

GENERAL DEMO NOTES

DEFINITIONS:
 REMOVE: REMOVE AND LEGALLY DISPOSE OF ITEMS EXCEPT THOSE INDICATED TO BE REINSTALLED, SALVAGED, OR TO REMAIN THE OWNER'S PROPERTY.
 EXISTING TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION AND NEW CONSTRUCTION.

GENERAL CONTRACTOR SHALL INCLUDE COSTS FOR ALL DEMOLITION INCLUDING BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:

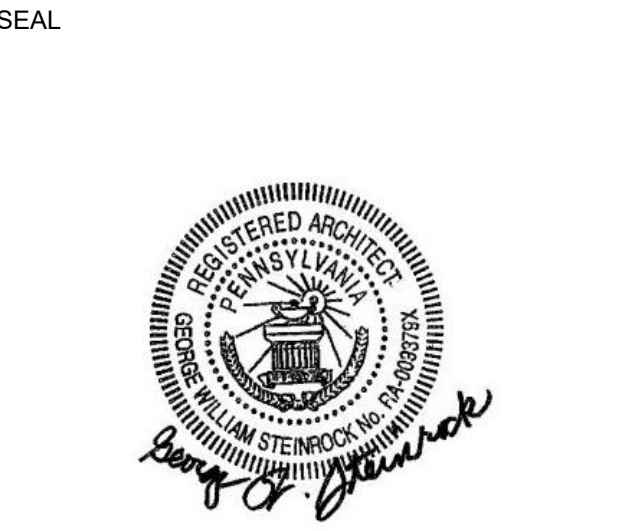
- DEMOLITION WORK INCLUDES, BUT NOT LIMITED TO THE WORK INDICATED, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS INDICATED ELSEWHERE, AND AS REQUIRED TO ACCOMMODATE CONSTRUCTION. ALL DEMOLITION REQUIRED SHALL BE INCLUDED IN EACH CONTRACTOR'S BASE BID TO PERFORM AND COMPLETE CONSTRUCTION UNLESS OTHERWISE INDICATED. REFER TO ASBESTOS ABATEMENT REPORT AND MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL ITEMS DESIGNATED AS 'SALVAGED' SHALL BE COORDINATED WITH OWNER.
- ITEMS TO BE SALVAGED, RELOCATED, OR REINSTALLED SHALL BE AS INDICATED. SPECIAL CARE IS TO BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS. THE G.C. SHALL COORDINATE THE STORAGE OF ALL SALVAGED ITEMS TO BE EITHER RELOCATED OR REINSTALLED WITH THE OWNER.
- LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE. RESPECTIVE TRADES SHALL FIELD VERIFY ALL LOCATIONS.
- WHEN A NEW WALL, CEILING, ROOF, OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF, OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE COMPLETELY REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACE OF THE REMAINING SUBSTRATE, UNLESS NOTED OTHERWISE. ALL DEPRESSIONS, INDENTS, OR PROTRUSIONS ETC. LEFT AFTER THE REMOVAL OF ITEMS WHICH WILL INTERFERE WITH THE CONSTRUCTION SHALL BE REPAIRED, REPLACE OR REMOVED TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND OLD SURFACES.
- THE CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, PRIOR TO PROCEEDING WITH DEMOLITION.
- WHERE OPENINGS ARE INDICATED TO BE MADE IN EXISTING MASONRY WALLS, OR EXISTING OPENINGS ARE TO BE INFILLED, THE CONTRACTOR SHALL TOOTH IN NEW MASONRY CONSTRUCTION TO MATCH ADJACENT COURSING.
- CONTRACTORS ARE RESPONSIBLE FOR SHORING, BRACING, AND UNDERPINNING RELATED TO THE DEMOLITION, REMOVAL OR CUTTING OF ANY WALL, PARTITION OR ANY OTHER STRUCTURAL ELEMENT.
- REMOVE ALL EXISTING LIGHT FIXTURES, EMERGENCY LIGHT FIXTURES, AND EXIT SIGNS AND SET ASIDE FOR REUSE.
- PREP ALL INTERIOR WALL AND CEILING SURFACES FOR PAINT INCLUDING UNDERSIDE OF EXPOSED ROOF DECK AND ROOF TRUSSES.
- PREP EXTERIOR COLUMNS FOR PAINT.
- PREP UNDERSIDE OF EXTERIOR ROOF ENTRY CANOPY AND PREP FOR PAINT.
- OPEN AND PARTIALLY DEMO WALLS, CEILINGS, AND FLOORS AS REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING WORK. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.

