUYS SHOULD BE LOCATED AND FLAGGED IN A MANNER TO PREVENT TRIPPING HAZARDS. WIRES OR GUYS SHALL BE LOCATED AND COVERED SO AS NOT TO PULL OR DAMAGE BRANCHES AND SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

GUARANTEE

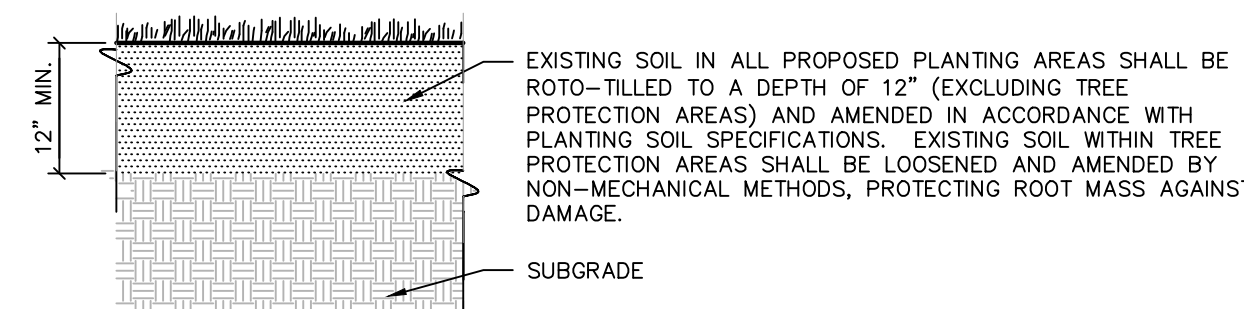
- NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

SOD SPECIFICATIONS:

- SOD IS TO BE A FESCUE/BUEGRASS BLEND APPROXIMATELY 70/30%. SOD IS TO BE INDIGENOUS TO THE AREA AND BE FURNISHED BY A REPUTABLE GROWER WITH A MINIMUM 5 YEARS EXPERIENCE.
- PRIOR TO SODDING ALL AREAS ARE TO BE TOPSOILED, FINE GRADED, RAKED, WATERED LIGHTLY, AND FERTILIZED WITH A STARTER FERTILIZER.
- ALL STONES GREATER THAN 2" DIAMETER SHALL BE REMOVED.
- SOD TO BE INSTALLED PERPENDICULAR TO ALL SLOPED AREAS. SOD STRIPS TO BE LAID OUT SO JOINTS ARE NOT CLOSER THAN ONE FOOT (1'-0") FROM EACH OTHER.
- SOD IS TO BE WATERED AT A RATE OF AT LEAST ONE AND A HALF INCHES (1½") PER WEEK UNTIL ROOT MASS MENDS WITH SOIL. AFTER THIS HAS OCCURRED NORMAL WATERING OF AT LEAST ONE INCH (1") PER WEEK IS TO COMMENCE.
- ALL SOD AREAS ARE TO BE ROLLED IF ANY HEAVING OR DEPRESSIONS OCCUR.



IMPORTED OR AMENDED EXISTING PLANTING SOIL WITHIN AREAS OF RAISED GRADE



AMENDED EXISTING PLANTING SOIL WITHIN AREAS OF UNCHANGED OR CUT GRADE

NOTES:

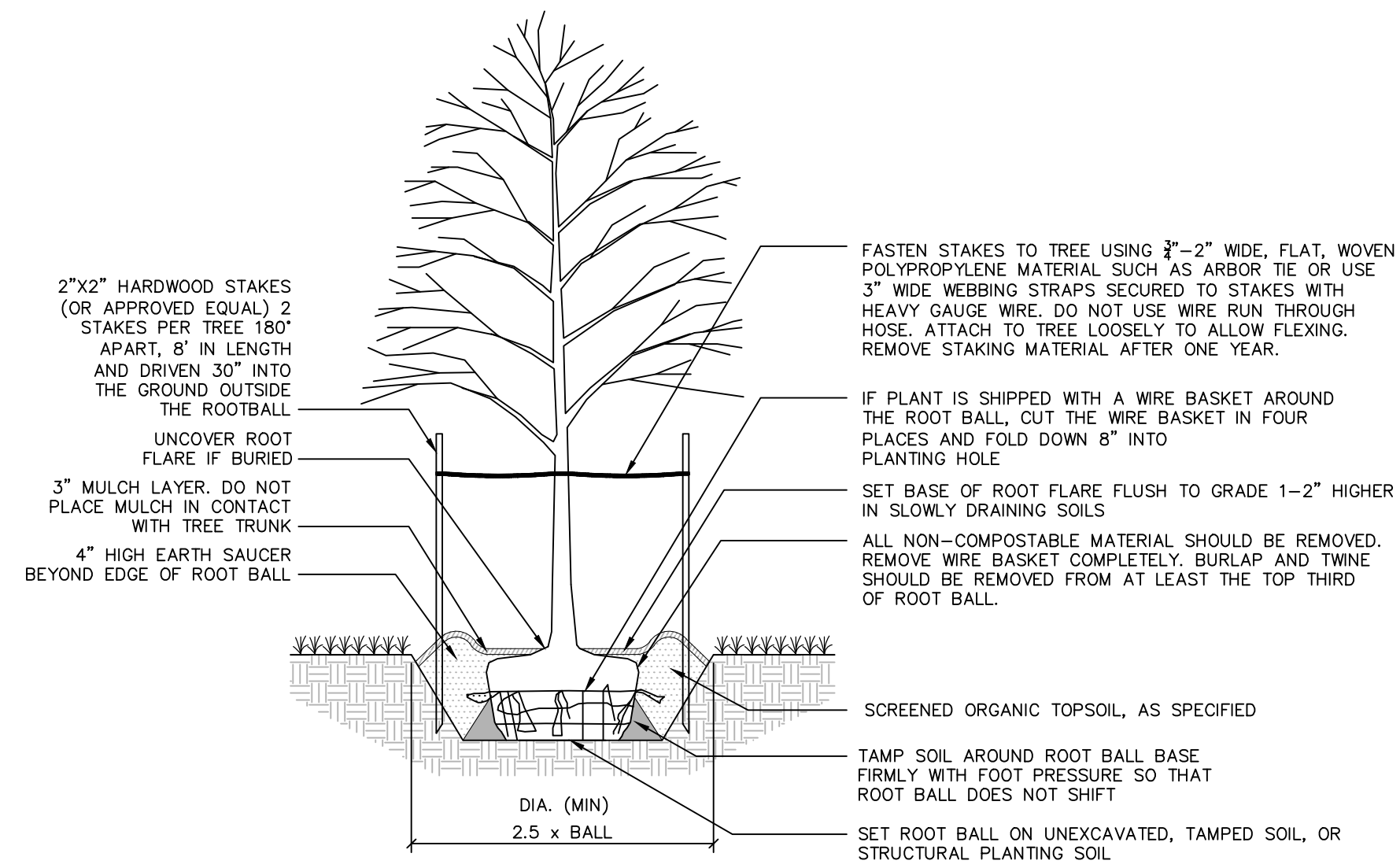
- CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY), TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
- RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
- DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.
- IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCEEDENCE OF THE PROJECT STATE ENVIRONMENTAL REVIEW AGENCY STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
- CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.)
- NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

1 PLANTING SOIL

N.T.S.

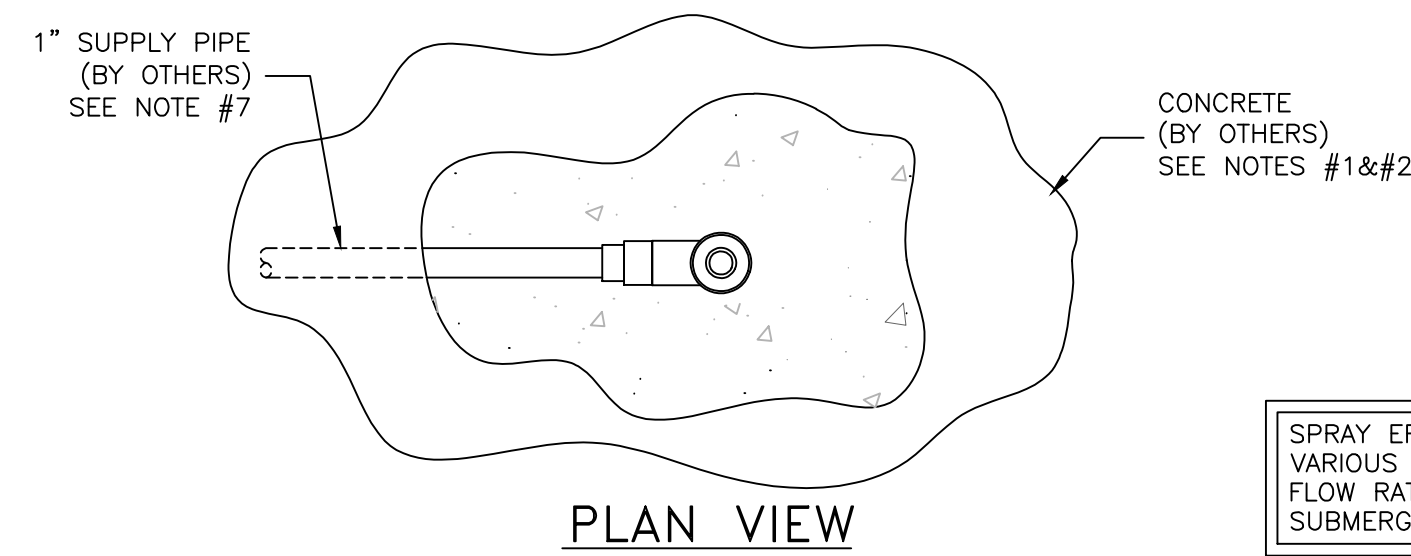
2 SHADE TREE

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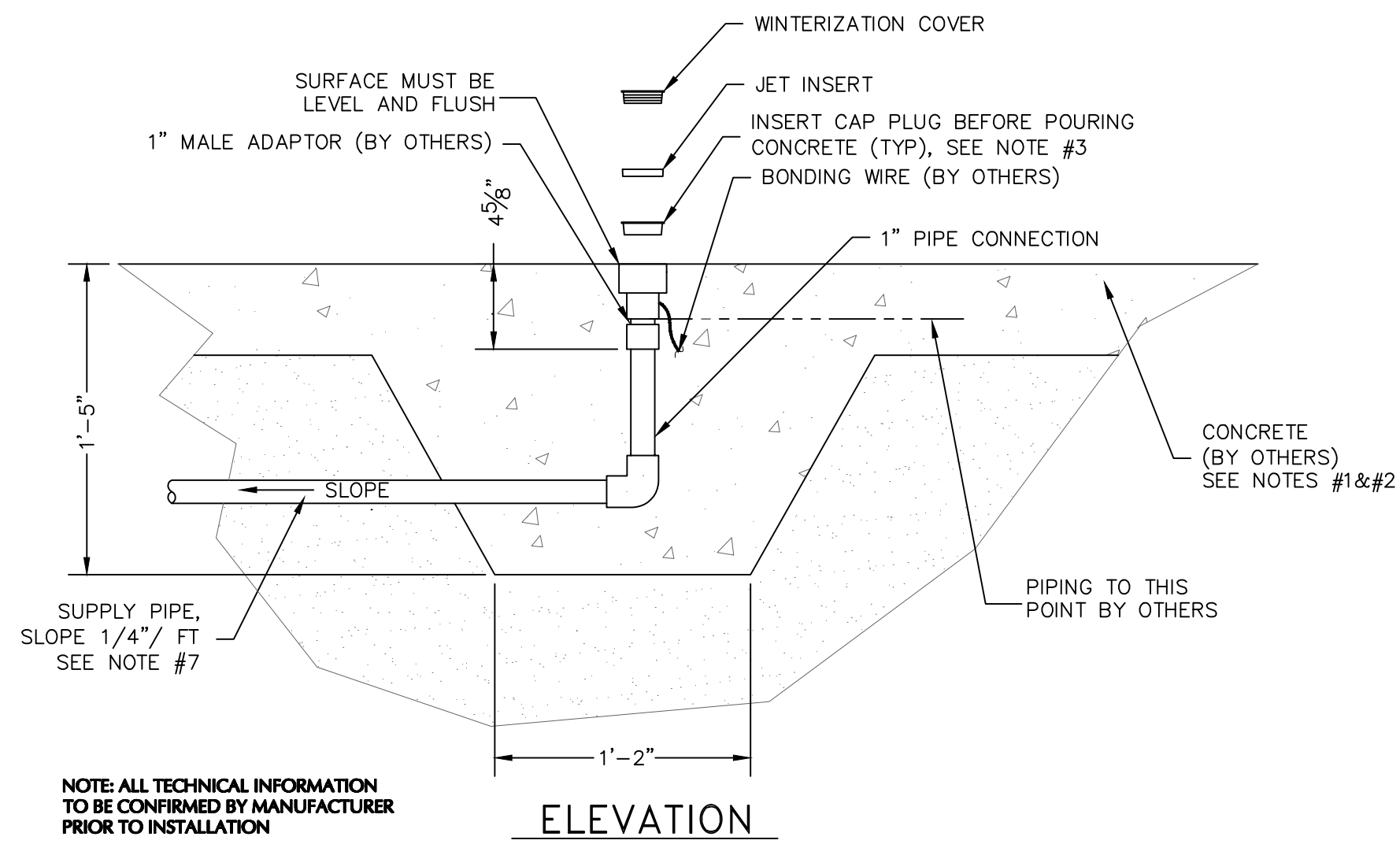


