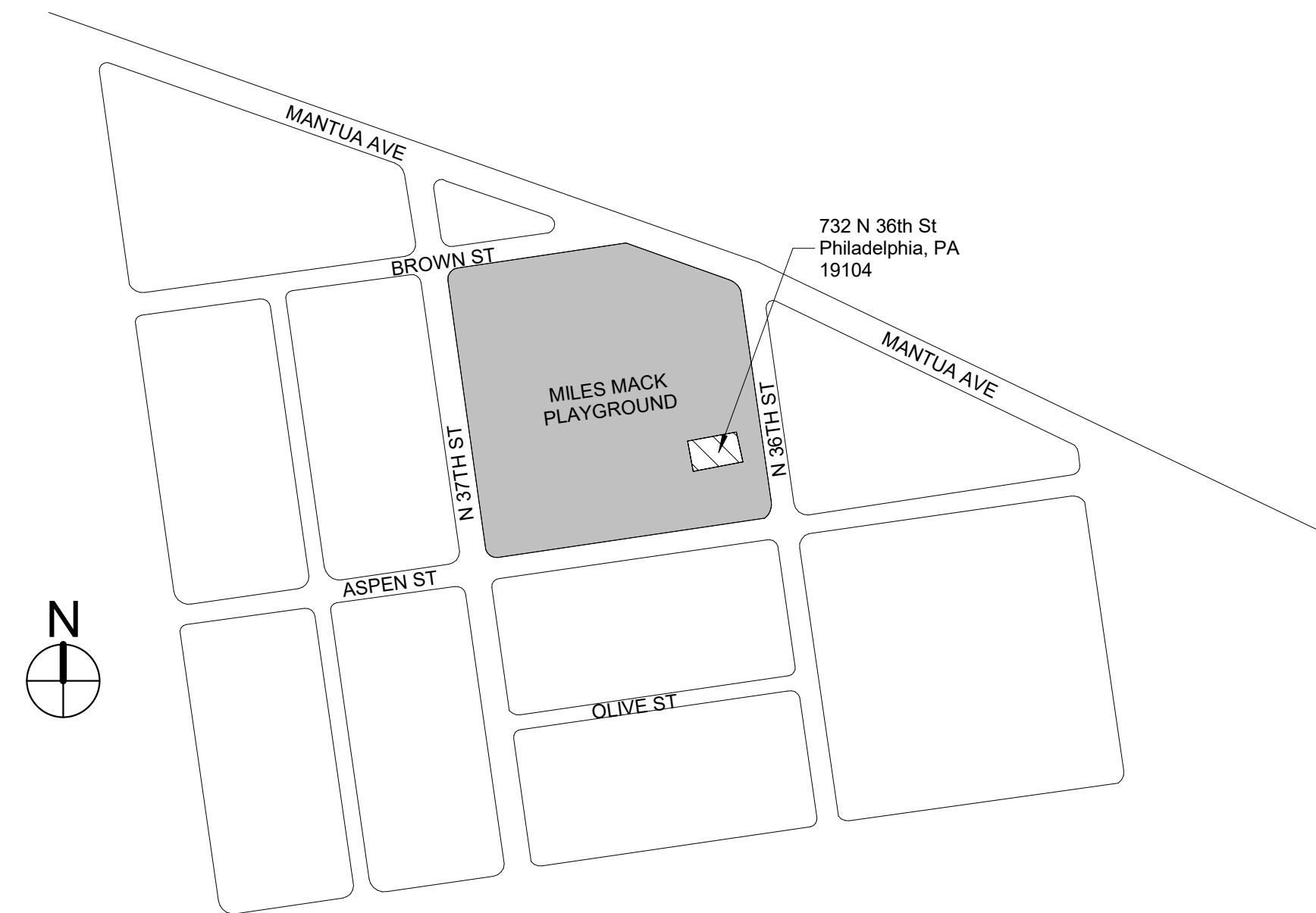


MILES MACK BUILDING RENOVATION

732 N 36th St #66, Philadelphia, PA 19104



ARCHITECTURAL & SYSTEMS

Addendum #2

- 3/6/20

SHEET NUMBER	SHEET NAME
G0.0	COVER SHEET
G0.1	REFERENCE PLAN
G0.2	SYMBOLS & ABBREVIATIONS
G0.3	LIFE SAFETY PLAN & CODE ANALYSIS
S1.1	STRUCTURAL PLANS
S5.1	CONCRETE DETAILS & NOTES
S5.2	CMU DETAILS
S5.3	STEEL DETAILS
A1.0	DEMOLITION PLANS
A1.1	DEMOLITION RCP
A1.2	DEMOLITION ELEVATIONS
A2.0	FLOOR PLAN AND WALL TYPES
A2.1	ROOF PLAN & DETAILS
A3.0	REFLECTED CEILING PLANS
A4.0	EXTERIOR ELEVATIONS
A4.1	ILLUSTRATIVE EXTERIOR ELEVATIONS
A5.0	WALL SECTIONS & DETAILS
A5.1	MISCELLANEOUS DETAILS
A6.0	ENLARGED KITCHENETTE PLAN AND DETAILS
A6.1	ENLARGED FLOOR PLANS & ELEVATIONS
A7.0	DOOR, WINDOW, EQUIPMENT & TOILET ACCESSORIES SCHEDULES
A8.0	FINISH PLAN & SCHEDULE
M0.01	SYMBOLS, NOTES, DETAILS & ABBREVIATIONS
MD1.01	FLOOR PLAN - MECHANICAL DEMOLITION
M1.01	FLOOR PLAN - MECHANICAL
M1.02	ROOF PLAN - MECHANICAL
M6.01	SCHEDULES - MECHANICAL
M7.01	CONTROLS - MECHANICAL
P0.01	SYMBOLS, NOTES, SCHEDULES, DETAILS, & ABBREVIATIONS
PD1.01	FLOOR PLAN - PLUMBING DEMOLITION
P1.01	FOUNDATION PLAN - PLUMBING
P1.02	FLOOR PLAN - PLUMBING
P1.03	ROOF PLAN - PLUMBING
E0.01	SYMBOLS, SCHEDULES, NOTES, AND ABBREVIATIONS
E1.01	FLOOR PLAN ELECTRICAL DEMOLITION
E2.01	FLOOR PLAN - ELECTRICAL
E2.02	FLOOR PLAN - ELECTRICAL
E2.03	FLOOR PLAN - ELECTRICAL
E2.04	FLOOR PLAN - ELECTRICAL
E3.01	PANEL SCHEDULES & ONE-LINE DIAGRAMS

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Charles Motterhead, 215.683-4466



PROJECT TEAM

ARCHITECT:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

STRUCTURAL ENGINEER:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

SYSTEMS ENGINEER:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

CITY OF PHILADELPHIA
 REBUILD PHILADELPHIA & PHILADELPHIA PARKS & RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 COVER SHEET

PROJECT NO. 10-20-XXXX-01	DRAWING NO. G0.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

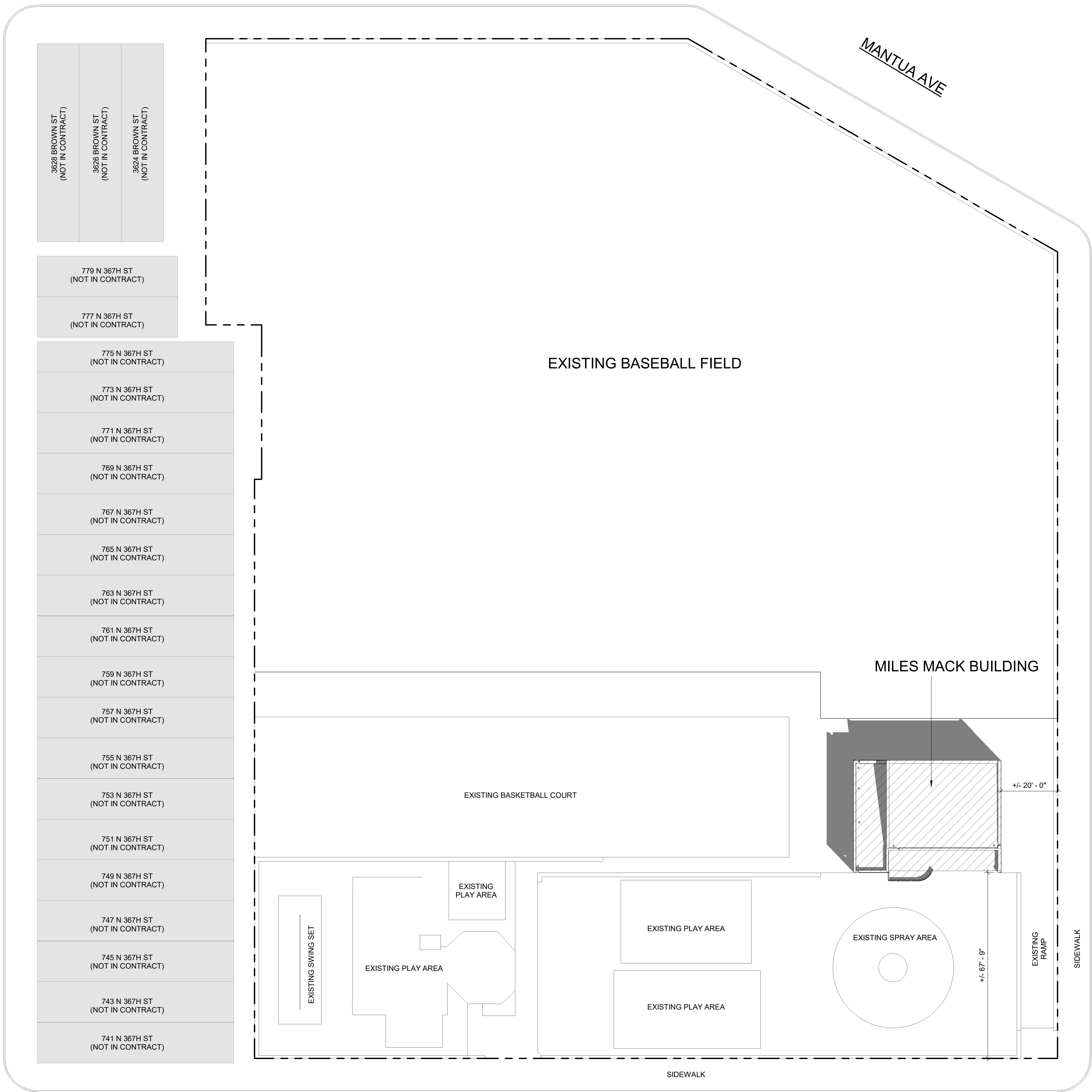
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

BROWN ST

MANTUA AVE

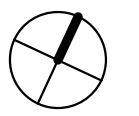
N 37TH ST

N 36TH ST



ASPEN ST

736 N 36TH ST, PHILADELPHIA PA 19104



GENERAL NOTES:

1. COORDINATE LAYDOWN SPACE, STAGING AREA, AND SITE ACCESS WITH OWNER.
2. PROVIDE 8' HIGH CHAIN LINK FENCE WITH PAIR OF 3' WIDE GATES WITH LOCK AT PERIMETER OF BUILDING. COORDINATE EXTENTS WITH OWNER.
3. CONTRACTOR IS RESPONSIBLE FOR SECURING CONSTRUCTION SITE AT ALL TIMES.
4. SITE WORK ON PROPERTY WILL BE OCCURRING SIMULTANEOUSLY UNDER SEPERATE CONTRACT. CONTRACTOR TO COORDINATE WORK WITH OWNER.

REVISIONS		
ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Sara Nordstrom, 215-683-0253

SEAL

PROJECT TEAM

ARCHITECT:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

STRUCTURAL ENGINEER:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

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 PHILADELPHIA, PA 19103
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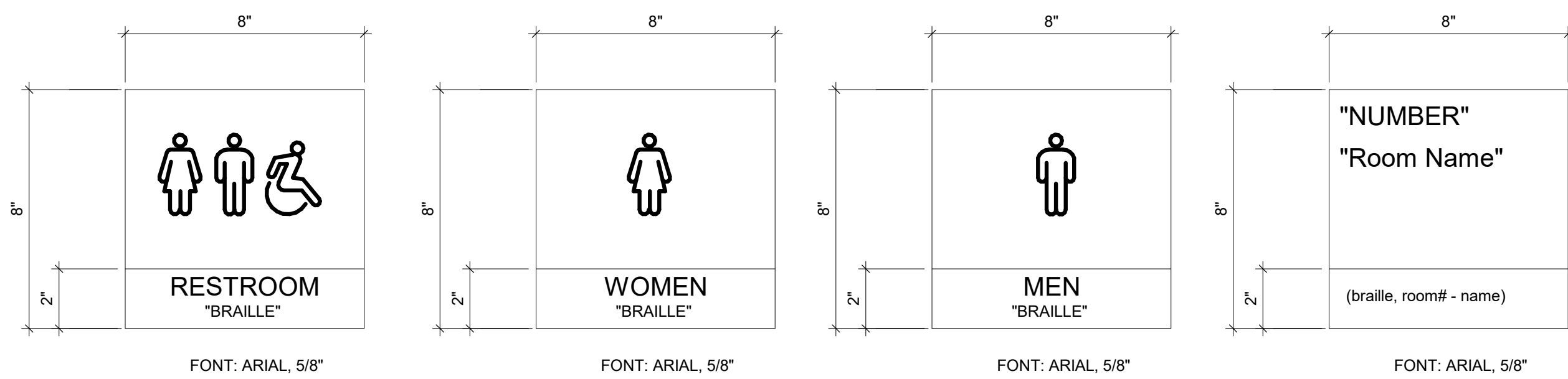
CITY OF PHILADELPHIA
 REBUILD PHILADELPHIA AND
 PHILADELPHIA PARKS & RECREATION
 1515 ARCH STREET
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 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK BUILDING RENOVATION

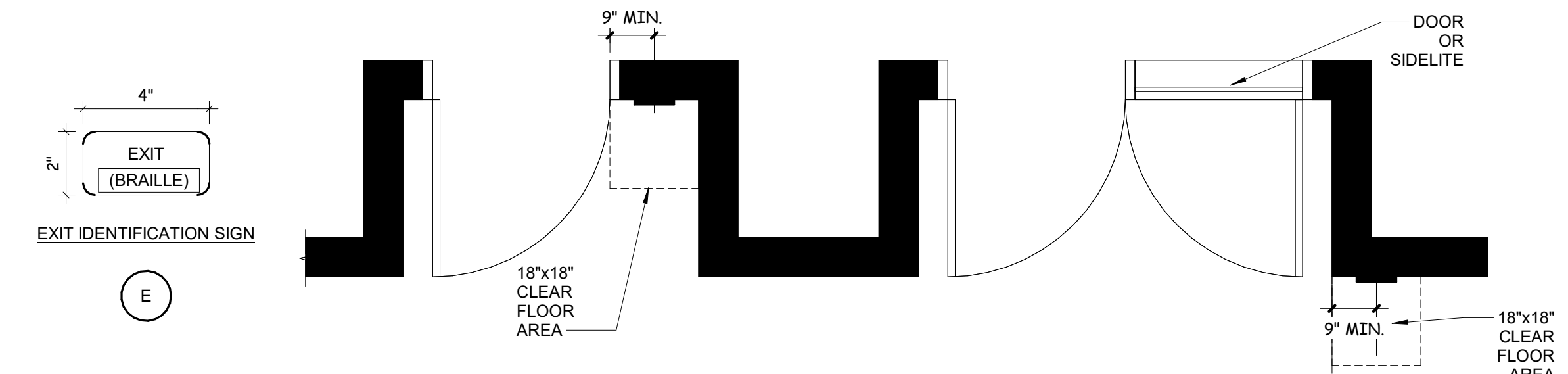
DRAWING TITLE
 REFERENCE PLAN

PROJECT NO. 10-20-XXXX-01	DRAWING NO. G0.1
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



ROOM NAME	ROOM NO.
FOYER	1
CORRIDOR	2
MEETING/CONFERENCE ROOM	3
KITCHEN	4
BOY'S RESTROOM	5
GIRL'S RESTROOM	6
MECH ROOM	7
OFFICE	8
CLOSET	9
ADA UNISEX TOILET	10



NOTES:
 1. ALL ROOM NUMBERS ARE TO BE REVIEWED BY PPR PRIOR TO FABRICATION AND INSTALLATION
 2. SIGNS TO BE MECHANICALLY FASTENED

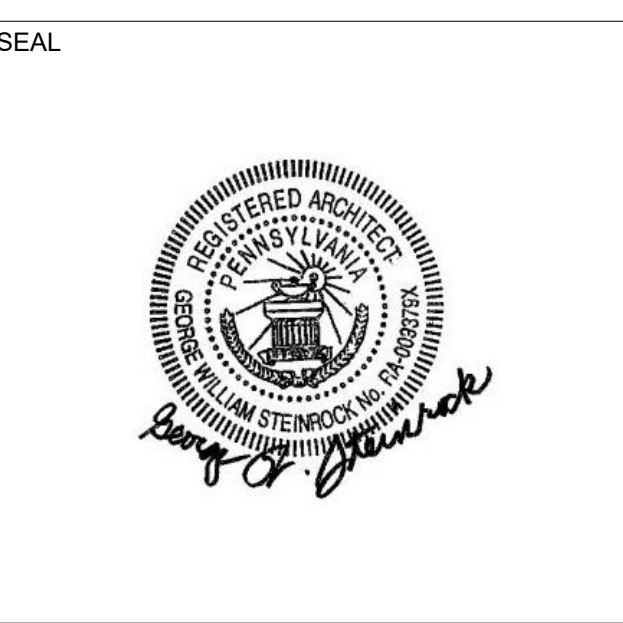
INTERIOR SIGNAGE LOCATION NOTES:
 1. ALL WALL MOUNTED SIGNAGE TO BE MOUNTED AT 48\"/>

GENERAL SIGNAGE NOTES:
 1. ALL SIGNAGE MOUNTED ON GLASS SHALL HAVE A FINISHED BACK PANEL

REVISIONS		
ISSUE	DATE	DESCRIPTION



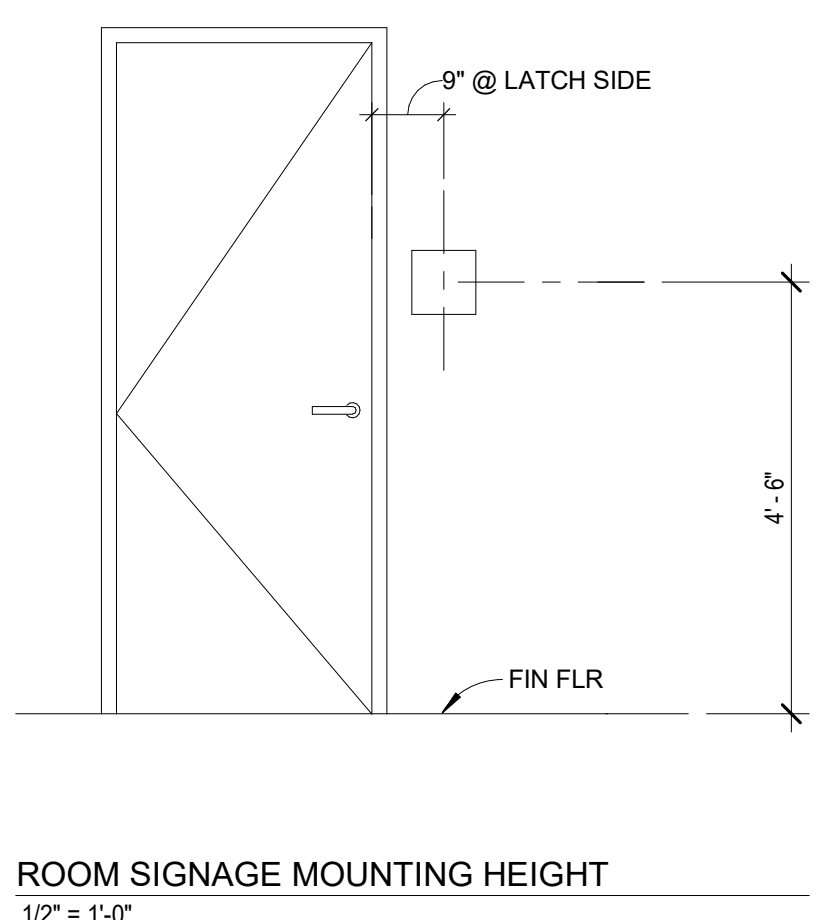
PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Charles Mottershead, 215.683-4466



PROJECT TEAM
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 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST., SUITE 520
 PHILADELPHIA, PA 19103
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 1600 MARKET ST., SUITE 520
 PHILADELPHIA, PA 19103
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ROOM SIGNAGE MOUNTING HEIGHT
 1/2" = 1'-0"

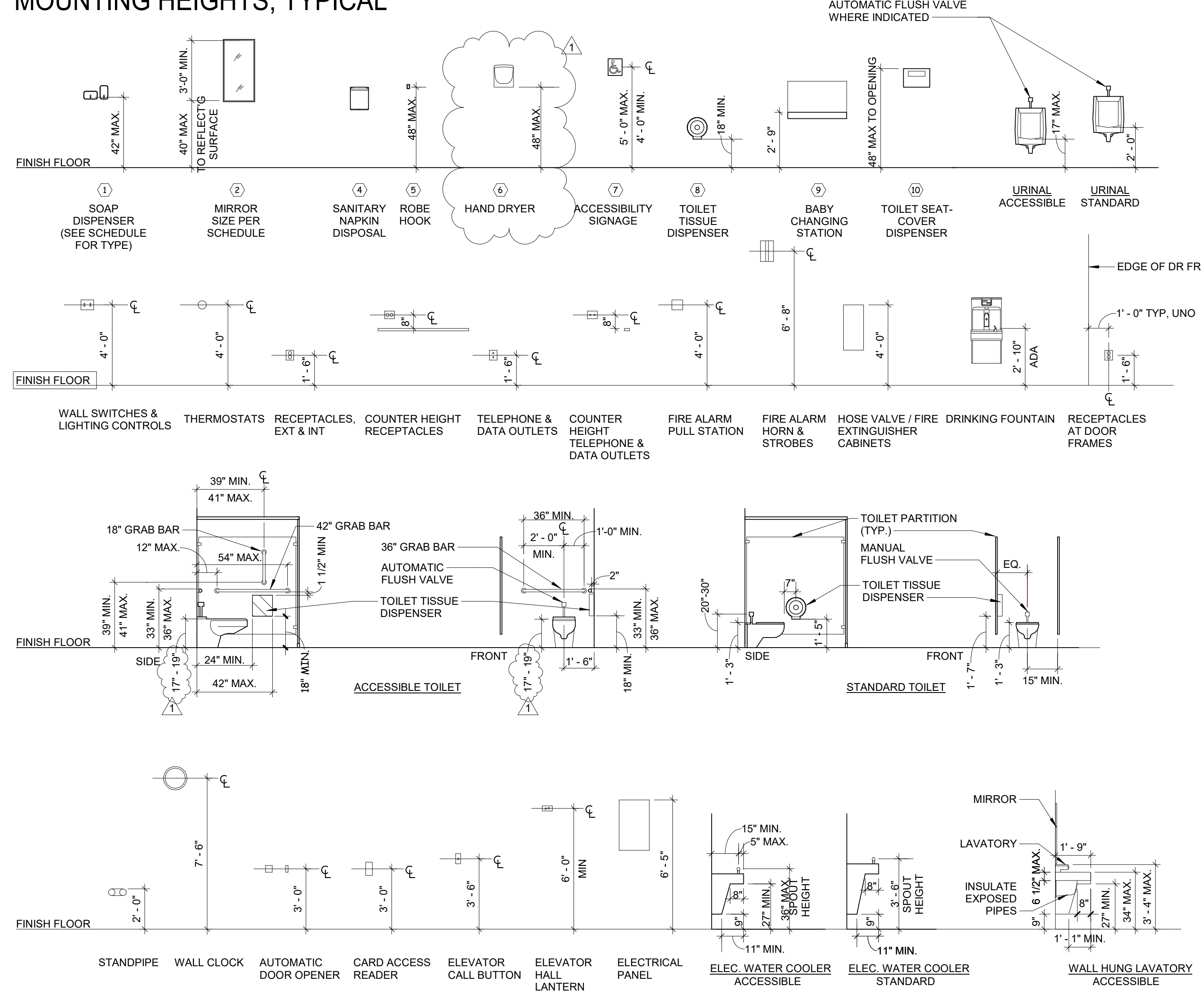
ABBREVIATIONS

@	AT	CT	CERAMIC TILE	FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	MAS	MASONRY	QT	QUARRY / QUARTZ TILE	TEMP	TEMPORARY
A.B.	ANCHOR BOLT	CW	COLD WATER	FT(G)	FOOT(ING)	MATL	MATERIAL	R	RADIUS	THK	THICK
A.F.F.	ABOVE FINISHED FLOOR	D	DEEP, DEPTH	GA	GALUZE	MDF	MEDIUM DENSITY FIBERBOARD	R&R	REVISE AND RESUBMIT	THK	THICK
ACP	ACOUSTICAL CEILING PANEL	DBL	DOUBLE	GAL	GALLON	MDO	MEDIUM DENSITY OVERLAY	RD	ROOF DRAIN	TYP	TYPICAL
ADA	AMERICANS WITH DISABILITIES ACT COMPLIANT	DET	DETAIL	GALV	GALVANIZED	MECH	MECHANICAL	REF	REFRIGERATOR	UC	UNDERCUT
ADJ	ADJUSTABLE	DIA	DIAMETER	GC	GENERAL CONTRACTOR	MEMB	MEMBRANE	REINF	REINFORCED	UC	UNDERCUT
AHU	AIR HANDLING UNIT	DM	DIMENSION	GL	GLASS / GLAZING	MFR	MANUFACTURER	REQD	REQUIRED	UNO	UNLESS NOTED OTHERWISE
ALT	ALTERNATE	DN	DOWN	QL	QUICK	MIN	MINIMUM	REV	REVISED, REVISION	UTIL	UTILITY
ALUM	ALUMINUM	DS	DOWN SPOUT	GWB	GYP SUM WALL BOARD	MISC	MISCELLANEOUS	RM	ROOM		
APPROX	APPROXIMATE	DW	DISH WASHER	GYP	GYP SUM	MO	MASONRY OPENING	RO	ROUGH OPENING		
ARCH	ARCHITECTURAL	DWG	DRAWING	H	HIGH	MTD	MOUNTED	RTU	ROOF TOP UNIT		
		(E)	EXISTING	HDR	HEADER	MTL	METAL	SAN	SANITARY	VAR	VARIES
B.O.	BOTTOM OF	EA	EACH	HDW	HARDWOOD	(N)	NEW	SC	SOLID CORE	VCT	VINYL COMPOSITION TILE
BKHD	BULKHEAD	EIFS	EXTERIOR INSULATION FINISH SYSTEM	HDWR	HARDWARE	NIC	NOT IN CONTRACT	SECT	SECTION	VERT	VERTICAL
BLDG	BUILDING	ELEC	ELECTRICAL	HM	HOLLOW METAL	NO	NUMBER	SG	SEMI-GLOSS	W	WIDE
BLKG	BLOCKING	EMER	EMERGENCY	HORIZ	HORIZONTAL	NOM	NOMINAL	SGL	SINGLE	W	WITH
BOT	BOTTOM	ENCL	ENCLOSURE	HT	HEIGHT	NTS	NOT TO SCALE	SHT	SHEET	W/O	WITHOUT
BTWN	BETWEEN	EPS	EXPANDED POLYSTYRENE	HVAC	HEATING VENTILATING & AIR CONDITIONING	O.A.	OVERALL	SIM	SIMILAR	WD	WOOD
BUR	BUILT UP ROOF	EQ	EQUAL	HW	HOT WATER	O.C.	ON CENTER	SPEC(S)	SPECIFICATION(S)	WIN	WINDOW
C.O.	CLEAN OUT	EQUIP	EQUIPMENT	HWH	HOT WATER HEATER	O.D.	OUTSIDE DIAMETER	SQ	SQUARE	WT	WEIGHT
CAB	CABINET	ETR	EXISTING TO REMAIN	I.D.	INSIDE DIAMETER	OH	OVERHEAD	SS	STAINLESS STEEL		
CL	CENTER LINE	EXIST	EXISTING	INSUL	INSULATION	OPNG	OPENING	STD	STANDARD		
CLG	CEILING	EXP JT	EXPANSION JOINT	INT	INTERIOR	OPP (HD)	OPPOSITE (HAND)	STL	STEEL		
CLOS	CLOSET	EXT	EXTERIOR	JAN	JANITOR	PART	PARTITION	STOR	STORAGE		
CLR	CLEAR, CLEARANCE	FAB	FABRICATED	JT	JOINT	PLAM	PLASTIC LAMINATE	STRUCT	STRUCTURAL		
CM	CONSTRUCTION MANAGER	FD	FLOOR DRAIN	L	LONG LENGTH	PWYWD	PLYWOOD	SVC	SERVICE		
CMU	CONCRETE MASONRY UNIT	FE(C)	FIRE EXTINGUISHER (CABINET)	LAM	LAMINATE	PNL(G)	PANEL(ING)	SW	STORM WATER		
COL	COLUMN	FIN	FINISH	LT	LONG LENGTH	PR	PAIR	T	TALL		
CONC	CONCRETE	FLR(G)	FLOOR(ING)	LT(G)	LONG LEG VERTICAL LIGHT(ING)	PT	PRESSURE TREATED	T&G	TONGUE & GROOVE		
CONST	CONSTRUCTION CONTINUOUS	FLUOR	FLUORESCENT			PTD	PAINTED	T.O.	TOP OF		
CONTR	CONTRACTOR					LLV	LONG LEG VERTICAL LIGHT(ING)	T.O.	TOP OF		
						PVF	POLYVINYLFLUORIDE	TEL	TELEPHONE		
								TEMP	TEMPORARY		

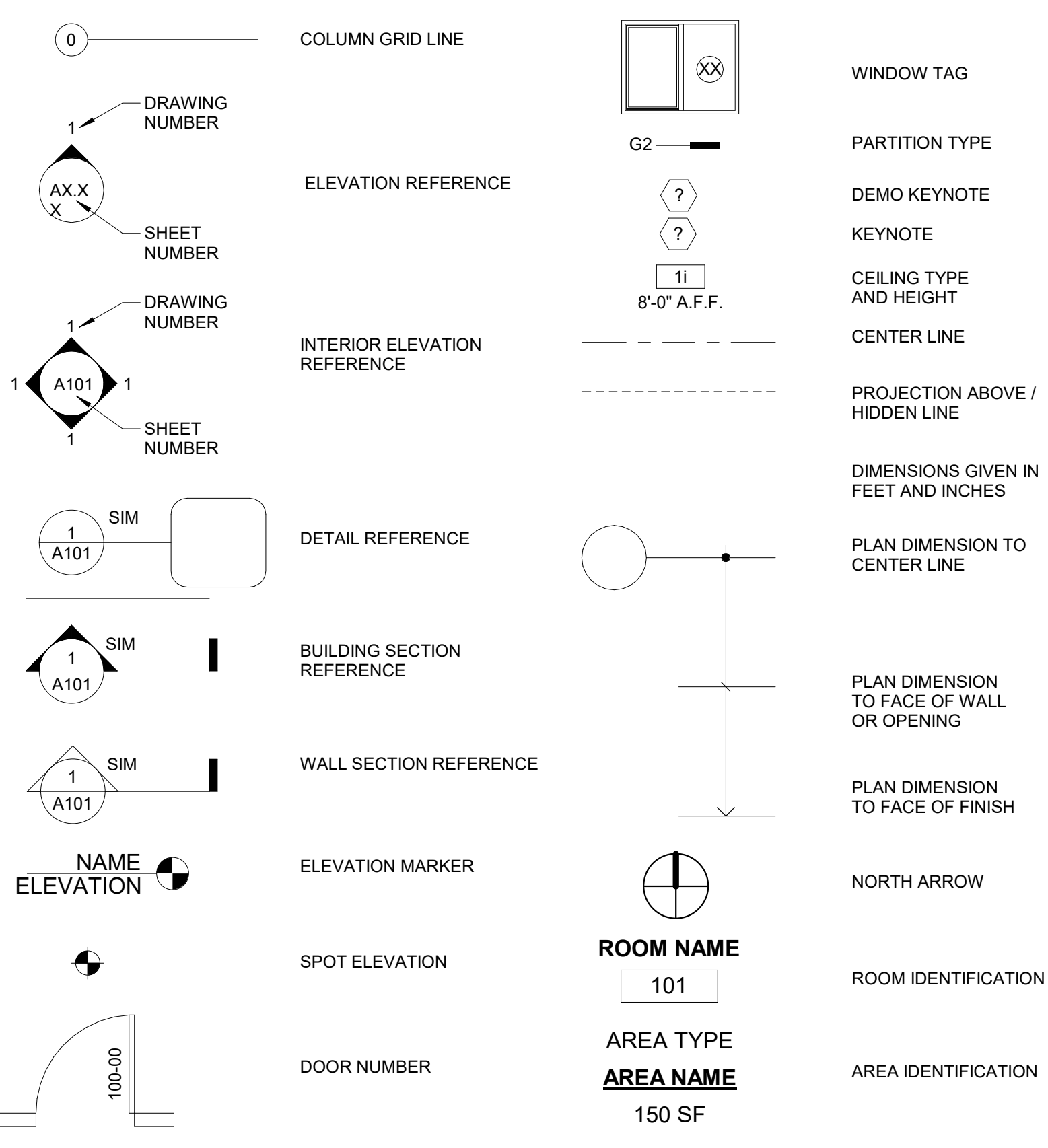
FIRE EXTINGUISHER CABINET DETAIL AT CMU WALLS
 (INDICATED ON PLANS AS FEC)

FIRE EXTINGUISHER DETAILS
 1" = 1'-0"

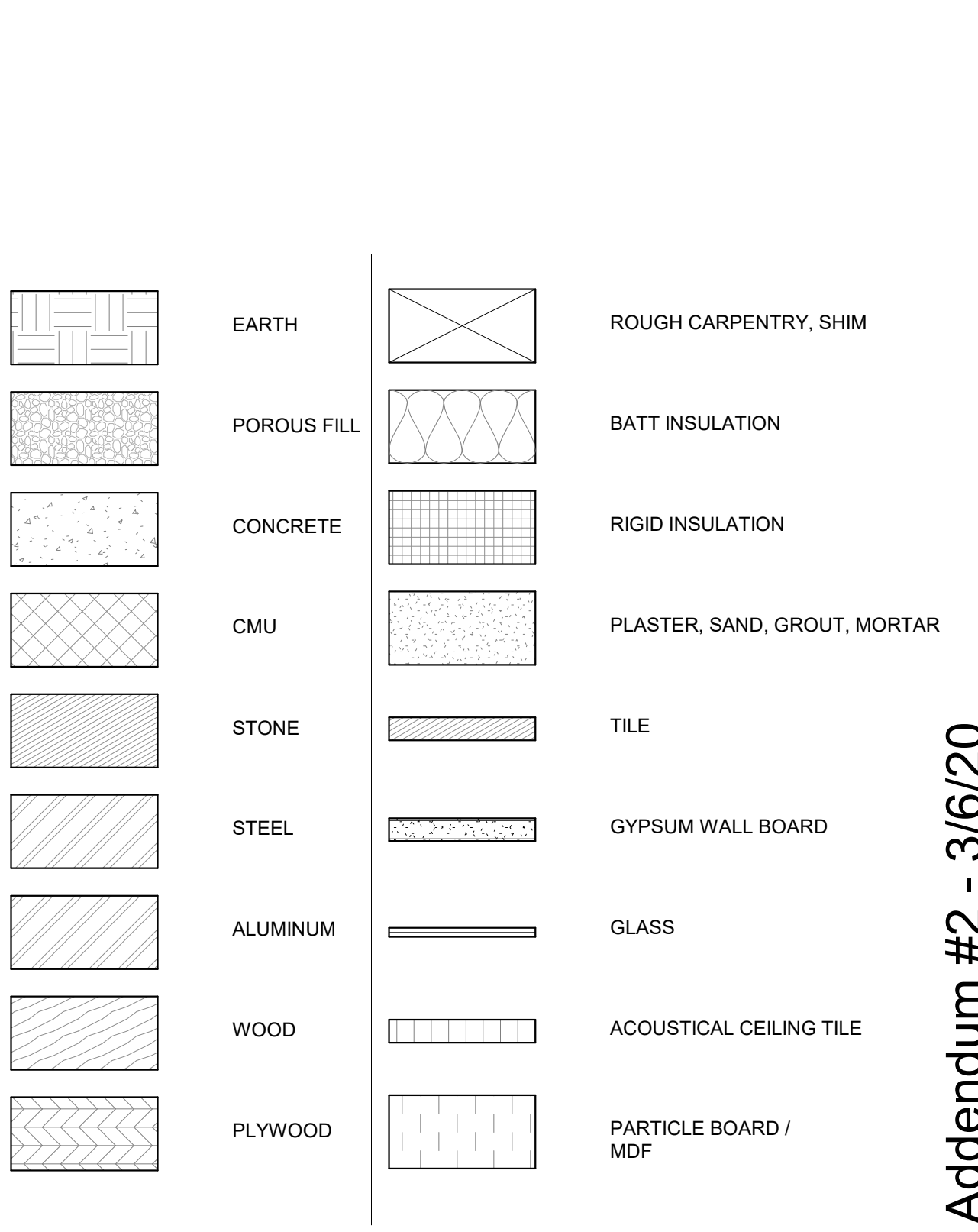
MOUNTING HEIGHTS, TYPICAL



ARCHITECTURAL GRAPHIC SYMBOLS



MATERIAL DESIGNATIONS (SECTION)



Addendum #2 - 3/6/20

CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK PLAYGROUND BUILDING RENOVATION

DRAWING TITLE
 SYMBOLS & ABBREVIATIONS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. G0.2
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

CODE SUMMARY	
BUILDING CODE	IEBC 2018, IBC 2018
CONSTRUCTION CLASSIFICATION	TYPE V-B
PRIMARY USE GROUP	A-3

CODE ANALYSIS

JURISDICTION:

CITY: PHILADELPHIA, PENNSYLVANIA
 ADDRESS: DEPARTMENT OF LICENSES AND INSPECTIONS
 1401 JOHN F. KENNEDY BOULEVARD
 PHILADELPHIA, PA 19102
 (215) 686-8686
 WWW.PHILA.GOV

LISTING OF APPLICABLE CODES

- PHILADELPHIA CODE
- THE PHILADELPHIA ADMINISTRATIVE CODE
 - PHILADELPHIA BUILDING CODE
 - PHILADELPHIA MECHANICAL CODE
 - PHILADELPHIA ELECTRICAL CODE
 - PHILADELPHIA PERFORMANCE CODE
 - PHILADELPHIA ENERGY CONSERVATION CODE
 - PHILADELPHIA FIRE CODE
 - PHILADELPHIA FUEL GAS CODE
 - PHILADELPHIA ZONING CODE
 - PHILADELPHIA PLUMBING CODE

INTERNATIONAL CODE COUNCIL

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2012 INTERNATIONAL BUILDING CODE (CHAPTER 11)
- 2012 INTERNATIONAL BUILDING CODE (APPENDIX E)
- 2018 ICC A117.1
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 ICC PERFORMANCE CODE
- AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)
- STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13)

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3, SECTION 304.1):

PRIMARY USE: A-3 (IBC SECTION 303.4)

IEBC 2018

SECTION 603, ALTERATION—LEVEL 2
603.1 SCOPE. INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

GENERAL BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5):

ALLOWABLE BUILDING HEIGHT AND AREAS:

- TYPE VB (IBC SECTION 503)
- HEIGHT: 40 FEET; AREA: 6,000 SF

EXISTING BUILDING HEIGHT AND AREAS:

- NO. OF EXISTING STORIES = 1 STORY
- MAXIMUM BUILDING HEIGHT = 15'-0"
- BUILDING SQUARE FOOTAGE = 1,781 SF

TYPES OF CONSTRUCTION (IBC CHAPTER 6):

- CONSTRUCTION TYPE 5B (IBC SECTION 602.2)

- 602.5 TYPE 5B IS ANY TYPE OF CONSTRUCTION IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS ARE OF ANY MATERIALS PERMITTED BY THIS CODE.

- FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601) =

PRIMARY STRUCTURAL FRAME:	0 HOURS
EXTERIOR BEARING WALLS:	0 HOURS
INTERIOR BEARING WALLS:	0 HOURS
EXTERIOR NONBEARING WALLS AND PARTITIONS:	0 HOURS
INTERIOR NONBEARING WALLS AND PARTITIONS:	0 HOURS
FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	0 HOURS
ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0 HOURS

FIRE RESISTANCE RATING OF EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 602)=

-EXTERIOR WALLS < 5	=	1 HOUR
-EXTERIOR WALLS 5 ≤ X < 10	=	1 HOUR
-EXTERIOR WALLS 10 ≤ X < 30	=	0 HOUR
-EXTERIOR WALLS X ≥ 30	=	0 HOUR

THIS IS A FREE STANDING BUILDING WITH NO OTHER BUILDINGS CLOSER THAN 10'

MEANS OF EGRESS (IBC CHAPTER 10): 1

CEILING HEIGHT:

- THE MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES (SECTION 1003.2). **BUILDING IS IN COMPLIANCE**

HEADROOM:

- PROTRUDING OBJECTS ARE PERMITTED TO EXTEND BELOW THE MINIMUM CEILING HEIGHT REQUIRED BY SECTION 1003.2 PROVIDED A MINIMUM HEADROOM OF 80 INCHES SHALL BE PROVIDED FOR ANY WALKING SURFACE, INCLUDING WALKS, CORRIDORS, AISLES AND PASSAGEWAYS. NOT MORE THAN 50 PERCENT OF THE CEILING AREA OF A MEANS OF EGRESS SHALL BE REDUCED IN HEIGHT BY PROTRUDING OBJECTS (SECTION 1003.3.1). **BUILDING IS IN COMPLIANCE**

HORIZONTAL PROJECTIONS:

- STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES OVER ANY WALKING SURFACE BETWEEN THE HEIGHTS OF 27 INCHES AND 80 INCHES ABOVE THE WALKING SURFACE (SECTION 1003.3.3). **BUILDING IS IN COMPLIANCE**

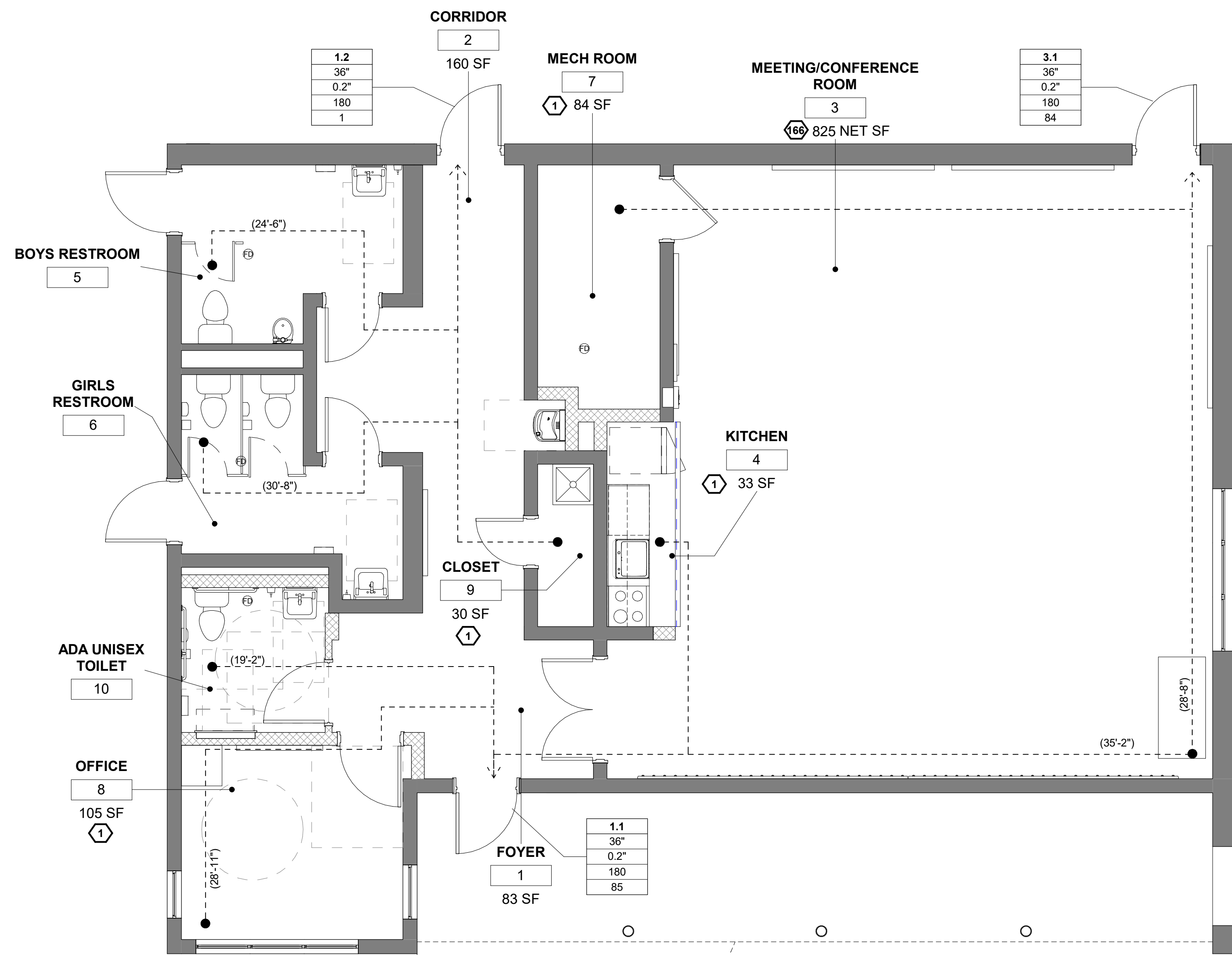
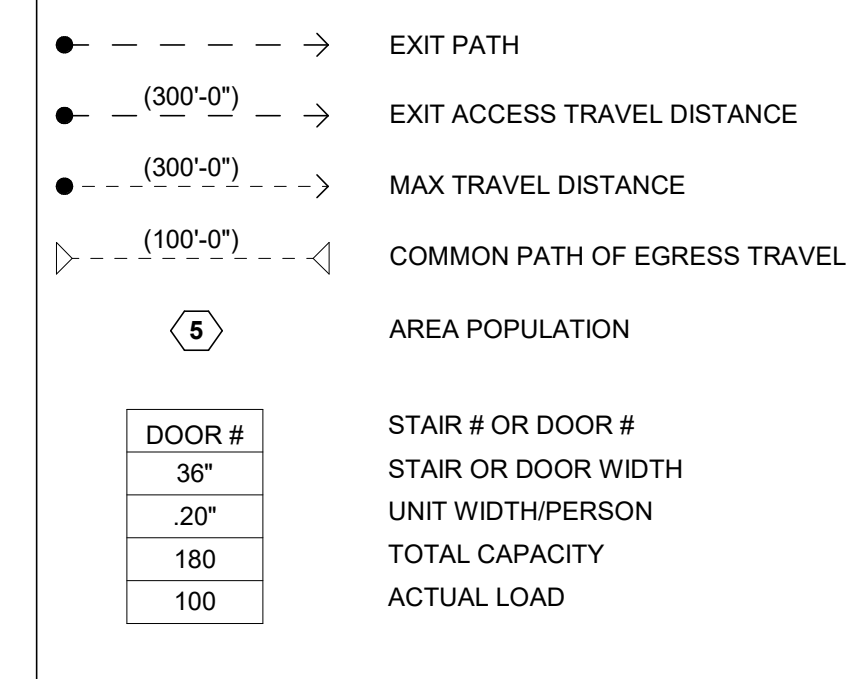
CLEAR WIDTH:

- PROTRUDING OBJECTS SHALL NOT REDUCE THE MINIMUM CLEAR WITH OF ACCESSIBLE ROUTES (SECTION 1003.3.4). **BUILDING IS IN COMPLIANCE**

OCCUPANT LOAD (IBC SECTION 1004, IBC TABLE 1004.5):

- ACCESSORY STORAGE AREAS			
- MECHANICAL EQUIPMENT ROOM:	300 GROSS / OCCUPANT	=	2 OCCUPANTS
- BUSINESS AREAS:	150 GROSS / OCCUPANT	=	1 OCCUPANTS
- ASSEMBLY AREAS:	5 NET / OCCUPANT	=	167 OCCUPANTS
- TOTAL OCCUPANTS:			170 OCCUPANTS

LIFE SAFETY LEGEND



EGRESS WIDTH (IBC SECTION 1005.3.1-1005.3.2):

- 0.3 INCHES PER OCCUPANT FOR STAIRWAYS
- 0.2 INCHES PER OCCUPANT FOR OTHER EGRESS COMPONENTS

DOOR ENCROACHMENT (IBC SECTION 1005.7):

- DOORS, WHEN FULLY OPENED, AND HANDRAILS SHALL NOT REDUCE THE REQUIRED MEANS OF EGRESS WIDTH BY MORE THAN 7 INCHES. DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE-HALF. OTHER NONSTRUCTURAL PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES SHALL BE PERMITTED TO PROJECT INTO THE REQUIRED WIDTH A MAXIMUM OF 1 1/2 INCHES ON EACH SIDE.

NUMBER OF EXITS AND CONTINUITY (IBC SECTION 1006.3.2):

- THE MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD = 2 EXITS (OCCUPANT LOAD 1-500) (TABLE 1021.1)

SIZE OF DOORS (IBC SECTION 1008.1.1):

- THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES. THE MAXIMUM WIDTH OF A SWINGING DOOR LEAF SHALL BE 48 INCHES NOMINAL. THE HEIGHT OF DOOR OPENINGS SHALL NOT BE LESS THAN 80 INCHES.

EXIT ACCESS (IBC SECTION 1016):

- EGRESS THROUGH INTERVENING SPACES SHALL COMPLY WITH THIS SECTION (1014.2):

1. EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS AND THE AREA SERVED ARE ACCESSORY TO ONE OR THE OTHER, ARE NOT A GROUP H OCCUPANCY AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT.

2. AN EXIT ACCESS SHALL NOT PASS THROUGH A ROOM THAT CAN BE LOCKED TO PREVENT EGRESS.

3. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACES USED FOR SIMILAR PURPOSES.

- COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100 FEET IN B OCCUPANCY WITH SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 (TABLE 1014.3)

EXIT ACCESS TRAVEL DISTANCE (IBC SECTION 1017):

- EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET IN A OCCUPANCY WITHOUT A SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 (TABLE 1017.2)

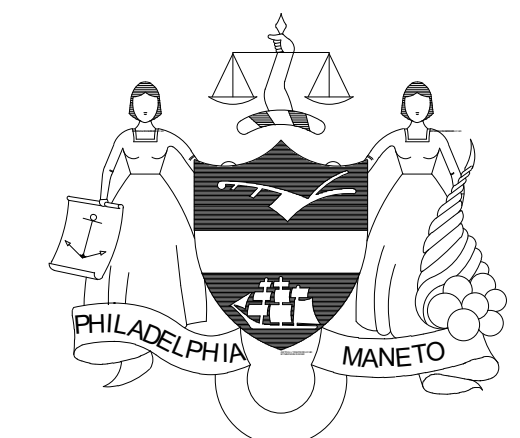
CORRIDORS (IBC SECTION 1020) - TABLE 1020.1:

- THE MINIMUM CORRIDOR WIDTH SHALL BE 44"
- 1 HR FIRE RESISTANCE RATING IN CORRIDORS, FOR OCCUPANT LOAD GREATER THAN 30. (TABLE 1020.1)

- WHERE MORE THAN ONE EXIT OR EXIT ACCESS DOORWAY IS REQUIRED, THE EXIT ACCESS SHALL BE ARRANGED SUCH THAT THERE ARE NO DEAD ENDS IN CORRIDORS MORE THAN 20 FEET IN LENGTH (SECTION 1018.4).

REVISIONS

ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Sara Nordstrom, 215-683-0253



PROJECT TEAM

ARCHITECT:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

STRUCTURAL ENGINEER:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

SYSTEMS ENGINEER:
 JOHNSON, MIRMIRAN & THOMPSON, INC
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CITY OF PHILADELPHIA
 REBUILD PHILADELPHIA AND
 PHILADELPHIA PARKS & RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 LIFE SAFETY PLAN & CODE ANALYSIS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. G0.3
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

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GENERAL DEMO NOTES

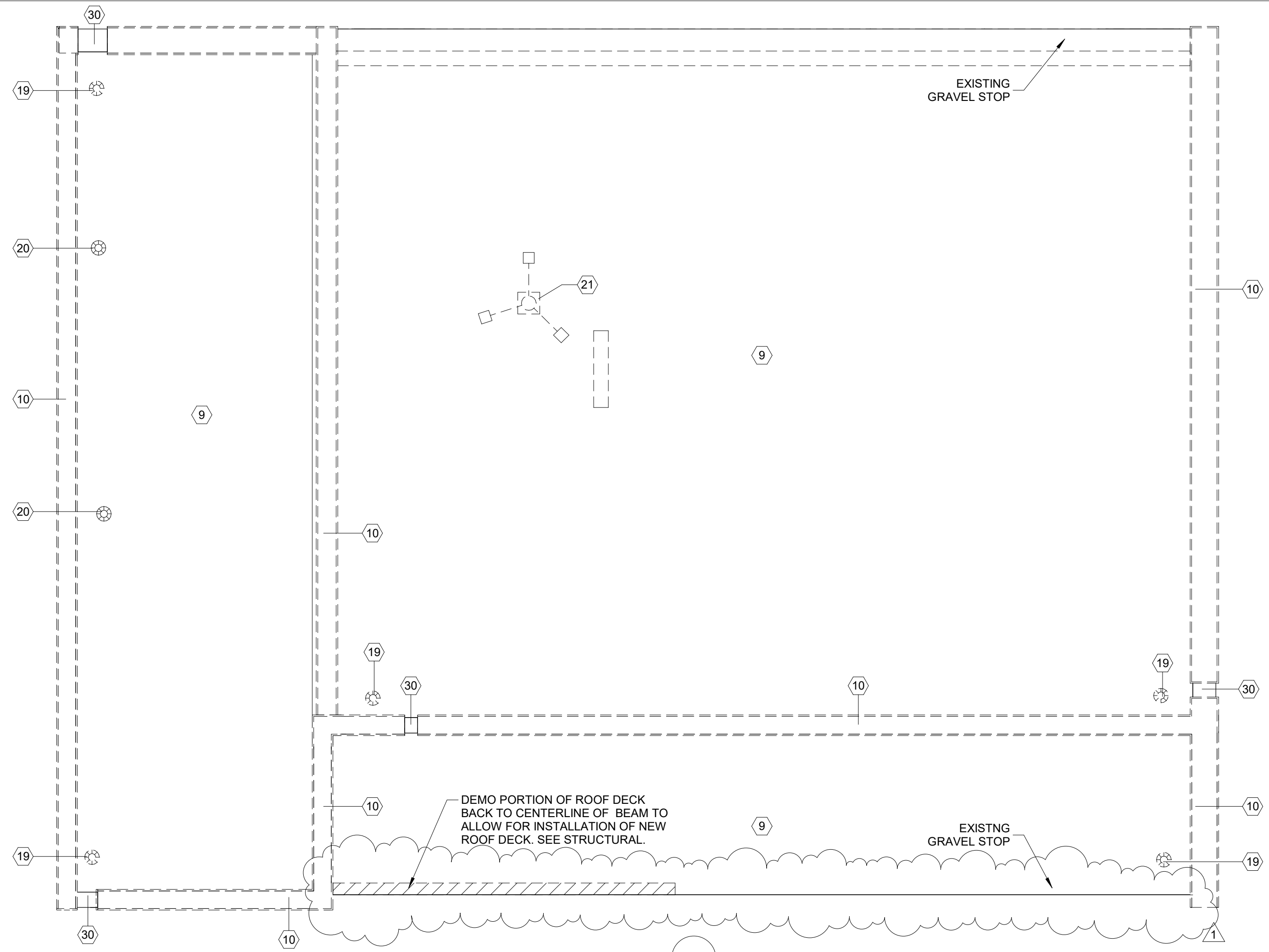
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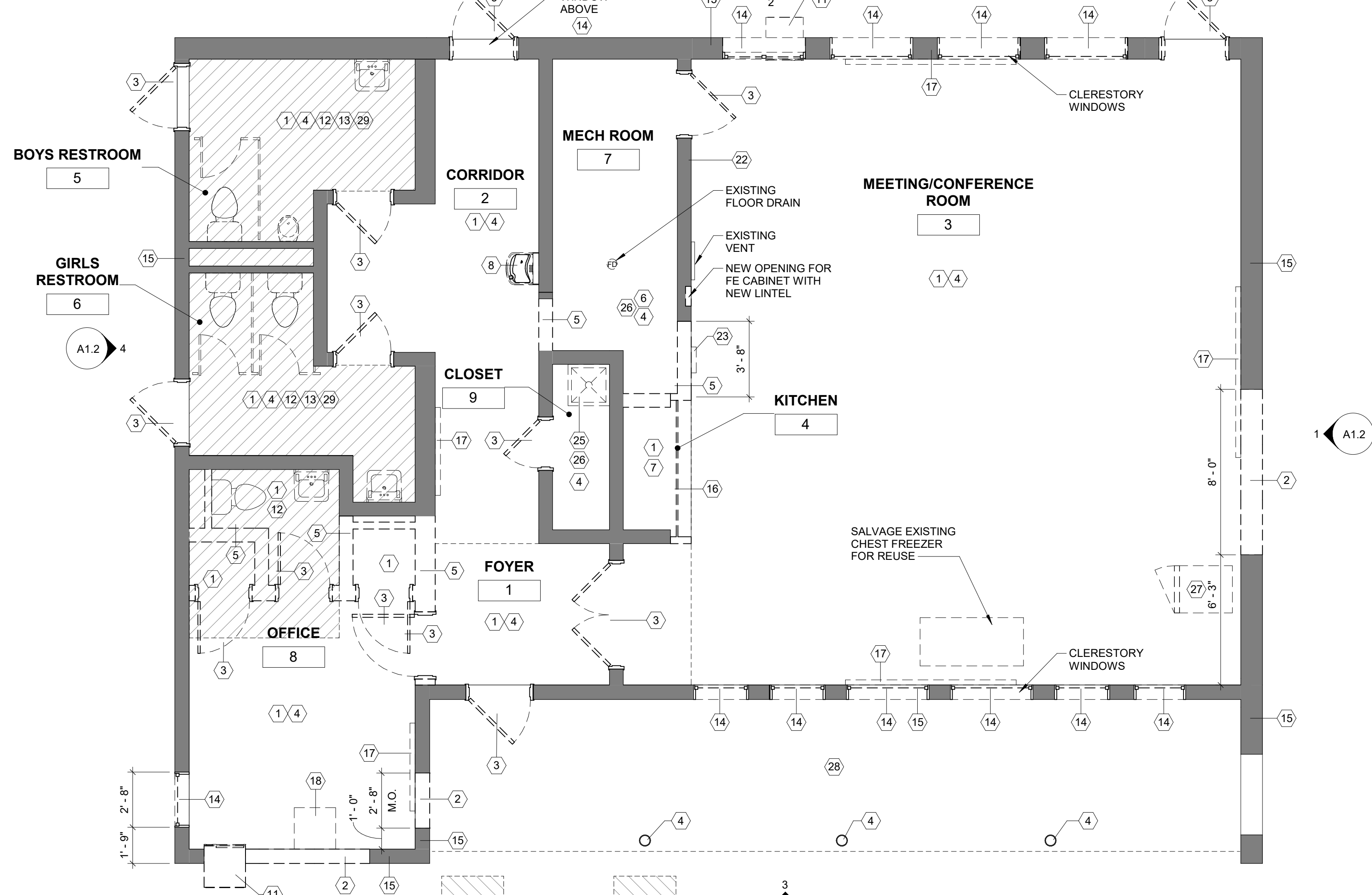
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- WHEN A NEW WALL, CEILING, ROOF, OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF, OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE COMPLETELY REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACE OF THE REMAINING SUBSTRATE, UNLESS NOTED OTHERWISE. ALL DEPRESSIONS, INDENTS, OR PROTRUSIONS ETC., LEFT AFTER THE REMOVAL OF ITEMS WHICH WILL INTERFERE WITH THE CONSTRUCTION SHALL BE REPAIRED, REPLACE OR REMOVED TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND OLD SURFACES.
- THE CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, PRIOR TO PROCEEDING WITH DEMOLITION.
- WHERE OPENINGS ARE INDICATED TO BE MADE IN EXISTING MASONRY WALLS, OR EXISTING OPENINGS ARE TO BE INFILLED, THE CONTRACTOR SHALL TOOTH IN NEW MASONRY CONSTRUCTION TO MATCH ADJACENT COURSING.
- CONTRACTORS ARE RESPONSIBLE FOR SHORING, BRACING, AND UNDERPINNING RELATED TO THE DEMOLITION, REMOVAL OR CUTTING OF ANY WALL, PARTITION OR ANY OTHER STRUCTURAL ELEMENT.
- REMOVE ALL EXISTING LIGHT FIXTURES, EMERGENCY LIGHT FIXTURES, AND EXIT SIGNS AND SET ASIDE FOR REUSE.
- PREP ALL INTERIOR WALL AND CEILING SURFACES FOR PAINT INCLUDING UNDERSIDE OF EXPOSED ROOF DECK AND ROOF TRUSSES.
- PREP EXTERIOR COLUMNS FOR PAINT.
- PREP UNDERSIDE OF EXTERIOR ROOF ENTRY CANOPY AND PREP FOR PAINT.
- OPEN AND PARTIALLY DEMO WALLS, CEILINGS, AND FLOORS AS REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING WORK. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.

DEMOLITION PLAN KEYNOTES

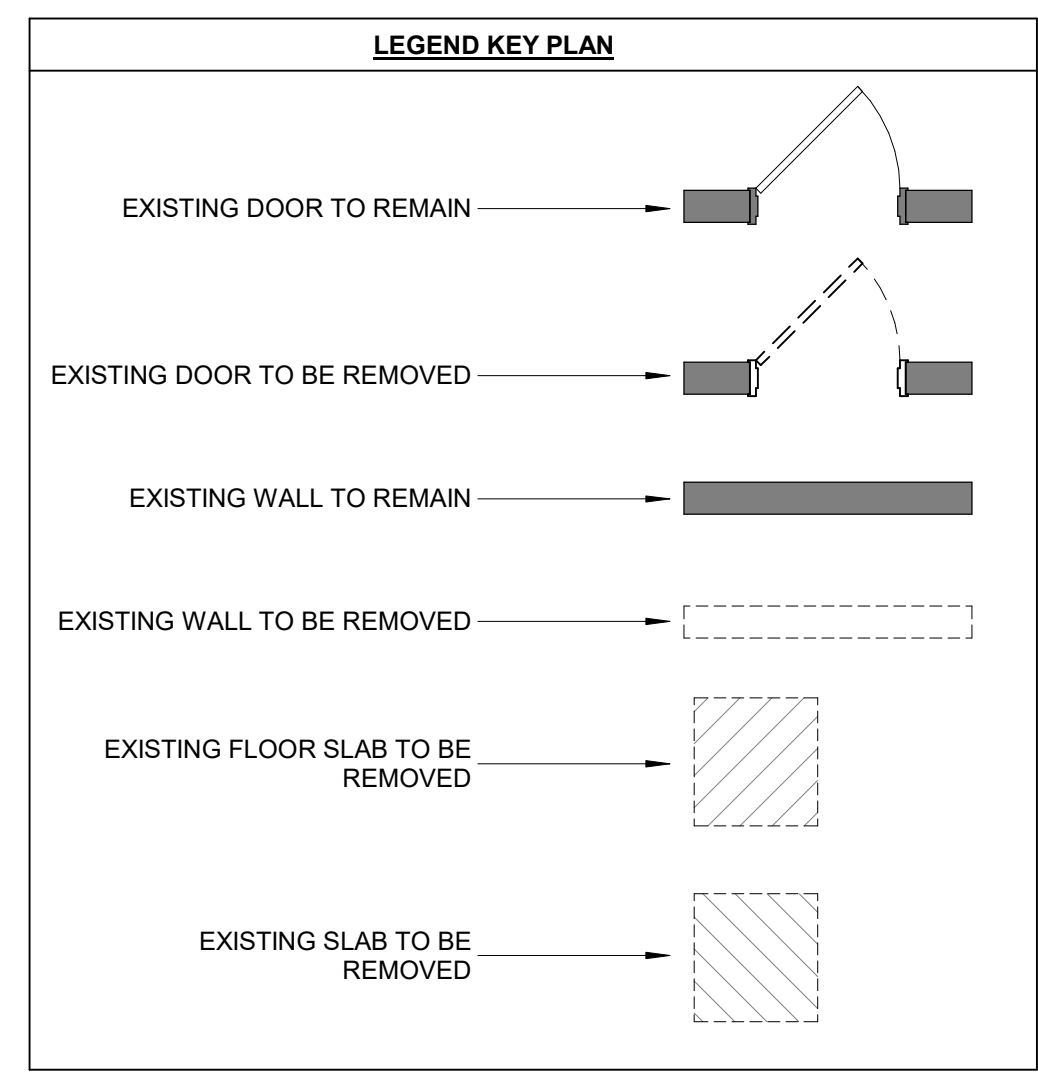
KEYNOTE	DESCRIPTION
1	REMOVE EXISTING FLOORING AND BASE DOWN TO SOUND SUBSTRATE. PATCH AND REPAIR AFFECTED SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH.
2	REMOVE PORTIONS OF EXISTING WALL TO INSTALL OPENING SCHEDULED. PATCH AND REPAIR AFFECTED ADJACENT SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH.
3	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW DOOR. ALLOW FOR MISCELLANEOUS REPAIR TO DOOR OPENINGS AT HEAD, JAMB & SILLS. SEE STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS. SEE DOOR SCHEDULE FOR NEW MASONRY OPENING SIZE.
4	PREP EXISTING INTERIOR CMU WALLS & STEEL COLUMNS TO RECEIVE NEW PAINT, TYP. AT ALL LOCATIONS.
5	REMOVE EXISTING MASONRY WALL FROM FLOOR TO UNDERSIDE OF STRUCTURE.
6	REMOVE EXISTING MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS.
7	REMOVE EXISTING KITCHEN CABINETS, EQUIPMENT, APPLIANCES & COUNTERTOP. COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS.
8	REMOVE EXISTING DRINKING FOUNTAIN AND ASSOCIATED HARDWARE. COORDINATE WITH PLUMBING DRAWINGS.
9	REMOVE ROOFING MATERIAL AND INSULATION DOWN TO ROOF SUBSTRATE. ALLOW FOR MISC REPAIR TO ROOF SUBSTRATE AS NEEDED. PREPARE ROOF FOR NEW ROOFING MATERIAL. CONTRACTOR SHALL PROTECT EXISTING ROOF ASSEMBLIES FROM DAMAGE DURING DEMOLITION AND NEW WORK.
10	REMOVE EXISTING METAL COPING AND FLASHING, TYP. ENTIRE ROOF.
11	REMOVE EXISTING AIR CONDITIONING UNIT. ALLOW FOR MISC REPAIR TO OPENINGS AT HEAD, JAMB, AND SILLS.
12	REMOVE ALL EXISTING PLUMBING FIXTURES IN THEIR ENTIRETY. COORDINATE WITH PLUMBING DRAWINGS.
13	REMOVE EXISTING TOILET PARTITION AND ALL ASSOCIATED HARDWARE.
14	REMOVE EXISTING WINDOW, FRAME, SECURITY SCREEN, AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW WINDOW. ALLOW FOR MISC REPAIR TO WINDOW OPENINGS AT HEAD, JAMB & SILLS. SEE WINDOW SCHEDULE.
15	REMOVE AND REPLACE EXISTING COMPRESSIVE FILLER AT BOTTOM OF EXTERIOR WALL & CONCRETE PAD.
16	REMOVE EXISTING ROLL DOWN GATE, TRACK AND ALL ASSOCIATED HARDWARE. ENLARGE OPENING WITH NEW LINTEL FOR NEW KITCHENETTE. COORDINATE WITH STRUCTURAL. PREP FOR NEW ROLL DOWN DOOR.
17	REMOVE EXISTING BULLETIN BOARD.
18	EXISTING SERVER ENCLOSURE TO BE REMOVED AND RELOCATED BY OWNER.
19	EXISTING ROOF DRAIN TO BE REMOVED, V.I.F.
20	EXISTING VENT AND VENT CAP TO REMAIN.
21	REMOVE EXISTING FLUE AND SUPPORTS.
22	REMOVE EXISTING COAT HOOKS.
23	DEMOLISH EXISTING FE CABINET.
25	REMOVE EXISTING UTILITY SINK AND ASSOCIATED PLUMBING. SEE PLUMBING DRAWINGS.
26	PATCH AND REPAIR AFFECTED SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH.
27	SALVAGE REFRIGERATOR FOR REUSE.
28	PREPARE CONCRETE SURFACE FOR NEW PAINT.
29	DEMOLISH EXISTING CONCRETE SLAB FOR NEW FLOOR DRAINS AND PIPING. SEE STRUCTURAL DRAWINGS.
30	DEMO EXISTING SCUPPERS, TYP.
31	REMOVE SLAB FOR NEW FOUNDATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.



1 DEMOLITION ROOF PLAN
1/4" = 1'-0"



2 DEMOLITION FLOOR PLAN
1/4" = 1'-0"



REVISIONS

ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Sara Nordstrom, 215-683-0253

SEAL



PROJECT TEAM

ARCHITECT:
 JOHNSON, MIRMIRAN & THOMPSON, INC
 1600 MARKET ST, SUITE 520
 PHILADELPHIA, PA 19103
 267.256.0300

STRUCTURAL ENGINEER:
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 1515 ARCH STREET
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PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 DEMOLITION PLANS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A1.0
DATE: 02.07.2020	
SCALE: AS NOTED	
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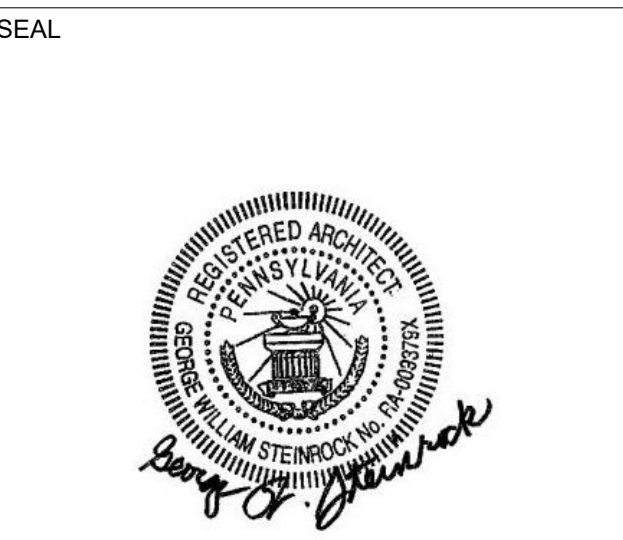
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DEMOLITION RCP KEYNOTES	
KEYNOTE	
1	REMOVE EXISTING LIGHT FIXTURES AND SET ASIDE FOR REUSE. CONTRACTOR TO VERIFY EXISTING LIGHTING LAYOUT. SEE ELECTRICAL DWGS FOR MORE DETAIL. PATCH AND REPAIR AFFECTED ADJACENT SURFACES TO MATCH EXISTING TO REMAIN.
2	REMOVE EXISTING CEILING ASSEMBLY AND ALL ASSOCIATED HARDWARE. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PATCH AND REPAIR AFFECTED ADJACENT SURFACES TO MATCH EXISTING TO REMAIN.
3	REMOVE EXISTING GWB SOFFIT AS NEEDED FOR DEMOLITION OF ADJACENT WALLS. PREPARE AREA TO RECEIVE NEW GWB AND PLYWOOD SOFFIT.
4	REMOVE EXISTING CEILING AS REQUIRED FOR DEMOLITION AND NEW WORK IN THIS AREA.

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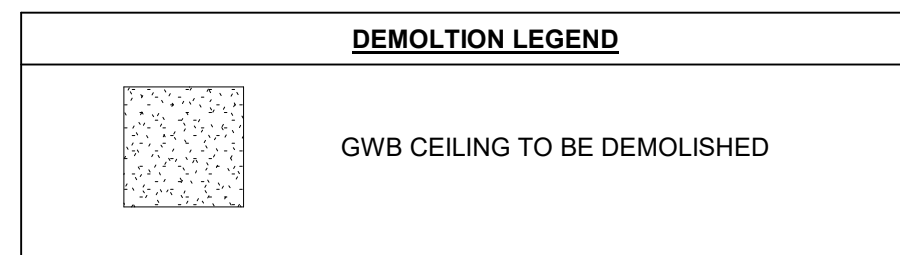
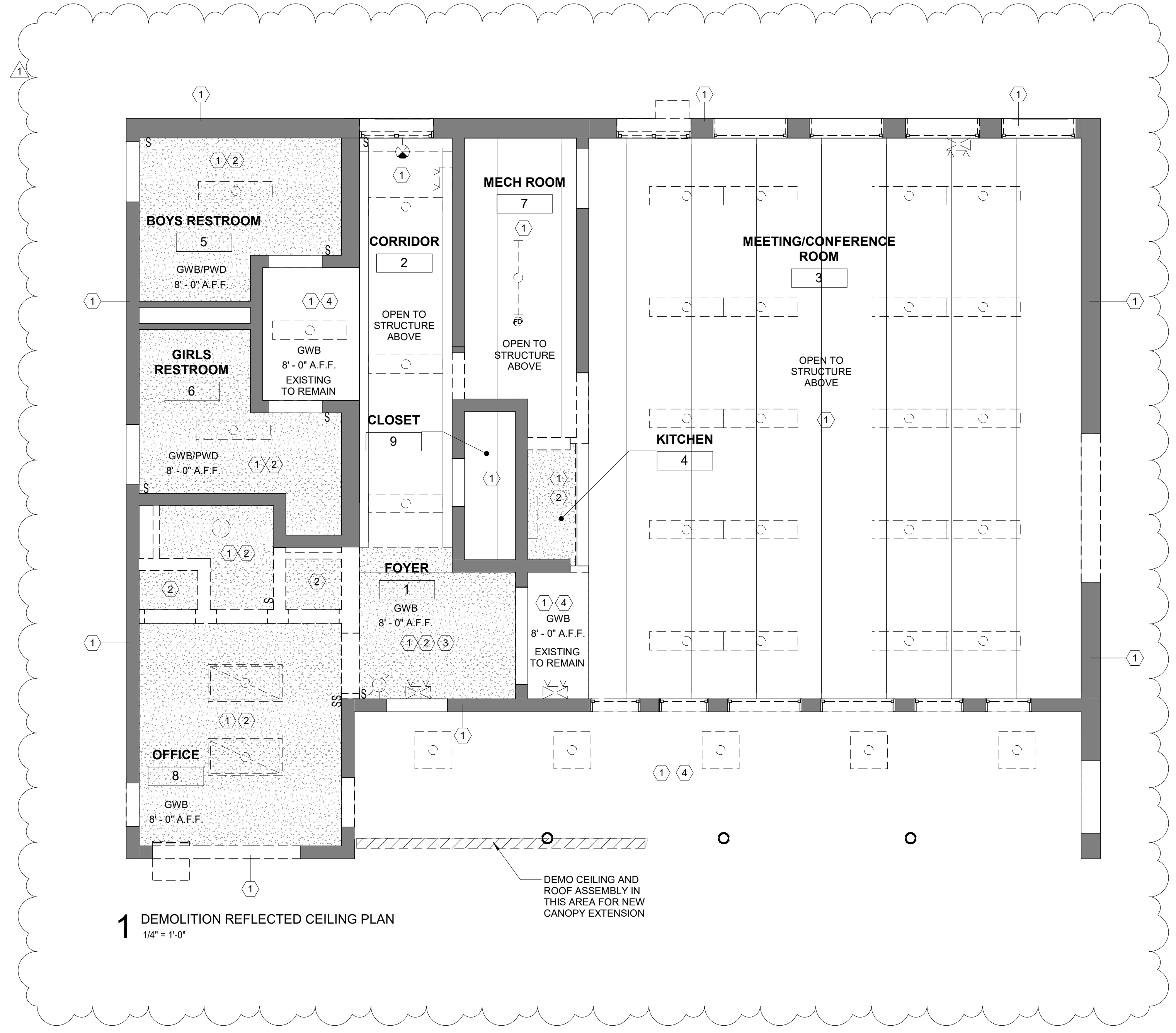
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DRAWING TITLE
 DEMOLITION RCP

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A1.1
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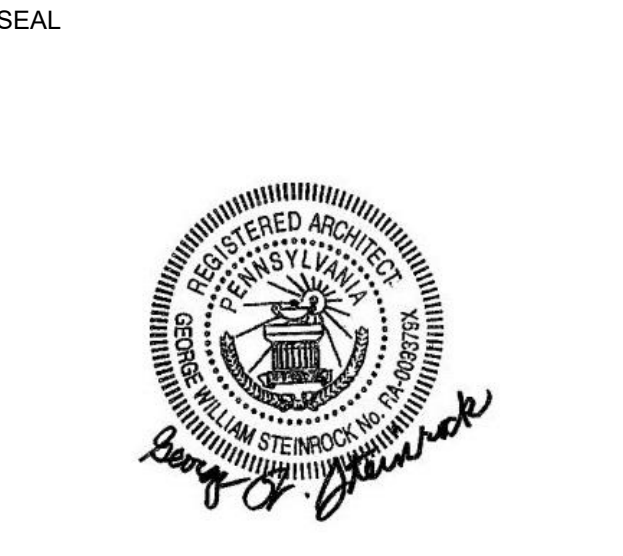
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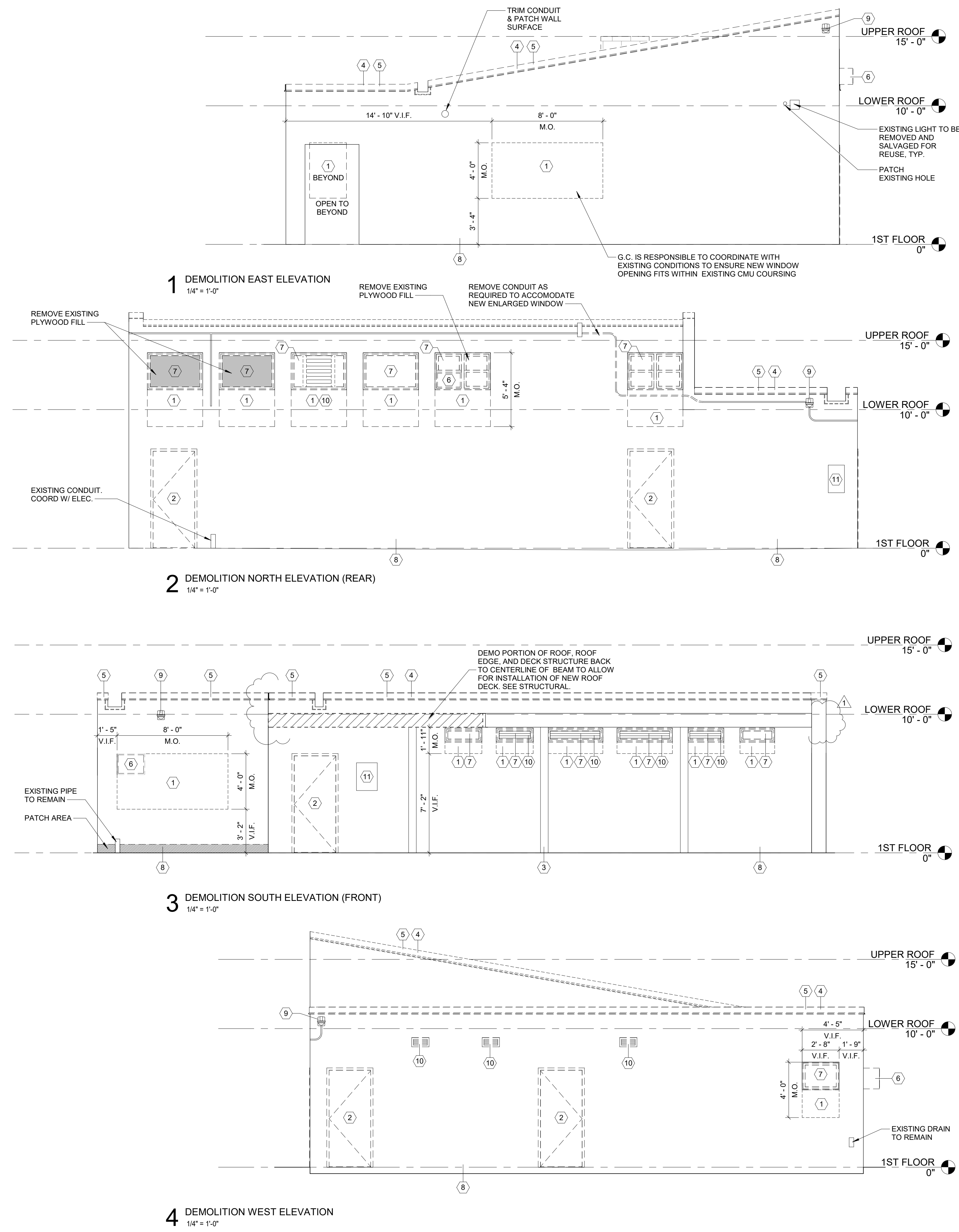
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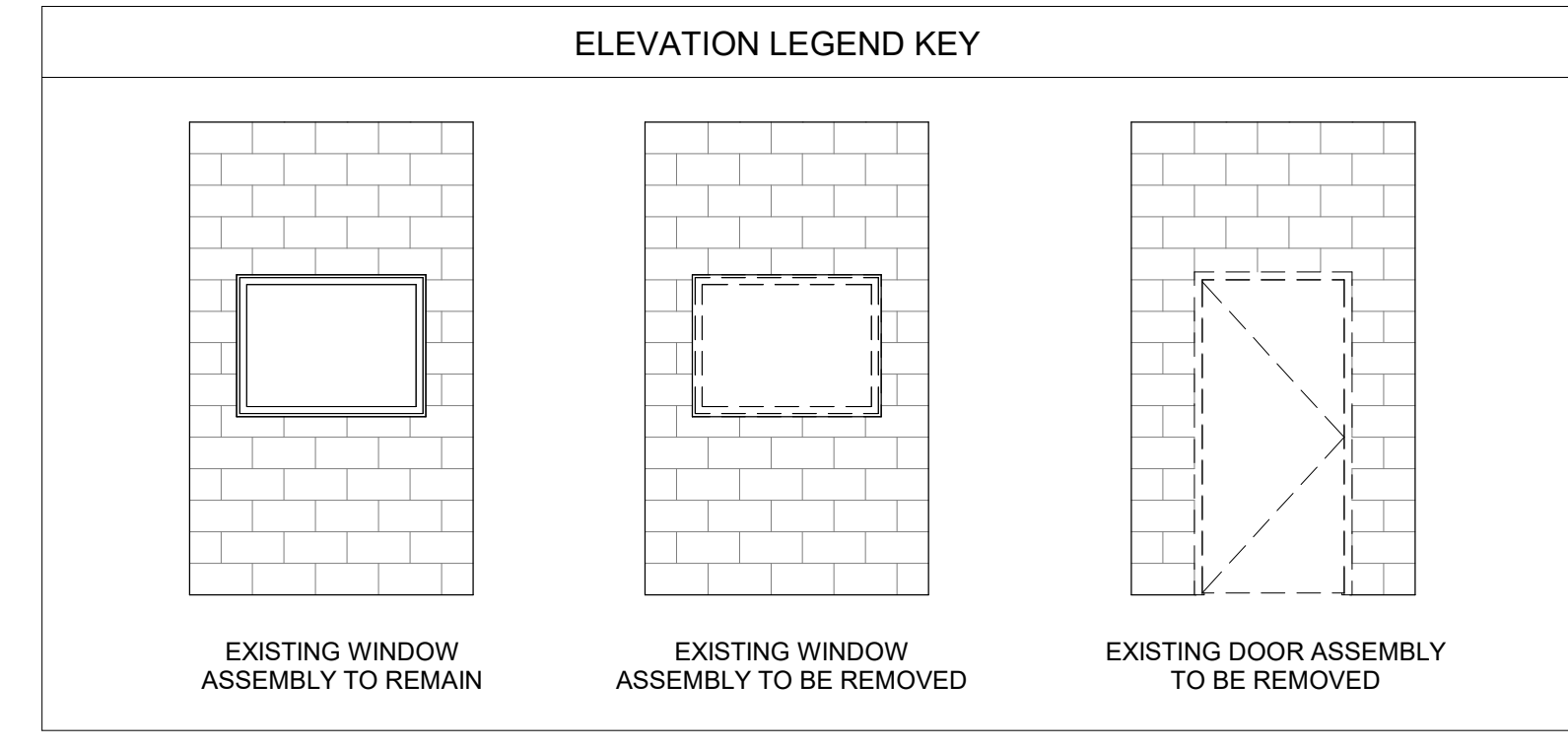
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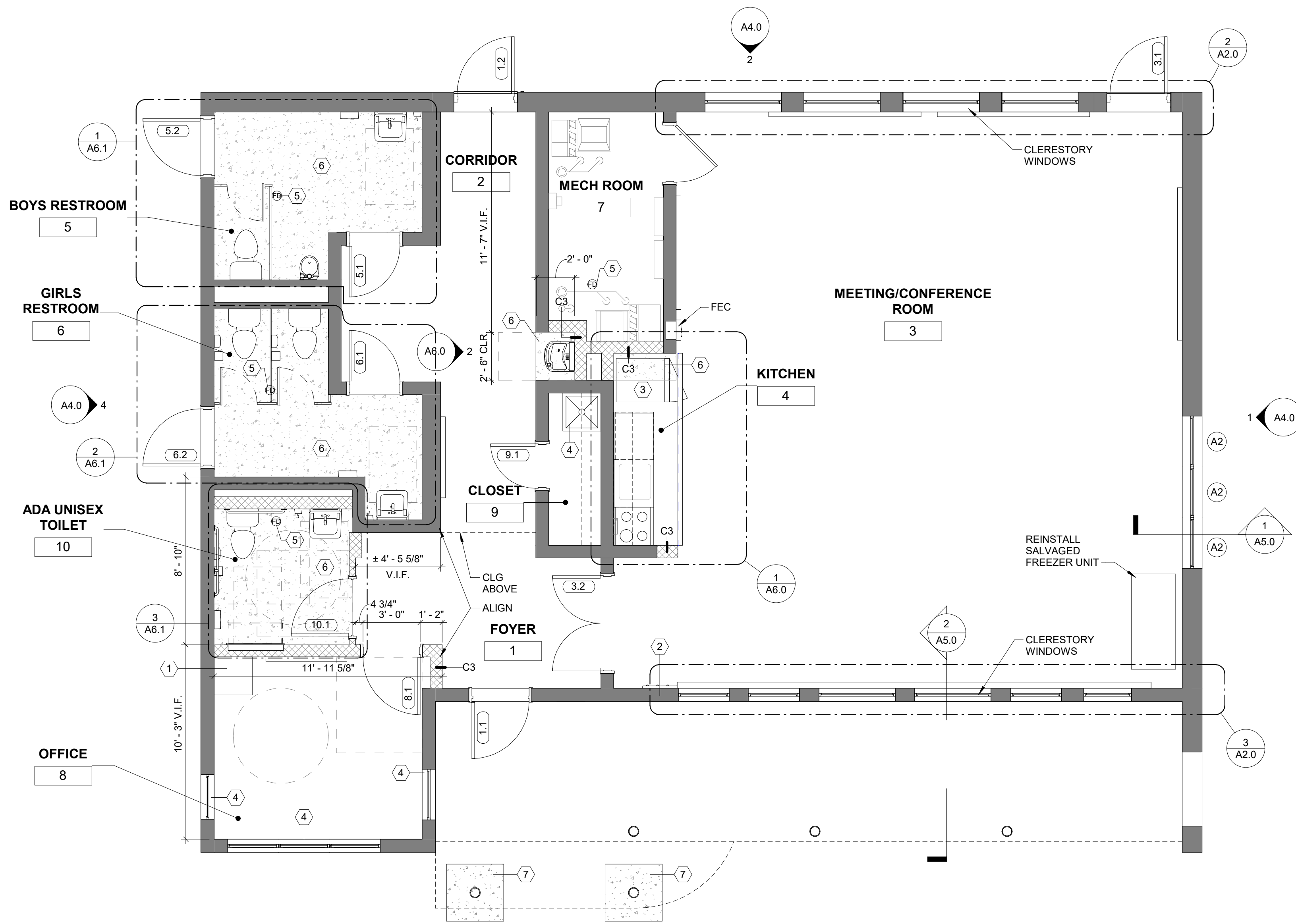
DRAWING TITLE	
DEMOLITION ELEVATIONS	
PROJECT NO. 10-20-XXXX-01	DRAWING NO. A1.2
DATE: 02.07.2020	SCALE: AS NOTED
DRAWN BY:	CHECKED BY:
FILE:	FILE:

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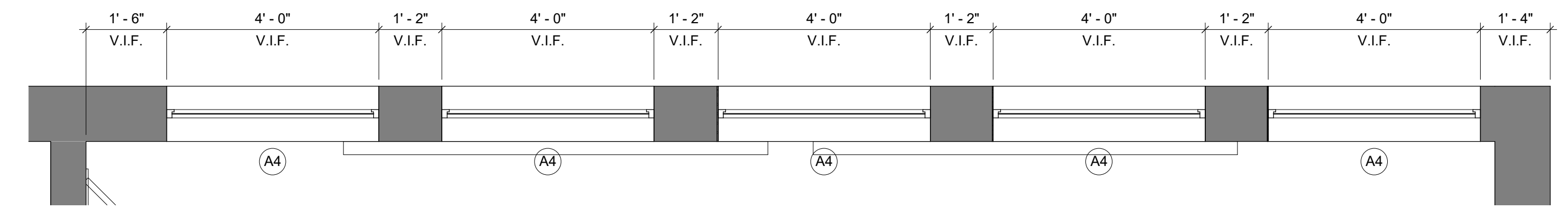


DEMOLITION ELEVATION KEYNOTES	
KEYNOTE	DESCRIPTION
1	REMOVE PORTIONS OF EXISTING WALL TO INSTALL OPENING SCHEDULED. PATCH AND REPAIR AFFECTED ADJACENT SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH. COORDINATE WITH STRUCTURAL FOR NEW ENLARGED OPENINGS.
2	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW DOOR. ALLOW FOR MISCELLANEOUS REPAIR TO DOOR OPENINGS AT HEAD, JAMB & SILLS. SEE STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS. SEE DOOR SCHEDULE FOR NEW MASONRY OPENING SIZE.
3	PREP EXISTING CMU WALLS & STEEL COLUMNS TO RECEIVE NEW PAINT, TYP. AT ALL LOCATIONS.
4	REMOVE ROOFING MATERIAL AND INSULATION DOWN TO ROOF SUBSTRATE. ALLOW FOR MISC REPAIR TO ROOF SUBSTRATE AS NEEDED. PREPARE ROOF FOR NEW ROOFING MATERIAL.
5	REMOVE EXISTING METAL COPING AND FLASHING TYP. ENTIRE ROOF.
6	REMOVE EXISTING AIR CONDITIONING UNIT. ALLOW FOR MISC REPAIR TO OPENINGS AT HEAD, JAMB, AND SILLS.
7	REMOVE EXISTING WINDOW, FRAME, SCREEN, AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW WINDOW. ALLOW FOR MISC REPAIR TO WINDOW OPENINGS AT HEAD, JAMB & SILLS. SEE WINDOW SCHEDULE.
8	REMOVE AND REPLACE EXISTING COMPRESSIVE FILLER AT BOTTOM OF EXTERIOR WALL & CONCRETE PAD.
9	EXISTING CCTV DEVICE TO REMAIN. COORDINATE WITH OWNER.
10	EXISTING VENT/LOUVER TO BE REMOVED. COORDINATE WITH MECHANICAL.
11	PROTECT EXISTING SIGNAGE TO REMAIN.

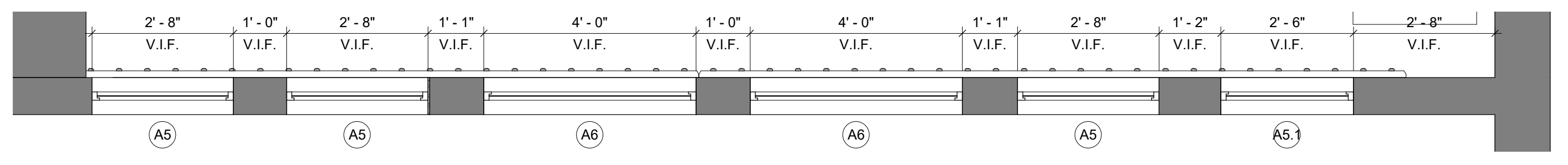




1 FLOOR PLAN
1/4" = 1'-0"



2 UPPER LEVEL GLAZING PLAN - NORTH ELEVATION
1/2" = 1'-0"



3 UPPER LEVEL GLAZING PLAN - SOUTH ELEVATION
1/2" = 1'-0"

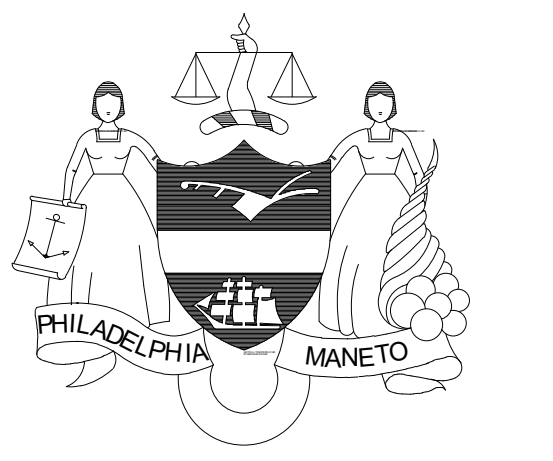
GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE START OF WORK. NOTIFY ARCHITECT IN WRITING OF ALL DISCREPANCIES BEFORE START OF WORK.
2. INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL SURFACE.
3. ALL DOOR JAMBS AT HINGE SIDE TO BE SET 6" FROM ADJACENT WALL (MIN.) OR AS OTHERWISE NOTED.
4. ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR, TYPICAL UNO.
5. REFERENCE FINISH SCHEDULE FOR FINISH SPECIFICATIONS.
6. CONTRACTOR SHALL PROVIDE AND INSTALL WALL BLOCKING AS REQUIRED TO SUPPORT ALL WALL HUNG CABINETS; WALL-HUNG FIXTURES, COUNTERTOPS, SHELVING, AND ACCESSORIES. CONTRACTOR TO COORDINATE CLEARANCES FOR ALL BACK TO BACK FIXTURES.
7. CONFIRM ALL MEASUREMENTS. ALIGN FACE OF NEW CONSTRUCTION WITH FACE OF EXISTING CONSTRUCTION UNO.
8. FLUSH LEVER ON TOILET TO BE LOCATED ON LAVATORY SIDE.
9. REFER TO SHEET G0.2 FOR ALL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS.
10. PROTECT ALL EXISTING ITEMS TO REMAIN DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
11. SEE PLUMBING DRAWINGS FOR TOILET ROOM FIXTURE SCHEDULE.
12. REFER TO SHEET A7.0 FOR TOILET ROOM ACCESSORIES SCHEDULE.
13. PATCH AND REPAIR EXTERIOR MASONRY WALL SURFACES AND FINISH SURFACES WITH CEMENT PLASTER TO MATCH EXISTING.
14. PRIME ALL NEW AND PATCHED EXTERIOR WALL SURFACES TO RECEIVE FINISH COATS. FINISH COATS BY OTHERS, UNO.
15. FOR WINDOW AND DOOR TYPES SEE SHEET A7.0.
16. COORDINATE ALL OPENINGS IN CMU WALLS WITH MECHANICAL AND STRUCTURAL.
17. VERIFY STRUCTURAL JOIST DIMENSIONS.

KEYNOTES

KEYNOTES
1 RELOCATED SERVER EQUIPMENT BY OTHERS. COORDINATE ELECTRICAL WITH ELECTRICAL CONTRACTOR AND OWNER.
2 NEW COAT HANGER.
3 REINSTALL EXISTING REFRIGERATOR.
4 NEW ROLL DOWN PRIVACY SHADES.
5 NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
6 NEW CONCRETE FLOOR SLAB OVER VAPOR BARRIER, THIS AREA. SEE STRUCTURAL DRAWINGS.
7 NEW CONCRETE SLAB ON GRADE. SEE STRUCTURAL DRAWINGS.

