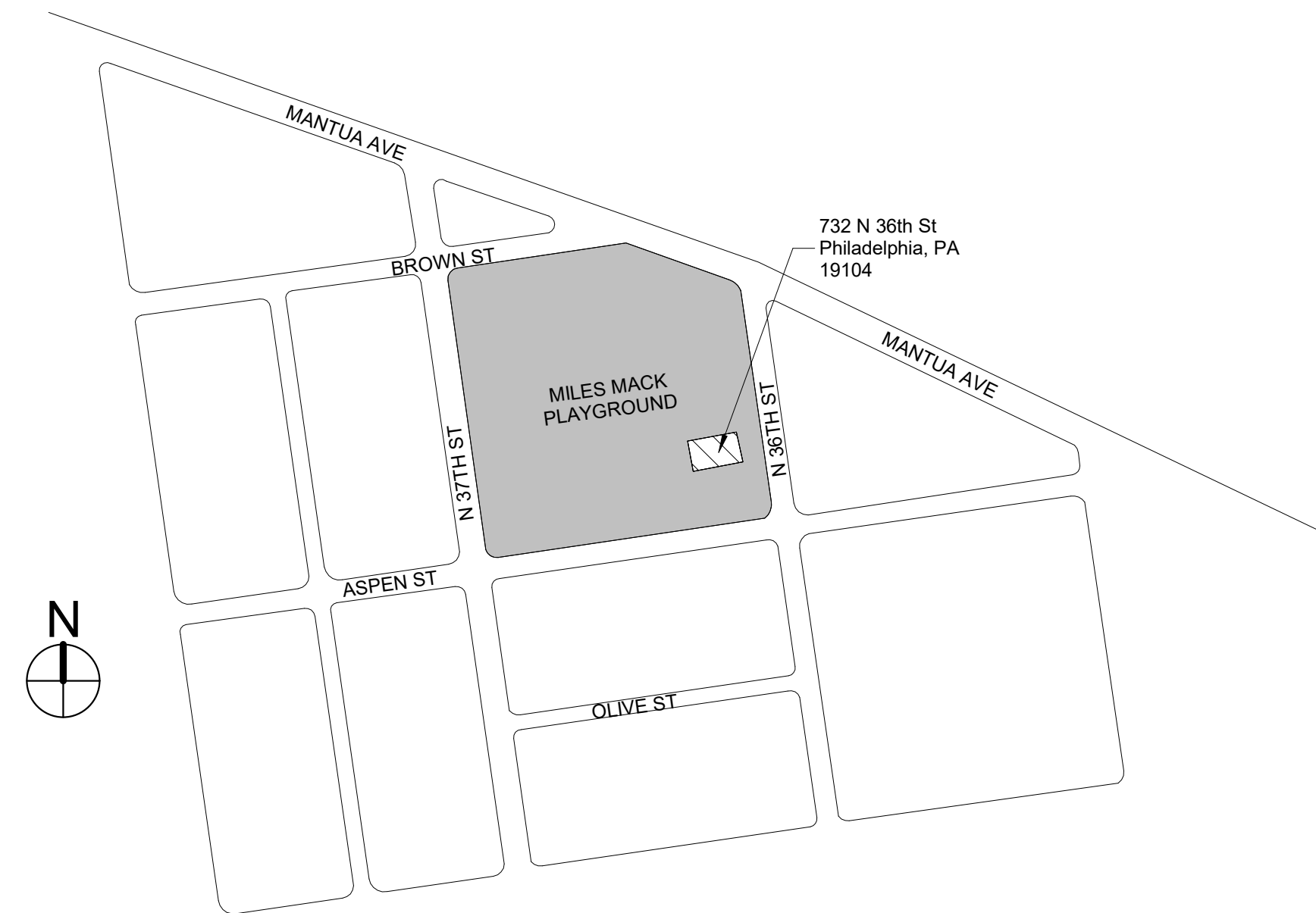


MILES MACK BUILDING RENOVATION

732 N 36th St #66, Philadelphia, PA 19104



ARCHITECTURAL & SYSTEMS

100% Submission
- 2/7/20

SHEET NUMBER	SHEET NAME
G0.0	COVER SHEET
G0.1	REFERENCE PLAN
G0.2	SYMBOLS & ABBREVIATIONS
G0.3	LIFE SAFETY PLAN & CODE ANALYSIS
S1.1	STRUCTURAL PLANS
S5.1	CONCRETE DETAILS & NOTES
S5.2	CMU DETAILS
S5.3	STEEL DETAILS
A1.0	DEMOLITION PLANS
A1.1	DEMOLITION RCP
A1.2	DEMOLITION ELEVATIONS
A2.0	FLOOR PLAN AND WALL TYPES
A2.1	ROOF PLAN & DETAILS
A3.0	REFLECTED CEILING PLANS
A4.0	EXTERIOR ELEVATIONS
A4.1	ILLUSTRATIVE EXTERIOR ELEVATIONS
A5.0	WALL SECTIONS & DETAILS
A5.1	MISCELLANEOUS DETAILS
A6.0	ENLARGED KITCHENETTE PLAN AND DETAILS
A6.1	ENLARGED FLOOR PLANS & ELEVATIONS
A7.0	SCHEDULES
A8.0	FINISH PLAN
M0.01	SYMBOLS, NOTES, DETAILS & ABBREVIATIONS
MD1.01	FLOOR PLAN - MECHANICAL DEMOLITION
M1.01	FLOOR PLAN - MECHANICAL
M1.02	ROOF PLAN - MECHANICAL
M6.01	SCHEDULES - MECHANICAL
M7.01	CONTROLS - MECHANICAL
P0.01	SYMBOLS, NOTES, SCHEDULES, DETAILS, & ABBREVIATIONS
PD1.01	FLOOR PLAN - PLUMBING DEMOLITION
P1.01	FOUNDATION PLAN - PLUMBING
P1.02	FLOOR PLAN - PLUMBING
P1.03	ROOF PLAN - PLUMBING
E0.01	SYMBOLS, SCHEDULES, NOTES, AND ABBREVIATIONS
E1.01	FLOOR PLAN ELECTRICAL DEMOLITION
E2.01	FLOOR PLAN - ELECTRICAL
E2.02	FLOOR PLAN - ELECTRICAL
E2.03	FLOOR PLAN - ELECTRICAL
E2.04	FLOOR PLAN - ELECTRICAL
E3.01	PANEL SCHEDULES & ONE-LINE DIAGRAMS

REVISIONS		
ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
Philadelphia Parks & Recreation
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1515 Arch Street, 11th Floor
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Contact: Charles Motterhead, 215.683-4466

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PROJECT TEAM

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CITY OF PHILADELPHIA
REBUILD PHILADELPHIA & PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
COVER SHEET

PROJECT NO. 10-20-XXXX-01	DRAWING NO. G0.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

BROWN ST

MANTUA AVE

N 37TH ST

N 36TH ST

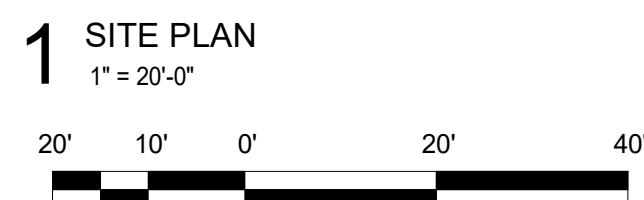
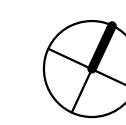
EXISTING BASEBALL FIELD

MILES MACK BUILDING

EXISTING BASKETBALL COURT

ASPEN ST

736 N 36TH ST, PHILADELPHIA PA 19104



GENERAL NOTES:

1. COORDINATE LAYDOWN SPACE, STAGING AREA, AND SITE ACCESS WITH OWNER.
2. PROVIDE 8' HIGH CHAIN LINK FENCE WITH PAIR OF 3' WIDE GATES WITH LOCK AT PERIMETER OF BUILDING. COORDINATE EXTENTS WITH OWNER.
3. CONTRACTOR IS RESPONSIBLE FOR SECURING CONSTRUCTION SITE AT ALL TIMES.
4. SITE WORK ON PROPERTY WILL BE OCCURRING SIMULTANEOUSLY UNDER SEPERATE CONTRACT. CONTRACTOR TO COORDINATE WORK WITH OWNER.



PROJECT COORDINATOR
Philadelphia Parks & Recreation
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1515 Arch Street, 11th Floor
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PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
REFERENCE PLAN

PROJECT NO. 10-20-XXXX-01	DRAWING NO. G0.1
DATE: 02.07.2020	
SCALE: AS NOTED	
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CHECKED BY:	FILE:

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100% Submission - 2/7/20

3628 BROWN ST
(NOT IN CONTRACT)

3626 BROWN ST
(NOT IN CONTRACT)

3624 BROWN ST
(NOT IN CONTRACT)

779 N 367H ST
(NOT IN CONTRACT)

777 N 367H ST
(NOT IN CONTRACT)

775 N 367H ST
(NOT IN CONTRACT)

773 N 367H ST
(NOT IN CONTRACT)

771 N 367H ST
(NOT IN CONTRACT)

769 N 367H ST
(NOT IN CONTRACT)

767 N 367H ST
(NOT IN CONTRACT)

765 N 367H ST
(NOT IN CONTRACT)

763 N 367H ST
(NOT IN CONTRACT)

761 N 367H ST
(NOT IN CONTRACT)

759 N 367H ST
(NOT IN CONTRACT)

757 N 367H ST
(NOT IN CONTRACT)

755 N 367H ST
(NOT IN CONTRACT)

753 N 367H ST
(NOT IN CONTRACT)

751 N 367H ST
(NOT IN CONTRACT)

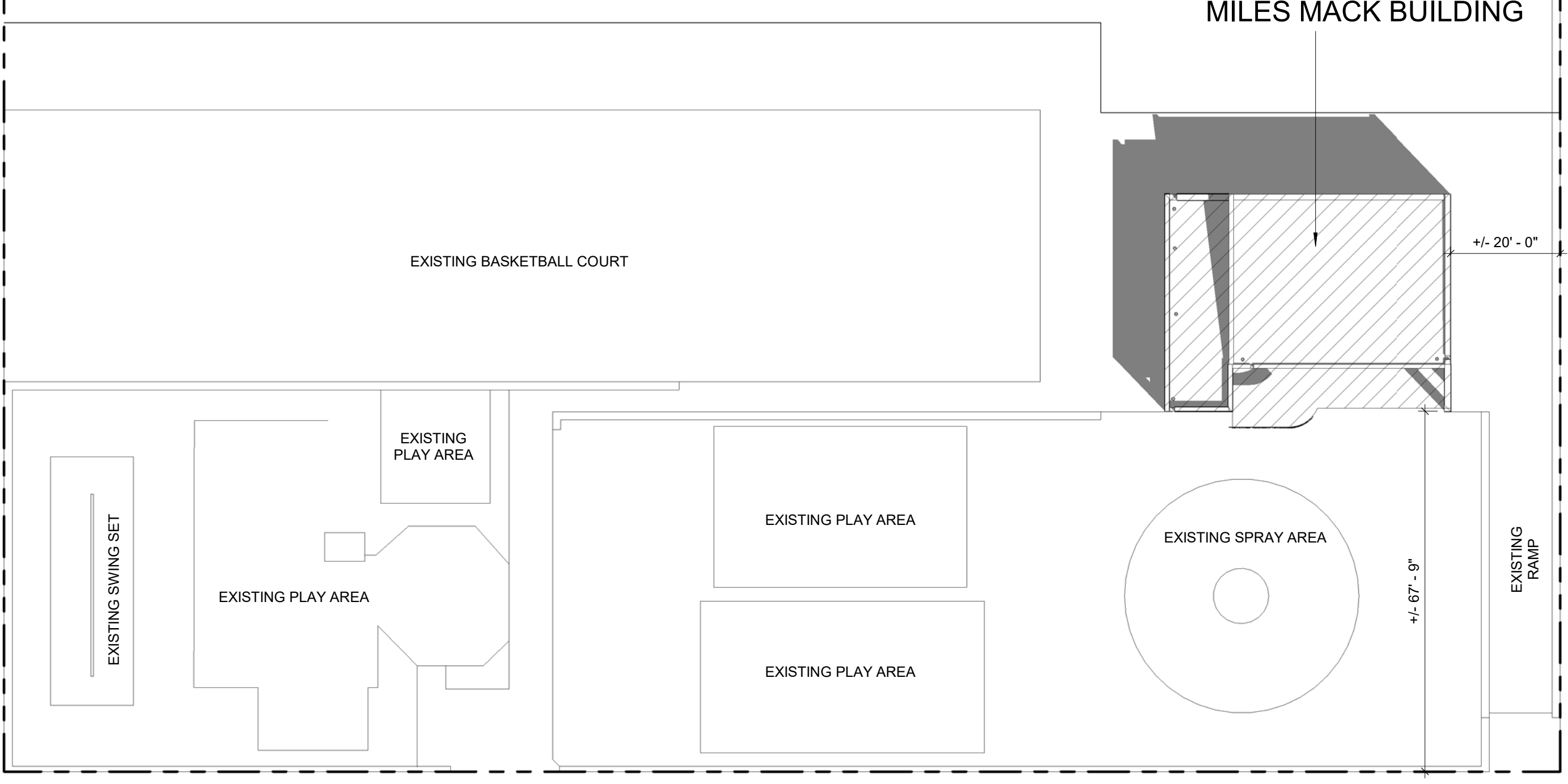
749 N 367H ST
(NOT IN CONTRACT)

747 N 367H ST
(NOT IN CONTRACT)

745 N 367H ST
(NOT IN CONTRACT)

743 N 367H ST
(NOT IN CONTRACT)

741 N 367H ST
(NOT IN CONTRACT)



CODE SUMMARY	
BUILDING CODE	IEBC 2018, IBC 2018
CONSTRUCTION CLASSIFICATION	TYPE V-B
PRIMARY USE GROUP	A-3

CODE ANALYSIS

JURISDICTION:

CITY: PHILADELPHIA, PENNSYLVANIA
 ADDRESS: DEPARTMENT OF LICENSES AND INSPECTIONS
 1401 JOHN F. KENNEDY BOULEVARD
 PHILADELPHIA, PA 19102
 (215) 686-8686
 WWW.PHILA.GOV

LISTING OF APPLICABLE CODES

- PHILADELPHIA CODE
- THE PHILADELPHIA ADMINISTRATIVE CODE
 - PHILADELPHIA BUILDING CODE
 - PHILADELPHIA MECHANICAL CODE
 - PHILADELPHIA ELECTRICAL CODE
 - PHILADELPHIA PERFORMANCE CODE
 - PHILADELPHIA ENERGY CONSERVATION CODE
 - PHILADELPHIA FIRE CODE
 - PHILADELPHIA FUEL GAS CODE
 - PHILADELPHIA ZONING CODE
 - PHILADELPHIA PLUMBING CODE

INTERNATIONAL CODE COUNCIL

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2012 INTERNATIONAL BUILDING CODE (CHAPTER 11)
- 2012 INTERNATIONAL BUILDING CODE (APPENDIX E)
- 2018 ICC A117.1
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 ICC PERFORMANCE CODE
- AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)
- STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13)

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3, SECTION 304.1):

PRIMARY USE: A-3 (IBC SECTION 303.4)

IEBC 2018

SECTION 603, ALTERATION—LEVEL 2
603.1 SCOPE. INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

GENERAL BUILDING HEIGHTS AND AREAS (IBC CHAPTER 5):

ALLOWABLE BUILDING HEIGHT AND AREAS:

- TYPE VB (IBC SECTION 503)
- HEIGHT: 40 FEET; AREA: 6,000 SF

EXISTING BUILDING HEIGHT AND AREAS:

- NO. OF EXISTING STORIES = 1 STORY
- MAXIMUM BUILDING HEIGHT = 15'-0"
- BUILDING SQUARE FOOTAGE = 1,781 SF

TYPES OF CONSTRUCTION (IBC CHAPTER 6):

- CONSTRUCTION TYPE 5B (IBC SECTION 602.2)

- 602.5 TYPE 5B IS ANY TYPE OF CONSTRUCTION IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS ARE OF ANY MATERIALS PERMITTED BY THIS CODE.

- FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) (TABLE 601) =

PRIMARY STRUCTURAL FRAME:	0 HOURS
EXTERIOR BEARING WALLS:	0 HOURS
INTERIOR BEARING WALLS:	0 HOURS
EXTERIOR NONBEARING WALLS AND PARTITIONS:	0 HOURS
INTERIOR NONBEARING WALLS AND PARTITIONS:	0 HOURS
FLOOR CONSTRUCTION AND SECONDARY MEMBERS:	0 HOURS
ROOF CONSTRUCTION AND SECONDARY MEMBERS:	0 HOURS

FIRE RESISTANCE RATING OF EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 602)=

- EXTERIOR WALLS $X < 5$ = 1 HOUR
- EXTERIOR WALLS $5 \leq X < 10$ = 1 HOUR
- EXTERIOR WALLS $10 \leq X < 30$ = 0 HOUR
- EXTERIOR WALLS $X \geq 30$ = 0 HOUR

THIS IS A FREE STANDING BUILDING WITH NO OTHER BUILDINGS CLOSER THAN 10'

MEANS OF EGRESS (IBC CHAPTER 10): 1

CEILING HEIGHT:

- THE MEANS OF EGRESS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES (SECTION 1003.2).
BUILDING IS IN COMPLIANCE

HEADROOM:

- PROTRUDING OBJECTS ARE PERMITTED TO EXTEND BELOW THE MINIMUM CEILING HEIGHT REQUIRED BY SECTION 1003.2 PROVIDED A MINIMUM HEADROOM OF 80 INCHES SHALL BE PROVIDED FOR ANY WALKING SURFACE, INCLUDING WALKS, CORRIDORS, AISLES AND PASSAGEWAYS. NOT MORE THAN 50 PERCENT OF THE CEILING AREA OF A MEANS OF EGRESS SHALL BE REDUCED IN HEIGHT BY PROTRUDING OBJECTS (SECTION 1003.3.1).
BUILDING IS IN COMPLIANCE

HORIZONTAL PROJECTIONS:

- STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES OVER ANY WALKING SURFACE BETWEEN THE HEIGHTS OF 27 INCHES AND 80 INCHES ABOVE THE WALKING SURFACE (SECTION 1003.3.3).
BUILDING IS IN COMPLIANCE

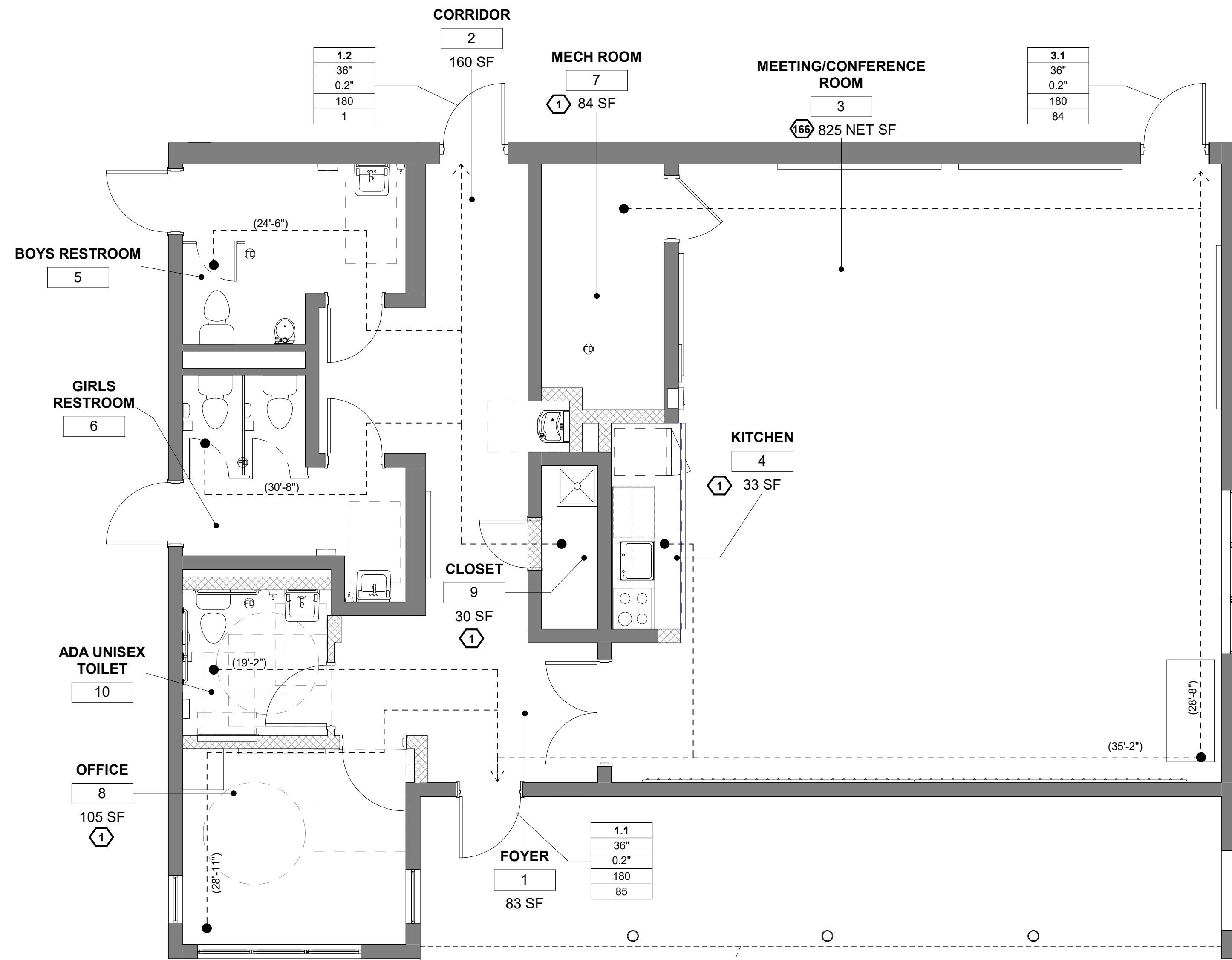
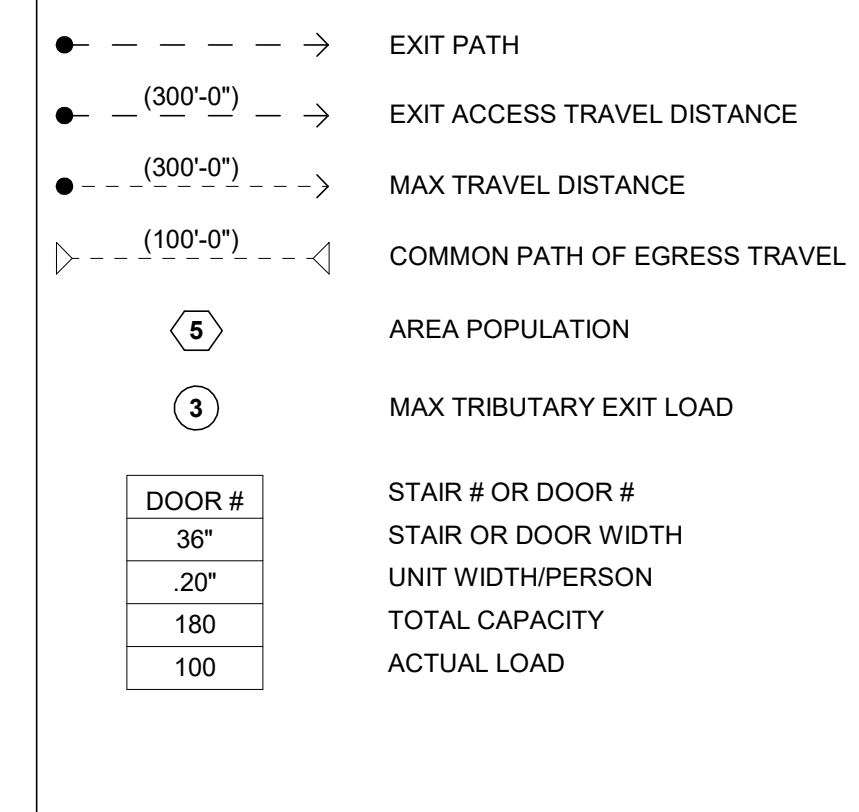
CLEAR WIDTH:

- PROTRUDING OBJECTS SHALL NOT REDUCE THE MINIMUM CLEAR WITH OF ACCESSIBLE ROUTES (SECTION 1003.3.4).
BUILDING IS IN COMPLIANCE

OCCUPANT LOAD (IBC SECTION 1004, IBC TABLE 1004.5):

- ACCESSORY STORAGE AREAS		= 2 OCCUPANTS
- MECHANICAL EQUIPMENT ROOM:	300 GROSS / OCCUPANT	= 1 OCCUPANTS
- BUSINESS AREAS:	150 GROSS / OCCUPANT	= 167 OCCUPANTS
- ASSEMBLY AREAS:	5 NET / OCCUPANT	= 170 OCCUPANTS
- TOTAL OCCUPANTS:		

LIFE SAFETY LEGEND



EGRESS WIDTH (IBC SECTION 1005.3.1-1005.3.2):

- 0.3 INCHES PER OCCUPANT FOR STAIRWAYS
- 0.2 INCHES PER OCCUPANT FOR OTHER EGRESS COMPONENTS

DOOR ENCROACHMENT (IBC SECTION 1005.7):

- DOORS, WHEN FULLY OPENED, AND HANDRAILS SHALL NOT REDUCE THE REQUIRED MEANS OF EGRESS WIDTH BY MORE THAN 7 INCHES. DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE-HALF. OTHER NONSTRUCTURAL PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES SHALL BE PERMITTED TO PROJECT INTO THE REQUIRED WIDTH A MAXIMUM OF 1 1/2 INCHES ON EACH SIDE.

NUMBER OF EXITS AND CONTINUITY (IBC SECTION 1006.3.2):

- THE MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD = 2 EXITS (OCCUPANT LOAD 1-500) (TABLE 1021.1)

SIZE OF DOORS (IBC SECTION 1008.1.1):

- THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF 32 INCHES. THE MAXIMUM WIDTH OF A SWINGING DOOR LEAF SHALL BE 48 INCHES NOMINAL. THE HEIGHT OF DOOR OPENINGS SHALL NOT BE LESS THAN 80 INCHES.

EXIT ACCESS (IBC SECTION 1016):

- EGRESS THROUGH INTERVENING SPACES SHALL COMPLY WITH THIS SECTION (1014.2):

1. EGRESS FROM A ROOM OR SPACE SHALL NOT PASS THROUGH ADJOINING OR INTERVENING ROOMS OR AREAS, EXCEPT WHERE SUCH ADJOINING ROOMS OR AREAS AND THE AREA SERVED ARE ACCESSORY TO ONE OR THE OTHER, ARE NOT A GROUP H OCCUPANCY AND PROVIDE A DISCERNIBLE PATH OF EGRESS TRAVEL TO AN EXIT.

2. AN EXIT ACCESS SHALL NOT PASS THROUGH A ROOM THAT CAN BE LOCKED TO PREVENT EGRESS.

3. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SPACES USED FOR SIMILAR PURPOSES.

- COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 100 FEET IN B OCCUPANCY WITH SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 (TABLE 1014.3)

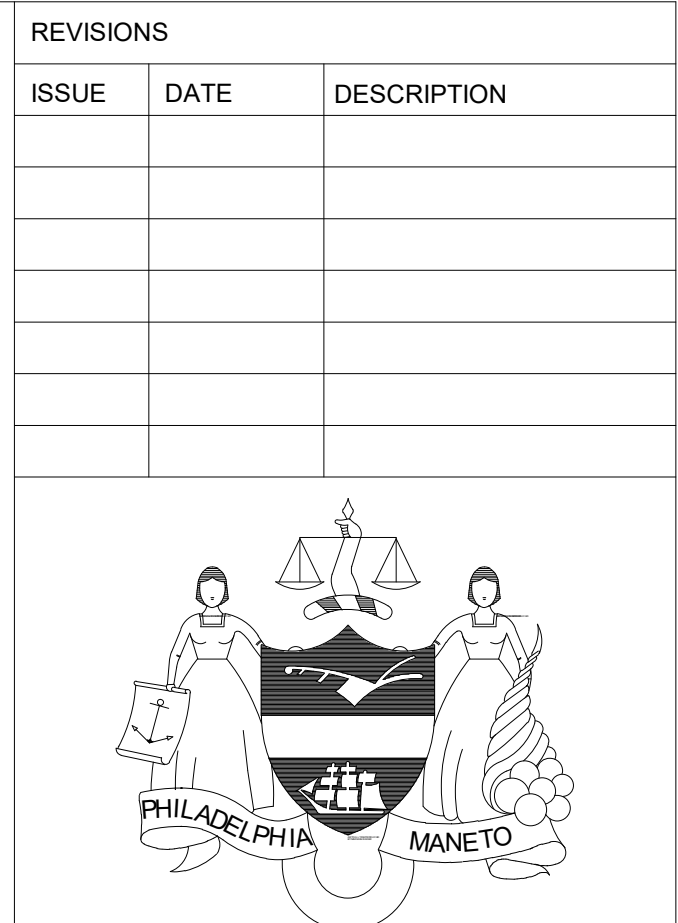
EXIT ACCESS TRAVEL DISTANCE (IBC SECTION 1017):

- EXIT ACCESS TRAVEL DISTANCE SHALL NOT EXCEED 200 FEET IN A OCCUPANCY WITHOUT A SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 (TABLE 1017.2)

CORRIDORS (IBC SECTION 1020) - TABLE 1020.1:

- THE MINIMUM CORRIDOR WIDTH SHALL BE 44"
- 1 HR FIRE RESISTANCE RATING IN CORRIDORS, FOR OCCUPANT LOAD GREATER THAN 30. (TABLE 1020.1)

- WHERE MORE THAN ONE EXIT OR EXIT ACCESS DOORWAY IS REQUIRED, THE EXIT ACCESS SHALL BE ARRANGED SUCH THAT THERE ARE NO DEAD ENDS IN CORRIDORS MORE THAN 20 FEET IN LENGTH (SECTION 1018.4).



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CITY OF PHILADELPHIA
 REBUILD PHILADELPHIA AND
 PHILADELPHIA PARKS & RECREATION
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 LIFE SAFETY PLAN & CODE ANALYSIS

PROJECT NO.
 10-20-XXXX-01

DATE: 02.07.2020

SCALE: AS NOTED

DRAWN BY:

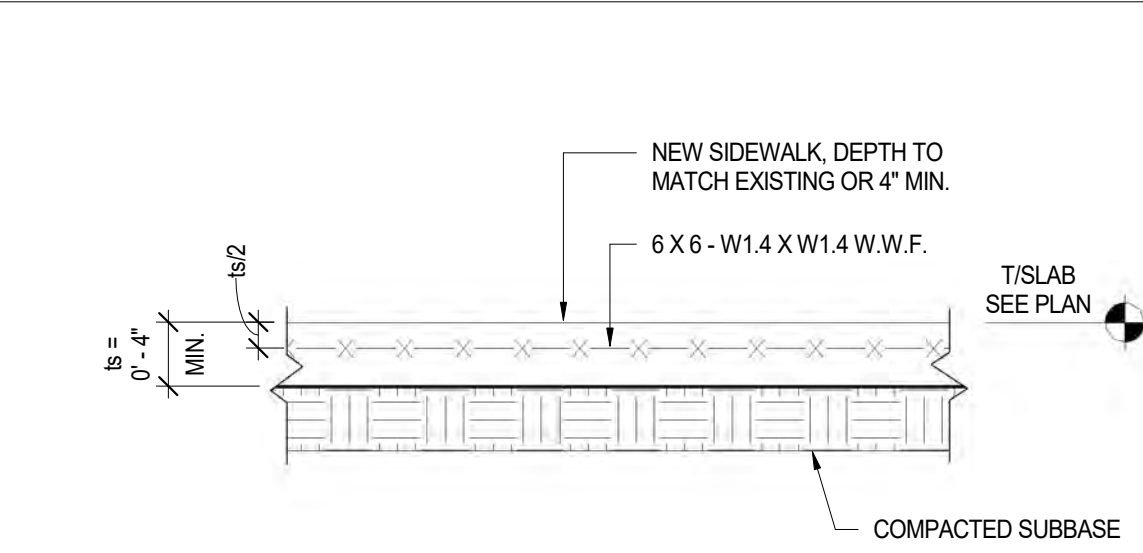
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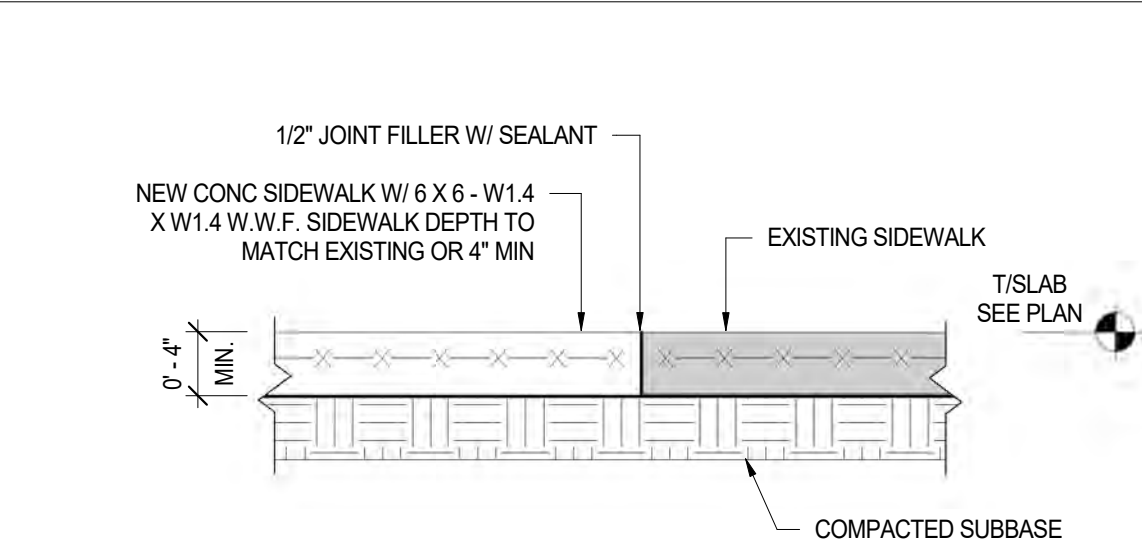
DRAWING NO.
G0.3

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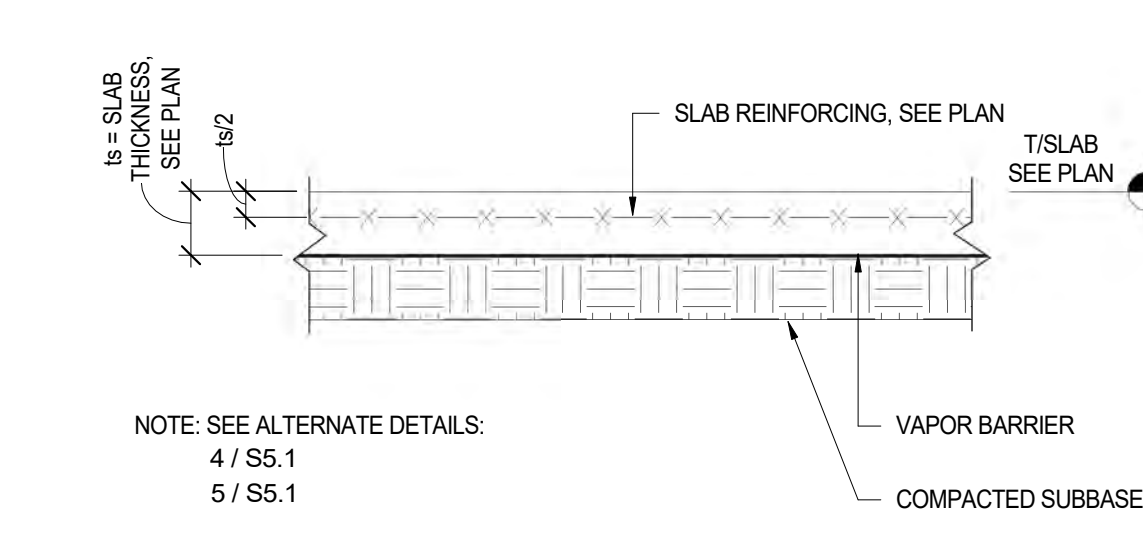
100% Submission - 2/7/20



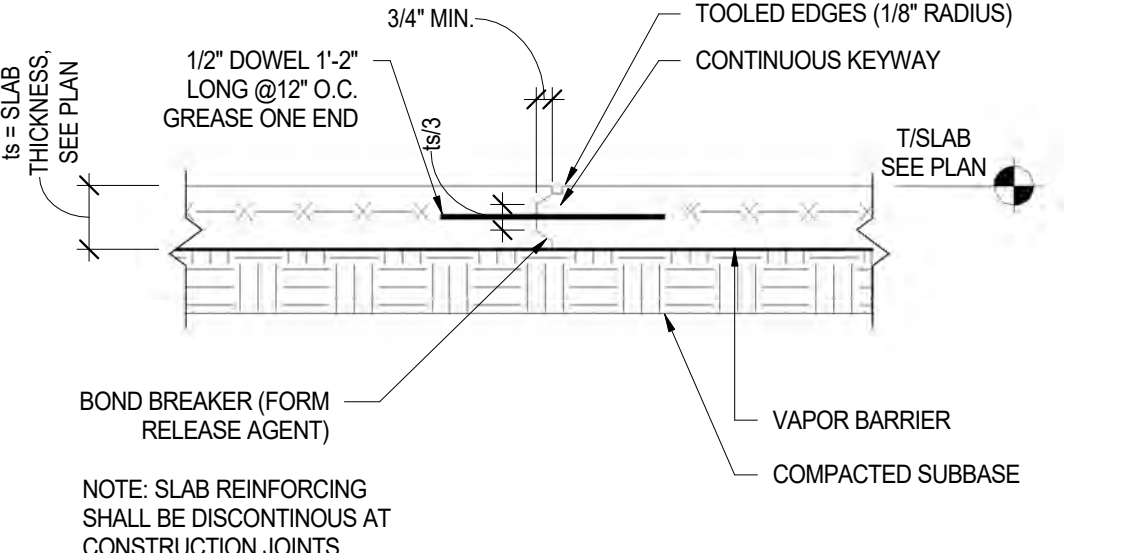
1 CONC - TYP. SIDEWALK SLAB SECTION
S5.1 1" = 1'-0"



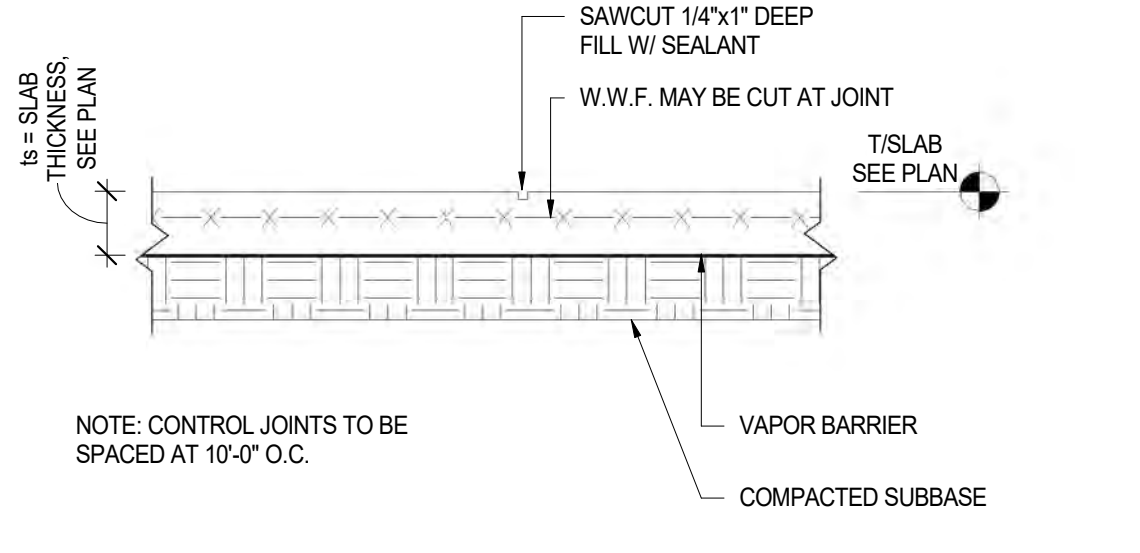
2 CONC - TYP. SLAB ON GRADE DETAIL - ISOLATION
S5.1 1" = 1'-0"



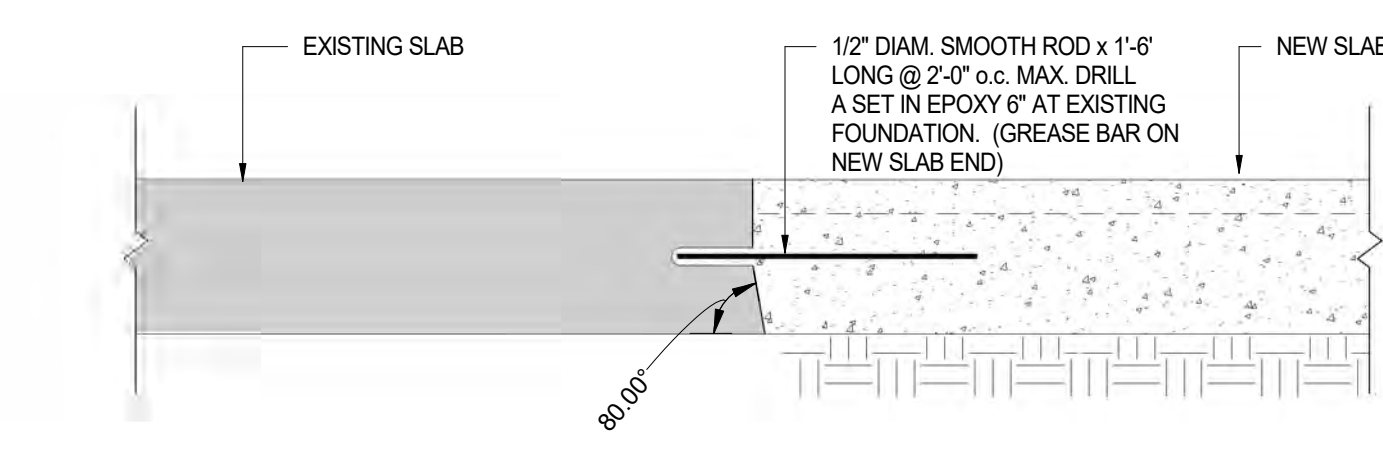
3 CONC - TYP. INTERIOR BUILDING SLAB SECTION
S5.1 1" = 1'-0"