REVISIONS		
ISSUE	DATE	REVISIONS
PENNSYLVANIA ONE CALL SYSTEM, INC. 925 Swan Run Road West Allende, Pennsylvania 19372 - 1078		
BEFORE YOU DO ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH		
PA ONE-CALL NUMBER (FOR DESIGN ONLY):		
PPR PROJECT COORDINATOR:	NICHOLAS UPMEYER	
LAND ARCH. SEAL:		
SIGNATURE	JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT PA Lic. No. LA001000R	DATE SIGNED
CIVIL ENG. SEAL:		
PRIMARY CONSULTANT:	LANGAN Langan Engineering and Environmental Services, Inc. 1818 Market Street, Suite 3300 Philadelphia, PA 19103 T: 215.845.8900 F: 215.845.8901 www.langan.com	
SUB-CONSULTANT:	 Chestnut Engineering 2 E Lancaster Ave - 2nd Fl. Ardmore, PA 19003 Phone: (610) 642-1750 www.chestnut-engineering.com	
CONSULTANT PROJECT NUMBER		
SUB-CONSULTANT:	 Rodriguez Consulting 1301 N 2nd Street Philadelphia, PA 19122 Phone: (215) 839-8087 www.RodriguezConsulting.biz	
CONSULTANT PROJECT NUMBER		
CITY OF PHILADELPHIA PHILADELPHIA PARKS AND RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING		
PPR PROJECT NUMBER	10-19-4395-01	
PROJECT TITLE:	IMPROVEMENTS TO MILES MACK PLAYGROUND 736 N 36TH ST, PHILADELPHIA, PA	
DRAWING TITLE:	PLANTING NOTES AND DETAILS	
PPR PROJECT NO.:	10-19-4395-01	DRAWING NO.:
CONSULTANT PROJECT NO.:	220104104	
DATE:	01/21/2020	D-1.2
SCALE:	NTS	
DRAWN BY:	YW	
CHECKED BY:	TG/JS	
NOTE:	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

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SPRAY EFFECT MAY VARY BASED ON VARIOUS ENVIRONMENTAL CONDITIONS, FLOW RATES, SLOPE OF SPLASH PAD, SUBMERGENCE DEPTH, AND WIND.

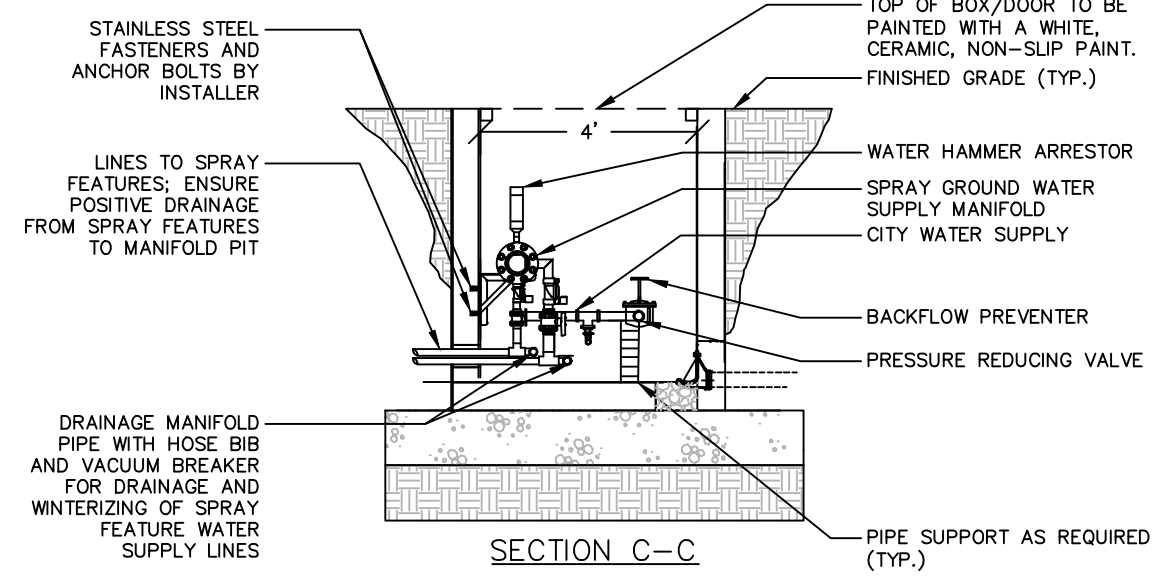
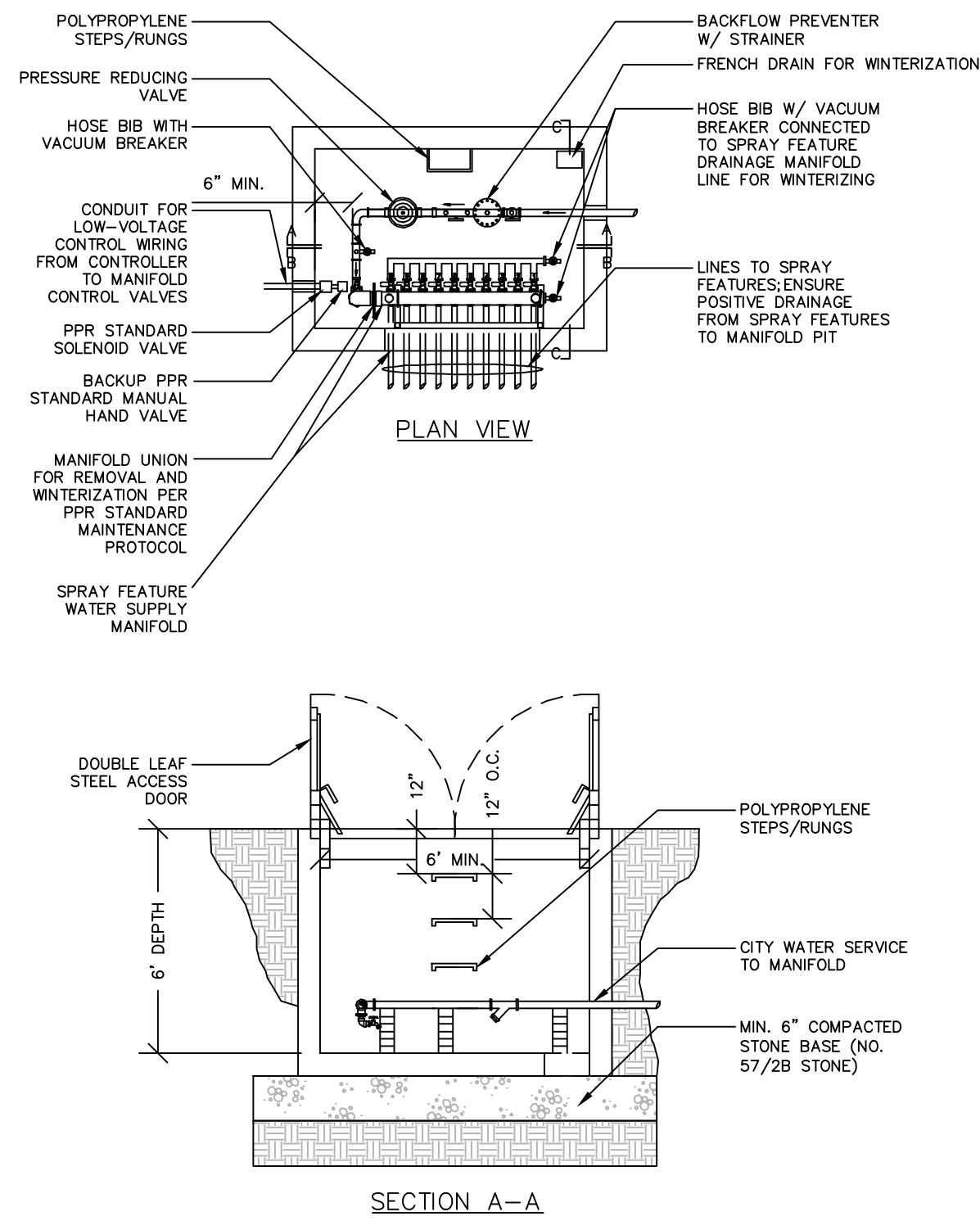


1 AT GRADE SPRAY JET
BY AQUATIX, INSTALL PER MANUFACTURERS SPECIFICATIONS

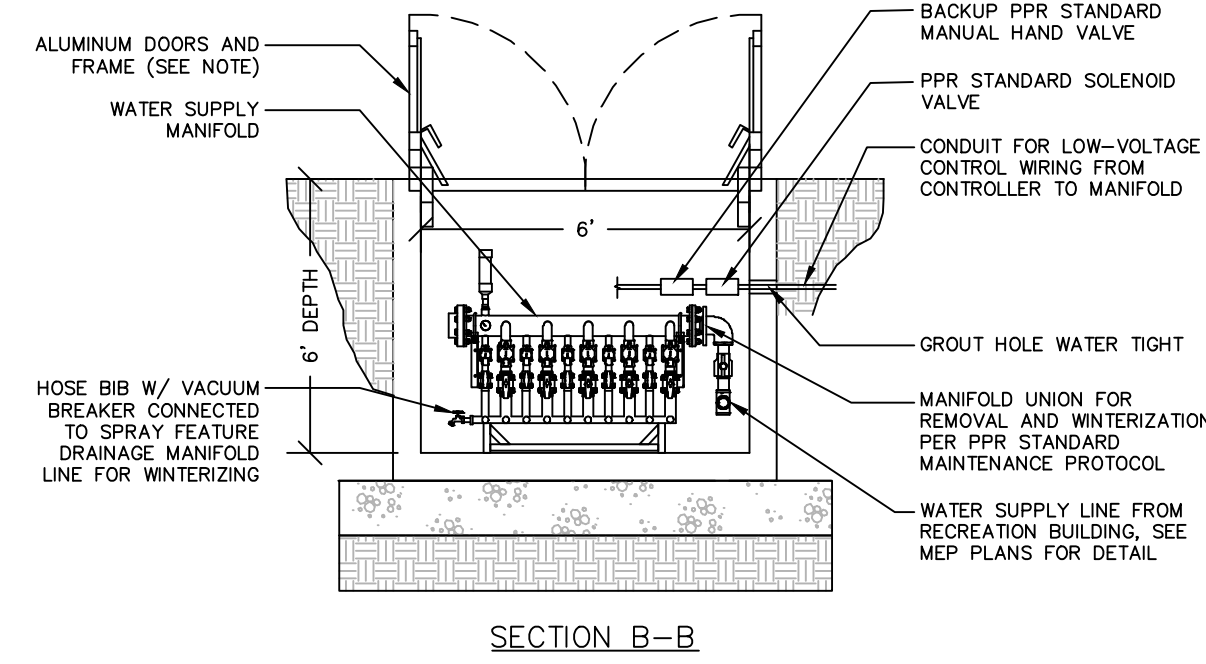
N.T.S.

2 CONCRETE SPRAYGROUND MANIFOLD DETAIL
PREPARED AND SUPPLIED BY PHILADELPHIA DEPARTMENT OF PARKS AND RECREATION

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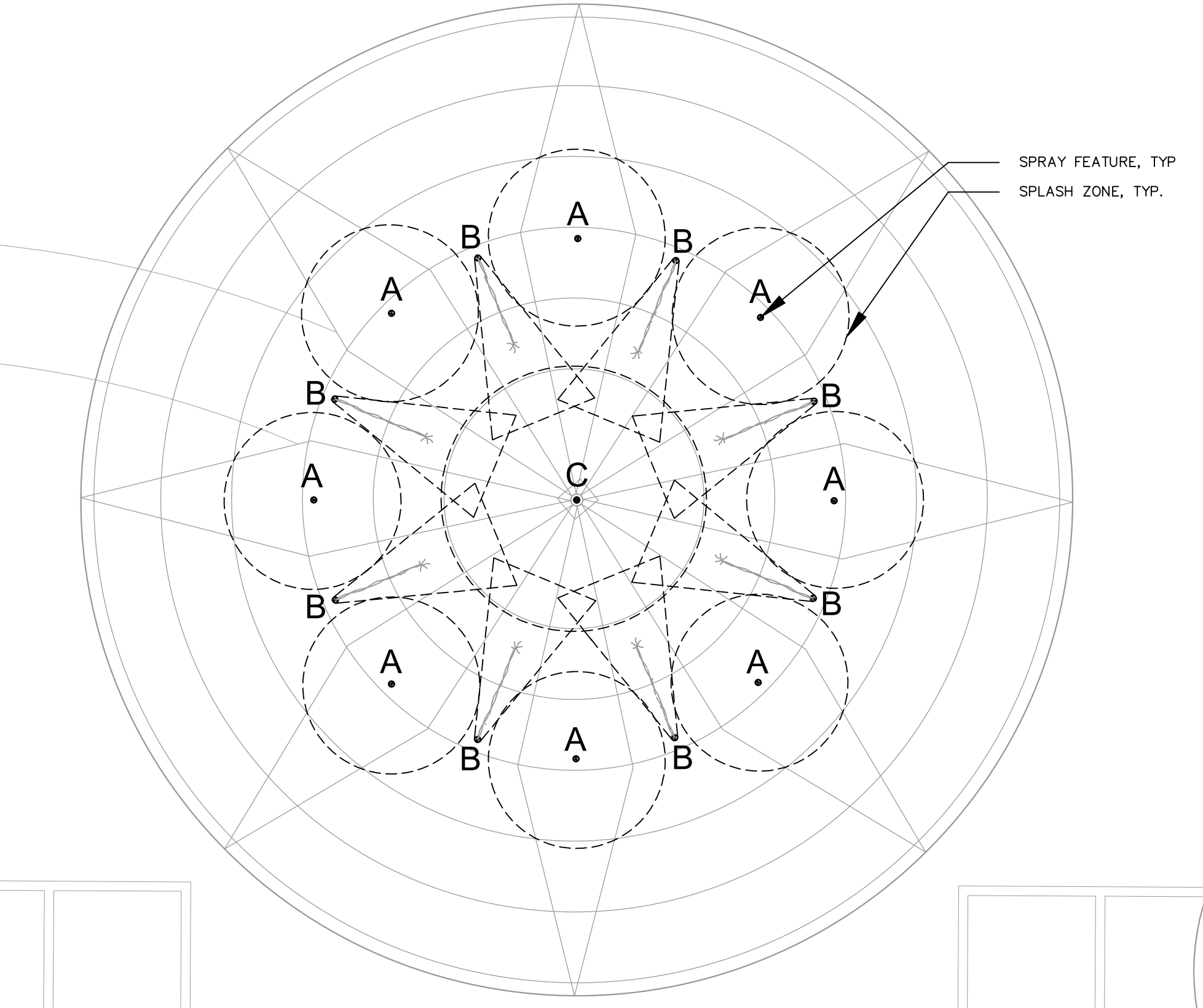