REVISIONS		
ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Sara Nordstrom, 215-683-0253



PROJECT TEAM

ARCHITECT:
JOHNSON, MIRMIRAN & THOMPSON, INC
1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

STRUCTURAL ENGINEER:
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PHILADELPHIA, PA 19103
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PHILADELPHIA, PA 19103
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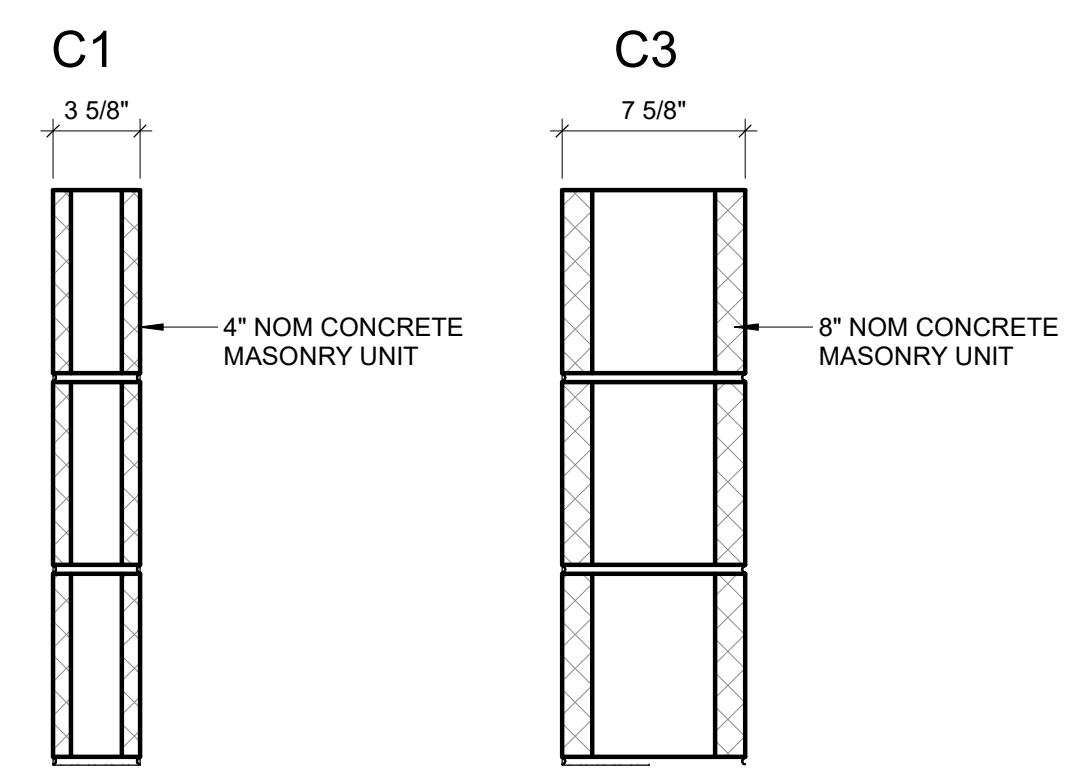
CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
FLOOR PLAN AND WALL TYPES

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A2.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



PARTITION TYPES-INTERIOR-CMU
1 1/2" = 1'-0"

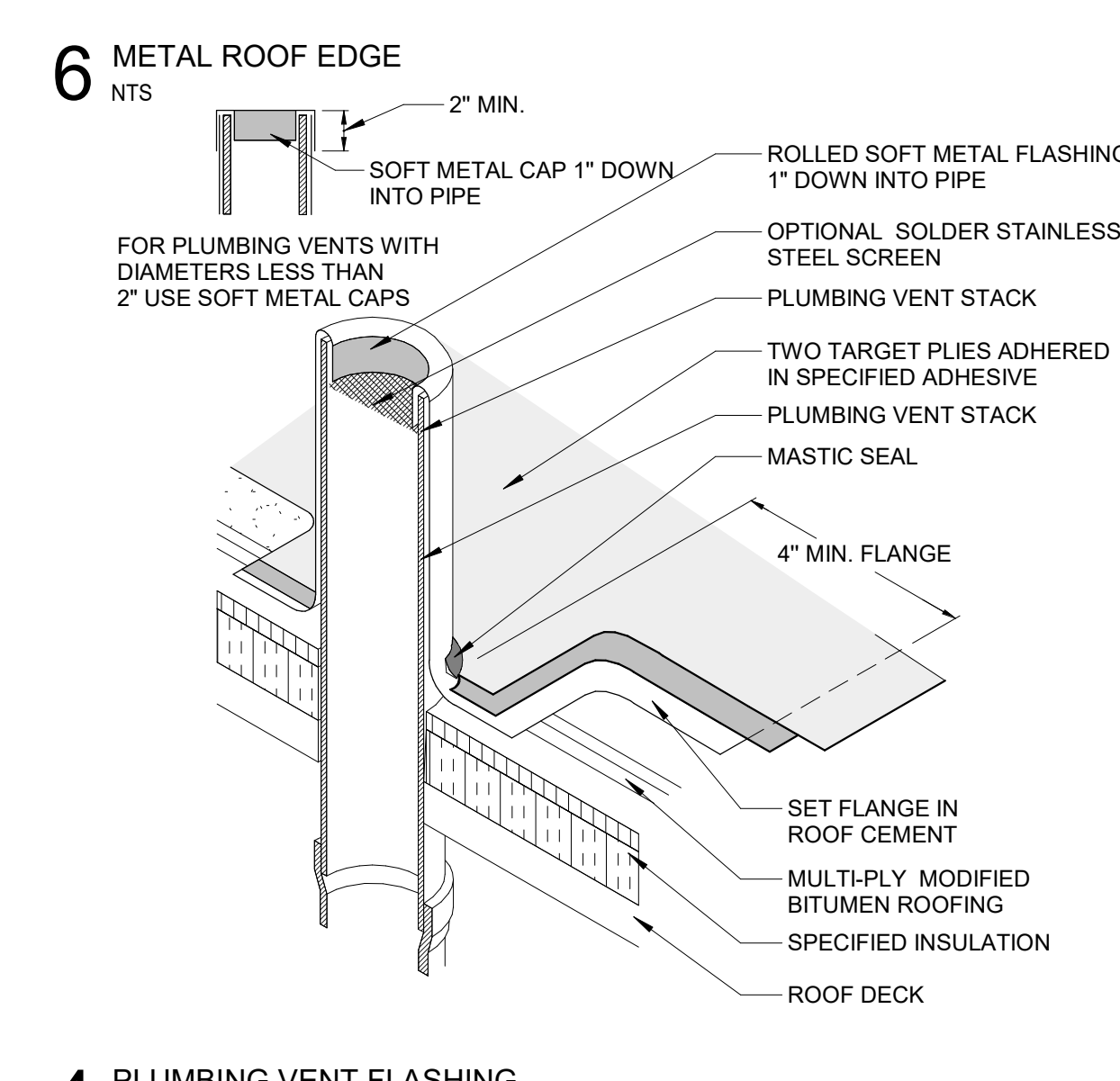
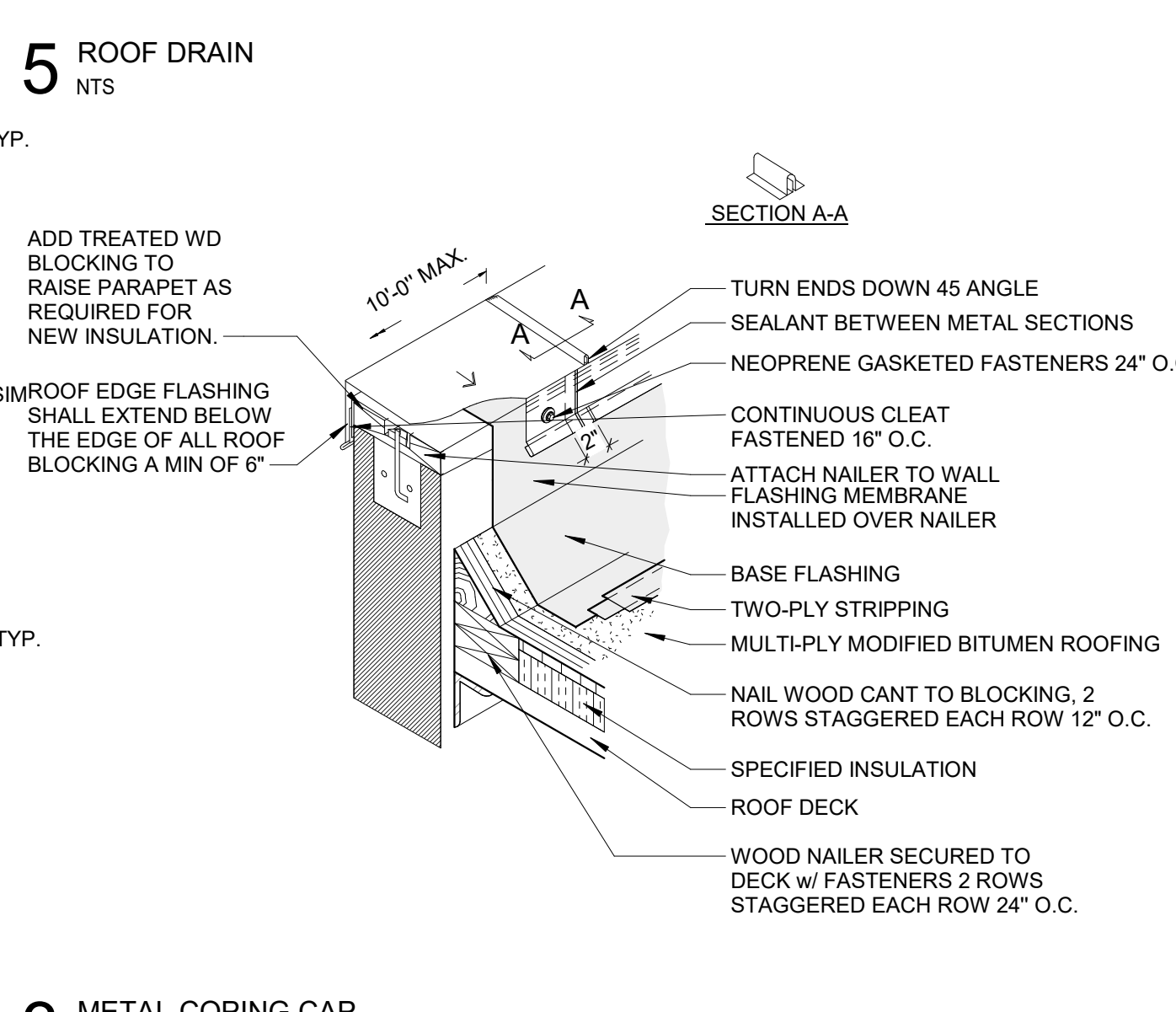
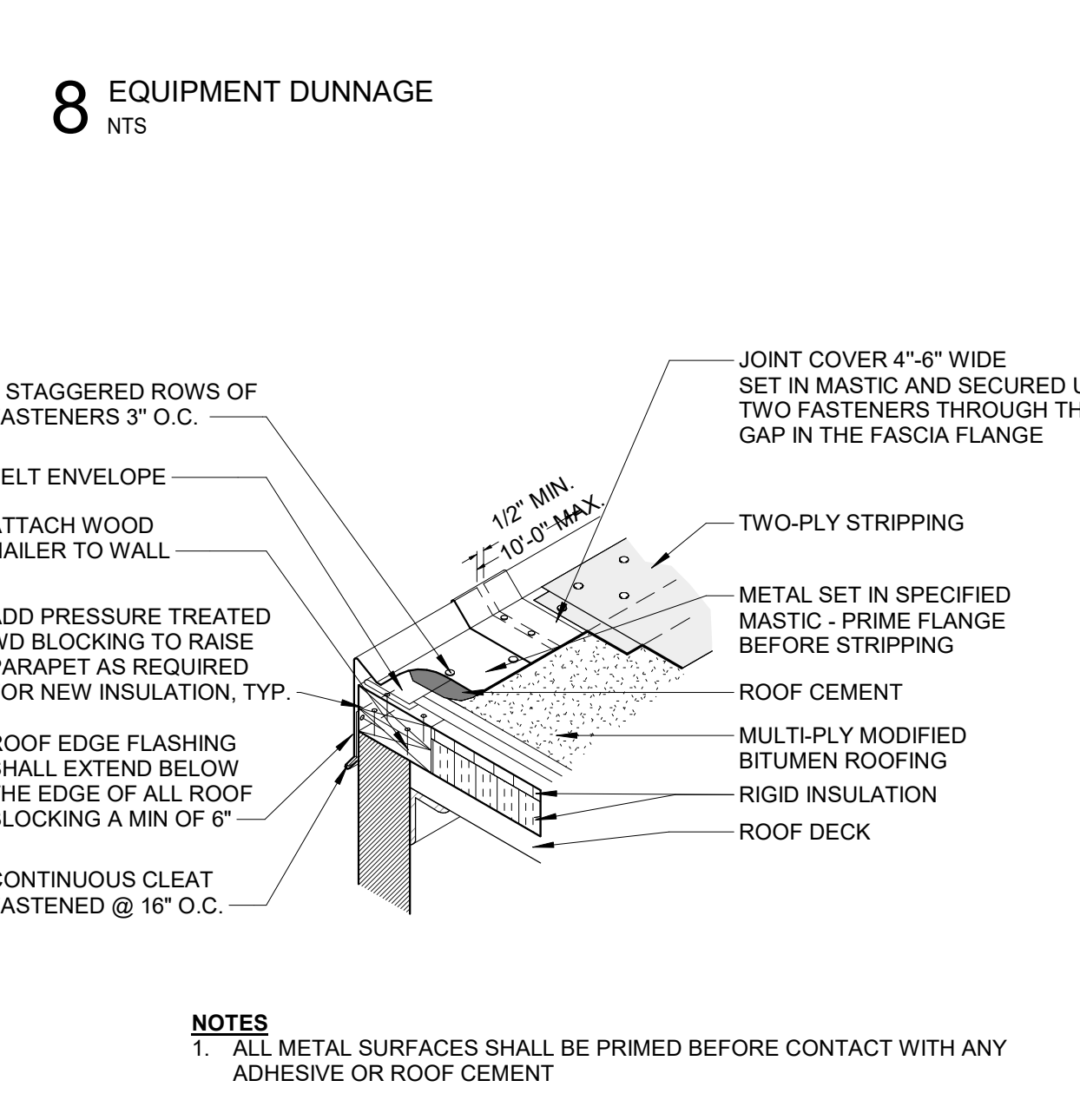
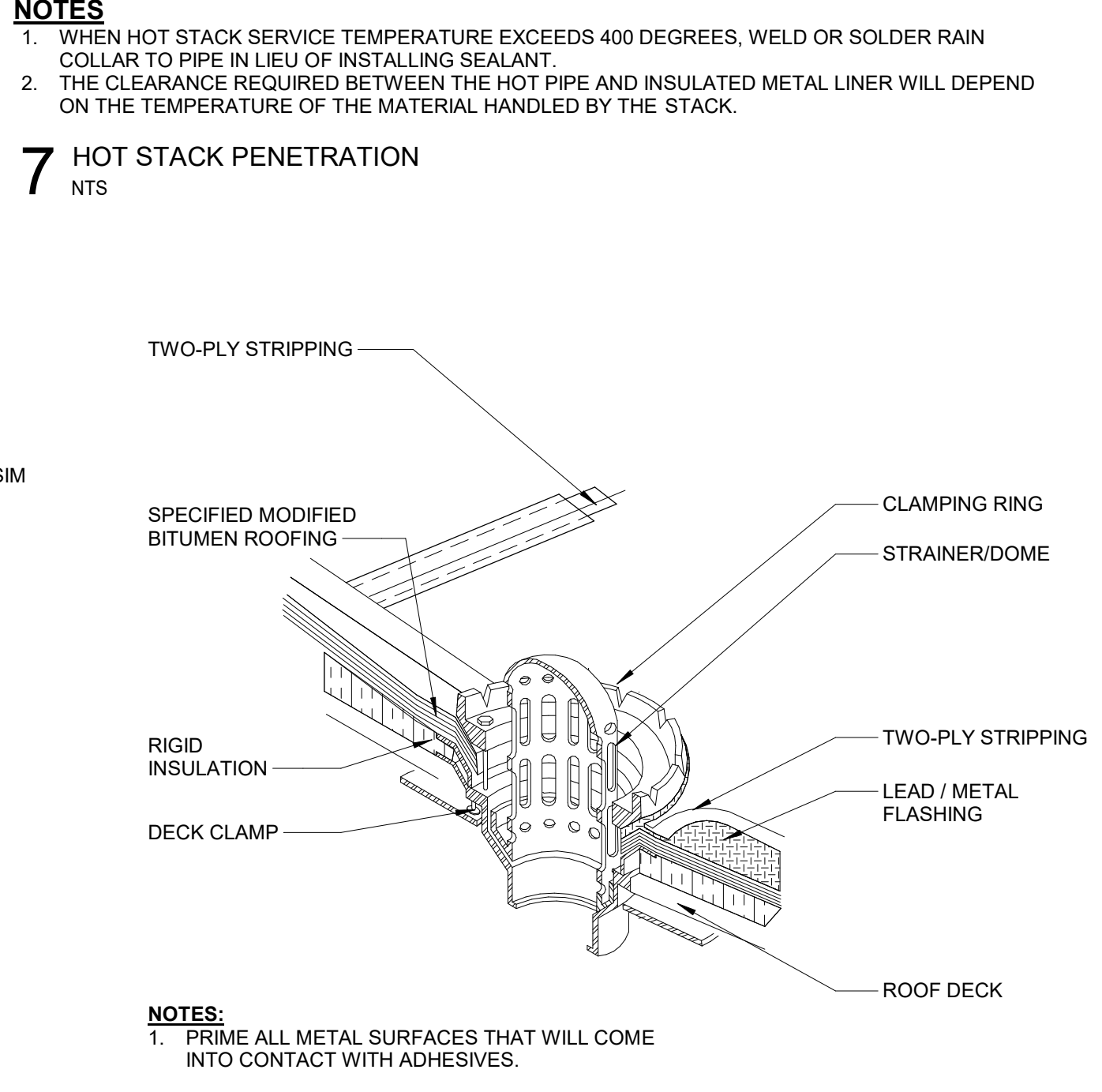
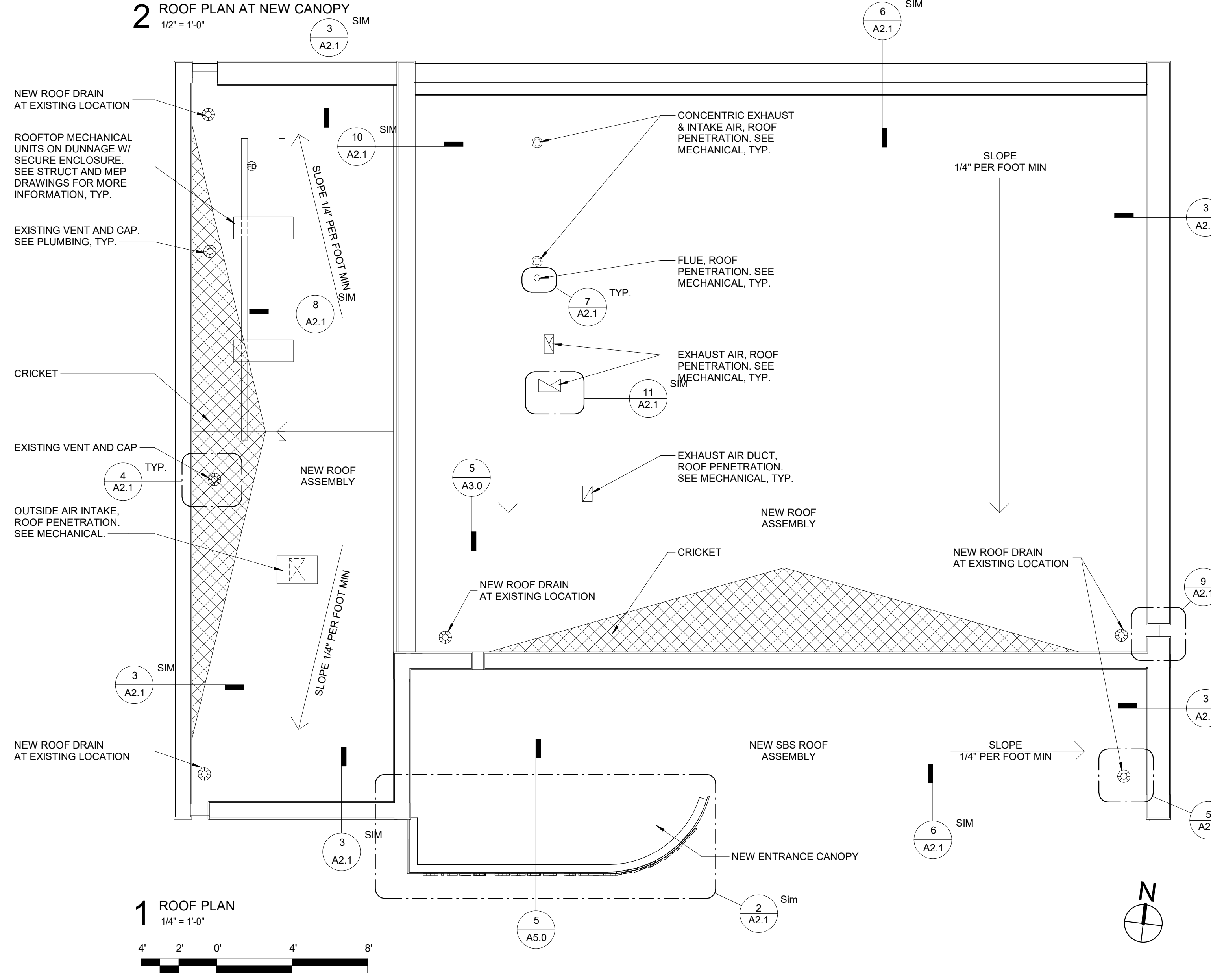
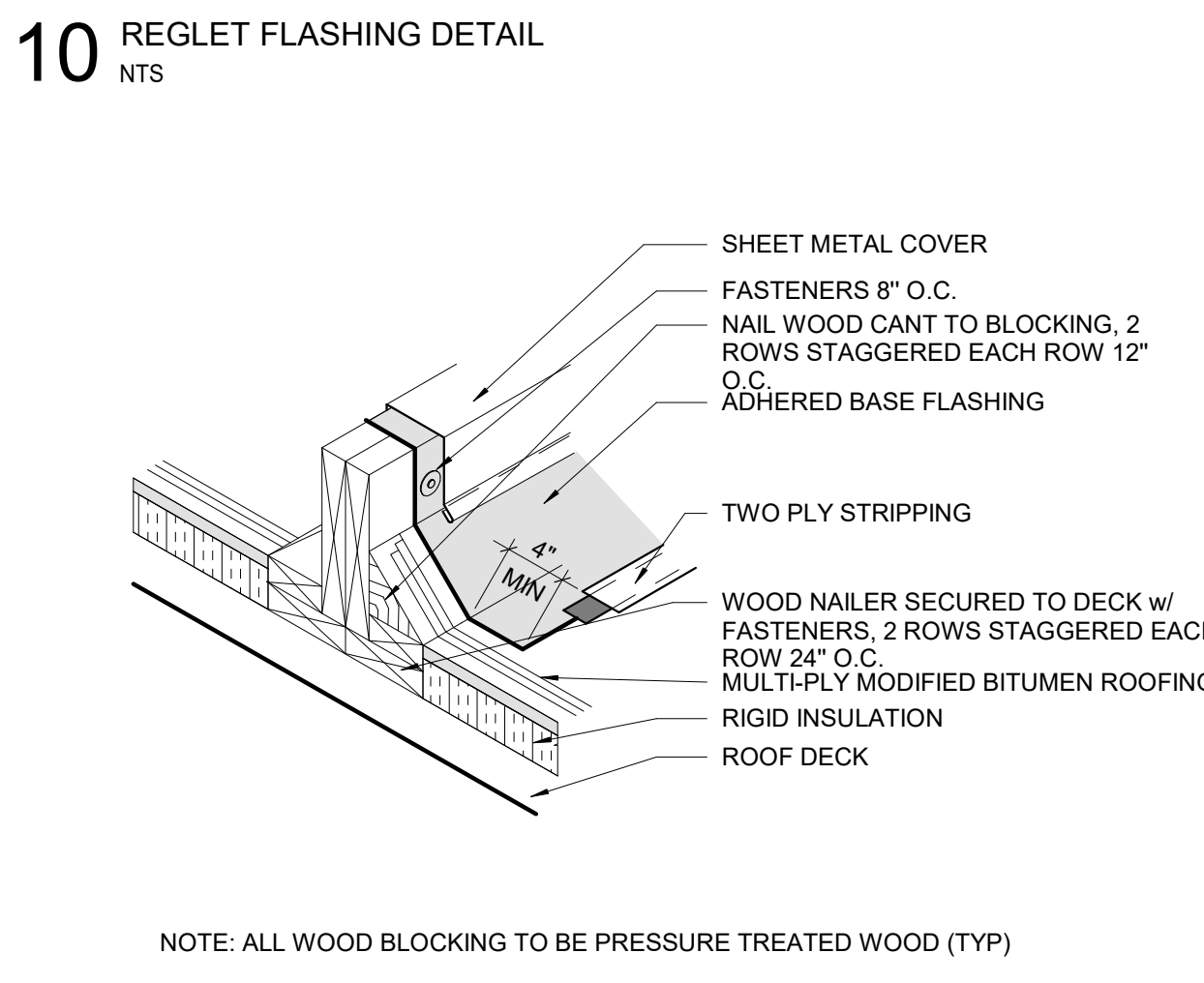
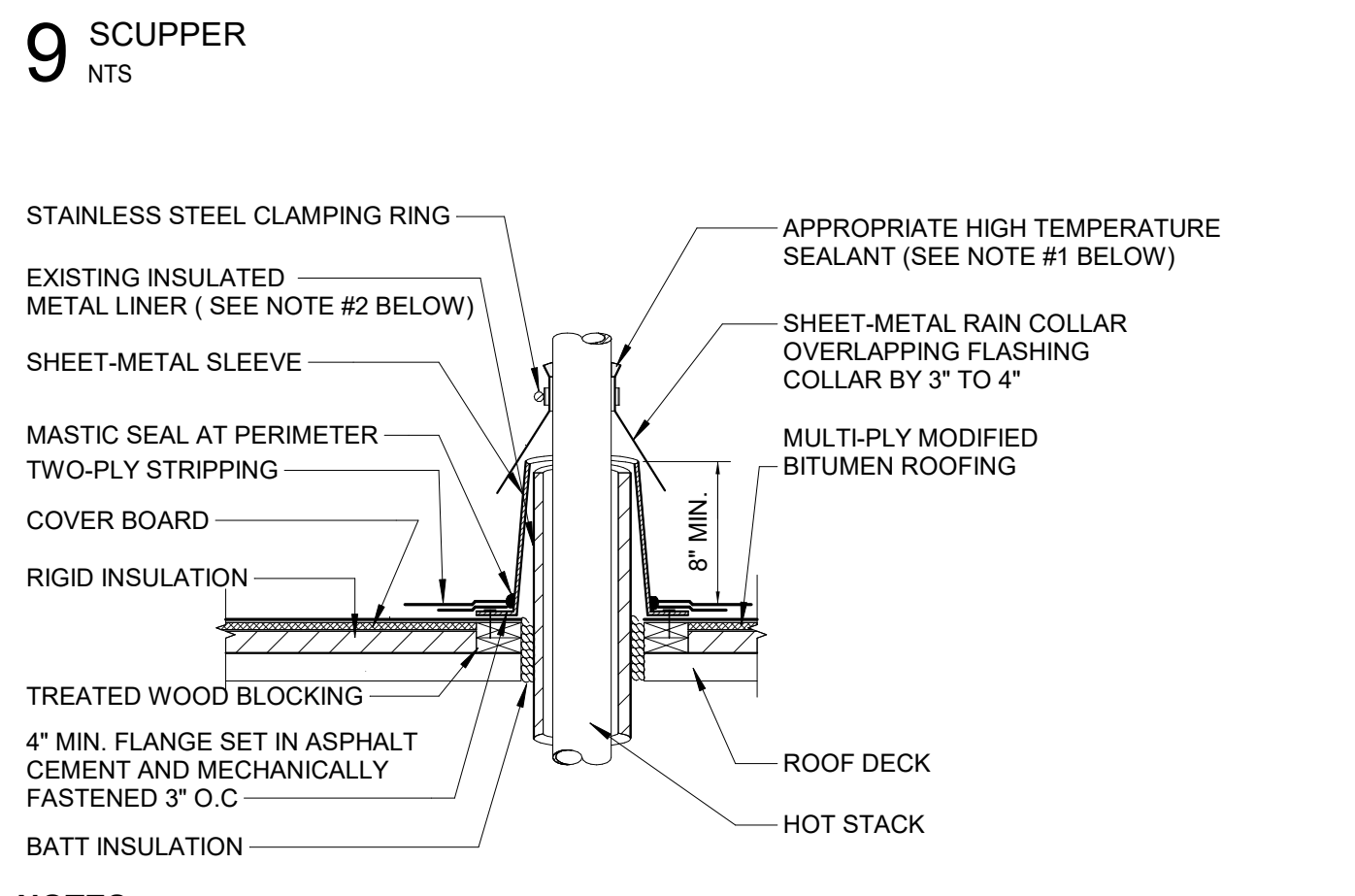
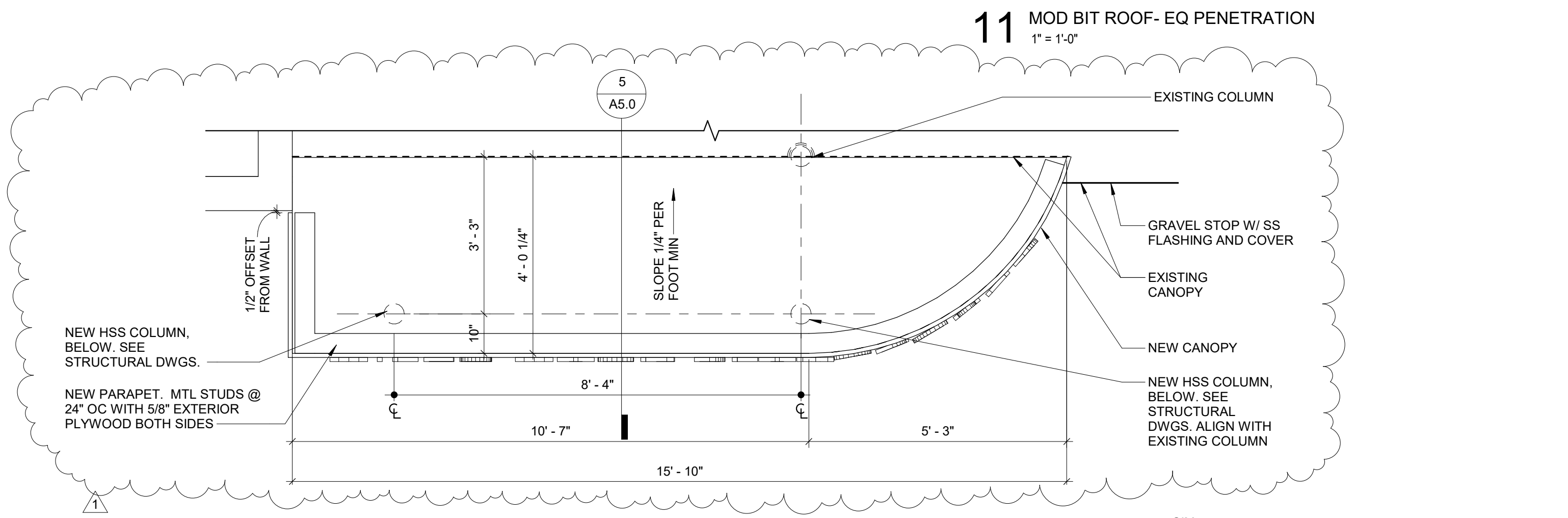
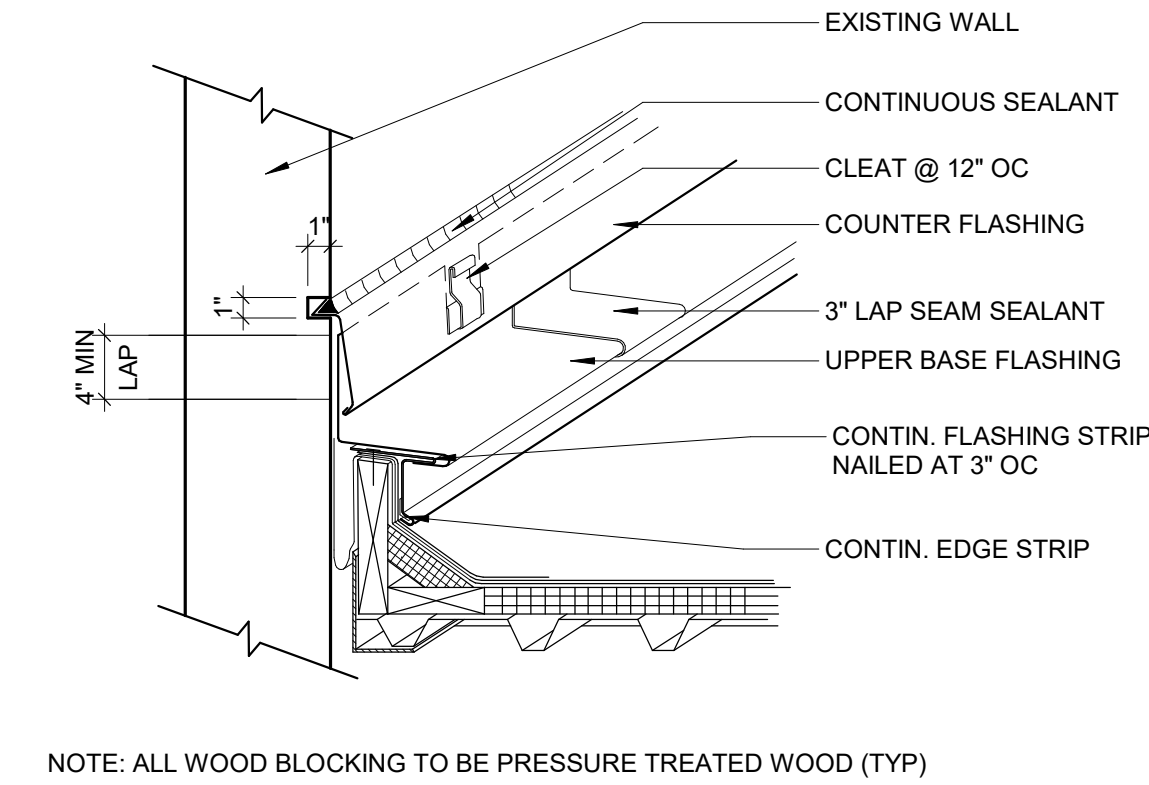
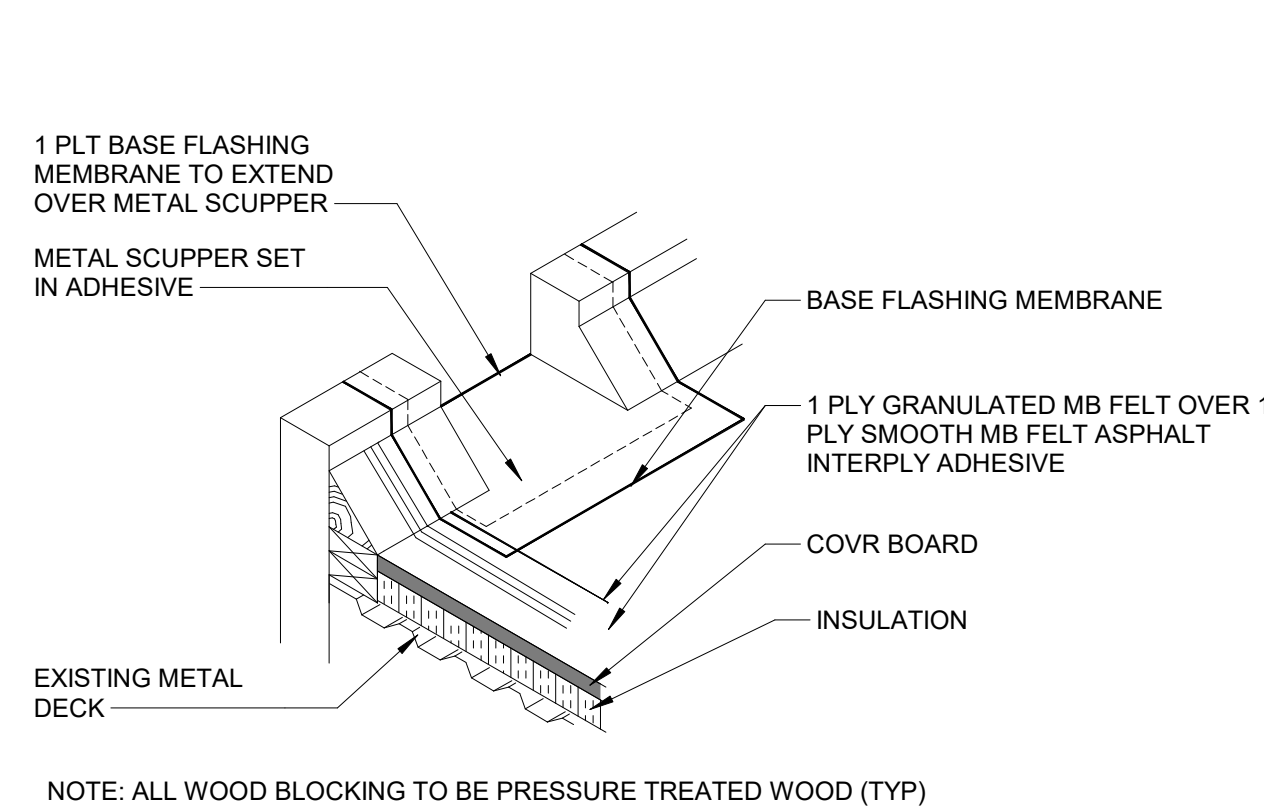
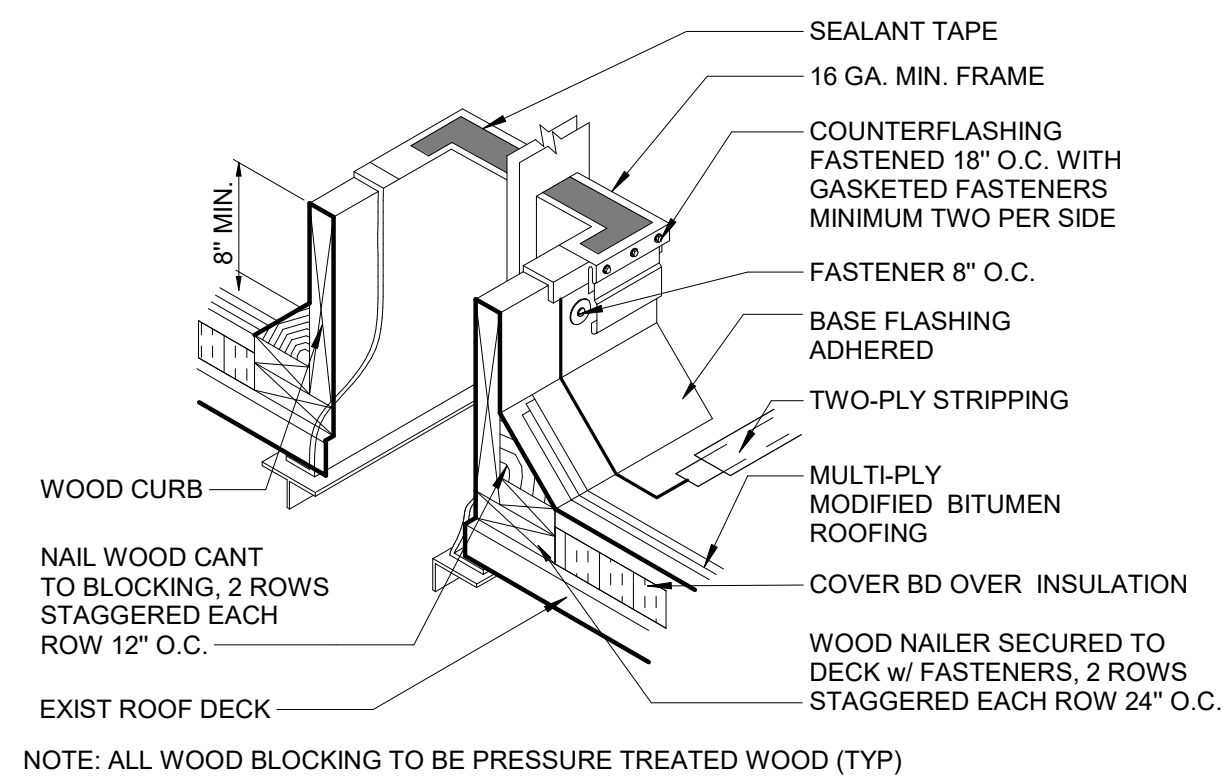
PARTITION TYPE NOTES:

- SEE SPEC SECTION 04 FOR INFORMATION ON CONCRETE MASONRY UNIT ASSEMBLIES
- ALL PARTITIONS MUST FIT TIGHT TO STRUCTURAL SLAB, DECK, OR PLANK, U.O.N.
- GWB IS 5/8" U.O.N.

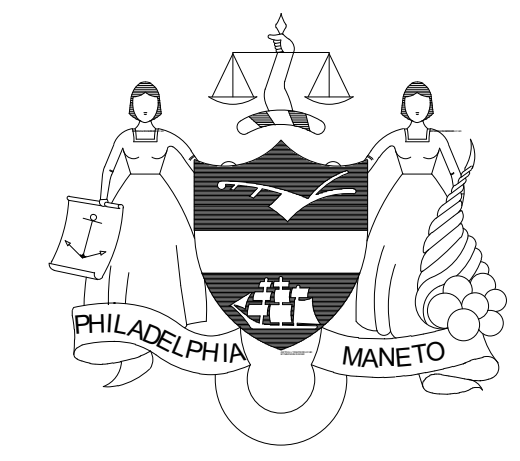


GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE START OF WORK. NOTIFY ARCHITECT IN WRITING OF ALL DISCREPANCIES BEFORE START OF WORK.
- INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL SURFACE.
- ALL DOOR JAMBS AT HINGE SIDE TO BE SET 6" FROM ADJACENT WALL (MIN.) OR AS OTHERWISE NOTED.
- ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR, TYPICAL UNO.
- REFERENCE FINISH SCHEDULE FOR FINISH SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE AND INSTALL WALL BLOCKING AS REQUIRED TO SUPPORT ALL WALL HUNG CABINETRY, WALL-HUNG FIXTURES, COUNTERTOPS, SHELVING, AND ACCESSORIES. CONTRACTOR TO COORDINATE CLEARANCES FOR ALL BACK TO BACK FIXTURES.
- CONFIRM ALL MEASUREMENTS. ALIGN FACE OF NEW CONSTRUCTION WITH FACE OF EXISTING CONSTRUCTION UNO.
- FLUSH LEVER ON TOILET TO BE LOCATED ON LAVATORY SIDE.
- REFER TO SHEET G0.2 FOR ALL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS.
- PROTECT ALL EXISTING ITEMS TO REMAIN DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- SEE PLUMBING DRAWINGS FOR TOILET ROOM FIXTURE SCHEDULE.
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- PATCH AND REPAIR EXTERIOR MASONRY WALL SURFACES AND FINISH SURFACES WITH CEMENT PLASTER TO MATCH EXISTING.
- PRIME ALL NEW AND PATCHED EXTERIOR WALL SURFACES TO RECEIVE FINISH COATS. FINISH COATS BY OTHERS, UNO.
- FOR WINDOW AND DOOR TYPES SEE SHEET A7.0.
- COORDINATE ALL OPENINGS IN CMU WALLS WITH MECHANICAL AND STRUCTURAL.
- VERIFY STRUCTURAL JOIST DIMENSIONS.



REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



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Philadelphia Parks & Recreation
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1515 Arch Street, 11th Floor
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CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
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1515 ARCH STREET
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PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
ROOF PLAN & DETAILS

PROJECT NO.
10-20-XXXX-01

DATE: 02.07.2020

SCALE: AS NOTED

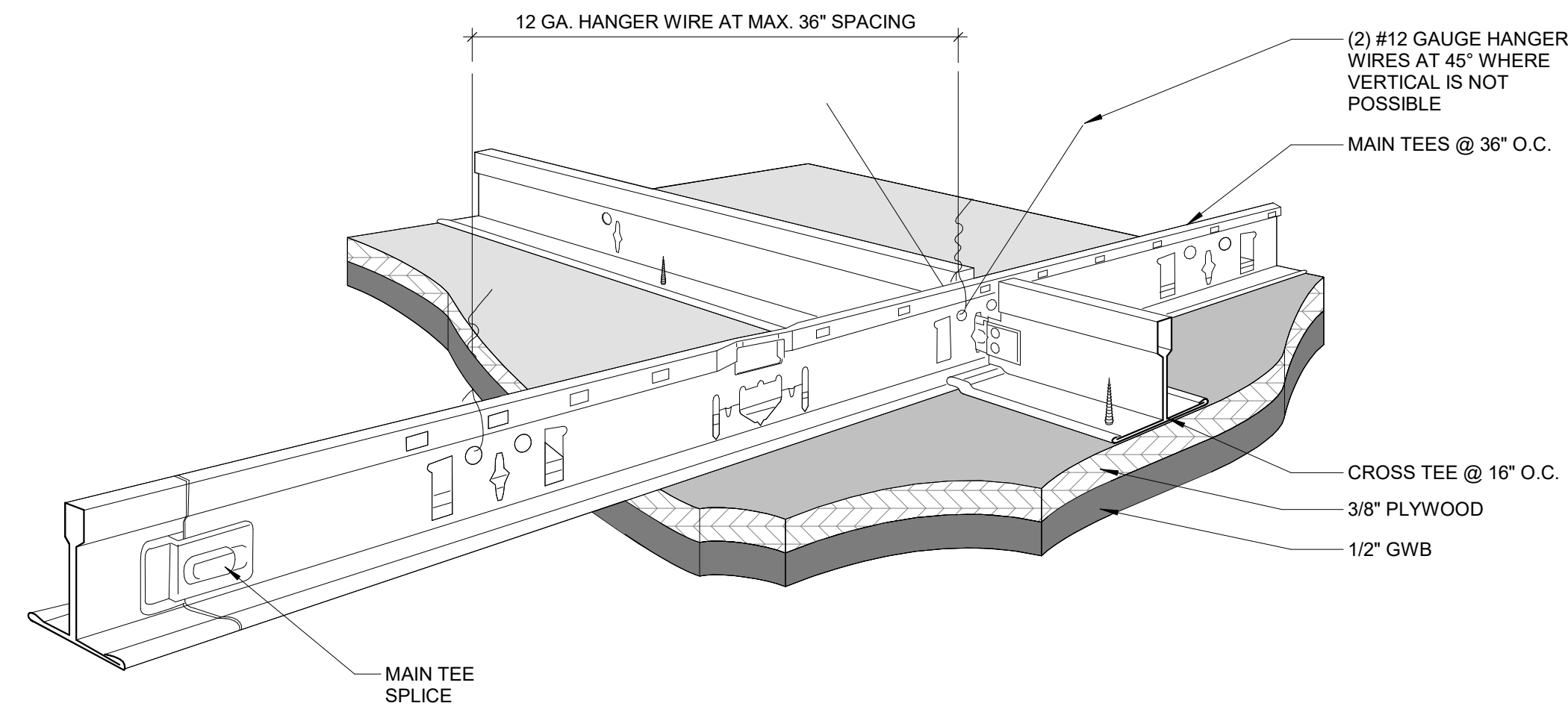
DRAWN BY:

DRAWING NO.
A2.1

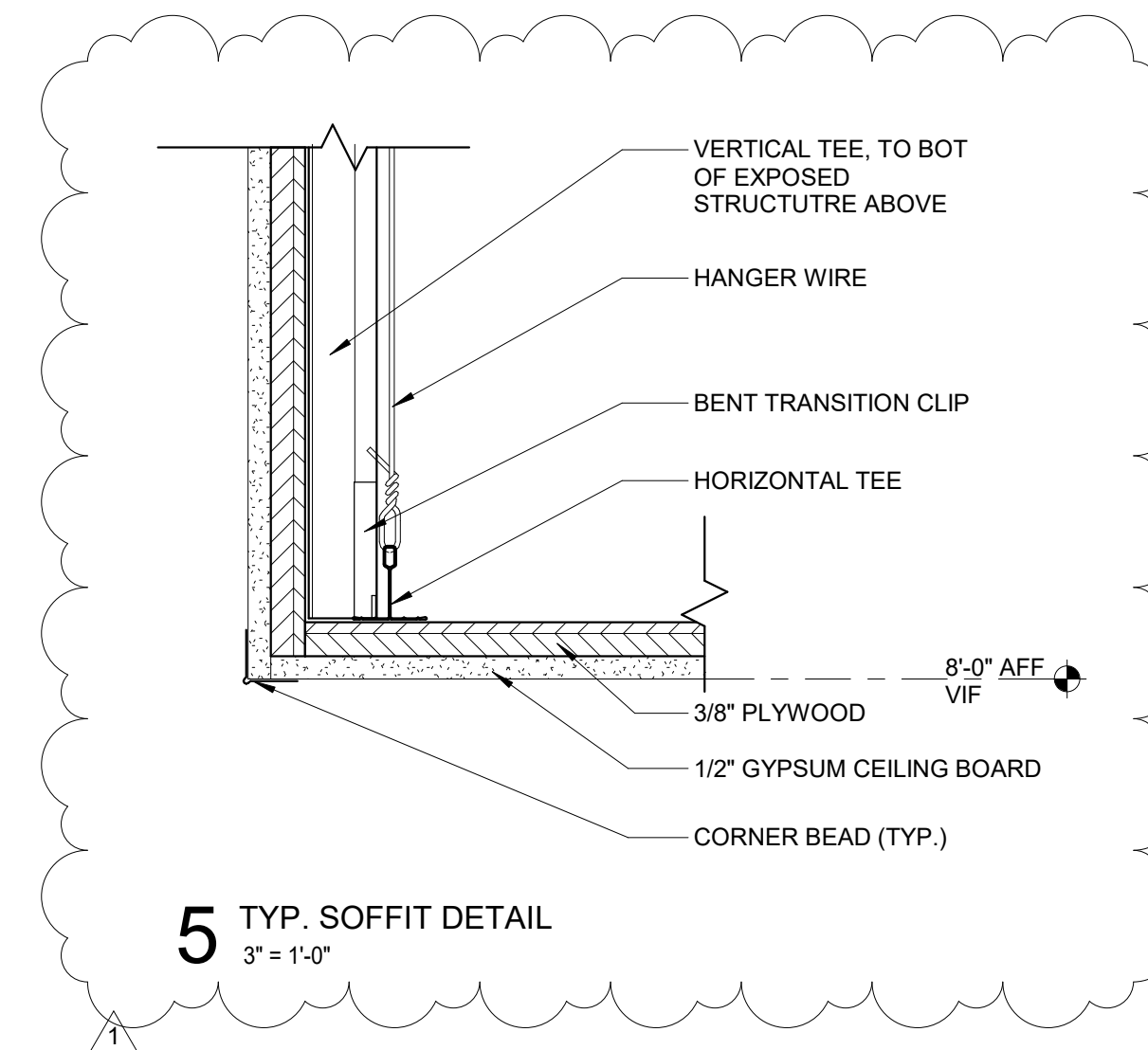
CHECKED BY:

FILE:

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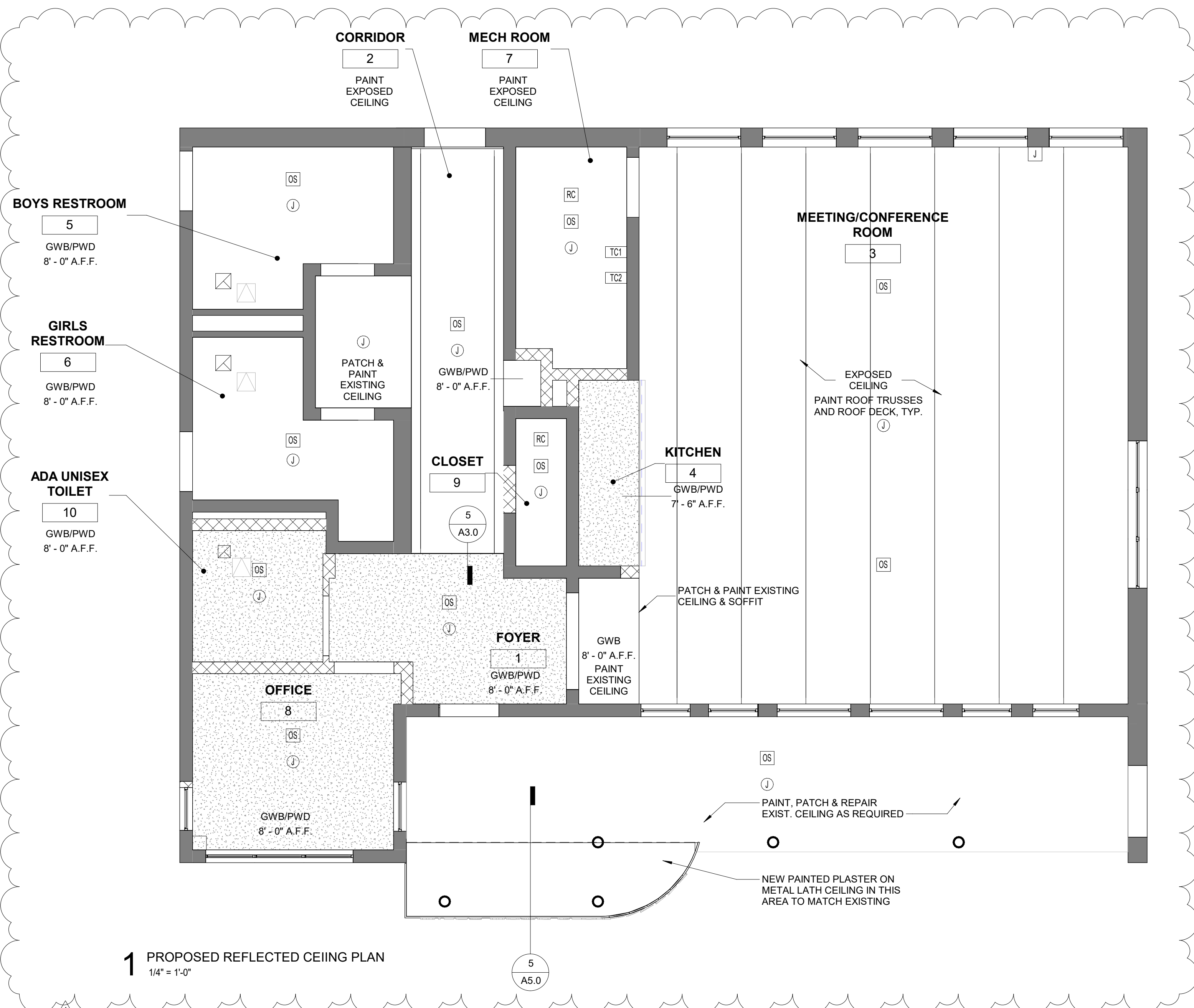
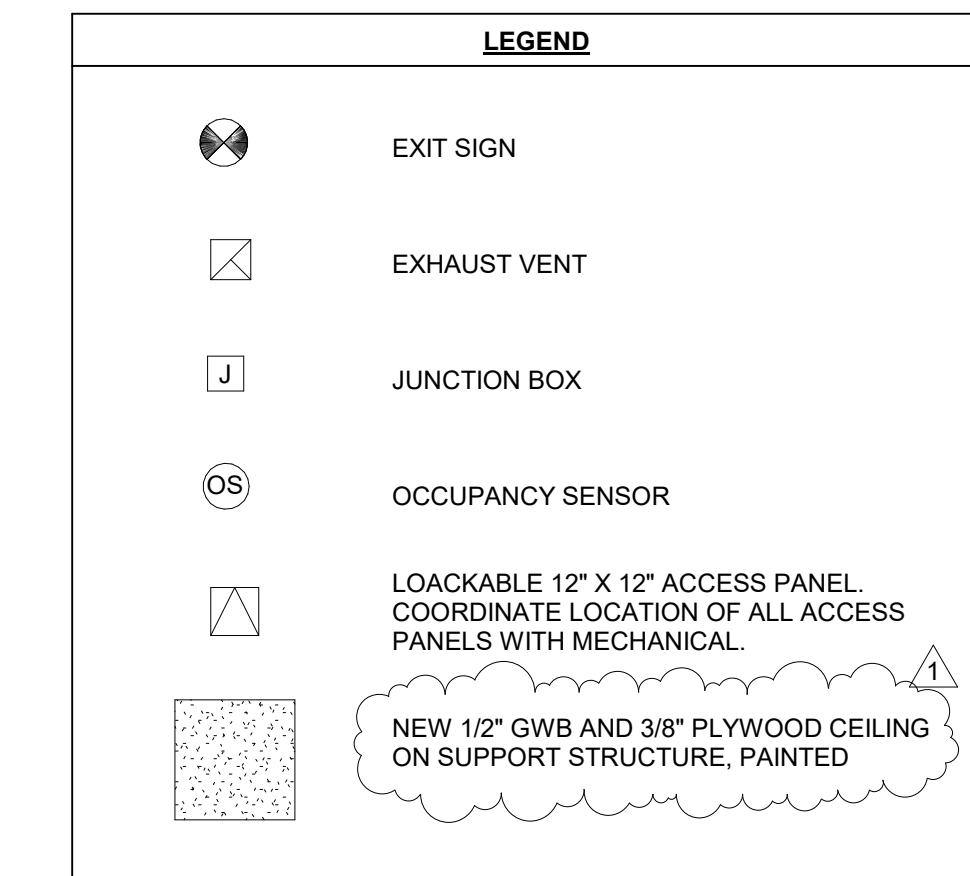
2 GWB TYPICAL CEILING SUSPENSION DETAIL
N.T.S.