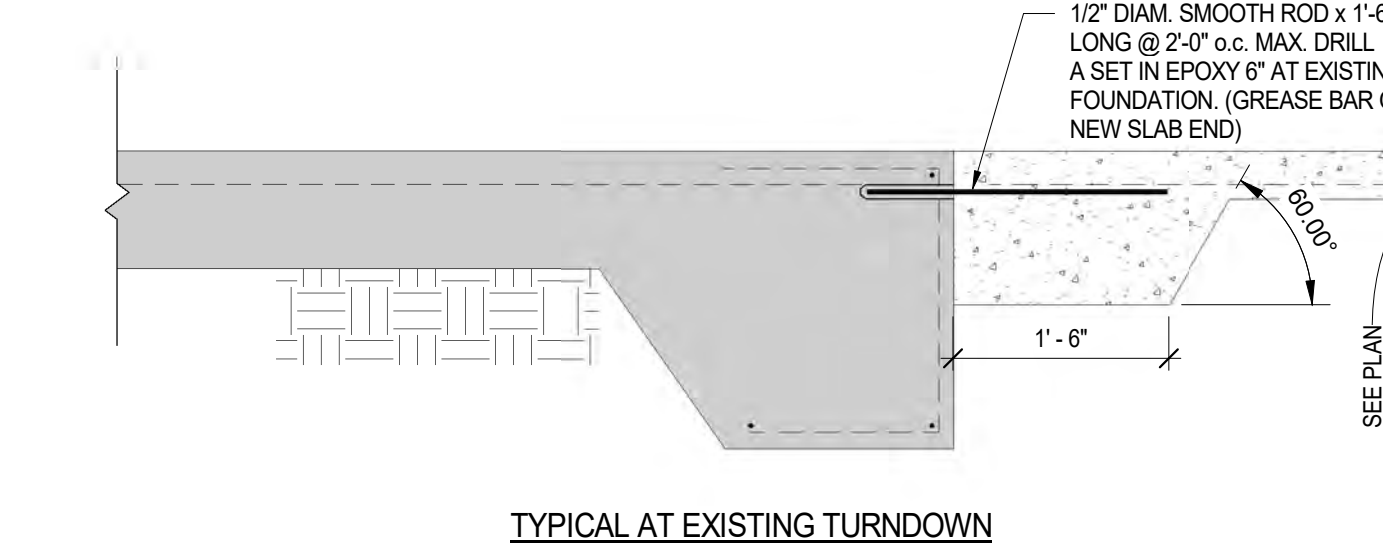
4 CONC - TYP. SLAB ON GRADE DETAIL - CONST. JOINT
S5.1 1" = 1'-0"



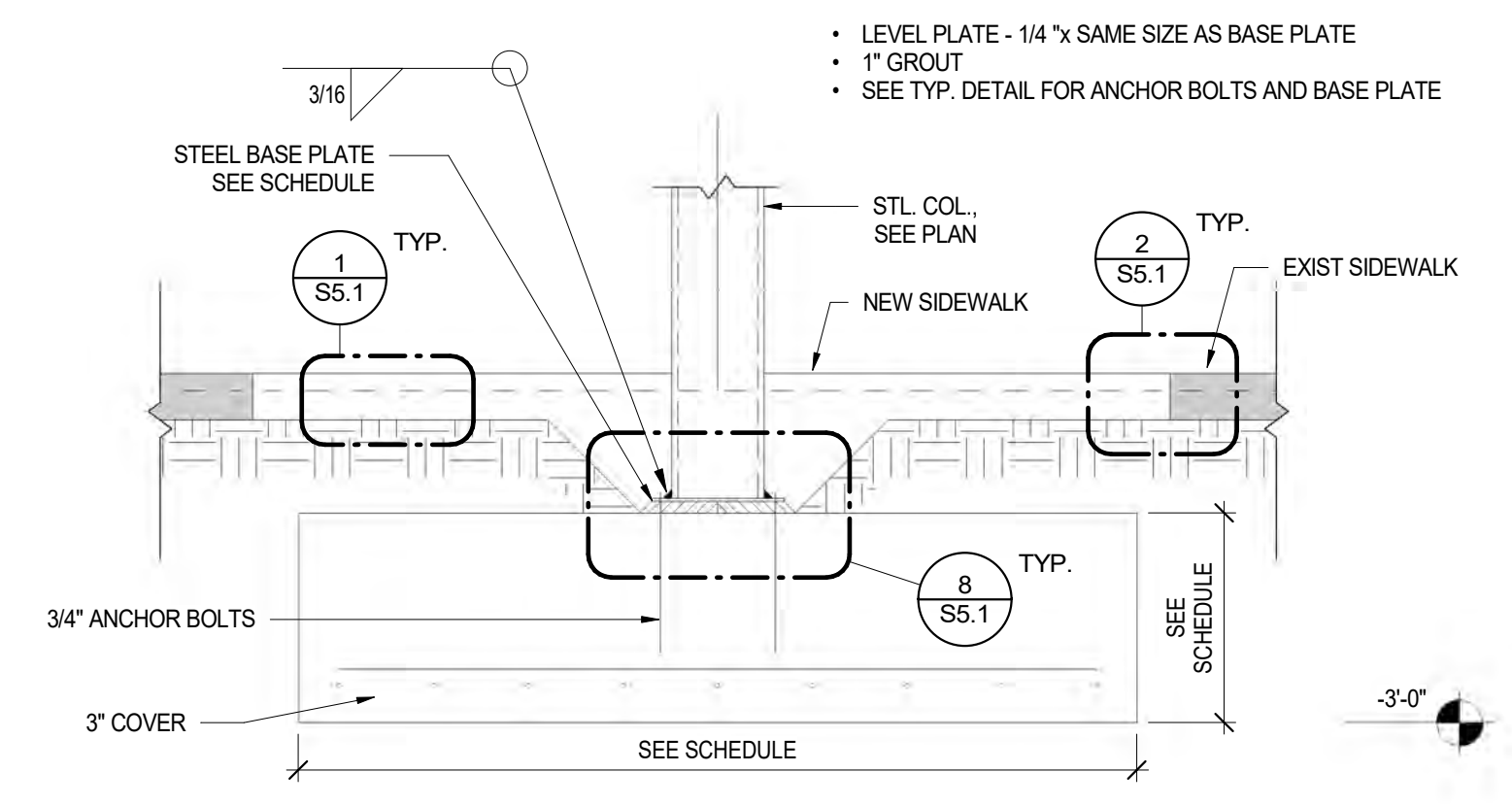
5 CONC - TYP. SLAB ON GRADE DETAIL - CONTROL JOINT
S5.1 1" = 1'-0"



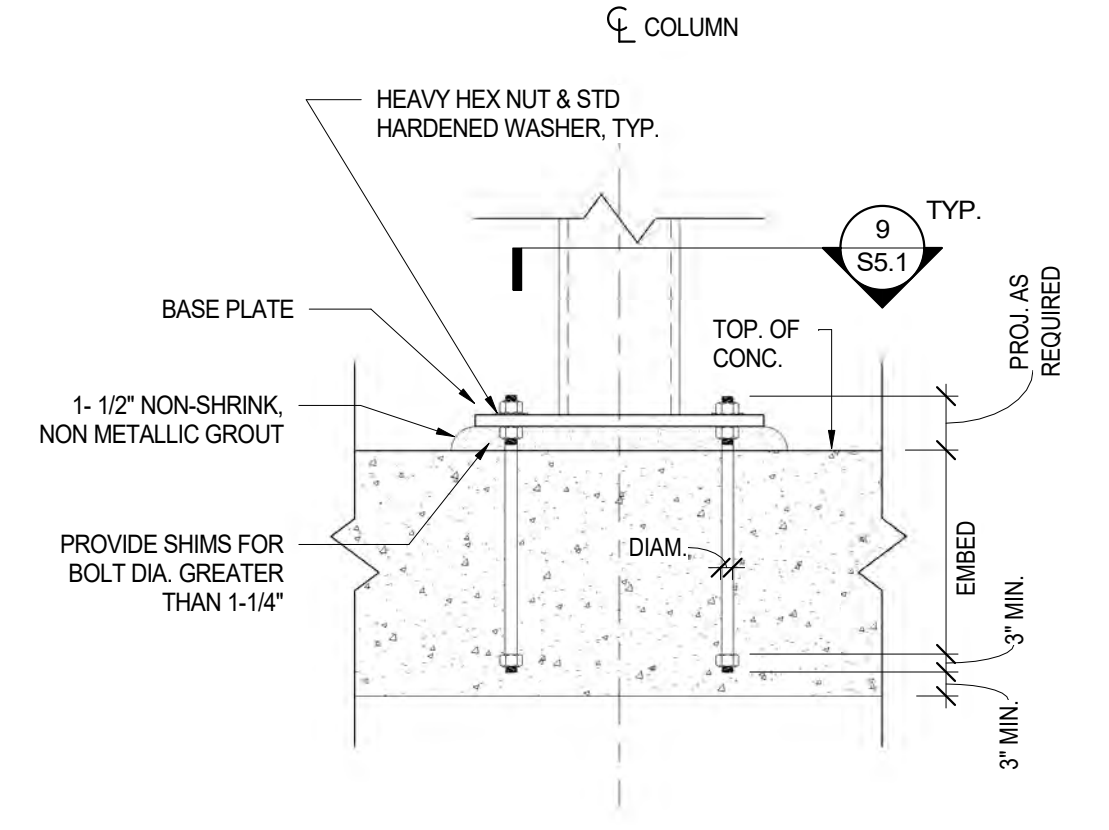
TYPICAL AT ALL OPENINGS WHERE EXISTING SLAB IS CUT AND NO TURNDOWN OCCURS



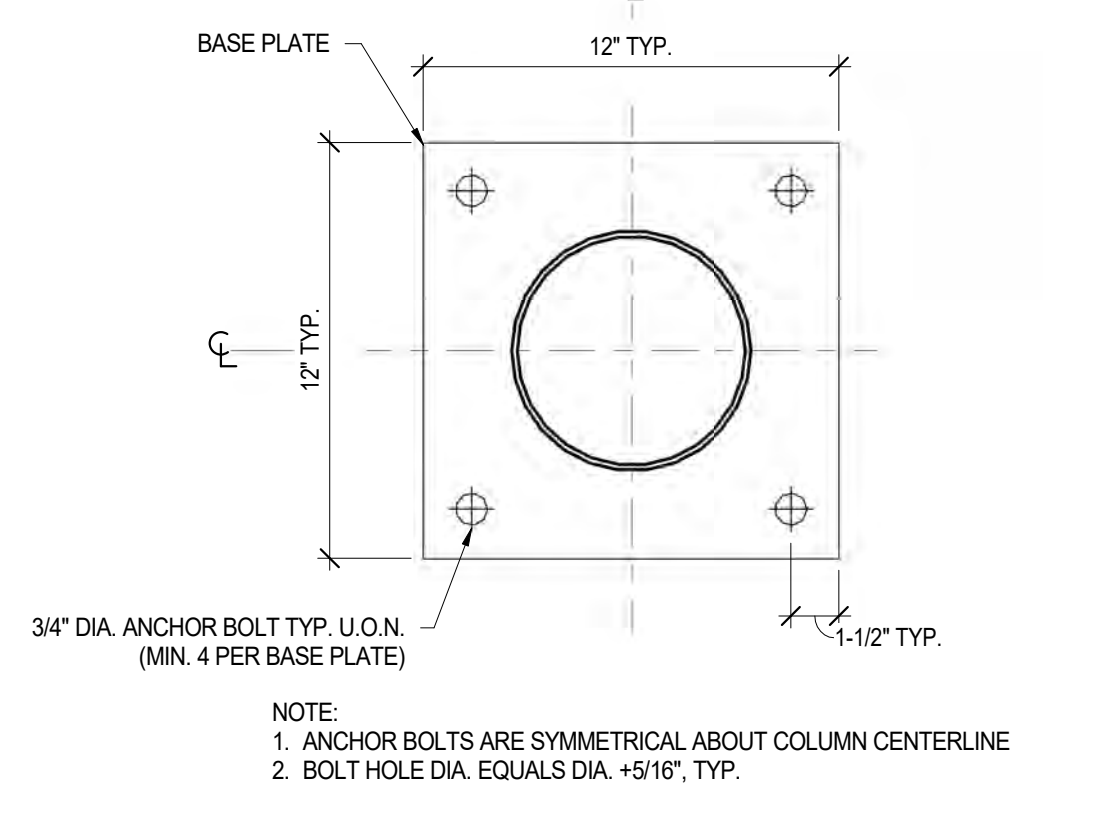
6 NEW/EXISTING SLAB TRANSITION
S5.1 3/4" = 1'-0"



7 FNDN - TYPICAL COLUMN SPREAD FOOTING DETAIL
S5.1 3/4" = 1'-0"



8 ANCHOR BOLT (F1554 GRADE 55, TYP)
S5.1 1 1/2" = 1'-0"



9 TYP. COL BASE PLATE DETAIL
S5.1 3/4" = 1'-0"

GENERAL NOTES

- DESIGN BASIS:**
- PHILADELPHIA BUILDING CODE
 - IBC 2018 INTERNATIONAL BUILDING CODE
 - ASCE 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- PROJECT LOADS:**
- DEAD LOAD ACTUAL WEIGHTS OF MATERIALS
 - ROOF LIVE LOAD 20 PSF
 - GROUND SNOW LOAD 25 PSF
 - WIND LOAD
- MWFRS**
- WALL PRESSURE (MAX / MIN)
 - WINDWARD: 21.2 / 12.2 PSF
 - LEEWARD: -4.4 / 4.4 PSF
 - SIDEWALL: -10.1 / -18.9 PSF
 - ROOF PRESSURE (MAX / MIN) -14.3 / -23.1 PSF
- SEISMIC LOAD**
- RISK CATEGORY II
 - IMPORTANCE FACTOR: 1.0
 - MAPPED SPECTRAL RESPONSE ACCELERATIONS, $S_s = 0.20g$, $S_1 = 0.06g$
 - SITE CLASS = D (ASSUMED BASED ON LACK OF GEOTECH INFORMATION)
 - SPECTRAL RESPONSE COEFFICIENTS, $S_{ds} = 0.29g$, $S_{d1} = 0.10g$
 - SEISMIC DESIGN CATEGORY B
 - BASIC FORCE RESISTING SYSTEM: ORDINARY REINFORCED MASONRY SHEAR WALLS
 - RESPONSE MODIFICATION FACTOR: $R = 2.0$
 - SEISMIC RESPONSE COEFFICIENT: $C_s = 0.143$
 - ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE DESIGN METHOD

REVISIONS		
ISSUE	DATE	DESCRIPTION



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Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Sara Nordstrom, 215-683-0253



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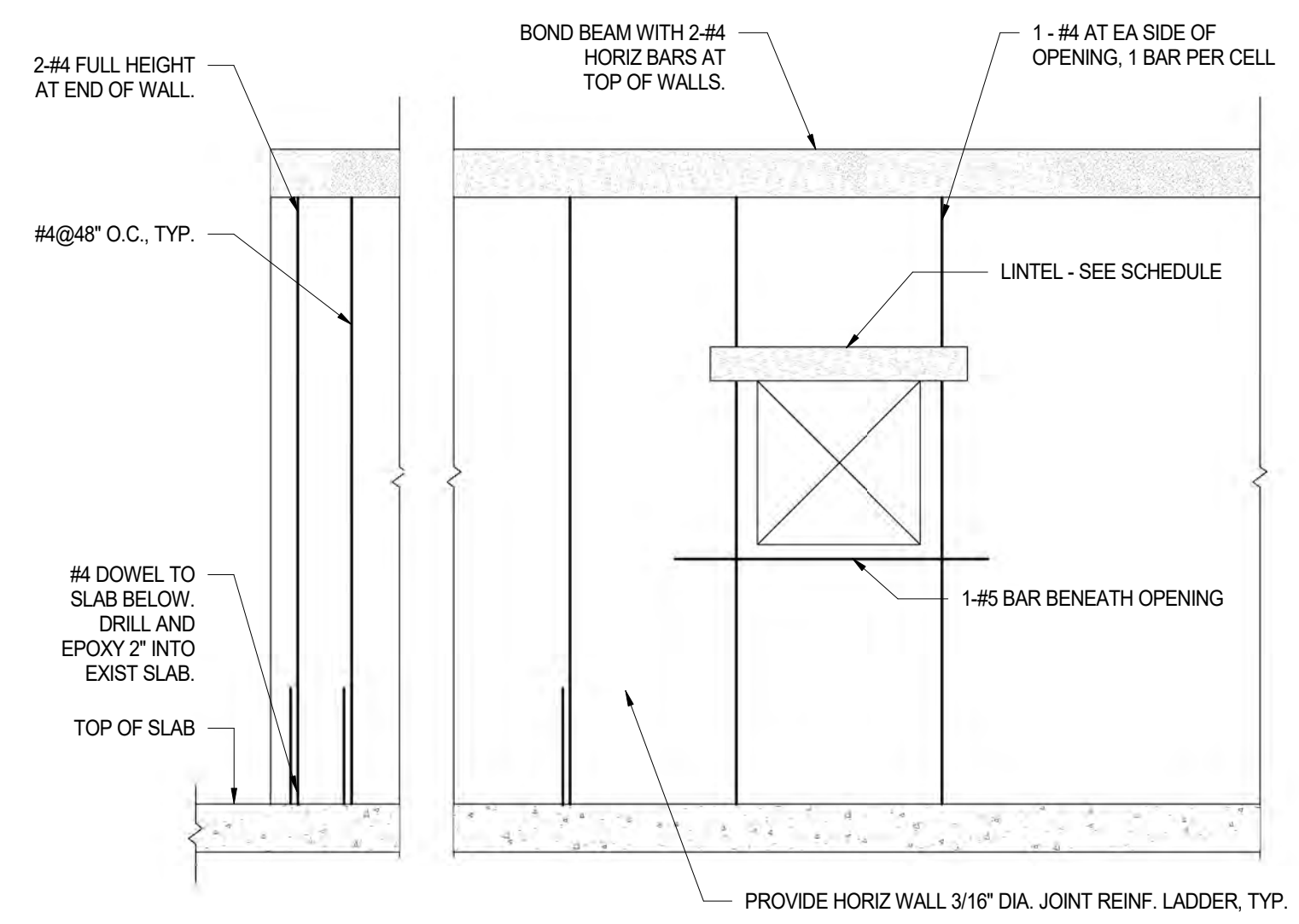
SYSTEMS ENGINEER:
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100% SUBMISSION 02/07/2020

CITY OF PHILADELPHIA
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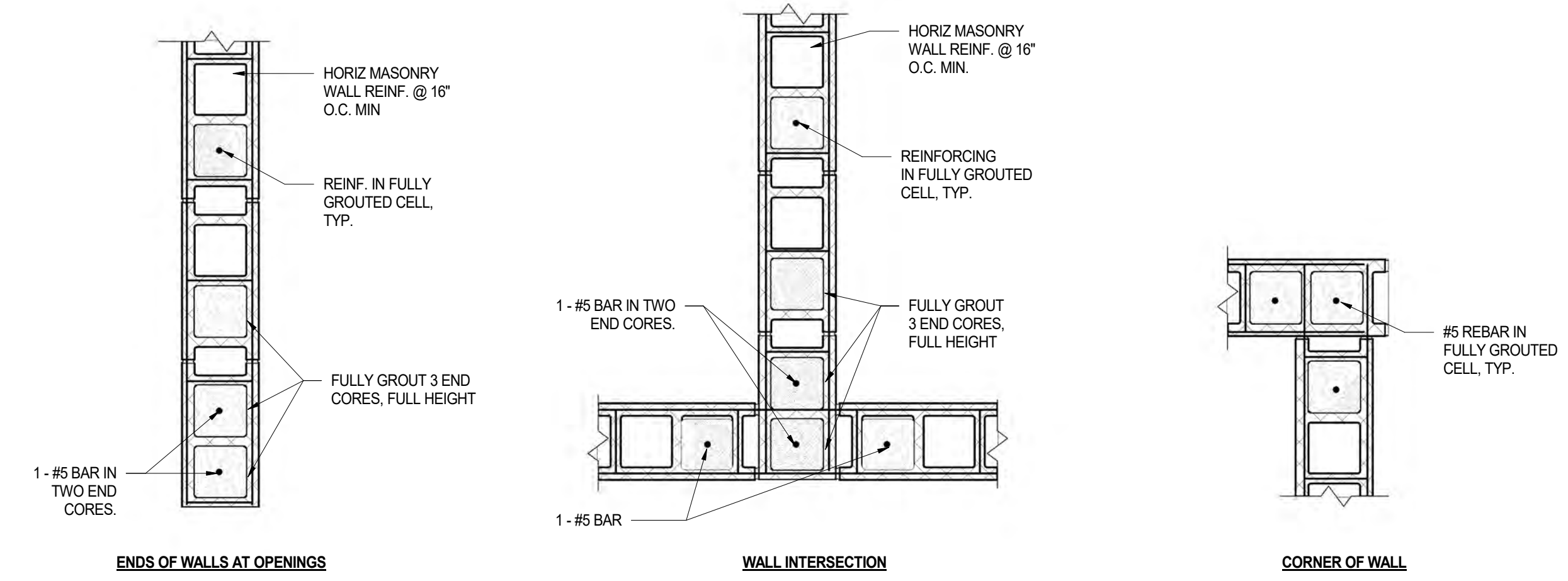
DRAWING TITLE	
CONC DETAILS AND NOTES	
PROJECT NO. 10-20-XXXX-01	DRAWING NO. S5.1
DATE: 02.07.2020	SCALE: AS NOTED
DRAWN BY: SB	CHECKED BY: CR FILE:
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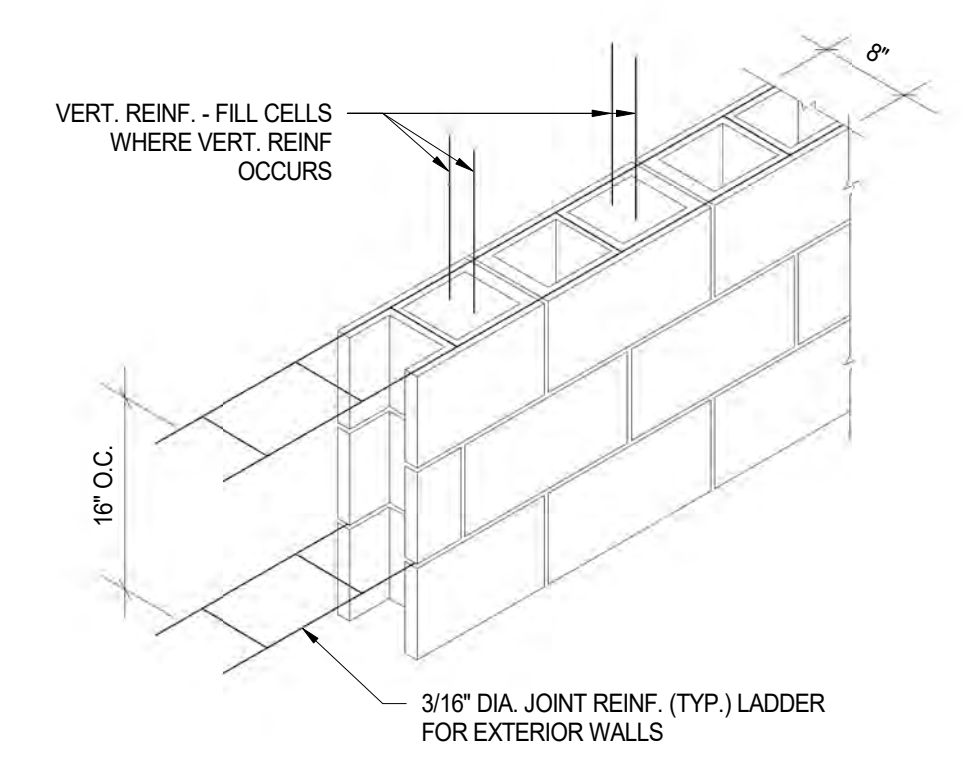
- NOTES:
1. INSTALL JOINT REINFORCEMENT IN THE FIRST AND SECOND BED JOINT ABOVE LINTELS AND BELOW SILLS AT OPENINGS.
 2. EXTEND REINFORCEMENT IN THE SECOND BED JOINT BELOW OPENING 2'-0" BELOW JAMBS.
 3. GROUT CELLS WITH REINFORCING SOLID.
 4. SEE ARCHITECTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.

1 CMU - TYP. BLOCK WALL ELEVATION
1/2" = 1'-0"

2 CMU - TYP. WALL REINFORCING DETAILS
1" = 1'-0"



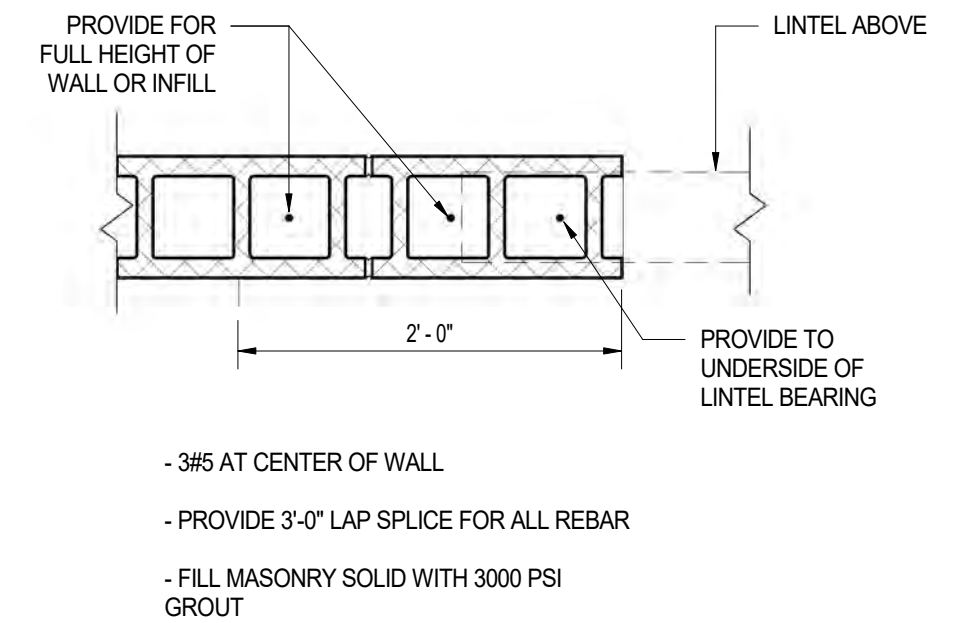
3 CMU - TYP. JT. REINF. 8" CMU WALLS
3/4" = 1'-0"



BLOCK LINTEL SCHEDULE		
SPAN	8" WYTHE	12" WYTHE
0' TO 4'	2-#4 (8x8)	2-#4 (12x8)
4' TO 6'	2-#5 (8x8)	2-#5 (12x8)
6' TO 8'	1-#4 TOP 2-#5 BOT(8x16)	2-#4 TOP 2-#5 (12x16)
8' TO 10'	2-#4 TOP 2-#6 BOT (8x16)	2-#4 TOP 2-#7 (12x16)

STEEL BEAM LINTEL SCHEDULE	
SPAN	BEAM
8' TO 10'	W8X24
10' TO 15'	W8X31

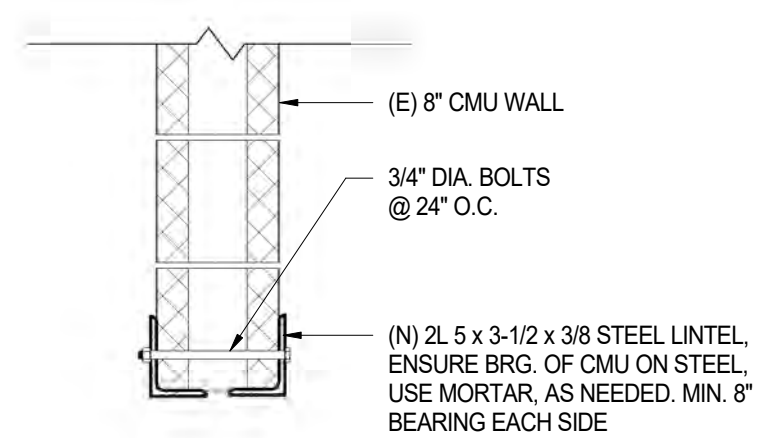
- NOTES:
1. PROVIDE LINTELS, AS LISTED ABOVE, OVER ALL OPENINGS IN MASONRY WALLS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 2. MINIMUM 8" END BEARING TO 8" SPAN. 16" MIN. END BEARING FROM 8" TO 15" SPAN. CELLS BEARED ON ARE TO BE REINFORCED WITH SIMILAR VERTICAL WALL REBAR AND TO BE GROUTED SOLID.
 3. BEAMS, LINTELS, SHELF ANGLES, ETC. SUPPORTING MASONRY SHALL BE TEMPORARILY BRACED AND/OR SHORED UNTIL MASONRY FOR ONE STORY (OR MORE, AS REQD. TO MAKE IT LATERALLY STABLE) HAS HARDENED.
 4. REINFORCING STEEL TO HAVE 3" MIN. BOTTOM COVER.
 5. IF THE DISTANCE BETWEEN TWO ADJACENT OPENINGS IS LESS THAN 2'-0", THE LINTEL IS TO SPAN OVER BOTH OPENINGS. THE SPAN SHALL BE THE SUM OF WIDTH OF BOTH OPENINGS AND THE DISTANCE BETWEEN THEM.



4 CMU - LINTEL SCHEDULE
1/2" = 1'-0"

5 CMU - TYP. MASONRY JAMB DETAIL
1" = 1'-0"

6 CMU LINTEL @ EXIST CMU
1" = 1'-0"



LINTEL SCHEDULE AT EXISTING INFILL CMU WALLS			
SPAN	4" WYTHE	6" WYTHE	8" WYTHE
0' TO 4'	L3-1/2x3-1/2x1/4	L5x5x5/16	(2) L3-1/2x3-1/2x1/4
4' TO 6'	L3-1/2x3-1/2x1/4	L5x5x5/16	(2) L3-1/2x3-1/2x1/4
6' TO 8'	L4x3-1/2x3/8	L5x5x5/16	(2) L4x3-1/2x3/8
8' TO 10'-6"	L5x3-1/2x1/2	L5x5x1/2	(2) L5x3-1/2x1/2

- NOTES:
1. PROVIDE LINTELS, AS LISTED ABOVE, OVER ALL OPENINGS IN MASONRY WALLS, UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
 2. MINIMUM 8" END BEARING.
 3. WALLS TO BE TEMPORARILY BRACED AND/OR SHORED UNTIL LINTEL IS INSTALLED.
 4. IF THE DISTANCE BETWEEN TWO ADJACENT OPENINGS IS LESS THAN 2'-0", THE LINTEL IS TO SPAN OVER BOTH OPENINGS. THE SPAN SHALL BE THE SUM OF WIDTH OF BOTH OPENINGS AND THE DISTANCE BETWEEN THEM.
 5. FOR DOUBLE ANGLE LINTELS, SEE DETAIL 6 / S5.2

7 CMU - LINTEL AT EXISTING WALL SCHEDULE
1/2" = 1'-0"

REVISIONS		
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1515 Arch Street, 11th Floor
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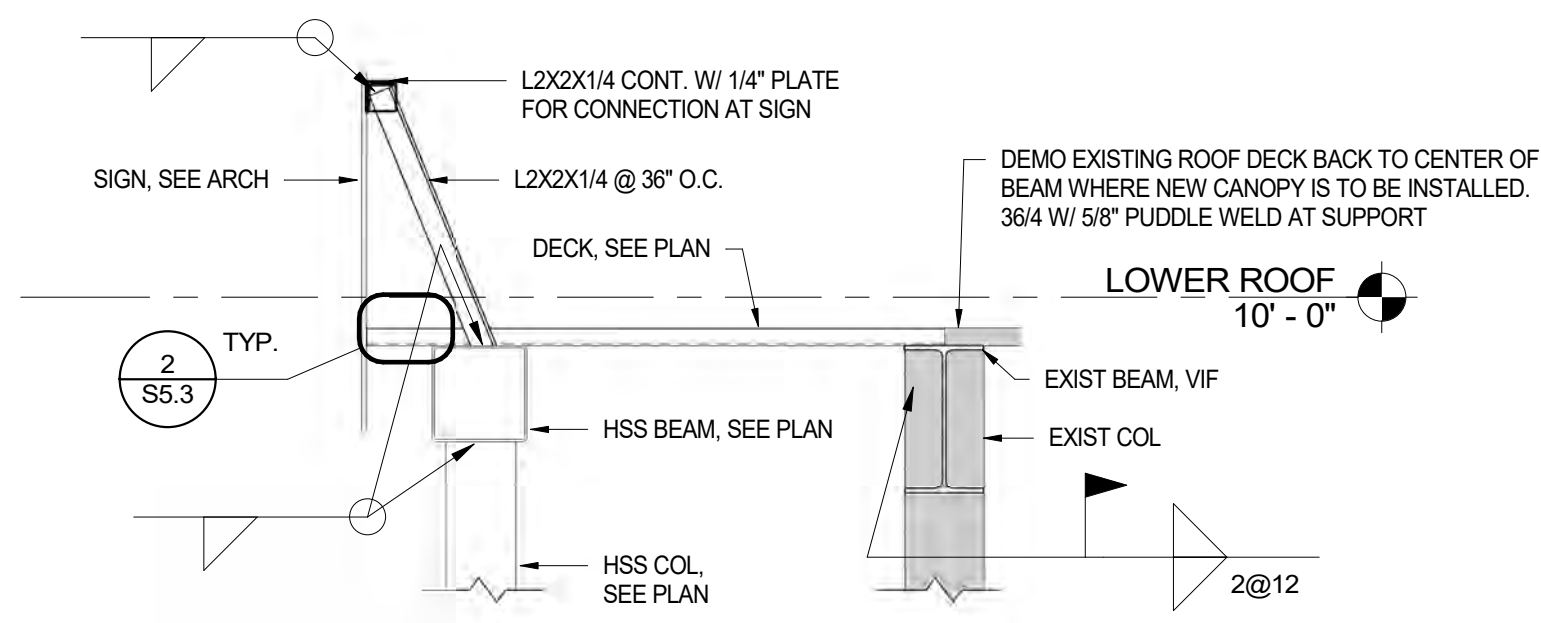
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PROJECT TITLE
MILES MACK BUILDING RENOVATION

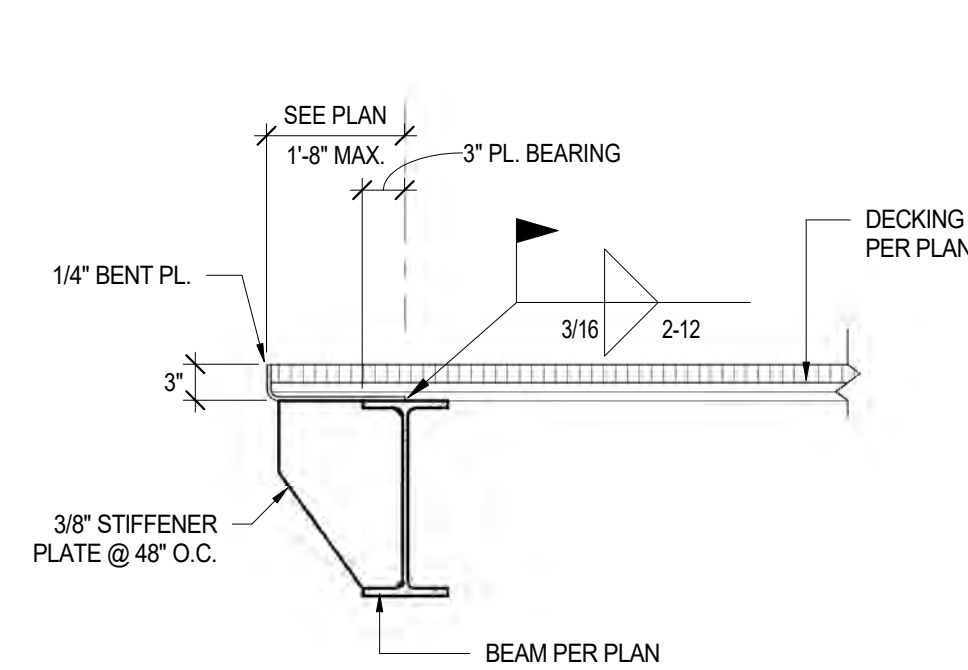
DRAWING TITLE
CMU DETAILS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. S5.2
DATE: 02.07.2020	
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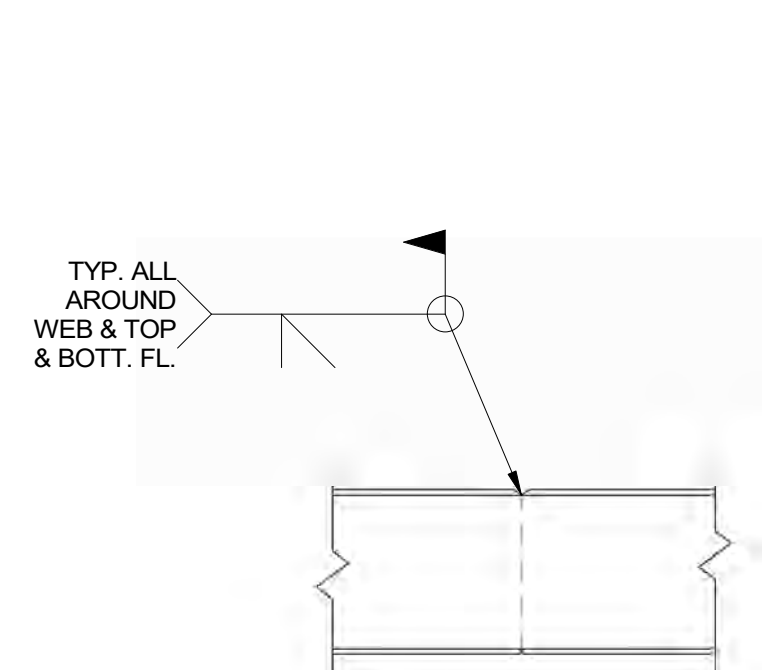
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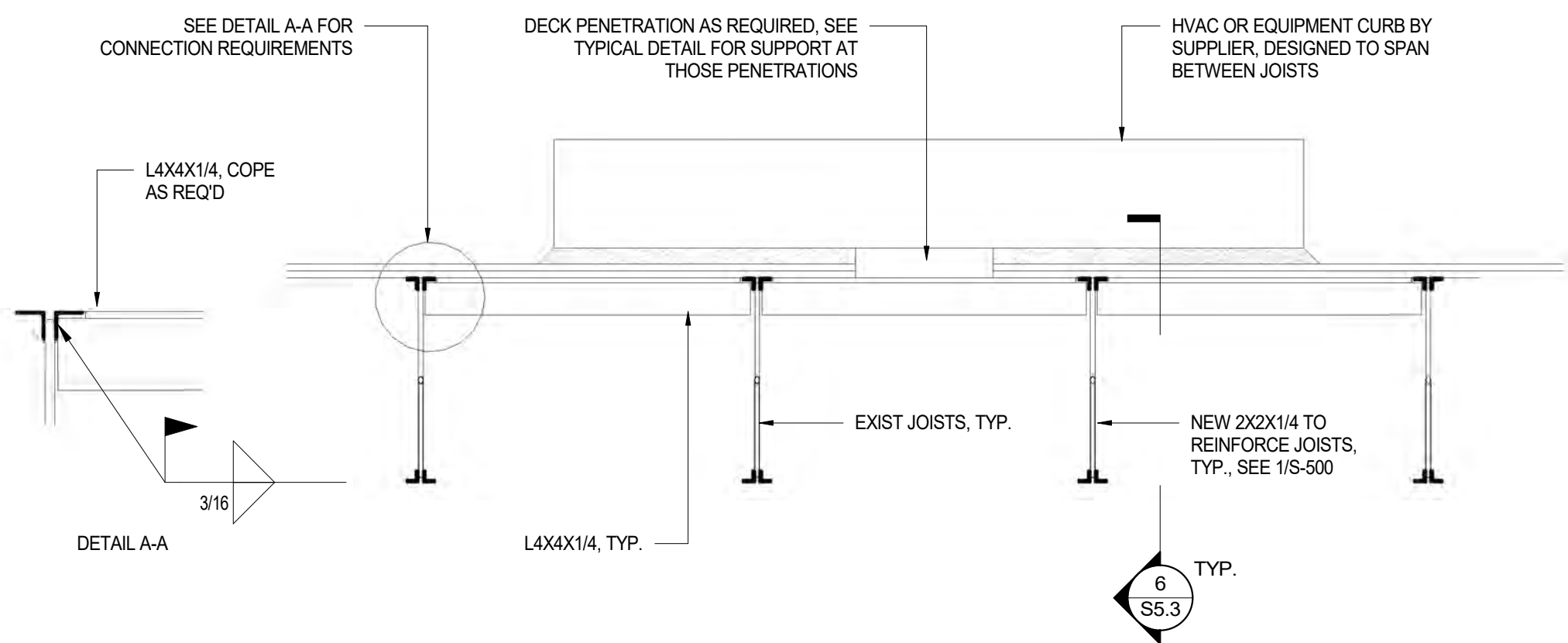
1 SECTION AT NEW CANOPY
3/4" = 1'-0"



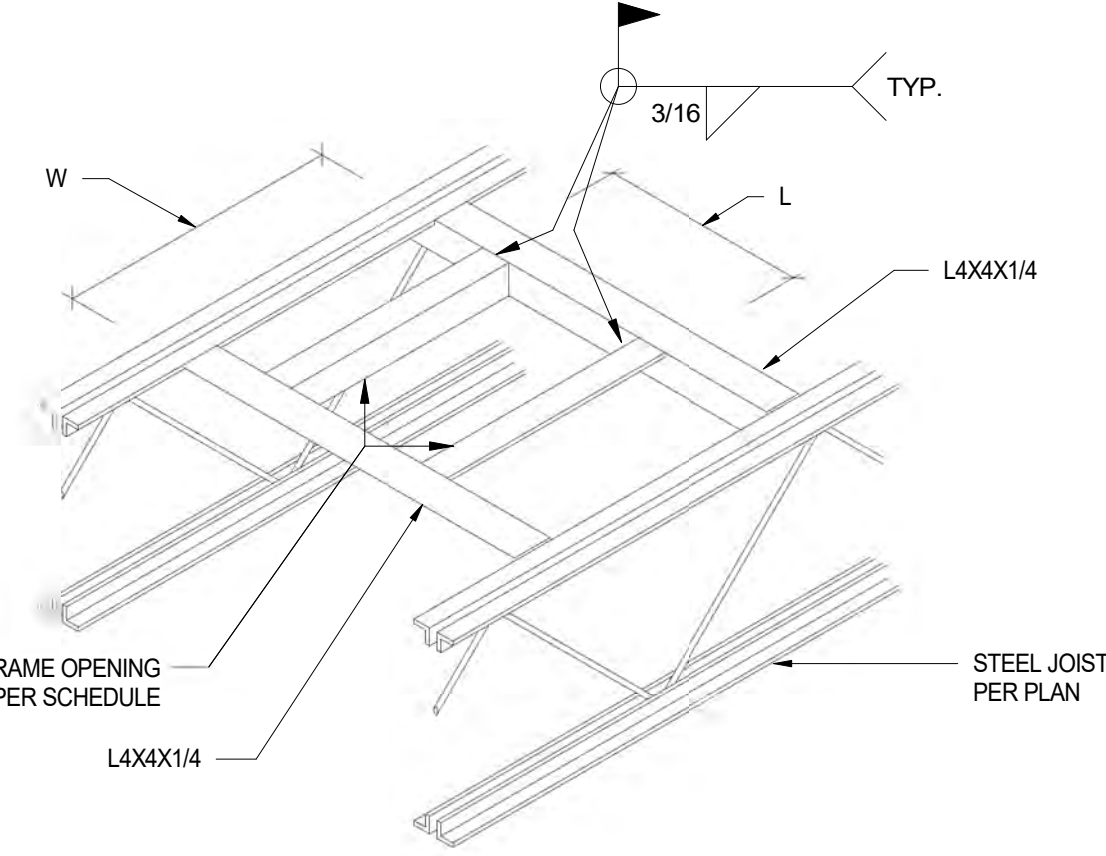
2 TYP. DECKING AT BEAM AND EDGE OF DECK
3/4" = 1'-0"