- ACCESS DOOR AND PAINTING SPECIFICATIONS:
- ACCESS DOORS BE DOUBLE LEAF STEEL ACCESS DOOR W/ A MINIMUM H=20 LOADING OR APPROVED EQUAL. ACCESS DOORS SHALL BE FINISHED WITH MANUFACTURER'S RED OXIDE PRIMER. SEE BELOW FOR ADDITIONAL FIELD PAINTING INFORMATION.
 - DOUBLE LEAF ACCESS DOOR TO BE LOOKABLE WITH A LATCH AND PAD LOCK CONFIGURATION. CONTRACTOR TO PROVIDE PAD LOCK MEETING RECREATION DEPARTMENT REQUIREMENTS - COORDINATE W/ PPR COORDINATOR.
 - EXTERIOR PORTIONS OF THE ACCESS DOORS AND FRAME SHALL BE FIELD PRIMED AND THEN PAINTED. THE CONTRACTOR SHALL FOLLOW SPECIFICATION SECTION 09900 AND THE MANUFACTURER'S INSTRUCTIONS FOR THE INSTALLATION OF PRIMER AND PAINT COATINGS. CONTRACTOR SHALL INSTALL A MINIMUM OF (1) ONE COATING OF PRIMER AND A MINIMUM OF (3) THREE COATS OF PAINT. PRIMER AND PAINT COLOR SHALL BE WHITE AND INCLUDE A CERAMIC INSULATING ADDITIVE.



SPRAYGROUND NOTES:

- IMPORTANT: VISUALLY INSPECT THE EQUIPMENT ON A DAILY BASIS FOR:
- SIGNS OF VANDALISM/WEAR/DAMAGE/LOOSE OR MISSING COMPONENTS THAT WOULD MAKE THE EQUIPMENT UNSAFE.
 - LOOSE OR MISSING FASTENERS (NUTS, BOLTS, CLAMPS, CABLES, SCREWS, ETC).
 - EQUIPMENT DAMAGE (IMPROPERLY SECURED, WORN, MISSING, OR DAMAGED STRUCTURES, SUPPORT ARMS, BRACKETS, PROTECTIVE COVERS, BASE SKIRTS, HANDLES, NOZZLES ETC).
 - EQUIPMENT MALFUNCTION (LOOSE, MISSING, WORN, DAMAGED EQUIPMENT COMPONENTS).
 - IF COMPONENT REPLACEMENT IS REQUIRED, REPLACE WITH NEW COMPONENT OF SAME TYPE/DESIGN. DO NOT REUSE COMPONENT.
 - IT IS NOT RECOMMENDED TO RE-USE FLANGE MOUNTING GASKETS.
 - PROPERLY BALANCED AND SANITIZED WATER SUPPLY.
- NOTES:
- THICKEN CONCRETE SLAB UNDER AND AROUND STRUCTURE.
 - VERIFY LOCAL CODES FOR TYPE, THICKNESS, & REINFORCEMENT REQUIREMENTS FOR CONCRETE SLAB. CONCRETE TO BE RATED FOR 2000 PSI MINIMUM.
 - PROTECT AND COVER NOZZLES BEFORE CONCRETE POUR TO PREVENT CONCRETE FROM ENTERING THE NOZZLE, REMOVE ONCE CONCRETE CURES.
 - MUST TRIM LENGTH OF 1" SCH 80 RISER PIPE TO LEVEL AND FLUSH THE NOZZLE PIPE TO THE DRAINAGE SLOPED CONCRETE SURFACE.
 - A SHUT OFF VALVE MUST BE INSTALLED ON THE DRAIN LINE.
 - A VALVE MUST BE INSTALLED ON THE SUPPLY LINE TO REGULATE FLOW.
 - WINTERIZATION TO BE PERFORMED BY A TRAINED TECHNICIAN FAMILIAR WITH PROPER WINTERIZATION PROCEDURES.



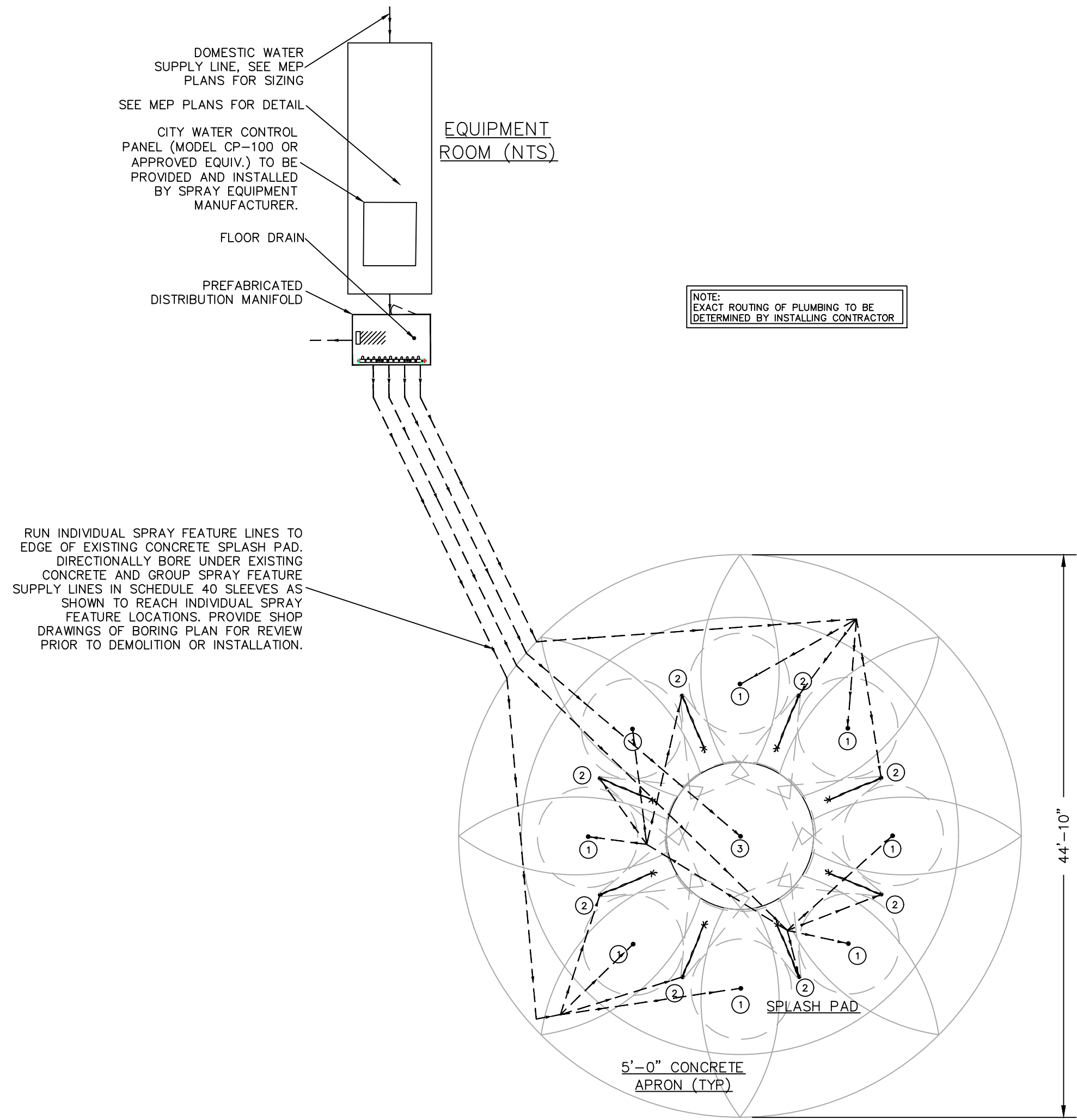
SPRAYGROUND FEATURE SCHEDULE

KEY	QTY.	MANUFACTURER	MODEL	GPM	LINE SIZE
A	8	AQUATIX, BY LANDSCAPE STRUCTURES	STREAM JET	1 EACH	1" EACH
B	8	AQUATIX, BY LANDSCAPE STRUCTURES	ARC JET	1 EACH	1" EACH
C	1	AQUATIX, BY LANDSCAPE STRUCTURES	JUNIOR WATER JEWEL	7	1" EACH

3 SPRAYGROUND FEATURE LAYOUT PLAN
SEE PROPOSED SPLASHPAD SCHEMATIC LAYOUT FOR PIPING DIAGRAM BY AQUATIX

1"=5'-0"

4 SPRAYGROUND PIPING DIAGRAM



NO	PRODUCT	QTY	GPM	LINE SIZE
1	STREAM JET	8	1 EA	1" EA
2	ARCH JET	8	1 EA	1" EA
3	JUNIOR WATER JEWEL	1	7	1"

- NOTE:
- ALL CONCRETE SLOPES TO BE 1/8"/FT MIN. AND 1/4" FT MAX.
 - SITE ELEVATIONS OF SPLASH PAD AND CONCRETE APRON TO BE VERIFIED BY OTHERS. AQUATIX ELEVATION REFERENCE IS 0'-0" FOR TOP OF DRAIN BOX. ALL OTHER NOTED ELEVATIONS ARE REFERENCED FROM THAT POINT.
 - REFER TO SPEC SHEET AND INSTALLATION DRAWING FOR EACH PRODUCT.
 - ACTUAL SIZE, SHAPE, AND LOCATION OF SPLASH PAD TO BE FIELD DETERMINED BY OTHERS. ALL DIMENSIONS OF SIZE AND SHAPE OF SPLASH PAD FOR REFERENCE ONLY.
 - THE INTENT OF A SPLASH PAD IS TO BE A DRY DECK WITH NO STANDING WATER. THE WATER IS TO BE CONTAINED WITHIN THE PERIMETER OF THE SPLASH PAD AND ALL WATER IS TO DRAIN INTO THE DRAIN BOXES. THE CONCRETE IS TO BE FORMED AND SLOPED TO ACCOMMODATE THIS DRAIN PATTERN.
 - ALL TREATED SPLASH PAD WATER IS INTENDED TO REMAIN WITHIN DESIGNATED SPLASH PAD DECK. UNDER NO CIRCUMSTANCES SHOULD SLOPE OF SPLASH PAD ALLOW WATER TO DRAIN OFF PAD.
 - UNDER NO CIRCUMSTANCES SHALL THE SURROUNDING HARDSCAPE AREA BE SLOPED TO ALLOW WATER TO BE DRAINED INTO THE SPLASH PAD DECK.
 - ALL CONCRETE SURFACES TO HAVE A MEDIUM BROOM FINISH.
 - COORDINATE EXPANSION JOINT AND SAW CUT LOCATIONS WITH PLAY EQUIPMENT LOCATIONS.
 - DRAWINGS ARE FOR DESIGN/LAYOUT PURPOSES ONLY. PLEASE SEE AQUATIX BY LANDSCAPE STRUCTURES FOR INCLUDED STRUCTURES, EQUIPMENT, SERVICES, AND EXCLUSIONS.
 - INDICATES SPLASH ZONE.
 - SPLASH ZONES ARE APPROXIMATE. ACTUAL SPLASH ZONE MAY VARY BASED ON VARIOUS ENVIRONMENTAL CONDITIONS, FLOW RATES, SLOPE OF THE SPLASH PAD, SUBMERGENCE DEPTH AND WIND.
 - DRAWINGS ARE SCHEMATIC ONLY.
 - SUB-CUT EXCAVATION UNDER SPLASH PAD MIN. 18" FOR GRANULAR FILL.
 - CONSTRUCTION OF SPLASH PAD CONCRETE TO BE 5" THICK, 4,000 PSI CONCRETE WITH #4 BARS SPACED 12" O.C. EACH WAY OR AN EQUIVALENT WELDED WIRE MESH (EQUIVALENT MESHES INCLUDE W6 ON 4" X 4" SPACING OR W10 ON 6" X 6" SPACING. CONCRETE PAD TO HAVE REQUIRED EXPANSION JOINTS EVERY 20' X 20'. SAW-CUT JOINTS EVERY 10' AND THICKEN PROFILES AT EDGE OF PAD AND AT EACH STRUCTURE/EMBED.
 - CONSTRUCTION OF 5" APRON AROUND PERIMETER OF SPLASH PAD TO BE 4" THICK, WIRE MESH REINFORCED, 3500 PSI CONCRETE. APRON TO INCLUDE EXPANSION JOINT AT PERIMETER EDGE OF SPLASH PAD AND NEEDED SAW-CUT JOINTS. SCHEDULE 80 PVC TO BE UTILIZED FOR ALL SPLASH PAD MECHANICAL SYSTEM PIPING.