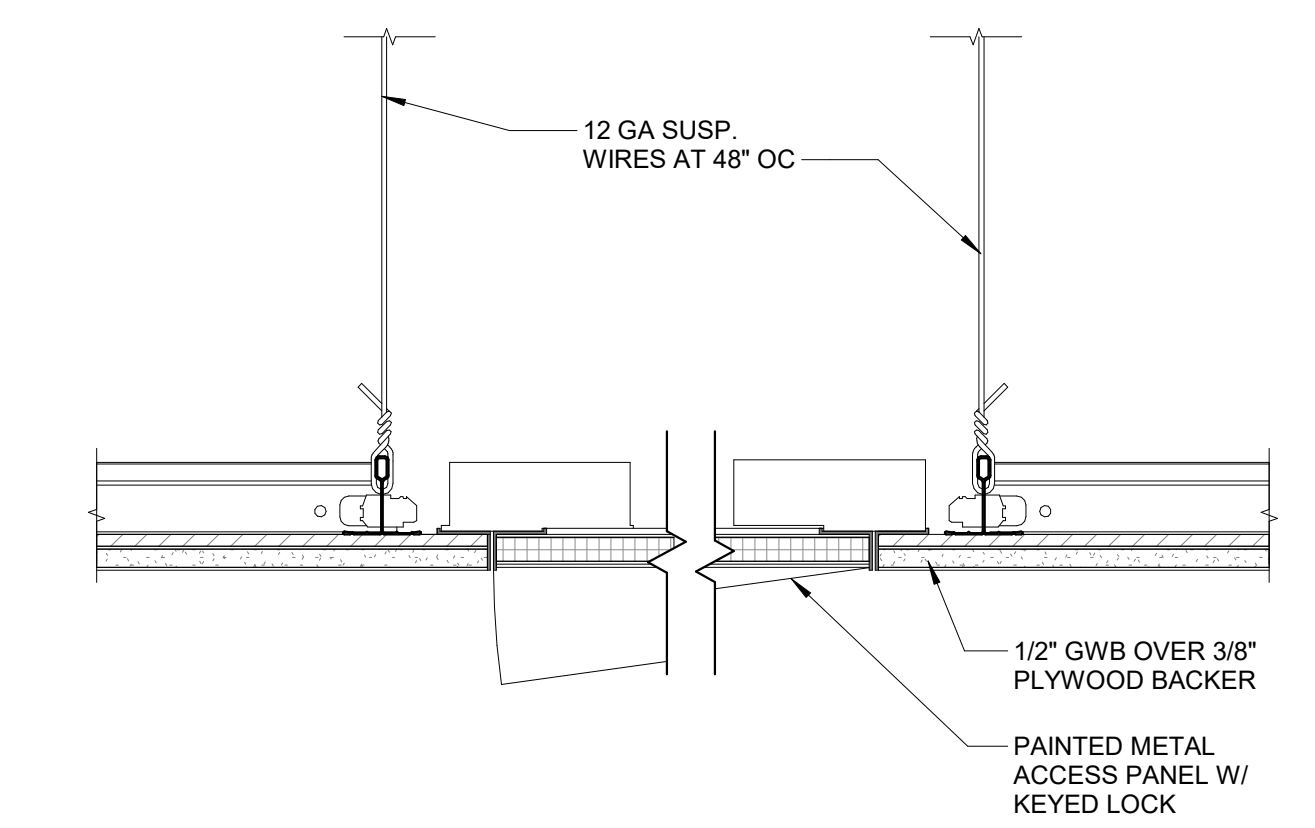
5 TYP. SOFFIT DETAIL
3\"/>

- GENERAL CONSTRUCTION NOTES**
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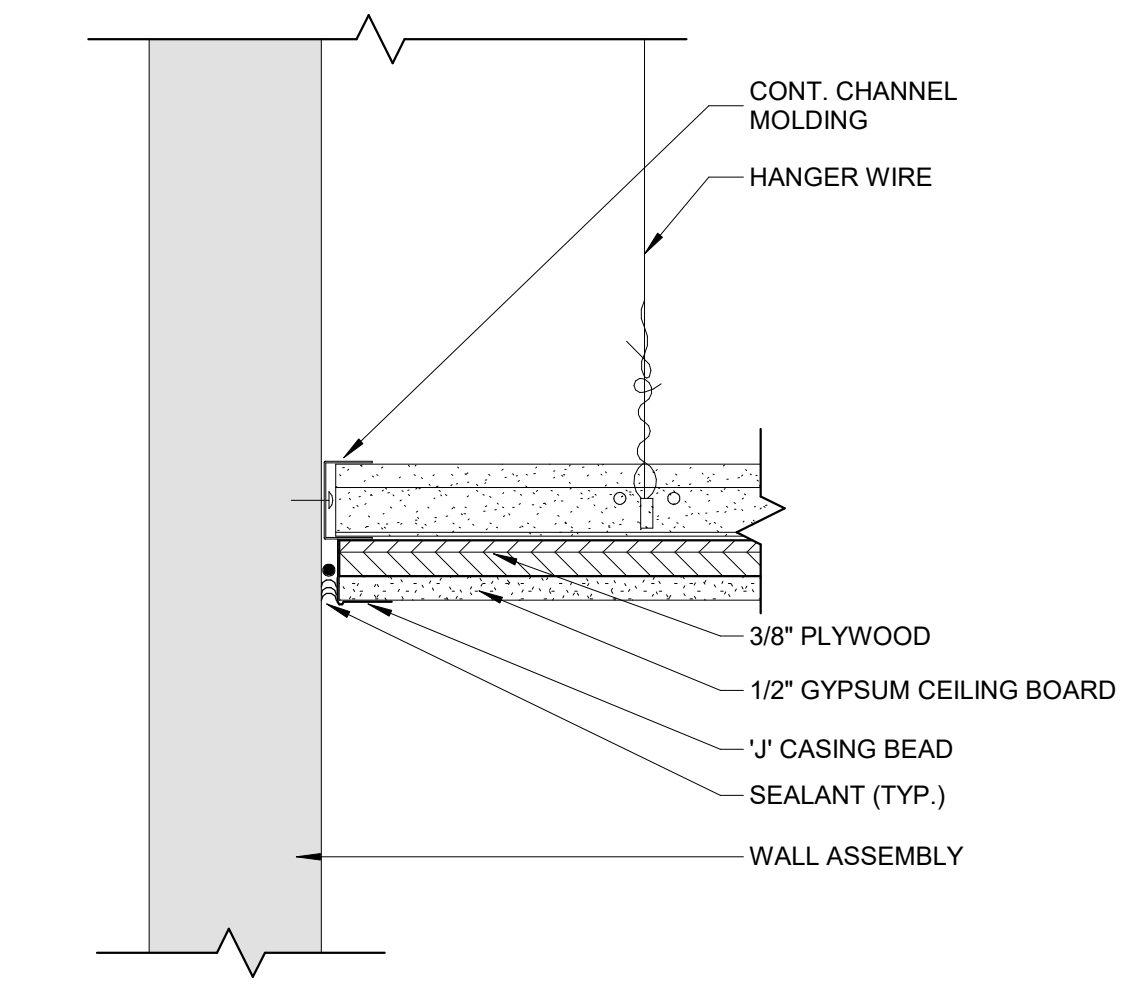
- RCP SHEET NOTES**
- SEE ELECTRICAL/POWER DRAWINGS FOR ADDITIONAL INFORMATION.
 - SEE MECHANICAL DRAWINGS FOR CEILING SUPPLY, DIFFUSERS, CABINET HEATER UNITS, AND LOCATIONS OF ACCESS PANELS REQUIRED FOR MECHANICAL EQUIPMENT.
 - PROVIDE BLOCKING AND UNISTRUT FRAMING AS REQUIRED ABOVE SUSPENDED CEILING FOR LIGHT FIXTURE AND MECHANICAL SUPPORTS.
 - CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR TO UNDERSIDE OF CEILING.
 - COORDINATE ALL DUCTS, PIPING, LIGHTS ETC. IN ORDER TO MAINTAIN LOCATION OF ALL CEILING HEIGHTS AS INDICATED. ANY DEVIATION FROM THE DRAWINGS MUST BE NOTED TO THE ARCHITECT IN WRITING AND APPROVED PRIOR TO INSTALLATION, NO EXCEPTIONS.
 - ALL EXISTING SPACES WITH NEW REPLACEMENT CEILINGS, G.C. IS TO MATCH EXISTING CEILING HEIGHTS.
 - PAINT UNDERSIDE OF EXPOSED ROOF DECK AND ROOF TRUSSES.
 - PATCH ALL CEILING OPENED OR DAMAGED AS PART OF CONSTRUCTION WORK.
 - PAINT ALL AREAS OF EXPOSED CEILING INCLUDING ROOF TRUSSES AND SUPPORTS.
 - REINSTALL EXISTING LIGHTING. COORDINATE DESIGN AND LAYOUT WITH OWNER.



1 PROPOSED REFLECTED CEILING PLAN
1/4\"/>



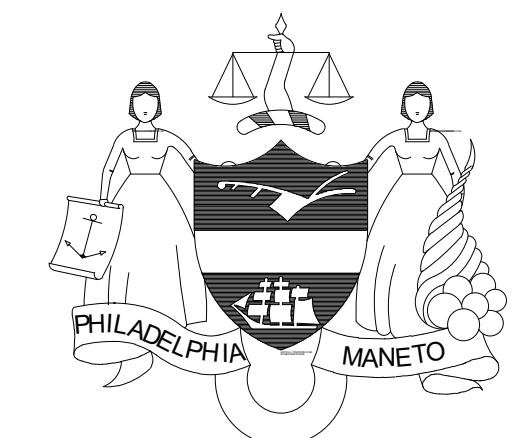
4 TYPICAL GYPSUM CEILING ASSEMBLY DETAIL
3\"/>



3 TYP. GYPSUM CEILING ASSEMBLY EDGE DETAIL
3\"/>



REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Sara Nordstrom, 215-683-0253

SEAL



PROJECT TEAM
ARCHITECT:
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1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

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PHILADELPHIA, PA 19103
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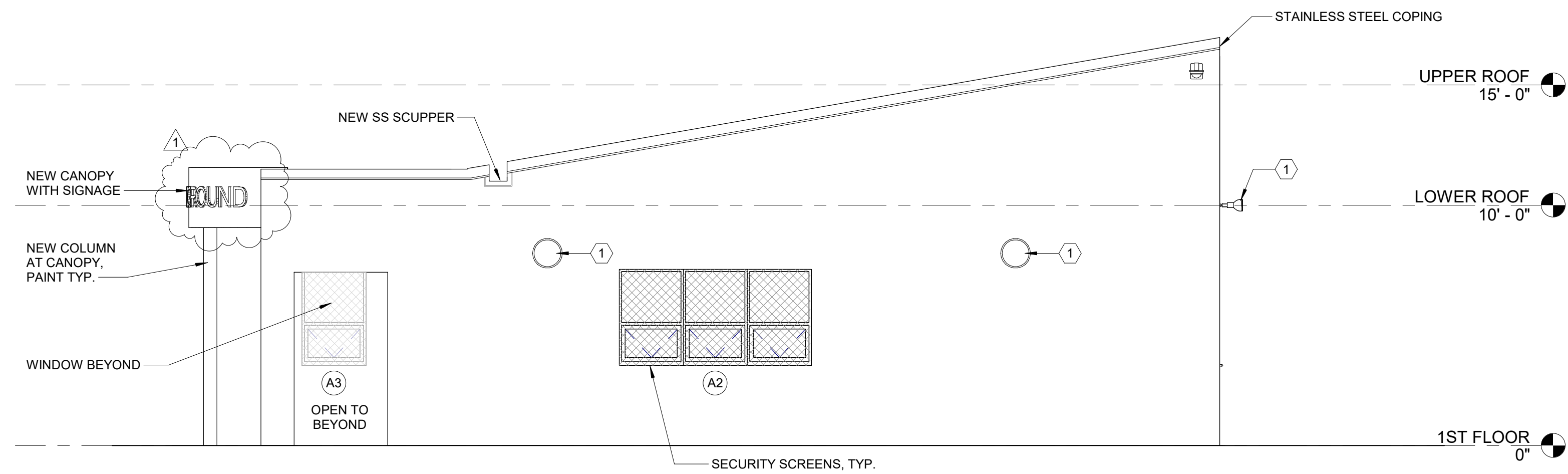
CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
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PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

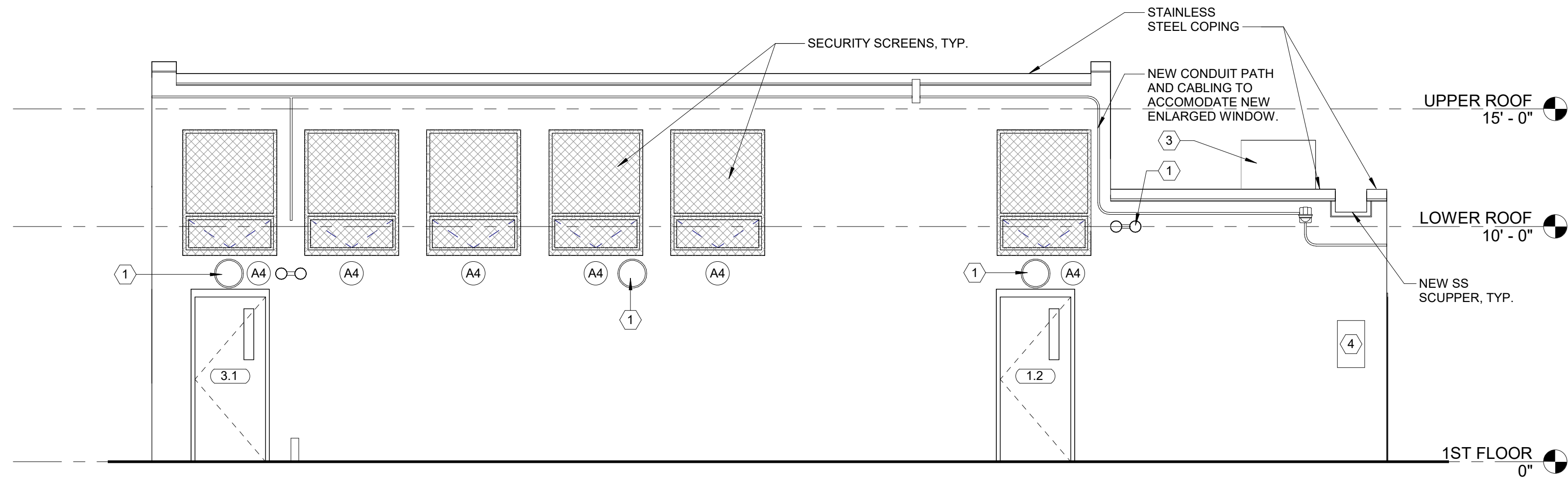
DRAWING TITLE
REFLECTED CEILING PLANS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A3.0
DATE: 02.07.2020	SCALE: AS NOTED
DRAWN BY:	CHECKED BY:

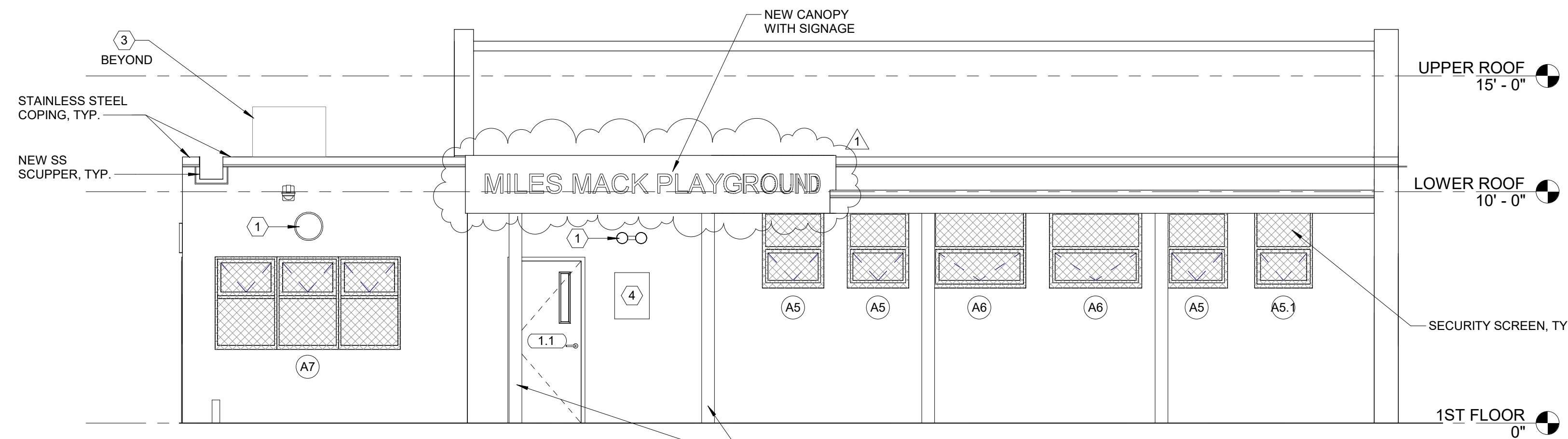
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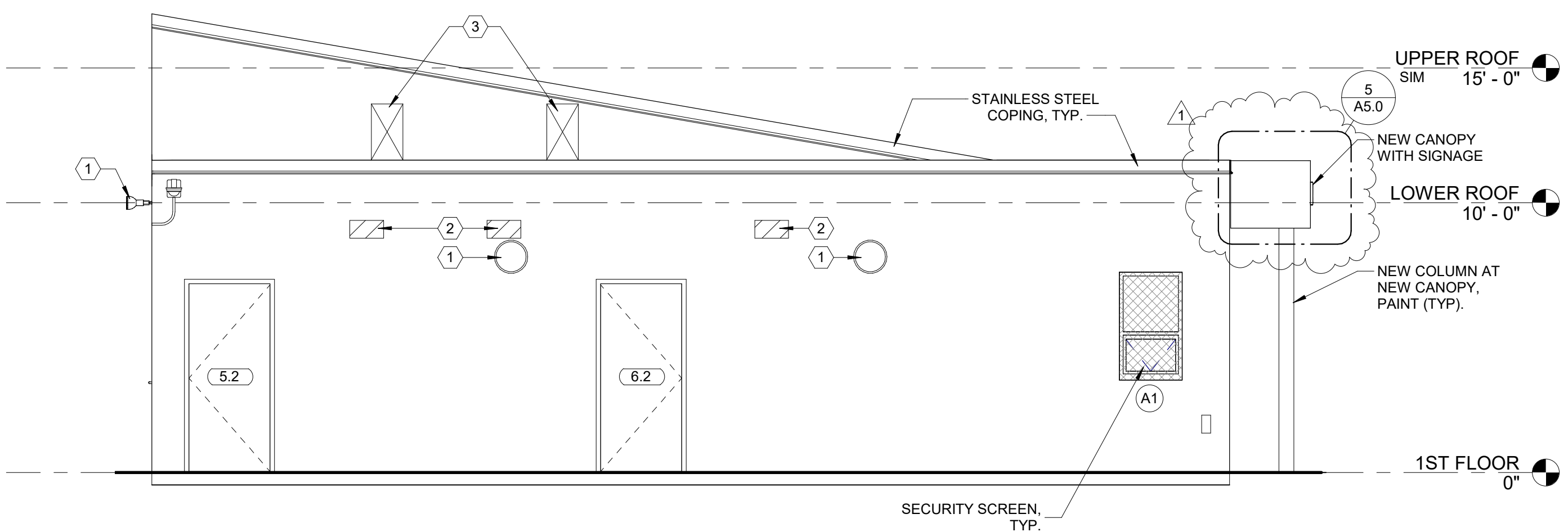
1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

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14. PRIME ALL NEW AND PATCHED EXTERIOR WALL SURFACES TO RECEIVE FINISH COATS. FINISH COATS BY OTHERS, UNO.
15. FOR WINDOW AND DOOR TYPES SEE SHEET A7.0.
16. COORDINATE ALL OPENINGS IN CMU WALLS WITH MECHANICAL AND STRUCTURAL.
17. VERIFY STRUCTURAL JOIST DIMENSIONS.

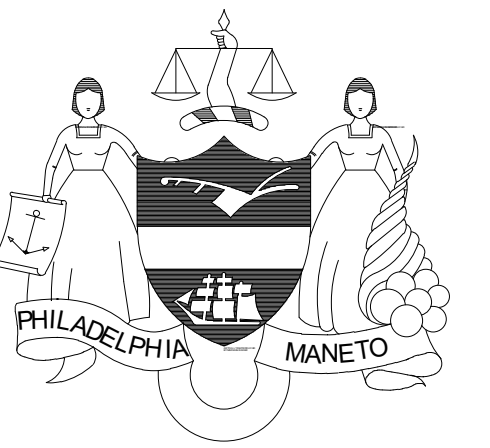
EXTERIOR ELEVATIONS GENERAL NOTES

1. PAINT COLUMNS, TYP. AT ALL EXISTING COLUMNS U.N.O
2. ALL NEW STEEL LINTELS TO BE HOT DIP GALVANIZED, PRIMED AND PREPARED TO RECEIVE NEW PAINT IN FIELD BY OTHERS.

ELEVATION KEYNOTES

Note	
1	REINSTALL SALVAGED LIGHT FIXTURES. SEE ELECTRICAL DRAWINGS. COORDINATE DESIGN AND LAYOUT WITH OWNER.
2	INFILL ABANDONED VENT OPENINGS, TO MATCH EXISTING ADJACENT. COORDINATE W/ MECH.
3	MECHANICAL EQUIPMENT WITH SECURITY ENCLOSURE ON NEW DUNNAGE. SEE MECHANICAL DWGS.
4	EXISTING SIGNAGE TO REMAIN.

ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



PROJECT COORDINATOR
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SEAL



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PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
EXTERIOR ELEVATIONS

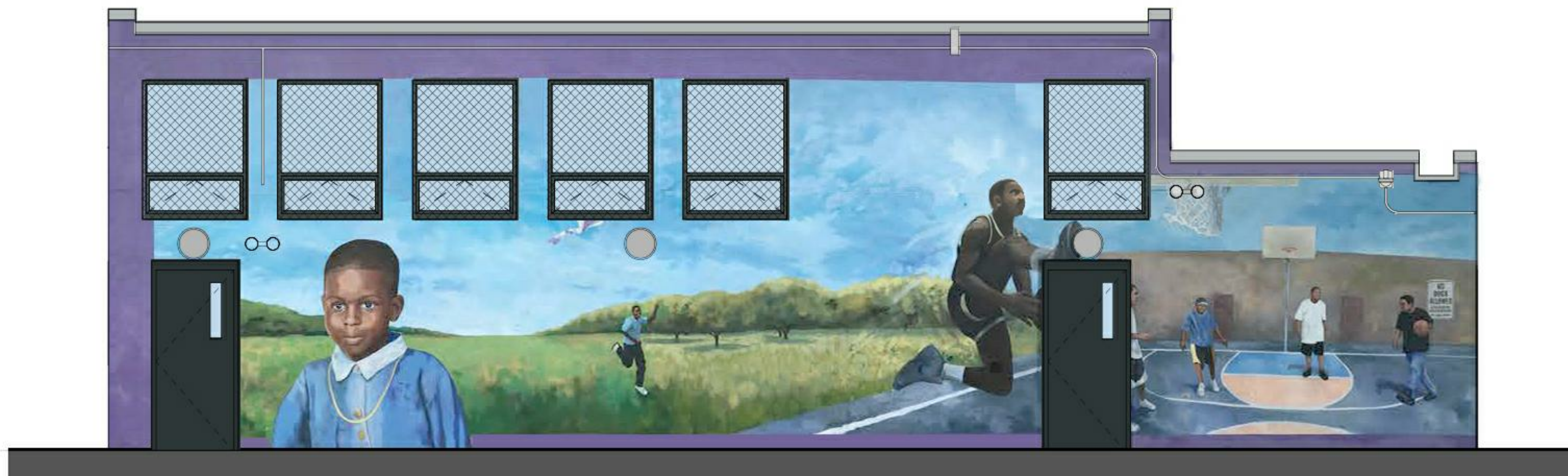
PROJECT NO. 10-20-XXXX-01	DRAWING NO. A4.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

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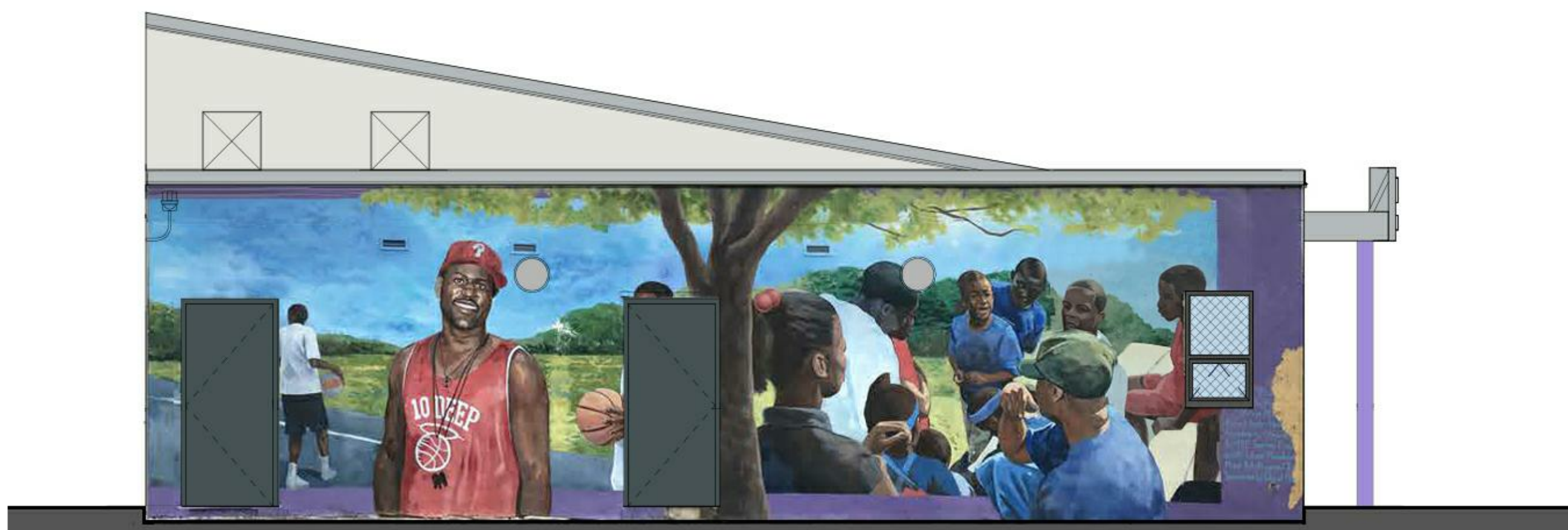
1 NORTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

GENERAL SHEET NOTES:

1. THESE ELEVATIONS ARE INCLUDED TO ILLUSTRATE EXISTING MURAL TO BE PAINTED/REPAINTED BY OTHERS.
2. CONTRACTOR IS TO PROTECT MURAL FROM DAMAGE DURING CONSTRUCTION.
3. ALL NEW, REPAIRED, AND PATCHES AREAS ARE TO BE PRIMED AND READY FOR FINISH PAINTING.
4. FINISH PAINTING OF EXTERIOR SURFACES ARE BY OTHERS WITH THE EXCEPTION OF COLUMNS, DOORS, FRAMES, CONCRETE FLOOR SLAB AT ENTRY CANOPY, UNDERSIDE OF ENTRY CANOPY, AREAS OF NEW CONSTRUCTION, STEEL LINTELS, AND OTHER AREAS AS NOTED.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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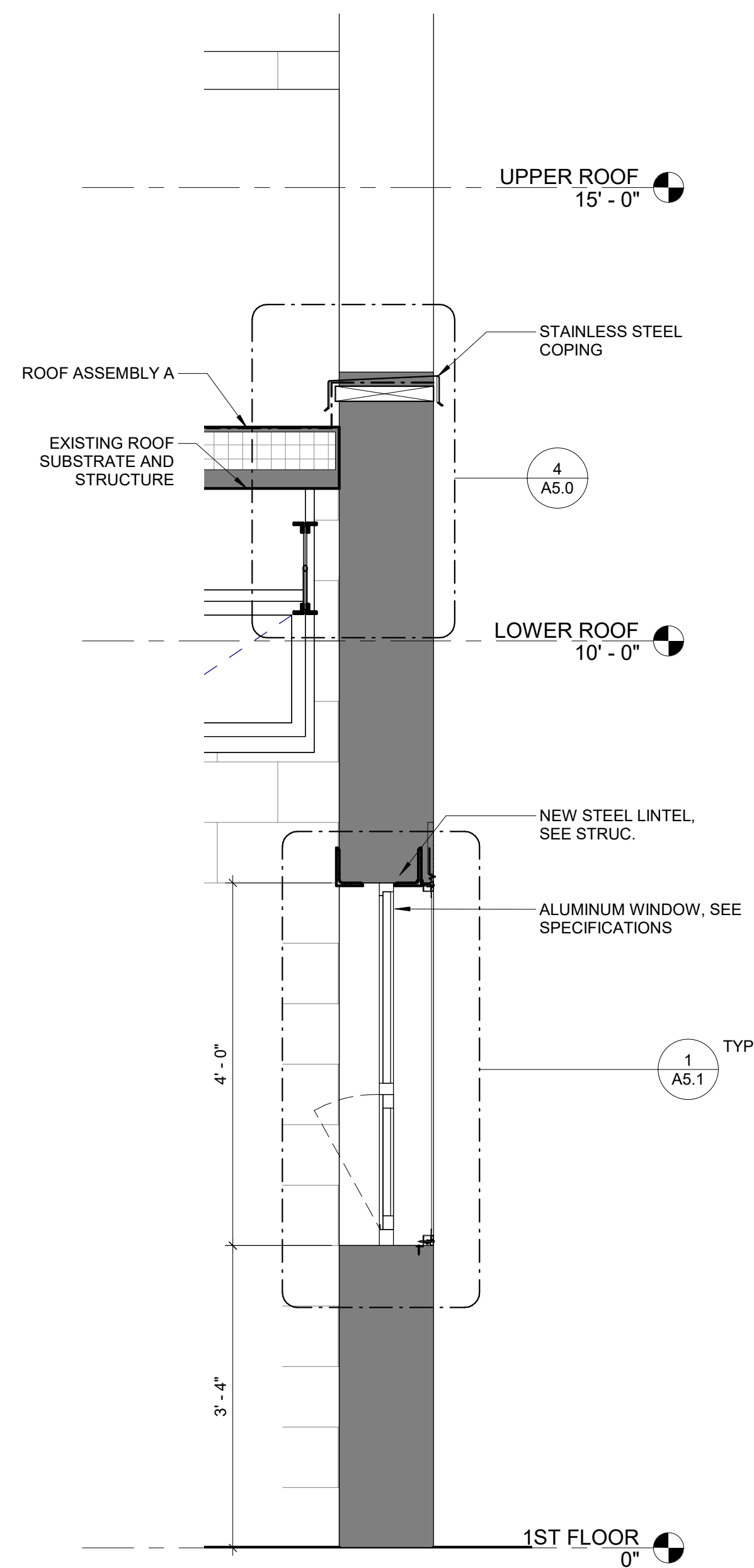
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PROJECT TITLE
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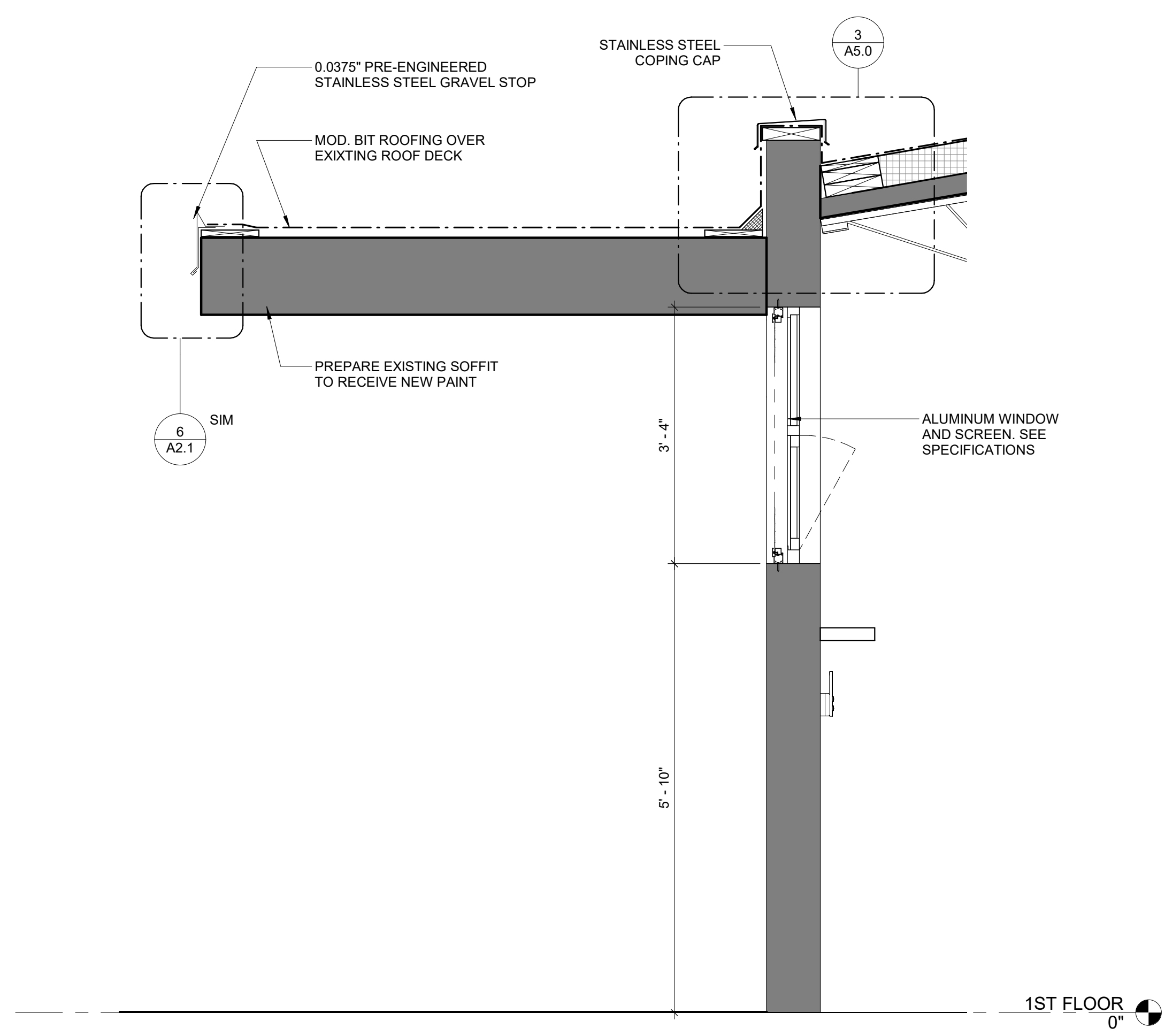
DRAWING TITLE
ILLUSTRATIVE EXTERIOR ELEVATIONS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A4.1
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

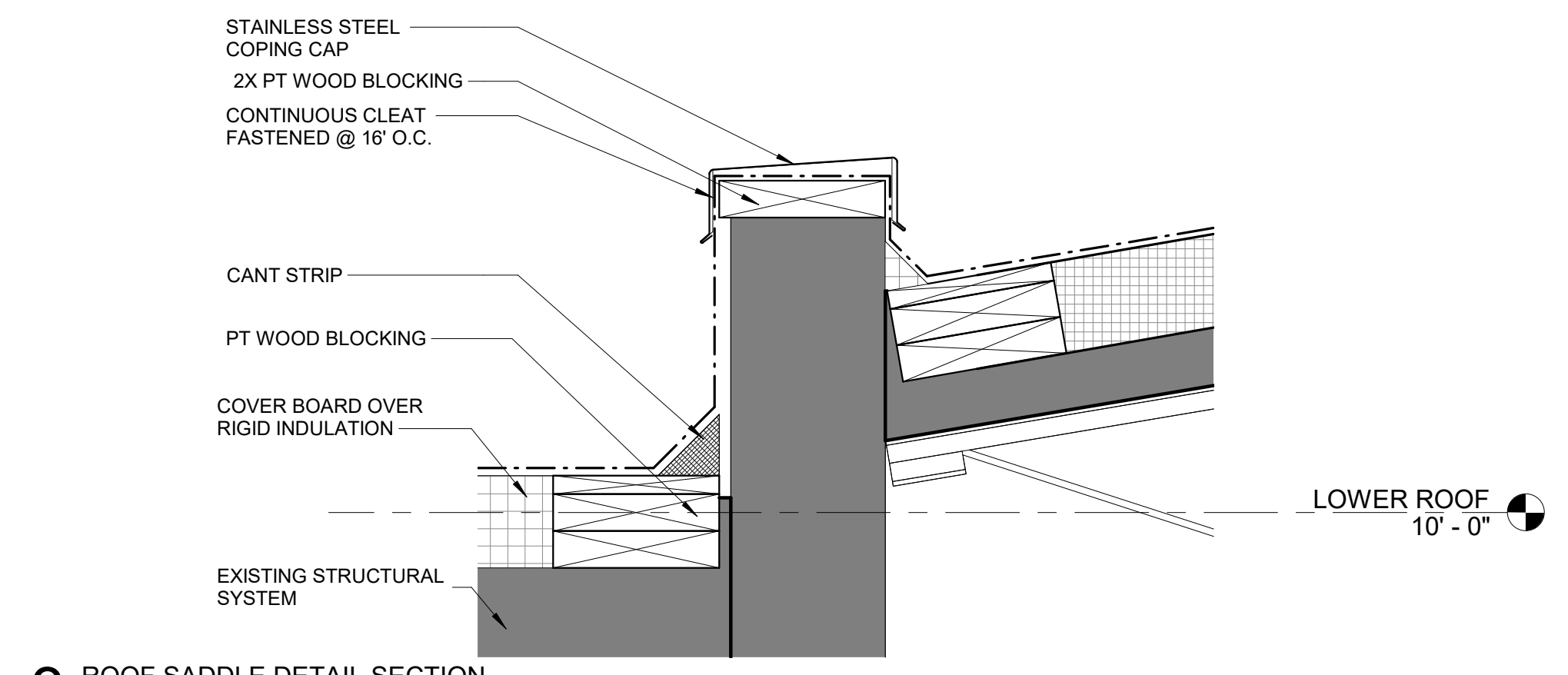
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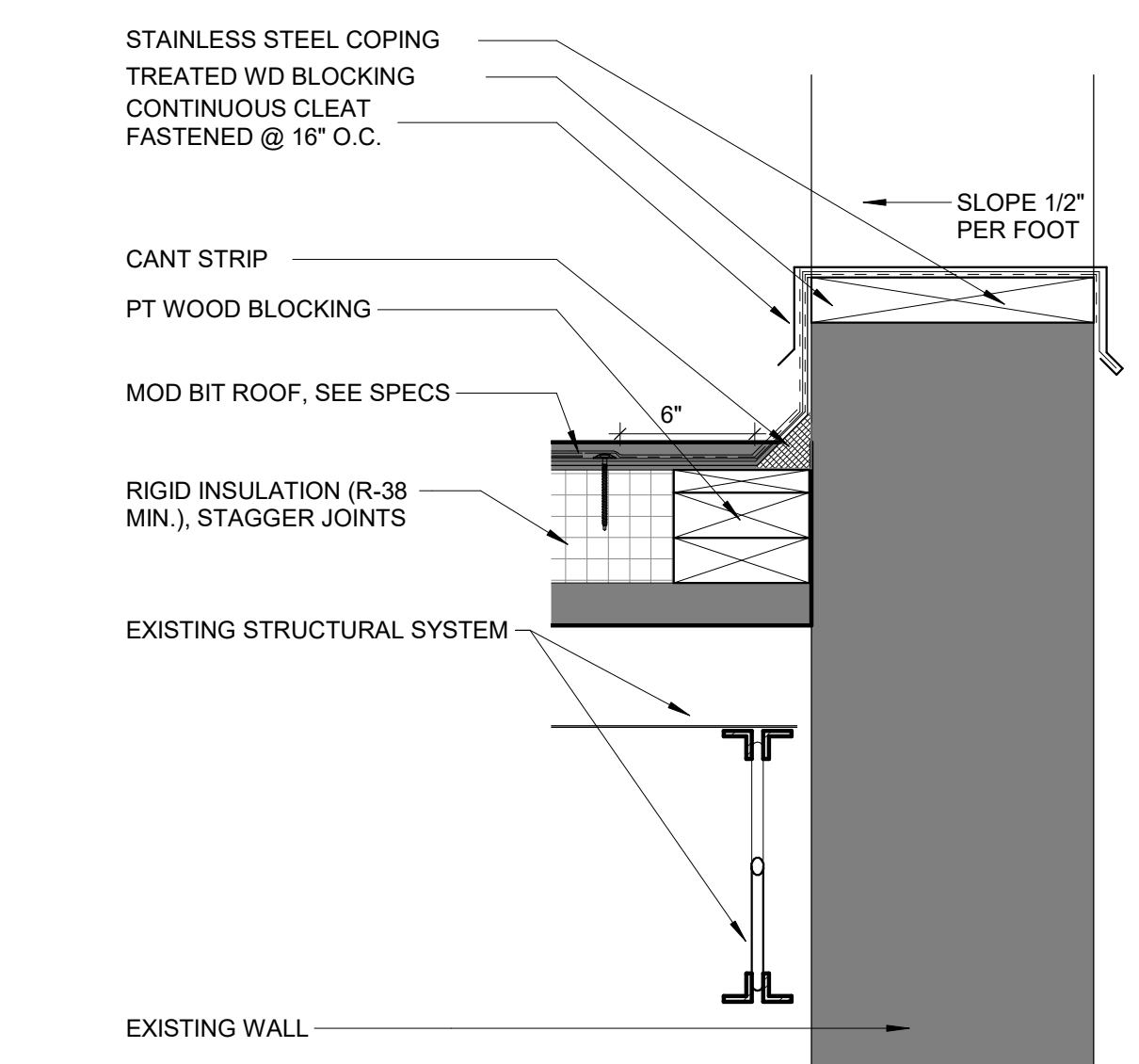
1 TYPICAL WALL AT NEW STOREFRONT
3/4" = 1'-0"



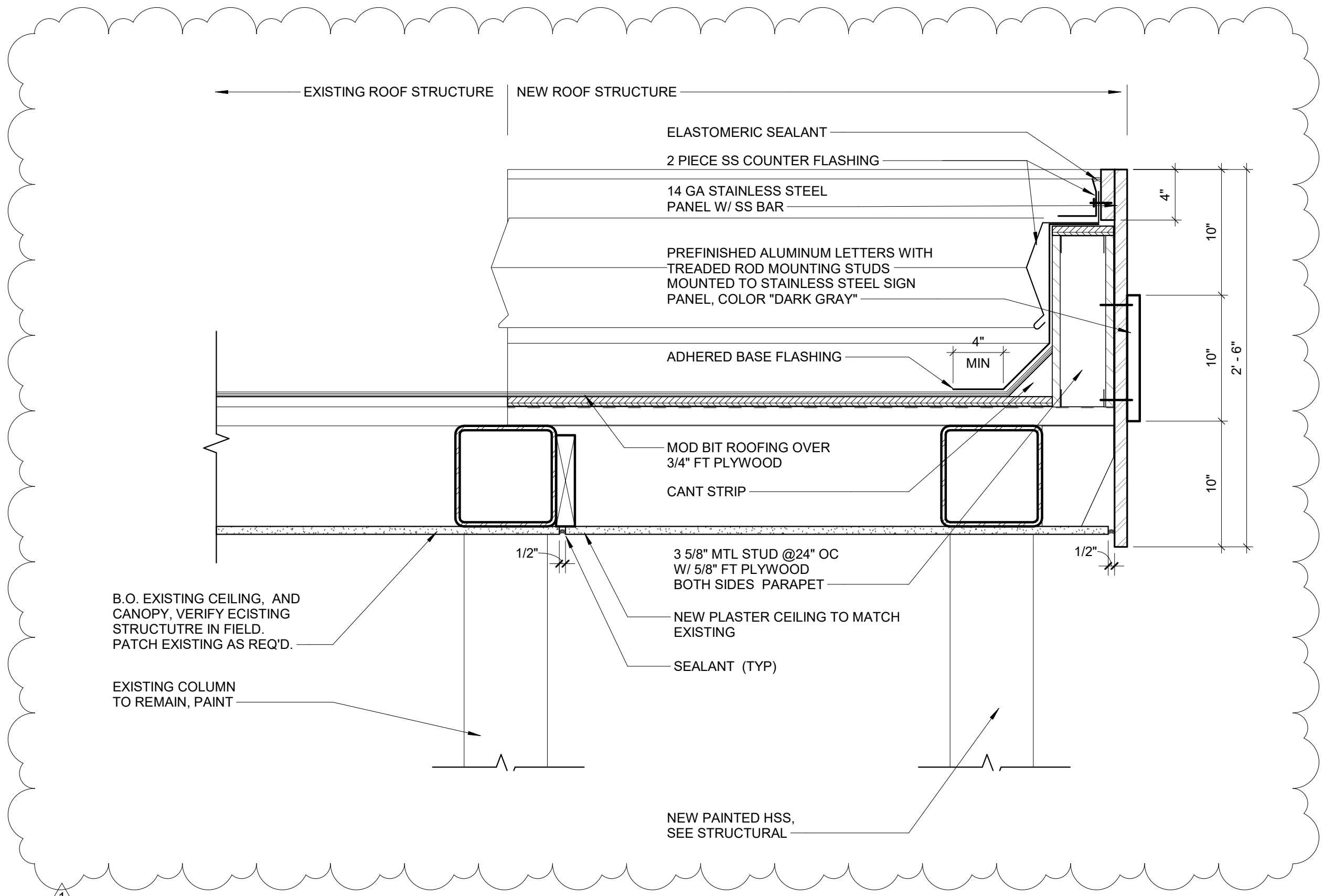
2 SECTION THROUGH FRONT WALL/CANOPY
3/4" = 1'-0"



3 ROOF SADDLE DETAIL SECTION
1 1/2" = 1'-0"

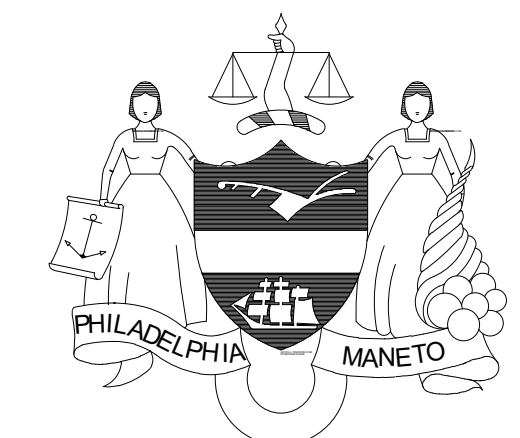


4 SECTION @ PARAPET
1 1/2" = 1'-0"



5 CANOPY DETAIL
1 1/2" = 1'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Sara Nordstrom, 215-683-0253



PROJECT TEAM

ARCHITECT:
JOHNSON, MIRIRAN & THOMPSON, INC
1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