3 STEEL BEAM MOMENT SPLICE
1" = 1'-0"

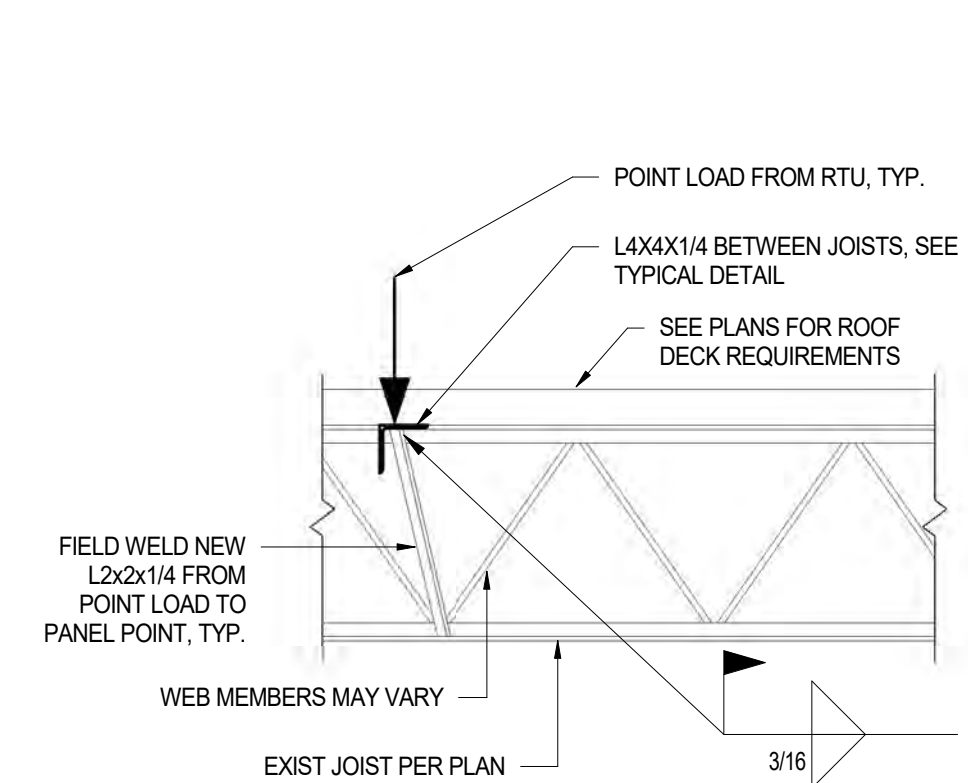


4 TYPICAL ROOF TOP EQUIPMENT SUPPORT
3/4" = 1'-0"

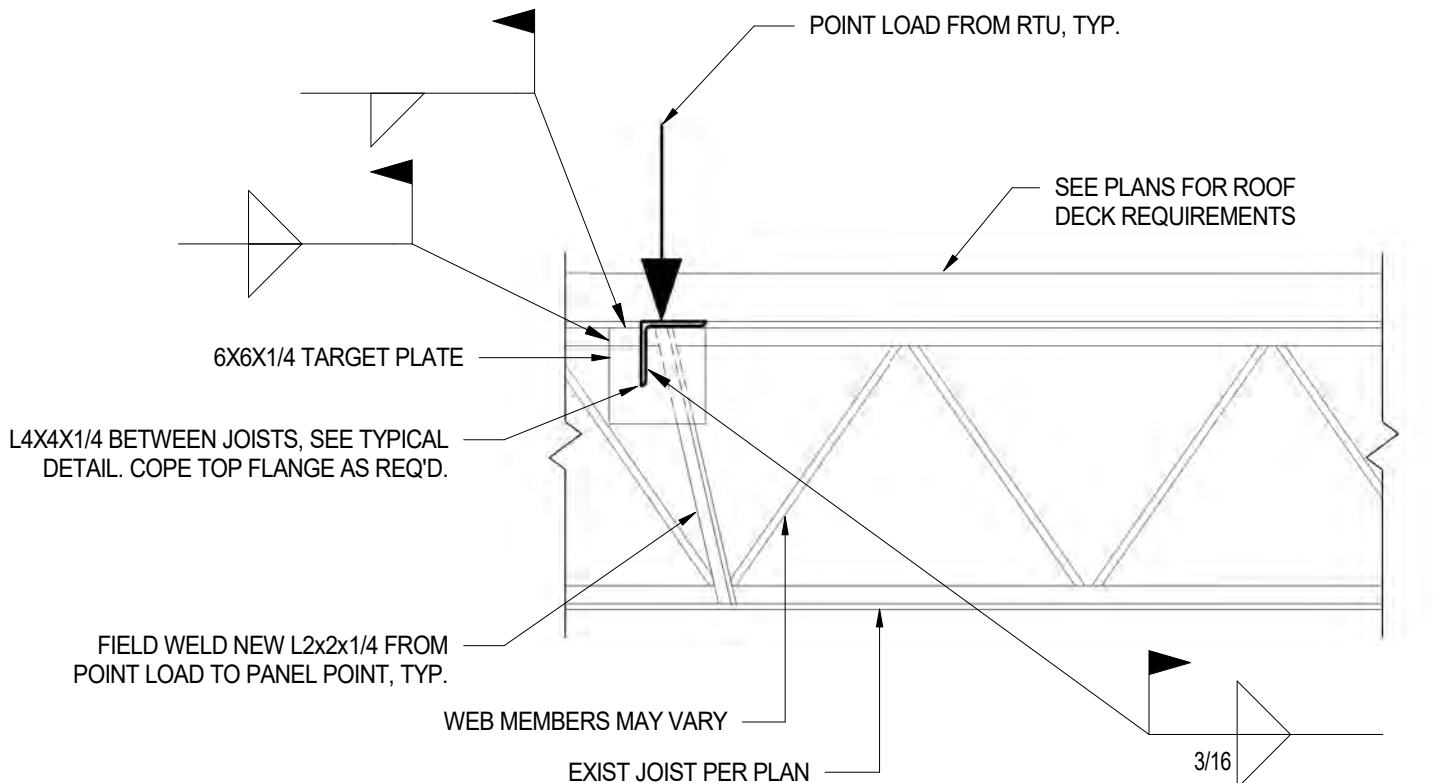


5 TYPICAL DECKING SUPPORT AT PENETRATIONS
3/4" = 1'-0"

LENGTH "L" x WIDTH "W"	FRAMING AT SLAB EDGE
0' < L < 13' 0' < W < 13'	16 GAGE PLATE, MINIMUM OF 6" BEYOND EACH SIDE OF OPENING
13' < L < 4'-0" 13' < W < 4'-0"	L4x4x1/4"
4'-0" < L < 6'-8" 4'-0" < W < 9'-0"	L5x3x5/16"



6 TYPICAL REINFORCEMENT AT POINT LOADS1
3/4" = 1'-0"



7 ALT. TYPICAL REINFORCEMENT AT POINT LOADS (ALTERNATE 6/S5.3)
1" = 1'-0"

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DRAWING TITLE
STEEL DETAILS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. S5.3
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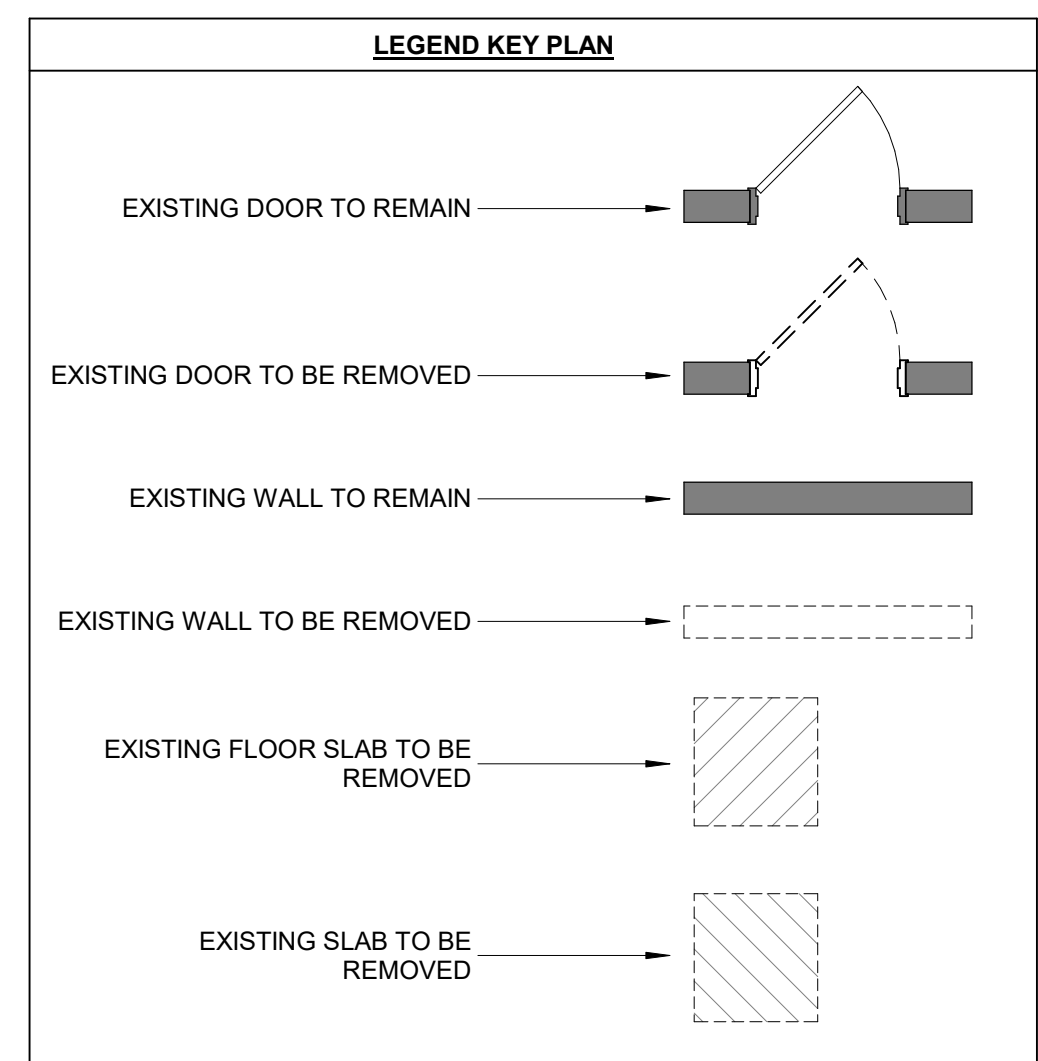
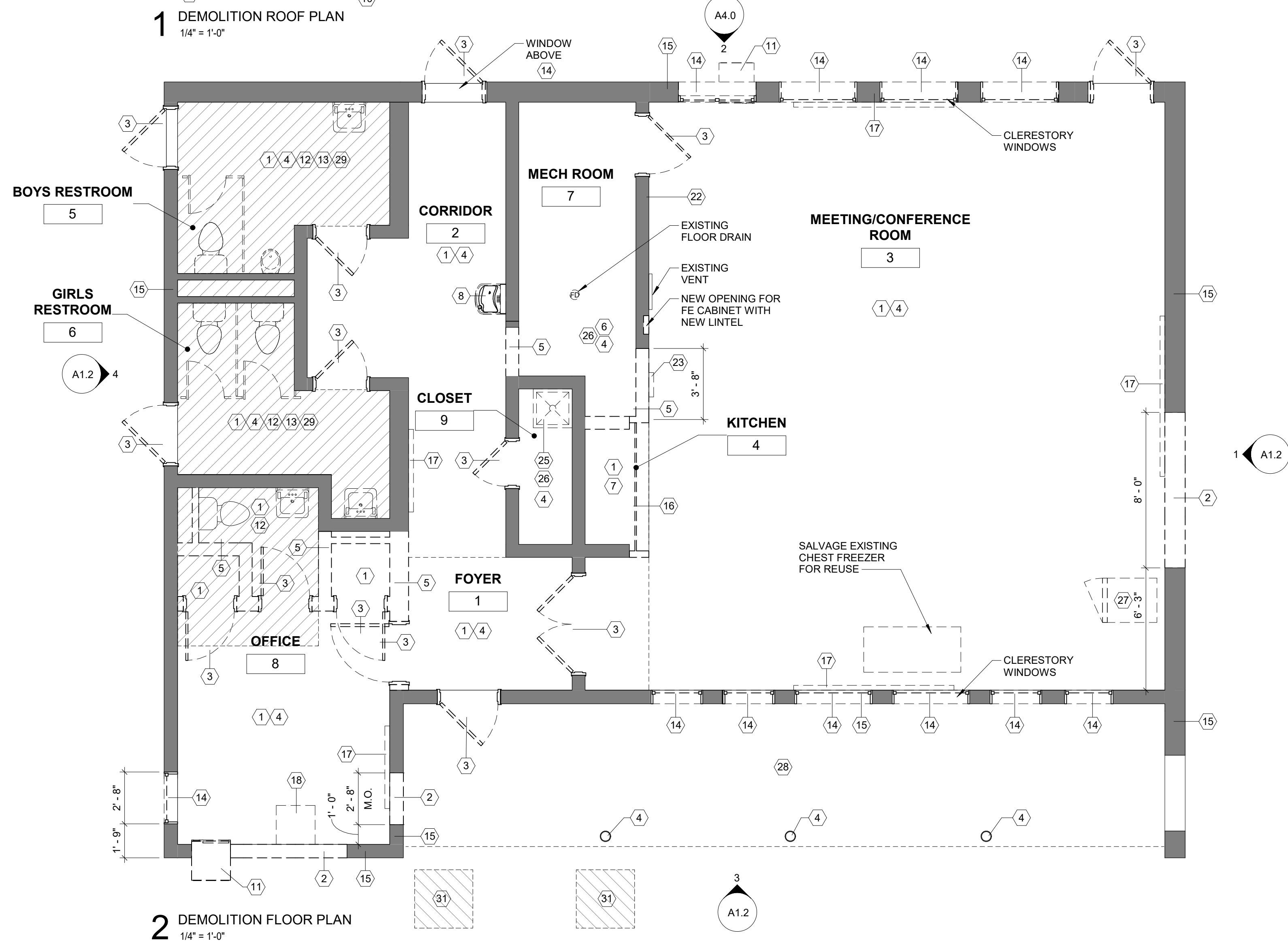
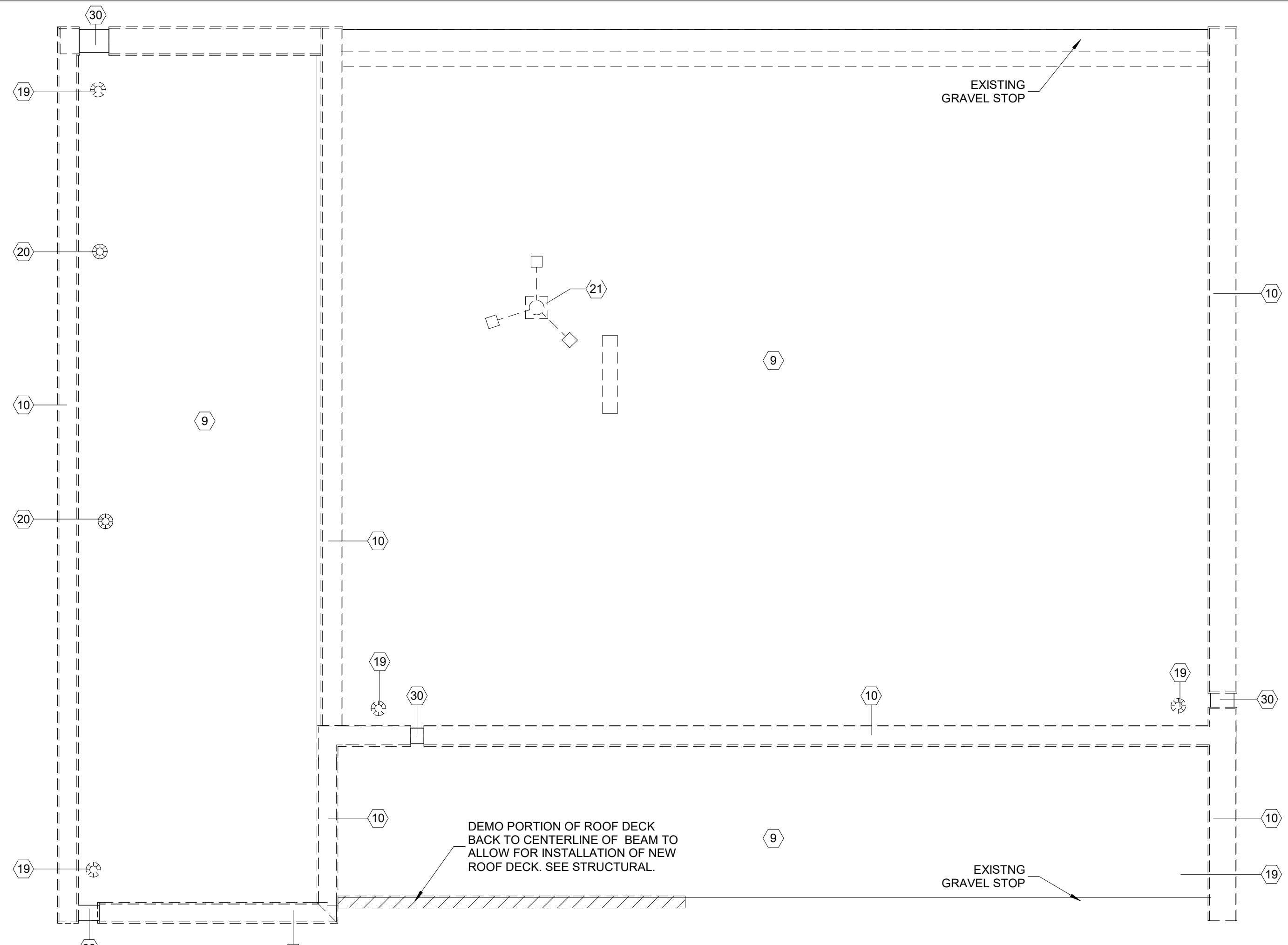
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 - CONTRACTORS ARE RESPONSIBLE FOR SHORING, BRACING, AND UNDERPINNING RELATED TO THE DEMOLITION, REMOVAL OR CUTTING OF ANY WALL, PARTITION OR ANY OTHER STRUCTURAL ELEMENT.
 - REMOVE ALL EXISTING LIGHT FIXTURES, EMERGENCY LIGHT FIXTURES, AND EXIT SIGNS AND SET ASIDE FOR REUSE.
 - PREP ALL INTERIOR WALL AND CEILING SURFACES FOR PAINT INCLUDING UNDERSIDE OF EXPOSED ROOF DECK AND ROOF TRUSSES.
 - PREP EXTERIOR COLUMNS FOR PAINT.
 - PREP UNDERSIDE OF EXTERIOR ROOF ENTRY CANOPY AND PREP FOR PAINT.
 - OPEN AND PARTIALLY DEMO WALLS, CEILINGS, AND FLOORS AS REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING WORK. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.

DEMOLITION PLAN KEYNOTES

KEYNOTE	DESCRIPTION
1	REMOVE EXISTING FLOORING AND BASE DOWN TO SOUND SUBSTRATE. PATCH AND REPAIR AFFECTED SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH.
2	REMOVE PORTIONS OF EXISTING WALL TO INSTALL OPENING SCHEDULED. PATCH AND REPAIR AFFECTED ADJACENT SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH.
3	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW DOOR. ALLOW FOR MISCELLANEOUS REPAIR TO DOOR OPENINGS AT HEAD, JAMB & SILLS. SEE STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS. SEE DOOR SCHEDULE FOR NEW MASONRY OPENING SIZE.
4	PREP EXISTING INTERIOR CMU WALLS & STEEL COLUMNS TO RECEIVE NEW PAINT, TYP. AT ALL LOCATIONS.
5	REMOVE EXISTING MASONRY WALL FROM FLOOR TO UNDERSIDE OF STRUCTURE.
6	REMOVE EXISTING MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS.
7	REMOVE EXISTING KITCHEN CABINETS, EQUIPMENT, APPLIANCES & COUNTERTOP. COORDINATE WITH PLUMBING AND ELECTRICAL DRAWINGS.
8	REMOVE EXISTING DRINKING FOUNTAIN AND ASSOCIATED HARDWARE. COORDINATE WITH PLUMBING DRAWINGS.
9	REMOVE ROOFING MATERIAL AND INSULATION DOWN TO ROOF SUBSTRATE. ALLOW FOR MISC REPAIR TO ROOF SUBSTRATE AS NEEDED. PREPARE ROOF FOR NEW ROOFING MATERIAL. CONTRACTOR SHALL PROTECT EXISTING ROOF ASSEMBLIES FROM DAMAGE DURING DEMOLITION AND NEW WORK.
10	REMOVE EXISTING METAL COPING AND FLASHING, TYP. ENTIRE ROOF.
11	REMOVE EXISTING AIR CONDITIONING UNIT. ALLOW FOR MISC REPAIR TO OPENINGS AT HEAD, JAMB, AND SILLS.
12	REMOVE ALL EXISTING PLUMBING FIXTURES IN THEIR ENTIRETY. COORDINATE WITH PLUMBING DRAWINGS.
13	REMOVE EXISTING TOILET PARTITION AND ALL ASSOCIATED HARDWARE.
14	REMOVE EXISTING WINDOW, FRAME, SECURITY SCREEN, AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW WINDOW. ALLOW FOR MISC REPAIR TO WINDOW OPENINGS AT HEAD, JAMB & SILLS. SEE WINDOW SCHEDULE.
15	REMOVE AND REPLACE EXISTING COMPRESSIVE FILLER AT BOTTOM OF EXTERIOR WALL & CONCRETE PAD.
16	REMOVE EXISTING ROLL DOWN GATE, TRACK AND ALL ASSOCIATED HARDWARE. ENLARGE OPENING WITH NEW LINTEL FOR NEW KITCHENETTE. COORDINATE WITH STRUCTURAL. PREP FOR NEW ROLL DOWN DOOR.
17	REMOVE EXISTING BULLETIN BOARD.
18	EXISTING SERVER ENCLOSURE TO BE REMOVED AND RELOCATED BY OWNER.
19	EXISTING ROOF DRAIN TO BE REMOVED, V.I.F.
20	EXISTING VENT AND VENT CAP TO REMAIN.
21	REMOVE EXISTING FLUE AND SUPPORTS.
22	REMOVE EXISTING COAT HOOKS.
23	DEMOLISH EXISTING FE CABINET.
25	REMOVE EXISTING UTILITY SINK AND ASSOCIATED PLUMBING. SEE PLUMBING DRAWINGS.
26	PATCH AND REPAIR AFFECTED SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH.
27	SALVAGE REFRIGERATOR FOR REUSE.
28	PREPARE CONCRETE SURFACE FOR NEW PAINT.
29	DEMOLISH EXISTING CONCRETE SLAB FOR NEW FLOOR DRAINS AND PIPING. SEE STRUCTURAL DRAWINGS.
30	DEMO EXISTING SCUPPERS, TYP.
31	REMOVE SLAB FOR NEW FOUNDATIONS. COORDINATE WITH STRUCTURAL DRAWINGS.



100% Submission - 2/7/20

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PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 DEMOLITION PLANS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A1.0
DATE: 02.07.2020	
SCALE: AS NOTED	
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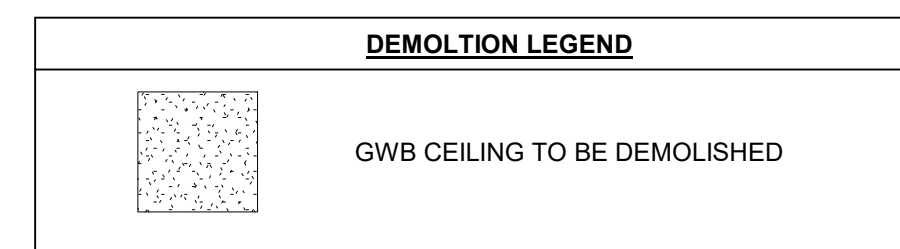
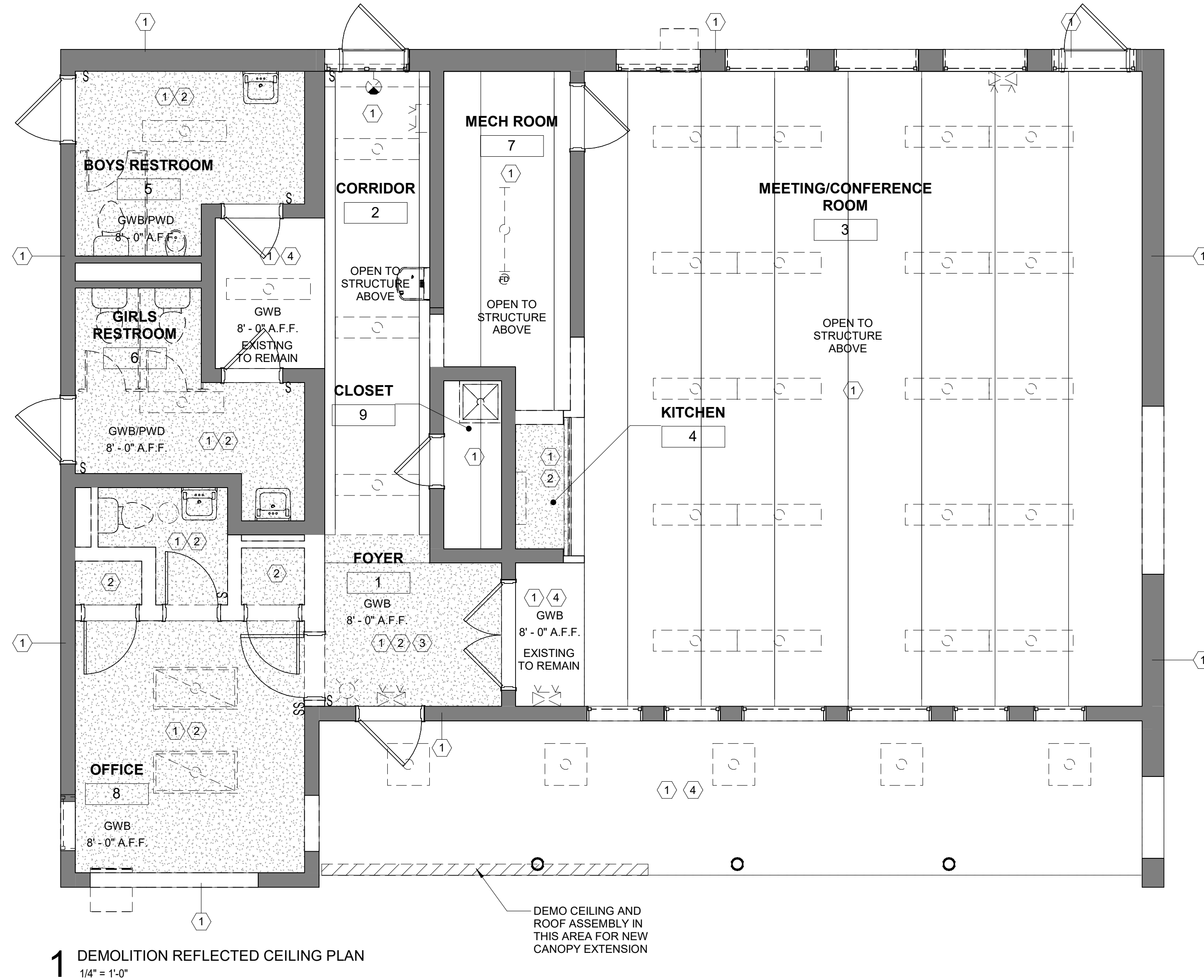
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DEMOLITION RCP KEYNOTES	
KEYNOTE	
1	REMOVE EXISTING LIGHT FIXTURES AND SET ASIDE FOR REUSE. CONTRACTOR TO VERIFY EXISTING LIGHTING LAYOUT. SEE ELECTRICAL DWGS FOR MORE DETAIL. PATCH AND REPAIR AFFECTED ADJACENT SURFACES TO MATCH EXISTING TO REMAIN.
2	REMOVE EXISTING CEILING ASSEMBLY AND ALL ASSOCIATED HARDWARE. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. PATCH AND REPAIR AFFECTED ADJACENT SURFACES TO MATCH EXISTING TO REMAIN.
3	REMOVE EXISTING GWB SOFFIT AS NEEDED FOR DEMOLITION OF ADJACENT WALLS. PREPARE AREA TO RECEIVE NEW GWB AND PLYWOOD SOFFIT.
4	REMOVE EXISTING CEILING AS REQUIRED FOR DEMOLITION AND NEW WORK IN THIS AREA.



1 DEMOLITION REFLECTED CEILING PLAN
 1/4" = 1'-0"



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DRAWING TITLE
 DEMOLITION RCP

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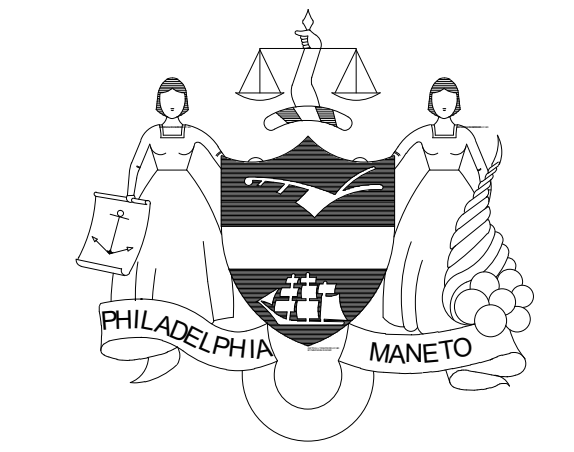
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 EXISTING TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING DEMOLITION AND NEW CONSTRUCTION.

GENERAL CONTRACTOR SHALL INCLUDE COSTS FOR ALL DEMOLITION INCLUDING BUT NOT NECESSARILY LIMITED TO THE FOLLOWING:

- DEMOLITION WORK INCLUDES, BUT NOT LIMITED TO THE WORK INDICATED, AS COORDINATED WITH WORK OF ALL OTHER TRADES, AS INDICATED ELSEWHERE, AND AS REQUIRED TO ACCOMMODATE CONSTRUCTION. ALL DEMOLITION REQUIRED SHALL BE INCLUDED IN EACH CONTRACTOR'S BASE BID TO PERFORM AND COMPLETE CONSTRUCTION UNLESS OTHERWISE INDICATED. REFER TO ASBESTOS ABATEMENT REPORT AND MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL ITEMS DESIGNATED AS "SALVAGED" SHALL BE COORDINATED WITH OWNER.
- ITEMS TO BE SALVAGED, RELOCATED, OR REINSTALLED SHALL BE AS INDICATED. SPECIAL CARE IS TO BE TAKEN SO AS NOT TO DAMAGE THESE ITEMS. THE G.C. SHALL COORDINATE THE STORAGE OF ALL SALVAGED ITEMS TO BE EITHER RELOCATED OR REINSTALLED WITH THE OWNER.
- LOCATIONS AND/OR ELEVATIONS OF EXISTING ITEMS, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE. RESPECTIVE TRADES SHALL FIELD VERIFY ALL LOCATIONS.
- WHEN A NEW WALL, CEILING, ROOF, OR FLOOR ASSEMBLY IS INDICATED WHERE AN EXISTING WALL, CEILING, ROOF, OR FLOOR ASSEMBLY EXISTS, THE EXISTING SHALL BE COMPLETELY REMOVED, WITH ASSOCIATED UTILITIES REMOVED AND CAPPED BEHIND THE SURFACE OF THE REMAINING SUBSTRATE, UNLESS NOTED OTHERWISE. ALL DEPRESSIONS, INDENTS, OR PROTRUSIONS ETC. LEFT AFTER THE REMOVAL OF ITEMS WHICH WILL INTERFERE WITH THE CONSTRUCTION SHALL BE REPAIRED, REPLACE OR REMOVED TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND OLD SURFACES.
- THE CONTRACTORS SHALL VERIFY ALL CONDITIONS PRIOR TO COMMENCING DEMOLITION. SHOULD QUESTIONS ARISE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, PRIOR TO PROCEEDING WITH DEMOLITION.
- WHERE OPENINGS ARE INDICATED TO BE MADE IN EXISTING MASONRY WALLS, OR EXISTING OPENINGS ARE TO BE INFILLED, THE CONTRACTOR SHALL TOOTH IN NEW MASONRY CONSTRUCTION TO MATCH ADJACENT COURSING.
- CONTRACTORS ARE RESPONSIBLE FOR SHORING, BRACING, AND UNDERPINNING RELATED TO THE DEMOLITION, REMOVAL OR CUTTING OF ANY WALL, PARTITION OR ANY OTHER STRUCTURAL ELEMENT.
- REMOVE ALL EXISTING LIGHT FIXTURES, EMERGENCY LIGHT FIXTURES, AND EXIT SIGNS AND SET ASIDE FOR REUSE.
- PREP ALL INTERIOR WALL AND CEILING SURFACES FOR PAINT INCLUDING UNDERSIDE OF EXPOSED ROOF DECK AND ROOF TRUSSES.
- PREP EXTERIOR COLUMNS FOR PAINT.
- PREP UNDERSIDE OF EXTERIOR ROOF ENTRY CANOPY AND PREP FOR PAINT.
- OPEN AND PARTIALLY DEMO WALLS, CEILINGS, AND FLOORS AS REQUIRED FOR MECHANICAL, ELECTRICAL, AND PLUMBING WORK. COORDINATE WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.



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CITY OF PHILADELPHIA
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 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
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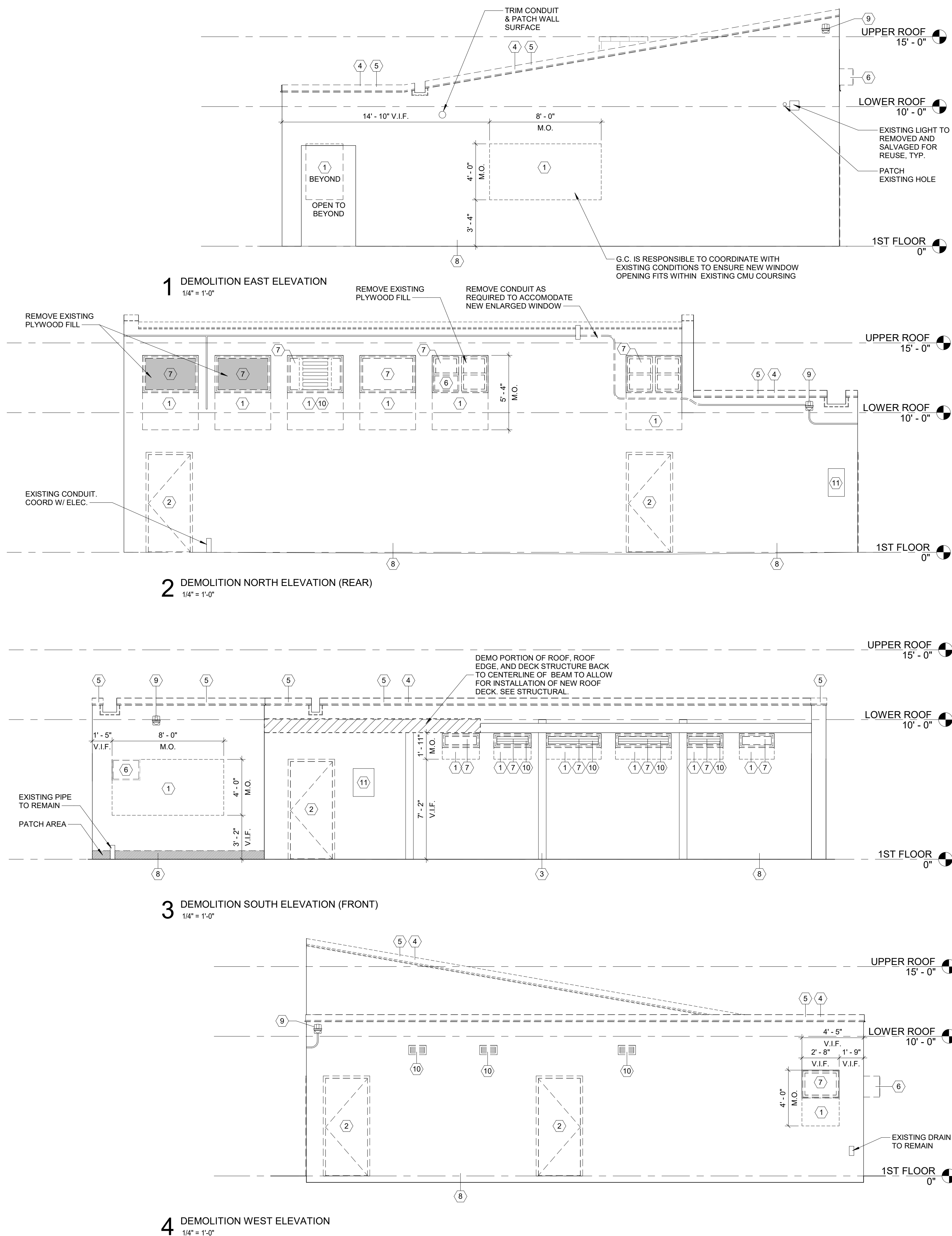
PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 DEMOLITION ELEVATIONS

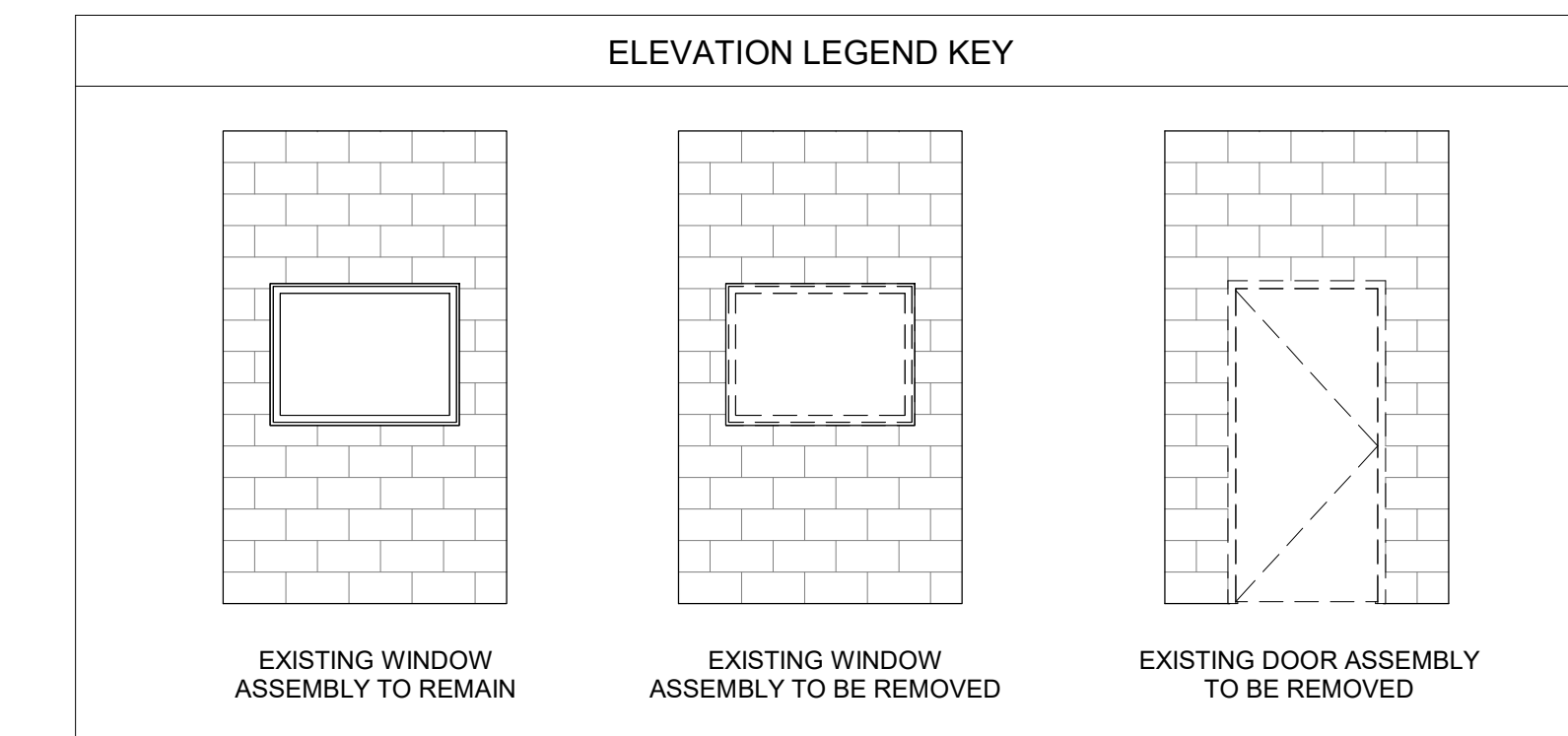
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DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

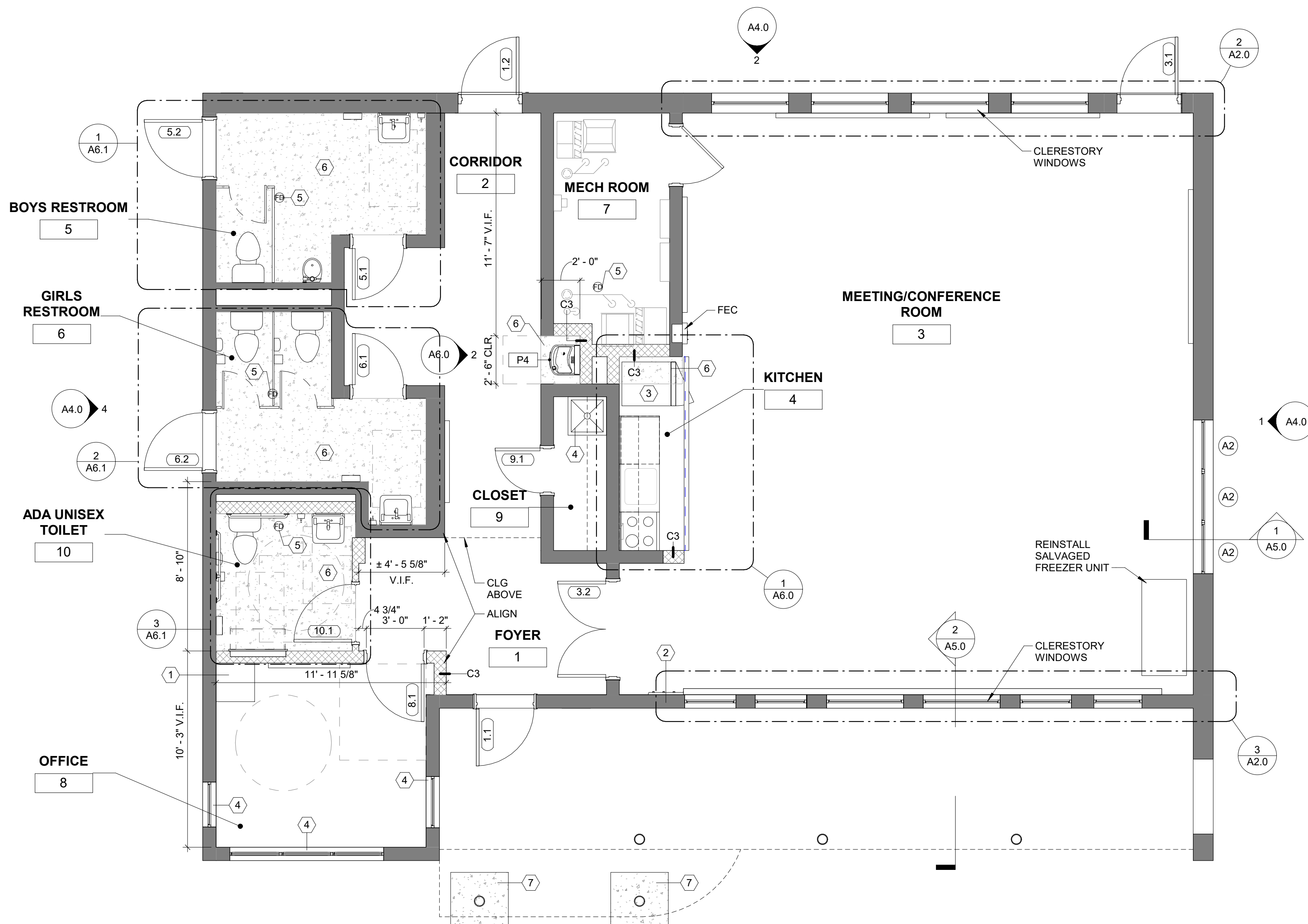
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

100% Submission - 2/7/20

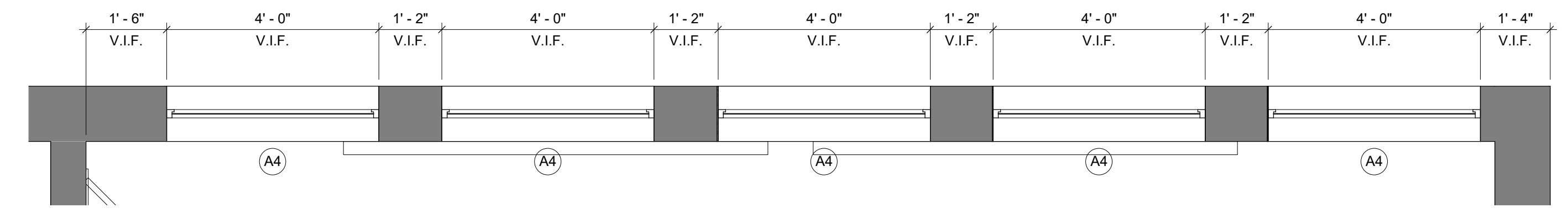


DEMOLITION ELEVATION KEYNOTES	
KEYNOTE	
1	REMOVE PORTIONS OF EXISTING WALL TO INSTALL OPENING SCHEDULED. PATCH AND REPAIR AFFECTED ADJACENT SURFACES AND PREPARE TO RECEIVE SCHEDULED FINISH. COORDINATE WITH STRUCTURAL FOR NEW ENLARGED OPENINGS.
2	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW DOOR. ALLOW FOR MISCELLANEOUS REPAIR TO DOOR OPENINGS AT HEAD, JAMB & SILLS. SEE STRUCTURAL DRAWINGS FOR REINFORCING REQUIREMENTS. SEE DOOR SCHEDULE FOR NEW MASONRY OPENING SIZE.
3	PREP EXISTING CMU WALLS & STEEL COLUMNS TO RECEIVE NEW PAINT, TYP. AT ALL LOCATIONS.
4	REMOVE ROOFING MATERIAL AND INSULATION DOWN TO ROOF SUBSTRATE. ALLOW FOR MISC REPAIR TO ROOF SUBSTRATE AS NEEDED. PREPARE ROOF FOR NEW ROOFING MATERIAL.
5	REMOVE EXISTING METAL COPING AND FLASHING TYP. ENTIRE ROOF.
6	REMOVE EXISTING AIR CONDITIONING UNIT. ALLOW FOR MISC REPAIR TO OPENINGS AT HEAD, JAMB, AND SILLS.
7	REMOVE EXISTING WINDOW, FRAME, SCREEN, AND ASSOCIATED HARDWARE. PREPARE OPENING FOR NEW WINDOW. ALLOW FOR MISC REPAIR TO WINDOW OPENINGS AT HEAD, JAMB & SILLS. SEE WINDOW SCHEDULE.
8	REMOVE AND REPLACE EXISTING COMPRESSIVE FILLER AT BOTTOM OF EXTERIOR WALL & CONCRETE PAD.
9	EXISTING CCTV DEVICE TO REMAIN. COORDINATE WITH OWNER.
10	EXISTING VENT/LOUVER TO BE REMOVED. COORDINATE WITH MECHANICAL.
11	PROTECT EXISTING SIGNAGE TO REMAIN.