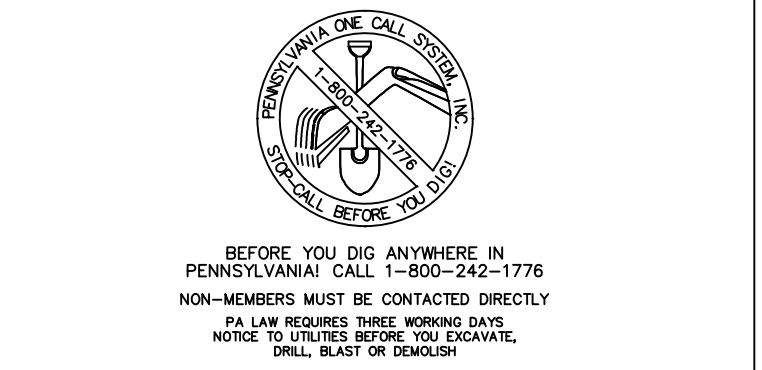
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REVISIONS

ISSUE	DATE	REVISIONS

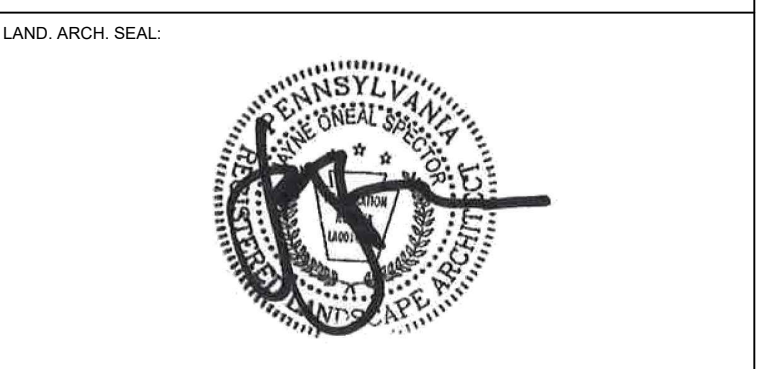


PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Main Street
West Chester, Pennsylvania
19380-1078



PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PPR PROJECT COORDINATOR: NICHOLAS UPMEYER



SIGNATURE: JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT
PA Lic. No. LA001000R

CIVIL ENG. SEAL:

PRIMARY CONSULTANT: **LANGAN**
Langan Engineering and Environmental Services, Inc.
1818 Market Street, Suite 3300
Philadelphia, PA 19103
T: 215.845.8900 F: 215.845.8901 www.langan.com

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2 E Lancaster Ave - 2nd Fl.
Ardmore, PA 19003
Phone: (610) 642-1750
www.chestnut-engineering.com

SUB-CONSULTANT: **Rodriguez Consulting**
1301 N 2nd Street
Philadelphia, PA 19122
Phone: (215) 839-8087
www.RodriguezConsulting.biz

CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PPR PROJECT NUMBER: 10-19-4395-01

PROJECT TITLE: **IMPROVEMENTS TO MILES MACK PLAYGROUND**
736 N 36TH ST, PHILADELPHIA, PA

DRAWING TITLE: **SPRAYGROUND DETAILS**

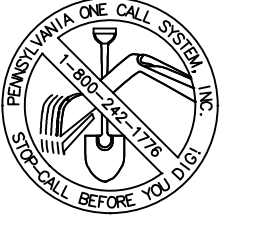
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CONSULTANT PROJECT NO.: 220104104
DATE: 01/21/2020
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CHECKED BY: TG/JS

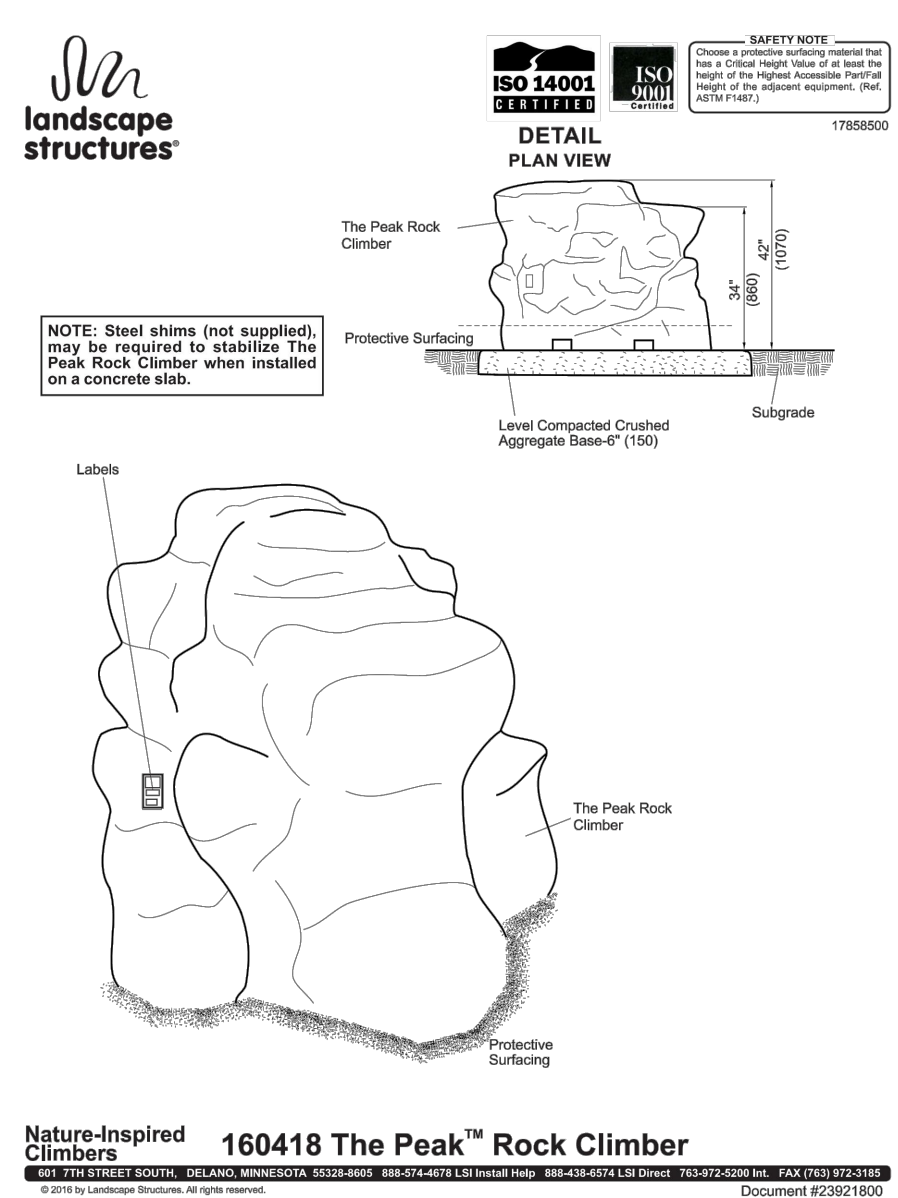
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

D-1.3

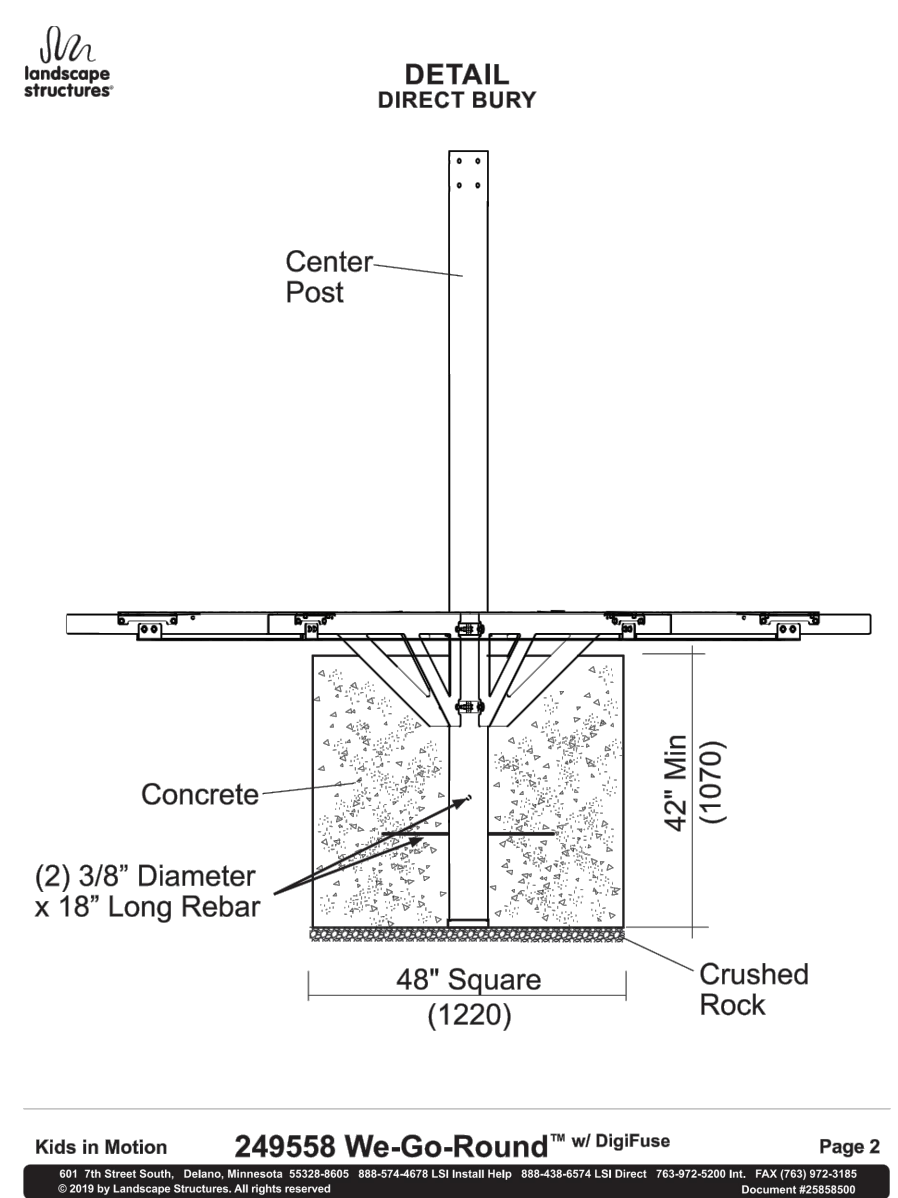
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ALL FOOTING DESIGN BY MANUFACTURER