STRUCTURAL ENGINEER:
JOHNSON, MIRIRAN & THOMPSON, INC
1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

SYSTEMS ENGINEER:
JOHNSON, MIRIRAN & THOMPSON, INC
1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

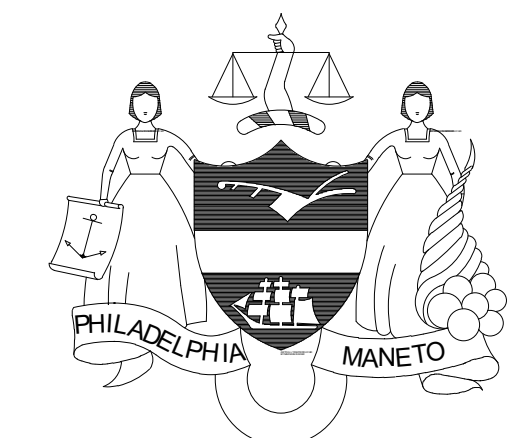
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
WALL SECTIONS & DETAILS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A5.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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and Department of Public Property
1515 Arch Street, 11th Floor
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Contact: Sara Nordstrom, 215-683-0253

SEAL



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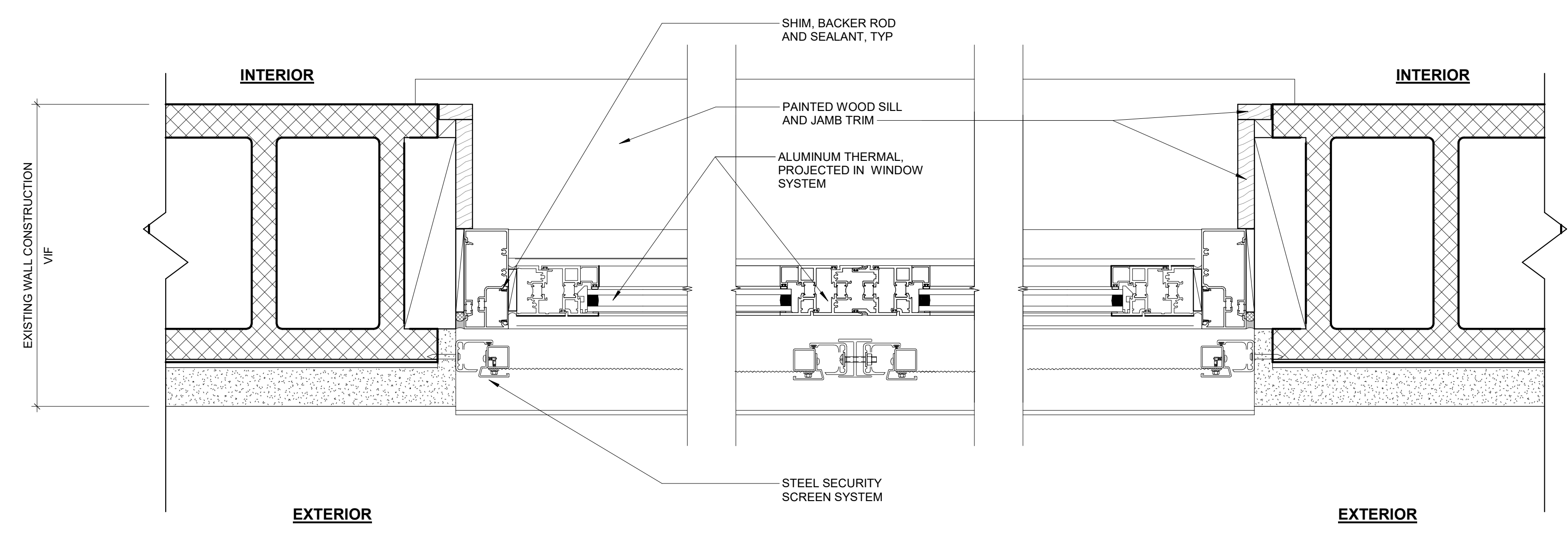
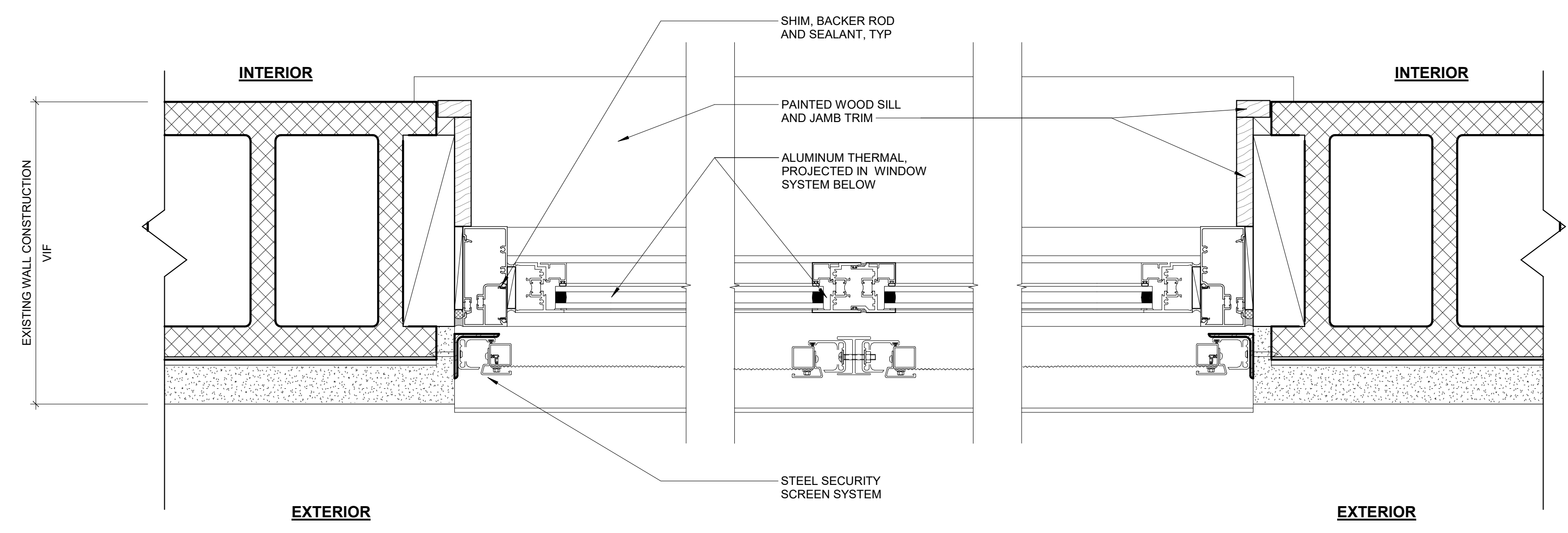
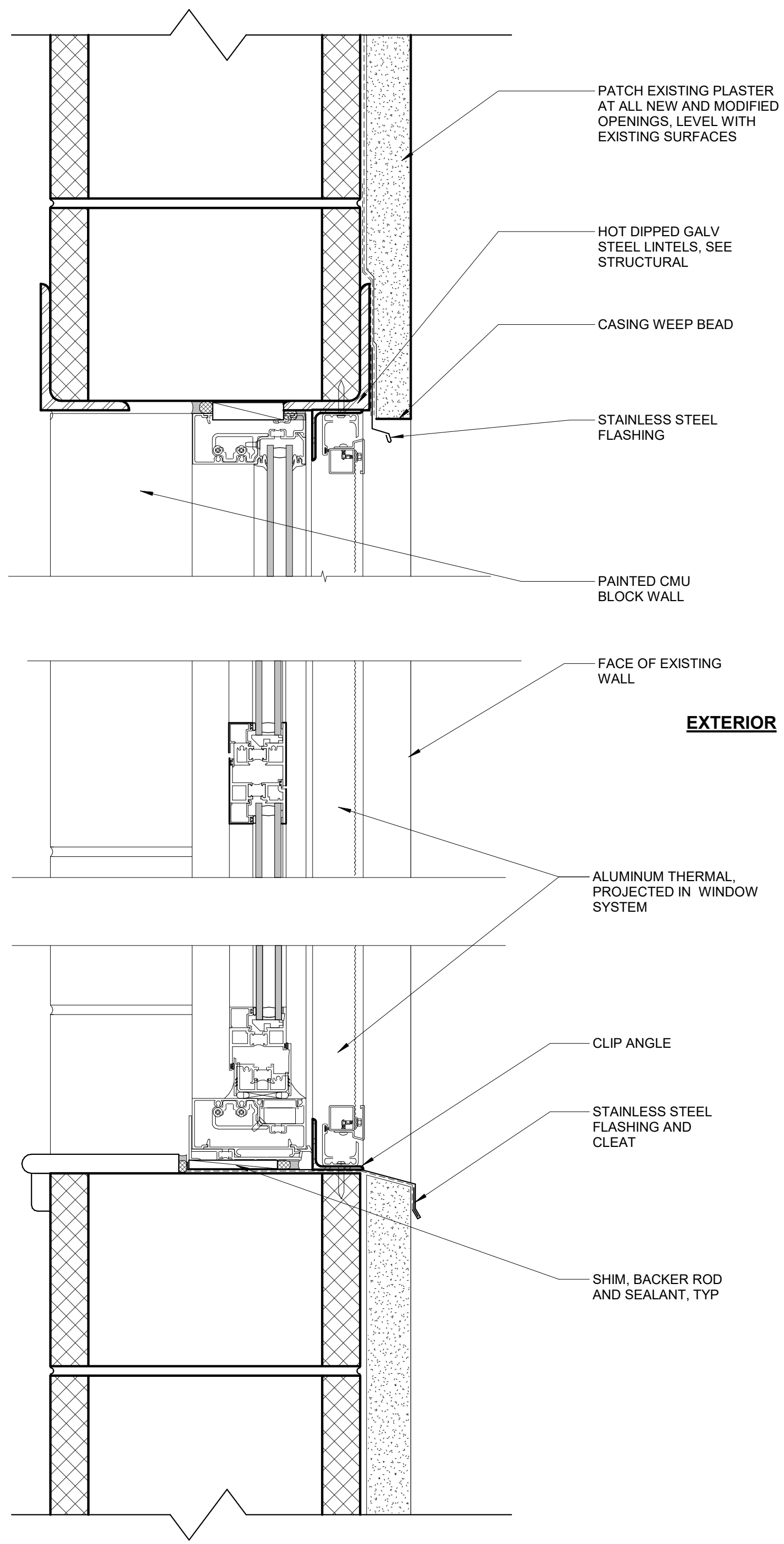
CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
MISCELLANEOUS DETAILS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A5.1
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: Author	
CHECKED BY: Checker	FILE:

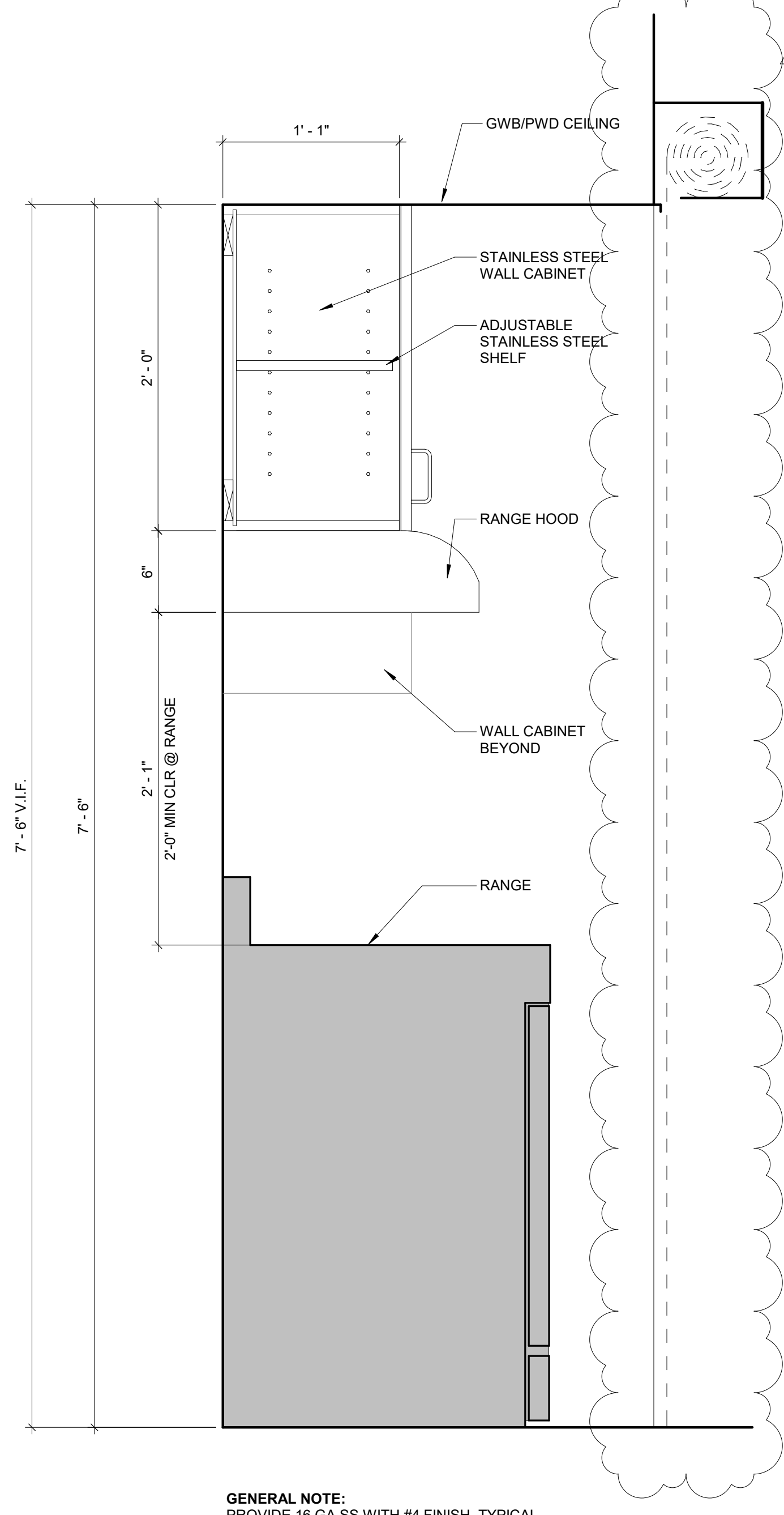
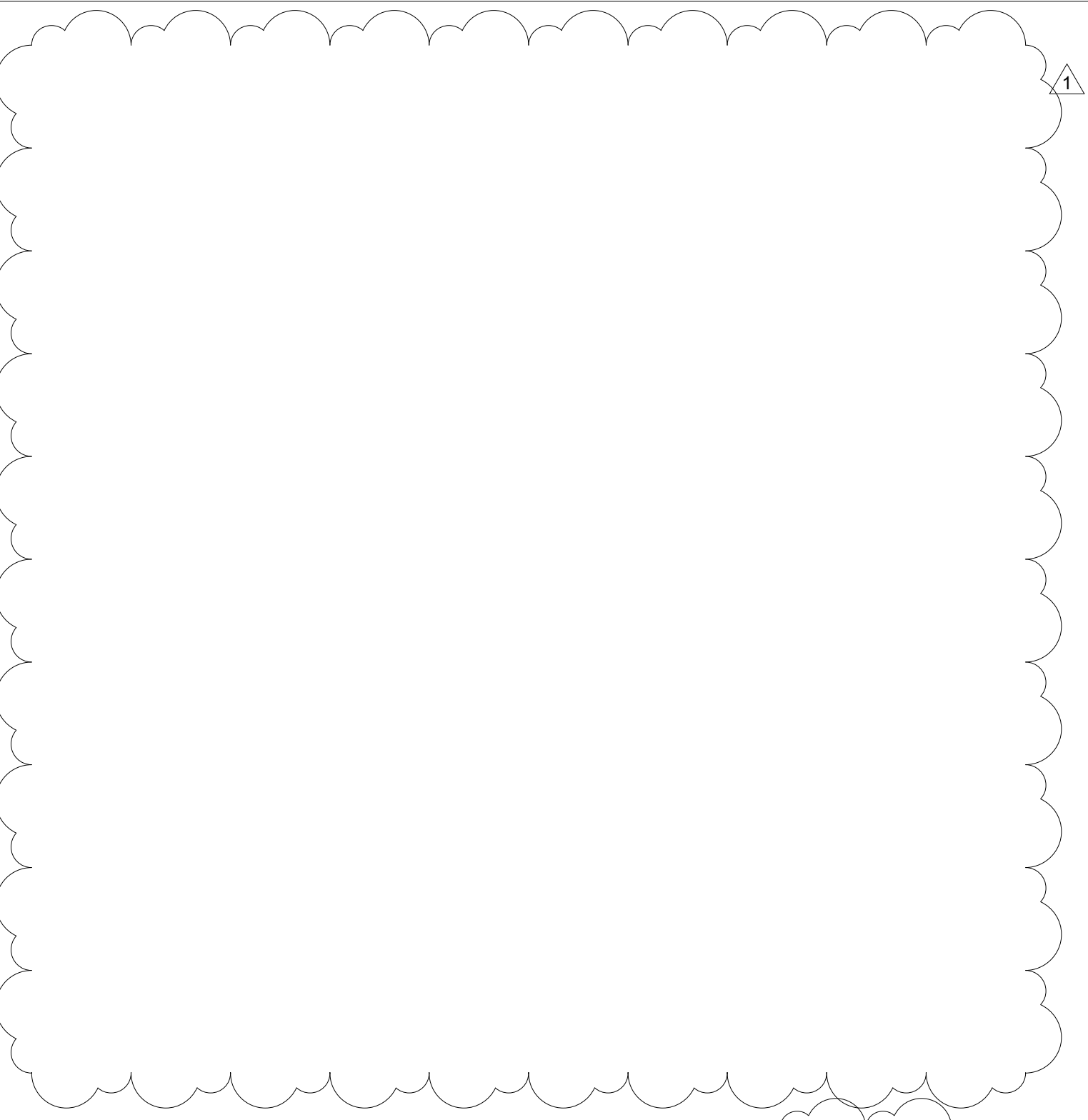
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 WINDOW SECTION
3" = 1'-0"

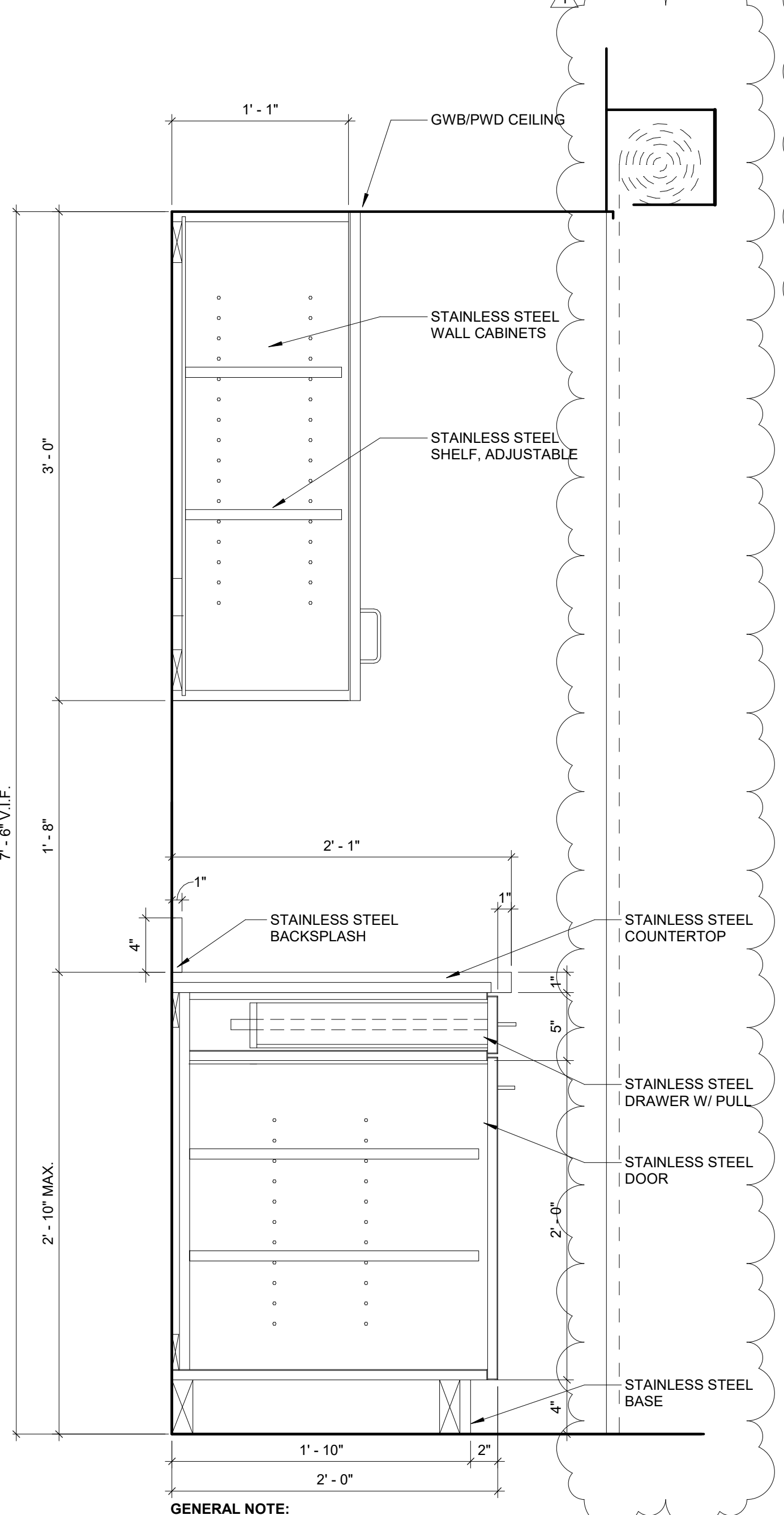
2 WINDOW DETAIL PLAN - OPERABLE
3" = 1'-0"

3 WINDOW DETAIL PLAN - FIXED
3" = 1'-0"



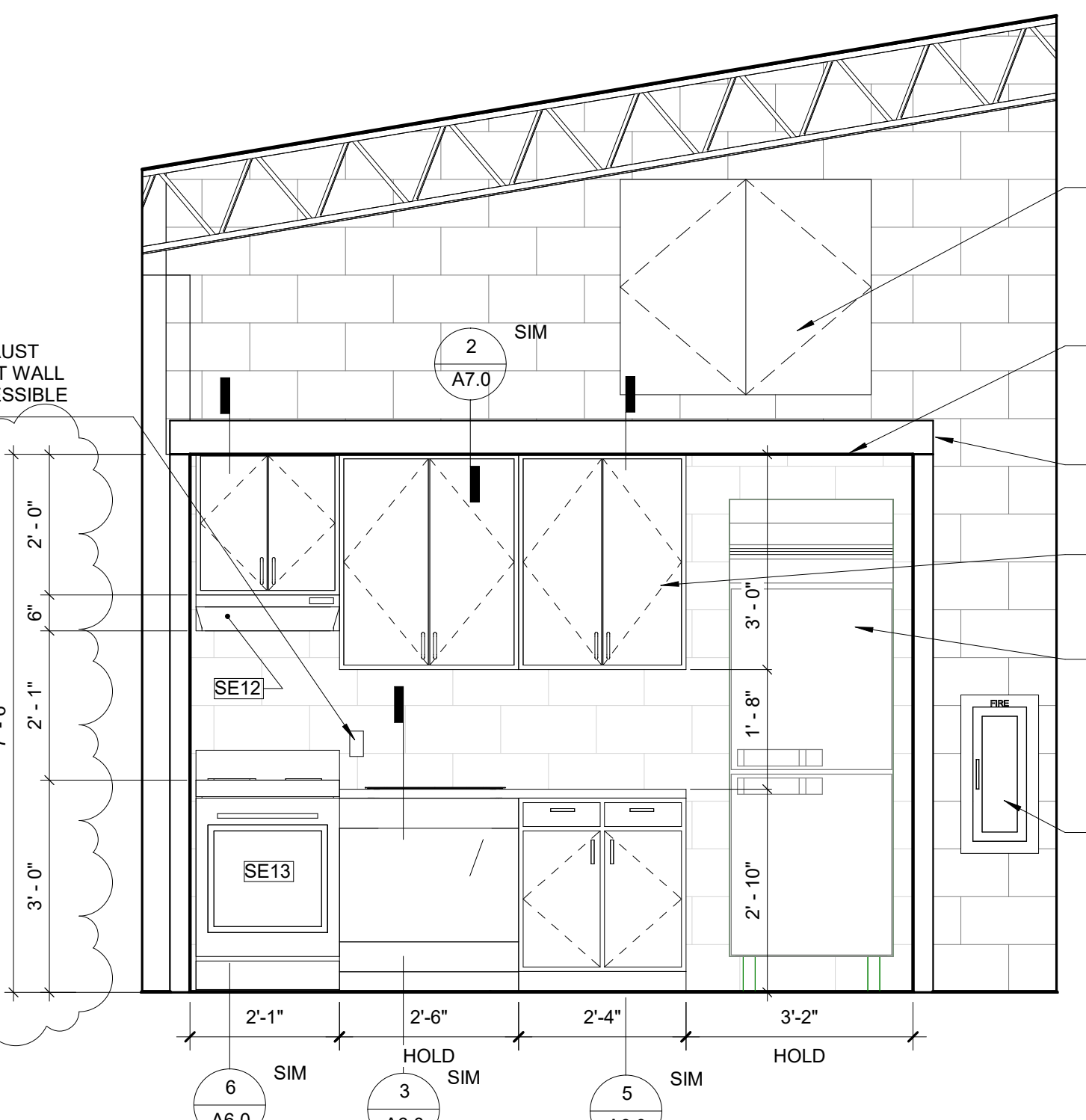
GENERAL NOTE:
PROVIDE 16 GA SS WITH #4 FINISH, TYPICAL.

6 KITCHEN UPPER CABINET @ RANGE
1/2" = 1'-0"



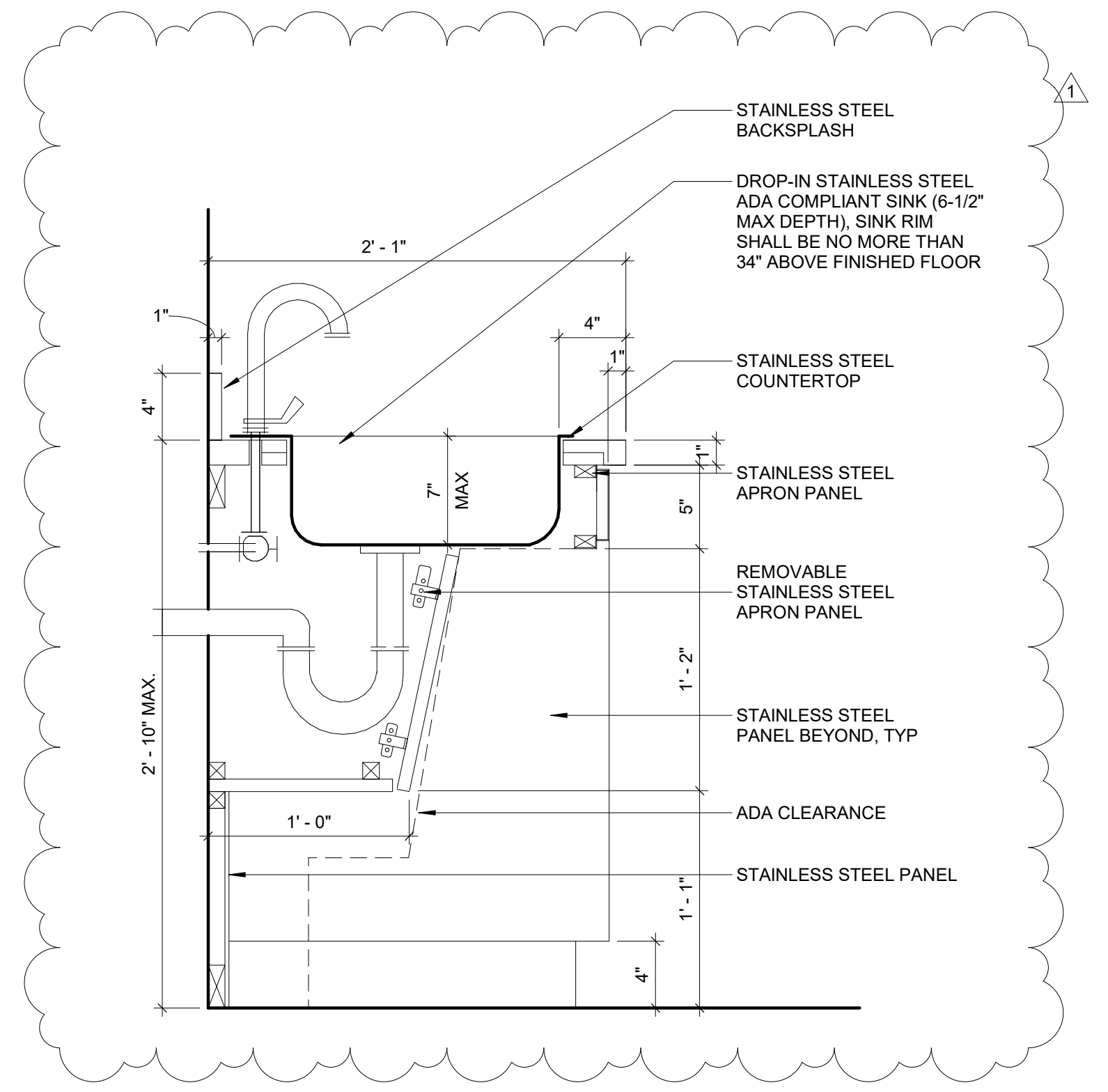
GENERAL NOTE:
PROVIDE 16 GA SS WITH #4 FINISH, TYPICAL.

5 KITCHEN UPPER CABINET DETAILS
1/2" = 1'-0"



GENERAL NOTE:
PROVIDE 16 GA SS WITH #4 FINISH, TYPICAL.

4 KITCHEN ELEVATION
1/2" = 1'-0"



GENERAL NOTE:
PROVIDE 16 GA SS WITH #4 FINISH, TYPICAL.

3 KITCHEN CABINET DETAIL @ SINK
1/2" = 1'-0"

HINGED ACCESS PANEL. COORDINATE LOCATION OF OPENING IN CMU WALL AND REQUIRED LINTEL WITH MECHANICAL & STRUCTURAL, TYP.

LOWER OPENING HEIGHT TO 7'-6", SEE STRUCT.

COILING PREFINISHED ALUM SHUTTER

SS CABINETS, TYPICAL

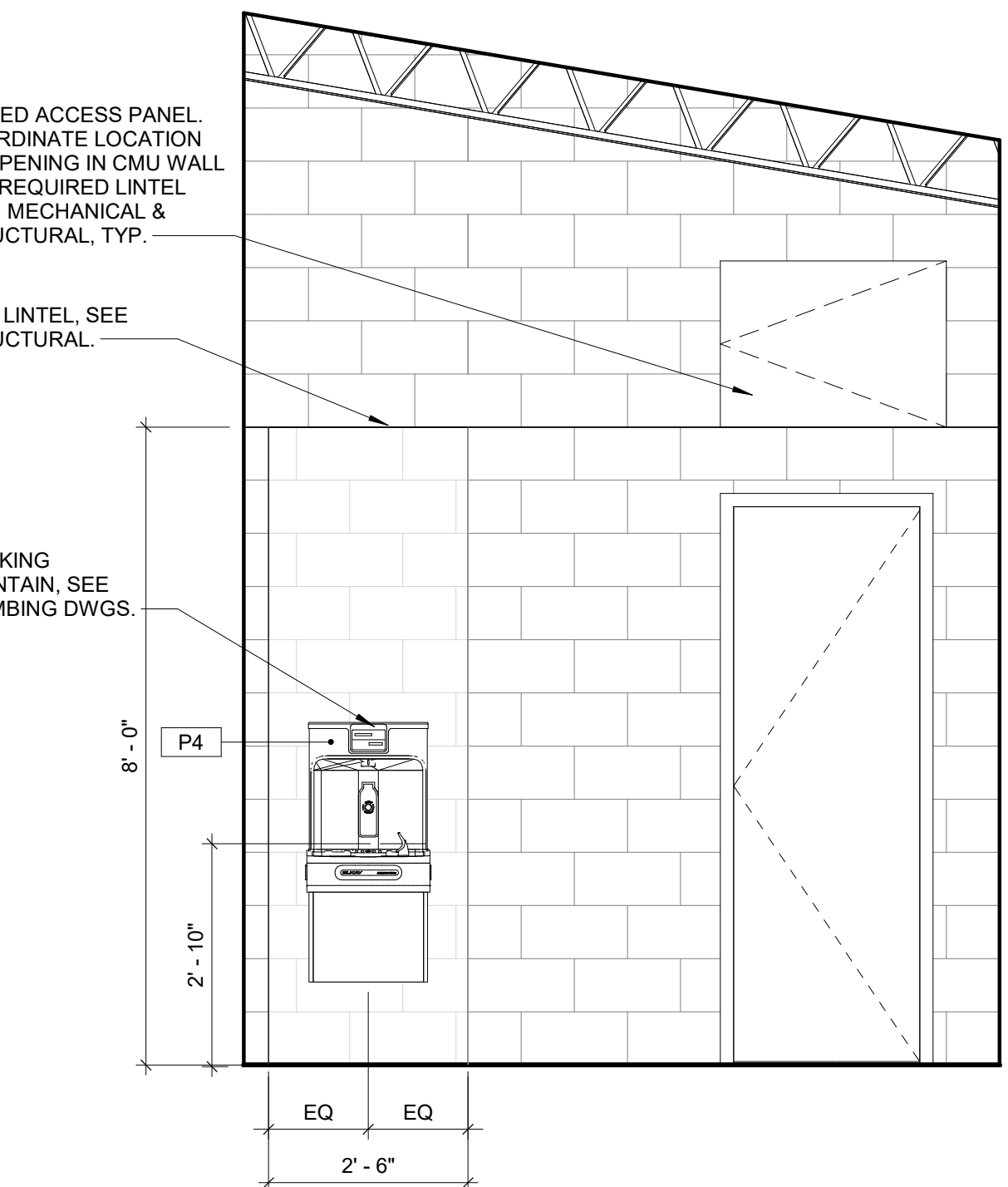
REINSTALL EXISTING REFRIGERATOR, GC TO VERIFY THE DEPTH OF REF. AND COORDINATE WITH THE EXISTING DEPTH OF THE ALCOVE

FEC

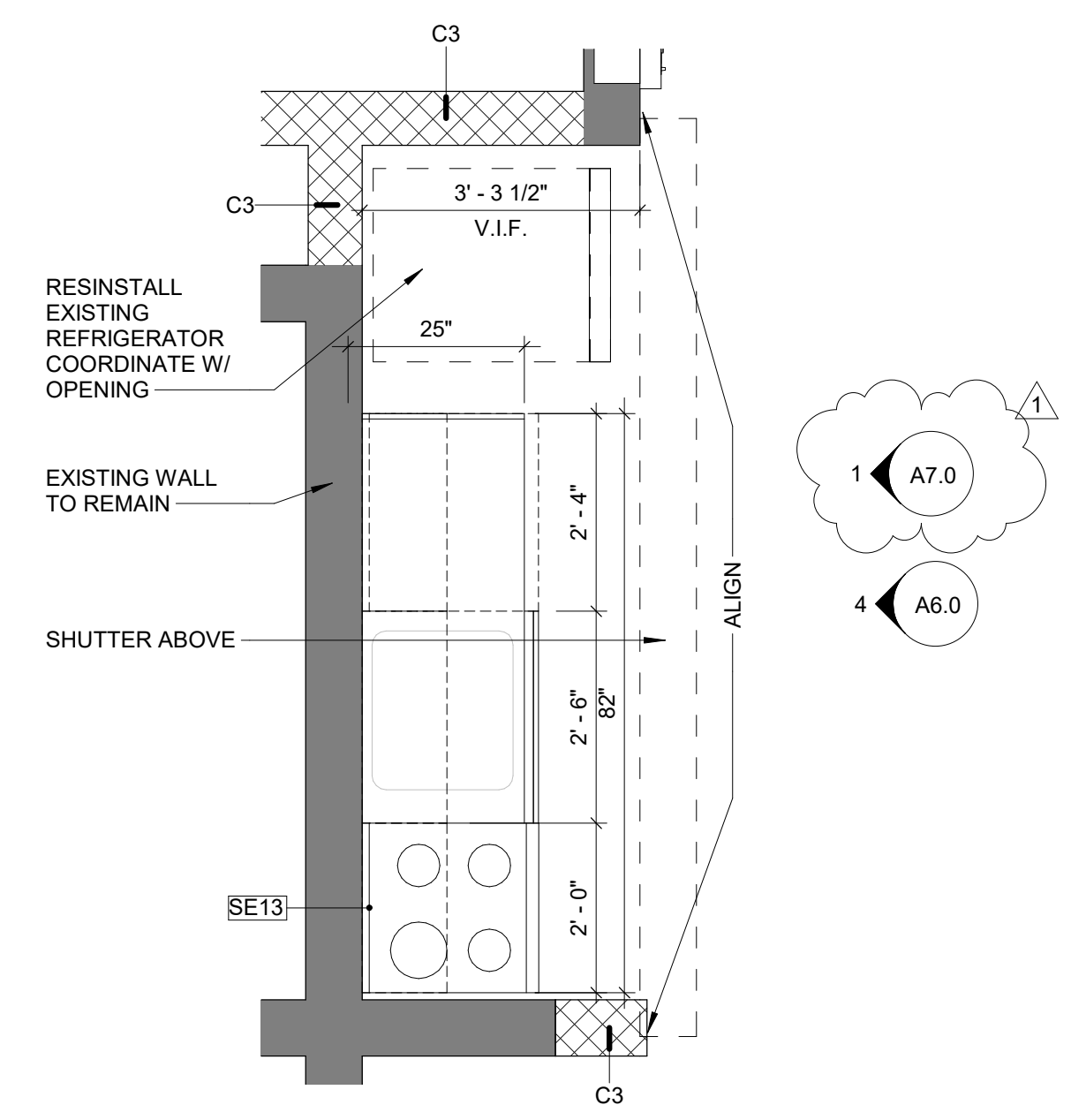
HINGED ACCESS PANEL. COORDINATE LOCATION OF OPENING IN CMU WALL AND REQUIRED LINTEL WITH MECHANICAL & STRUCTURAL, TYP.

NEW LINTEL, SEE STRUCTURAL.

DRINKING FOUNTAIN, SEE PLUMBING DWGS.



2 DRINKING FOUNTAIN ELEVATION
1/2" = 1'-0"



1 KITCHEN ENLARGED PLAN
1/2" = 1'-0"

SHEET NOTES

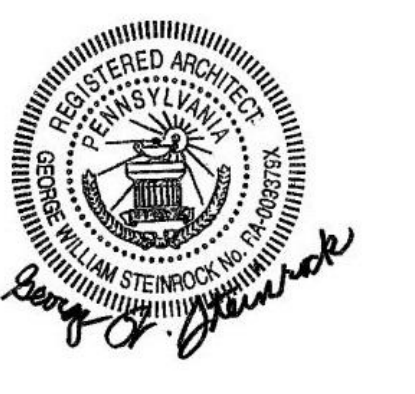
- SEE A7.0 FOR SPECIALTY EQUIPMENT & ACCESSORIES SCHEDULE FOR DESIGNATIONS USED ON THIS SHEET.
- SEE SHEET P0.01 FOR PLUMBING FIXTURE DESIGNATIONS.
- SEE 00.2 FOR MOUNTING HEIGHTS AND DIMENSIONAL REQUIREMENTS FOR TOILET ACCESSORIES.

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
ENLARGED KITCHENETTE PLAN AND
DETAILS

PROJECT NO.
10-20-XXXX-01

DATE: 02.07.2020

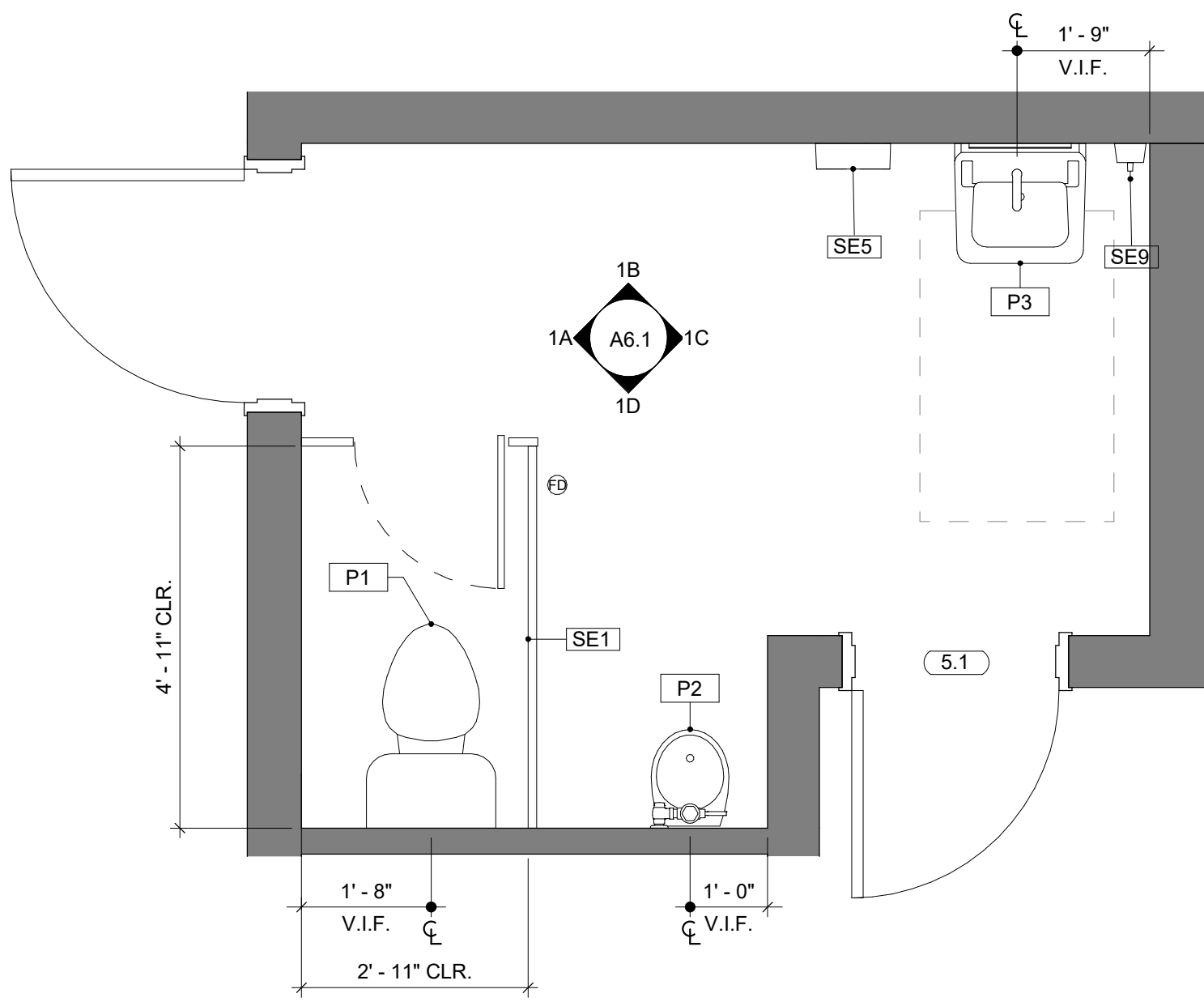
SCALE: AS NOTED

DRAWN BY:

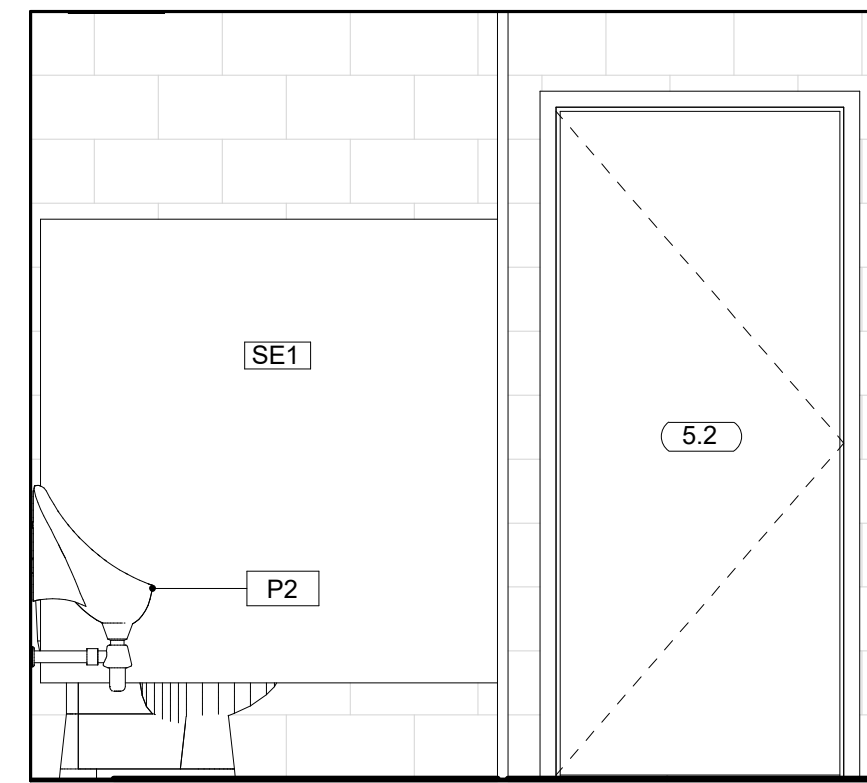
CHECKED BY:

DRAWING NO.
A6.0

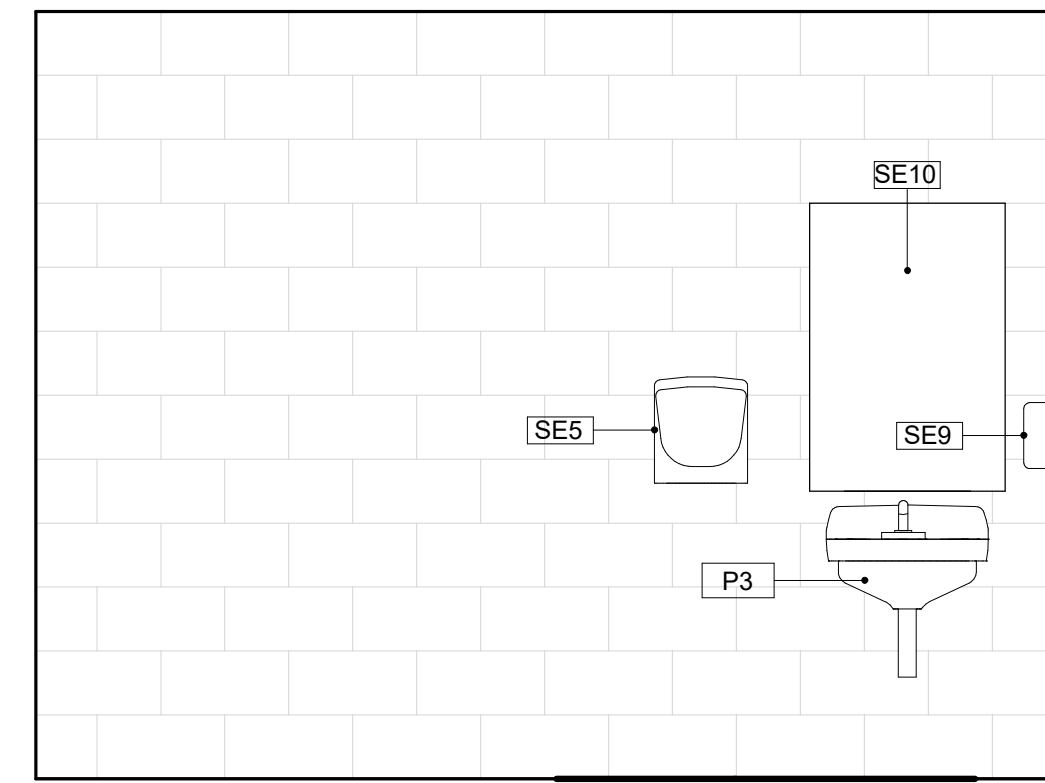
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



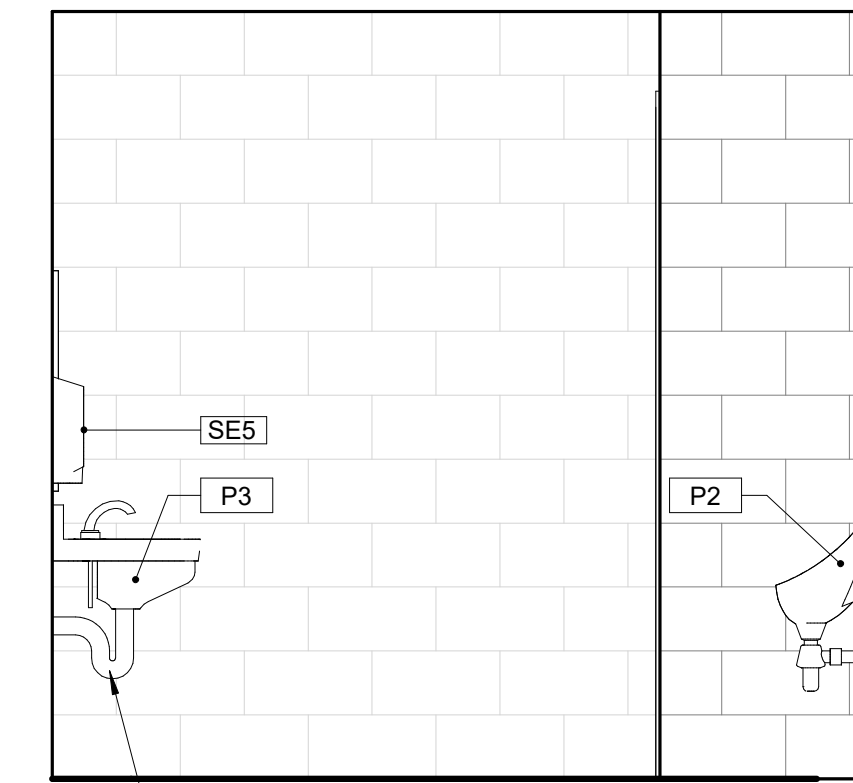
1 BOY'S RESTROOM
1/2" = 1'-0"