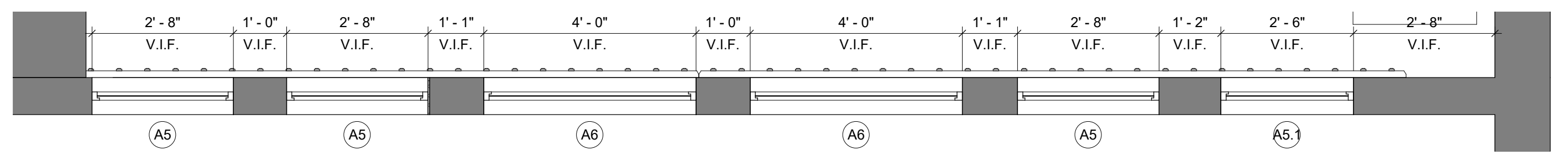




1 FLOOR PLAN
1/4" = 1'-0"



2 UPPER LEVEL GLAZING PLAN - NORTH ELEVATION
1/2" = 1'-0"



3 UPPER LEVEL GLAZING PLAN - SOUTH ELEVATION
1/2" = 1'-0"

GENERAL CONSTRUCTION NOTES

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2. INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL SURFACE.
3. ALL DOOR JAMBS AT HINGE SIDE TO BE SET 6" FROM ADJACENT WALL (MIN.) OR AS OTHERWISE NOTED.
4. ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR, TYPICAL UNO.
5. REFERENCE FINISH SCHEDULE FOR FINISH SPECIFICATIONS.
6. CONTRACTOR SHALL PROVIDE AND INSTALL WALL BLOCKING AS REQUIRED TO SUPPORT ALL WALL HUNG CABINETS, WALL-HUNG FIXTURES, COUNTERTOPS, SHELVING, AND ACCESSORIES. CONTRACTOR TO COORDINATE CLEARANCES FOR ALL BACK TO BACK FIXTURES.
7. CONFIRM ALL MEASUREMENTS. ALIGN FACE OF NEW CONSTRUCTION WITH FACE OF EXISTING CONSTRUCTION UNO.
8. FLUSH LEVER ON TOILET TO BE LOCATED ON LAVATORY SIDE.
9. REFER TO SHEET G0.2 FOR ALL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS.
10. PROTECT ALL EXISTING ITEMS TO REMAIN DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
11. SEE PLUMBING DRAWINGS FOR TOILET ROOM FIXTURE SCHEDULE.
12. REFER TO SHEET A7.0 FOR TOILET ROOM ACCESSORIES SCHEDULE.
13. PATCH AND REPAIR EXTERIOR MASONRY WALL SURFACES AND FINISH SURFACES WITH CEMENT PLASTER TO MATCH EXISTING.
14. PRIME ALL NEW AND PATCHED EXTERIOR WALL SURFACES TO RECEIVE FINISH COATS. FINISH COATS BY OTHERS, UNO.
15. FOR WINDOW AND DOOR TYPES SEE SHEET A7.0.
16. COORDINATE ALL OPENINGS IN CMU WALLS WITH MECHANICAL AND STRUCTURAL.
17. VERIFY STRUCTURAL JOIST DIMENSIONS.

KEYNOTES	
1	RELOCATED SERVER EQUIPMENT BY OTHERS. COORDINATE ELECTRICAL WITH ELECTRICAL CONTRACTOR AND OWNER.
2	NEW COAT HANGER.
3	REINSTALL EXISTING REFRIGERATOR.
4	NEW ROLL DOWN PRIVACY SHADES.
5	NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
6	NEW CONCRETE FLOOR SLAB OVER VAPOR BARRIER, THIS AREA. SEE STRUCTURAL DRAWINGS.
7	NEW CONCRETE SLAB ON GRADE. SEE STRUCTURAL DRAWINGS.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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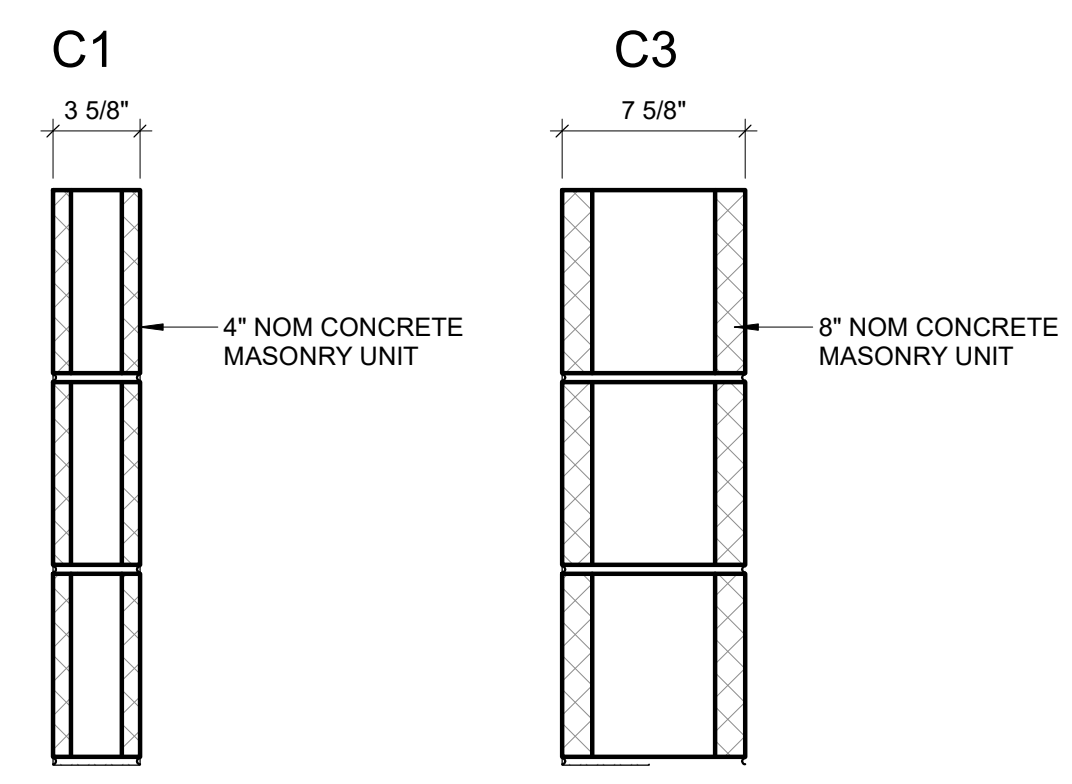
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PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
FLOOR PLAN AND WALL TYPES

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A2.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



PARTITION TYPES-INTERIOR-CMU
1 1/2" = 1'-0"

PARTITION TYPE NOTES:

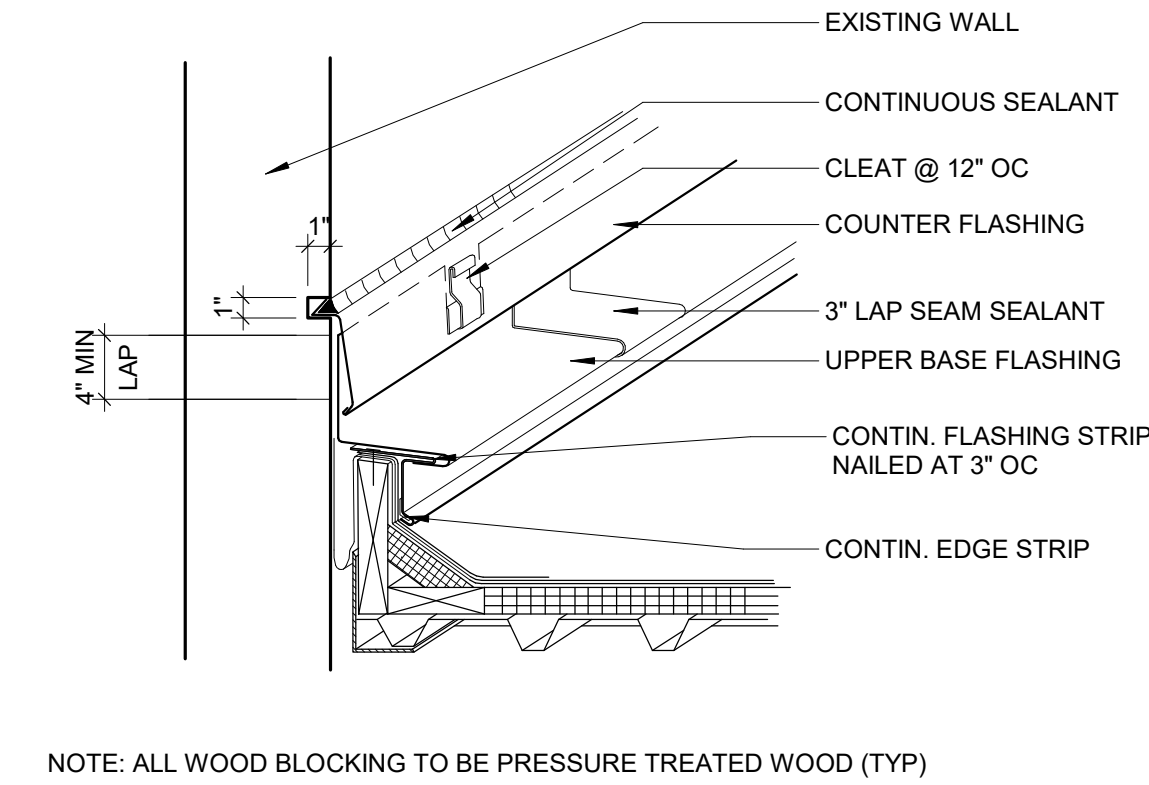
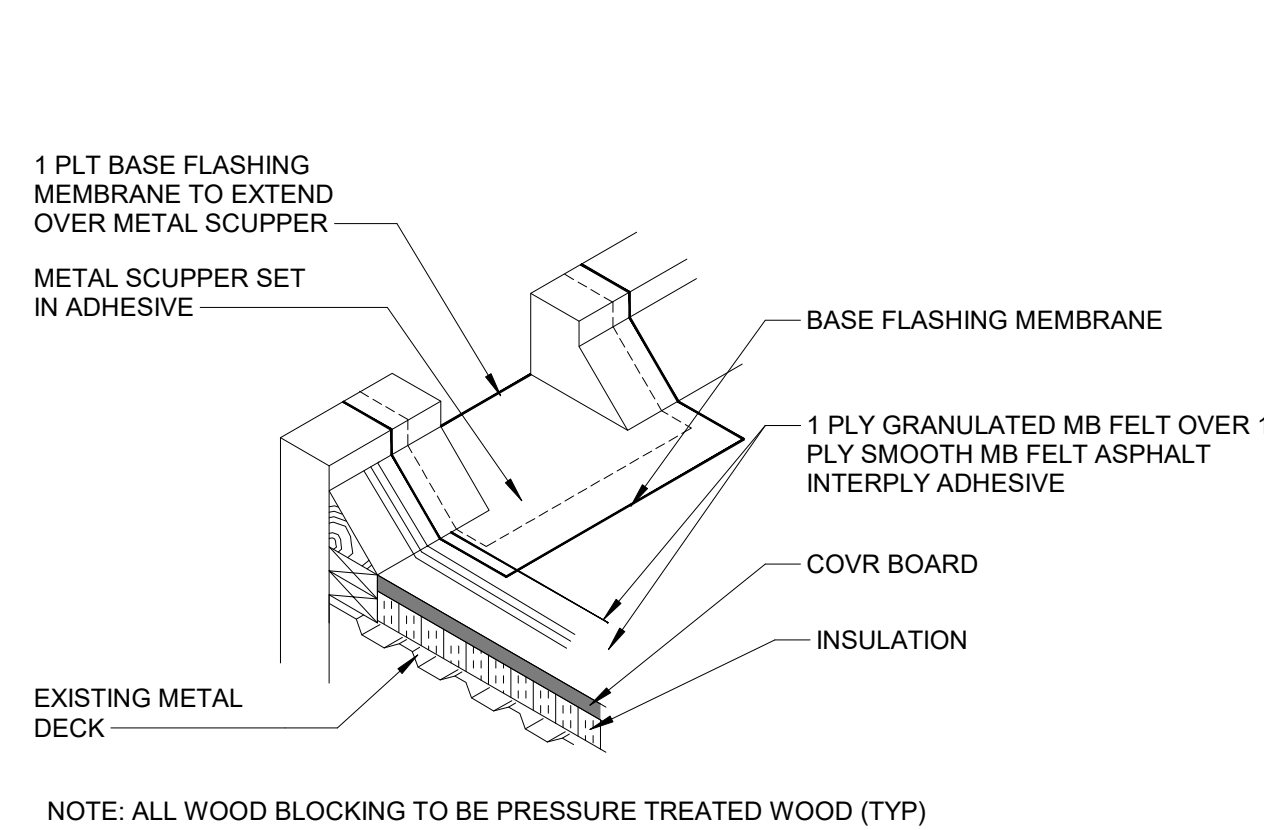
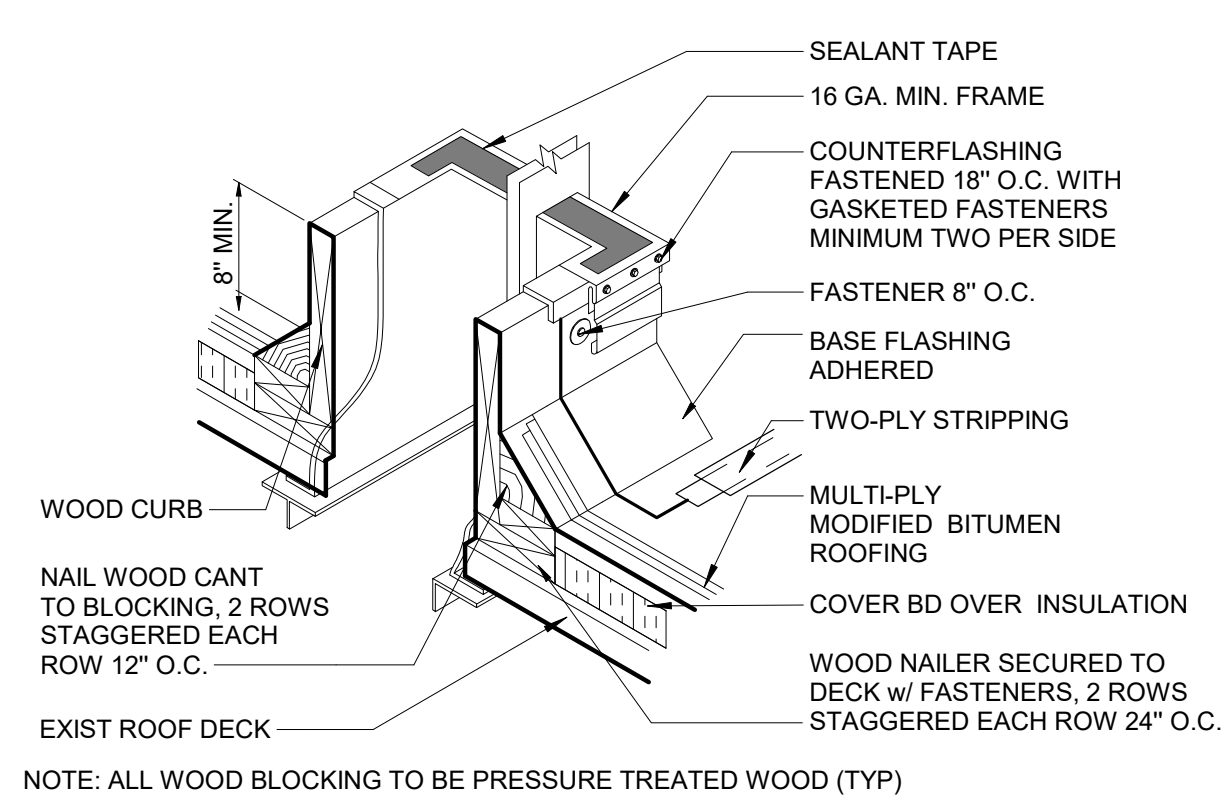
- SEE SPEC SECTION 04 FOR INFORMATION ON CONCRETE MASONRY UNIT ASSEMBLIES
- ALL PARTITIONS MUST FIT TIGHT TO STRUCTURAL SLAB, DECK, OR PLANK, U.O.N.
- GWB IS 5/8" U.O.N.



100% Submission - 2/7/20

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2. INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL SURFACE.
3. ALL DOOR JAMBS AT HINGE SIDE TO BE SET 6" FROM ADJACENT WALL (MIN.) OR AS OTHERWISE NOTED.
4. ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR, TYPICAL UNO.
5. REFERENCE FINISH SCHEDULE FOR FINISH SPECIFICATIONS.
6. CONTRACTOR SHALL PROVIDE AND INSTALL WALL BLOCKING AS REQUIRED TO SUPPORT ALL WALL HUNG CABINETS, WALL-HUNG FIXTURES, COUNTERTOPS, SHELVING, AND ACCESSORIES. CONTRACTOR TO COORDINATE CLEARANCES FOR ALL BACK TO BACK FIXTURES.
7. CONFIRM ALL MEASUREMENTS. ALIGN FACE OF NEW CONSTRUCTION WITH FACE OF EXISTING CONSTRUCTION UNO.
8. FLUSH LEVER ON TOILET TO BE LOCATED ON LAVATORY SIDE.
9. REFER TO SHEET G0.2 FOR ALL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS.
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16. COORDINATE ALL OPENINGS IN CMU WALLS WITH MECHANICAL AND STRUCTURAL.
17. VERIFY STRUCTURAL JOIST DIMENSIONS.

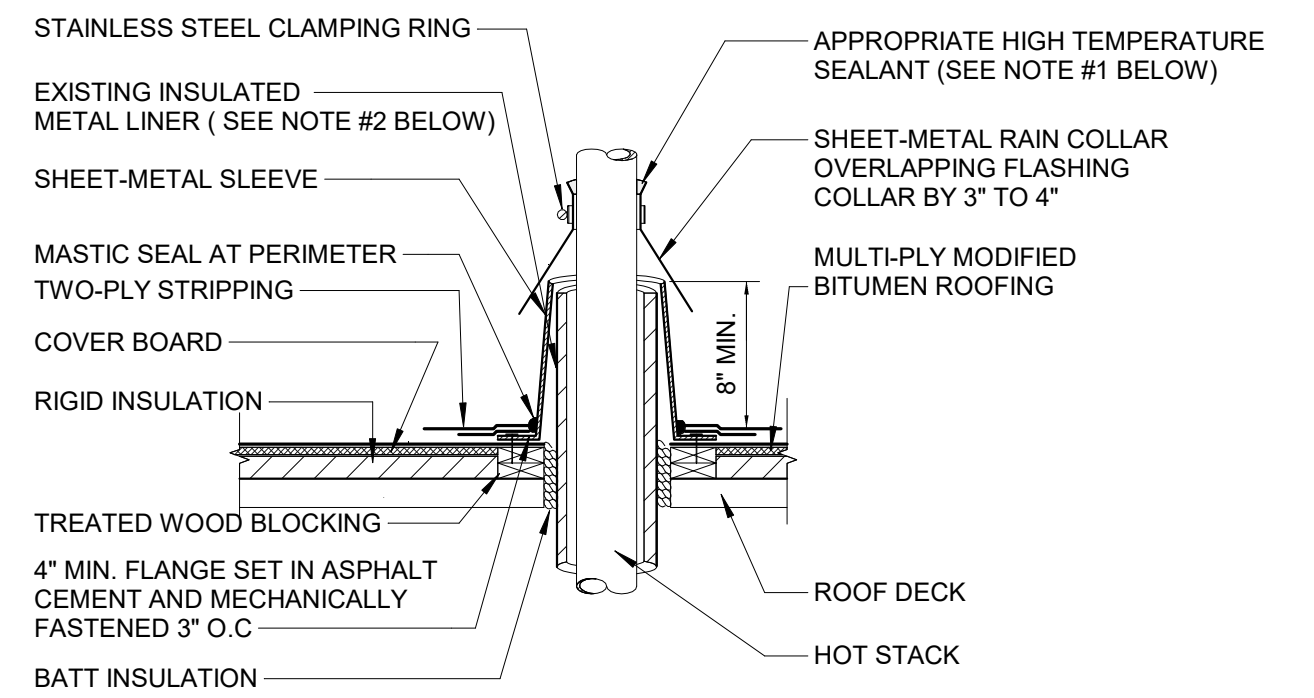
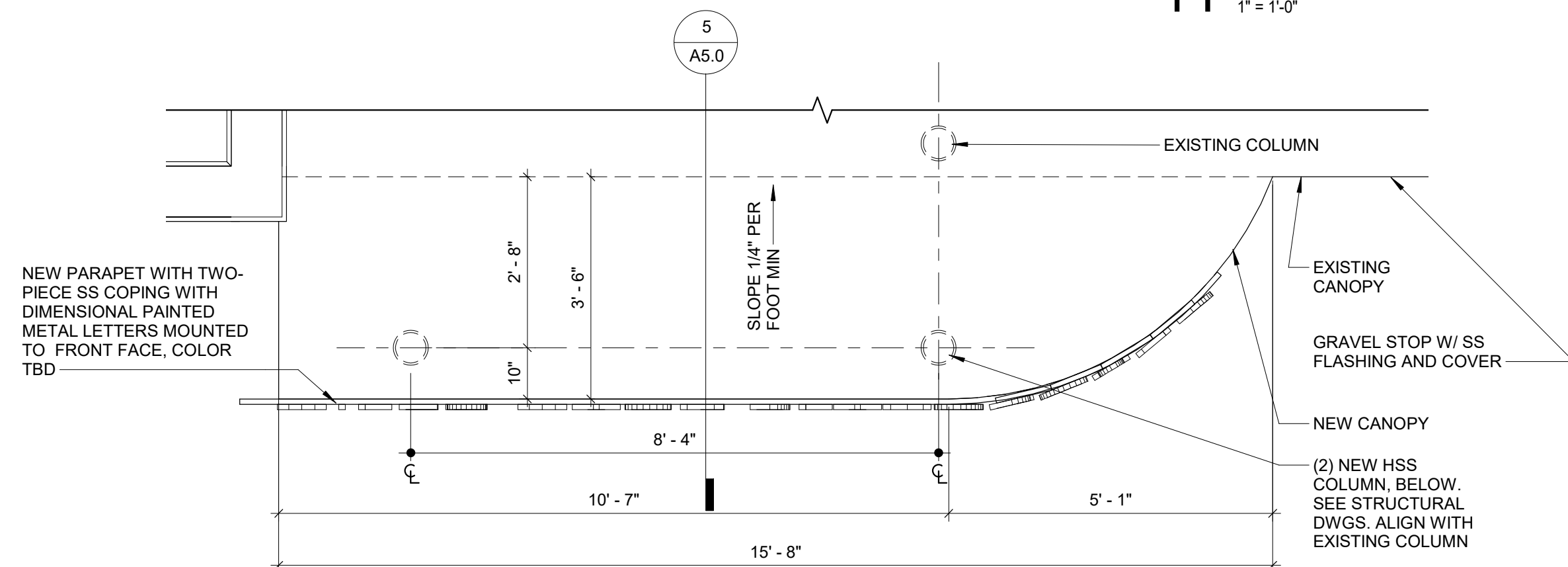


NOTE: ALL WOOD BLOCKING TO BE PRESSURE TREATED WOOD (TYP)

11 MOD BIT ROOF- EQ PENETRATION
1" = 1'-0"

9 SCUPPER
NTS

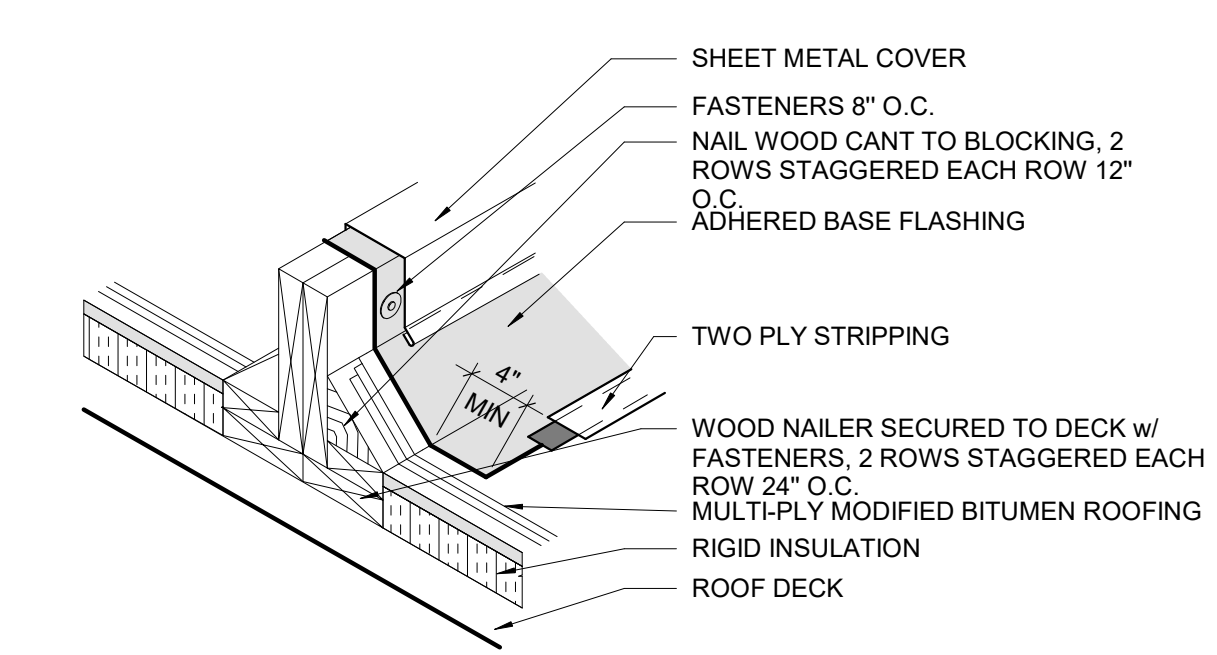
10 REGLET FLASHING DETAIL
NTS



NOTES

1. WHEN HOT STACK SERVICE TEMPERATURE EXCEEDS 400 DEGREES, WELD OR SOLDER RAIN COLLAR TO PIPE IN LIEU OF INSTALLING SEALANT.
2. THE CLEARANCE REQUIRED BETWEEN THE HOT PIPE AND INSULATED METAL LINER WILL DEPEND ON THE TEMPERATURE OF THE MATERIAL HANDLED BY THE STACK.

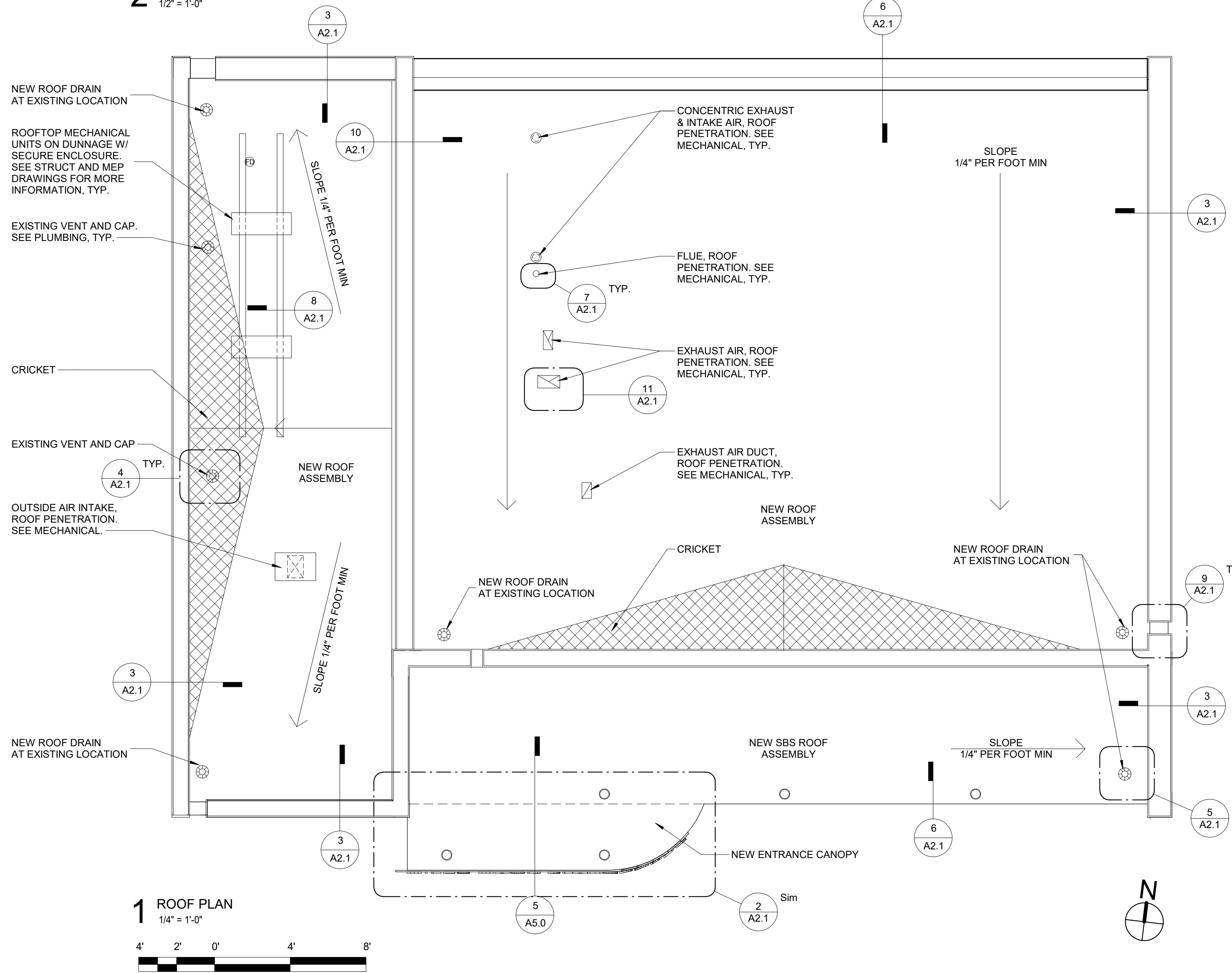
7 HOT STACK PENETRATION
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NOTE: ALL WOOD BLOCKING TO BE PRESSURE TREATED WOOD (TYP)

8 EQUIPMENT DUNNAGE
NTS

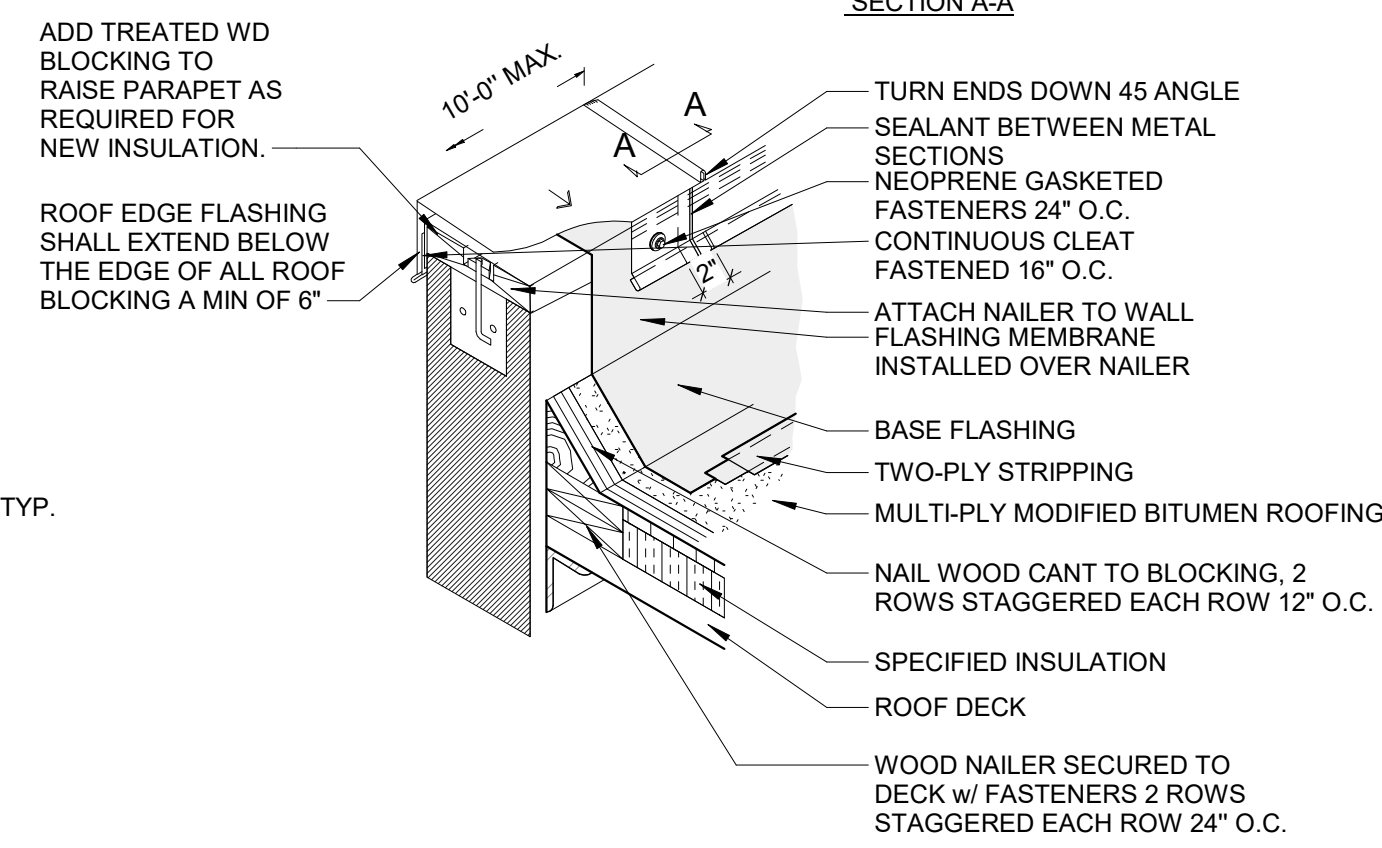
2 ROOF PLAN AT NEW CANOPY
1/2" = 1'-0"



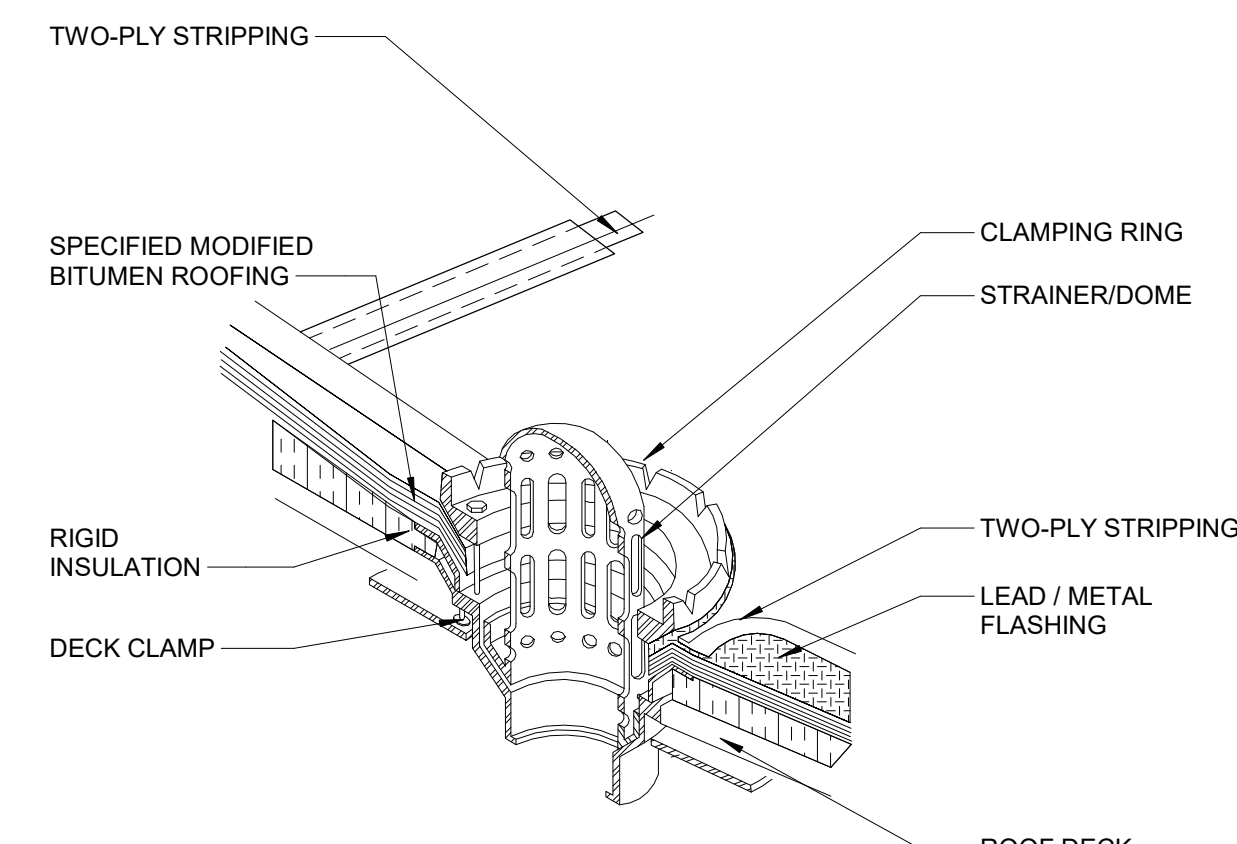
1 ROOF PLAN
1/4" = 1'-0"



5 ROOF DRAIN
NTS

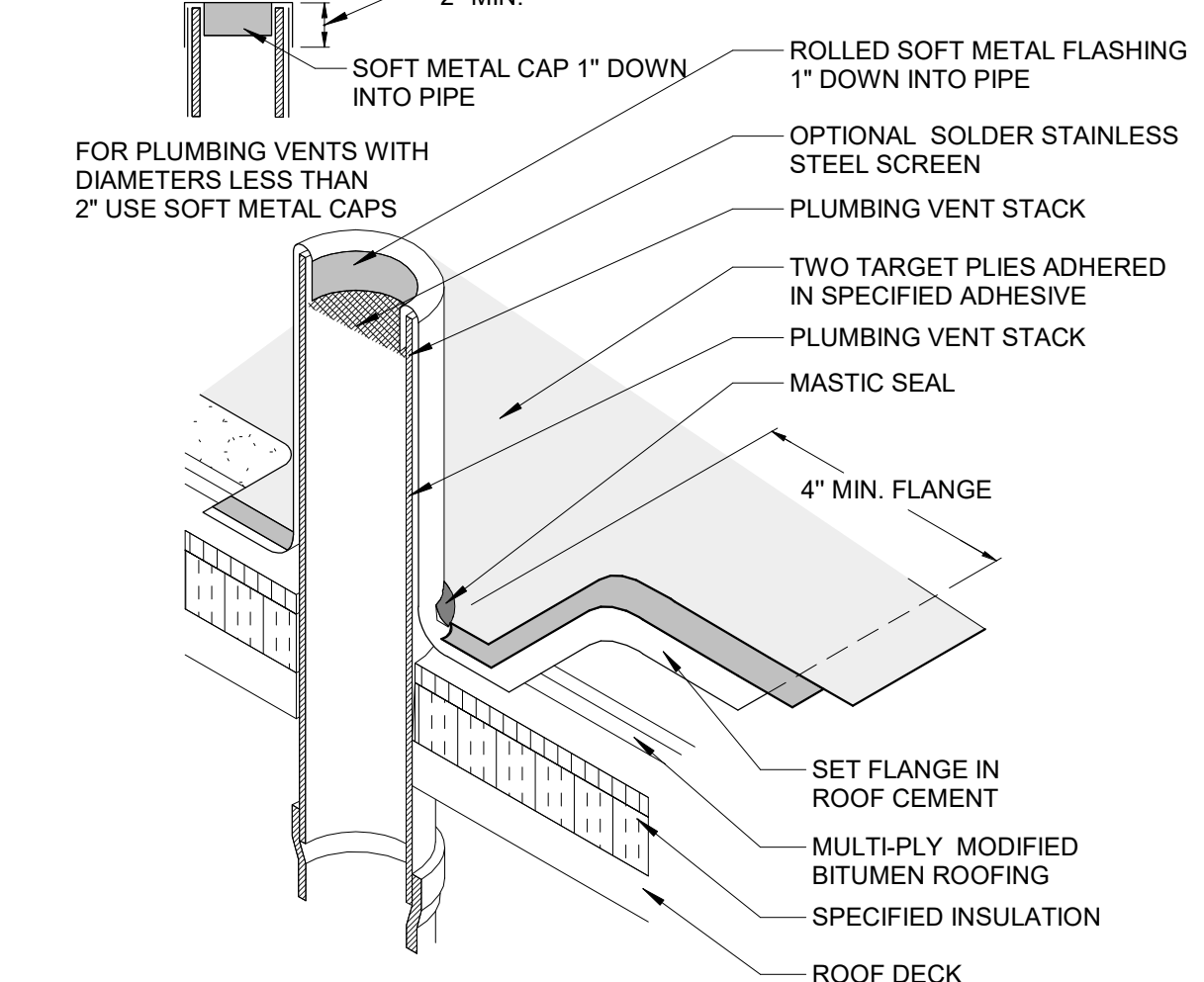


3 METAL COPING CAP
NTS

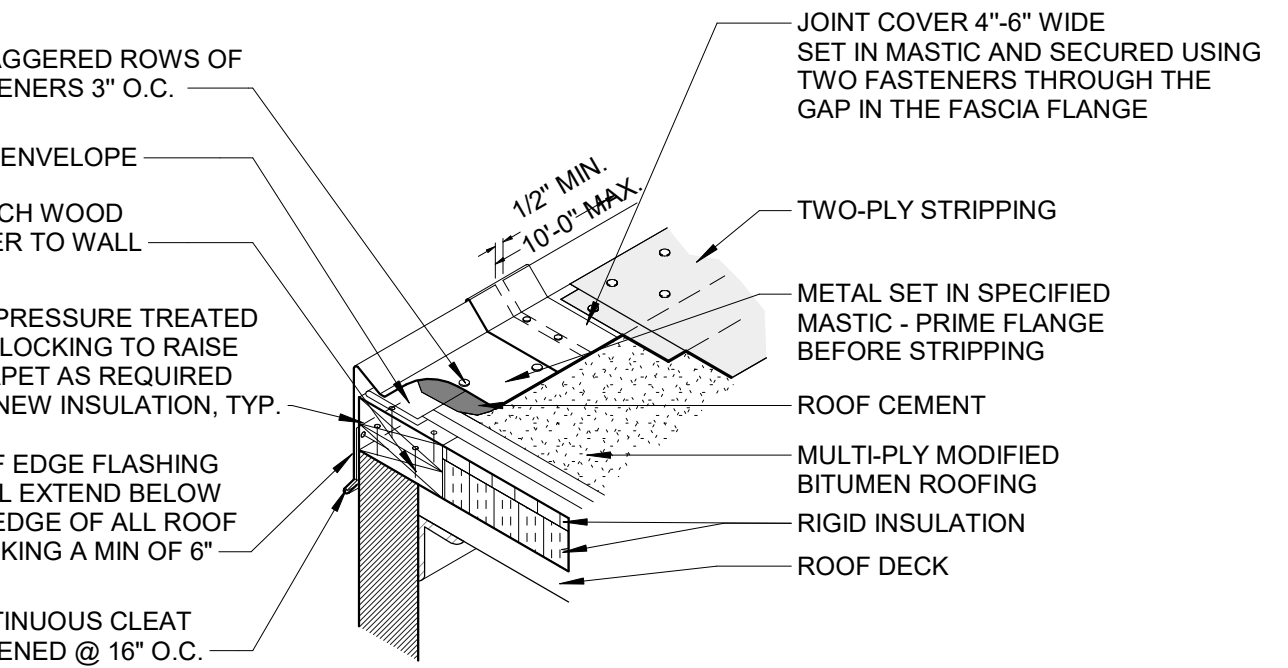


NOTES:
1. PRIME ALL METAL SURFACES THAT WILL COME INTO CONTACT WITH ADHESIVES.