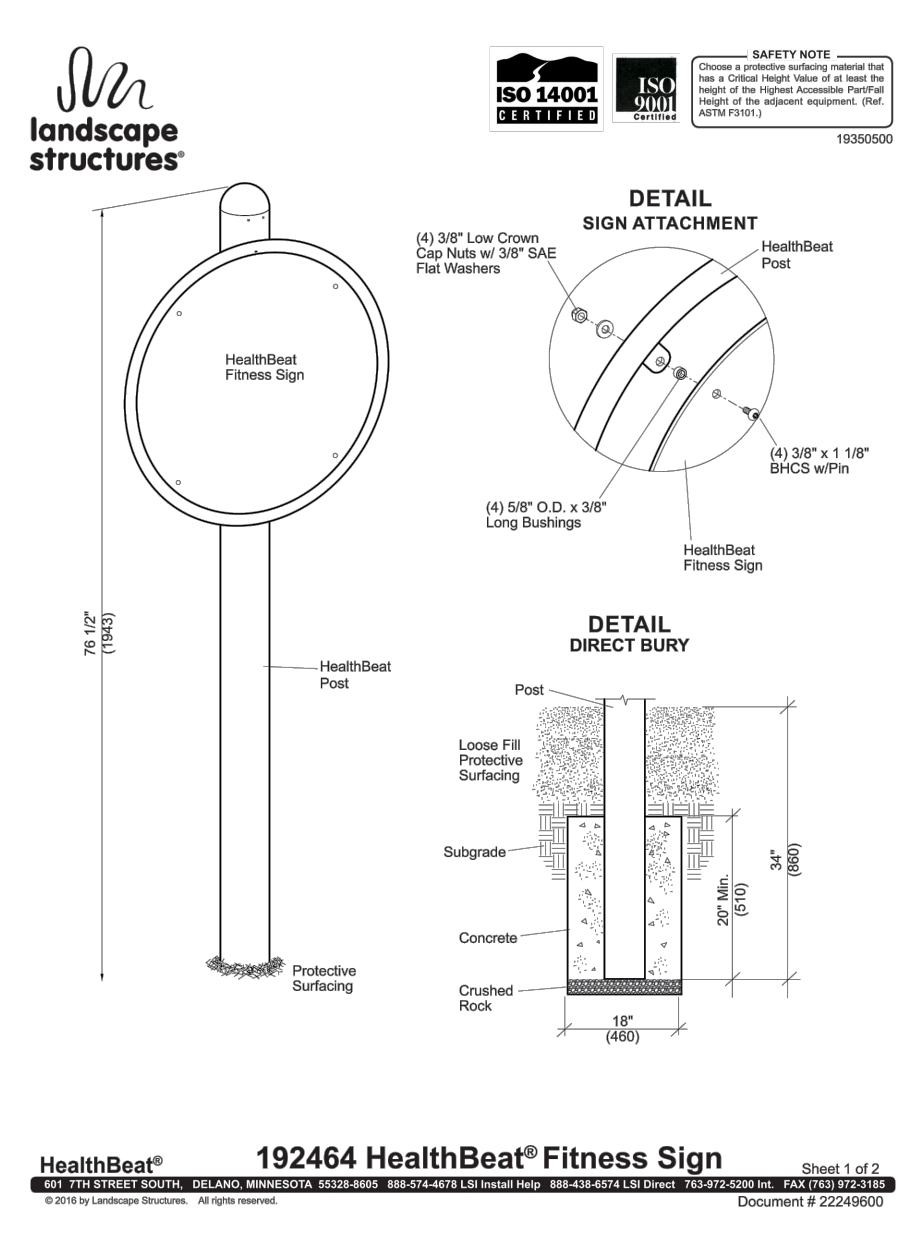
REVISIONS		
ISSUE	DATE	REVISIONS
<p>PENNSYLVANIA ONE CALL SYSTEM, INC. 925 North Run Road West Mifflin, Pennsylvania 15122 - 1078</p>  <p>BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA, CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH</p> <p>PA ONE-CALL NUMBER (FOR DESIGN ONLY):</p>		
PPR PROJECT COORDINATOR:	NICHOLAS UPMEYER	
LAND ARCH. SEAL:		
SIGNATURE	JAYNE O. SPECTOR, PROFESSIONAL LANDSCAPE ARCHITECT PA Lic. No. LA001000R	DATE SIGNED
CIVIL ENG. SEAL:		
PRIMARY CONSULTANT:	<p>LANGAN Langan Engineering and Environmental Services, Inc. 1818 Market Street, Suite 3300 Philadelphia, PA 19103</p> <p>T: 215.845.8900 F: 215.845.8901 www.langan.com</p>	
SUB-CONSULTANT:	<p>Chestnut Engineering 2 E Lancaster Ave - 2nd Fl. Ardmore, PA 19003 Phone: (610) 642-1750 www.chestnut-engineering.com</p>	
CONSULTANT PROJECT NUMBER		
SUB-CONSULTANT:	<p>Rodriguez Consulting 1301 N 2nd Street Philadelphia, PA 19122 Phone: (215) 839-8087 www.RodriguezConsulting.biz</p>	
CONSULTANT PROJECT NUMBER		
<p>CITY OF PHILADELPHIA PHILADELPHIA PARKS AND RECREATION</p> <p>1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING</p>		
PPR PROJECT NUMBER	10-19-4395-01	
PROJECT TITLE	<p>IMPROVEMENTS TO MILES MACK PLAYGROUND 736 N 36TH ST, PHILADELPHIA, PA</p>	
DRAWING TITLE	<p>FOOTING DETAILS II</p>	
PPR PROJECT NO.:	10-19-4395-01	DRAWING NO.:
CONSULTANT PROJECT NO.:	220104104	
DATE:	01/21/2020	
SCALE:	NTS	D-1.5
DRAWN BY:	YW	
CHECKED BY:	TG/JS	
NOTE:	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	