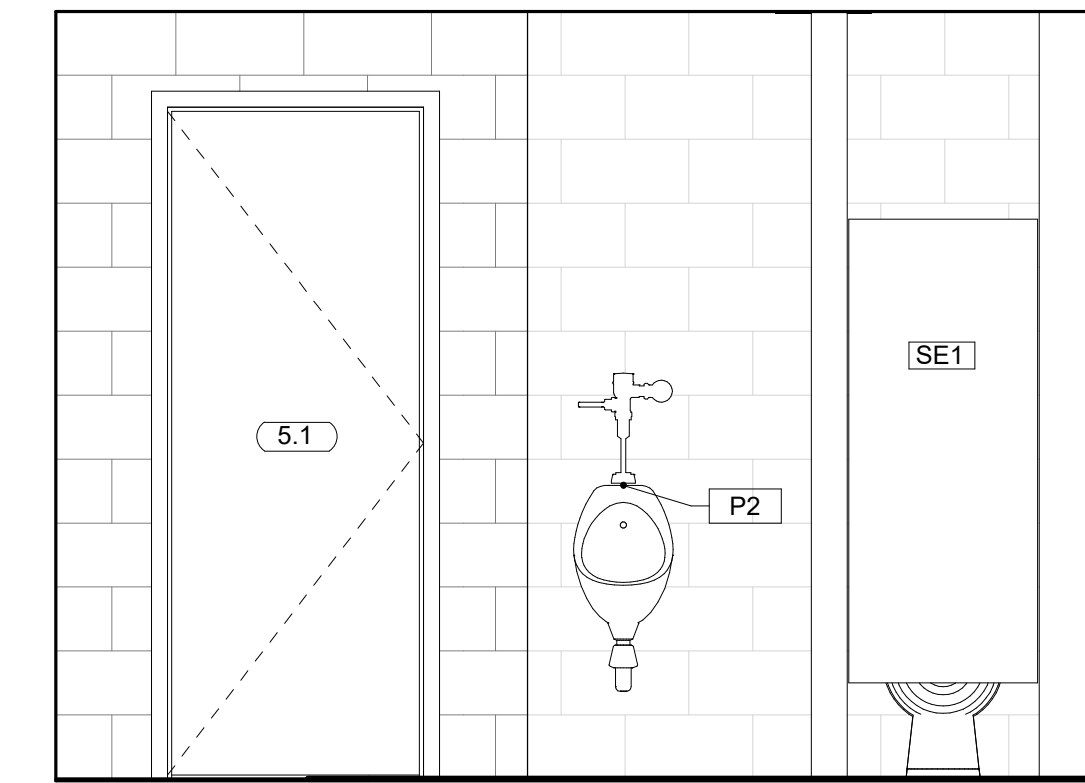
1A BOY'S RESTROOM ELEVATION A
1/2" = 1'-0"



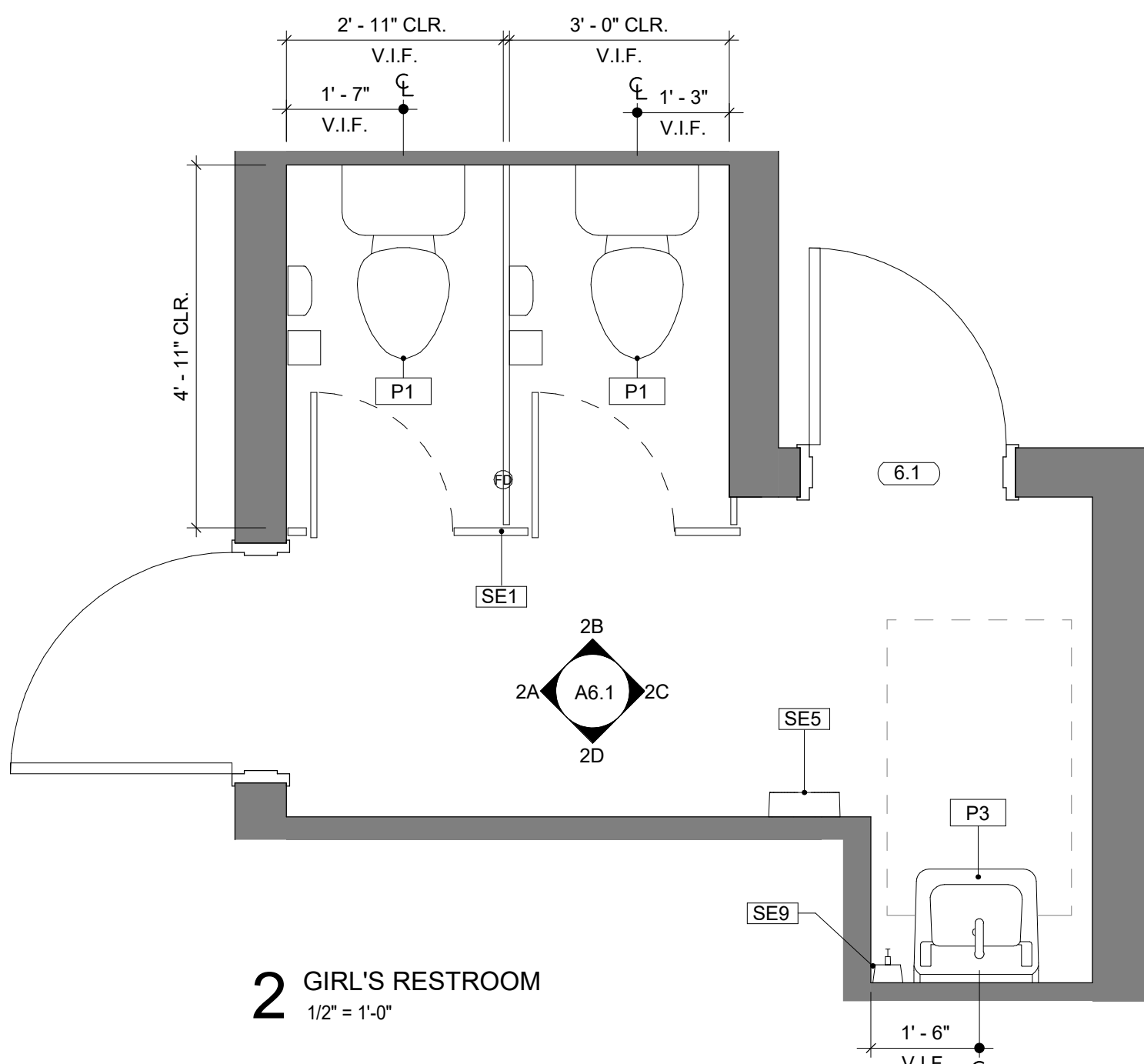
1B BOY'S RESTROOM ELEVATION B
1/2" = 1'-0"



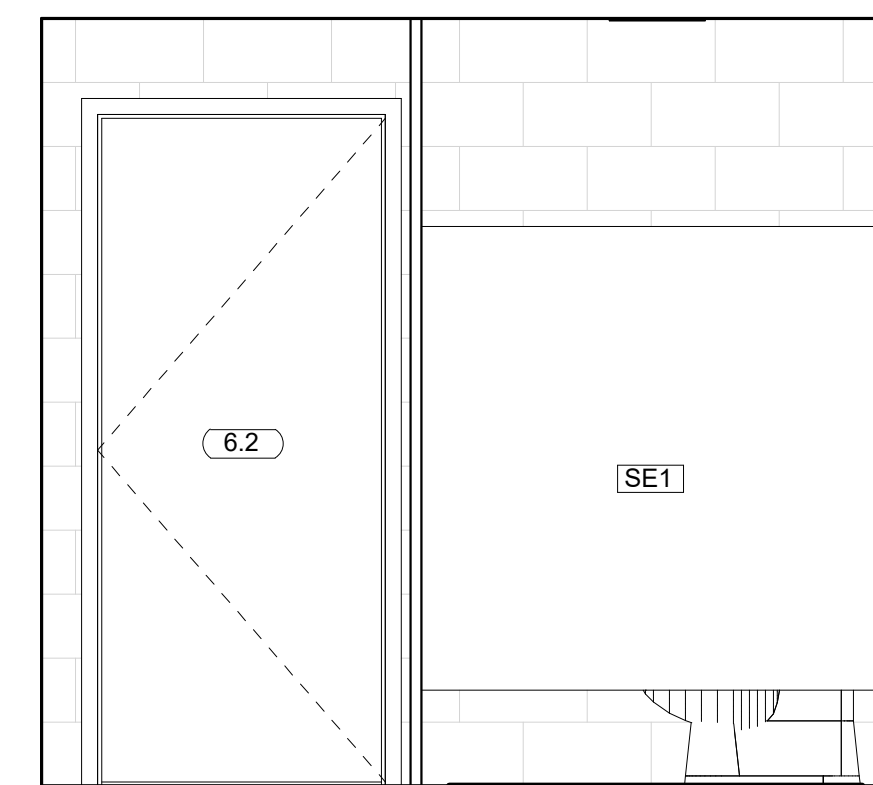
1C BOY'S RESTROOM ELEVATION C
1/2" = 1'-0"



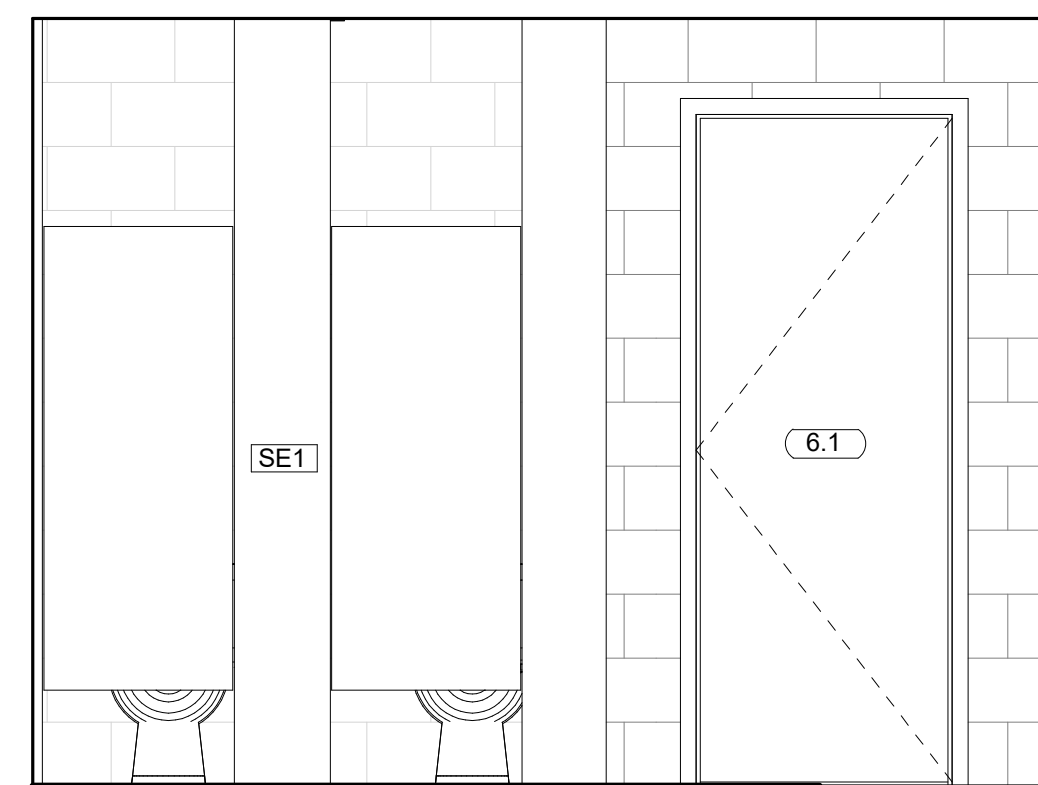
1D BOY'S RESTROOM ELEVATION D
1/2" = 1'-0"



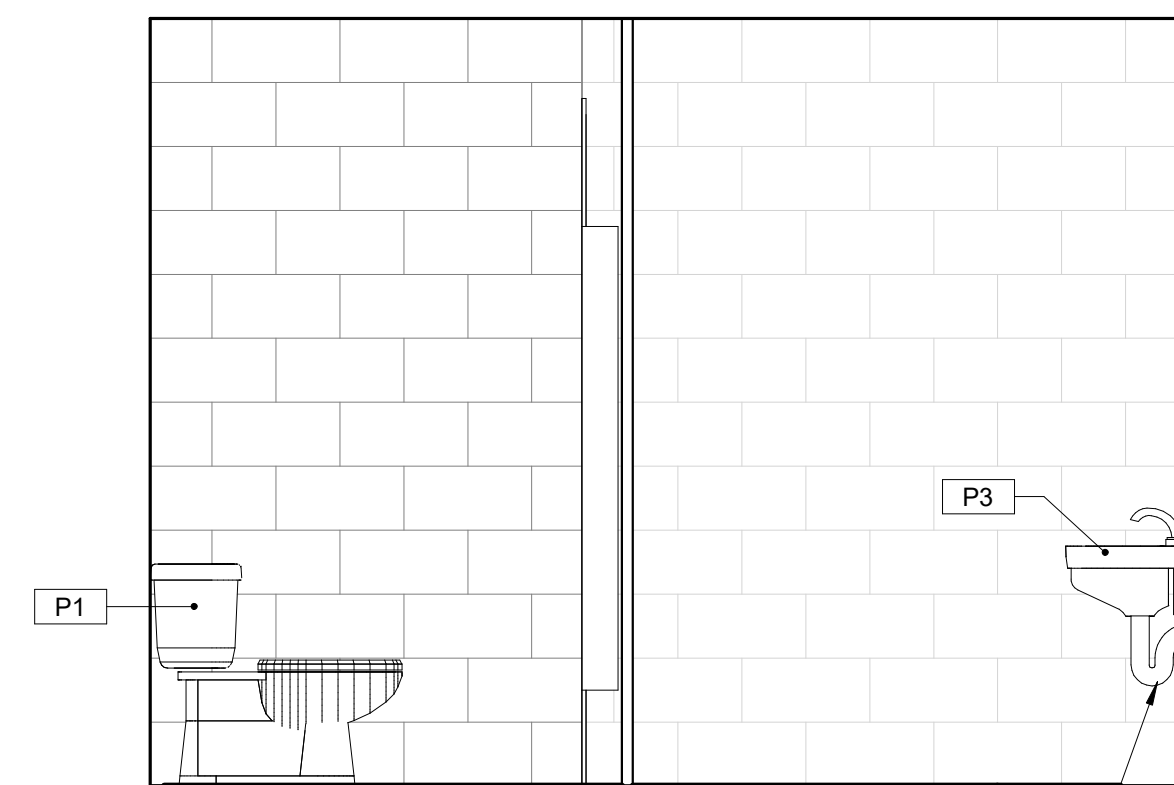
2 GIRL'S RESTROOM
1/2" = 1'-0"



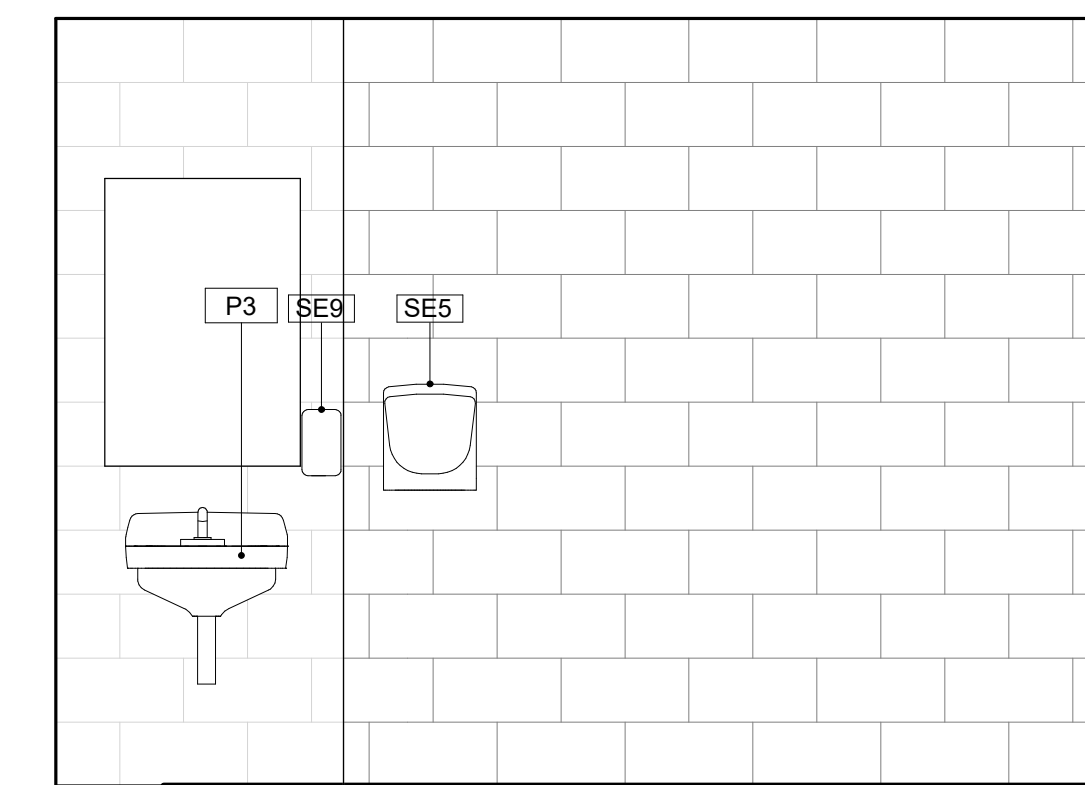
2A GIRL'S RESTROOM ELEVATION A
1/2" = 1'-0"



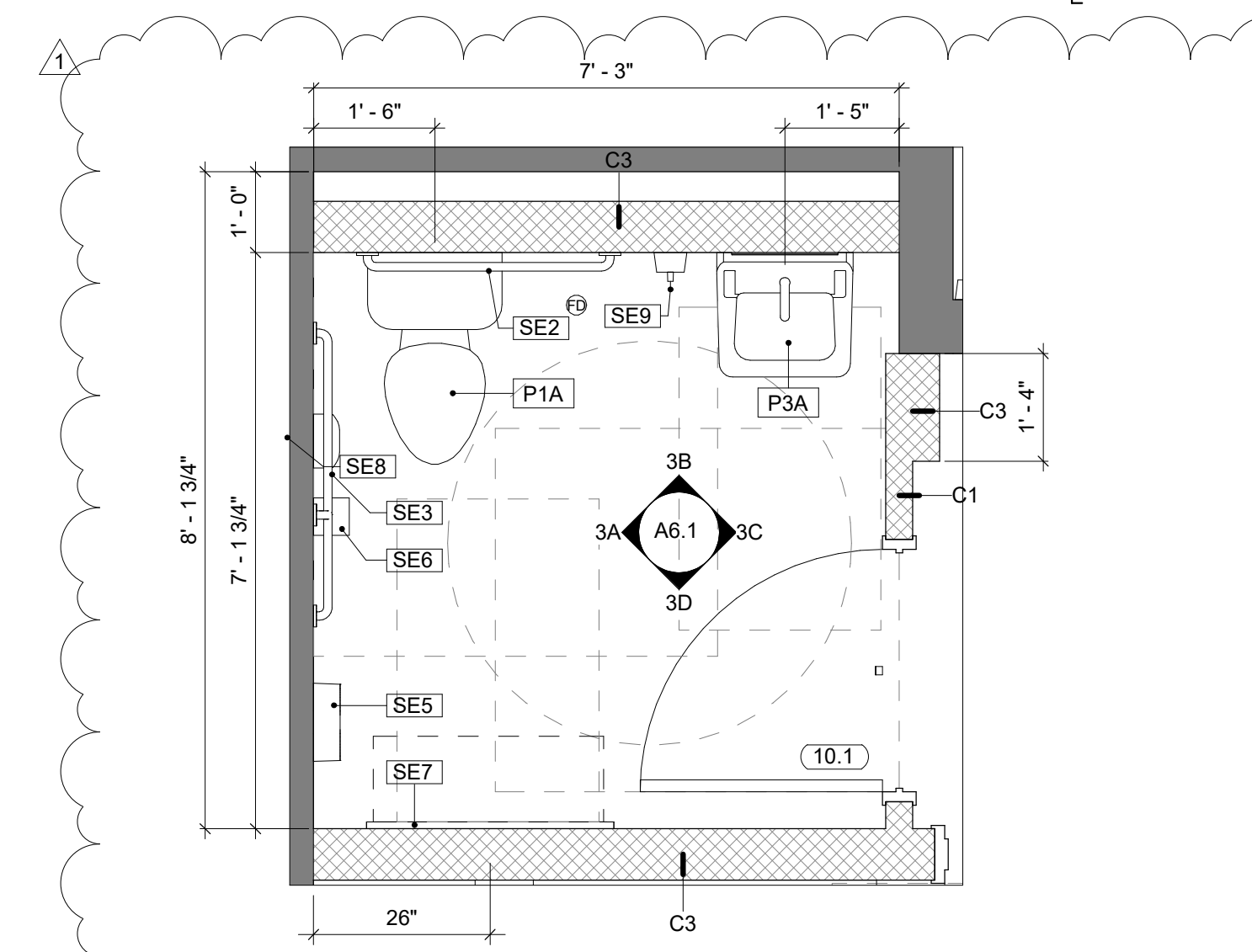
2B GIRL'S RESTROOM ELEVATION B
1/2" = 1'-0"



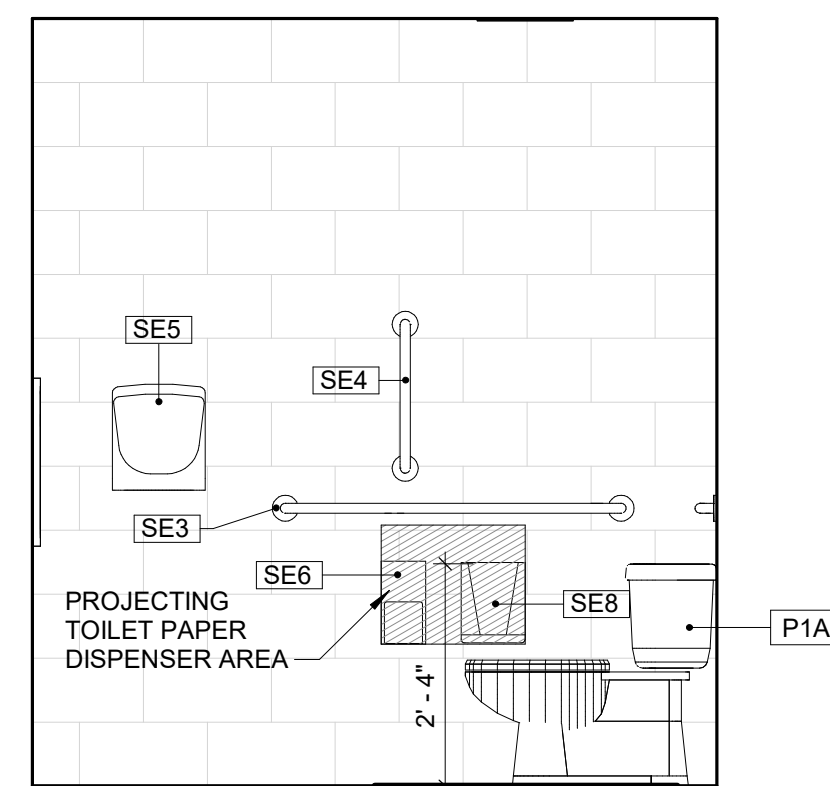
2C GIRL'S RESTROOM ELEVATION C
1/2" = 1'-0"



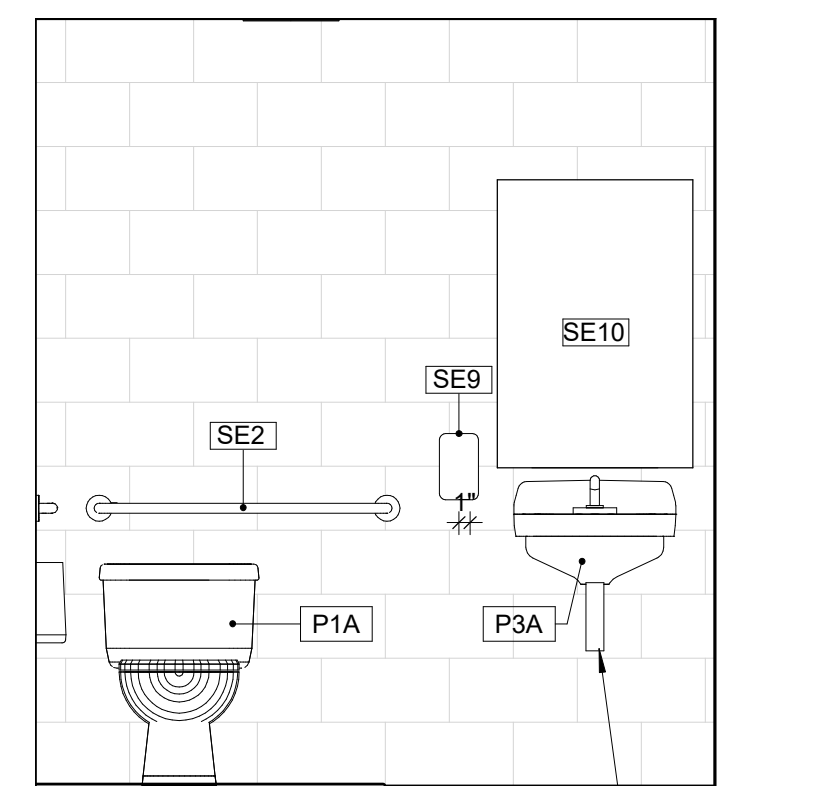
2D GIRL'S RESTROOM ELEVATION D
1/2" = 1'-0"



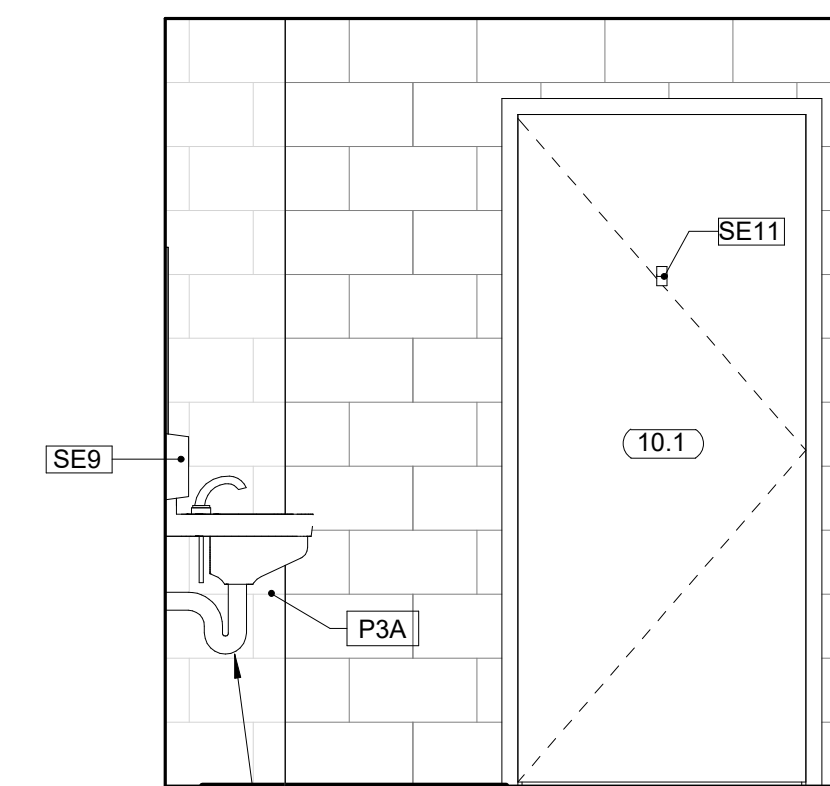
3 ADA TOILET PLAN
1/2" = 1'-0"



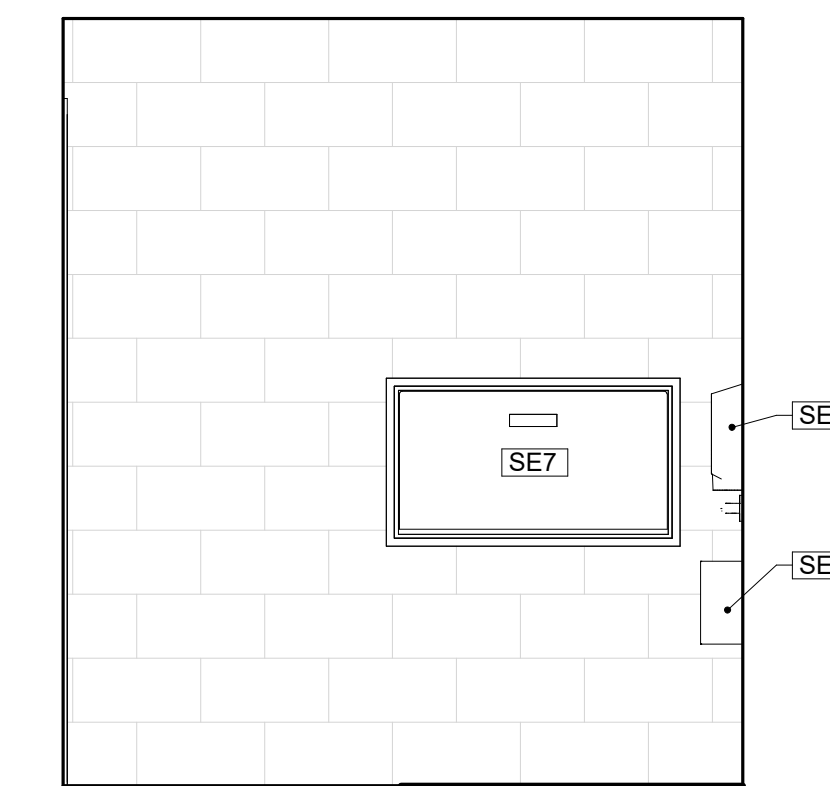
3A ADA TOILET ELEVATION A
1/2" = 1'-0"



3B ADA TOILET ELEVATION B
1/2" = 1'-0"



3C ADA TOILET ELEVATION D
1/2" = 1'-0"



3D ADA TOILET ELEVATION C
1/2" = 1'-0"

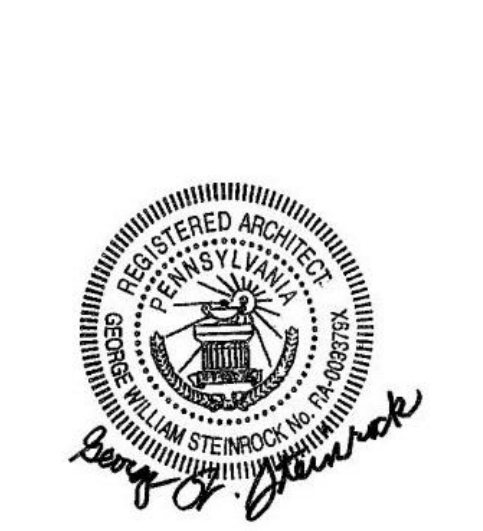
SHEET NOTES

- SEE A7.0 FOR SPECIALTY EQUIPMENT & ACCESSORIES SCHEDULE FOR DESIGNATIONS USED ON THIS SHEET.
- SEE SHEET P0.01 FOR PLUMBING FIXTURE DESIGNATIONS.
- SEE G0.2 FOR MOUNTING HEIGHTS AND DIMENSIONAL REQUIREMENTS FOR TOILET ACCESSORIES.

ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



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CITY OF PHILADELPHIA
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PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
ENLARGED FLOOR PLANS & ELEVATIONS

PROJECT NO.
10-20-XXXX-01

DATE: 02.07.2020

SCALE: AS NOTED

DRAWN BY:

A6.1

CHECKED BY: RD **FILE:**

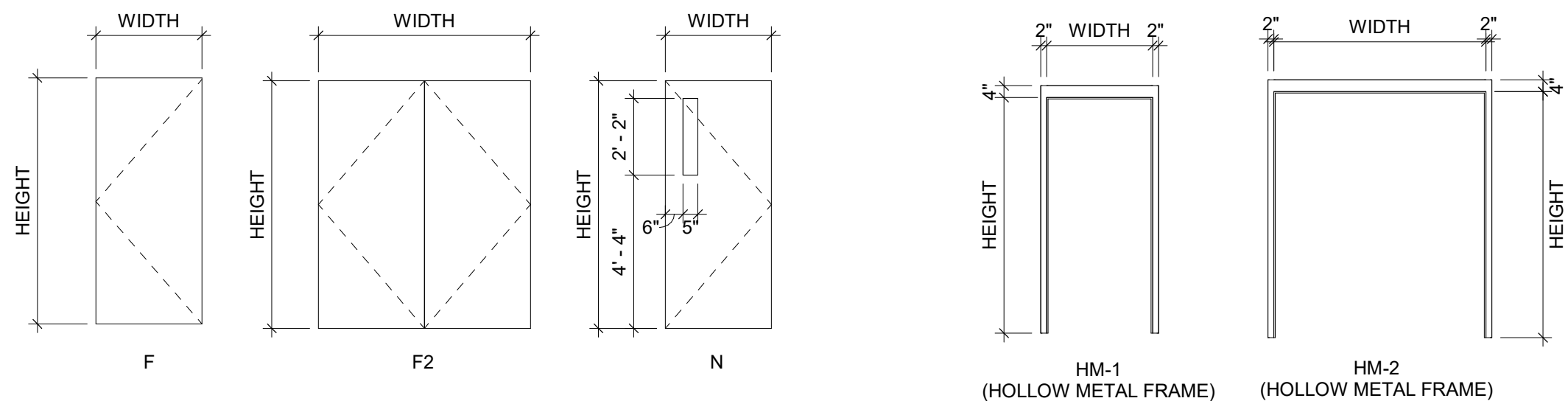
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DOOR SCHEDULE																
DOOR NO.	ROOM NAME	DOOR						FRAME						REQUIREMENTS	HARDWARE SET	COMMENTS
		WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB	THRESHOLD			
1.1	HALLWAY	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	2	COORDINATE EXTERIOR PT W/ MURAL
1.2	FOYER	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	2	COORDINATE EXTERIOR PT W/ MURAL
3.1	MEETING/CONFERENCE ROOM	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	2	COORDINATE EXTERIOR PT W/ MURAL
3.2	MEETING/CONFERENCE ROOM	2'-6" (VIF)	7'-0" (VIF)	1 3/4"	F2	HM	PT-3	HM-2	HM	PT-3	H-2	J-2	TYPE-B	YES	4	
5.1	BOYS BATHROOM	2'-8" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-B	YES	7	
5.2	BOYS BATHROOM	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	3	COORDINATE EXTERIOR PT W/ MURAL
6.1	GIRLS BATHROOM	2'-8" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-B	YES	7	
6.2	GIRLS BATHROOM	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	3	COORDINATE EXTERIOR PT W/ MURAL
7.1	MECHANICAL	3'-0" (VIF)	7'-2" (VIF)	1 3/8"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-C	-	1	
8.1	OFFICE	3'-0"	7'-0"	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-1	J-1	TYPE-B	-	5	
9.1	CLOSET	2'-4" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-B	-	8	
10.1	ADA UNISEX TOILET	3'-0"	7'-0"	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-1	J-1	TYPE-B	YES	6	

DOOR AND FRAME NOTES:

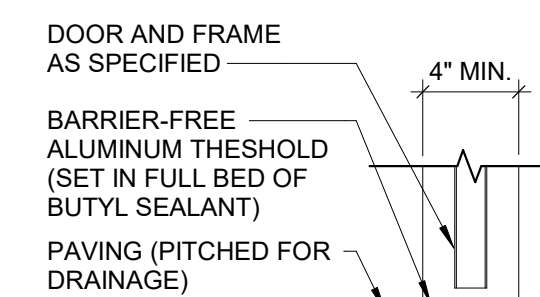
1. OPENING FORCE OF INTERIOR NON-RATED DOORS SHALL BE NO GREATER THAN 5 LBS.
2. OPENING FORCE OF FIRE RATED DOORS SHALL BE NO GREATER THAN 8 LBS.
3. REFER TO SPECIFICATIONS FOR GLAZING TYPES.
4. PAINT ALL EXPOSED STEEL (COLOR AS SELECTED BY ARCHITECT).
5. PROVIDE COMPATIBLE FLASHING MATERIALS BETWEEN DISSIMILAR MATERIALS.
6. SHIM ASSEMBLIES AS REQUIRED FOR PLUMB AND LEVEL. PROVIDE SEALANT AND BACKER RODS AT ALL JOINTS BETWEEN WINDOW SYSTEMS, DOOR FRAMES AND OTHER SURROUNDING CONSTRUCTION.
7. ALUMINUM WINDOW AND ENTRANCE FRAMES SHALL NOT BE INSTALLED IN DIRECT CONTACT WITH DISSIMILAR BUILDING MATERIALS.
8. DO NOT APPLY WALL BASE TO HOLLOW METAL OR ALUMINUM FRAMES, UNLESS OTHERWISE NOTED.
9. SEE FINISH SCHEDULE ON A8.0 FOR DOOR AND FRAME FINISHES.
10. SEE SPECIFICATIONS FOR HARDWARE SETS.



DOOR TYPES

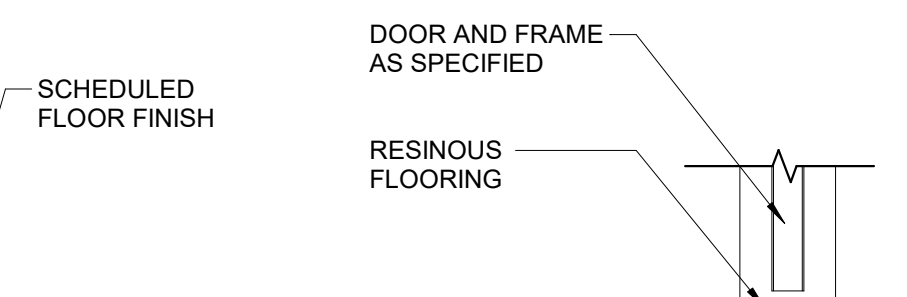
1/4" = 1'-0"

EXTERIOR

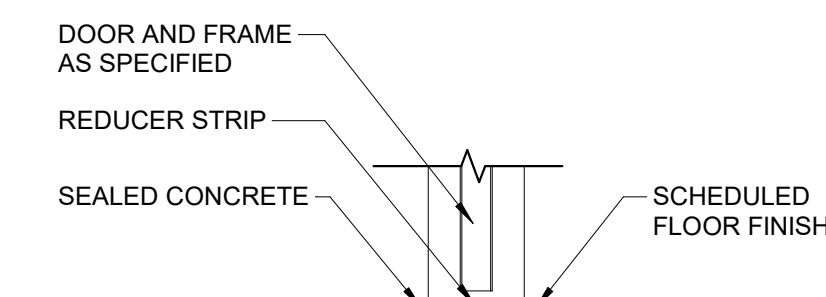


TYPE A AT EXTERIOR DOORS

INTERIOR



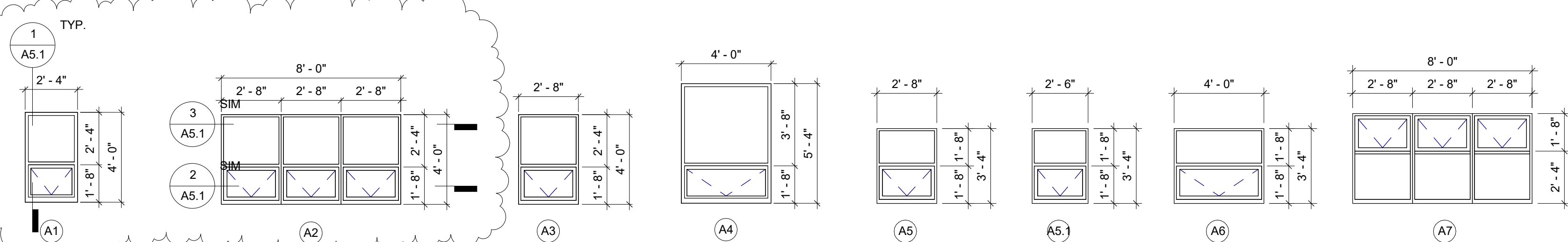
TYPE B RESINOUS FLOORING TO RESINOUS FLOORING



TYPE C SEALED CONCRETE TO RESINOUS FLOORING

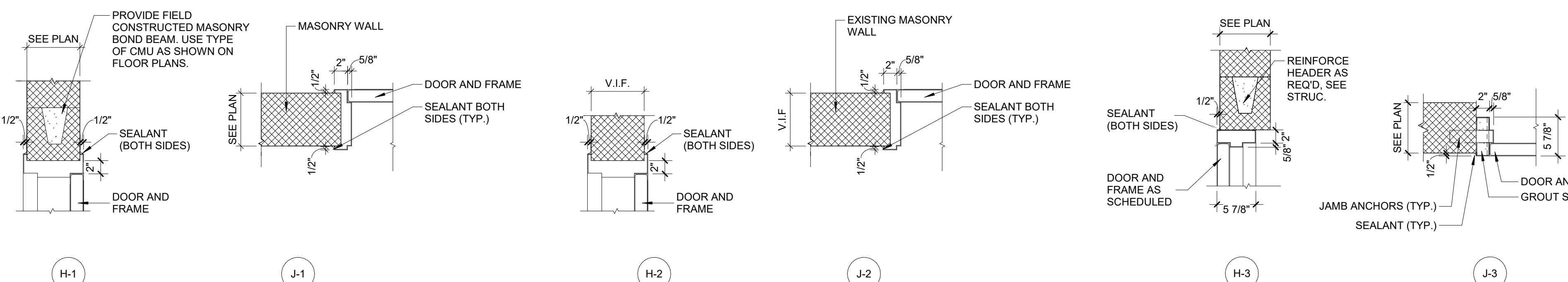
THRESHOLD DETAILS

1/4" = 1'-0"



WINDOW TYPES

1/4" = 1'-0"

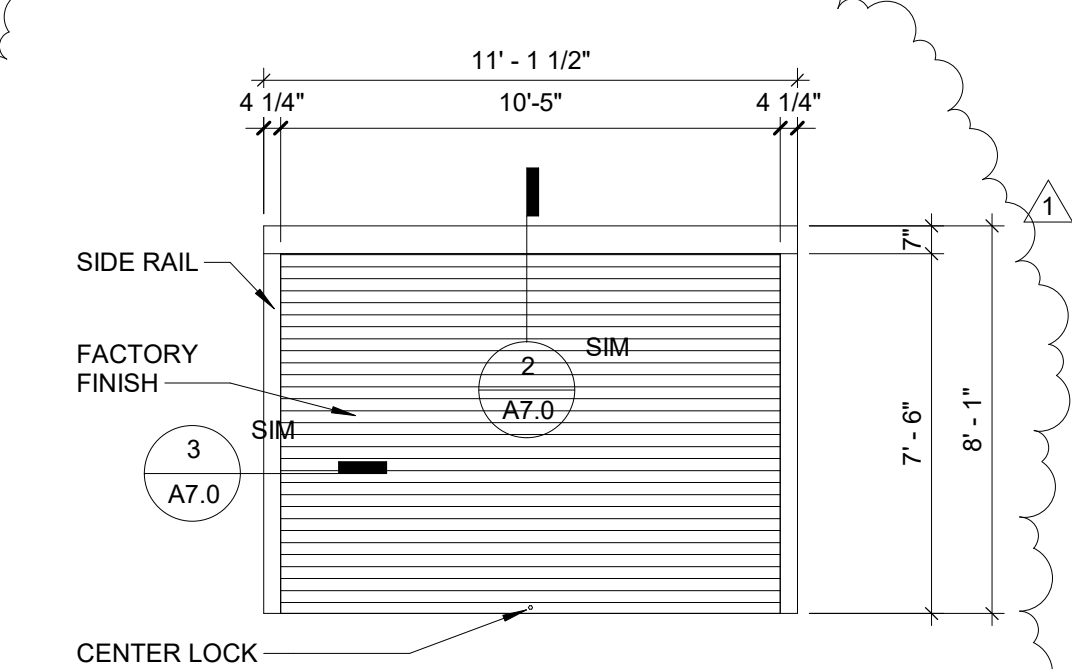


DOOR HEAD AND JAMB

1/4" = 1'-0"

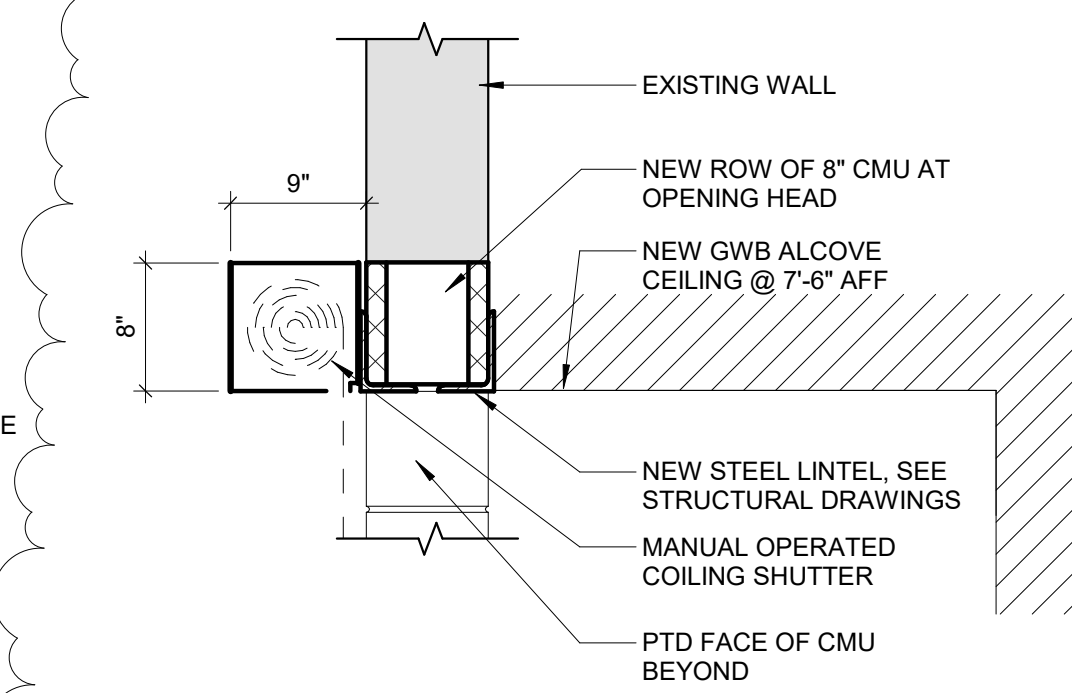
SPECIALTY EQUIPMENT & ACCESSORIES SCHEDULE				
TYPE	DESCRIPTION	BASIS OF DESIGN MANUFACTURER	MODEL NO.	COMMENTS
SE1	RESTROOM PARTITIONS	BRADLEY CORPORATION	MODEL STAINLESS STEEL PARTITIONS	FLOOR MOUNTED & CEILING ANCHORED
SE2	36" GRAB BAR	BRADLEY CORPORATION	MODEL 812	
SE3	42" GRAB BAR	BRADLEY CORPORATION	MODEL 812	
SE4	18" GRAB BAR	BRADLEY CORPORATION	MODEL 812	
SE5	HAND DRYER	BRADLEY CORPORATION	2923-287400	
SE6	TOILET TISSUE DISPENSER	BRADLEY CORPORATION	5402	
SE7	CHANGING TABLE	BRADLEY CORPORATION	962	SURFACE MOUNTED
SE8		BRADLEY CORPORATION		
SE9	SOAP DISPENSER	BRADLEY CORPORATION	6542	
SE10	MIRROR, 24" x 36"	BRADLEY CORPORATION	781-2436-4	20 GAUGE TYPE 430 SS, BRIGHT ANNEALED
SE11	STAINLESS STEEL CLOTHES HOOK	BRADLEY CORPORATION	9114	
SE12	30" CONVERTIBLE RANGE HOOD	KENMORE	51041	
SE13	24" ELECTRIC RANGE	AVANTI	ER24P3SG	

GLAZING SCHEDULE	
TYPE	DESCRIPTION
GL-1	LAMINATED GLASS AT EXTERIOR LAYER
GL-2	TEMPERED GLASS AT INTERIOR LAYER



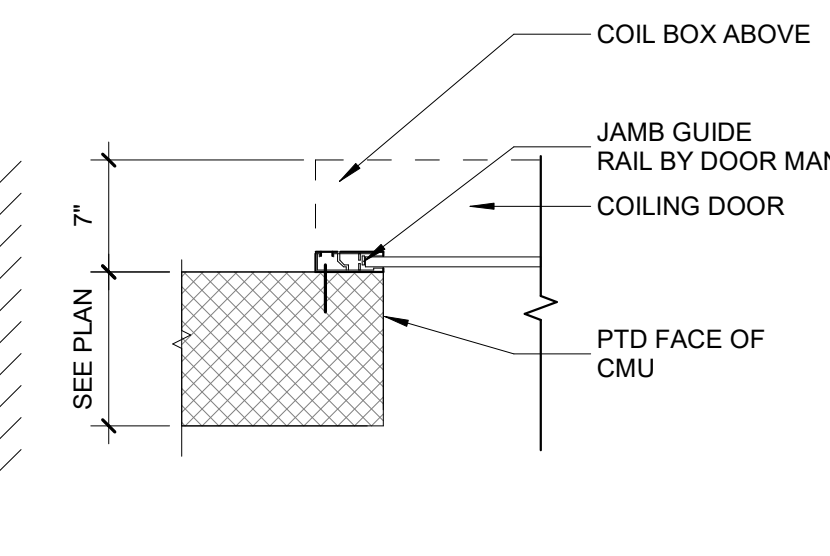
1 ROLLING DOOR ELEVATION

1/4" = 1'-0"