DEMOLITION RCP KEYNOTES	
KEYNOTE	
1	REMOVE EXISTING LIGHT FIXTURES AND SALVAGE FOR REUSE. SEE ELECTRICAL DWGS FOR MORE DETAIL. PATCH AND REPAIR AFFECTED ADJACENT SURFACES TO MATCH EXISTING TO REMAIN.
2	REMOVE EXISTING CEILING ASSEMBLY AND ALL ASSOCIATED HARDWARE. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PATCH AND REPAIR AFFECTED ADJACENT SURFACES TO MATCH EXISTING TO REMAIN.
3	REMOVE EXISTING GWB SOFFIT AS NEEDED FOR DEMOLITION OF ADJACENT WALLS. PREPARE AREA TO RECEIVE NEW GWB AND PLYWOOD SOFFIT.
4	REMOVE EXISTING CEILING AS REQUIRED FOR DEMOLITION AND NEW WORK IN THIS AREA.
5	EXISTING LIGHT FIXTURES TO REMAIN, PROTECT DURING DEMOLITION

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2
2	3/9/20	Addendum #3



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Sara Nordstrom, 215-683-0253



PROJECT TEAM

ARCHITECT:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

STRUCTURAL ENGINEER:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

SYSTEMS ENGINEER:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

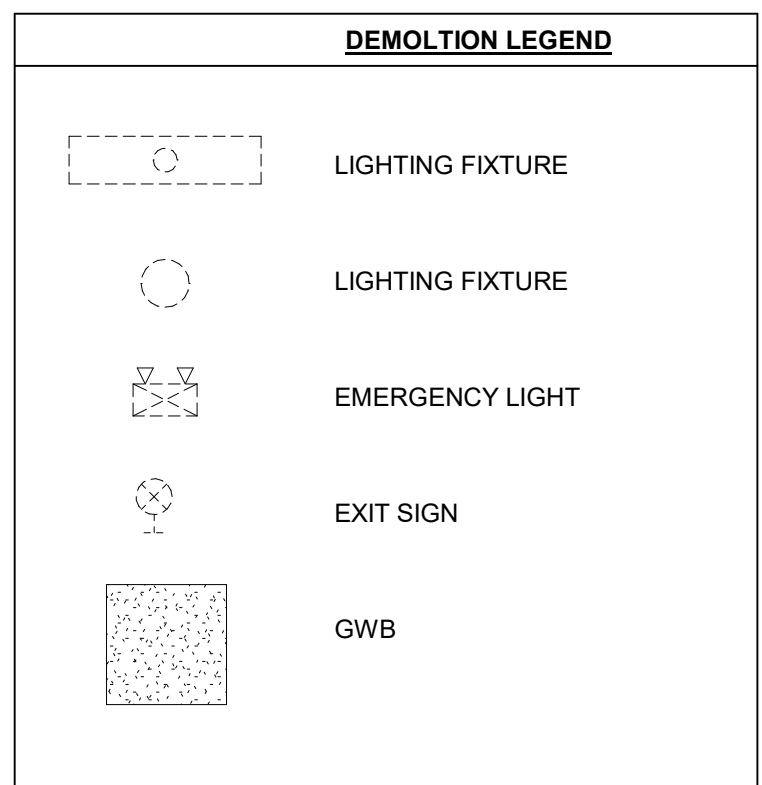
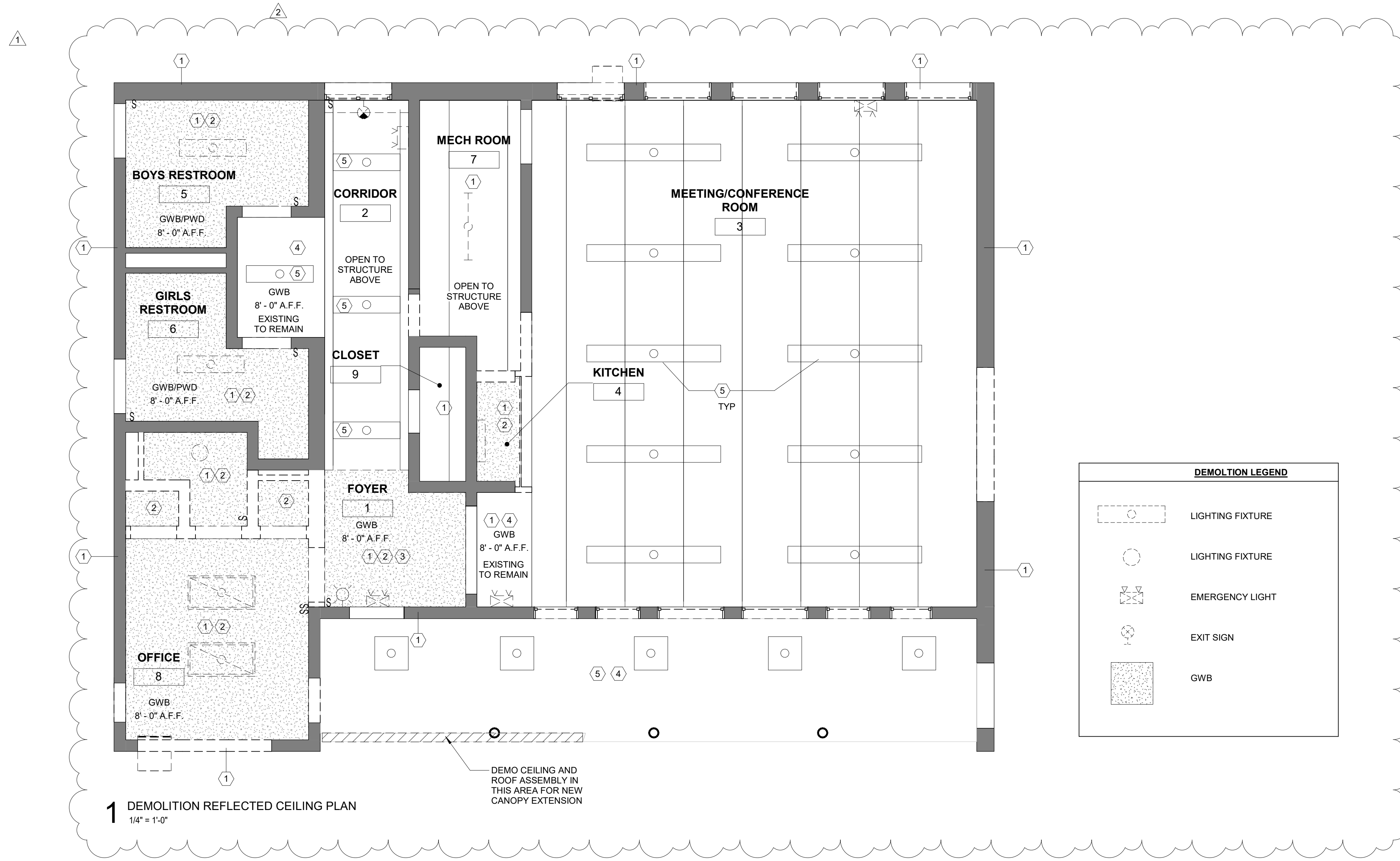
CITY OF PHILADELPHIA
 REBUILD PHILADELPHIA AND
 PHILADELPHIA PARKS & RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 DEMOLITION RCP

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A1.1
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 DEMOLITION REFLECTED CEILING PLAN
 1/4" = 1'-0"