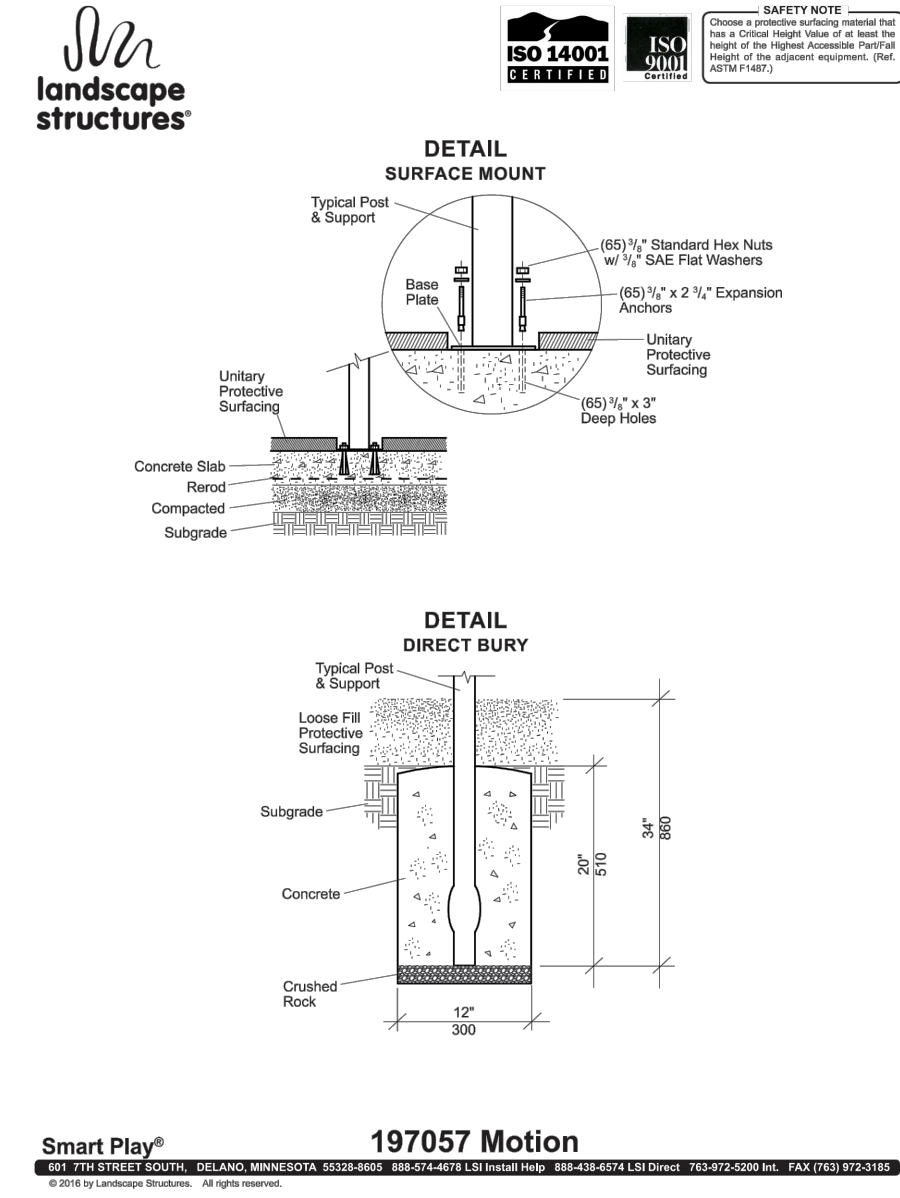
3 FOOTER PEAK CLIMBER NTS



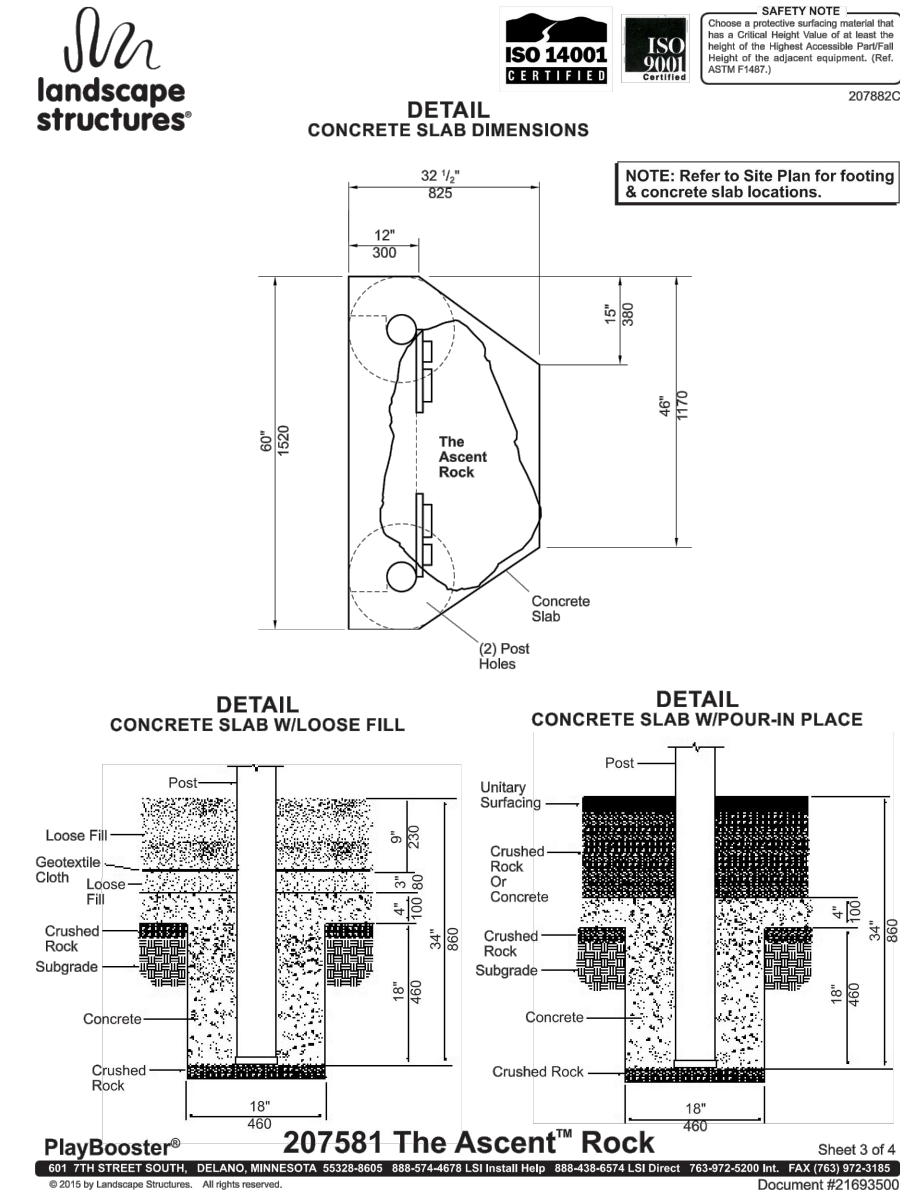
6 FOOTER WE-GO-ROUND NTS



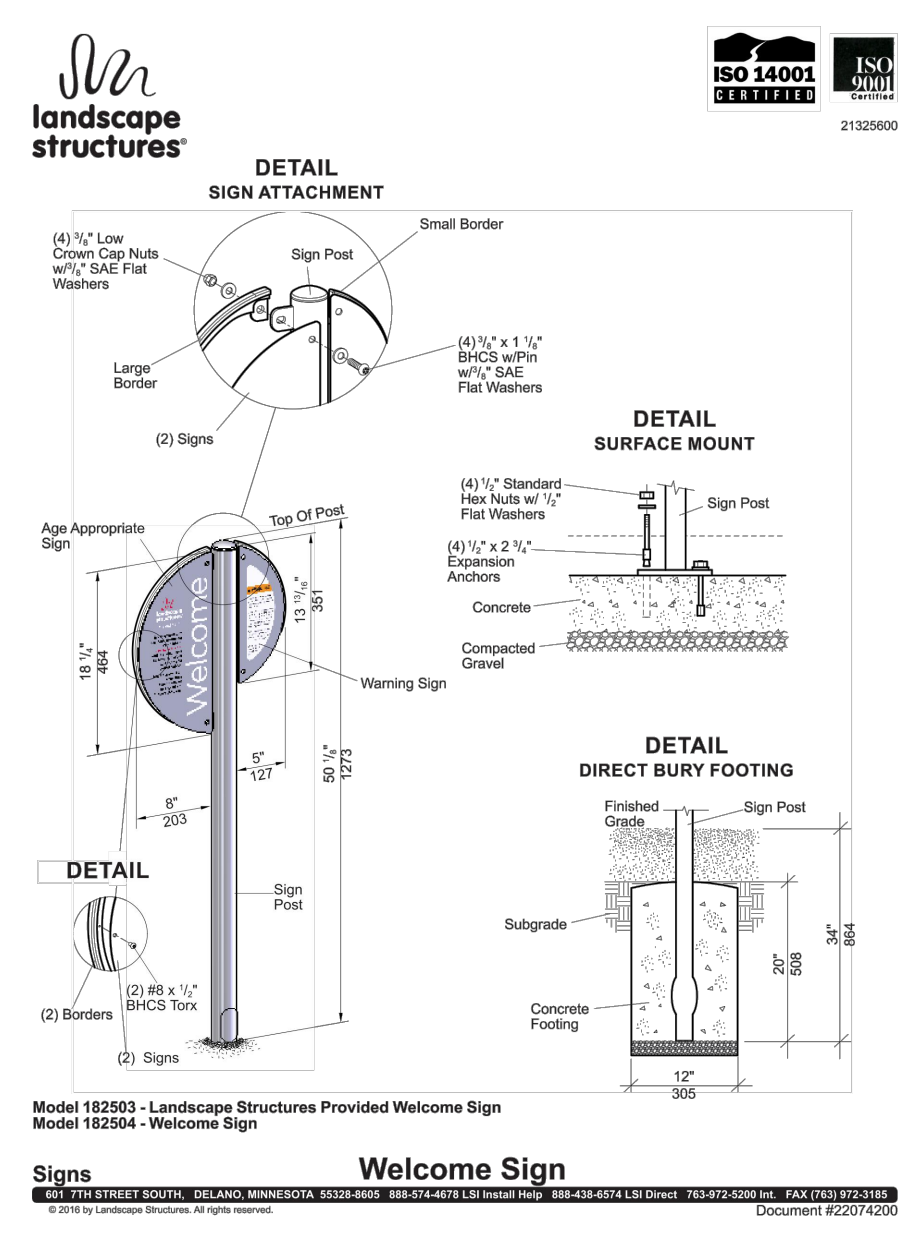
9 HEALTHBEAT FITNESS SIGN NTS



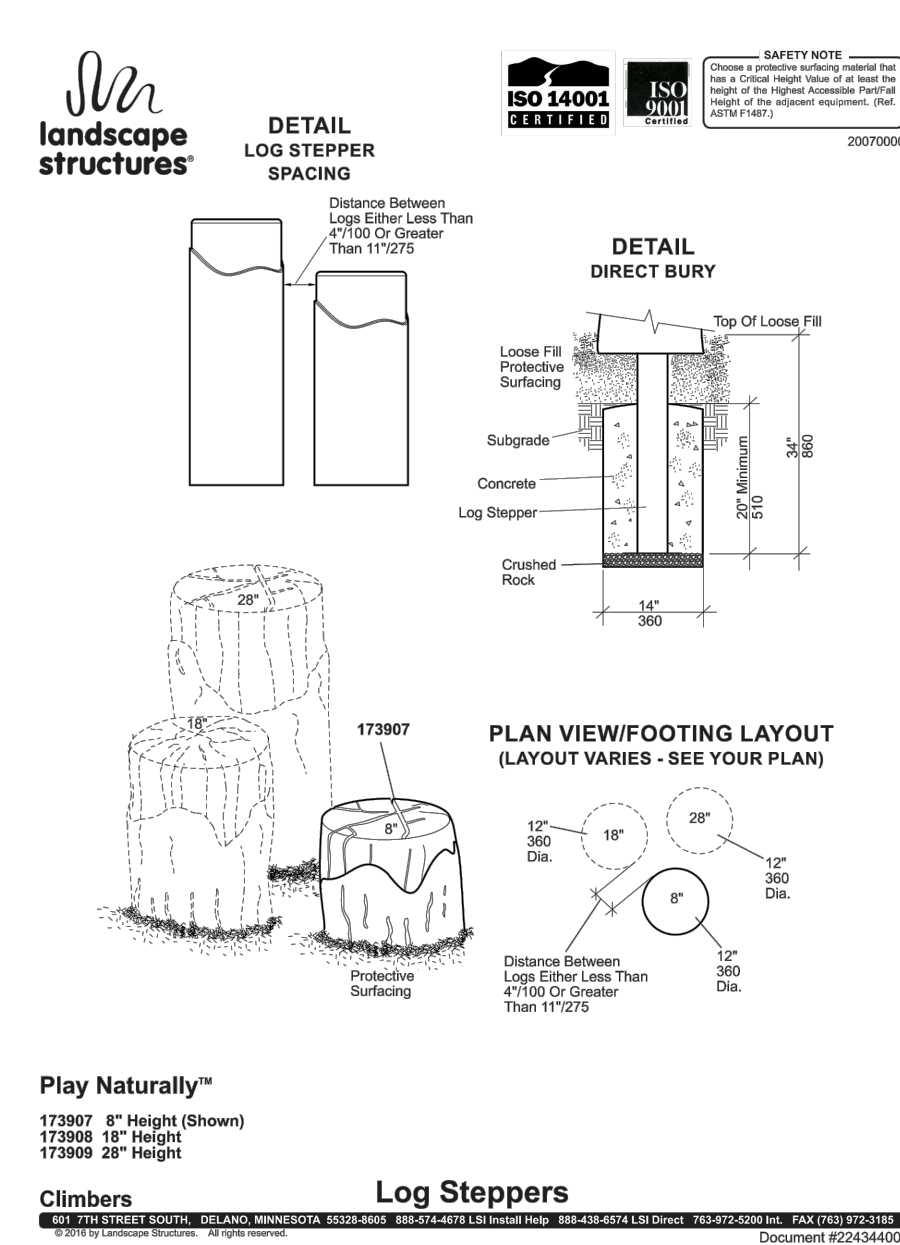
2 FOOTER SMART PLAY MOTION NTS



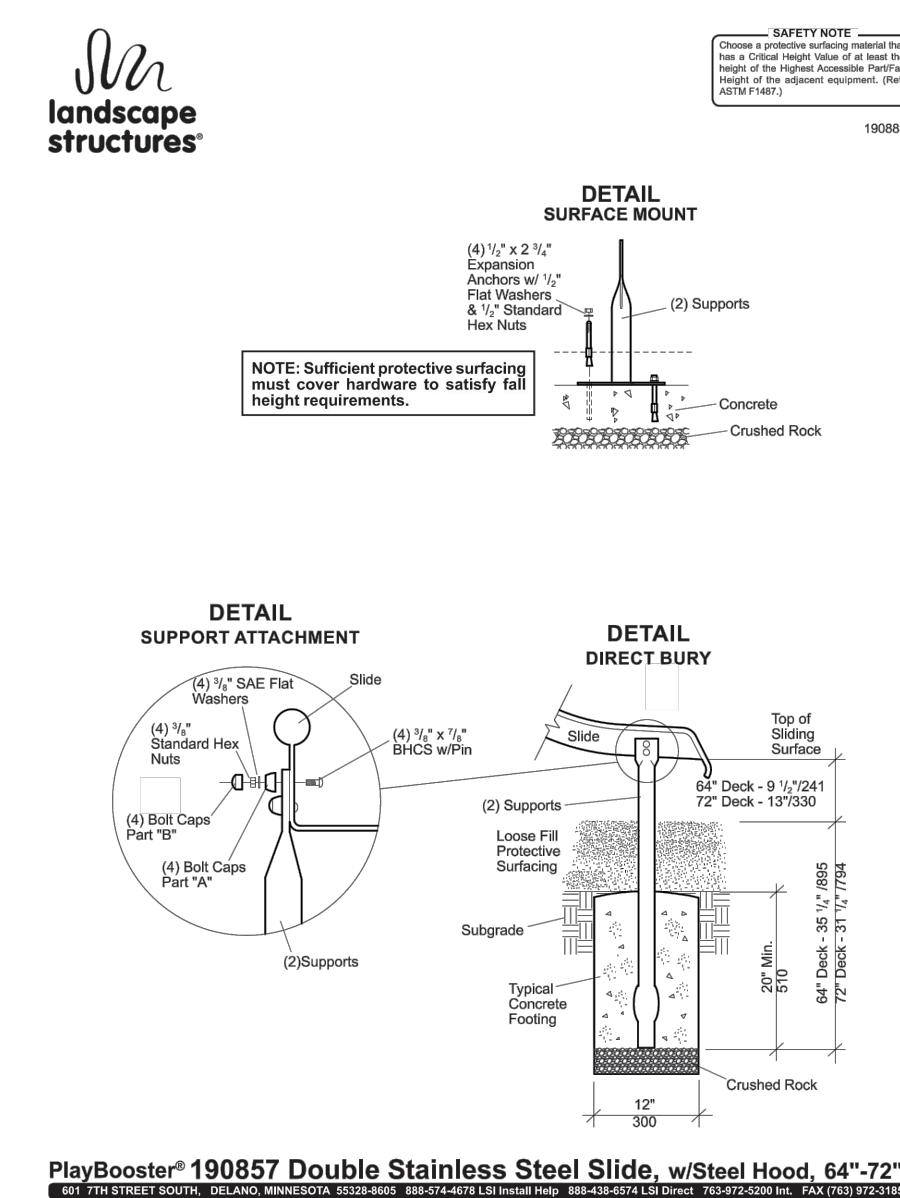
5 FOOTER THE ASCENT ROCK NTS



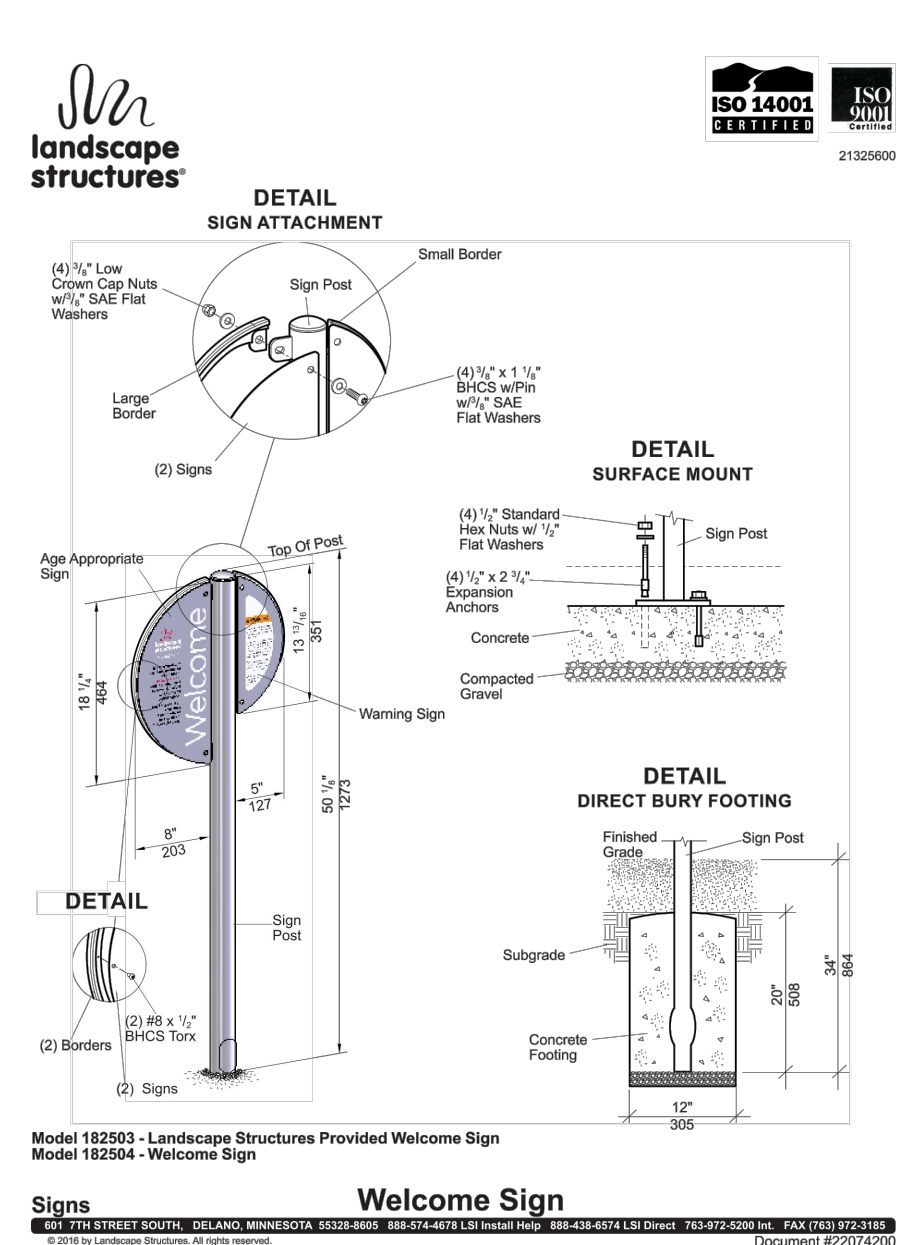
8 WELCOME SIGN 5-12 NTS



1 FOOTER LOG STEPPER NTS

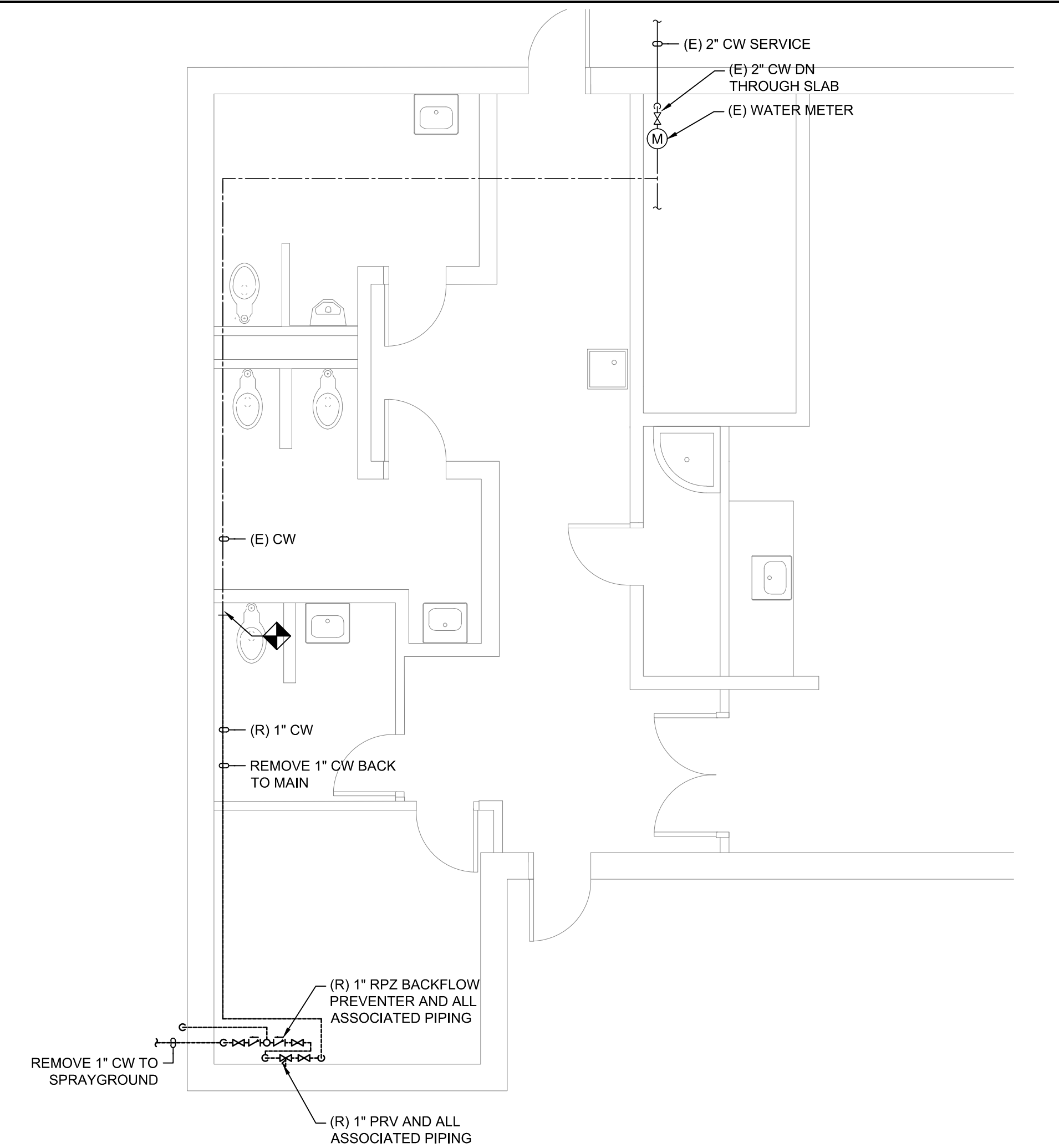


4 FOOTER STAINLESS STEEL SLIDE NTS

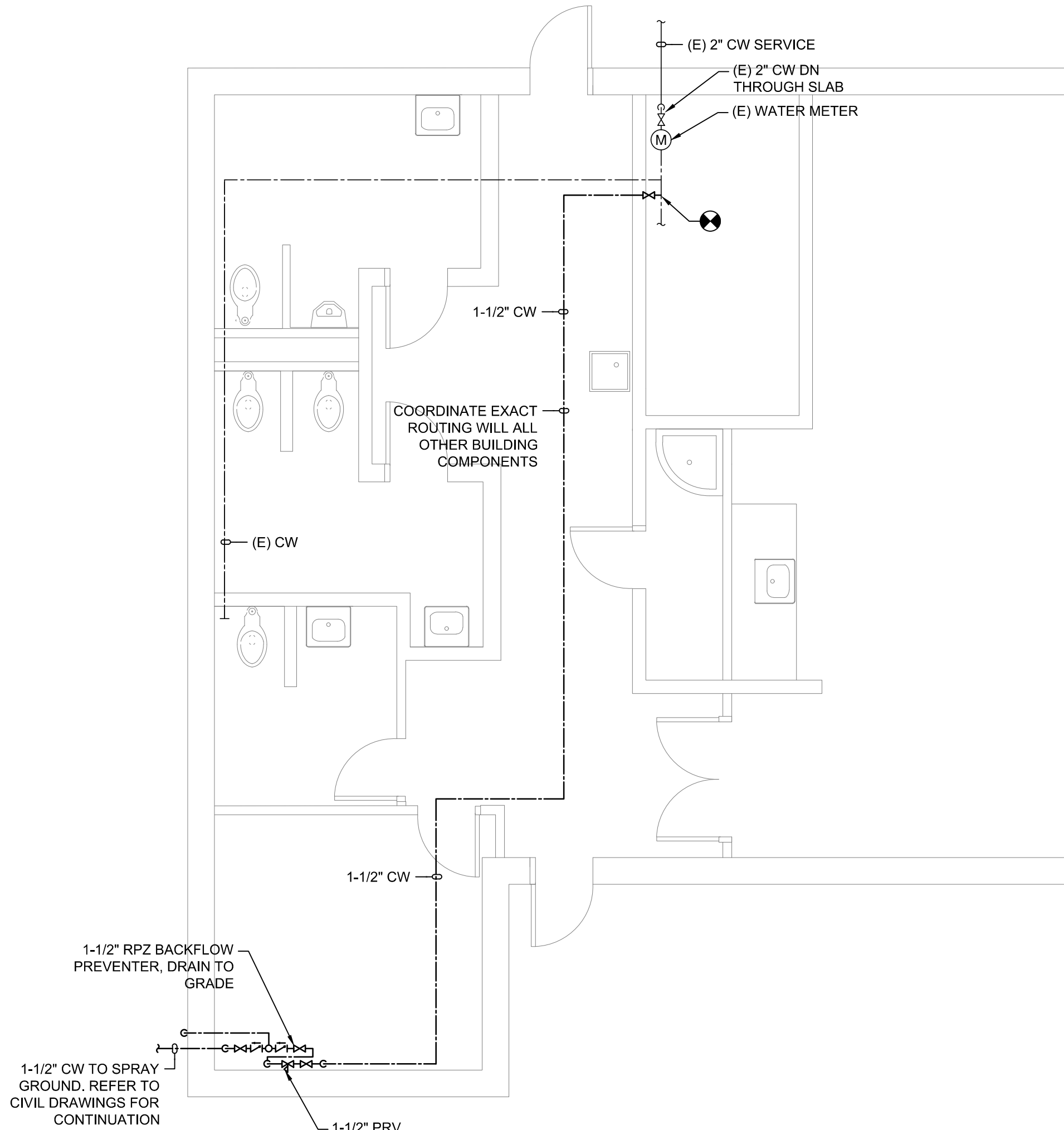


7 WELCOME SIGN 2-5 NTS

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1 MECHANICAL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 MECHANICAL NEW WORK PLAN
SCALE: 1/4" = 1'-0"

GENERAL REQUIREMENTS

SCOPE OF WORK: A 1-1/2" SPRAY GROUND SERVICE WITH BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF THE EXISTING WATER METER TO COMPLY WITH CURRENT CODE. THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING GENERAL REQUIREMENTS:

- EXAMINE JOB SITE AND VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. BRING ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE ACTUAL FIELD CONDITIONS TO THE ATTENTION OF THE ARCHITECT.
- THE DRAWINGS ARE DIAGRAMMATIC. COORDINATE IN THE FIELD, WITH THE ARCHITECT AND WITH ALL TRADES, THE EXACT LOCATION OF EQUIPMENT, FIXTURES, VALVES, THERMOSTATS, ETC. AND ROUTING OF PIPING, DUCTWORK, CONDUIT, ETC.
- ARRANGE FOR PIPE SPACES, CHASES, SLOTS, AND OPENINGS IN BUILDING STRUCTURE DURING PROGRESS OF CONSTRUCTION, TO ALLOW FOR MECHANICAL INSTALLATIONS.
- COORDINATE INSTALLATION OF REQUIRED SUPPORTING DEVICES AND SET SLEEVES IN POURED-IN-PLACE CONCRETE AND OTHER STRUCTURAL COMPONENTS AS THEY ARE CONSTRUCTED.
- COORDINATE REQUIREMENTS FOR ACCESS PANELS AND DOORS FOR PLUMBING ITEMS REQUIRING ACCESS THAT ARE CONCEALED BEHIND FINISHED SURFACES.
- PERFORM WORK IN ACCORDANCE WITH RULES, REGULATIONS, STANDARDS, CODES, ORDINANCES, AND LAWS OF LOCAL, STATE, AND FEDERAL GOVERNMENTS, AND OTHER AUTHORITIES HAVING JURISDICTION AND BE RESPONSIBLE FOR COMPLIANCE THEREWITH.
- GUARANTEE ALL SYSTEMS AND WORK FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE.
- ALL MATERIALS SHALL BE NEW AND OF COMMERCIAL GRADE AND BEAR THE UNDERWRITER'S LABEL WHERE APPLICABLE.
- LOCATE ALL EXISTING UTILITIES AND MAKE SERVICEABLE CONNECTIONS TO SAME.
- OBTAIN APPROVAL FROM THE BUILDING OWNER'S REPRESENTATIVE PRIOR TO ANY INTERRUPTION OF BUILDING SYSTEMS. COORDINATE ACCEPTABLE WORKING HOURS WITH SAME.
- ALL CUTTING AND PATCHING IS BY RESPECTIVE CONTRACTORS. CORE DRILL OR SAW CUT ALL MASONRY AND RESTORE ALL SURFACES TO ORIGINAL CONDITION.
- CUT, FIT, AND PLACE MISCELLANEOUS METAL SUPPORTS ACCURATELY IN LOCATION, ALIGNMENT, AND ELEVATION TO SUPPORT AND ANCHOR MECHANICAL MATERIALS AND EQUIPMENT.
- BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, THE MECHANICAL CONTRACTOR SHALL CHECK AND VERIFY ALL MEASUREMENTS, INCLUDING LINES, GRADES, PIPE AND DUCT ELEVATIONS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.
- "PROVIDE" SHALL MEAN FURNISH AND INSTALL, MAKE ALL FINAL CONNECTIONS AND LEAVE IN AN APPROVED OPERATING CONDITION.
- "PLUMBING WORK" OR "WORK" SHALL MEAN ALL LABOR, TRANSPORTATION, MATERIAL, EQUIPMENT, SCAFFOLDING, RIGGING, TOOLS, INSTALLATION, SUPERVISION, SERVICES, AND ANY OTHER INCIDENTAL ITEMS OR SERVICES NECESSARY FOR A COMPLETE AND OPERABLE INSTALLATION.