2 SHUTTER @ EXISING KITCHEN ALCOVE

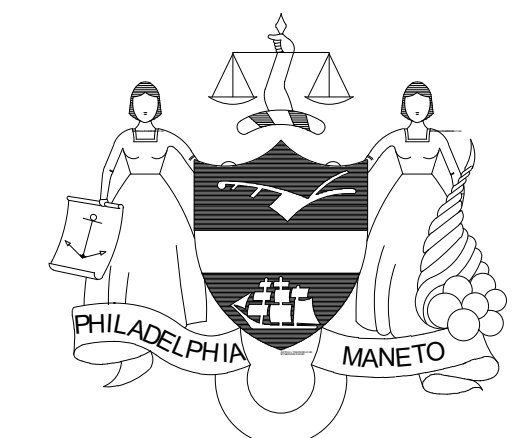
1/4" = 1'-0"



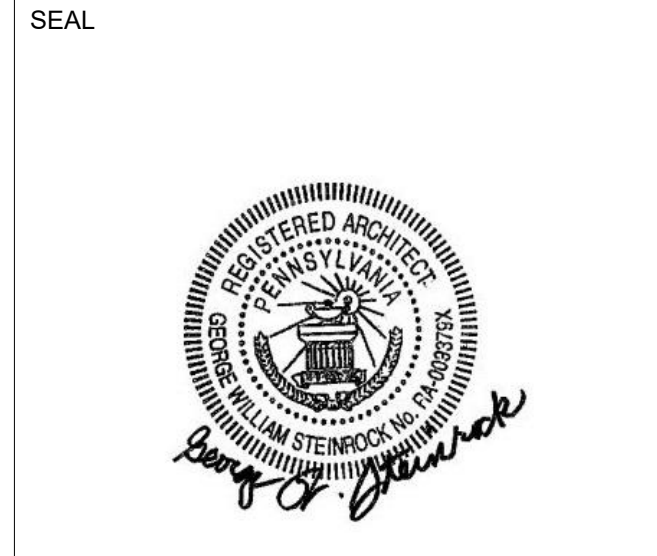
3 ROLLING DOOR JAMB DETAIL

1/4" = 1'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Sara Nordstrom, 215-683-0253



PROJECT TEAM

ARCHITECT:
JOHNSON, MIRMIRAN & THOMPSON, INC
1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

STRUCTURAL ENGINEER:
JOHNSON, MIRMIRAN & THOMPSON, INC
1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

SYSTEMS ENGINEER:
JOHNSON, MIRMIRAN & THOMPSON, INC
1600 MARKET ST, SUITE 520
PHILADELPHIA, PA 19103
267.256.0300

CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

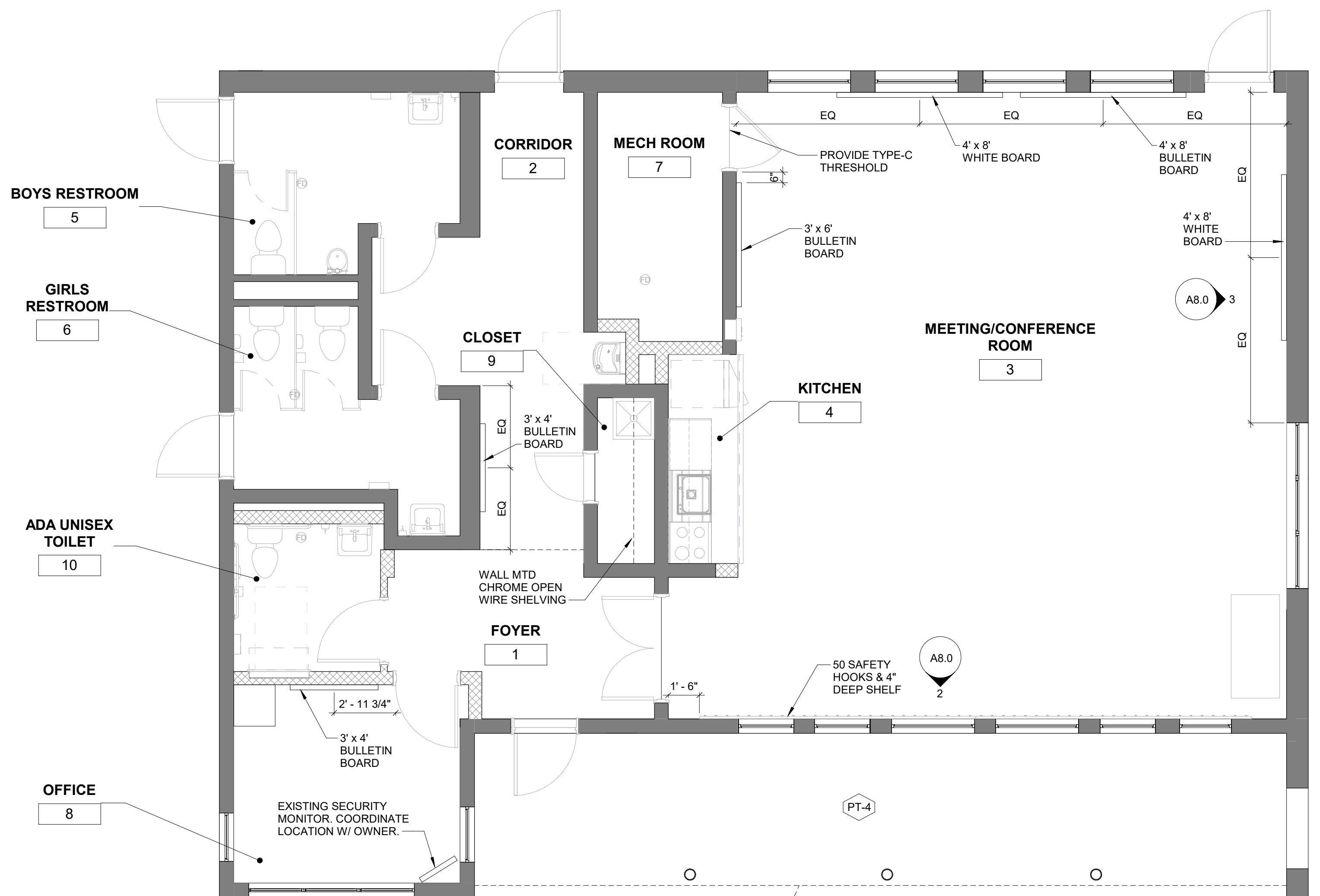
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
DOOR, WINDOW, EQUIPMENT & TOILET
ACCESSORIES SCHEDULES

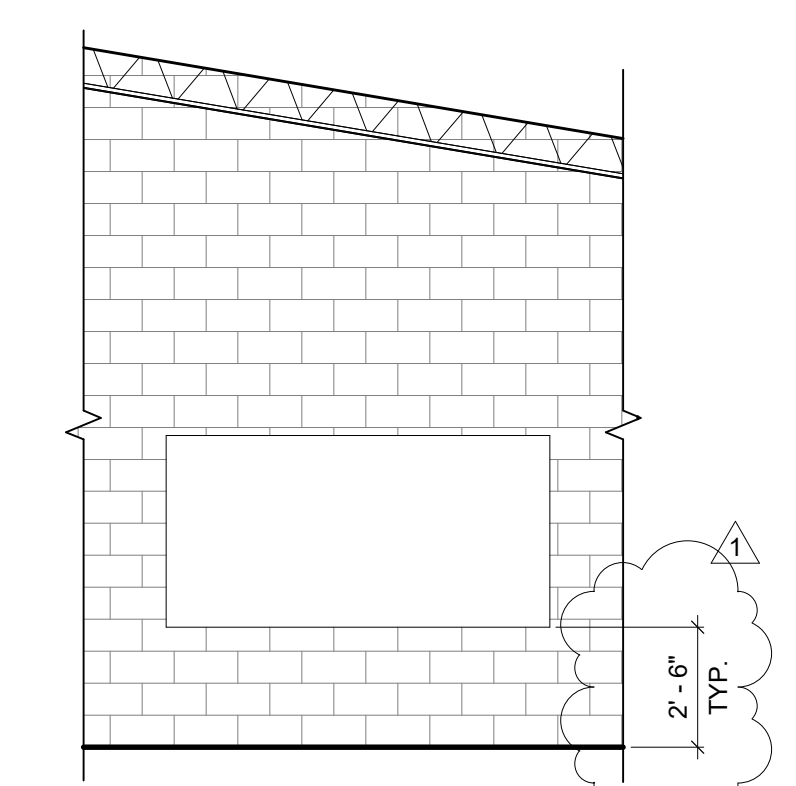
PROJECT NO. 10-20-XXXX-01
DATE: 02.07.2020
SCALE: AS NOTED
DRAWN BY:
CHECKED BY: RD FILE:

A7.0

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

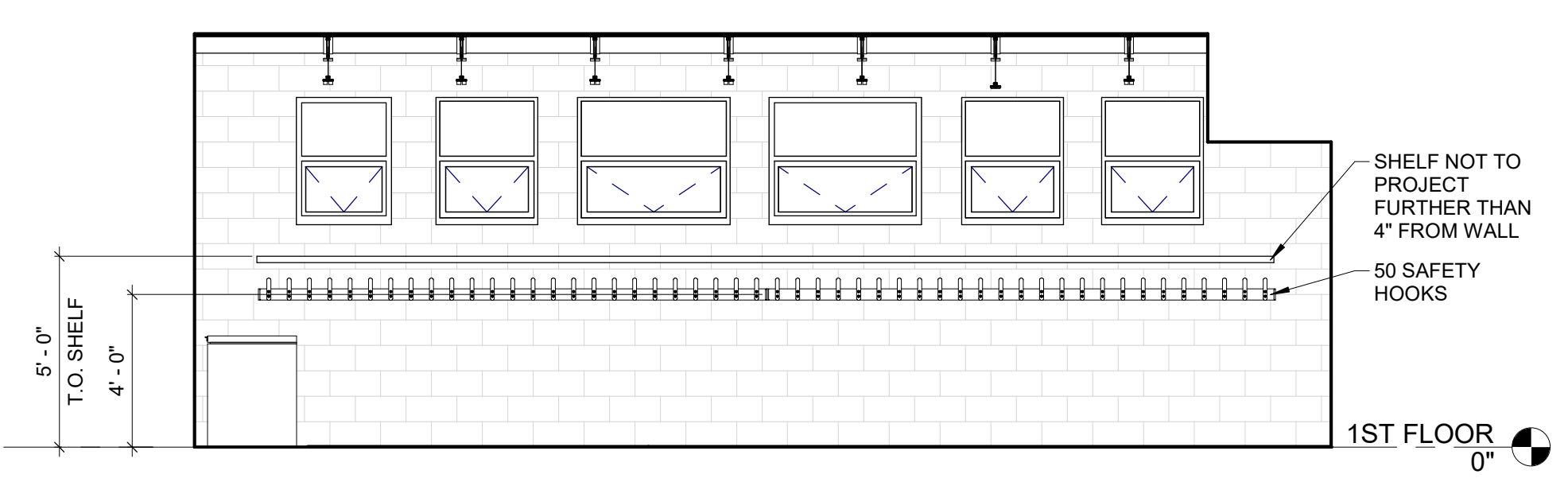


1 FINISH PLAN
1/4" = 1'-0"
4' 2' 0' 4' 8'



3 TYPICAL BULLETIN BOARD/WHITE BOARD ELEVATION MOUNTING HEIGHT
1/4" = 1'-0"

4' 2' 0' 4' 8'

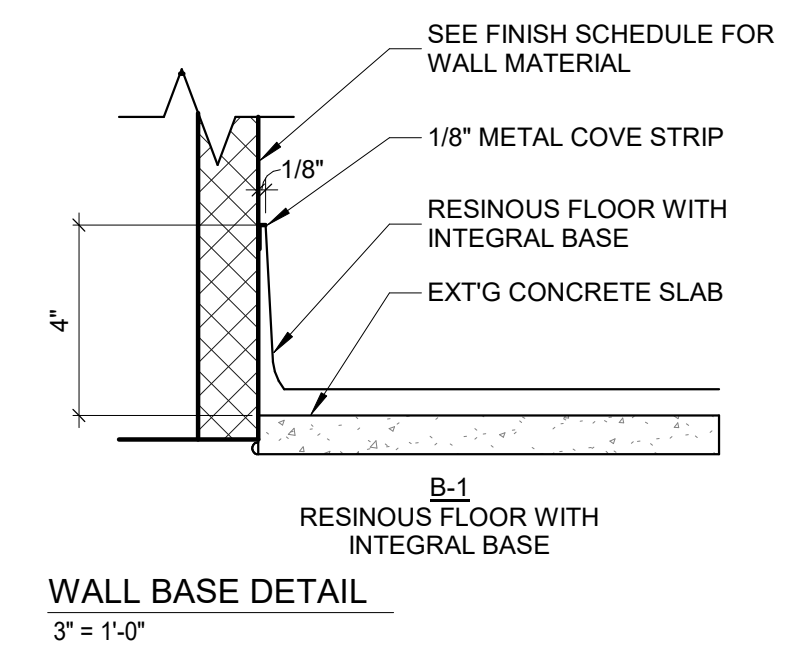


2 COAT HOOKS ELEVATION
1/4" = 1'-0"

ROOM FINISH SCHEDULE							
NO.	WTWT	NAME	FINISH			COMMENTS	
			FLOOR	BASE	WALL		CEILING
1		FOYER	F-1	B-1	PT-2	PT-1	
2		CORRIDOR	F-1	B-1	PT-2	PT-1	PAIN EXPOSED SECTIONS OF UNDERSIDE OF ROOF DECK AND EXPOSED ROOF TRUSSES TO MATCH CEILING FINISH
3		MEETING/CONFERENCE ROOM	F-2	B-2	PT-2	PT-1	PAIN EXPOSED SECTIONS OF UNDERSIDE OF ROOF DECK AND EXPOSED ROOF TRUSSES TO MATCH CEILING FINISH
4		KITCHEN	F-2	B-2	PT-2	PT-1	
5		BOYS RESTROOM	F-1	B-1	PT-2	PT-1	
6		GIRLS RESTROOM	F-1	B-1	PT-2	PT-1	
7		MECH ROOM	F-3	-	PT-2	PT-1	
8		OFFICE	F-1	B-1	PT-2	PT-1	
9		CLOSET	F-1	B-1	PT-2	PT-1	
10		ADA UNISEX TOILET	F-1	B-1	PT-2	PT-1	

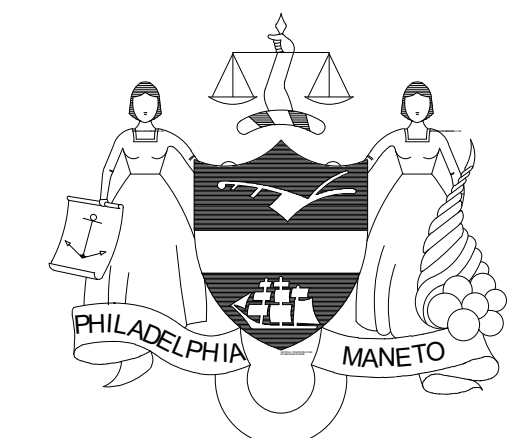
SHEET NOTES:
1. PAINT ALL METAL FACEPLATES

FINISH SCHEDULE				
FINISH TYPE	CODE	MANUF. / STYLE / SERIES	COLOR	REMARKS
FLOORING	F-1	STONHARD STONTEC TRF	SMOKY MOUNTAINS	RESINOUS FLOOR APPLICATION WITH INTEGRAL BASE
FLOORING	F-2	STONHARD STONTEC TRF	GLACIER PEAK	RESINOUS FLOOR APPLICATION WITH INTEGRAL BASE
FLOORING	F-3	SEALED CONCRETE		
BASE	B-1	STONHARD STONTEC TRF	SMOKY MOUNTAINS INTEGRATED EPOXY FLOOR BASE	THROUGHOUT ALL SPACES WITH F-1 FLOOR FINISH
BASE	B-2	STONHARD STONTEC TRF	GLACIER PEAK INTEGRATED EPOXY FLOOR BASE	THROUGHOUT ALL SPACES WITH F-2 FLOOR FINISH
PAINT	PT-1	SHERWIN WILLIAMS LATEX SEMI-GLOSS ENAMEL SW-7007	CEILING BRIGHT WHITE	ALL EXPOSED AND GWB CEILINGS
PAINT	PT-2	SHERWIN WILLIAMS LATEX SEMI-GLOSS ENAMEL SW-6253	OLYMPUS WHITE	THROUGHOUT ALL INTERIOR SPACES
PAINT	PT-3	SHERWIN WILLIAMS LATEX SEMI-GLOSS ENAMEL SW-7074	SOFTWARE	ALL INTERIOR DOORS + FRAMES
PAINT	PT-4			MATCH EXISTING
PAINT	PT-5			PAINT COLUMNS TO MATCH EXISTING

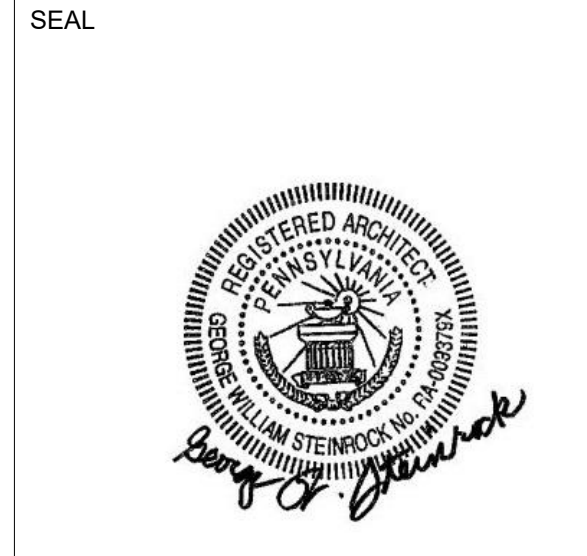


WALL BASE DETAIL
3" = 1'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



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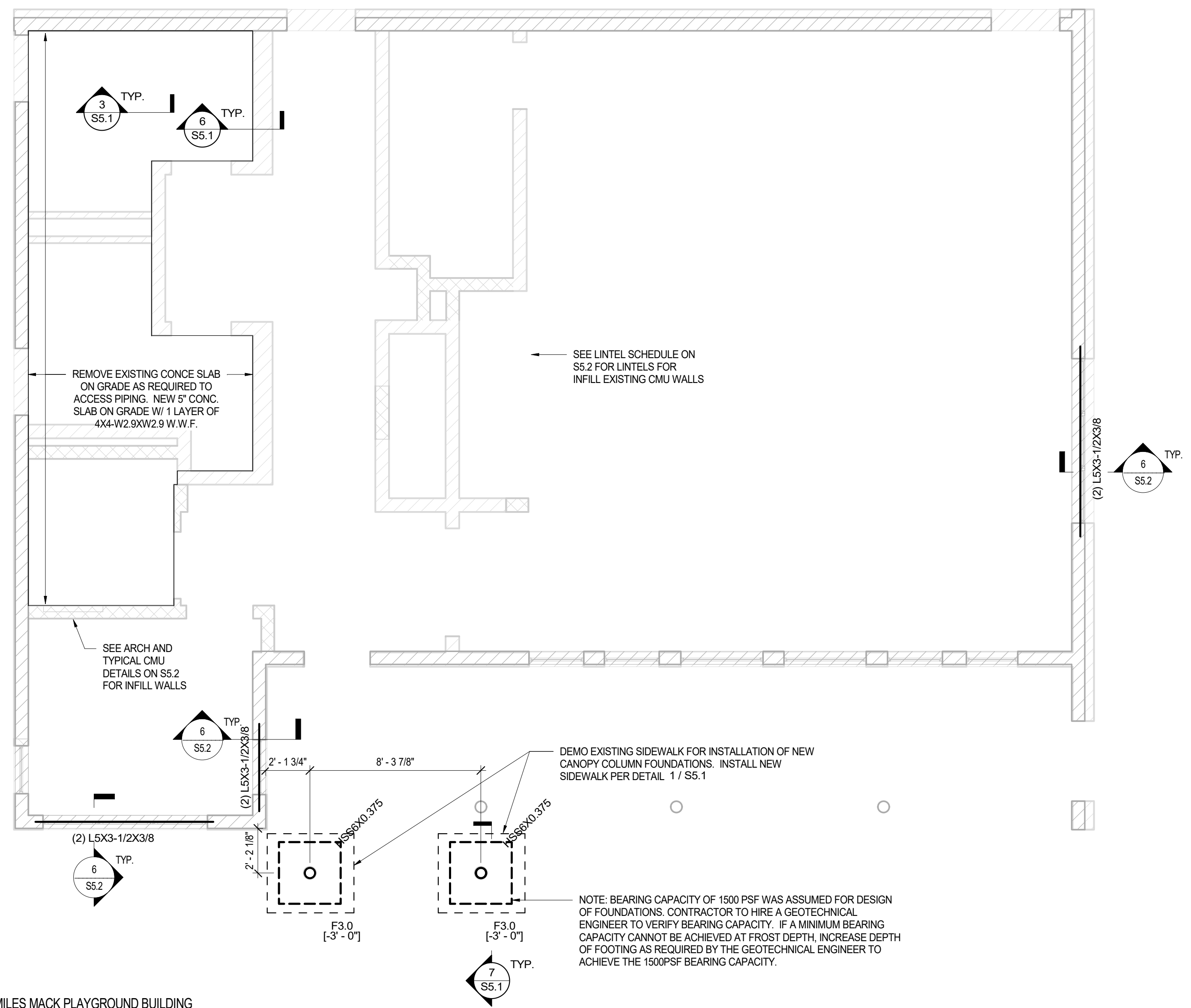
CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
FINISH PLAN & SCHEDULE

PROJECT NO.
10-20-XXXX-01
DATE: 02.07.2020
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:

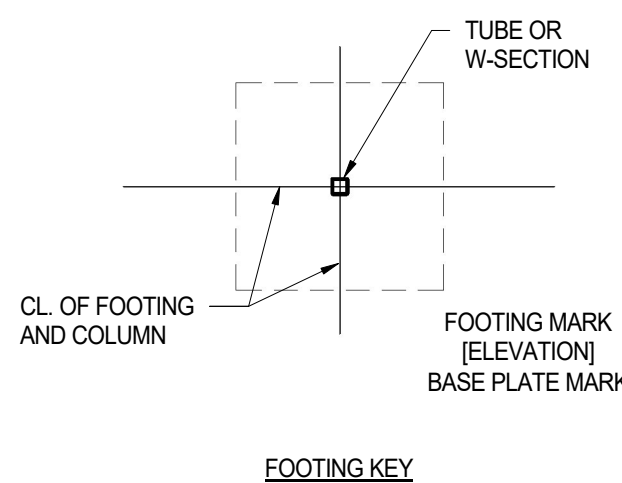
DRAWING NO.
A8.0

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 MILES MACK PLAYGROUND BUILDING
S1.1 1/4" = 1'-0"

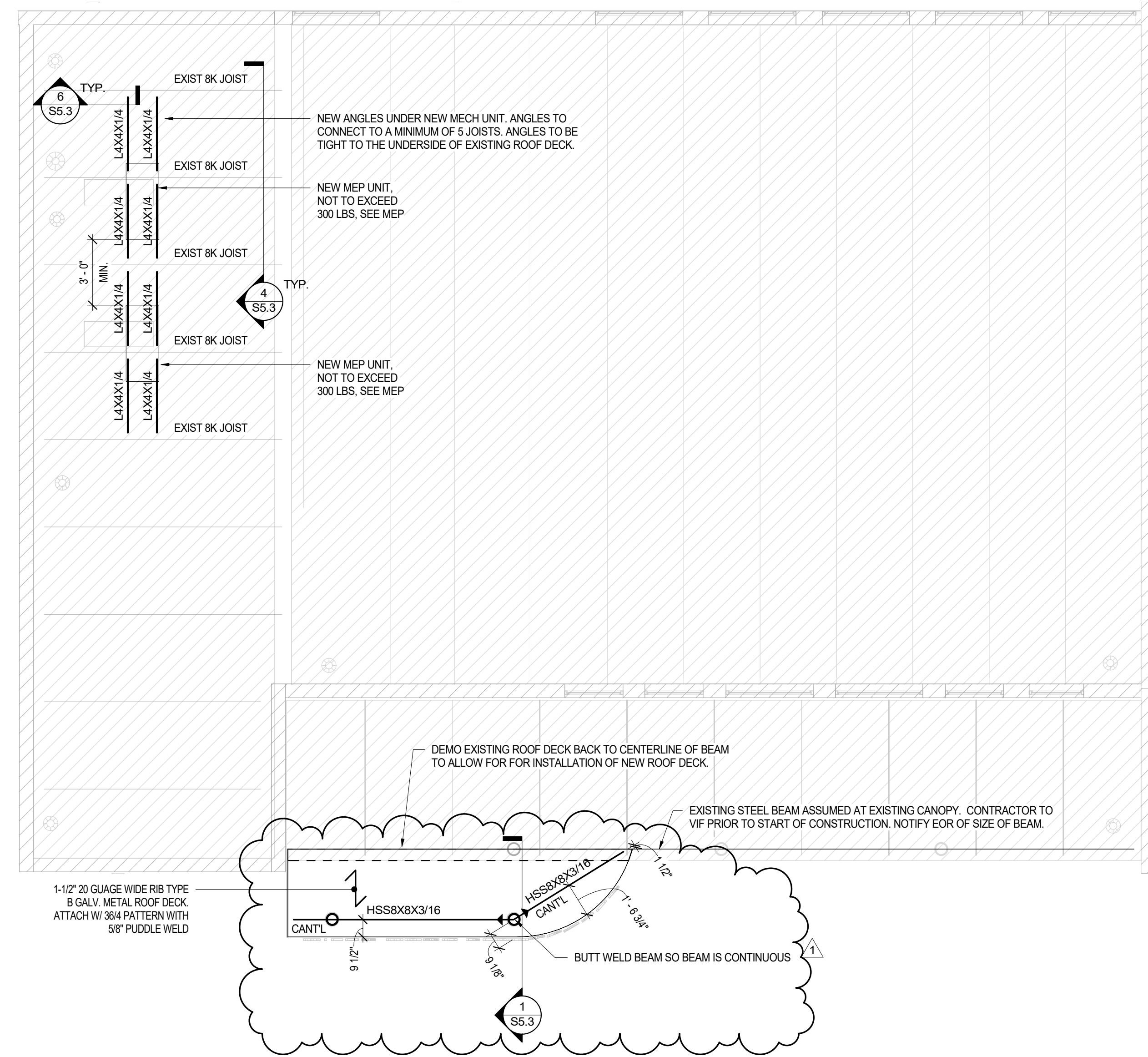
FOUNDATION PLAN NOTES



- [] : NUMBER INSIDE OF BRACKETS INDICATES BOTTOM OF FOOTING ELEVATION
- NOTE: UNLESS NOTED OTHERWISE ON PLANS, BOTTOM OF FOOTINGS AT ALL SHALL BE (-3'-0") BELOW EXTERIOR GRADE FOR FROST DEPTH
- NOTE: MAXIMUM EARTH DIFFERENTIAL WHEN BACKFILLING SHOULD NOT EXCEED 2'-0"
- NOTE: GENERAL CONTRACTOR SHALL ENGAGE A SURVEYOR TO PROVIDE LOCATIONS OF ALL EXISTING UTILITIES, TRENCHES, ETC. TO ENSURE THAT NEW FOUNDATIONS WILL NOT INTERFERE, UNDERMINE, OR BEAR ON EXISTING UTILITIES.

SPREAD FOOTING SCHEDULE

MARK	LENGTH	WIDTH	THICKNESS	BOTTOM REINFORCEMENT	COUNT
F3.0	3'-0"	3'-0"	2'-0"	3#6 O.C. E.W.	2



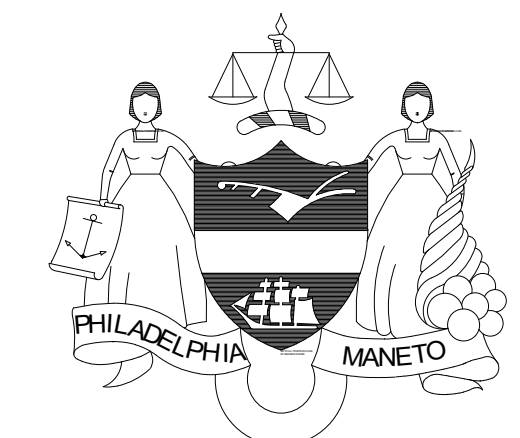
2 LOWER ROOF
S1.1 1/4" = 1'-0"

ROOF FRAMING PLAN NOTES

- : INDICATES THE DIRECTION THE DECK IS SPANNING.
- (T.O.D.) : INDICATES TOP OF DECK, COORD W/ ARCH
- NOTE: WHERE TUBE FRAME MEMBERS CONNECT TO COLUMNS, PROVIDE A WELDED CONNECTION ALL AROUND FROM TUBE TO COLUMN, TYP.
- NOTE: KEEP STRUCTURE GUYED AND BRACED UNTIL ALL MASONRY/CONCRETE SHEAR WALLS, DIAGONAL BRACES, MOMENT FRAMES, FRAMED FLOORS AND ROOF DECKS ARE IN PLACE.

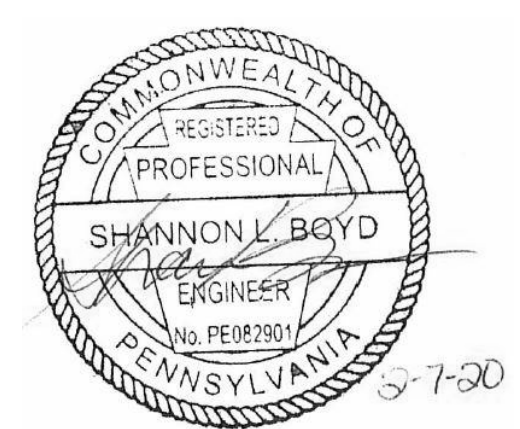
REVISIONS

ISSUE	DATE	DESCRIPTION
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PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Sara Nordstrom, 215-683-0253

SEAL



PROJECT TEAM

ARCHITECT:

STRUCTURAL ENGINEER:

SYSTEMS ENGINEER:

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PHILADELPHIA PARKS & RECREATION
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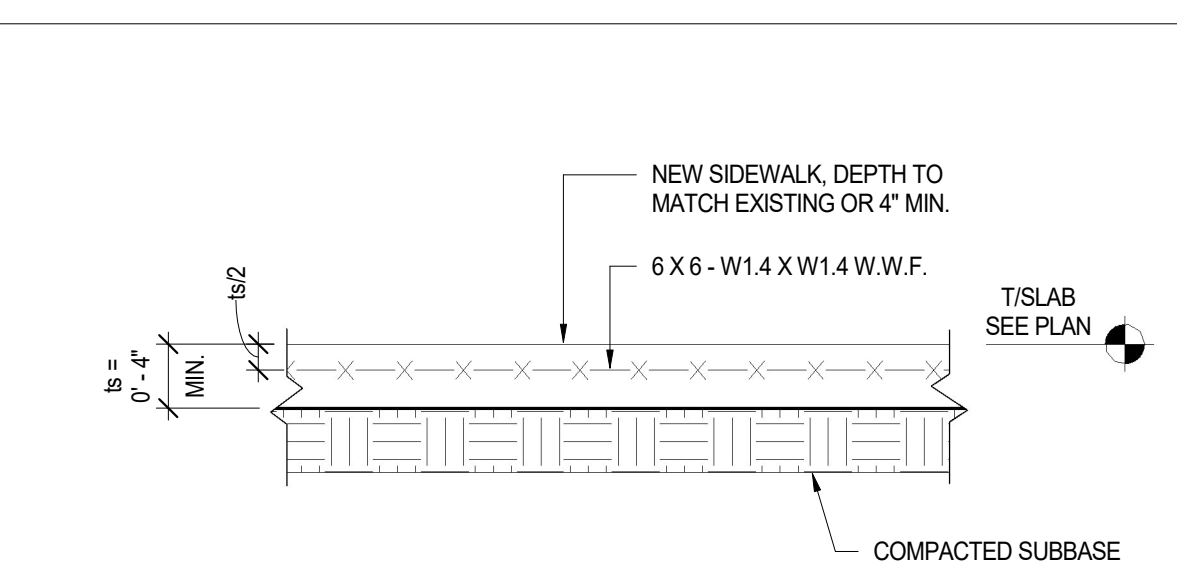
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE

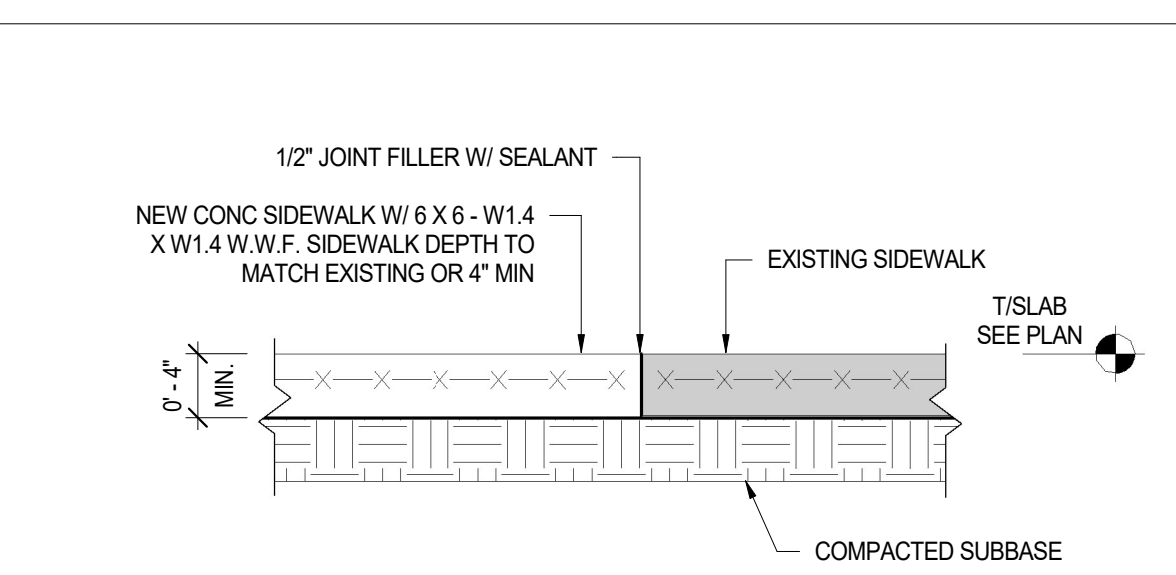
PLANS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. S1.1
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: SB	

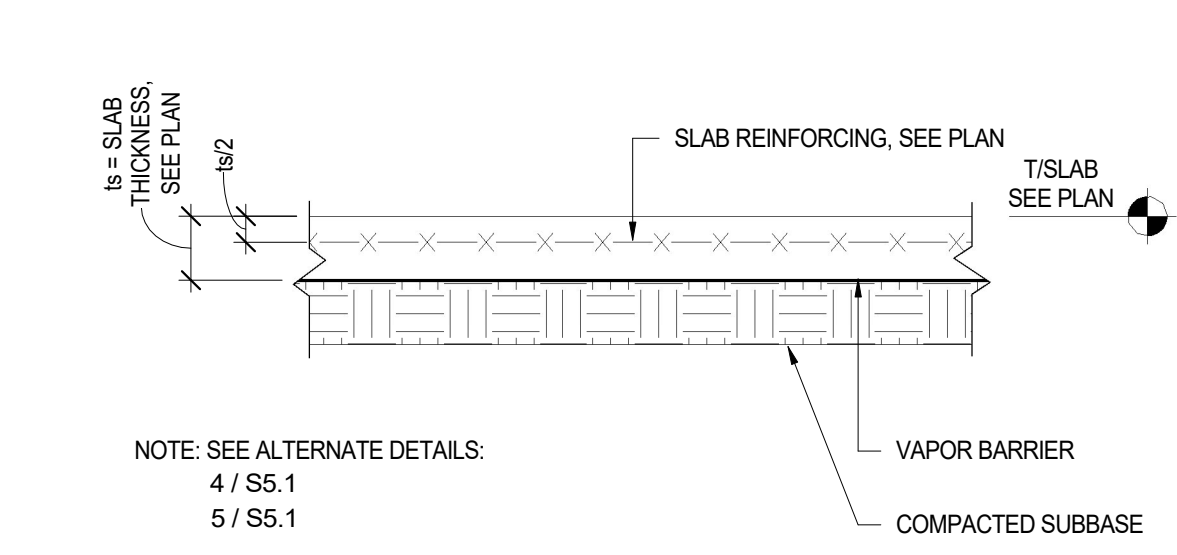
CHECKED BY: CR FILE:
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



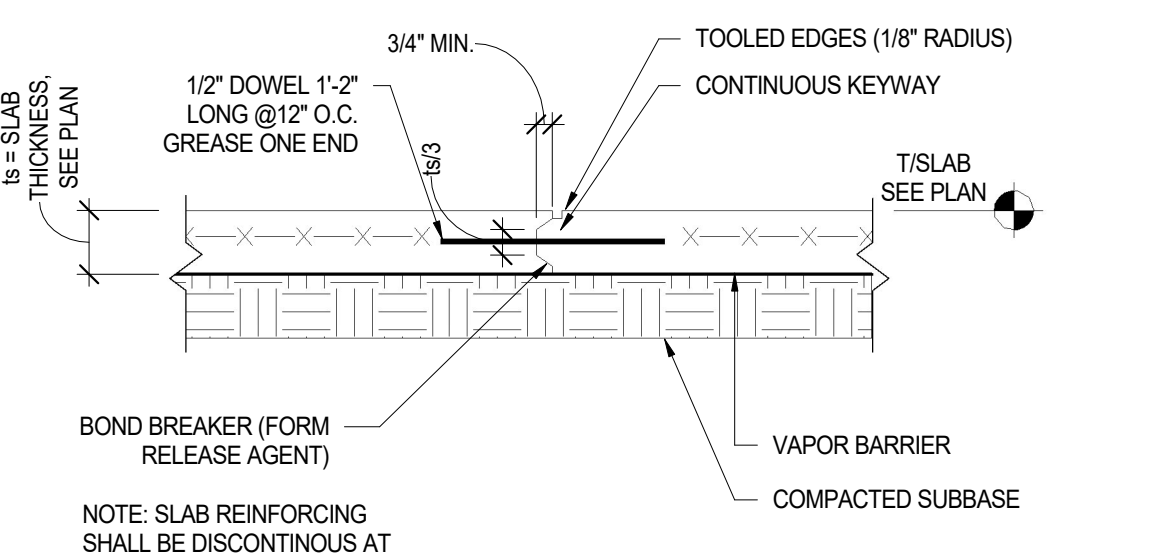
1 CONC - TYP. SIDEWALK SLAB SECTION
SS.1 1" = 1'-0"



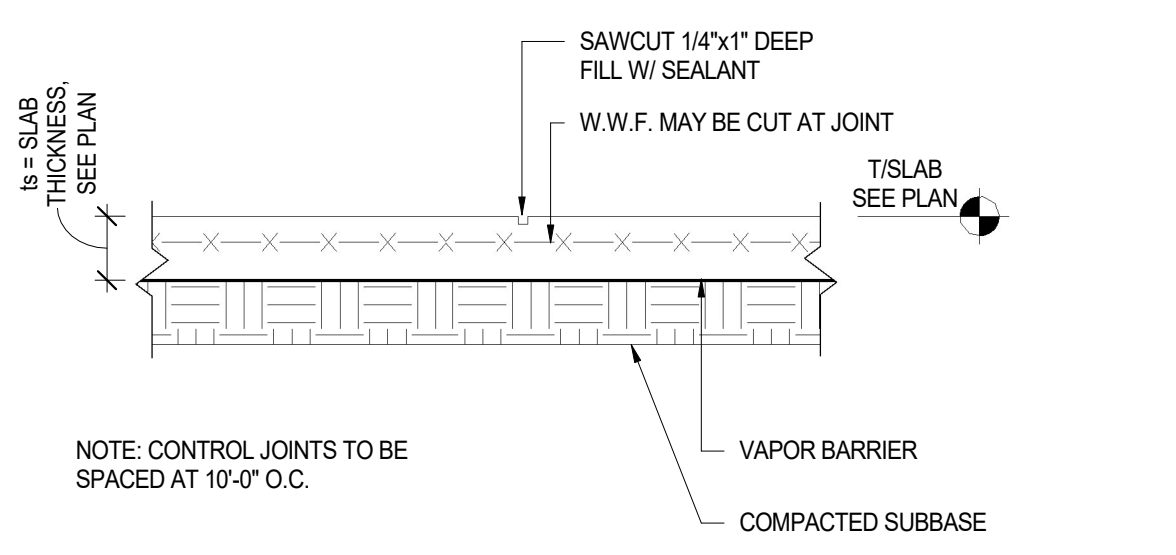
2 CONC - TYP. SLAB ON GRADE DETAIL - ISOLATION
SS.1 1" = 1'-0"



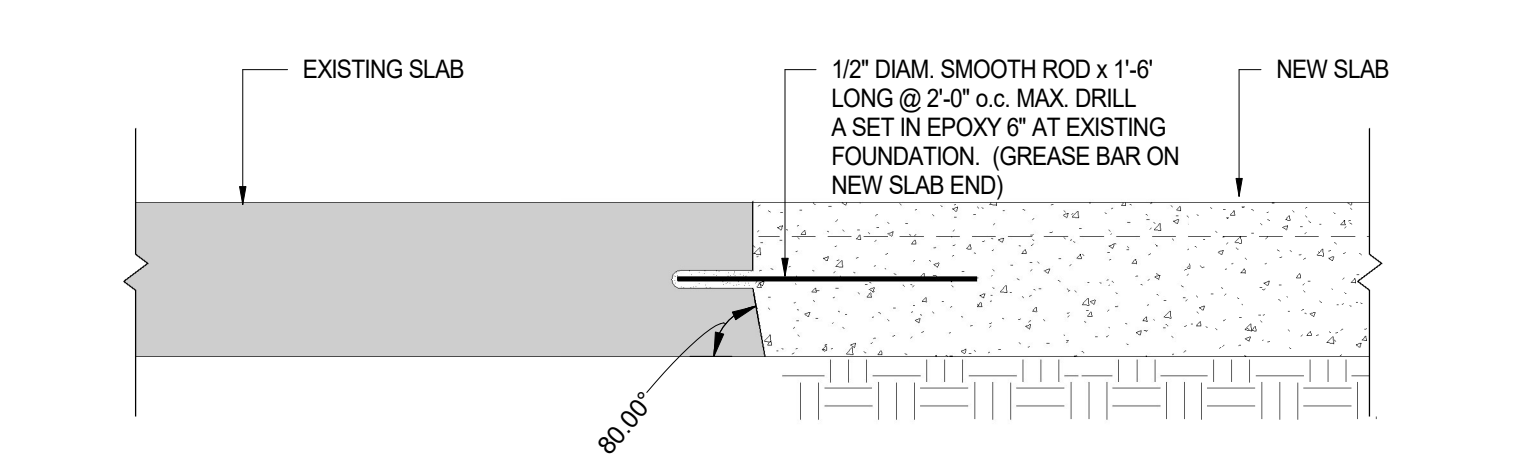
3 CONC - TYP. INTERIOR BUILDING SLAB SECTION
SS.1 1" = 1'-0"



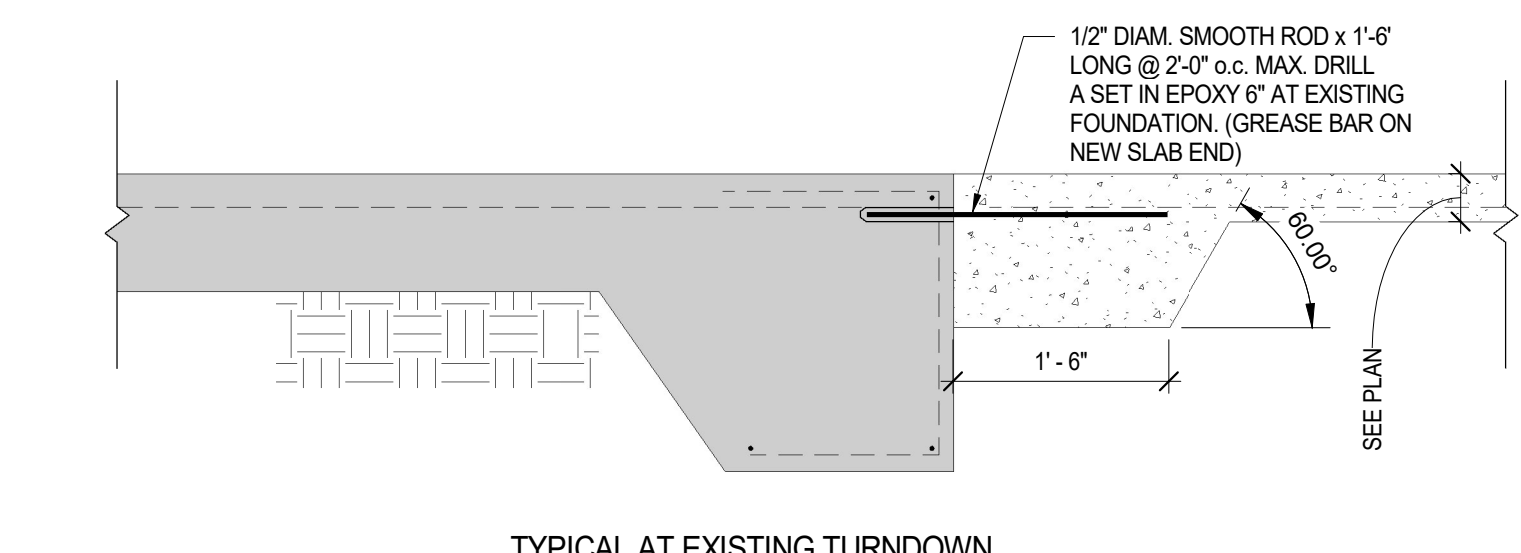
4 CONC - TYP. SLAB ON GRADE DETAIL - CONST. JOINT
SS.1 1" = 1'-0"



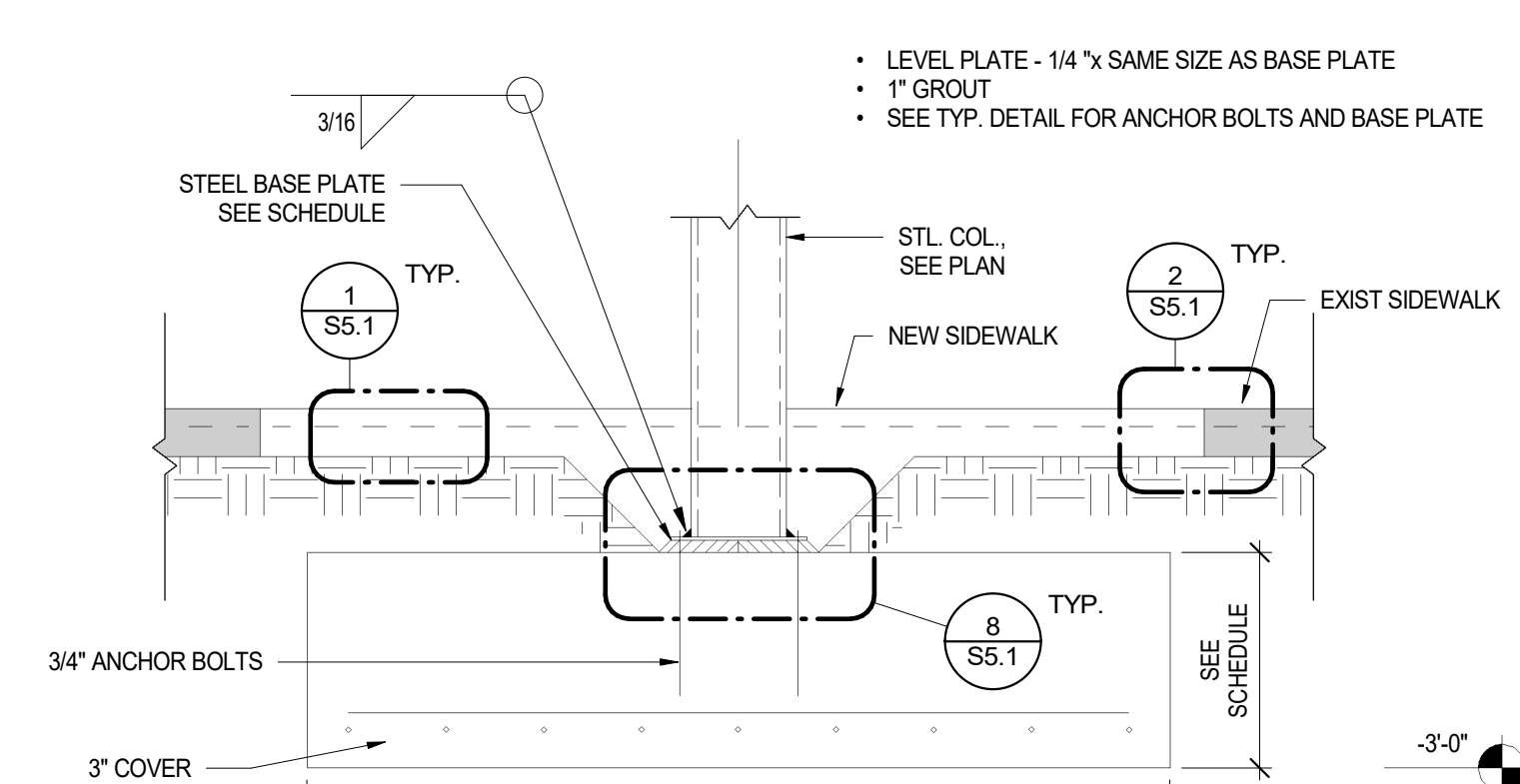
5 CONC - TYP. SLAB ON GRADE DETAIL - CONTROL JOINT
SS.1 1" = 1'-0"