6 METAL ROOF EDGE
NTS

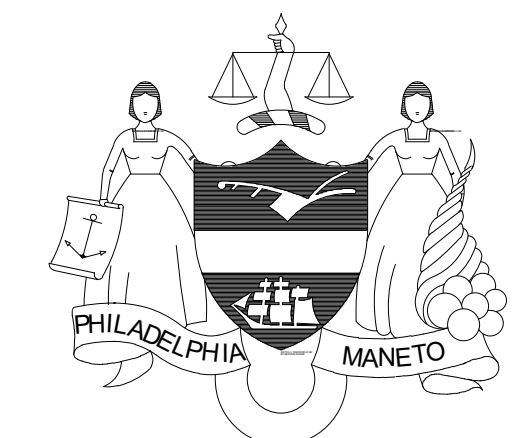


4 PLUMBING VENT FLASHING
NTS



NOTES:
1. ALL METAL SURFACES SHALL BE PRIMED BEFORE CONTACT WITH ANY ADHESIVE OR ROOF CEMENT

REVISIONS		
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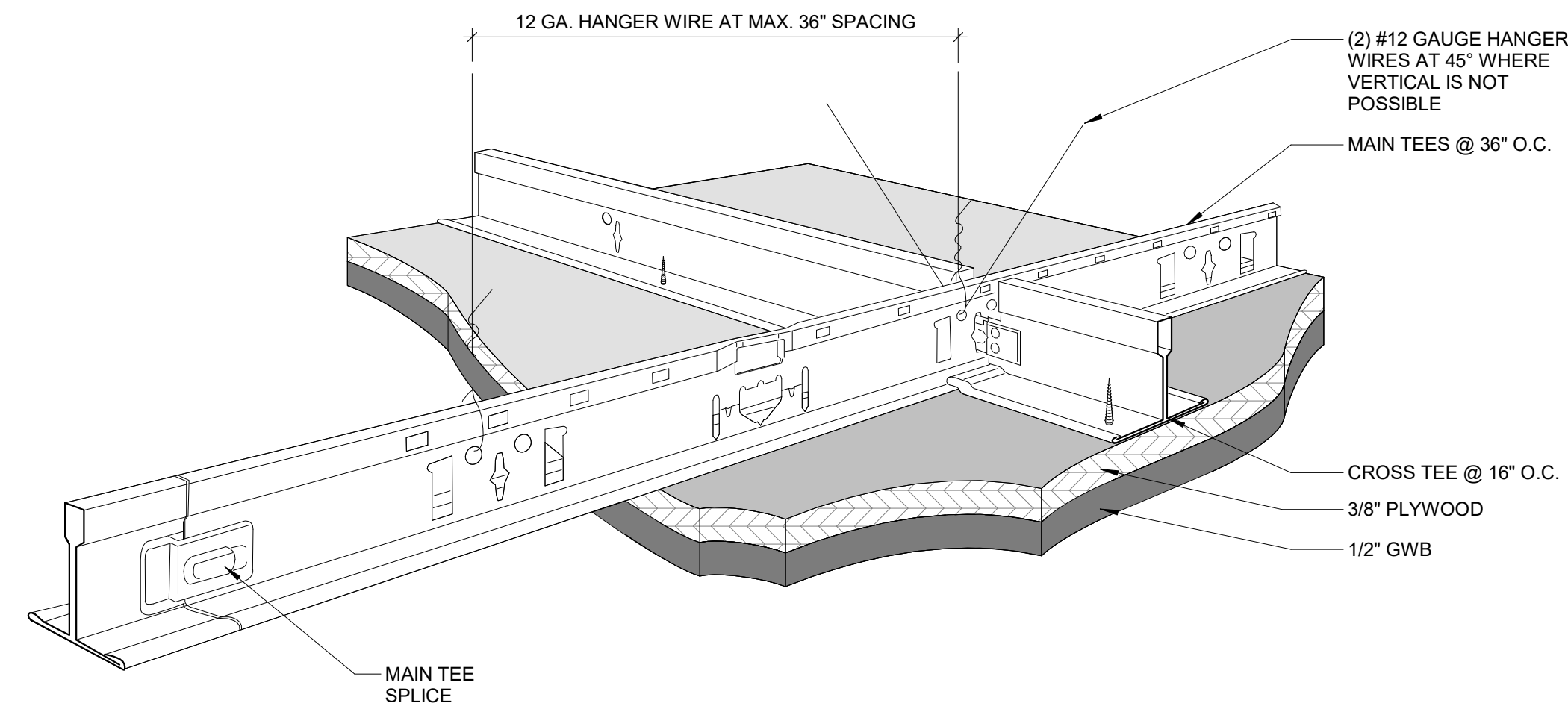
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
ROOF PLAN & DETAILS

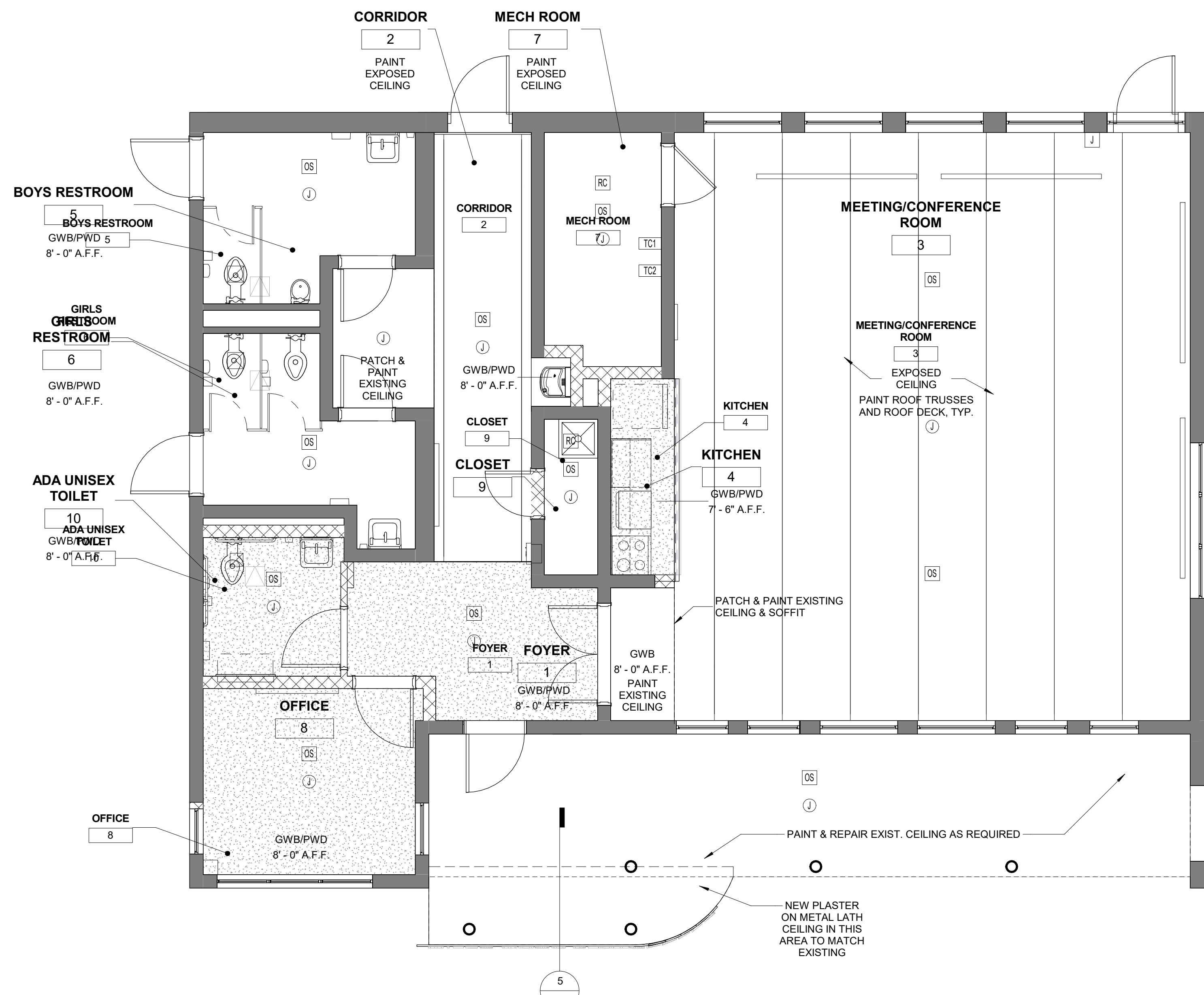
PROJECT NO. 10-20-XXXX-01	DRAWING NO. A2.1
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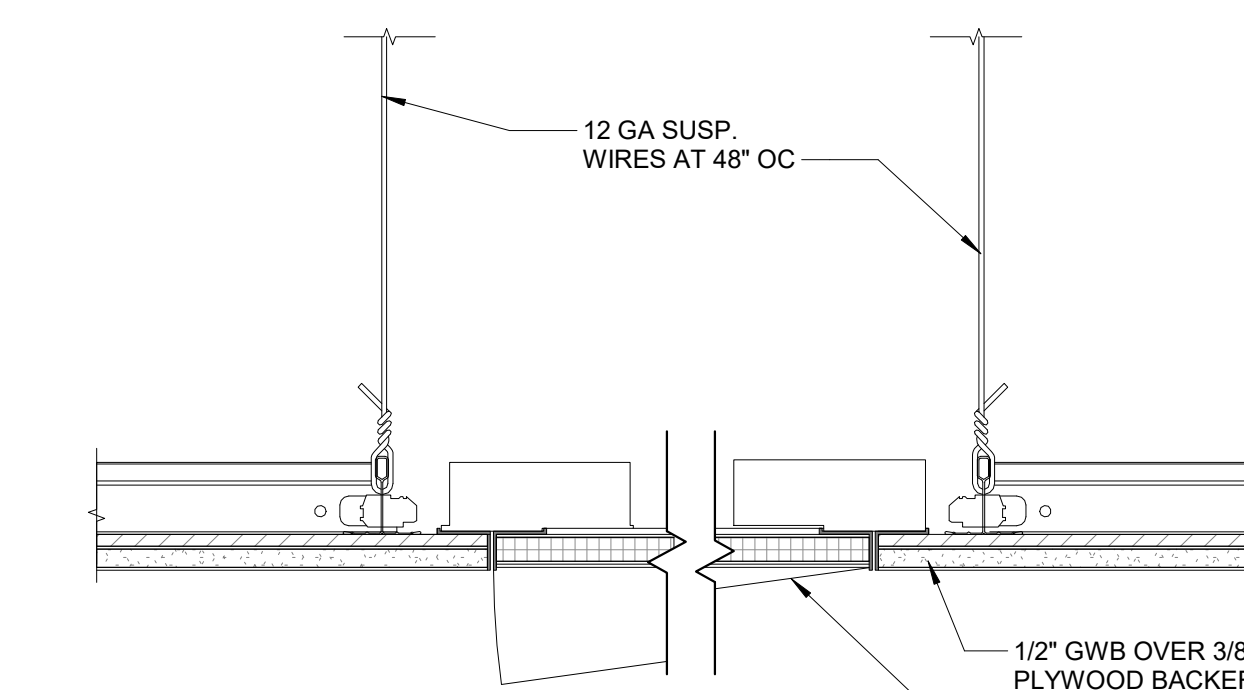
100% Submission - 2/7/20



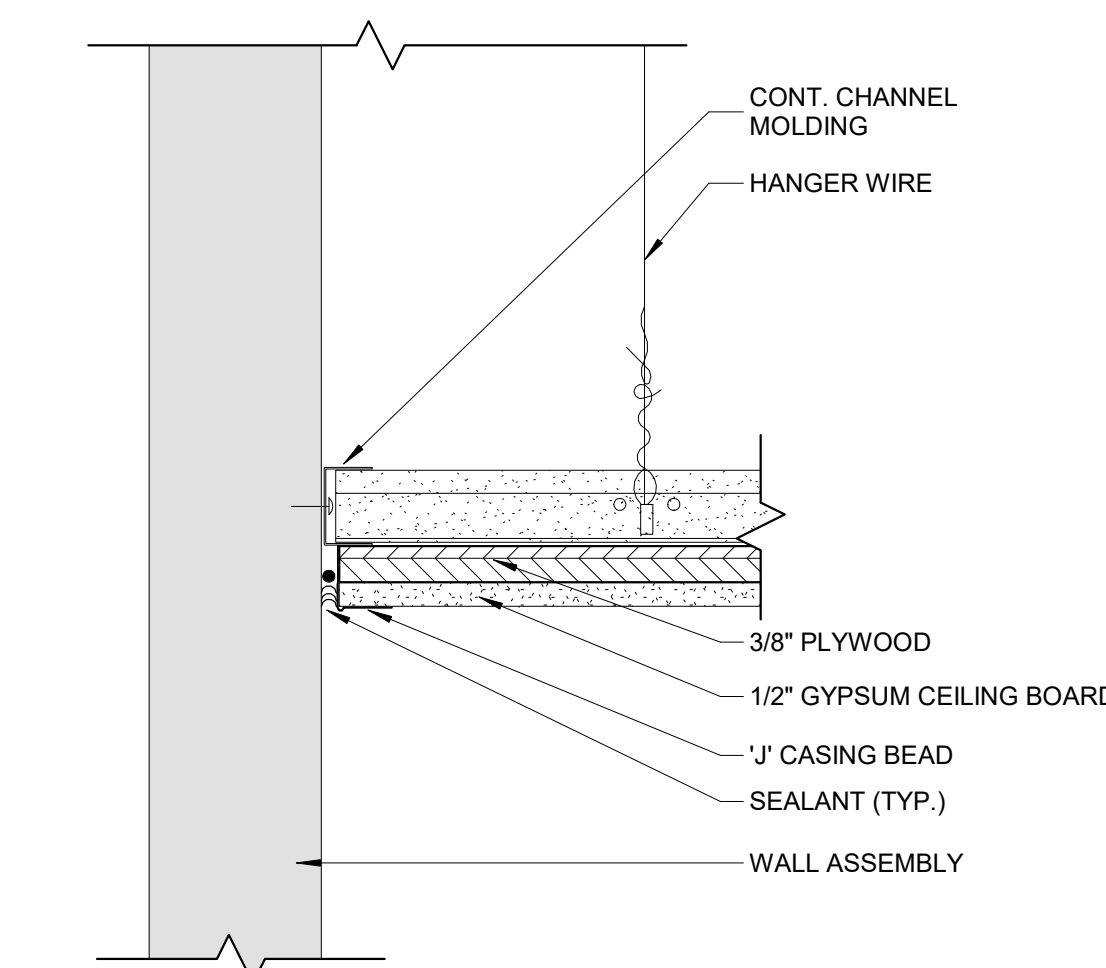
2 GWB TYPICAL CEILING SUSPENSION DETAIL
N.T.S.



1 PROPOSED REFLECTED CEILING PLAN
1/4" = 1'-0"



4 TYPICAL GYPSUM CEILING ASSEMBLY DETAIL
3" = 1'-0"



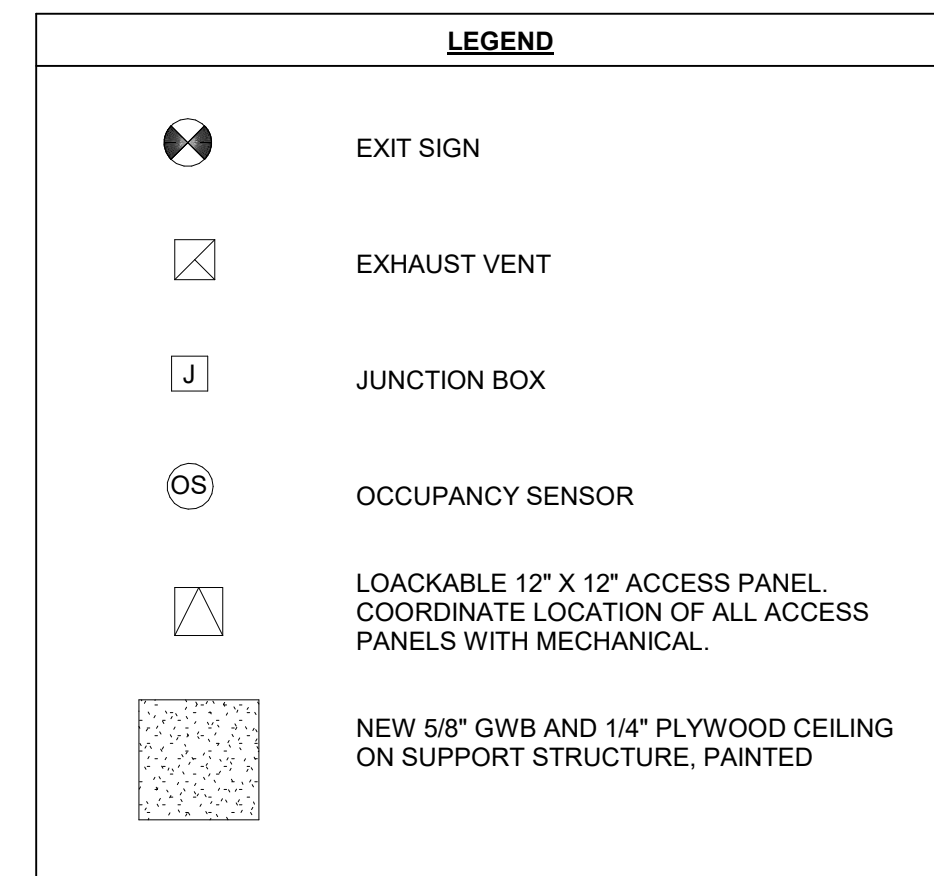
3 TYP. GYPSUM CEILING ASSEMBLY EDGE DETAIL
3" = 1'-0"

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7. CONFIRM ALL MEASUREMENTS. ALIGN FACE OF NEW CONSTRUCTION WITH FACE OF EXISTING CONSTRUCTION UNO.
8. FLUSH LEVER ON TOILET TO BE LOCATED ON LAVATORY SIDE.
9. REFER TO SHEET G0.2 FOR ALL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS.
10. PROTECT ALL EXISTING ITEMS TO REMAIN DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
11. SEE PLUMBING DRAWINGS FOR TOILET ROOM FIXTURE SCHEDULE.
12. REFER TO SHEET A7.0 FOR TOILET ROOM ACCESSORIES SCHEDULE.
13. PATCH AND REPAIR EXTERIOR MASONRY WALL SURFACES AND FINISH SURFACES WITH CEMENT PLASTER TO MATCH EXISTING.
14. PRIME ALL NEW AND PATCHED EXTERIOR WALL SURFACES TO RECEIVE FINISH COATS. FINISH COATS BY OTHERS, UNO.
15. FOR WINDOW AND DOOR TYPES SEE SHEET A7.0.
16. COORDINATE ALL OPENINGS IN CMU WALLS WITH MECHANICAL AND STRUCTURAL.
17. VERIFY STRUCTURAL JOIST DIMENSIONS.

RCP SHEET NOTES

1. SEE ELECTRICAL/POWER DRAWINGS FOR ADDITIONAL INFORMATION.
2. SEE MECHANICAL DRAWINGS FOR CEILING SUPPLY, DIFFUSERS, CABINET HEATER UNITS, AND LOCATIONS OF ACCESS PANELS REQUIRED FOR MECHANICAL EQUIPMENT.
3. PROVIDE BLOCKING AND UNISTRUT FRAMING AS REQUIRED ABOVE SUSPENDED CEILING FOR LIGHT FIXTURE AND MECHANICAL SUPPORTS.
4. CEILING HEIGHTS ARE MEASURED FROM FINISH FLOOR TO UNDERSIDE OF CEILING.
5. COORDINATE ALL DUCTS, PIPING, LIGHTS ETC. IN ORDER TO MAINTAIN LOCATION OF ALL CEILING HEIGHTS AS INDICATED. ANY DEVIATION FROM THE DRAWINGS MUST BE NOTED TO THE ARCHITECT IN WRITING AND APPROVED PRIOR TO INSTALLATION, NO EXCEPTIONS.
6. ALL EXISTING SPACES WITH NEW REPLACEMENT CEILINGS, G.C. IS TO MATCH EXISTING CEILING HEIGHTS.
7. PAINT UNDERSIDE OF EXPOSED ROOF DECK AND ROOF TRUSSES.
8. PATCH ALL CEILING OPENED OR DAMAGED AS PART OF CONSTRUCTION WORK.
9. PAINT ALL AREAS OF EXPOSED CEILING INCLUDING ROOF TRUSSES AND SUPPORTS.
10. REINSTALL EXISTING LIGHTING. COORDINATE DESIGN AND LAYOUT WITH OWNER.



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PROJECT TITLE
MILES MACK BUILDING RENOVATION

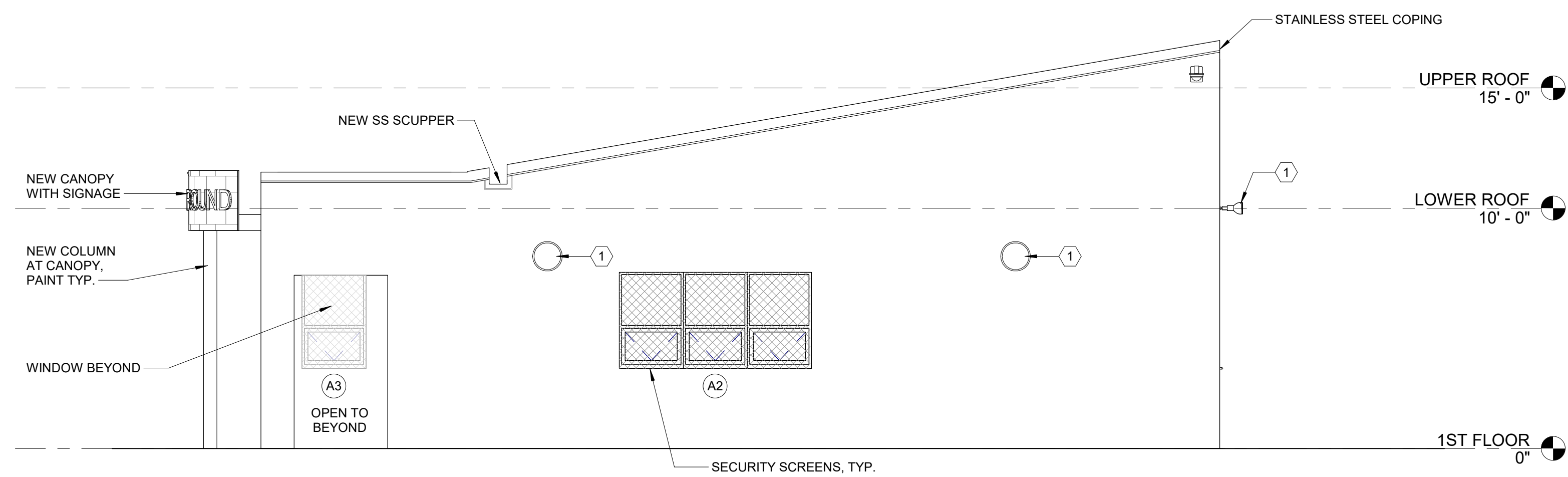
DRAWING TITLE
REFLECTED CEILING PLANS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A3.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

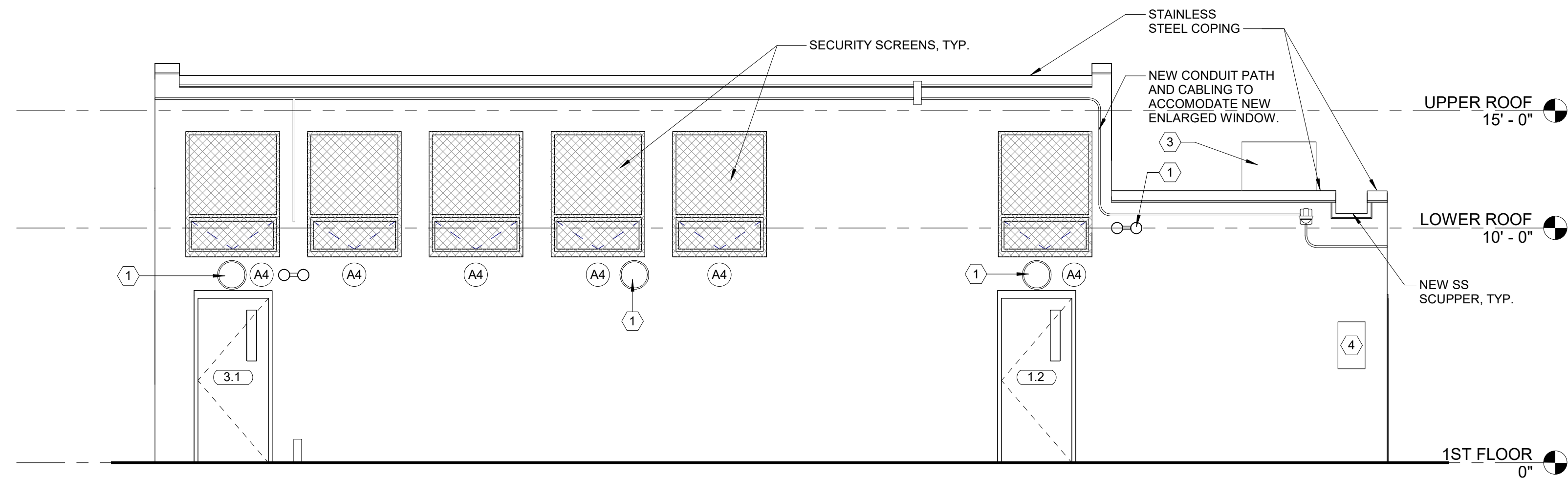
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

100% Submission - 2/7/20

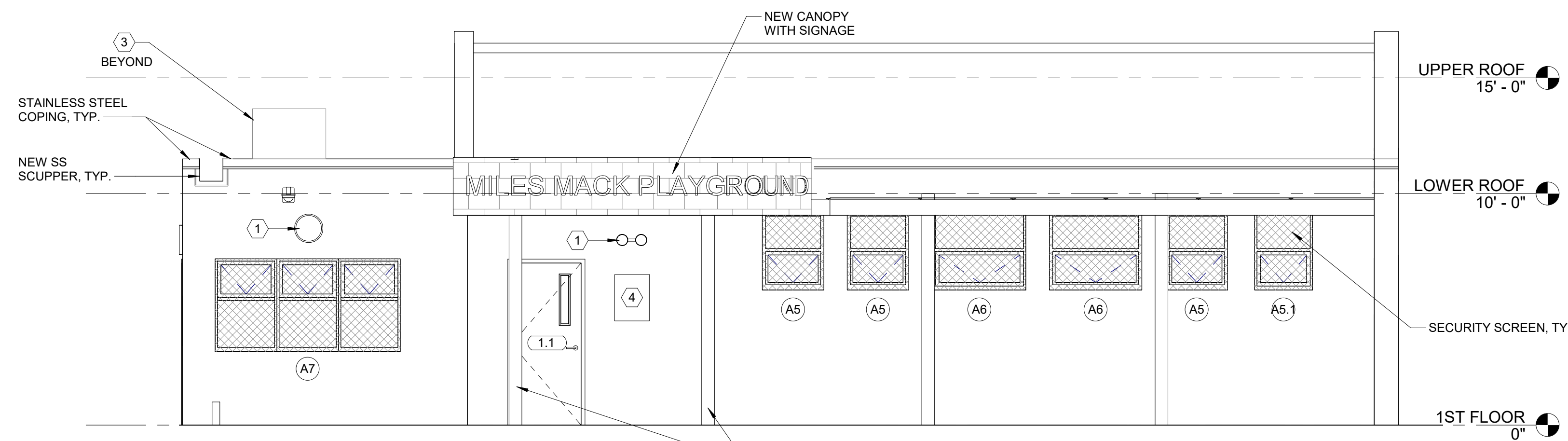




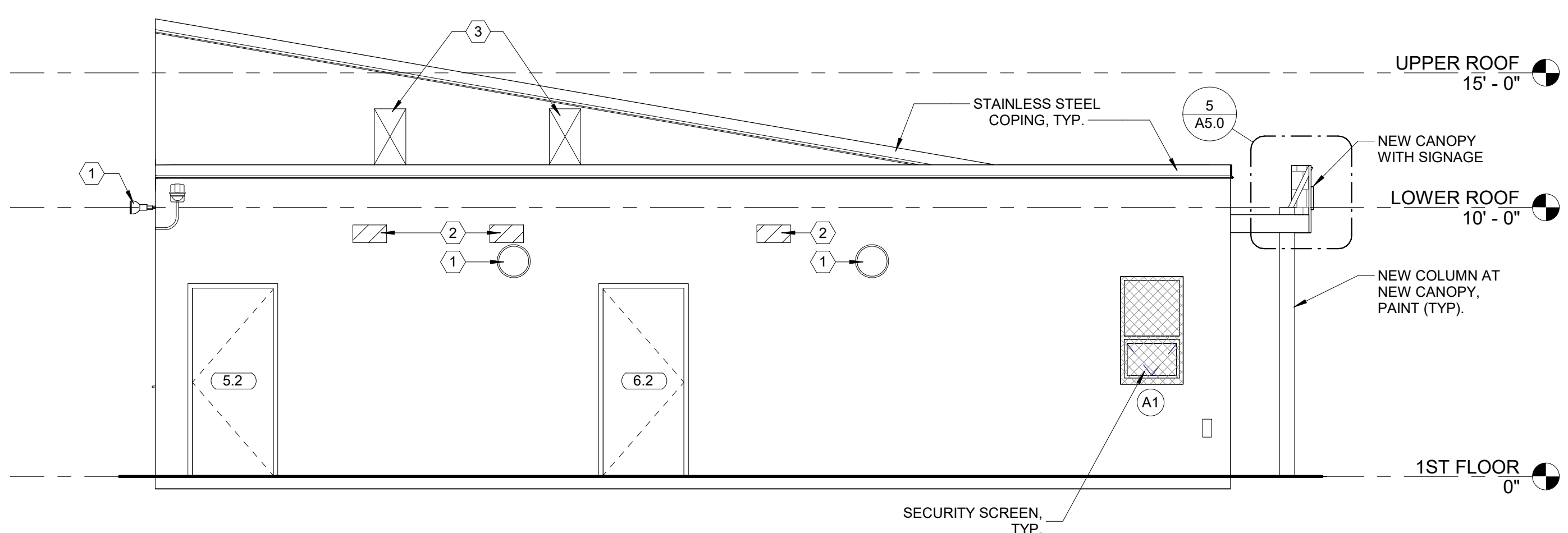
1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE START OF WORK. NOTIFY ARCHITECT IN WRITING OF ALL DISCREPANCIES BEFORE START OF WORK.
2. INTERIOR DIMENSIONS ARE TO FINISHED FACE OF WALL SURFACE.
3. ALL DOOR JAMBS AT HINGE SIDE TO BE SET 6" FROM ADJACENT WALL (MIN.) OR AS OTHERWISE NOTED.
4. ALL FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF CLOSED DOOR, TYPICAL UNO.
5. REFERENCE FINISH SCHEDULE FOR FINISH SPECIFICATIONS.
6. CONTRACTOR SHALL PROVIDE AND INSTALL WALL BLOCKING AS REQUIRED TO SUPPORT ALL WALL HUNG CABINETS, WALL-HUNG FIXTURES, COUNTERTOPS, SHELVING, AND ACCESSORIES. CONTRACTOR TO COORDINATE CLEARANCES FOR ALL BACK TO BACK FIXTURES.
7. CONFIRM ALL MEASUREMENTS. ALIGN FACE OF NEW CONSTRUCTION WITH FACE OF EXISTING CONSTRUCTION UNO.
8. FLUSH LEVER ON TOILET TO BE LOCATED ON LAVATORY SIDE.
9. REFER TO SHEET G0.2, FOR ALL PLUMBING FIXTURES AND ACCESSORIES MOUNTING HEIGHTS.
10. PROTECT ALL EXISTING ITEMS TO REMAIN DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
11. SEE PLUMBING DRAWINGS FOR TOILET ROOM FIXTURE SCHEDULE.
12. REFER TO SHEET A7.0 FOR TOILET ROOM ACCESSORIES SCHEDULE.
13. PATCH AND REPAIR EXTERIOR MASONRY WALL SURFACES AND FINISH SURFACES WITH CEMENT PLASTER TO MATCH EXISTING.
14. PRIME ALL NEW AND PATCHED EXTERIOR WALL SURFACES TO RECEIVE FINISH COATS. FINISH COATS BY OTHERS, UNO.
15. FOR WINDOW AND DOOR TYPES SEE SHEET A7.0.
16. COORDINATE ALL OPENINGS IN CMU WALLS WITH MECHANICAL AND STRUCTURAL.
17. VERIFY STRUCTURAL JOIST DIMENSIONS.

EXTERIOR ELEVATIONS GENERAL NOTES

1. PAINT COLUMNS, TYP. AT ALL EXISTING COLUMNS U.N.O
2. ALL NEW STEEL LINTELS TO BE HOT DIP GALVANIZED, PRIMED AND PREPARED TO RECEIVE NEW PAINT IN FIELD BY OTHERS.