- INTENT
 - IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS THAT ALL WORK, EQUIPMENT, APPURTENANCES, CONTROLS AND WIRING BE FURNISHED AND INSTALLED TESTED, COMPLETED AND READY FOR OPERATION.
 - ANY INCIDENTAL ACCESSORIES NECESSARY TO MAKE THE WORK COMPLETE AND FUNCTIONAL IN ALL RESPECTS AND READY FOR OPERATION, EVEN IF NOT EXPLICITLY SPECIFIED OR SHOWN, SHALL BE PROVIDED WITHOUT ADDITIONAL EXPENSE. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT MANIFESTLY REQUIRED FOR THE PROPER INSTALLATION AND OPERATION OF THE VARIOUS SYSTEMS, SHALL BE INCLUDED IN THE WORK, THE SAME AS IF SPECIFIED OR SHOWN ON THE DRAWINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT THE PROPOSED SYSTEMS CAN BE INSTALLED AS REQUIRED FROM THE DRAWINGS AND SPECIFICATIONS. IF ANY DEPARTURES FROM THE DRAWINGS AND SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND CLEAR JUSTIFICATION SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL. NO SUCH DEPARTURES SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER.
- DRAWINGS
 - DRAWINGS ARE DIAGRAMMATIC, SMALL SCALE AND INDICATE THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED AS IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, BENDS, FITTINGS AND ACCESS PANELS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL SUCH APPURTENANCES AND DEVICES REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM WHETHER OR NOT THE APPURTENANCE OR DEVICE IS SHOWN ON THE DRAWINGS. DRAWINGS ARE NOT TO BE SCALED.

SPECIFICATIONS

- BACKFLOW PREVENTERS
 - REDUCED-PRESSURE-PRINCIPLE BACKFLOW PREVENTERS:
 - BASIS-OF-DESIGN PRODUCT: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE THE PRODUCT INDICATED ON DRAWINGS OR A COMPARABLE PRODUCT BY ONE OF THE FOLLOWING:
 - AMES FIRE & WATERWORKS; A DIVISION OF WATTS REGULATOR CO.
 - FEBCO; SPX VALVES & CONTROLS.
 - WATTS WATER TECHNOLOGIES, INC.
 - WILKINS; A ZURN COMPANY.
 - STANDARD: AWWA C511.
 - OPERATION: CONTINUOUS-PRESSURE APPLICATIONS.
 - PRESSURE LOSS: 10 PSIG MAXIMUM, THROUGH MIDDLE 1/3 OF FLOW RANGE.
 - SIZE: 3"
 - BODY: CAST IRON WITH INTERIOR LINING COMPLYING WITH AWWA C550 FOR NPS 2-1/2 AND LARGER.
 - END CONNECTIONS: FLANGED FOR NPS 2-1/2 AND LARGER.
 - CONFIGURATION: DESIGNED FOR HORIZONTAL, STRAIGHT THROUGH FLOW.
 - ACCESSORIES:
 - VALVES: OS&Y GATE TYPE WITH FLANGED ENDS ON INLET AND OUTLET OF NPS 2-1/2 AND LARGER.
 - AIR-GAP FITTING: ASME A112.1.2, MATCHING BACKFLOW PREVENTER CONNECTION.
- BACKFLOW PREVENTER INSTALLATION
 - INSTALL BACKFLOW PREVENTERS OF TYPE, SIZE, AND CAPACITY INDICATED. INCLUDE VALVES AND TEST COCKS. INSTALL ACCORDING TO REQUIREMENTS OF PLUMBING AND HEALTH DEPARTMENT AND AUTHORITIES HAVING JURISDICTION.
 - DO NOT INSTALL BACKFLOW PREVENTERS THAT HAVE RELIEF DRAIN IN VAULT OR IN OTHER SPACES SUBJECT TO FLOODING.
 - DO NOT INSTALL BYPASS PIPING AROUND BACKFLOW PREVENTERS.
 - SUPPORT NPS 2-1/2 AND LARGER BACKFLOW PREVENTERS, VALVES, AND PIPING NEAR FLOOR AND ON BRICK OR CONCRETE PIERS.
- PIPING SCHEDULE
 - DOMESTIC WATER PIPING SHALL BE ONE OF THE FOLLOWING:
 - HARD COPPER TUBE, ASTM B 88, TYPE L; CAST- OR WROUGHT- COPPER SOLDER-JOINT FITTINGS; AND BRAZED JOINTS.
 - HARD COPPER TUBE, ASTM B 88, TYPE L; GROOVED-JOINT COPPER-TUBE APPURTENANCES; AND GROOVED JOINTS.