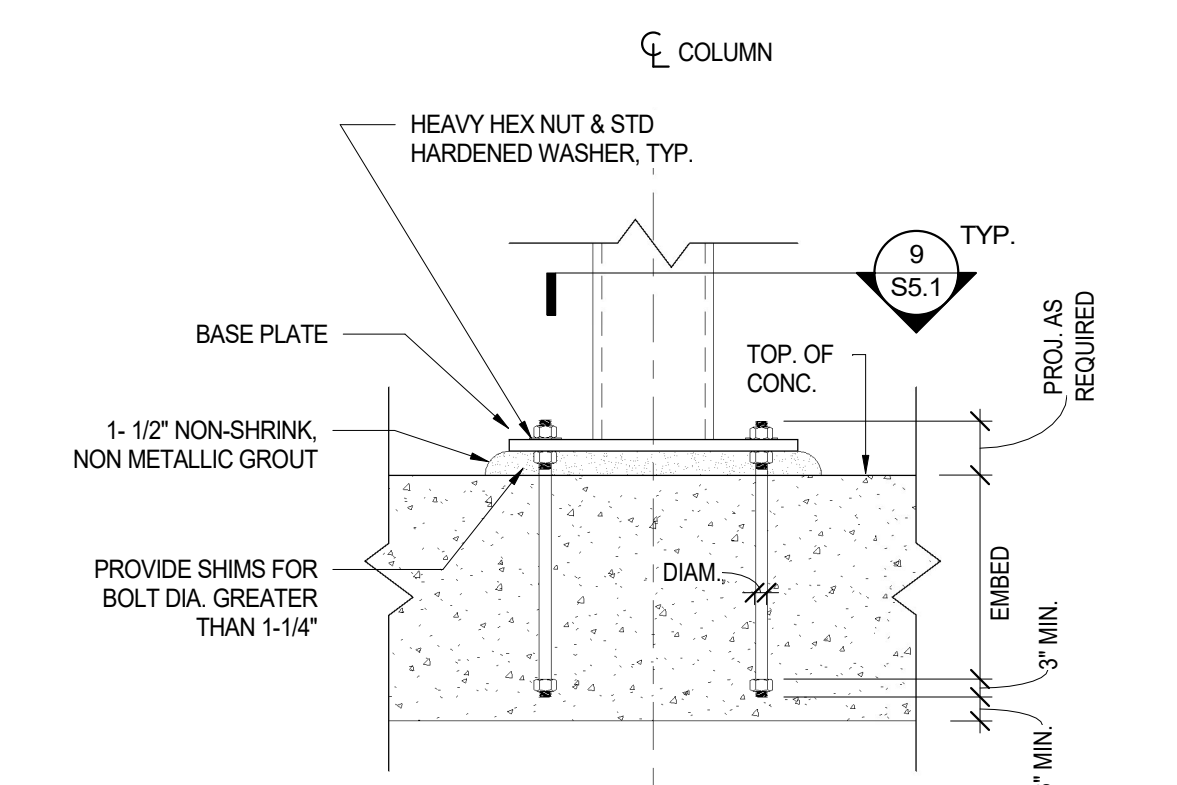
TYPICAL AT ALL OPENINGS WHERE EXISTING SLAB IS CUT AND NO TURNDOWN OCCURS



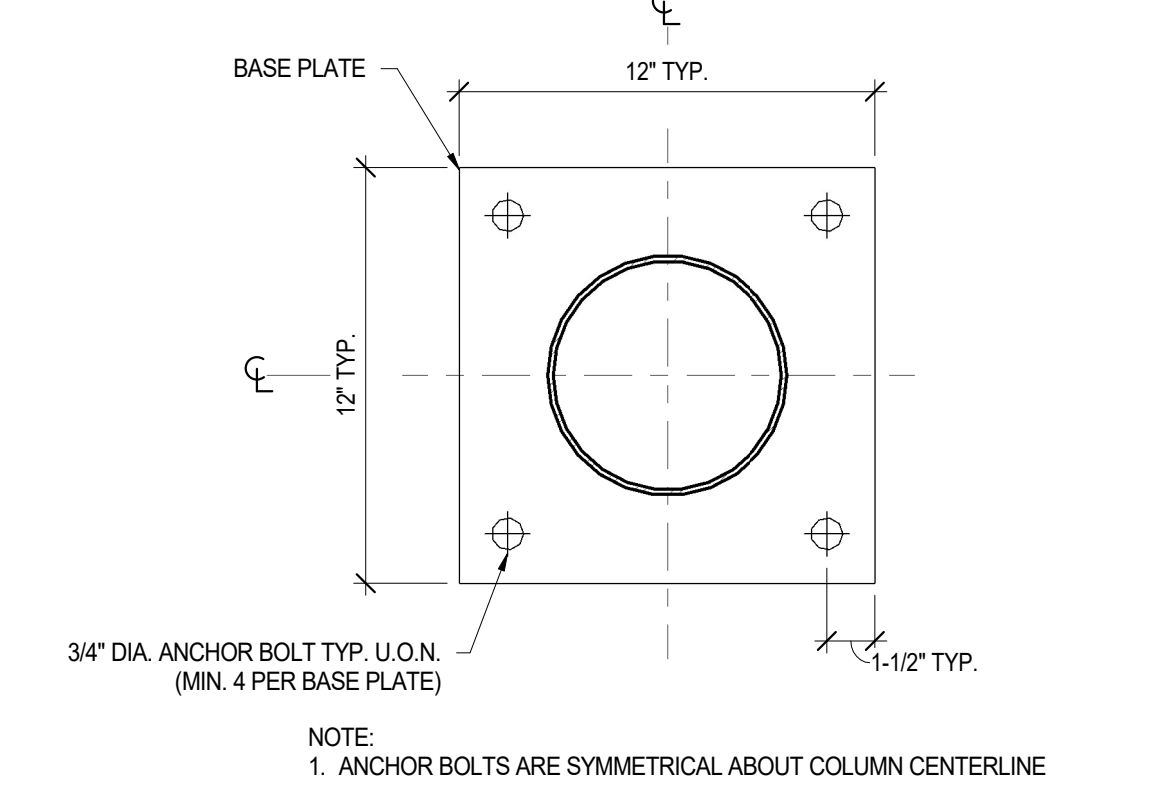
TYPICAL AT EXISTING TURNDOWN



7 FNDN - TYPICAL COLUMN SPREAD FOOTING DETAIL
SS.1 3/4" = 1'-0"



8 ANCHOR BOLT (F1554 GRADE 55, TYP)
SS.1 1 1/2" = 1'-0"



9 TYP. COL BASE PLATE DETAIL
SS.1 3/4" = 1'-0"

GENERAL NOTES

DESIGN BASIS:
PHILADELPHIA BUILDING CODE
IBC 2018 INTERNATIONAL BUILDING CODE
ASCE 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES

PROJECT LOADS:
DEAD LOAD ACTUAL WEIGHTS OF MATERIALS
ROOF LIVE LOAD 20 PSF
GROUND SNOW LOAD 25 PSF
WIND LOAD
BUILDING RISK CATEGORY II
BASIC WIND SPEED 115 MPH
DIRECTIONALITY FACTOR, Kd 0.85
EXPOSURE CATEGORY C
TOPOGRAPHIC FACTOR, Kzt 1.0
GUST EFFECT FACTOR, Gf 0.85
ENCLOSURE CLASSIFICATION ENCLOSED
INTERNAL PRESSURE COEFF +/- 0.18
MWFRS DESIGN PROCEDURE DIRECTIONAL

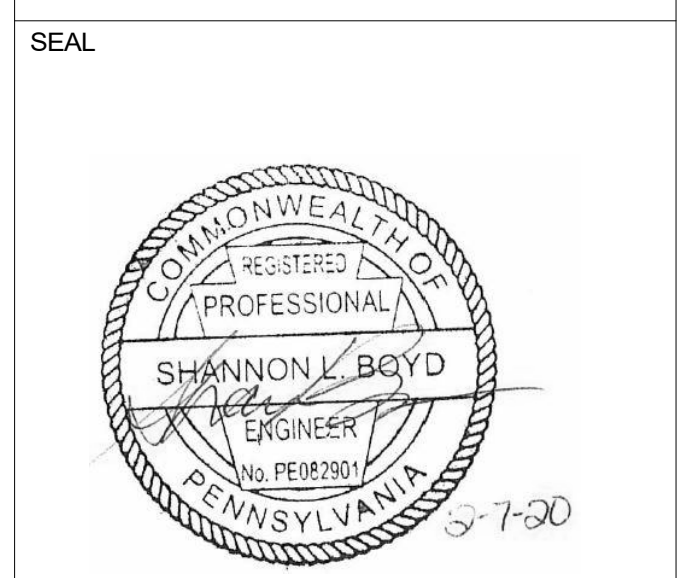
MWFRS
WALL PRESSURE (MAX / MIN)
WINDWARD: 21.2 / 12.2 PSF
LEEWARD: -4.4 / 4.4 PSF
SIDEWALL: -10.1 / -18.9 PSF
ROOF PRESSURE (MAX / MIN) -14.3 / -23.1 PSF

SEISMIC LOAD
1. RISK CATEGORY II
2. IMPORTANCE FACTOR: 1.0
3. MAPPED SPECTRAL RESPONSE ACCELERATIONS, Ss = 0.20g, S1 = 0.06g
4. SITE CLASS = D (ASSUMED BASED ON LACK OF GEOTECH INFORMATION)
5. SPECTRAL RESPONSE COEFFICIENTS, Sds = 0.29g, Sd1 = 0.10g
6. SEISMIC DESIGN CATEGORY B
7. BASIC FORCE RESISTING SYSTEM: STEEL SYSTEMS NOT DETAILED FOR SEISMIC RESISTANCE
8. RESPONSE MODIFICATION FACTOR: R = 3.0
9. SEISMIC RESPONSE COEFFICIENT: Cs = 0.07
10. ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE DESIGN METHOD

REVISIONS		
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Contact: Sara Nordstrom, 215-683-0253



PROJECT TEAM
ARCHITECT:

STRUCTURAL ENGINEER:

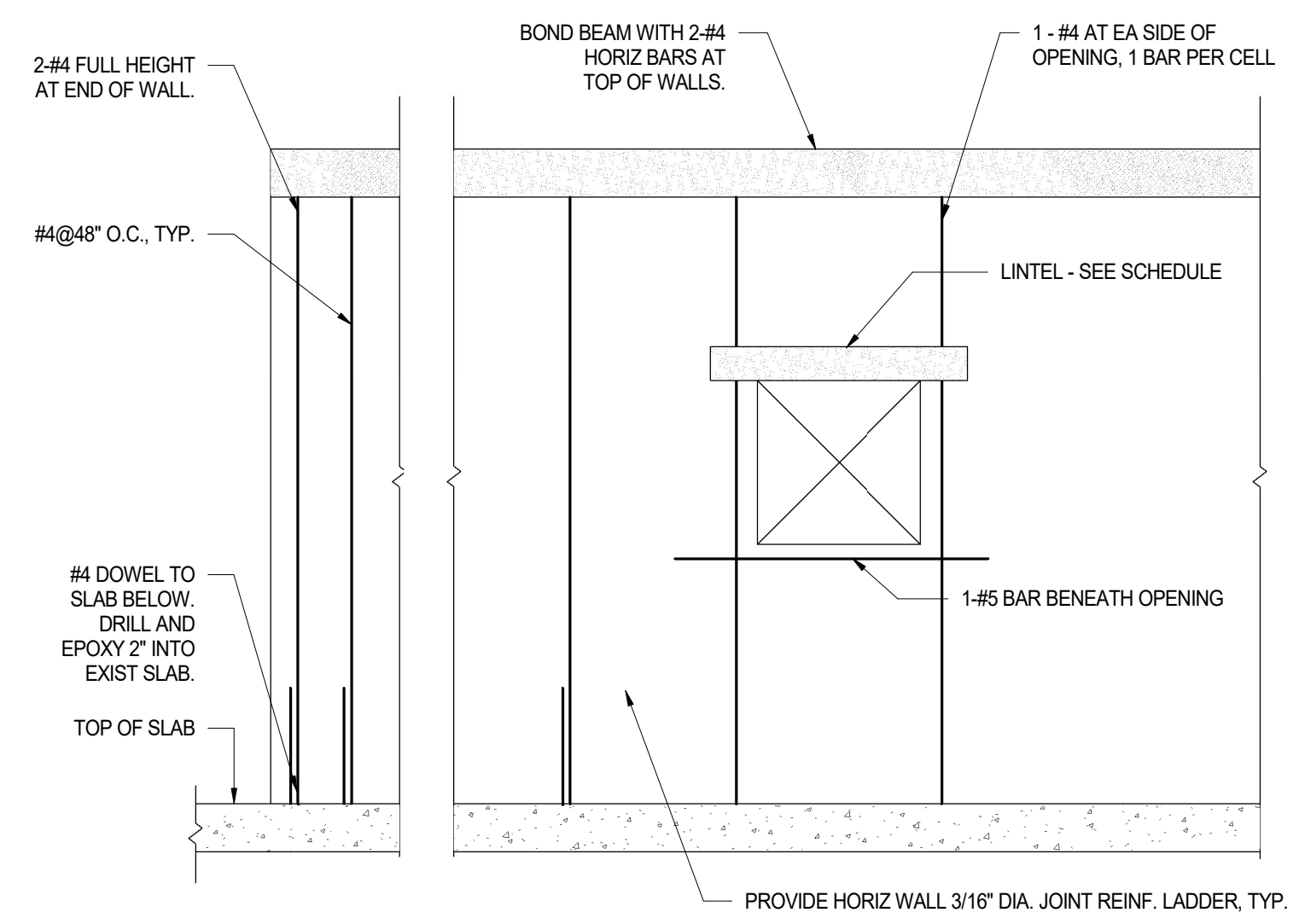
SYSTEMS ENGINEER:

CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
CONC DETAILS AND NOTES

PROJECT NO. 10-20-XXXX-01	DRAWING NO. S5.1
DATE: 02.07.2020	SCALE: AS NOTED
DRAWN BY: SB	CHECKED BY: CR FILE:

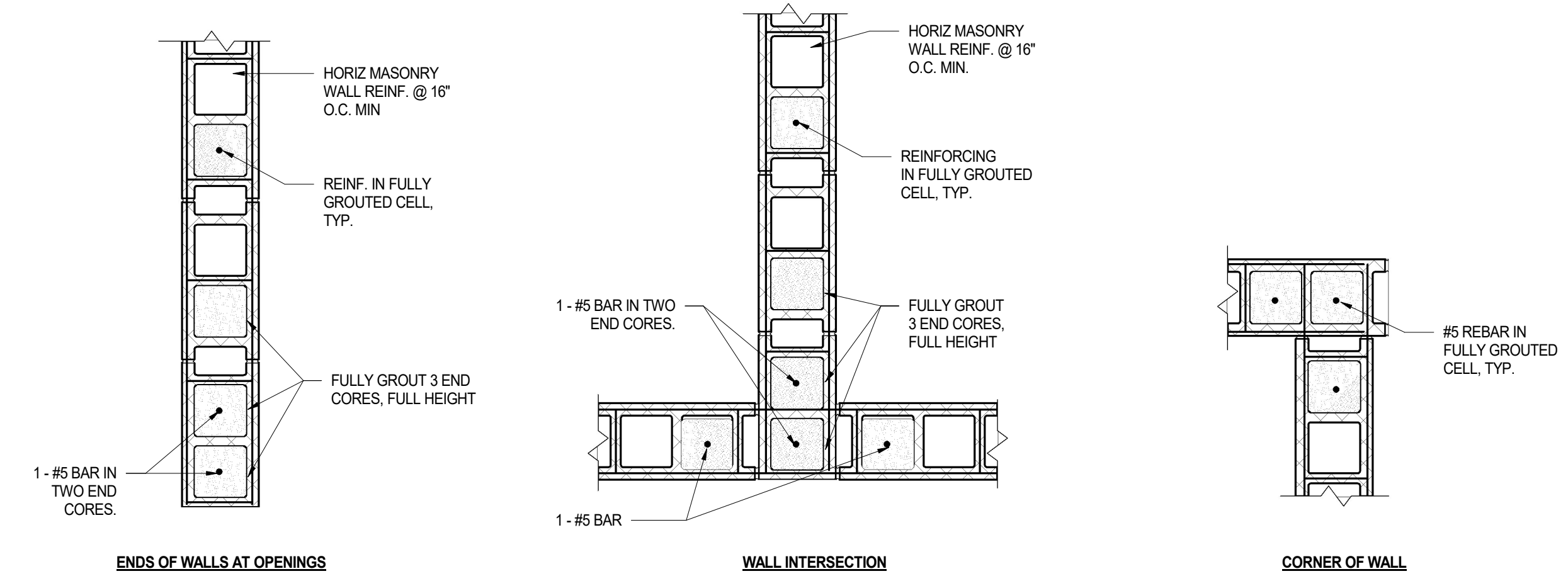
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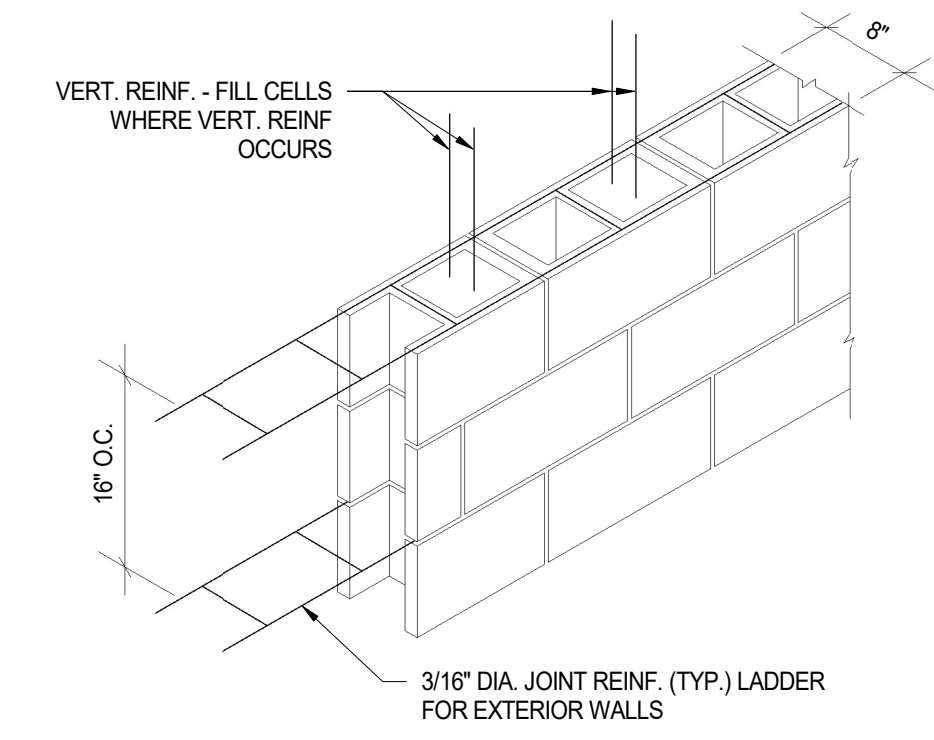
- NOTES:
1. INSTALL JOINT REINFORCEMENT IN THE FIRST AND SECOND BED JOINT ABOVE LINTELS AND BELOW SILLS AT OPENINGS.
 2. EXTEND REINFORCEMENT IN THE SECOND BED JOINT BELOW OPENING 2'-0" BELOW JAMBS.
 3. GROUT CELLS WITH REINFORCING SOLID.
 4. SEE ARCHITECTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.

1
SS2
CMU - TYP. BLOCK WALL ELEVATION
1/2" = 1'-0"

2
SS2
CMU - TYP. WALL REINFORCING DETAILS
1" = 1'-0"



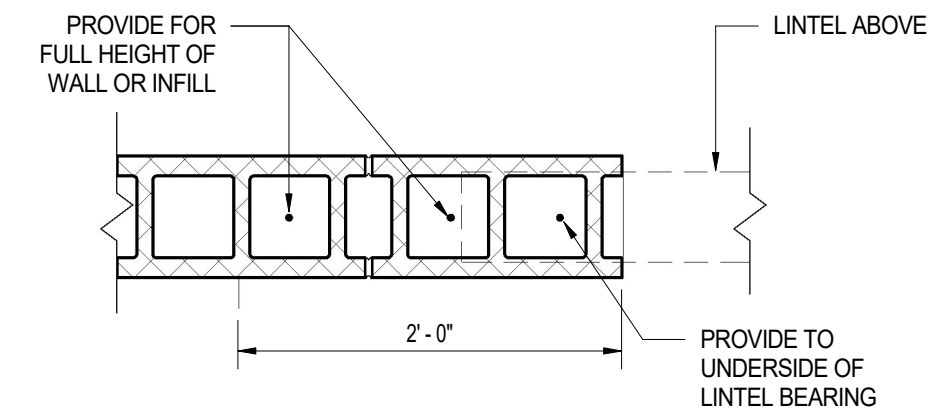
3
SS2
CMU - TYP. JT. REINF. 8" CMU WALLS
3/4" = 1'-0"



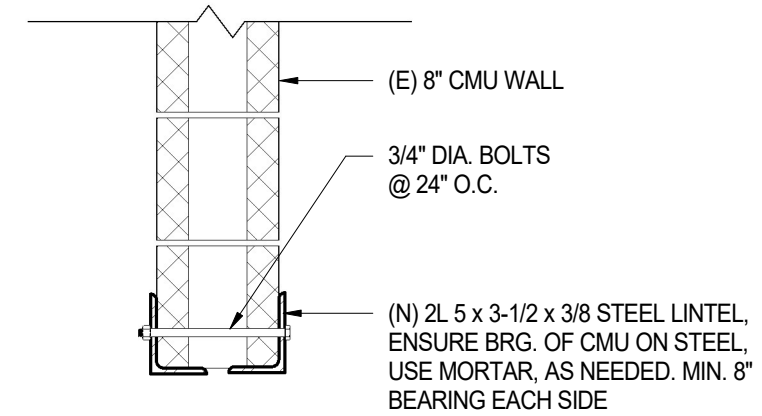
BLOCK LINTEL SCHEDULE		
SPAN	8" WYTHE	12" WYTHE
0' TO 4'	2-#4 (8x8)	2-#4 (12x8)
4' TO 6'	2-#5 (8x8)	2-#5 (12x8)
6' TO 8'	1-#4 TOP 2-#5 BOT (8x16)	2-#4 TOP 2-#5 (12x16)
8' TO 10'	2-#4 TOP 2-#6 BOT (8x16)	2-#4 TOP 2-#7 (12x16)

STEEL BEAM LINTEL SCHEDULE	
SPAN	BEAM
8' TO 10'	W8X24
10' TO 15'	W8X31

- NOTES:
1. PROVIDE LINTELS, AS LISTED ABOVE, OVER ALL OPENINGS IN MASONRY WALLS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 2. MINIMUM 8" END BEARING TO 8" SPAN. 16" MIN. END BEARING FROM 8" TO 15" SPAN. CELLS BEARED ON ARE TO BE REINFORCED WITH SIMILAR VERTICAL WALL REBAR AND TO BE GROUTED SOLID.
 3. BEAMS, LINTELS, SHELF ANGLES, ETC. SUPPORTING MASONRY SHALL BE TEMPORARILY BRACED AND/OR SHORED UNTIL MASONRY FOR ONE STORY (OR MORE, AS REQD. TO MAKE IT LATERALLY STABLE) HAS HARDENED.
 4. REINFORCING STEEL TO HAVE 3" MIN. BOTTOM COVER.
 5. IF THE DISTANCE BETWEEN TWO ADJACENT OPENINGS IS LESS THAN 2'-0", THE LINTEL IS TO SPAN OVER BOTH OPENINGS. THE SPAN SHALL BE THE SUM OF WIDTH OF BOTH OPENINGS AND THE DISTANCE BETWEEN THEM.



- 3#5 AT CENTER OF WALL
- PROVIDE 3'-0" LAP SPLICE FOR ALL REBAR
- FILL MASONRY SOLID WITH 3000 PSI GROUT



4
SS2
CMU - LINTEL SCHEDULE
1/2" = 1'-0"

5
SS2
CMU - TYP. MASONRY JAMB DETAIL
1" = 1'-0"

6
SS2
CMU LINTEL @ EXIST CMU
1" = 1'-0"

LINTEL SCHEDULE AT EXISTING INFILL CMU WALLS			
SPAN	4" WYTHE	6" WYTHE	8" WYTHE
0' TO 4'	L3-1/2x3-1/2x1/4	L5x5x5/16	(2) L3-1/2x3-1/2x1/4
4' TO 6'	L3-1/2x3-1/2x1/4	L5x5x5/16	(2) L3-1/2x3-1/2x1/4
6' TO 8'	L4x3-1/2x3/8	L5x5x5/16	(2) L4x3-1/2x3/8
8' TO 10'-6"	L5x3-1/2x1/2	L5x5x1/2	(2) L5x3-1/2x1/2

- NOTES:
1. PROVIDE LINTELS, AS LISTED ABOVE, OVER ALL OPENINGS IN MASONRY WALLS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 2. MINIMUM 8" END BEARING.
 3. WALLS TO BE TEMPORARILY BRACED AND/OR SHORED UNTIL LINTEL IS INSTALLED.
 4. IF THE DISTANCE BETWEEN TWO ADJACENT OPENINGS IS LESS THAN 2'-0", THE LINTEL IS TO SPAN OVER BOTH OPENINGS. THE SPAN SHALL BE THE SUM OF WIDTH OF BOTH OPENINGS AND THE DISTANCE BETWEEN THEM.
 5. FOR DOUBLE ANGLE LINTELS, SEE DETAIL 6 / S5.2

7
SS2
CMU - LINTEL AT EXISTING WALL SCHEDULE
1/2" = 1'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION



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PROJECT TEAM

ARCHITECT:

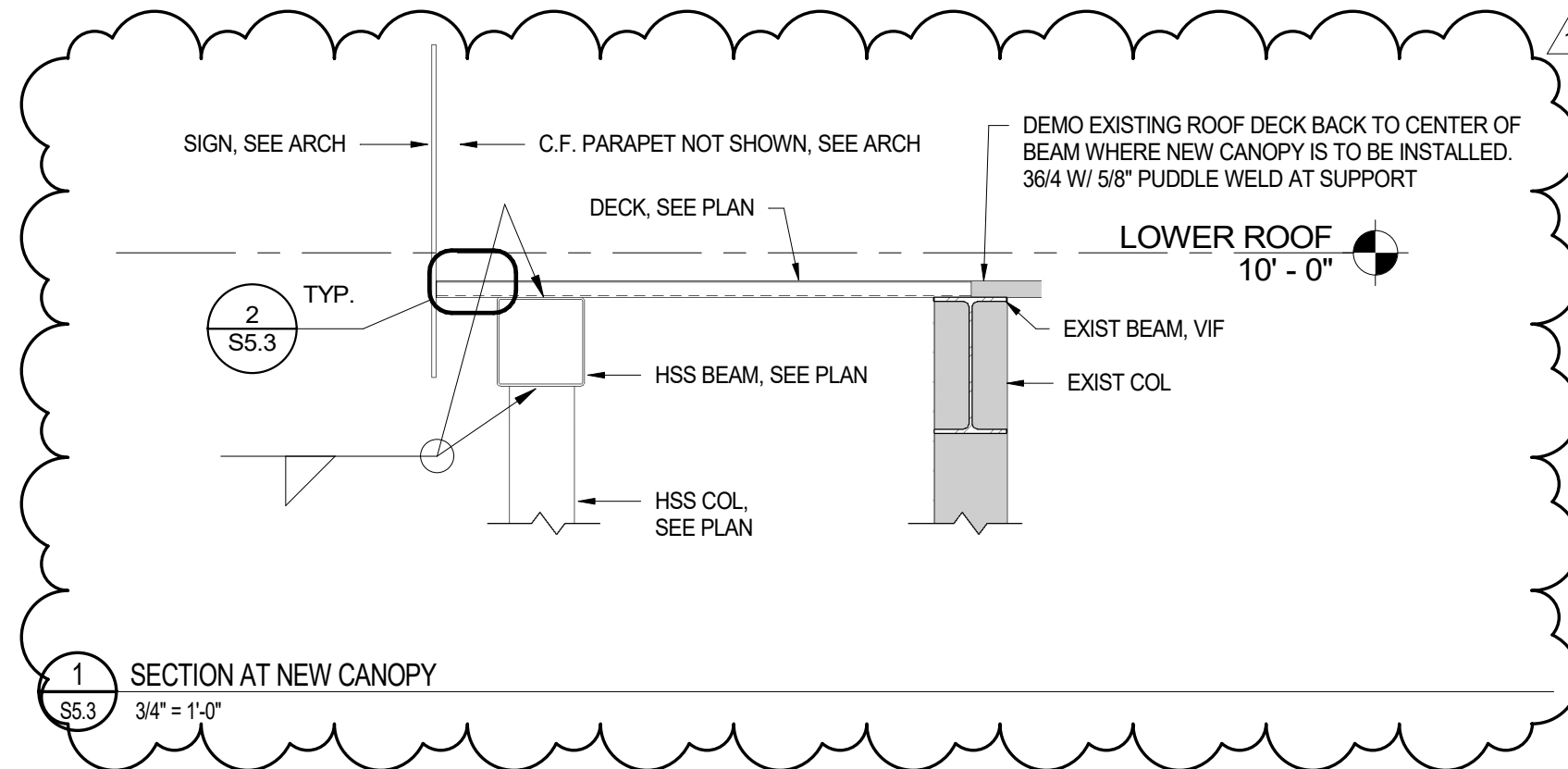
STRUCTURAL ENGINEER:

SYSTEMS ENGINEER:

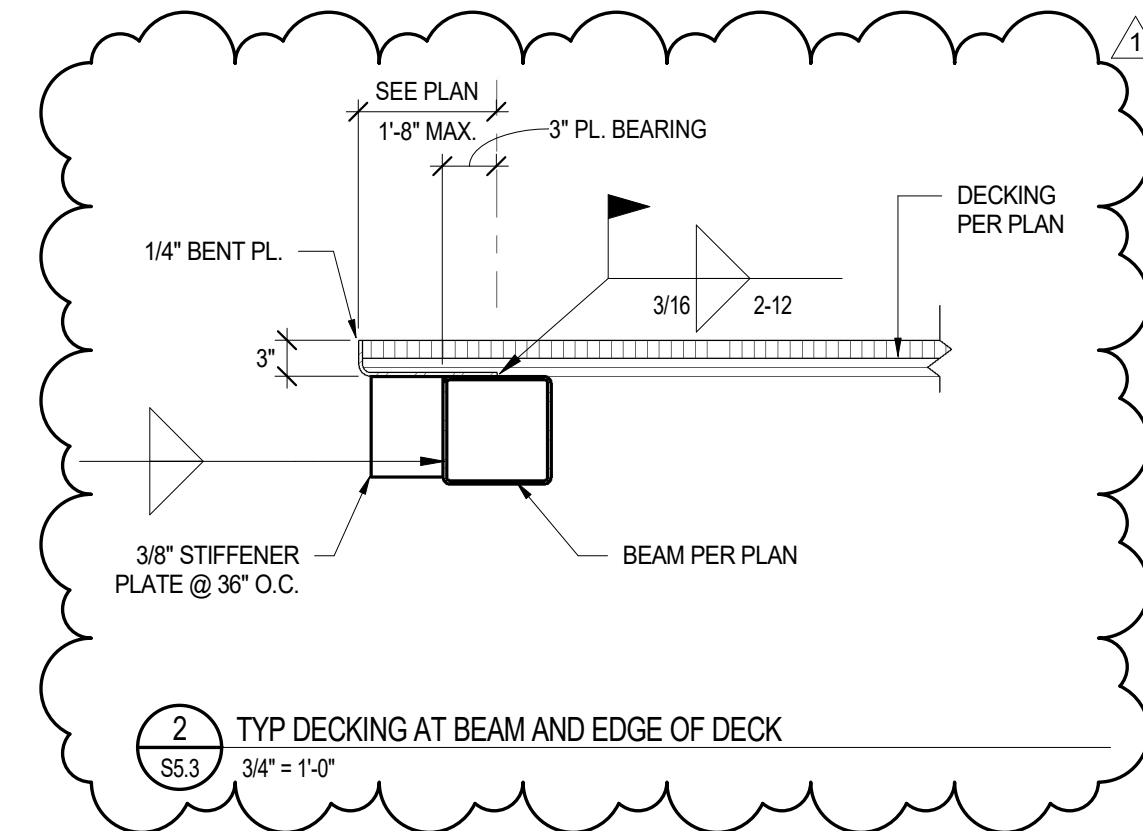
CITY OF PHILADELPHIA
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1515 ARCH STREET
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PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

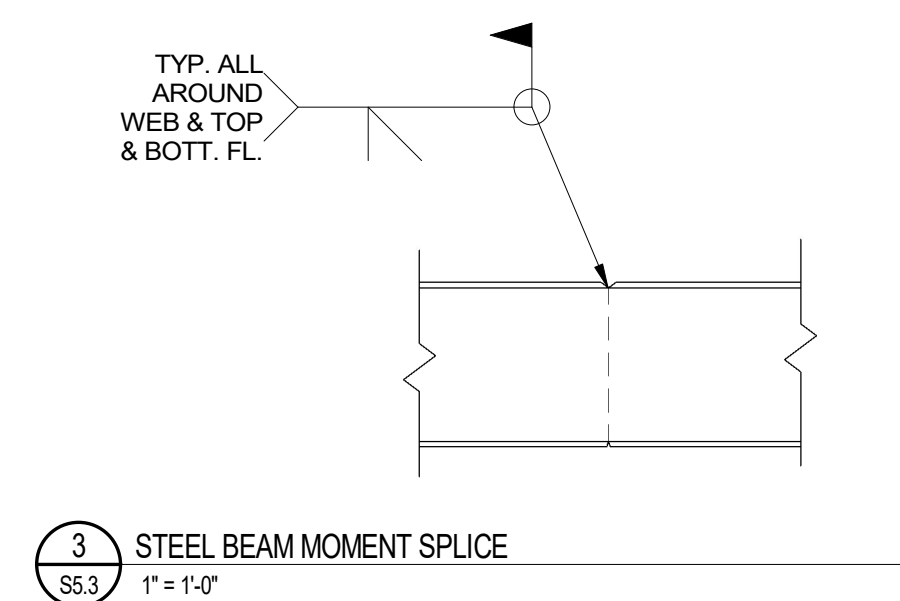
DRAWING TITLE	
CMU DETAILS	
PROJECT NO. 10-20-XXXX-01	DRAWING NO. S5.2
DATE: 02.07.2020	SCALE: AS NOTED
DRAWN BY: SB	CHECKED BY: CR FILE:
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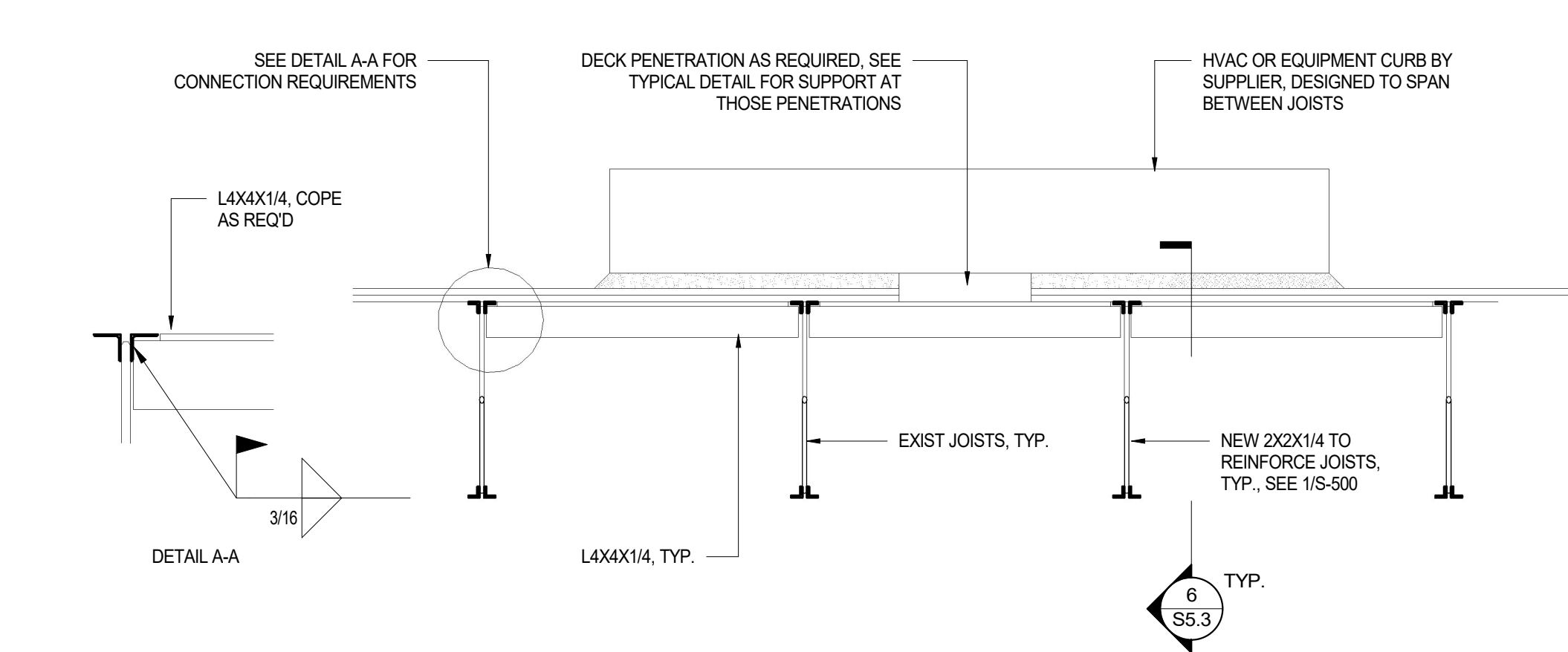
1 SECTION AT NEW CANOPY
3/4" = 1'-0"



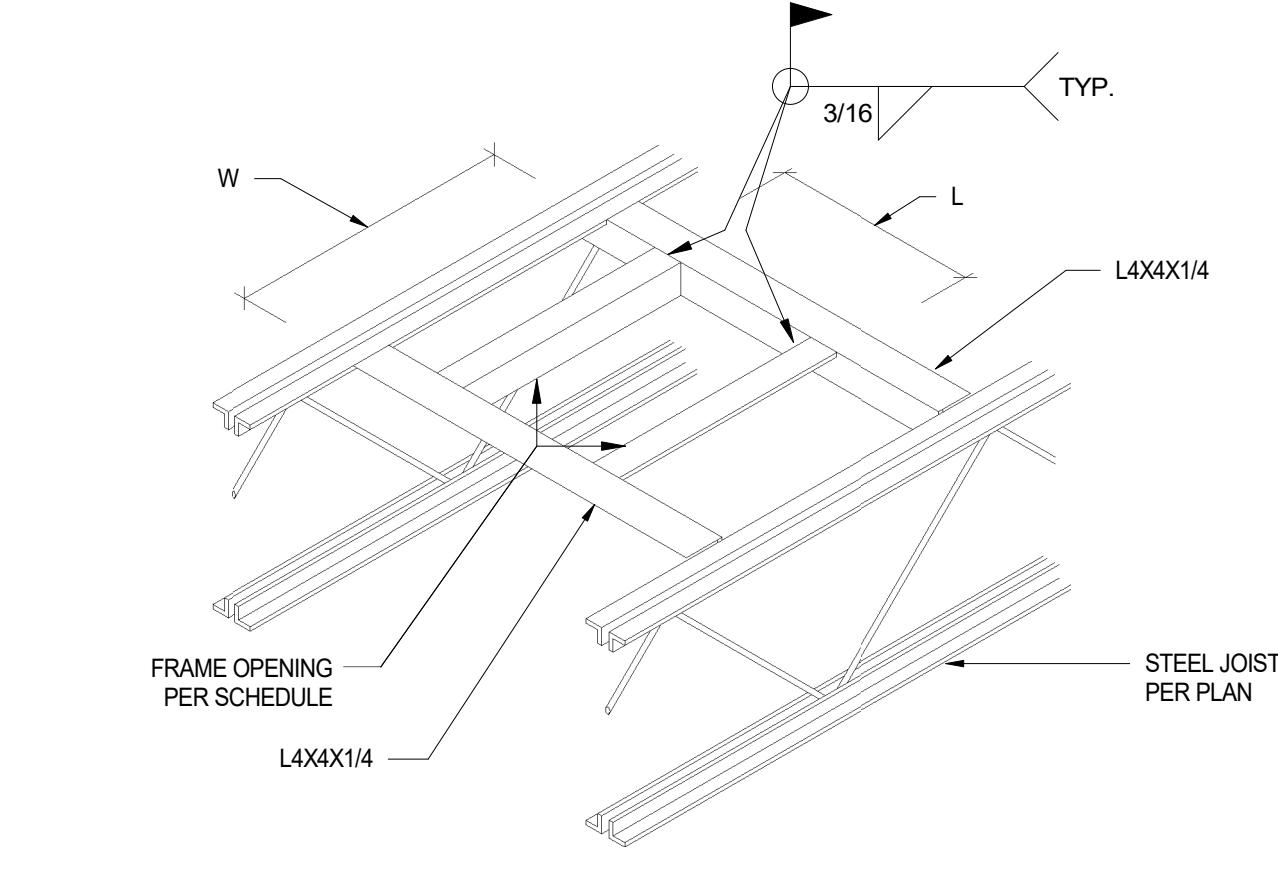
2 TYP DECKING AT BEAM AND EDGE OF DECK
3/4" = 1'-0"



3 STEEL BEAM MOMENT SPLICE
1" = 1'-0"

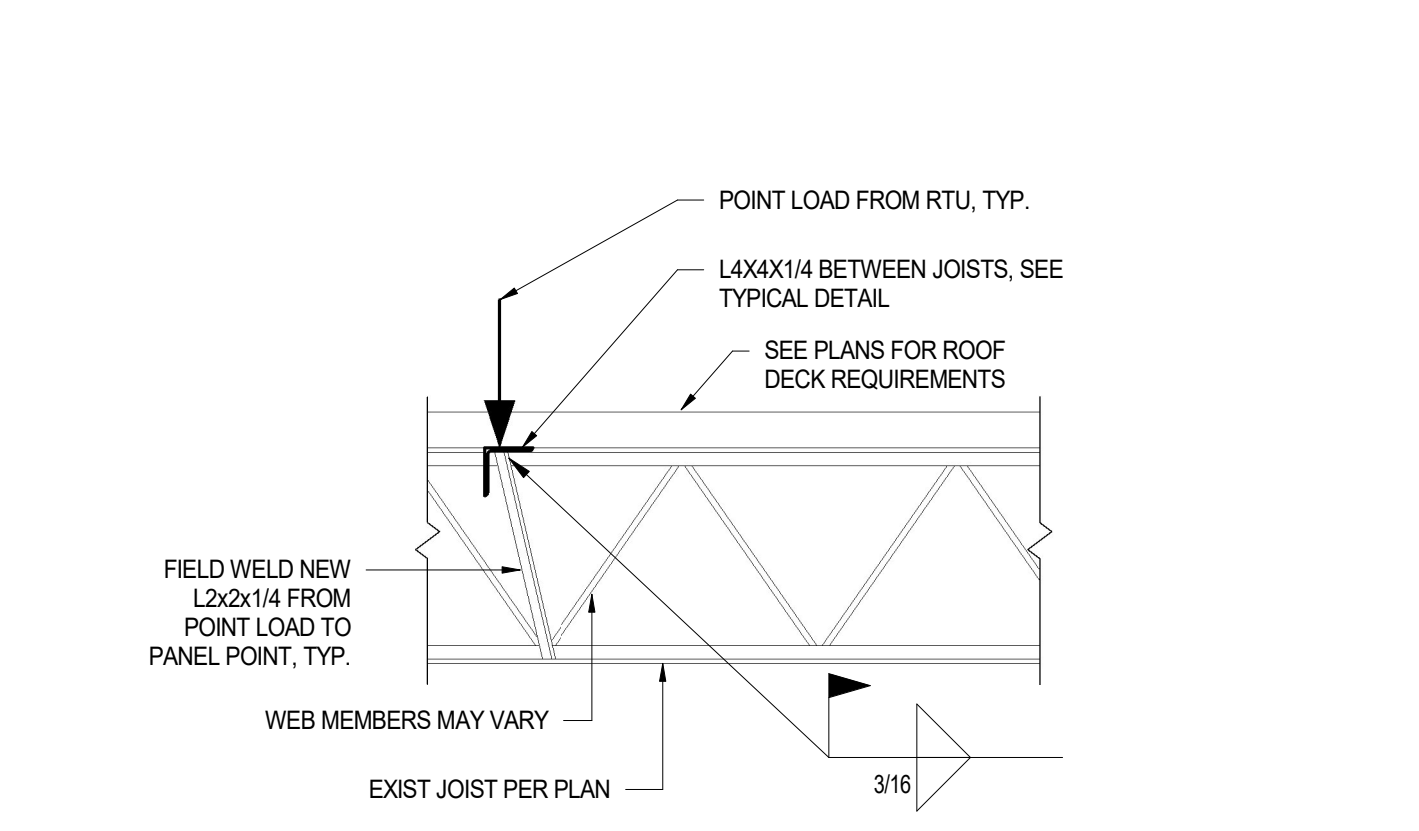


4 TYPICAL ROOF TOP EQUIPMENT SUPPORT
3/4" = 1'-0"

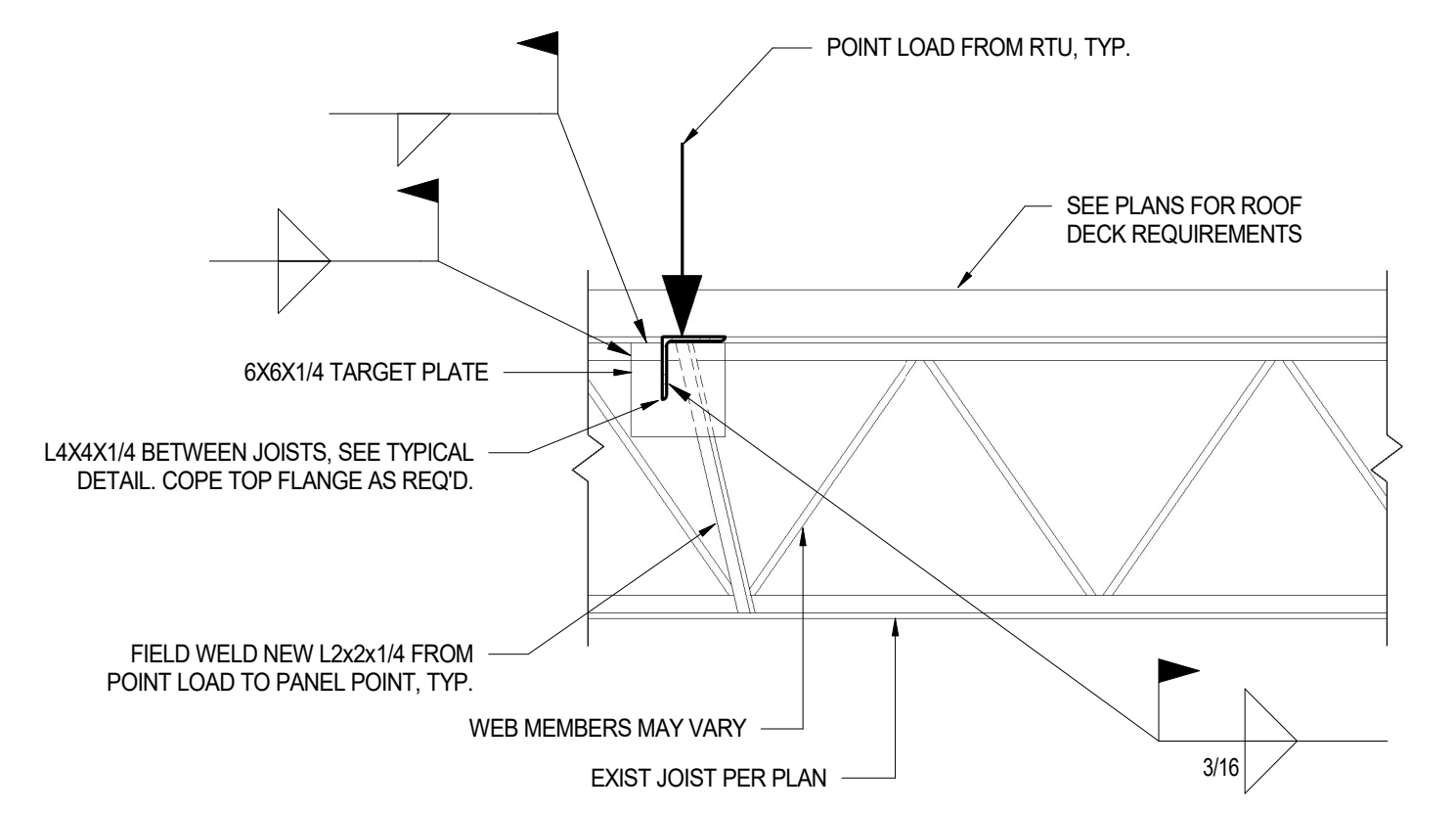


5 TYPICAL DECKING SUPPORT AT PENETRATIONS
3/4" = 1'-0"

DECKING OPENING FRAMING SCHEDULE	
LENGTH "L" x WIDTH "W"	FRAMING AT SLAB EDGE
0' < L < 13'	16 GAGE PLATE, MINIMUM OF 6" BEYOND EACH SIDE OF OPENING
0' < W < 13'	
13' < L < 4'-0"	L4x4x1/4"
13' < W < 4'-0"	
4'-0" < L < 6'-8"	L5x3x5/16"
4'-0" < W < 9'-0"	



6 TYPICAL REINFORCEMENT AT POINT LOADS1
3/4" = 1'-0"

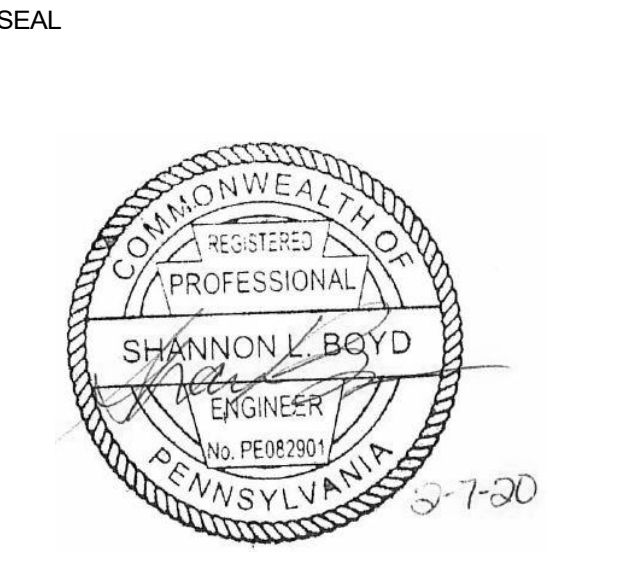


7 ALT. TYPICAL REINFORCEMENT AT POINT LOADS (ALTERNATE 6/S5.3)
1" = 1'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	3/6/20	Addendum #2



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Sara Nordstrom, 215-683-0253



PROJECT TEAM
ARCHITECT:

STRUCTURAL ENGINEER:

SYSTEMS ENGINEER:

CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
STEEL DETAILS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. S5.3
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: SB	
CHECKED BY: CR	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.