ELEVATION KEYNOTES

Note	
1	REINSTALL SALVAGED LIGHT FIXTURES. SEE ELECTRICAL DRAWINGS. COORDINATE DESIGN AND LAYOUT WITH OWNER.
2	INFILL ABANDONED VENT OPENINGS, TO MATCH EXISTING ADJACENT. COORDINATE W/ MECH.
3	MECHANICAL EQUIPMENT WITH SECURITY ENCLOSURE ON NEW DUNNAGE. SEE MECHANICAL DWGS.
4	EXISTING SIGNAGE TO REMAIN.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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and Department of Public Property
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Contact: Sara Nordstrom, 215-683-0253

SEAL

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CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
EXTERIOR ELEVATIONS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A4.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

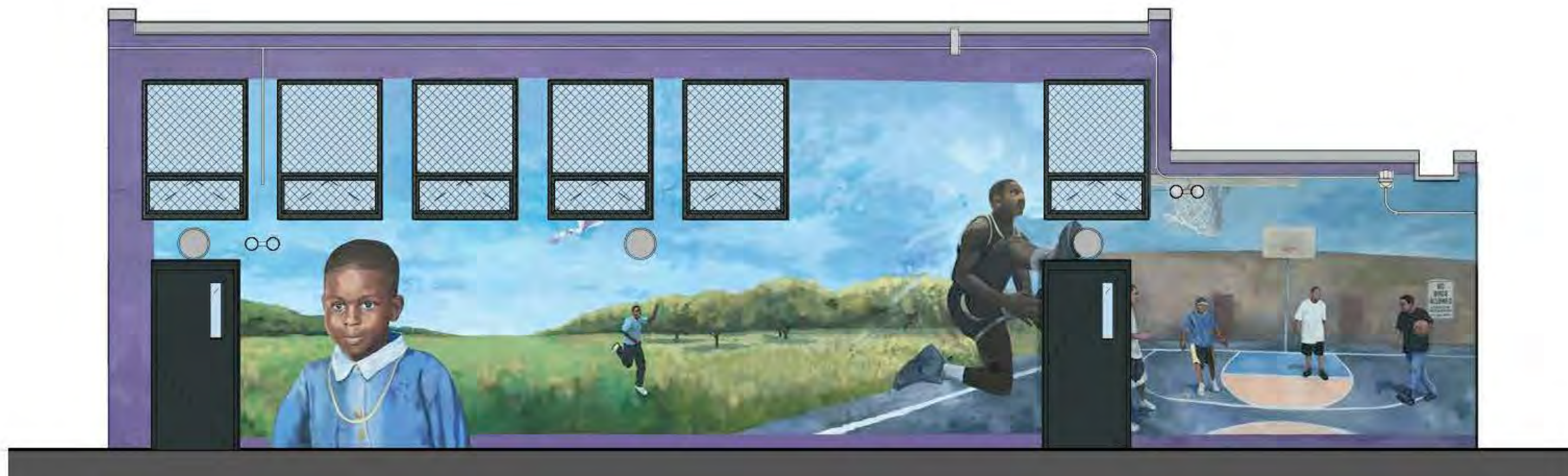
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



100% Submission - 2/7/20



1 NORTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

GENERAL SHEET NOTES:

1. THESE ELEVATIONS ARE INCLUDED TO ILLUSTRATE EXISTING MURAL TO BE PAINTED/REPAINTED BY OTHERS.
2. CONTRACTOR IS TO PROTECT MURAL FROM DAMAGE DURING CONSTRUCTION.
3. ALL NEW, REPAIRED, AND PATCHES AREAS ARE TO BE PRIMED AND READY FOR FINISH PAINTING.
4. FINISH PAINTING OF EXTERIOR SURFACES ARE BY OTHERS WITH THE EXCEPTION OF COLUMNS, DOORS, FRAMES, CONCRETE FLOOR SLAB AT ENTRY CANOPY, UNDERSIDE OF ENTRY CANOPY, AREAS OF NEW CONSTRUCTION, STEEL LINTELS, AND OTHER AREAS AS NOTED.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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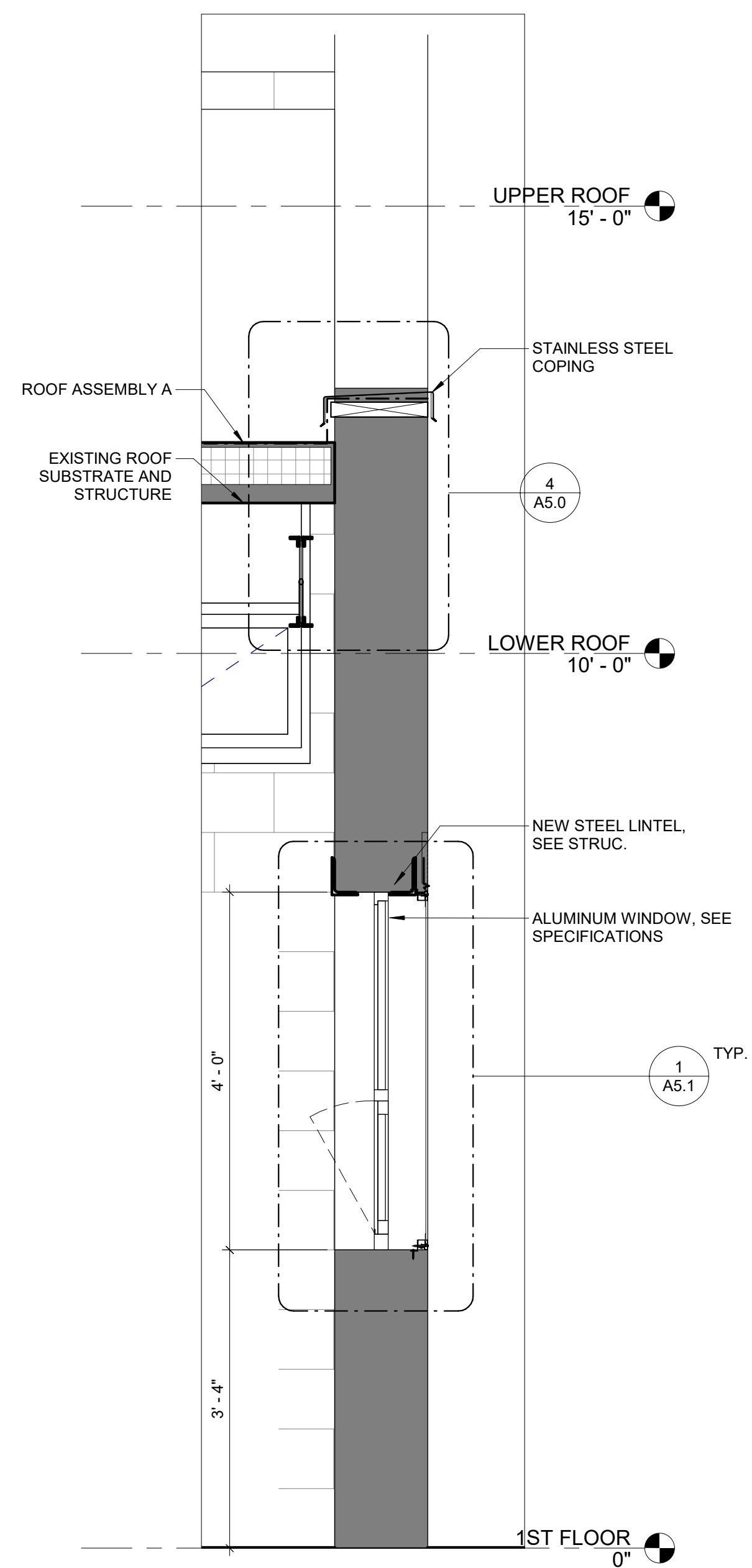
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
ILLUSTRATIVE EXTERIOR ELEVATIONS

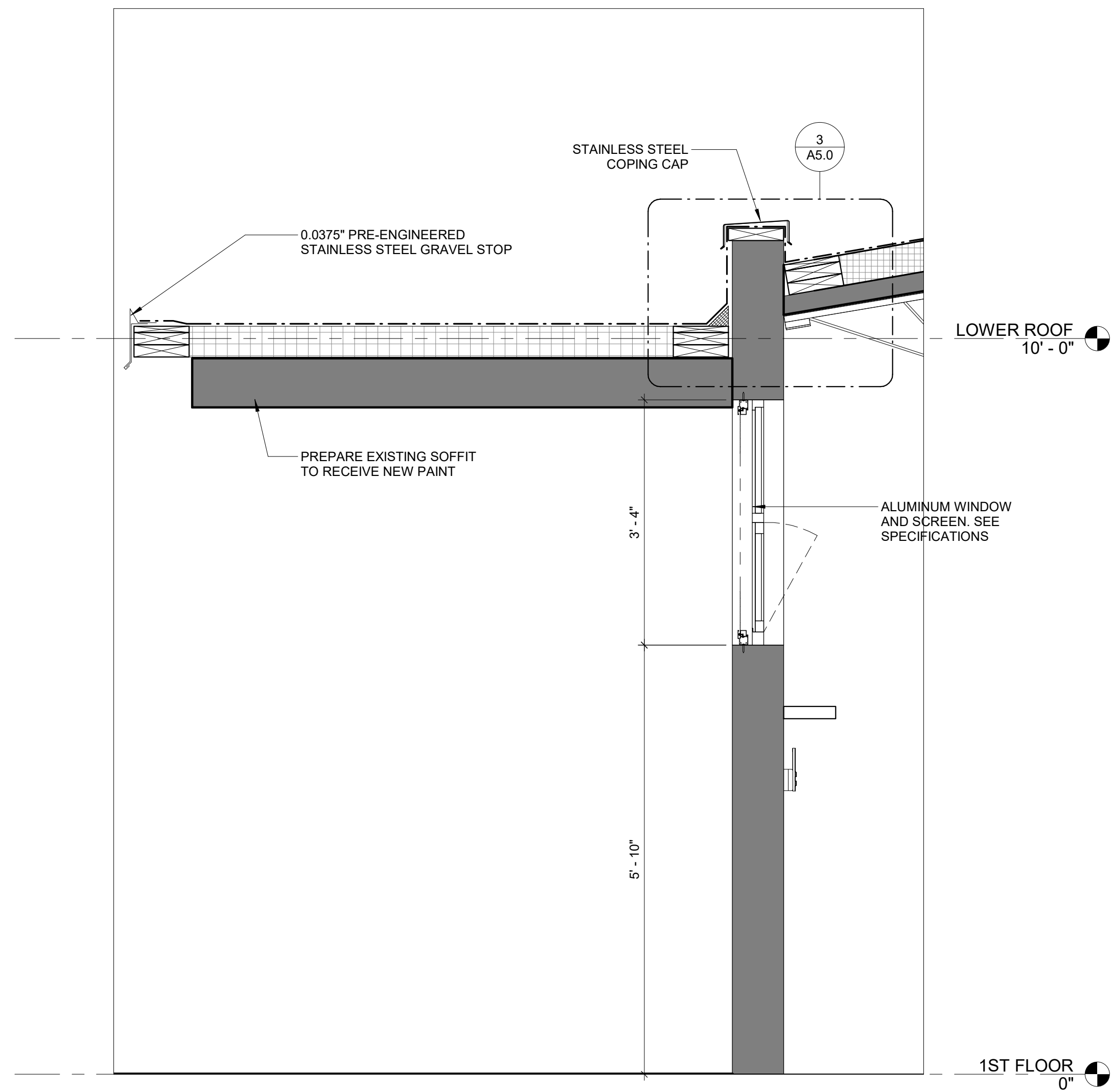
PROJECT NO. 10-20-XXXX-01	DRAWING NO. A4.1
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

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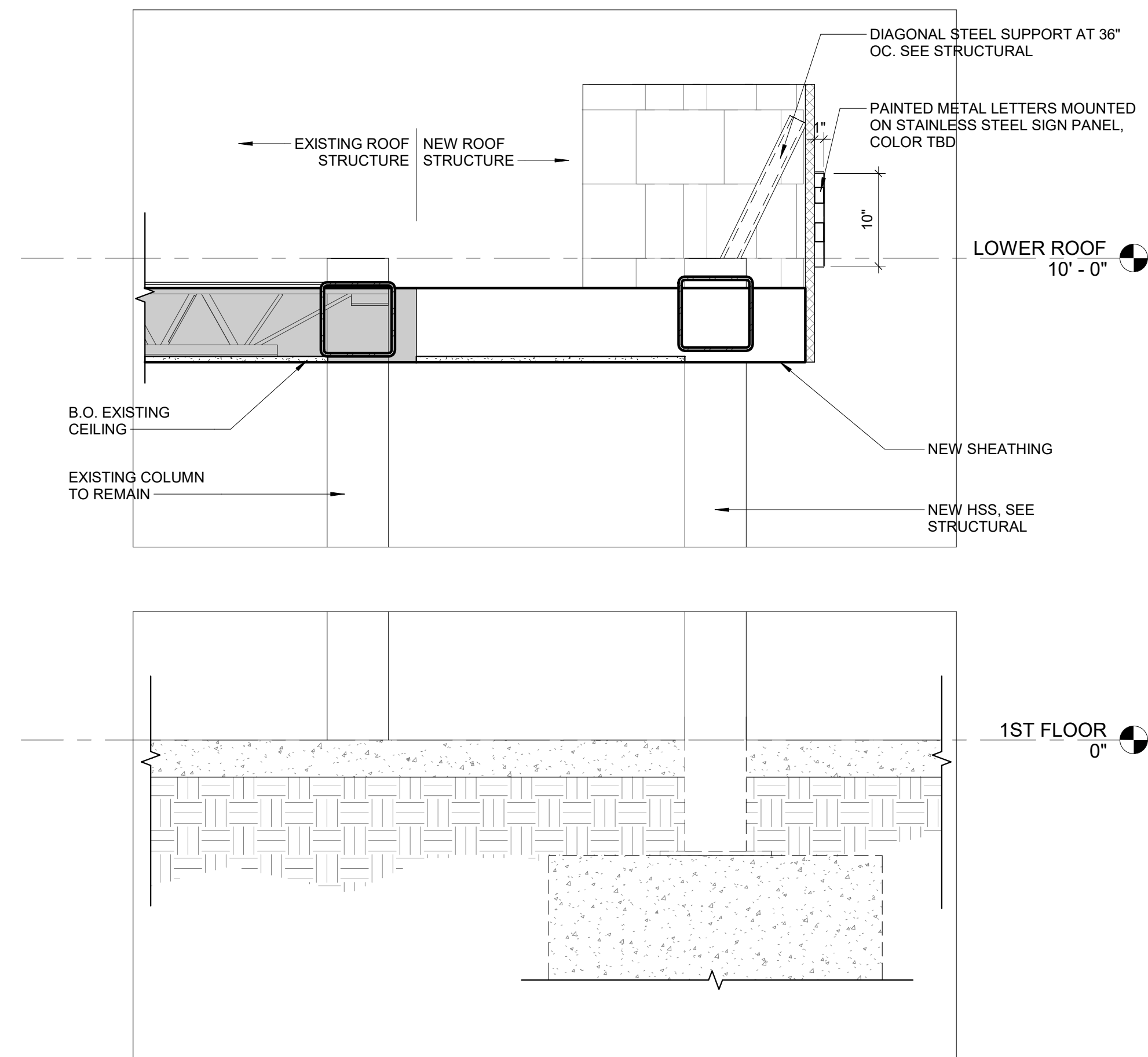
100% Submission - 2/7/20



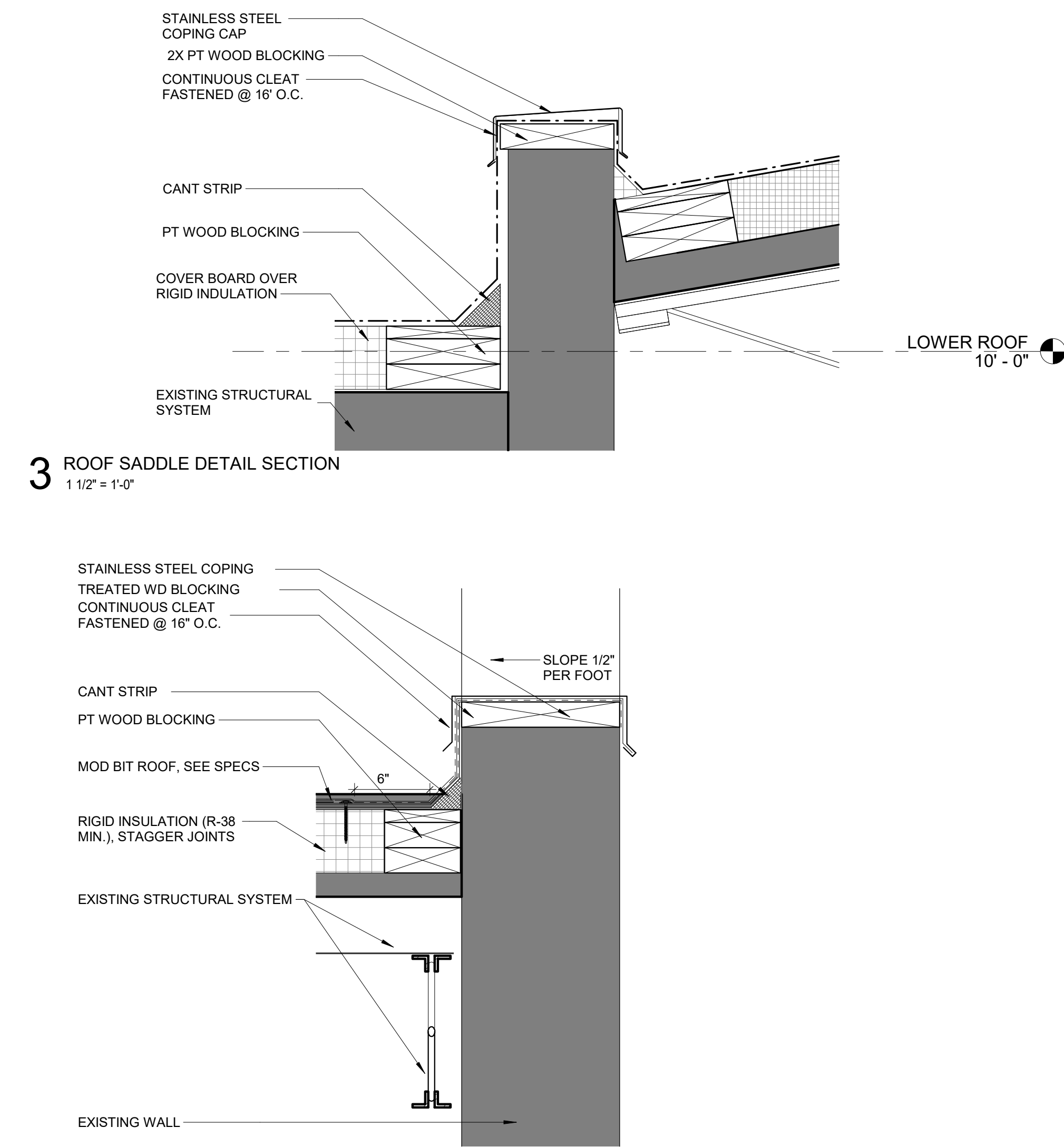
1 TYPICAL WALL AT NEW STOREFRONT
3/4" = 1'-0"



2 SECTION THROUGH FRONT WALL/CANOPY
3/4" = 1'-0"



5 CANOPY DETAIL
1" = 1'-0"



3 ROOF SADDLE DETAIL SECTION
1 1/2" = 1'-0"

4 SECTION @ PARAPET
1 1/2" = 1'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION



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PROJECT TITLE
MILES MACK BUILDING RENOVATION

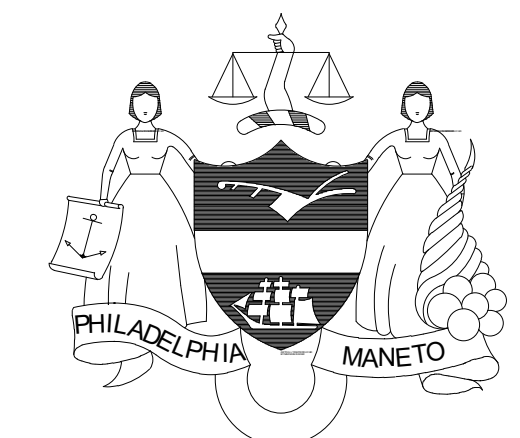
DRAWING TITLE
WALL SECTIONS & DETAILS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A5.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

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100% Submission - 2/7/20

REVISIONS		
ISSUE	DATE	DESCRIPTION



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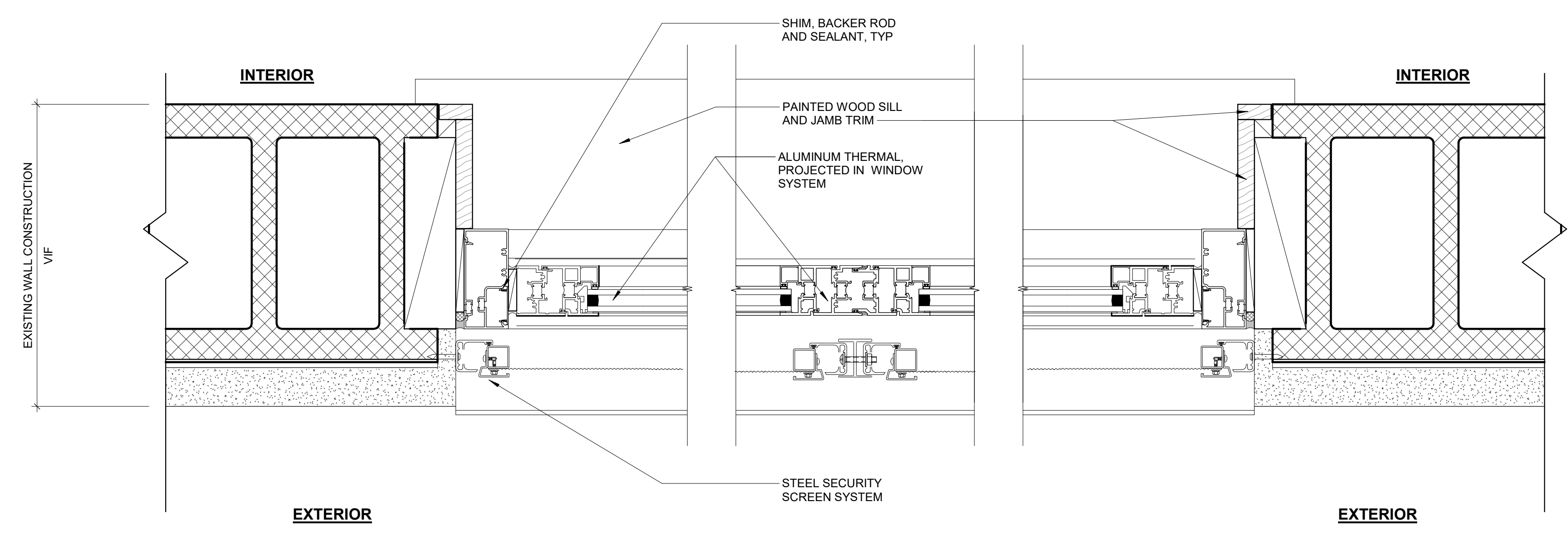
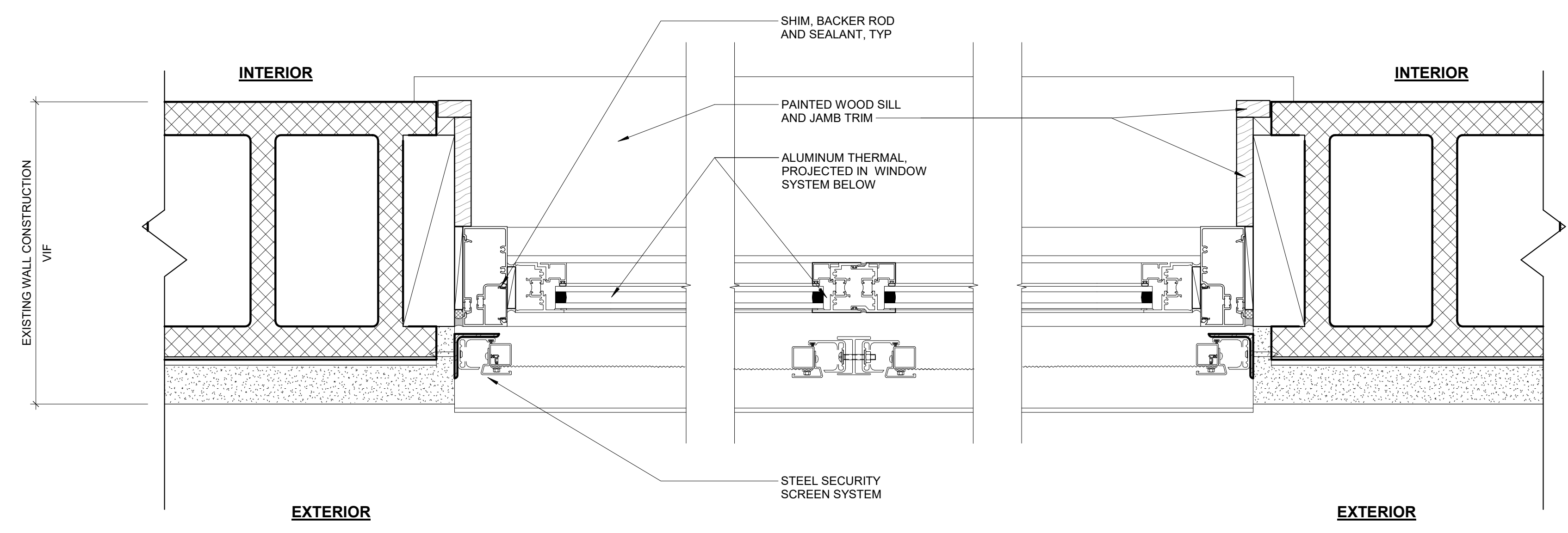
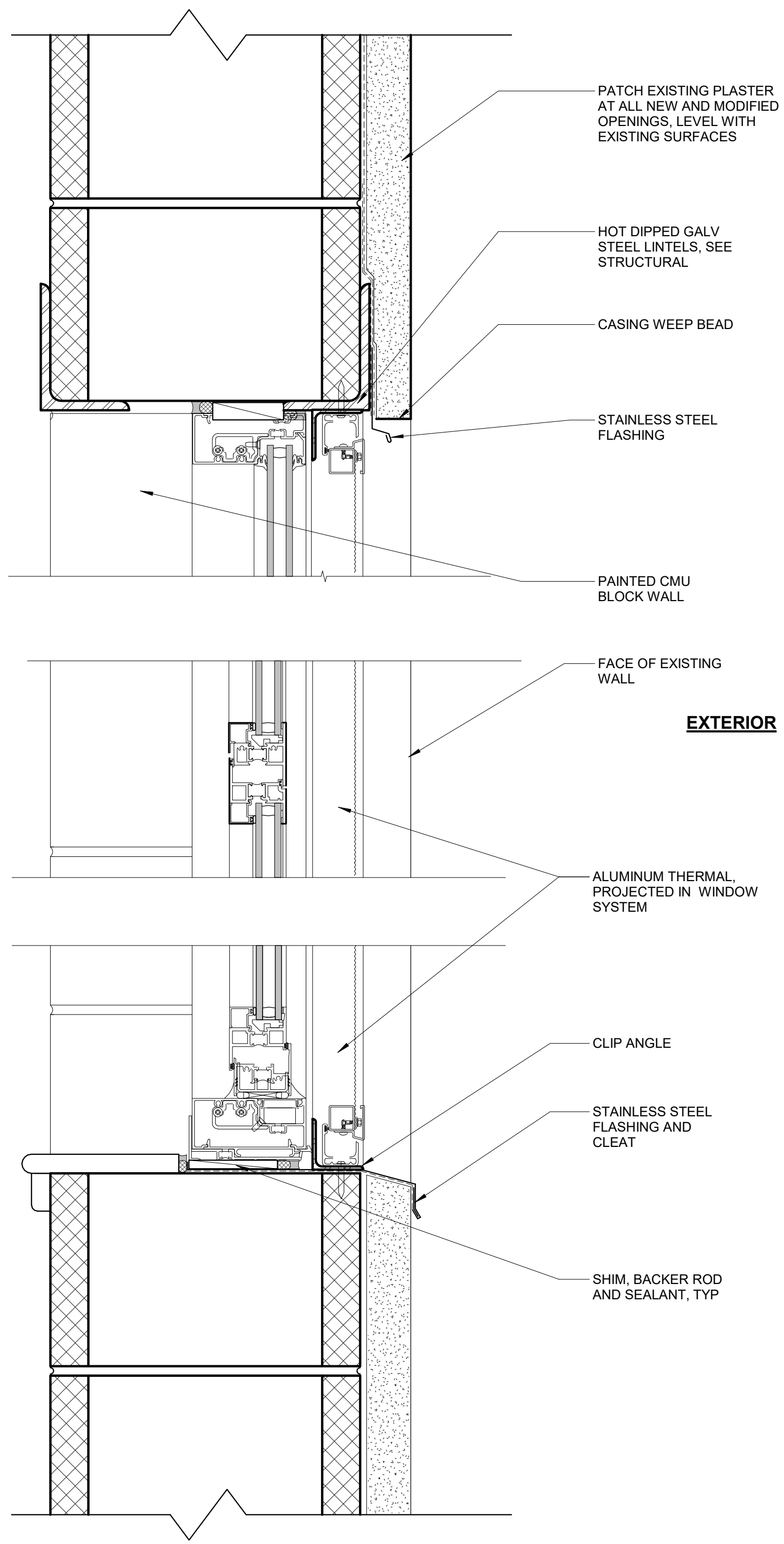
PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
MISCELLANEOUS DETAILS

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A5.1
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: Author	
CHECKED BY: Checker	FILE:

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100% Submission - 2/7/20



1 WINDOW SECTION
3" = 1'-0"

2 WINDOW DETAIL PLAN - OPERABLE
3" = 1'-0"

3 WINDOW DETAIL PLAN - FIXED
3" = 1'-0"

SHEET NOTES

1. SEE A7.0 FOR SPECIALTY EQUIPMENT & ACCESSORIES SCHEDULE

ISSUE	DATE	DESCRIPTION



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 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK BUILDING RENOVATION

DRAWING TITLE
 ENLARGED KITCHENETTE PLAN AND
 DETAILS

PROJECT NO.
 10-20-XXXX-01

DATE: 02.07.2020

SCALE: AS NOTED

DRAWN BY:

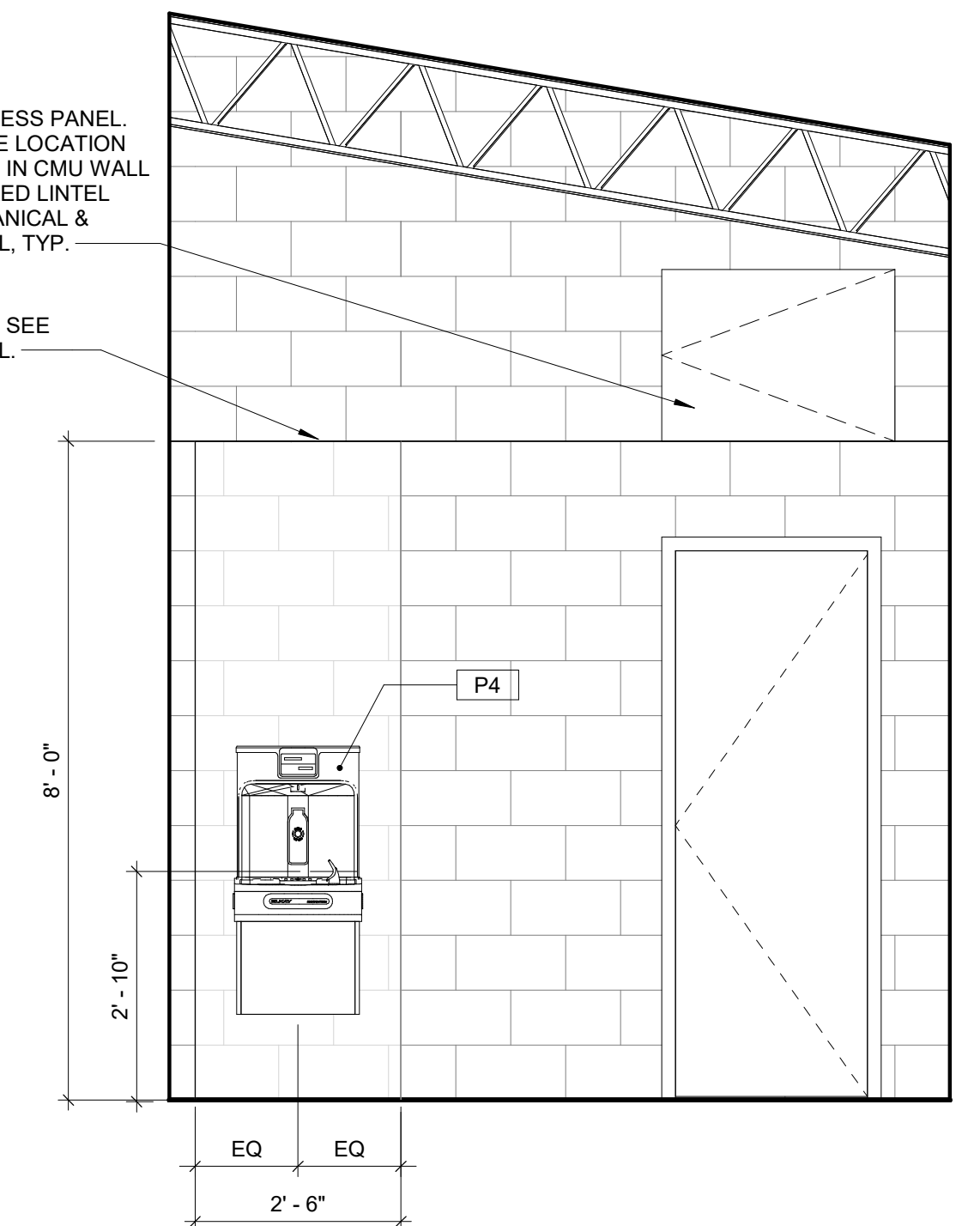
CHECKED BY:

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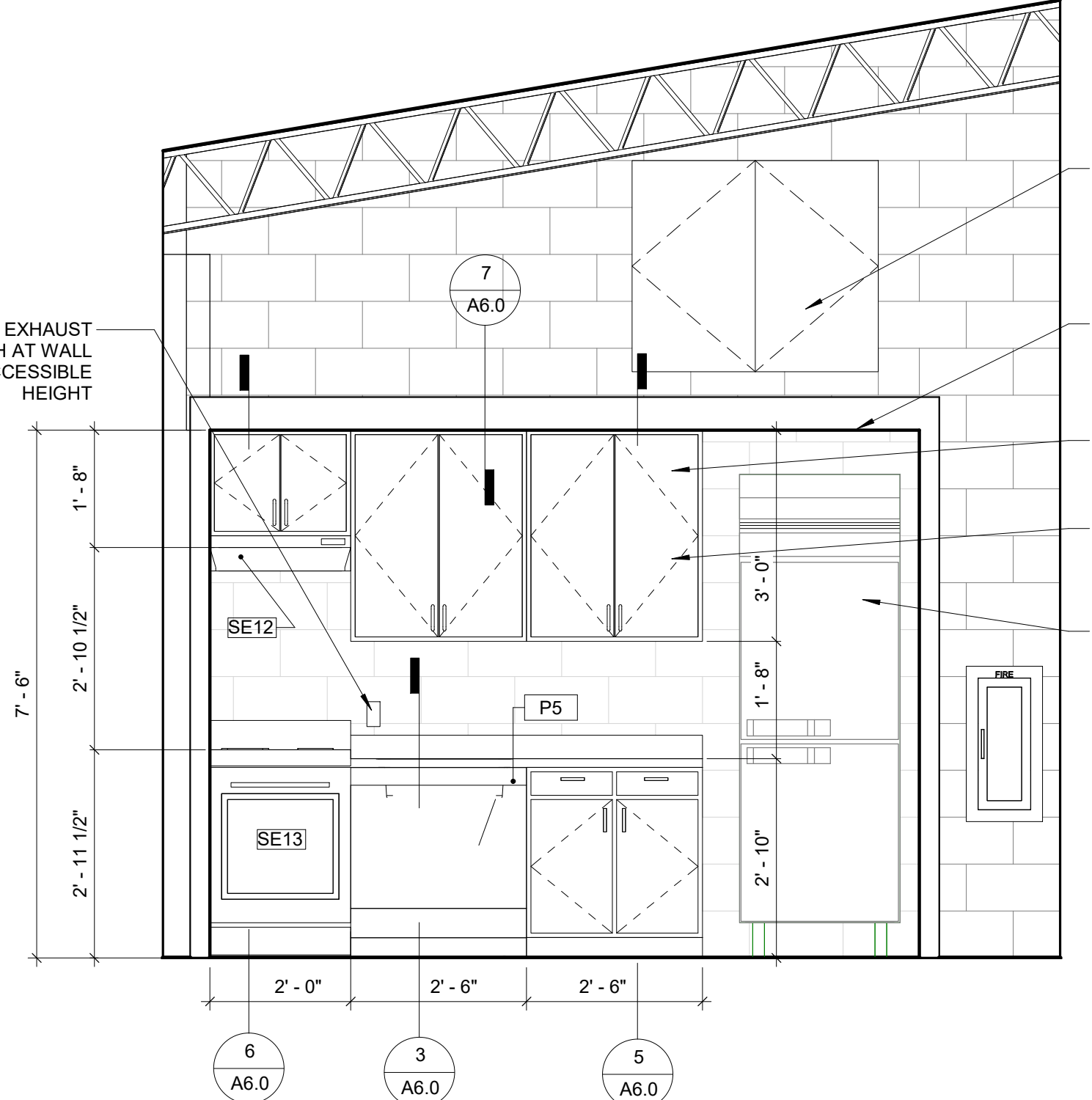
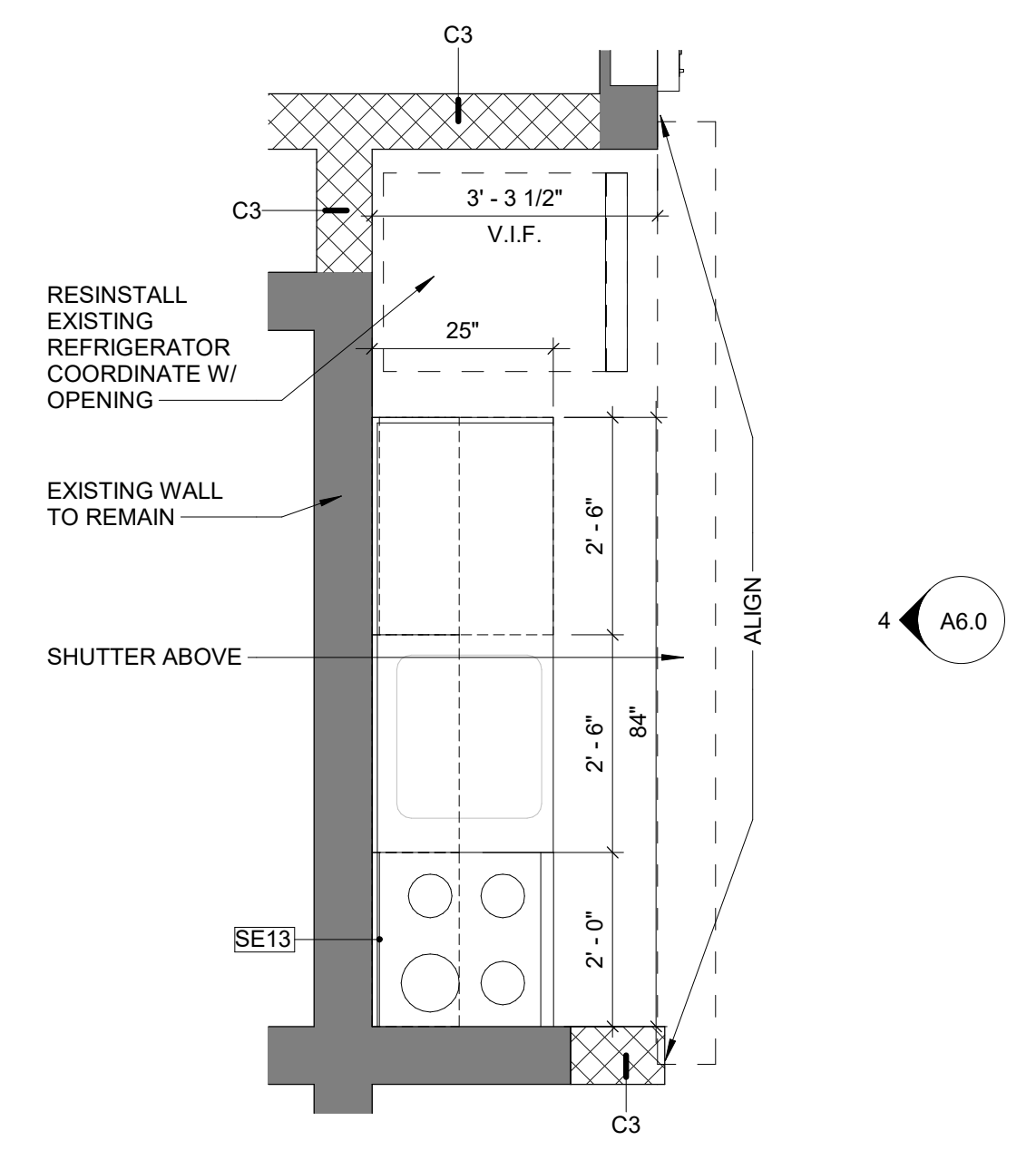
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100% Submission - 2/7/20

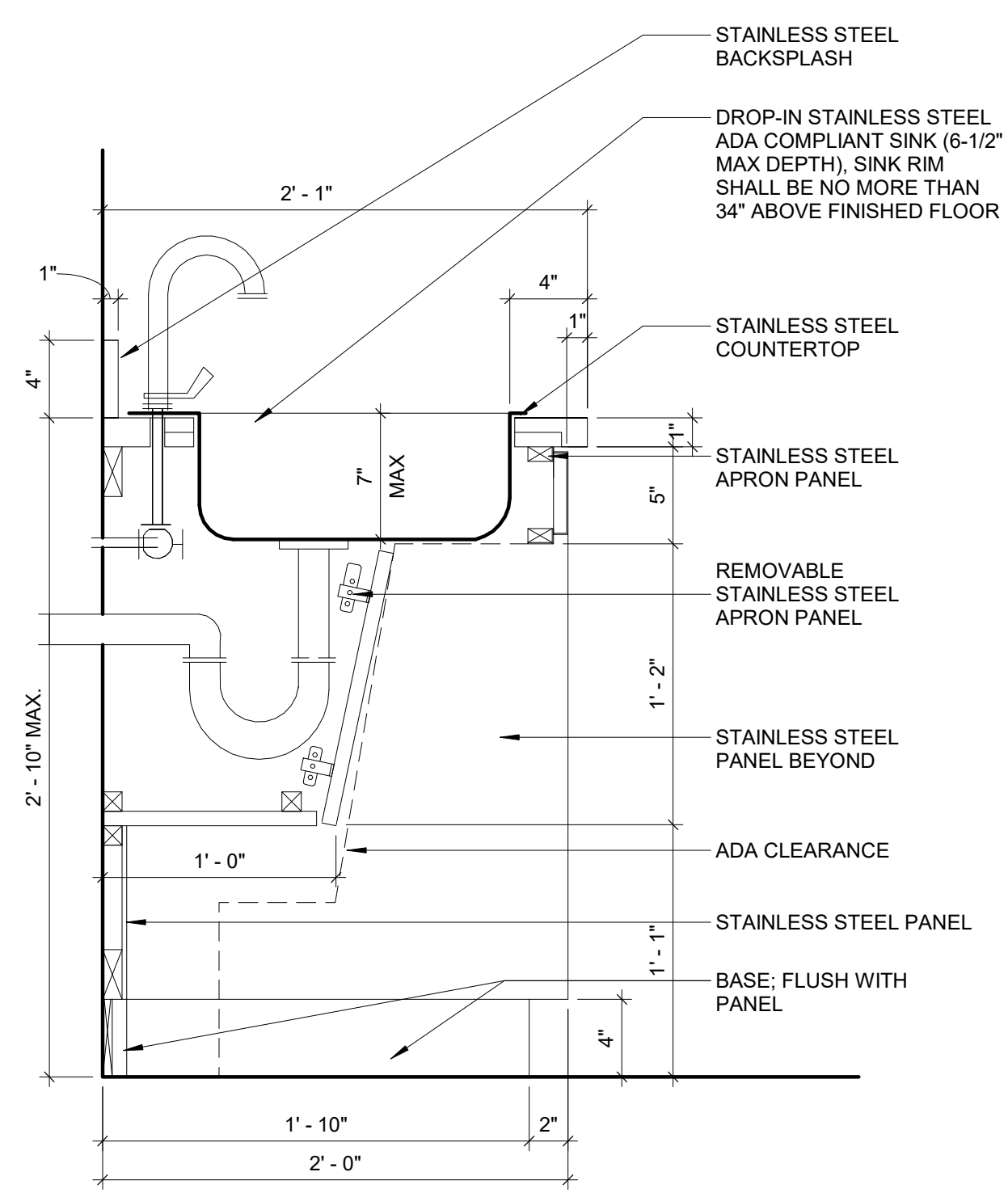
1 KITCHEN ENLARGED PLAN
 1/2" = 1'-0"



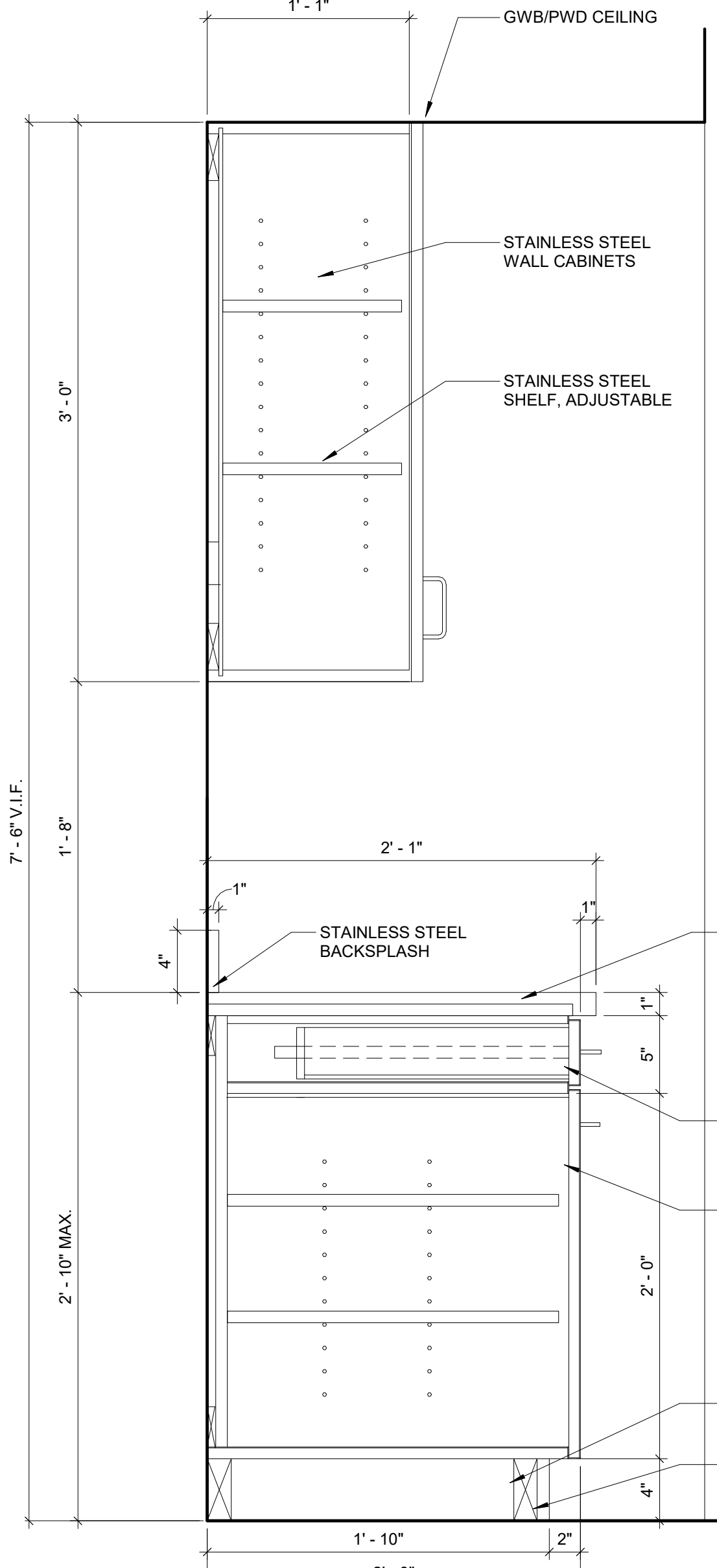
2 DRINKING FOUNTAIN ELEVATION
 1/2" = 1'-0"