PLUMBING LEGEND

ABBREVIATIONS	SYMBOLS	
AAV	AIR ADMITTANCE VALVE ABOVE	EXISTING SANITARY TO REMAIN
AD	AREA DRAIN	EXISTING VENT TO REMAIN
AP	ACCESS PANEL	EXISTING TO BE REMOVED
BT	BATH TUB	NEW SANITARY PIPE
CFH	CUBIC FEET PER HOUR	NEW VENT PIPE
CLG	CEILING	DOMESTIC COLD WATER
CO	CLEAN OUT	DOMESTIC HOT WATER
CONT	CONTINUED	DOMESTIC HOT WATER RETURN
COTG	CLEAN OUT TO GRADE	DIAMETER
CW	DOMESTIC COLD WATER	CONNECT NEW TO EXISTING
DF	DRINKING FOUNTAIN	CUT AND CAP
DFU	DRAINAGE FIXTURE UNITS	EXISTING TO BE REMOVED
DN	DOWN	EXISTING TO BE RELOCATED
DW	DISHWASHER	METER
(E)	EXISTING TO REMAIN	GAS METER
EC	ELECTRICAL CONTRACTOR	PIPE UP
EW	EMERGENCY EYEWASH	PIPE DOWN
EWC	ELECTRIC WATER COOLER	PIPE DROP
EWV	ELECTRIC WATER HEATER	GAS PRESSURE REGULATOR
EX	EXISTING	UNION
FAI	FRESH AIR INLET	REDUCER
FCO	FLOOR CLEAN OUT	PLUMBING FIXTURE TAG
FD	FLOOR DRAIN	FIXTURE TYPE
FS	FLOOR SINK	FIXTURE NUMBER
FW	FILTERED WATER	RISER TAG
GAS	GAS	RISER TYPE
GC	GENERAL CONTRACTOR	RISER NUMBER
GW	GREASE WASTE	
GWV	GAS WATER HEATER	
HB	HOSE BIBB	
HW	DOMESTIC HOT WATER	
HWR	DOMESTIC HOT WATER RETURN	
INV	INVERT	
IW	INDIRECT WASTE	
IWH	INSTANTANEOUS WATER HEATER	
JS	JANITOR SINK	
L	LAVATORY	
LT	LAUNDRY TUB	
MAX	MAXIMUM	
MC	MECHANICAL CONTRACTOR	
MH	MAN HOLE	
MIN	MINIMUM	
MR	MOP RECEPTOR	
(N)	NEW WORK	
NC	NORMALLY CLOSED	
NIC	NOT IN CONTRACT	
NO	NORMALLY OPEN	
NTS	NOT TO SCALE	
P	PUMP	
PC	PLUMBING CONTRACTOR	
PRV	PRESSURE REDUCING VALVE	
PSI	POUNDS PER SQUARE INCH	
(R)	EXISTING TO BE REMOVED	
RD	ROOF DRAIN	
(RL)	EXISTING TO BE RELOCATED	
RBP	REDUCED PRESSURE BACKFLOW PREVENTER	
RPM	REVOLUTIONS PER MINUTE	
RWC	RAIN WATER CONDUCTOR	
s=02	SLOPE	
S	SINK	
SA	SHOCK ABSORBER W/ ACCESS PANEL	
SAN	SANITARY	
SFU	SUPPLY FIXTURE UNITS	
SH	SHOWER	
SS	SOIL STACK	
ST	STORM DRAINAGE PIPING	
TP	TRAP PRIMER	
TYP	TYPICAL	
U	URINAL	
V	VENT PIPING	
VFD	VARIABLE FREQUENCY DRIVE	
VIF	VERIFY IN FIELD	
VTR	VENT THRU ROOF	
W	WATER SUPPLY FIXTURE UNIT - HOT	
WB	WASHER BOX	
WC	WATER CLOSET	
WCO	WALL CLEAN OUT	
()	WATER SUPPLY FIXTURE UNIT - COLD	
[]	WATER SUPPLY FIXTURE UNIT - TOTAL	
{ }		

REVISIONS

ISSUE	DATE	REVISIONS



PENNSYLVANIA ONE CALL SYSTEM, INC.
625 Suite Run Road
West Mifflin, Pennsylvania
15122 - 1076

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-246-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
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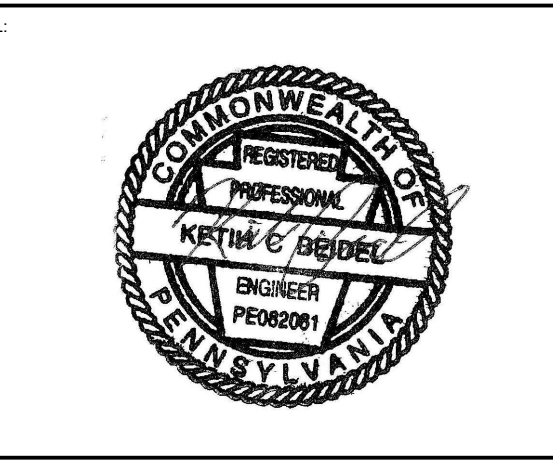
PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PRR PROJECT COORDINATOR: NICHOLAS UPMEYER

LAND ARCH. SEAL:

PERMIT SET

SIGNATURE: KEITH BEIDEL, REGISTERED PROFESSIONAL ENGINEER PA Lic. No. PE082081



PRIMARY CONSULTANT: **LANGAN**
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Philadelphia, PA 19103
T: 215.845.8900 F: 215.845.8901 www.langan.com

SUB-CONSULTANT:

CONSULTANT PROJECT NUMBER

SUB-CONSULTANT:

CONSULTANT PROJECT NUMBER

**CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION**

ONE PARKWAY BUILDING
1515 ARCH STREET, 11TH FLOOR

PRR PROJECT NUMBER 10-19-4395-01

**IMPROVEMENTS TO
MILES MACK PLAYGROUND**
732 N 36TH ST, PHILADELPHIA, PA

**MECHANICAL COVER SHEET
SCHEDULES, AND PLANS**

PRR PROJECT NO: 10-19-4395-01

CONSULTANT PROJECT NO: 220104102

DATE: 08/30/2019

SCALE: AS NOTED

DRAWN BY: KCB

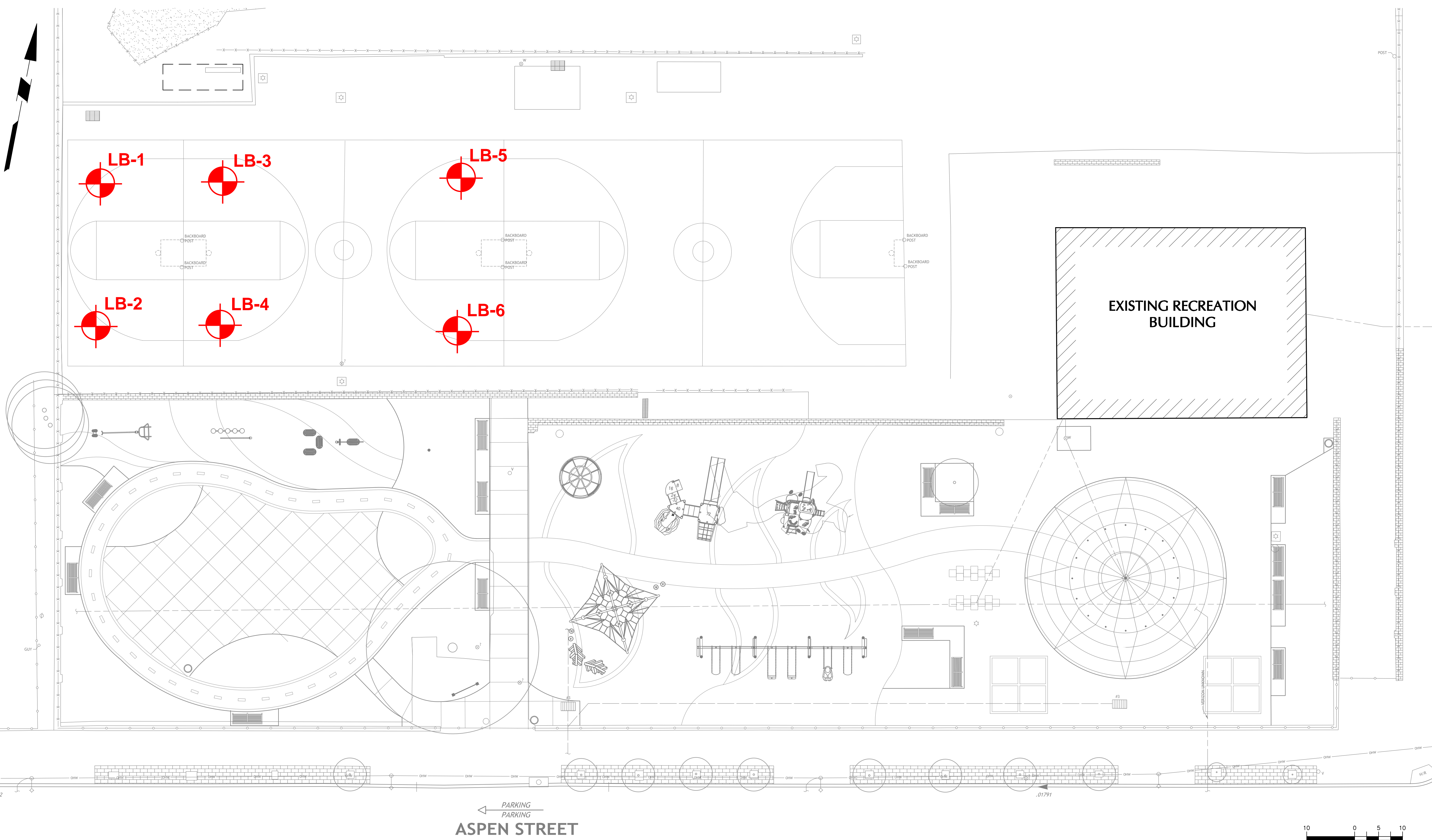
CHECKED BY: KCB

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DRAWING SCHEDULE		ISSUE	PERMIT SET
DRAWING NUMBER	DRAWING TITLE	DATE	08/30/2019
M-1.0	MECHANICAL COVER SHEET, SCHEDULES, AND PLANS		

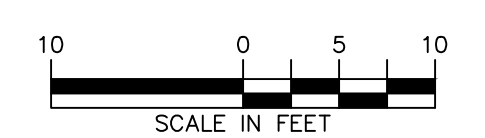
CODE INFORMATION	
MUNICIPALITY	CITY OF PHILADELPHIA
BUILDING CODE	2018 INTERNATIONAL BUILDING CODE
SUBCODES	2004 PHILADELPHIA PLUMBING CODE, 4TH PRINTING



LEGEND

	EXISTING 1 FT MINOR CONTOURS		PROPERTY BOUNDARY
	EXISTING 5 FT MAJOR CONTOURS		EXISTING STORM SEWER
	EXISTING SPOT ELEVATION		EXISTING GAS LINE
	EXISTING UTILITY POLE		EXISTING FENCE LINE
	EXISTING STORM SEWER/INLET		EXISTING WATER MAIN
	EXISTING SIGN		EXISTING DRAINAGE PIPE
	EXISTING LIGHT POLES		EXISTING ELECTRIC
	FIRE HYDRANT		EXISTING SANITARY SEWER
	EXISTING TREE		

← PARKING
PARKING
ASPEN STREET



PROPOSED BORING LOCATION PLAN
LANGAN ENGINEERING
19 SEPTEMBER 2019

LEGEND

LB-1
PROPOSED 10-FOOT-DEEP SOIL BORING

REVISIONS		
ISSUE	DATE	REVISIONS

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PENNSYLVANIA ONE CALL SYSTEM, INC.
 625 Oak Run Road
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PA ONE-CALL NUMBER (FOR DESIGN ONLY):

PPR PROJECT COORDINATOR: **NICHOLAS UPMEYER**

LAND ARCH. SEAL:

90% CD SET
NOT FOR CONSTRUCTION

SIGNATURE: _____ DATE SIGNED: _____

CIVIL ENG. SEAL:

PRIMARY CONSULTANT:
LANGAN
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CONSULTANT PROJECT NUMBER:

CITY OF PHILADELPHIA
PHILADELPHIA PARKS AND RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING

PPR PROJECT NUMBER: **10-19-4395-01**

PROJECT TITLE:
IMPROVEMENTS TO MILES MACK PLAYGROUND
 732 N 36TH ST, PHILADELPHIA, PA

DRAWING TITLE:

PPR PROJECT NO.: 10-19-4395-01	DRAWING NO.:
CONSULTANT PROJECT NO.: 220104104	
DATE: 08/30/2019	
SCALE: 1"=10'	
DRAWN BY: JM	
CHECKED BY: TGJS	

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