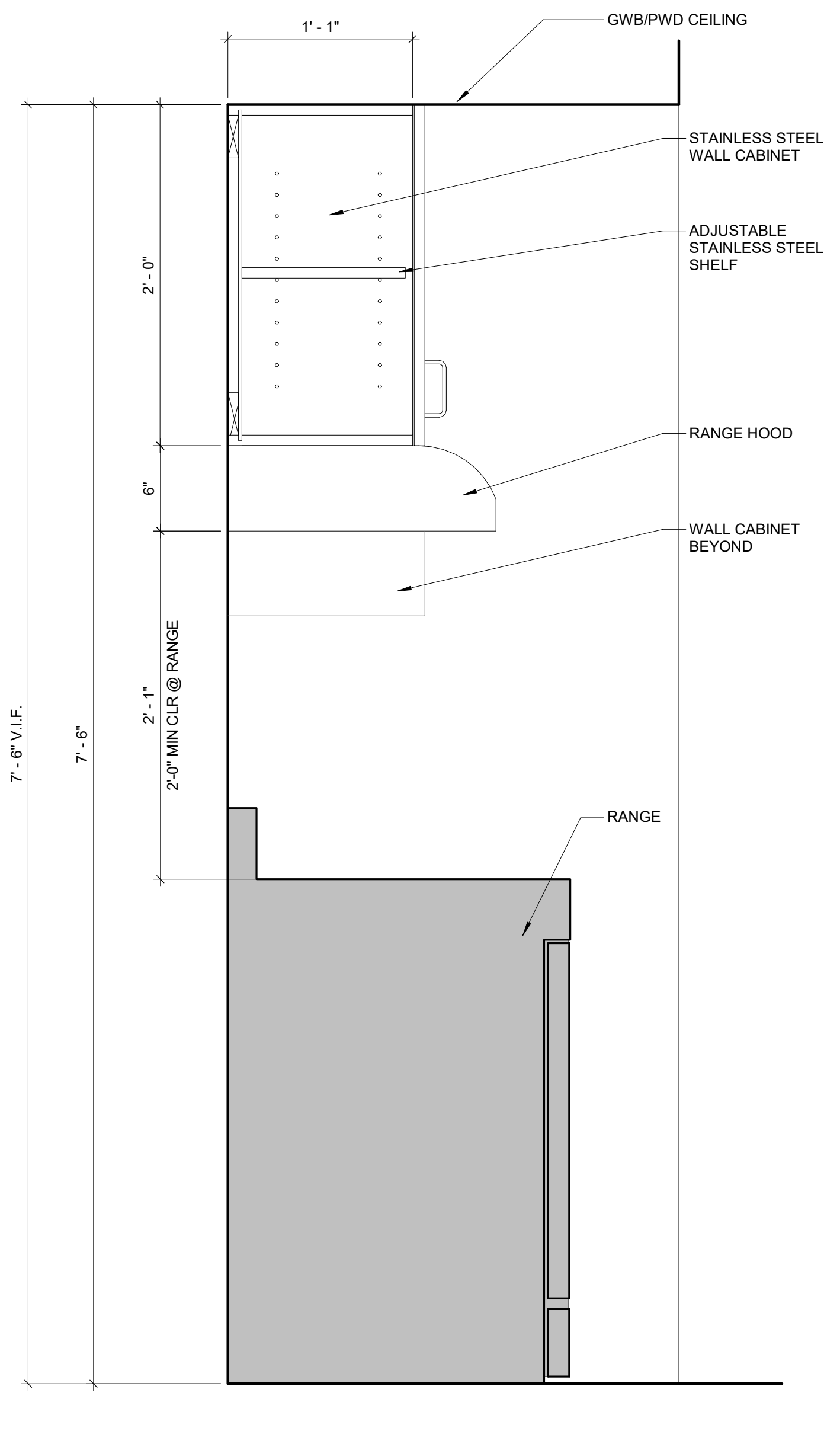
4 KITCHEN ELEVATION
 1/2" = 1'-0"



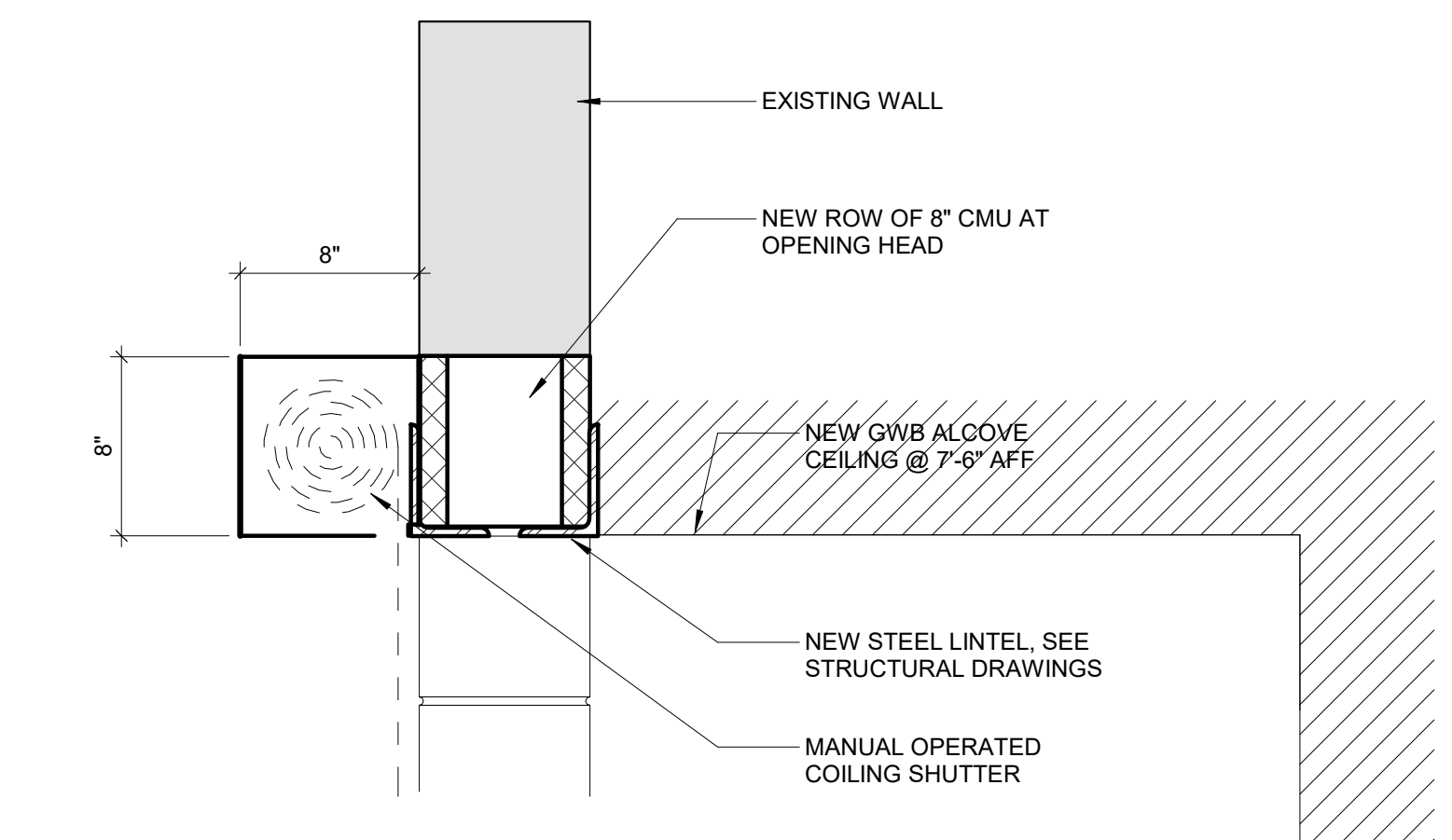
3 KITCHEN CABINET DETAIL @ SINK
 1/2" = 1'-0"



5 KITCHEN UPPER CABINET DETAILS
 1/2" = 1'-0"



6 KITCHEN UPPER CABINET @ RANGE
 1/2" = 1'-0"



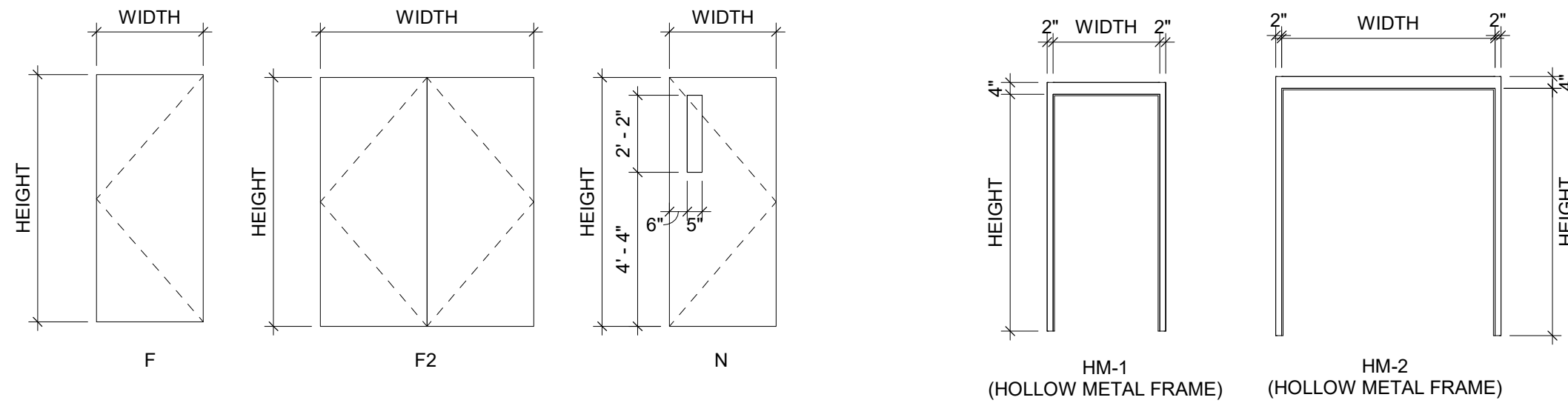
7 SHUTTER @ EXIST KITCHEN ALCOVE
 1 1/2" = 1'-0"

100% Submission - 2/7/20

DOOR SCHEDULE																
DOOR NO.	ROOM NAME	DOOR					FRAME						REQUIREMENTS	HARDWARE SET	COMMENTS	
		WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB				THRESHOLD
1.1	HALLWAY	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	2	COORDINATE EXTERIOR PT W/ MURAL
1.2	FOYER	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	2	COORDINATE EXTERIOR PT W/ MURAL
3.1	MEETING/CONFERENCE ROOM	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	2	COORDINATE EXTERIOR PT W/ MURAL
3.2	MEETING/CONFERENCE ROOM	2'-6" (VIF)	7'-0" (VIF)	1 3/4"	F2	HM	PT-3	HM-2	HM	PT-3	H-2	J-2	TYPE-B	YES	4	
5.1	BOYS BATHROOM	2'-0" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-B	YES	7	
5.2	BOYS BATHROOM	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	3	COORDINATE EXTERIOR PT W/ MURAL
6.1	GIRLS BATHROOM	2'-8" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-B	YES	7	
6.2	GIRLS BATHROOM	3'-0" (VIF)	7'-0" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-3	J-3	TYPE-A	YES	3	COORDINATE EXTERIOR PT W/ MURAL
7.1	MECHANICAL	3'-0" (VIF)	7'-2" (VIF)	1 3/8"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-B	-	1	
8.1	OFFICE	3'-0"	7'-0"	1 3/4"	N	HM	PT-3	HM-1	HM	PT-3	H-1	J-1	TYPE-B	-	5	
9.1	CLOSET	2'-4" (VIF)	6'-8" (VIF)	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-2	J-2	TYPE-C	-	8	
10.1	ADA UNISEX TOILET	3'-0"	7'-0"	1 3/4"	F	HM	PT-3	HM-1	HM	PT-3	H-1	J-1	TYPE-B	YES	6	

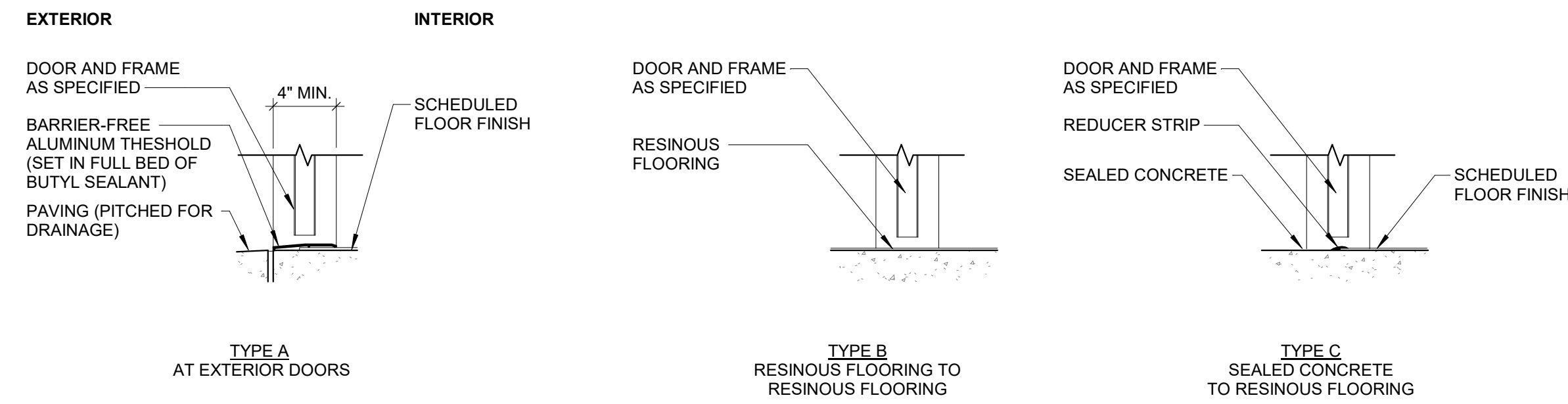
DOOR AND FRAME NOTES:

1. OPENING FORCE OF INTERIOR NON-RATED DOORS SHALL BE NO GREATER THAN 5 LBS.
2. OPENING FORCE OF FIRE RATED DOORS SHALL BE NO GREATER THAN 8 LBS.
3. REFER TO SPECIFICATIONS FOR GLAZING TYPES.
4. PAINT ALL EXPOSED STEEL (COLOR AS SELECTED BY ARCHITECT).
5. PROVIDE COMPATIBLE FLASHING MATERIALS BETWEEN DISSIMILAR MATERIALS.
6. SHM ASSEMBLIES AS REQUIRED FOR PLUMB AND LEVEL. PROVIDE SEALANT AND BACKER RODS AT ALL JOINTS BETWEEN WINDOW SYSTEMS, DOOR FRAMES AND OTHER SURROUNDING CONSTRUCTION.
7. ALUMINUM WINDOW AND ENTRANCE FRAMES SHALL NOT BE INSTALLED IN DIRECT CONTACT WITH DISSIMILAR BUILDING MATERIALS.
8. DO NOT APPLY WALL BASE TO HOLLOW METAL OR ALUMINUM FRAMES, UNLESS OTHERWISE NOTED.
9. SEE FINISH SCHEDULE ON A8.0 FOR DOOR AND FRAME FINISHES.
10. SEE SPECIFICATIONS FOR HARDWARE SETS.

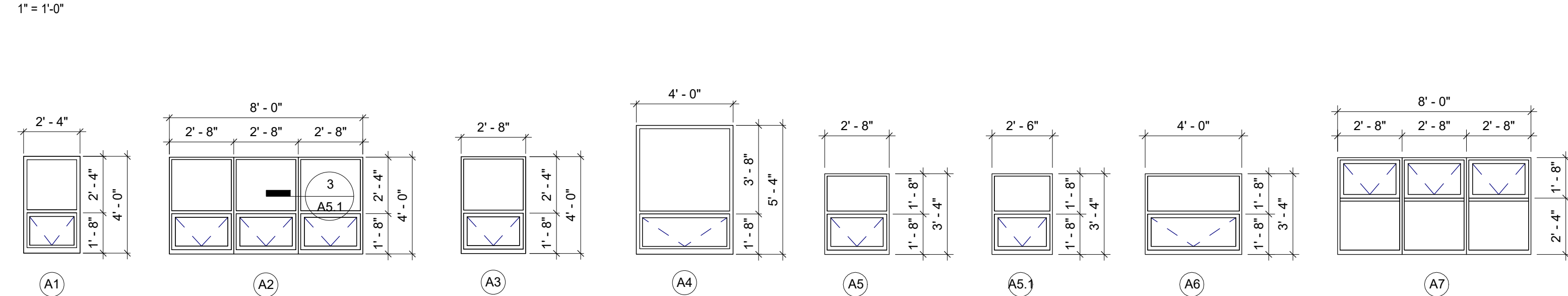


DOOR TYPES
1/4" = 1'-0"

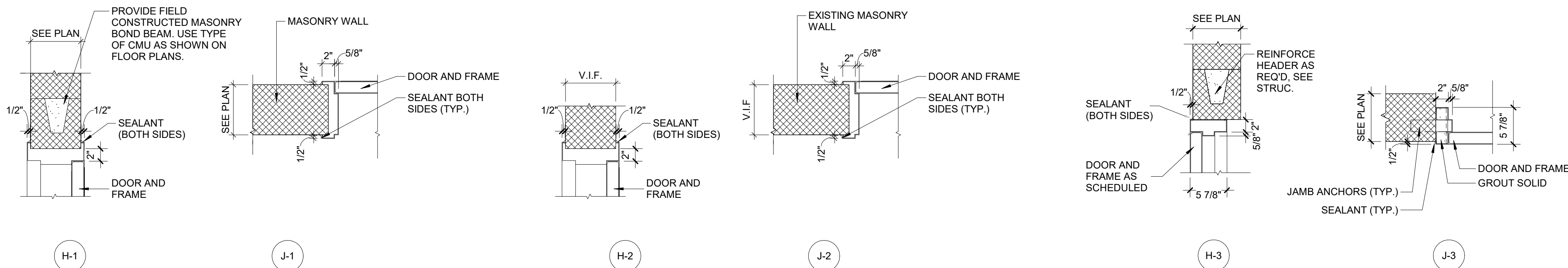
DOOR FRAMES
1/4" = 1'-0"



THRESHOLD DETAILS
1" = 1'-0"



WINDOW TYPES
1/4" = 1'-0"



DOOR HEAD AND JAMB
1" = 1'-0"

SPECIALTY EQUIPMENT & ACCESSORIES SCHEDULE				
TYPE	DESCRIPTION	MANUFACTURER	MODEL NO.	COMMENTS
SE1	RESTROOM PARTITIONS	BRADLEY CORPORATION	MODEL STAINLESS STEEL PARTITIONS	FLOOR MOUNTED & CEILING ANCHORED
SE2	36" GRAB BAR	BRADLEY CORPORATION	MODEL 812	
SE3	42" GRAB BAR	BRADLEY CORPORATION	MODEL 812	
SE4	18" GRAB BAR	BRADLEY CORPORATION	MODEL 812	
SE5	HAND DRYER	BRADLEY CORPORATION	2923-287400	
SE6	TOILET TISSUE DISPENSER	BRADLEY CORPORATION	5402	
SE7	CHANGING TABLE	BRADLEY CORPORATION	962	SURFACE MOUNTED
SE8		BRADLEY CORPORATION		
SE9	SOAP DISPENSER	BRADLEY CORPORATION	6542	
SE10	MIRROR, 24" x 36"	BRADLEY CORPORATION	781-2436-4	20 GAUGE TYPE 430 SS, BRIGHT ANNEALED
SE11	STAINLESS STEEL CLOTHES HOOK	BRADLEY CORPORATION	9114	
SE12	30" CONVERTIBLE RANGE HOOD	KENMORE	51041	
SE13	24" ELECTRIC RANGE	AVANTI	ER24P3SG	

PLUMBING FIXTURE SCHEDULE	
TYPE	FIXTURE
P1	
P1A	
P2	URINAL (ADA)
P3	LAVATORY SINK
P3A	LAVATORY SINK (ADA)
P4	DRINKING FOUNTAIN
P5	KITCHEN SINK (ADA)



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REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE

SCHEDULES

PROJECT NO.
10-20-XXXX-01

DATE: 02.07.2020

SCALE: AS NOTED

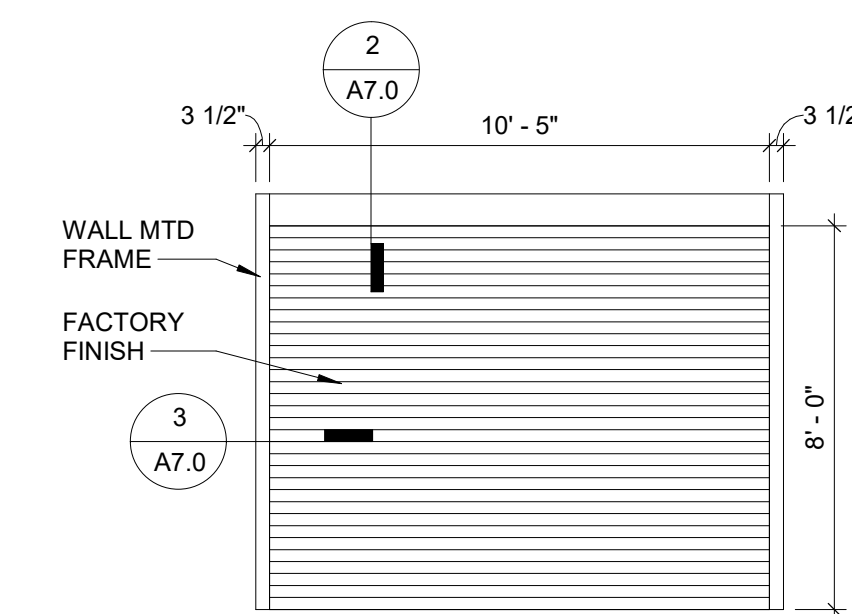
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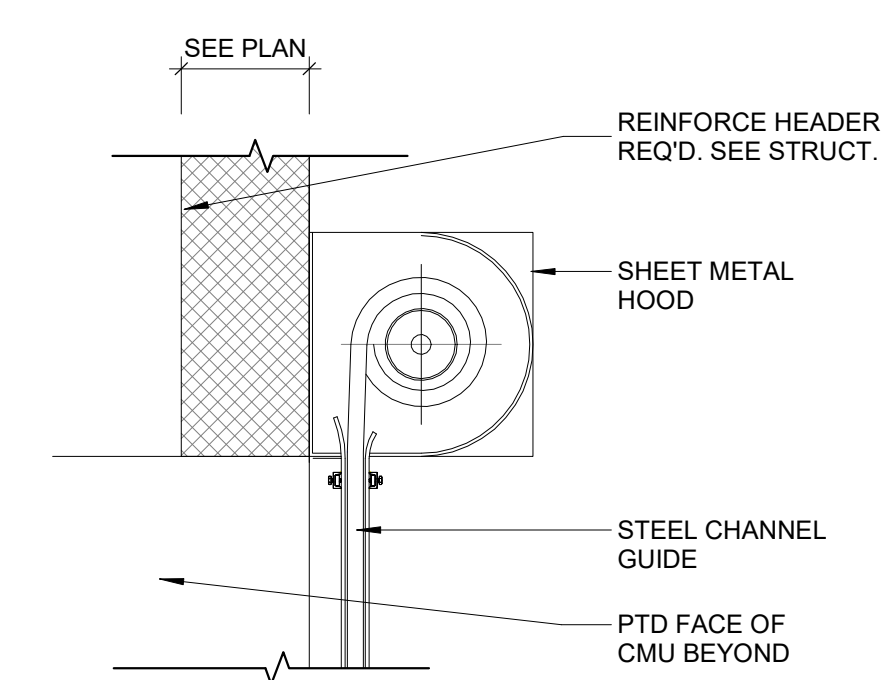
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NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

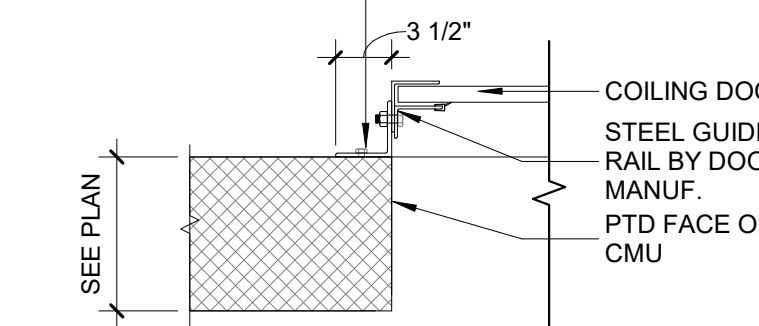
GLAZING SCHEDULE	
TYPE	DESCRIPTION
GL-1	LAMINATED GLASS AT EXTERIOR LAYER
GL-2	TEMPERED GLASS AT INTERIOR LAYER



1 ROLLING DOOR ELEVATION
1/4" = 1'-0"



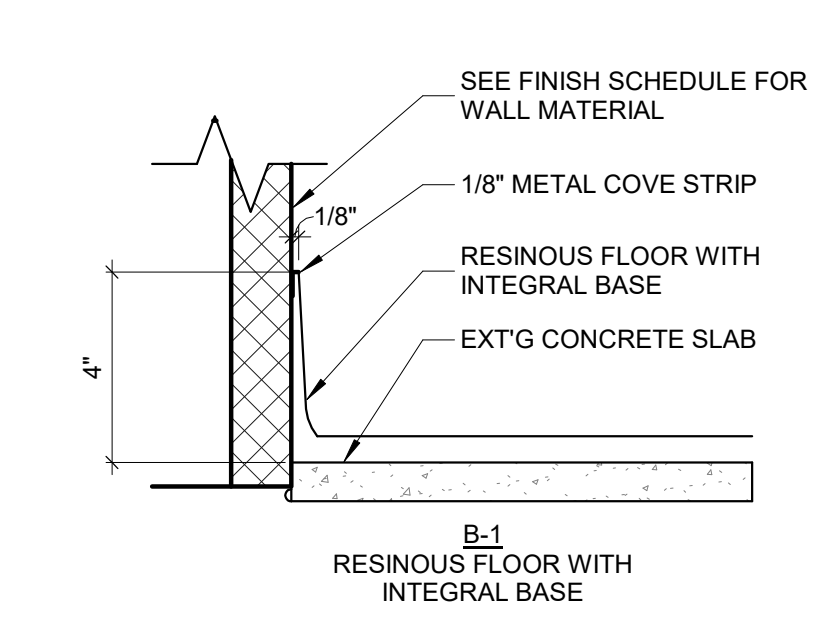
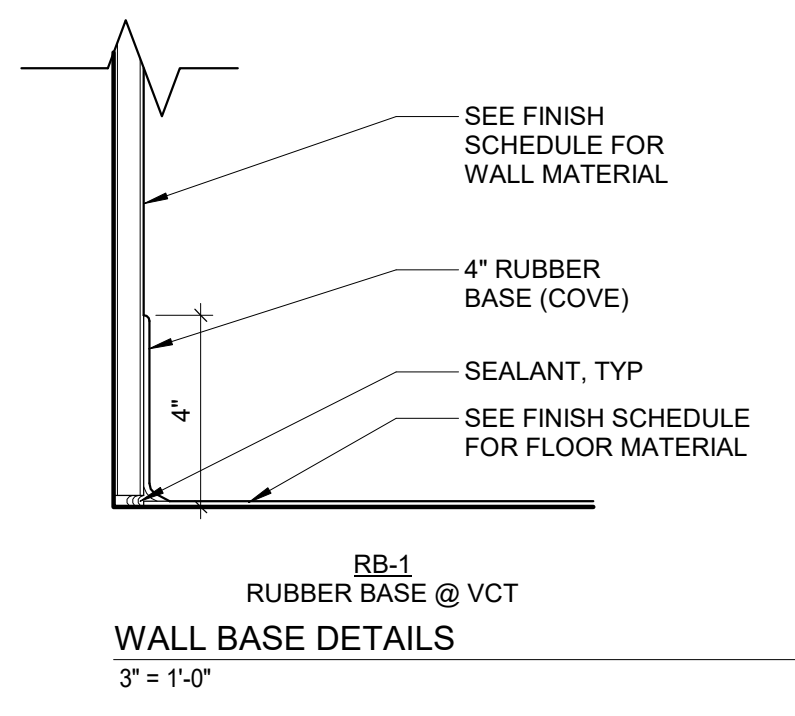
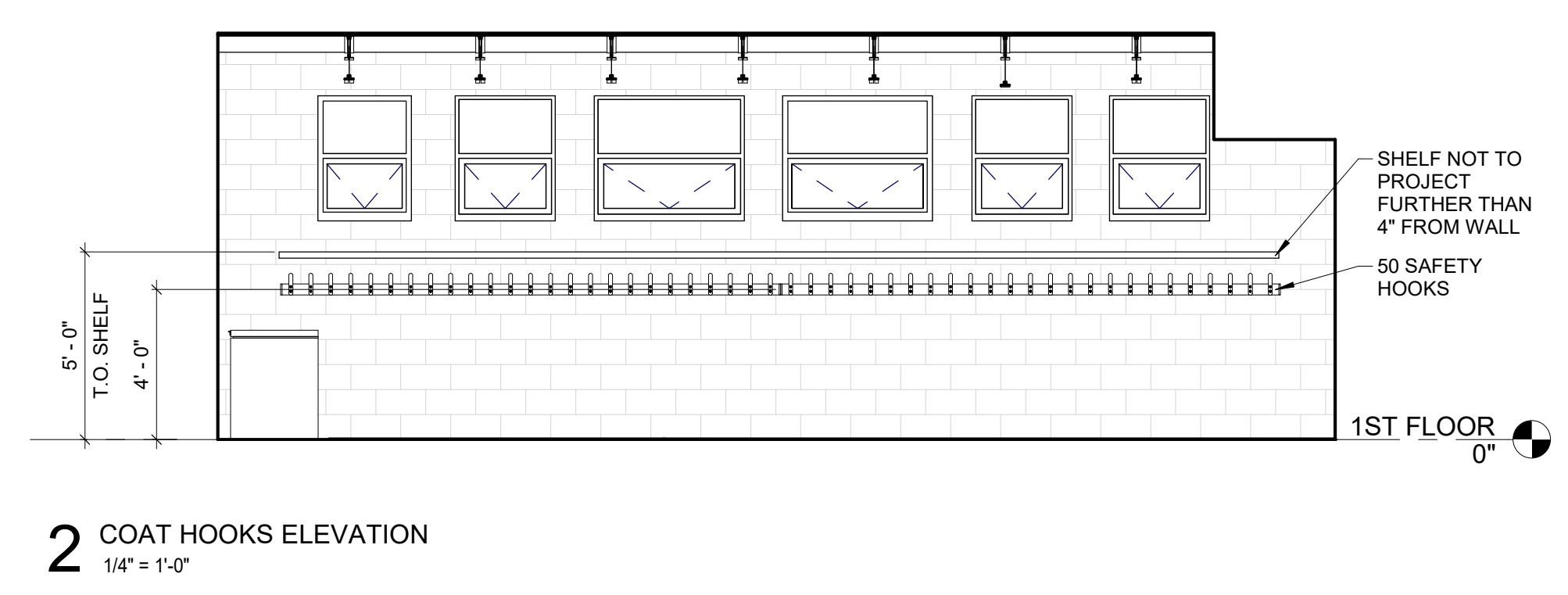
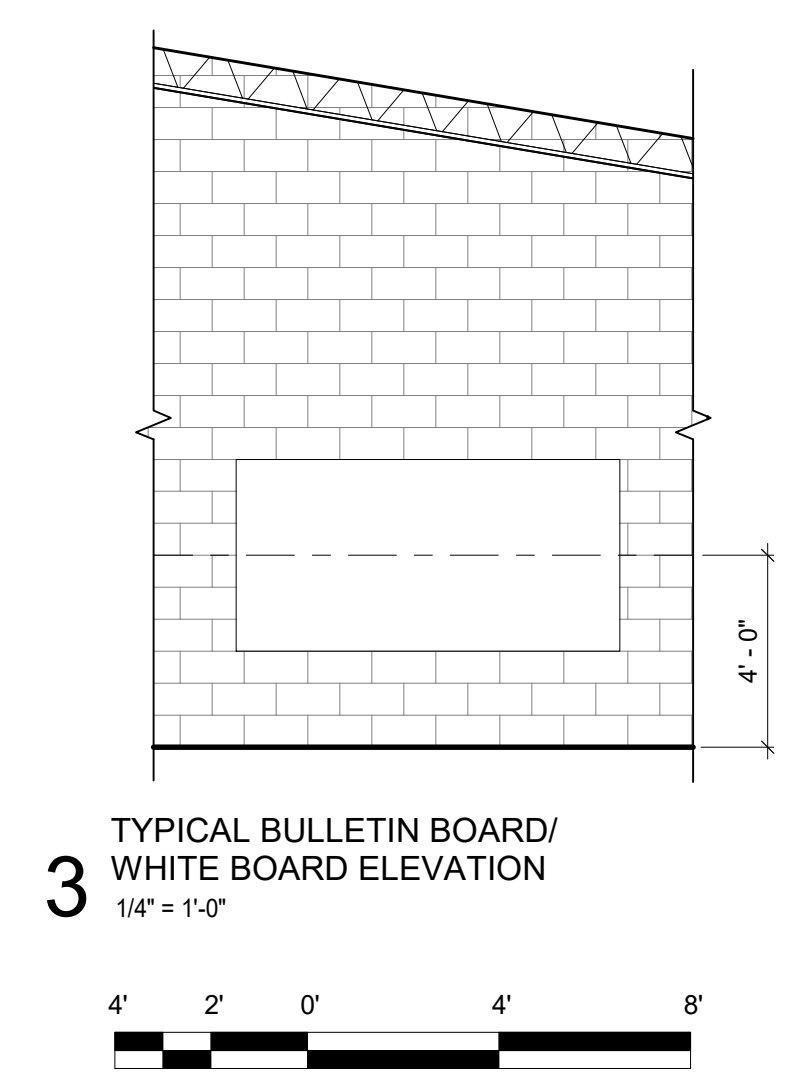
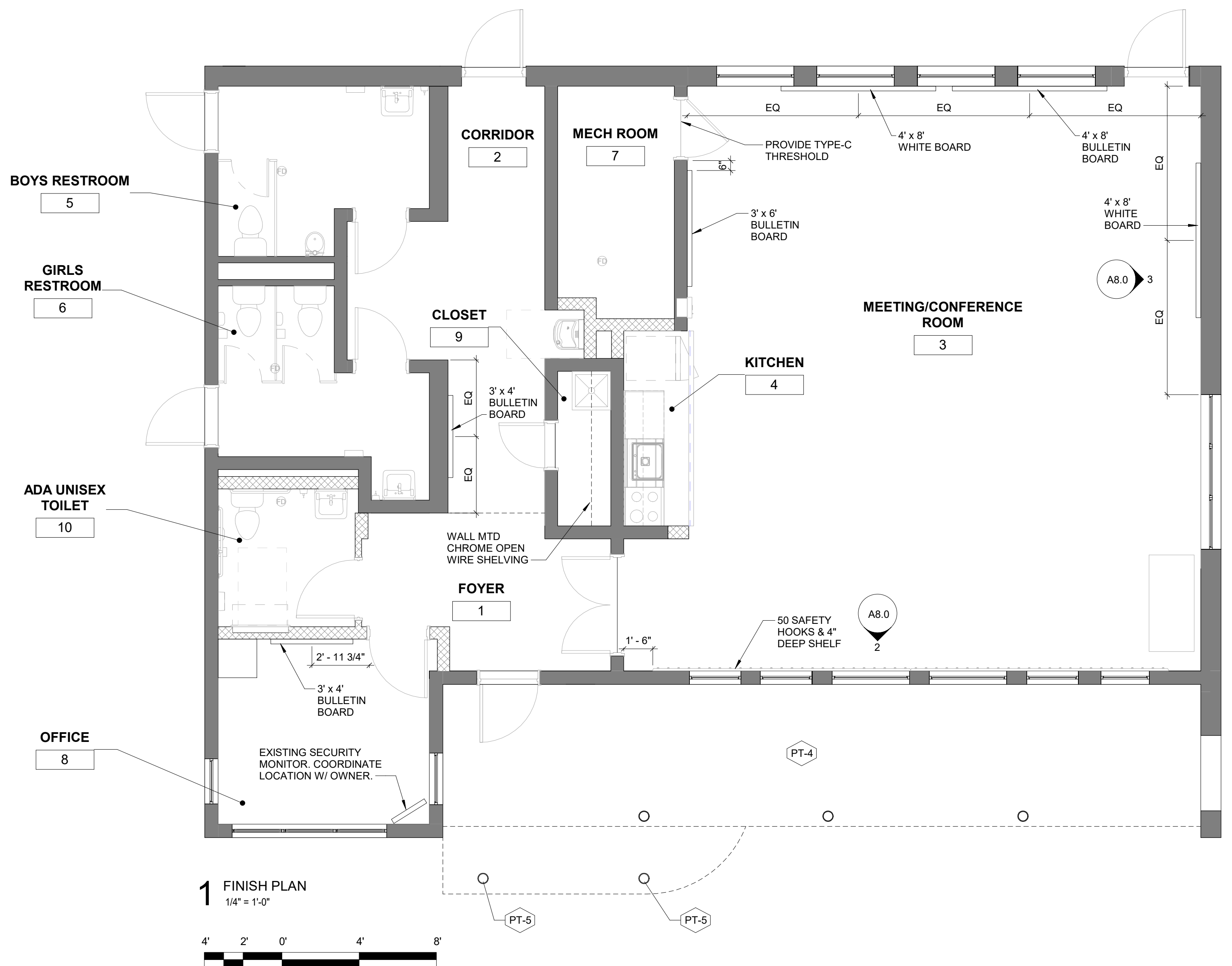
2 ROLLING DOOR HEAD DETAIL
1" = 1'-0"



3 ROLLING DOOR JAMB DETAIL
1" = 1'-0"

100% Submission - 2/7/20

A7.0



NO.	WTWT	NAME	FINISH				COMMENTS
			FLOOR	BASE	WALL	CEILING	
1		FOYER	F-1	B-1	PT-2	PT-1	
2		CORRIDOR	F-1	B-1	PT-2	PT-1	PAINT EXPOSED SECTIONS OF UNDERSIDE OF ROOF DECK AND EXPOSED ROOF TRUSSES TO MATCH CEILING FINISH
3		MEETING/CONFERENCE ROOM	F-2	B-2	PT-2	PT-1	PAINT EXPOSED SECTIONS OF UNDERSIDE OF ROOF DECK AND EXPOSED ROOF TRUSSES TO MATCH CEILING FINISH
4		KITCHEN	F-2	B-2	PT-2	PT-1	
5		BOYS RESTROOM	F-1	B-1	PT-2	PT-1	PT EXISTING GWB CLG
6		GIRLS RESTROOM	F-1	B-1	PT-2	PT-1	PT EXISTING GWB CLG
7		MECH ROOM	F-3	-	PT-2	PT-1	
8		OFFICE	F-1	B-1	PT-2	PT-1	
9		CLOSET	F-1	B-1	PT-2	PT-1	
10		ADA UNISEX TOILET	F-1	B-1	PT-2	PT-1	

SHEET NOTES:

1. PAINT ALL METAL FACEPLATES

FINISH TYPE	CODE	MANUF. / STYLE / SERIES	COLOR	REMARKS
FLOORING	F-1	STONEHARD STONE CLAD	STEEL GREY	EPOXY FLOOR APPLICATION WITH INTEGRAL BASE
FLOORING	F-2	STONEHARD STONE CLAD		EPOXY FLOOR APPLICATION WITH INTEGRAL BASE
FLOORING	F-3	SEALED CONCRETE		
BASE	B-1	STONE HARD STONE CLAD	STEEL GREY INTEGRATED EPOXY FLOOR BASE	THROUGHOUT ALL SPACES WITH F-1 FLOOR FINISH
BASE	B-2	STONE HARD STONE CLAD		THROUGHOUT ALL SPACES WITH F-2 FLOOR FINISH
PAINT	PT-1	SHERWIN WILLIAMS LATEX SEMI-GLOSS ENAMEL SW-7007	CEILING BRIGHT WHITE	ALL EXPOSED AND GWB CEILINGS
PAINT	PT-2	SHERWIN WILLIAMS LATEX SEMI-GLOSS ENAMEL SW-0053	PORCELAIN	THROUGHOUT ALL INTERIOR SPACES
PAINT	PT-3	SHERWIN WILLIAMS LATEX SEMI-GLOSS ENAMEL SW-7074	SOFTWARE	ALL INTERIOR DOORS + FRAMES
PAINT	PT-4			MATCH EXISTING
PAINT	PT-5			PAINT COLUMNS TO MATCH EXISTING

REVISIONS		
ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
Philadelphia Parks & Recreation
and Department of Public Property
1515 Arch Street, 11th Floor
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Contact: Sara Nordstrom, 215-683-0253

SEAL

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CITY OF PHILADELPHIA
REBUILD PHILADELPHIA AND
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK BUILDING RENOVATION

DRAWING TITLE
FINISH PLAN

PROJECT NO. 10-20-XXXX-01	DRAWING NO. A8.0
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY:	
CHECKED BY:	FILE:

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100% Submission - 2/7/20

MECHANICAL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUCT (SOLID) OVER DUCT (BROKEN)		SOIL, WASTE, OR SANITARY PIPE
	DUCT (SOLID) OVER PIPE (BROKEN)		VENT PIPE
	PIPE (SOLID) OVER DUCT (SOLID)		STORM WATER PIPE
	PIPE (SOLID) OVER PIPE (BROKEN)		CONDENSATE DRAIN PIPE
	DUCT (FIRST FIGURE SIDE SHOWN)		PUMPED CONDENSATE PIPE
	DROP IN DIRECTION OF ARROW		DOMESTIC COLD WATER PIPE
	RISE IN DIRECTION OF ARROW		DOMESTIC HOT WATER PIPE
	SUPPLY/OUTSIDE AIR DUCT RISER		DOMESTIC HOT WATER RETURN PIPE
	RETURN AIR DUCT RISER		DOMESTIC TEMPERED WATER PIPE
	EXHAUST/RELIEF AIR DUCT RISER		SPRINKLER SUPPLY PIPE
	ELBOW WITH DOUBLE THICKNESS TURNING VANES		FIRE LINE PIPE
	ROUND DUCT RISER		CLEANOUT (WALL/INLINE & FLOOR)
	SMOKE DETECTOR		CHECK VALVE (ARROW INDICATES FLOW DIRECTION)
	SUPPLY AIR DIFFUSER		SHUT-OFF OR GATE VALVE (NO/NC)
	RETURN AIR GRILLE		BALL VALVE (NO/NC)
	EXHAUST AIR GRILLE		GLOBE VALVE (NO/NC)
	FIRE DAMPER		BUTTERFLY VALVE
	SMOKE DAMPER		HOSE END DRAIN VALVE
	COMBINATION FIRE/SMOKE DAMPER		PIPE REDUCER, ECCENTRIC
	MANUAL VOLUME DAMPER		SPRINKLER HEAD
	MOTOR OPERATED DAMPER		BRANCH TAKE OFF
	SQUARE TO ROUND DUCT TRANSITION		PIPE DROP END
	FLEXIBLE CONNECTION		PIPE DROP TEE
	DUCTWORK SOUND LINING		PIPE RISE TEE
	ACCESS DOOR		PIPE WITH CAP
	DUCT TRANSITION		PIPE WITH OPEN END
	RECTANGULAR BRANCH TAKE-OFF		DIAGRAMMATICAL PIPE CONTINUATION
	BELL MOUTH BRANCH TAKE-OFF		CONCRETE
	ROUND BRANCH TAKE-OFF		CONNECT CONNECTION
	CIRCULAR AIR DIFFUSER		CONTINUATION
	CIRCULAR DUCT DROP OFF BOTTOM		CHECK VALVE
	SUPPLY AIR DEVICE WITH 2x2 LAY-IN PANEL		FLOOR DRAIN
	RETURN AIR DEVICE WITH 2x2 LAY-IN PANEL		HUMIDISTAT
			THERMOSTAT OR TEMPERATURE SENSOR
			REMOTE TEMPERATURE SENSOR
			CO2 SENSOR (48" AFF)
			UNDERCUT DOOR
			DOOR LOUVER
			AIR FLOW (RETURN)
			AIR FLOW (SUPPLY)
			DIAGRAMMATICAL PIPE SYSTEM FLOW SYMBOL, FOR DRAWING CLARITY
			POINT OF CONNECTION, NEW TO EXISTING
			POINT OF DISCONNECTION FROM EXISTING
			KEY NOTE SYMBOL FOR SPECIFIC NOTE, APPLIES TO DRAWING ON WHICH IT OCCURS

ABBREVIATIONS

@	AT	INV	INVERT
A	COMPRESSED AIR PIPE	ISOL	ISOLATION
AHV	AUTOMATIC AIR VENT ABOVE	ISW	INDUSTRIAL WASTE
ACV	AUTOMATIC CONTROL VALVE	KW	KILOWATTS
AD	ACCESS DOOR	L	LONG LENGTH
ADR	AREA DRAIN	LAT	LEAVING AIR TEMPERATURE
AFF	ABOVE FINISHED FLOOR	LBS	POUNDS
AHU	AIR HANDLING UNIT	LBSHR	POUNDS PER HOUR
ALUM	ALUMINUM	LDB	LEAVING DRY BULB
AMD	AIR MONITORING DEVICE	LF	LINEAR FEET
APD	AIR PRESSURE DROP	LPC	LOW PRESSURE CONDENSATE PIPE
APPROX	APPROXIMATELY	LPS	LOW PRESSURE STEAM PIPE
AR	ACID RESISTANT	LRA	LOCKED ROTOR AMPERES
ATC	AUTOMATIC TEMPERATURE CONTROL	LSL	LINEAR SLOT DIFFUSER
ATTEN	ATTENUATOR	LWB	LEAVING WET BULB
AWT	AVERAGE WATER TEMPERATURE	LWT	LEAVING WATER TEMPERATURE
BDD	BACKDRAFT DAMPER	MA	MIXED AIR
BFP	BACKFLOW PREVENTOR	MAV	MANUAL AIR VENT
BHP	BRAKE HORSEPOWER	MAX	MAXIMUM
BLDG	BUILDING	MBH	ONE THOUSAND BTU/HR
BLW	BELOW	MECH	MECHANICAL
BP	BYPASS	MFD	MOTORIZED FIRE DAMPER
BTM	BOTTOM	MFR	MANUFACTURER
BTU/HR	BRITISH THERMAL UNITS PER HOUR	MNI	MINIMUM
BV	BALANCING VALVE	MOD	MOTOR OPERATED DAMPER
BWV	BACKWATER VALVE	MTD	MOUNTED
C	COMMON	MVD	MANUAL VOLUME DAMPER
°C	DEGREES CELSIUS	NC	NOISE CRITERIA OR NORMALLY CLOSED
CA	CONDITIONED OUTDOOR AIR	NC	NOT IN CONTRACT
CC	COOLING COIL	NOM	NOMINAL
CCP	COOLING COIL PUMP	NO	NORMALLY OPEN
CD	CONDENSATE DRAIN	No	NUMBER
CDR	CONDENSER WATER RETURN PIPE	OA	OUTDOOR AIR
CDS	CONDENSER WATER SUPPLY PIPE	OAI	OUTDOOR AIR INTAKE
CFM	CUBIC FEET PER MINUTE	OAT	OUTDOOR AIR TEMPERATURE
CFR	CHILLED WATER RETURN PIPE	OC	ON CENTER
CHS	CHILLED WATER SUPPLY PIPE	OED	OPEN END DUCT WITH 1/2" FRAMED WMS
CI	CAST IRON	OFD	OVERFLOW DRAIN
CLG	CEILING	OI	OIL INTERCEPTOR
CLG	CEILING	OSBY	OUTSIDE STEM & YOKE VALVE
CO	CLEANOUT	%	PERCENT
CONC	CONCRETE	PC	PUMPED CONDENSATE PIPE
CONN	CONNECT CONNECTION	PD	PRESSURE DROP OR PUMP DISCHARGE
CONTN	CONTINUATION	PH	PHASE
CV	CHECK VALVE	POD	POINT OF DISCONNECTION
CW	DOMESTIC COLD WATER	PR	PRESSURE RELIEF
CX	CONNECT TO EXISTING	PRG	PRESSURE RELIEF GRILLE
D	SUPPLY AIR DIFFUSER OR DEEP, DEPTH	PRV	PRESSURE REDUCING VALVE
DAM	DUCT AIR MONITOR	PS	PRESSURE SENSOR
DB	DECIBEL OR DRY BULB	PSI	POUNDS PER SQUARE INCH POUNDS
DDC	DIRECT DIGITAL CONTROL	PSIG	PER SQUARE INCH GAUGE
DESG	DESIGNATION	PUH	PROPELLER UNIT HEATER
DF	DRINKING FOUNTAIN	R	RETURN/EXHAUST/SUPPLY AIR REGISTER
DHC	DUCT HEATING COIL	RA	RETURN AIR
DIA, Ø	DIAMETER	RDR	ROOF DRAIN
DIFF	DIFFERENTIAL	REQD	REQUIRED
DL	DOOR LOUVER	RF	RETURN FAN
DN	DOWN	RH	RELATIVE HUMIDITY
DNR	DAMPER	RLA	REFRIGERANT LIQUID
DPS	DIFFERENTIAL PRESSURE SENSOR	RL	ROOM
DR	MISCELLANEOUS DRAINAGE	RPM	REVOLUTIONS PER MINUTE
DTR	DUAL TEMPERATURE RETURN DRAWING	RS	REFRIGERANT SUCTION
DTS	DUAL TEMPERATURE SUPPLY DRAWING	RV	RELIEF VENT
DWG	DRAWING	RX	REMOVE EXISTING
EA	EXHAUST AIR	S	SPRINKLER SUPPLY PIPE
EAT	ENTERING AIR TEMPERATURE	SA	SUPPLY AIR
ECM	ELECTRONICALLY COMMUTATED MOTOR	SAN	SANITARY, SOIL, WASTE
EDB	ENTERING DRY BULB	SAT	SATURATED
EFF	EFFICIENCY	SD	SMOKE DAMPER
EF	EXHAUST FAN	SENS	SENSIBLE
EJ	EXPANSION JOINT	SEP	SEPARATOR
ELEC	ELECTRIC	SF	SUPPLY FAN OR SQUARE FEET
ELEV	ELEVATION OR ELEVATOR	SL	SOUND LINING, SOUND LINED
ESP	EXTERNAL STATIC PRESSURE	SM	SHEET METAL
EWB	ENTERING WET BULB	SP	STATIC PRESSURE
EWT	ENTERING WATER TEMPERATURE	SPD	STATIC PRESSURE DROP
EX	EXISTING	SPEC	SPECIFICATION
EXH	EXHAUST	SQ	SQUARE
EXP	EXPANSION	SQ FT	DROP SQUARE FOOT
F	FILTER	SPR	SPRINKLER LINE
°F	DEGREES FAHRENHEIT	SS	START/STOP
F&T	FLOAT & THERMOSTATIC	S/S	STAINLESS STEEL
FC	FLEXIBLE CONNECTION	STL	STEEL
FD	FIRE DAMPER OR FOUNDATION DRAINAGE	SW	STORM WATER
FDC	FIRE DEPARTMENT CONNECTION	ΔT	TEMPERATURE DROP
FDR	FLOOR DRAIN	TEMP, T	TEMPERATURE
FDV	FIRE DEPARTMENT VALVE	TG	TRANSFER GRILLE
FHC	FIRE HOSE CABINET	TS	TAMPER SWITCH
FL	FLOOR	TSP	TOTAL STATIC PRESSURE
FLA	FULL LOAD AMPERES	TYP	TYPICAL
FOB	FLAT ON BOTTOM	TW	DOMESTIC TEMPERED WATER PIPE
FOT	FLAT ON TOP	UC	UNDERCUT DOOR
FPM	FEET PER MINUTE	UH	UNIT HEATER
FPS	FEET PER SECOND	UON	UNLESS OTHERWISE NOTED
FSP	FIRE STANDPIPE	V	VOLTS, VACUUM PIPE
FT, '	FOOT, FEET OR FLASH TANK	VCP	VITRIFIED CLAY PIPE
FT, HD	FEET OF HEAD	VCPX	VITRIFIED CLAY PIPE-EXTRA STRENGTH
FZ	FREEZE STAT	VD	VOLUME DAMPER
FU	FIXTURE UNITS	VEL	VELOCITY
G	RETURN/EXHAUST GRILLE	VENT	VENTILATION
GAL	GALLON, GALLONS	VF	VENTILATION FAN
GALV	GALVANIZED	VFD	VARIABLE FREQUENCY DRIVE
GEN	GENERATOR	VG	VARI-GREEN® ECM
GI	GREASE INTERCEPTOR	VIB	VIBRATION
GPM	GALLONS PER MINUTE	ISOL VLV	ISOLATION VALVE
H	HIGH, HEIGHT	VP	SANITARY VENT PIPE
H2O	WATER	VTR	VENT THROUGH ROOF
HB	HOSE BIBB	W	WIDTH
HED	HOSE END DRAIN VALVE	W/	WITH
HP	HORSEPOWER	WB	WET BULB
HPC	HIGH PRESSURE CONDENSATE PIPE	WC	WATER COLUMN
HPS	HIGH PRESSURE STEAM PIPE	WH	WALL HYDRANT
HW	DOMESTIC HOT WATER	WMS	WIRE MESH SCREEN
HWC	DOMESTIC HOT WATER CIRCULATING	ZN	ZONE
HWR	HEATING WATER RETURN		
HWS	HEATING WATER SUPPLY		
HZ	HERTZ		
IGV	INLET GUIDE VANE		
IN, "	INCH, INCHES		

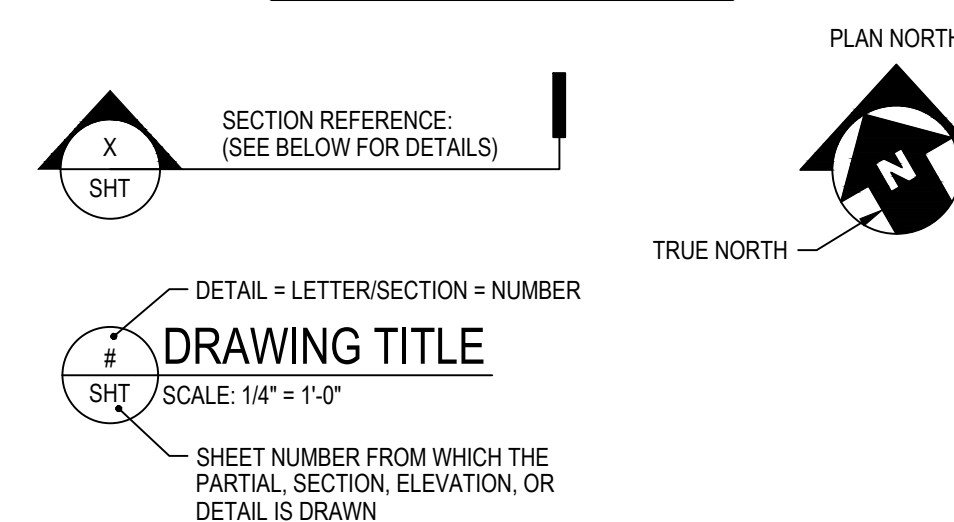
GENERAL NOTES

- WORK SHALL CONFORM TO THE CONTRACT DRAWINGS, SPECIFICATIONS AND THE LATEST APPLICABLE INTERNATIONAL MECHANICAL AND PLUMBING CODE AND THE NATIONAL ELECTRIC CODE AND THE PHILADELPHIA PLUMBING CODE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 70, THE NATIONAL ELECTRICAL CODE, THE NATIONAL ELECTRICAL SAFETY CODE, OSHA AND NATIONAL SAFETY CODE REQUIREMENTS.
- THE SCOPE OF WORK INDICATED IN THESE DOCUMENTS SHALL INCLUDE MECHANICAL AND ELECTRICAL SYSTEMS, FULLY ADJUSTED, TESTED AND READY TO USE. PROVIDE ITEMS NECESSARY TO COMPLETE THE SYSTEMS. EXAMINE WORK INDICATED FOR TRADES IN ORDER TO DETERMINE THE EXTENT OF THE WORK REQUIRED TO BE COMPLETED.
- IT IS THE INTENTION OF THESE DRAWINGS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION. WHEREVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN "FURNISH AND INSTALL COMPLETE, TESTED AND READY FOR USE."
- THE DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW EVERY COMPONENT AND/OR ACCESSORY REQUIRED FOR A COMPLETE INSTALLATION. THE CONTRACTOR SHALL PROVIDE ITEMS NECESSARY FOR A PROPERLY WORKING SYSTEM IN COMPLIANCE WITH ACCEPTED INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- PRIOR TO BID, THE CONTRACTOR SHALL VISIT THE SITE AND IDENTIFY ITEMS THAT MAY AFFECT THEIR BID. PRIOR TO THE INSTALLATION, FABRICATION, REMOVAL, OR RELOCATION OF ANY WORK, THE CONTRACTORS SHALL REVIEW THE ACTUAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND SHALL COORDINATE WORK WITH THE PLANS, EXISTING EQUIPMENT AND SYSTEMS, BUILDING STRUCTURE AND WORK OF OTHER TRADES. WHERE CONFLICTS OCCUR, OR IF CONNECTIONS THERETO CAN NOT BE MADE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO MATERIAL FABRICATION OR INSTALLATION.
- WHERE THE WORK OF VARIOUS TRADES WILL BE INSTALLED IN CLOSE PROXIMITY TO ONE ANOTHER OR WHERE THERE IS EVIDENCE THAT THE WORK OF ONE TRADE WILL INTERFERE WITH WORK OF ANOTHER, THE CONTRACTOR SHALL WORK OUT SPACE CONDITIONS TO MAKE A SATISFACTORY ADJUSTMENT. IF THE CONTRACTOR ALLOWS ONE TRADE TO INSTALL HIS WORK BEFORE COORDINATING WITH WORK OF OTHER TRADES THE CONTRACTOR SHALL MAKE NECESSARY CHANGES TO CORRECT THE CONDITIONS IN A MANNER ACCEPTABLE TO THE OWNER AND THE CONTRACTOR SHALL BEAR THE COST OF SUCH CORRECTIONS.
- THE CONTRACTOR SHALL LOCATE EQUIPMENT WHICH MUST BE SERVICED, OPERATED, OR MAINTAINED IN FULLY ACCESSIBLE POSITION. EQUIPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, VALVES, MOTORS, CONTROLS, ELECTRICAL PANELS, ETC. IF REQUIRED FOR ACCESSIBILITY, FURNISH ACCESS DOORS FOR THE PURPOSE. MINOR DEVIATIONS FROM DRAWINGS MAY BE MADE TO ALLOW FOR BETTER ACCESSIBILITY.
- WORK IN OCCUPIED SPACE SHALL BE COORDINATED WITH THE OWNER. SHOULD ANY OUTAGES BE REQUIRED IN THE COURSE OF THIS PROJECT, THE CONTRACTOR SHALL COORDINATE SUCH OUTAGES WITH THE OWNER'S DESIGNATED REPRESENTATIVE. SCHEDULING FOR ANY OUTAGES DURING THE NON WORKING HOURS, SO AS NOT TO EFFECT FACILITY OPERATIONS, 72 HOURS NOTICE WILL BE REQUIRED PRIOR TO ANY OUTAGE. NO OUTAGE MAY BE EXECUTED PRIOR TO APPROVAL OF THE OWNER'S DESIGNATED REPRESENTATIVE AND THE FACILITY MANAGER.
- THE CONTRACTOR SHALL LEAVE THE ENTIRE MECHANICAL SYSTEM INSTALLED UNDER THIS CONTRACT IN PROPER WORKING ORDER AND SHALL, WITHOUT CHARGE, REPLACE ANY WORK OR MATERIALS WHICH DEVELOP DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL, DURING THE ONE YEAR WARRANTY PERIOD, BE RESPONSIBLE FOR PROPER REPAIR AND ADJUSTMENTS OF MECHANICAL SYSTEMS AND EQUIPMENT, APPARATUS, DEVICES ETC. INSTALLED BY HIM, AND DO WORK NECESSARY TO ENSURE EFFICIENT AND PROPER FUNCTIONING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL INCUR FINANCIAL RESPONSIBILITIES FOR, ANY DAMAGES CAUSED BY OR RESULTING FROM DEFECTS IN HIS WORK.
- DEMOLITION SHALL INCLUDE REMOVAL AND OFF-SITE DISPOSAL OF MATERIALS. DO NOT ABANDON IN PLACE ANY MECHANICAL AND RELATED ELECTRICAL COMPONENTS UNLESS OTHERWISE NOTED ON DRAWINGS.
- WHEREVER PIPES, CONDUITS, OR OTHER ITEMS PASS THROUGH FIRE RATED WALLS AND FLOORS, THE SPACE BETWEEN THE ITEM AND THE MASONRY OR THE SPACE BETWEEN THE ITEM AND THE SLEEVE SHALL BE ADEQUATELY FIRE STOPPED WITH A NON COMBUSTIBLE, NON MELTING MATERIAL IN ACCORDANCE WITH NFPA STANDARDS.
- DUCTWORK OR PIPING SHALL NOT BE INSTALLED ABOVE ELECTRICAL PANELS OR EQUIPMENT.
- WALL OPENINGS RESULTING FROM DEMOLITION SHALL BE CLOSED AND FINISHED TO MATCH EXISTING.
- FINISHES DAMAGED DURING THE PROJECTS SHALL BE REPAIRED TO MATCH EXISTING.
- INFORMATION SHOWN ON DRAWINGS PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.

EQUIPMENT/DEVICE DESIGNATIONS

AHU	AIR HANDLING UNIT	HRV	HEAT/ENERGY RECOVERY VENTILATOR
BRV	BAROMETRIC RELIEF VENT	P	PUMP
CAV	CONSTANT AIR VOLUME BOX	RF	RETURN FAN
DFC	DUCTLESS FAN COIL	Rh	RANGE HOOD
DOAS	DIRECT OUTSIDE AIR SYSTEM	SF	SUPPLY FAN
DSSC	DUCTLESS SPLIT SYSTEM CONDENSER	UH	UNIT HEATER
DSE	DUCTLESS SPLIT SYSTEM EVAPORATOR	V	VALVE
DWH	DOMESTIC WATER HEATER	VAV	VARIABLE AIR VOLUME BOX
EF	EXHAUST FAN	VRF	VARIABLE REFRIGERANT FLOW
EUH	ELECTRIC UNIT HEATER	WFS	WATER FILTRATION SYSTEM
F	FILTER		
FPB	FAN POWERED BOX		

SHEET DESIGNATIONS



REVISIONS

ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
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 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Charles Mottershead, 215.683-4466



PROJECT TEAM

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CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK PLAYGROUND BUILDING
 RENOVATION

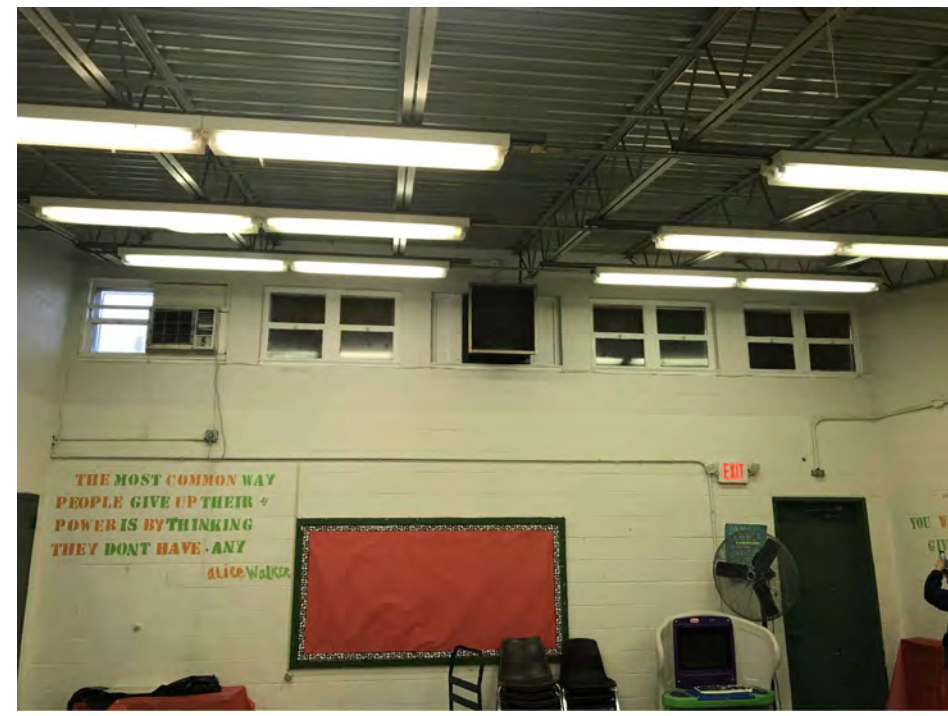
DRAWING TITLE
 SYMBOLS, GENERAL NOTES, AND
 ABBREVIATIONS - MECHANICAL

PROJECT NO. 18-00355-001	DRAWING NO. M0.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MMB	
CHECKED BY: GSC	FILE:
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

100% Submission - 2/7/20



PHOTOGRAPH #1
SCALE: NOT TO SCALE



PHOTOGRAPH #2
SCALE: NOT TO SCALE



PHOTOGRAPH #3
SCALE: NOT TO SCALE



PHOTOGRAPH #4
SCALE: NOT TO SCALE



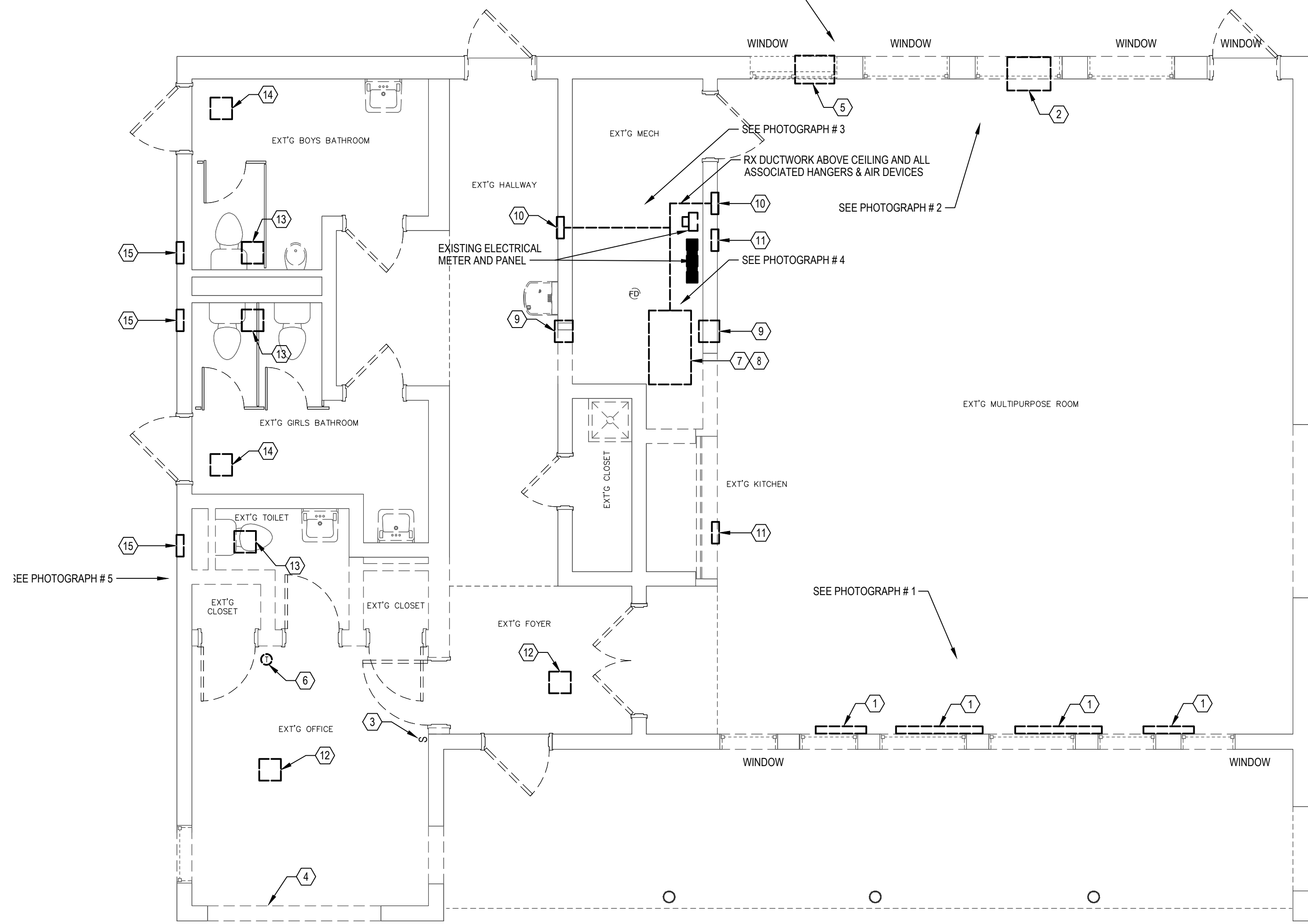
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SCALE: NOT TO SCALE



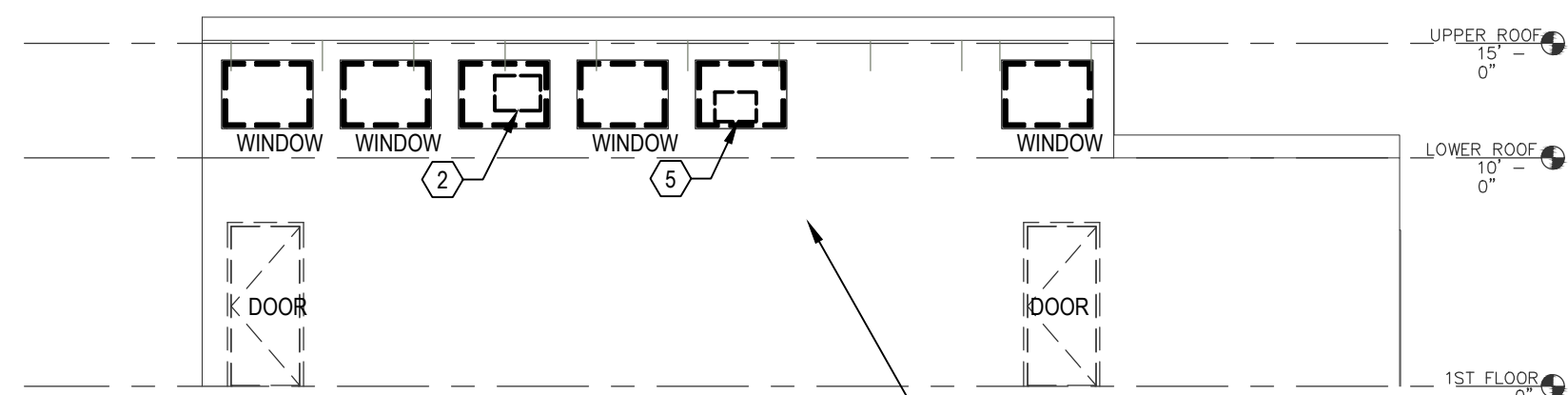
PHOTOGRAPH #6
SCALE: NOT TO SCALE
SEE PHOTOGRAPH #7



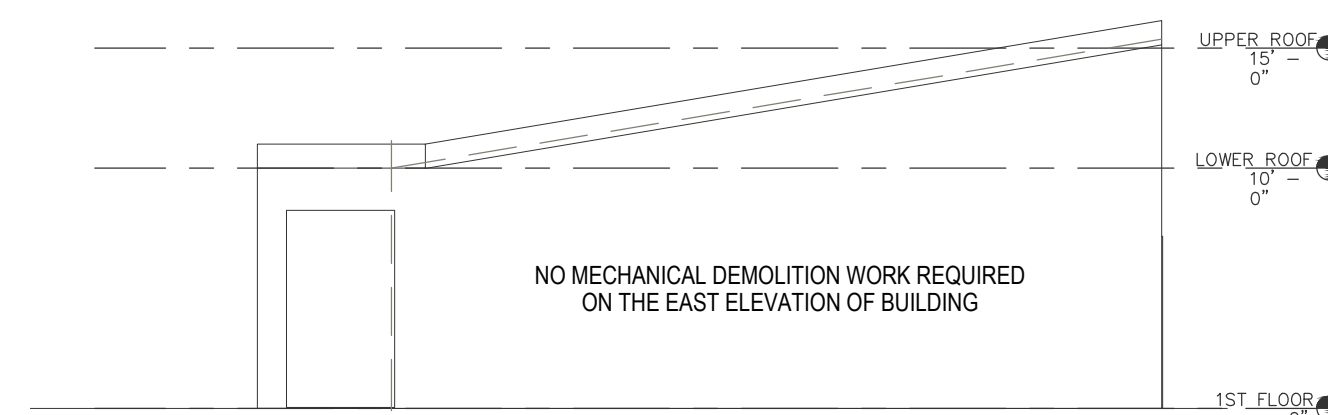
PHOTOGRAPH #7
SCALE: NOT TO SCALE



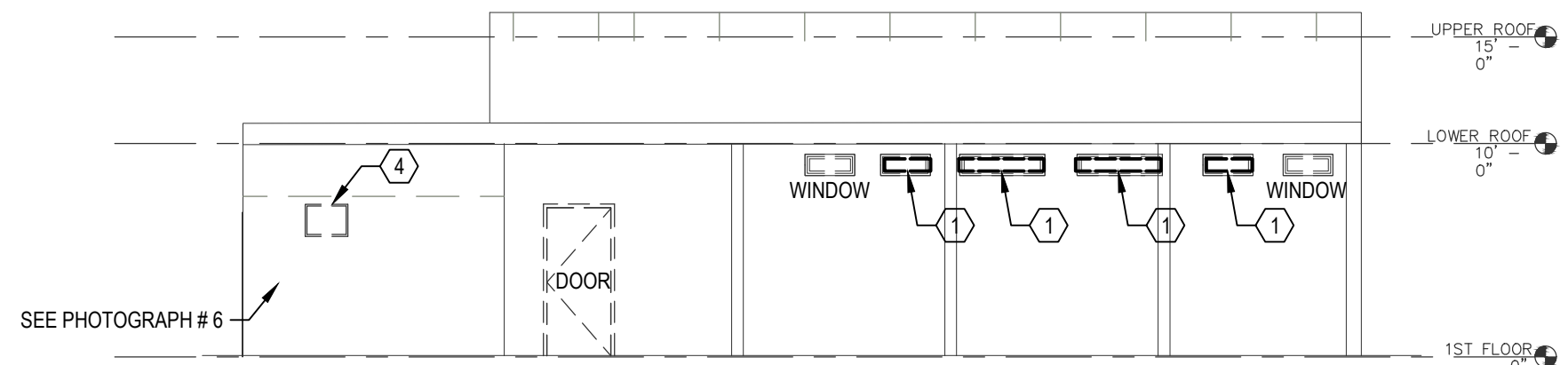
FLOOR PLAN - MECHANICAL DEMOLITION
SCALE: 1/4" = 1'-0"



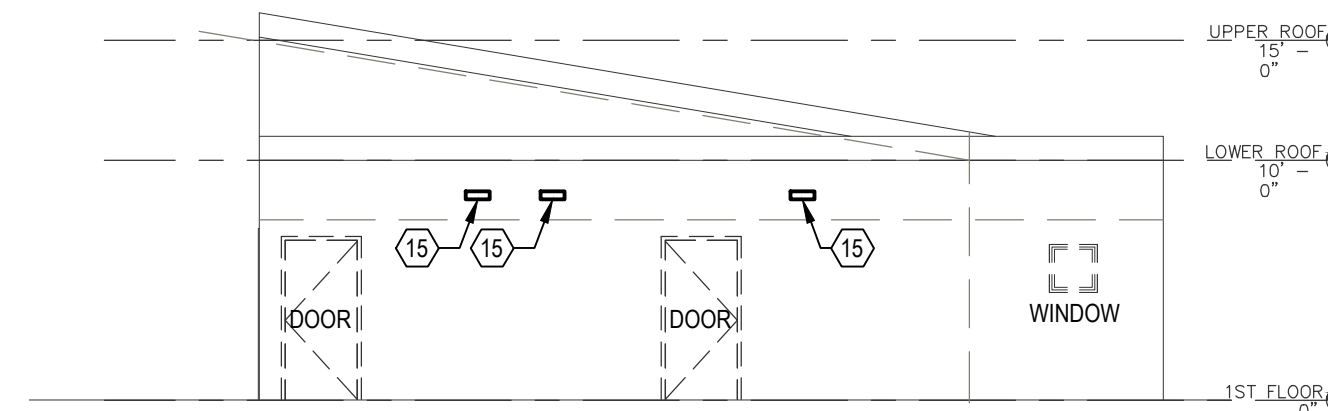
BUILDING NORTH (REAR) ELEVATION - MECHANICAL DEMOLITION
SCALE: 1/8" = 1'-0"



BUILDING EAST ELEVATION - MECHANICAL DEMOLITION
SCALE: 1/8" = 1'-0"



BUILDING SOUTH (FRONT) ELEVATION - MECHANICAL DEMOLITION
SCALE: 1/8" = 1'-0"



BUILDING WEST ELEVATION - MECHANICAL DEMOLITION
SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES:

1. INFORMATION SHOWN ON THIS DRAWING PERTAINING TO EXISTING CONDITIONS HAS BEEN OBTAINED FROM AVAILABLE BUILDING DRAWINGS OR GENERAL FIELD OBSERVATIONS AND MAY NOT INDICATE ACTUAL EXISTING CONDITIONS IN DETAIL OR DIMENSION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACTUAL EXISTING CONDITIONS PRIOR TO FABRICATION OR PERFORMANCE OF ANY WORK. SHOULD CONDITIONS BE DISCOVERED THAT PREVENT EXECUTION OF THE WORK AS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING AND AWAIT DIRECTION BEFORE PROCEEDING WITH THE WORK.
2. DEMOLITION SHALL INCLUDE REMOVAL AND OFF-SITE DISPOSAL OF MATERIALS. DO NOT ABANDON IN PLACE ANY MECHANICAL AND RELATED ELECTRICAL COMPONENTS UNLESS OTHERWISE NOTED ON DRAWINGS.
3. UNLESS OTHERWISE NOTED, MECHANICAL/PLUMBING ITEMS SHOWN HEAVY DASHED (---) SHALL BE REMOVED AND MECHANICAL/PLUMBING ITEMS SHOWN LIGHT SOLID (—) SHALL REMAIN.
4. ALL EQUIPMENT SHOULD BE ELECTRICALLY ISOLATED AND SAFED OFF PRIOR TO REMOVAL.

SHEET KEYNOTES:

1. REMOVE EXISTING LOUVER, DAMPER AND CONTROLS ASSOCIATED WITH EXHAUST AIR INLET SYSTEM. COORDINATE WITH ELECTRICAL CONTRACTOR.
2. REMOVE EXISTING EXHAUST FAN AND ASSOCIATED POWER AND CONTROLS. FAN IS CONTROLLED VIA SWITCH LOCATED IN OFFICE. COORDINATE WITH ELECTRICAL CONTRACTOR.
3. REMOVE EXISTING POWER ON/OFF SWITCH THAT CONTROLS THE MULTIPURPOSE ROOM EXHAUST FAN SYSTEM. COORDINATE WITH ELECTRICAL CONTRACTOR.
4. REMOVE EXISTING WINDOW AIR CONDITIONING UNIT LOCATED IN OFFICE. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING WALL OPENING.
5. REMOVE EXISTING WINDOW AIR CONDITIONING UNIT LOCATED IN MULTIPURPOSE ROOM. COORDINATE WITH GENERAL CONTRACTOR FOR WINDOW REPLACEMENT.
6. REMOVE EXISTING THERMOSTAT LOCATED IN OFFICE AND ALL ASSOCIATED CONTROL WIRING.
7. REMOVE EXISTING NATURAL GAS FIRED HOT AIR FURNACE AND ALL ASSOCIATED DUCTWORK, CONTROLS AND AIR DEVICES.
8. REMOVE EXISTING EXHAUST FLUE WALL/ROOF SERVING FURNACE. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING WALL/ROOF.
9. REMOVE EXISTING AIR TRANSFER GRILLE. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING WALL OPENING.
10. REMOVE EXISTING SUPPLY AIR GRILLE AND ALL ASSOCIATED DUCTWORK. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING WALL OPENING.
11. REMOVE EXISTING RETURN AIR GRILLE AND ALL ASSOCIATED DUCTWORK. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING WALL OPENING.
12. REMOVE EXISTING CEILING DIFFUSER AND ALL ASSOCIATED DUCTWORK. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING CEILING OPENING.
13. REMOVE EXISTING EXHAUST REGISTER AND ALL ASSOCIATED DUCTWORK AND EXHAUST FAN. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING CEILING AND/OR ROOF.
14. REMOVE EXISTING OUTSIDE AIR REGISTER AND ALL ASSOCIATED DUCTWORK. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING CEILING OPENING.
15. REMOVE EXISTING OUTSIDE AIR LOUVER AND SCREEN. COORDINATE WITH GENERAL CONTRACTOR FOR PATCHING/INFILL OF EXISTING WALL.



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SEAL



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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
FLOOR PLAN - MECHANICAL DEMOLITION

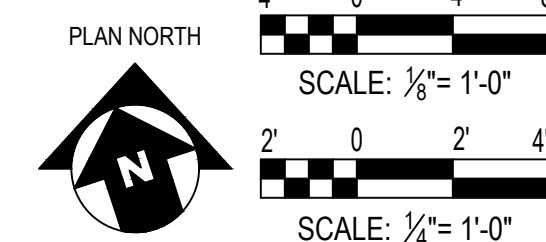
PROJECT NO.
18-00355-001

DATE: 02.07.2020
SCALE: AS NOTED

DRAWN BY: MMB
CHECKED BY: GSC

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

100% Submission - 2/7/20



REVISIONS		
ISSUE	DATE	DESCRIPTION



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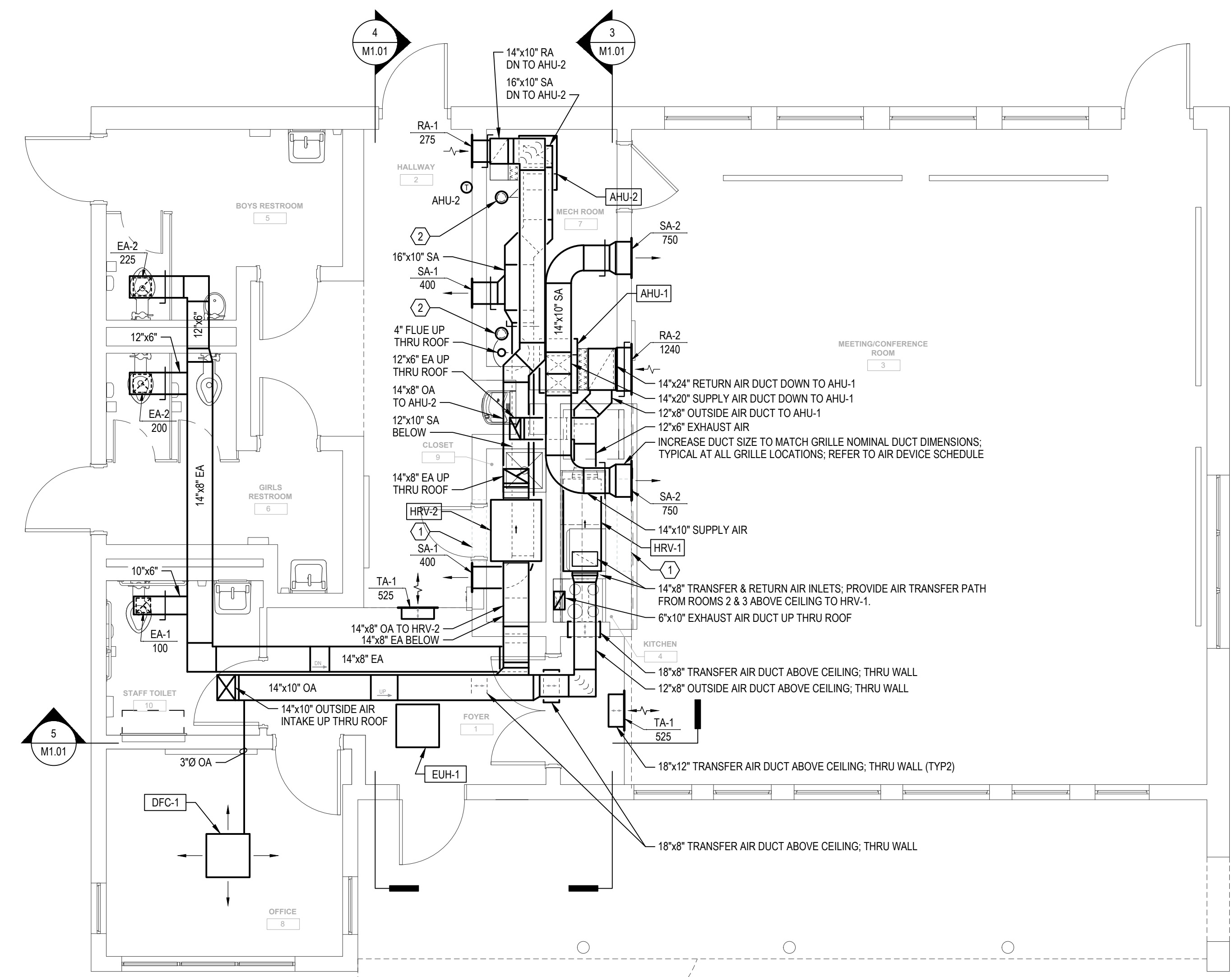
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GENERAL SHEET NOTES:

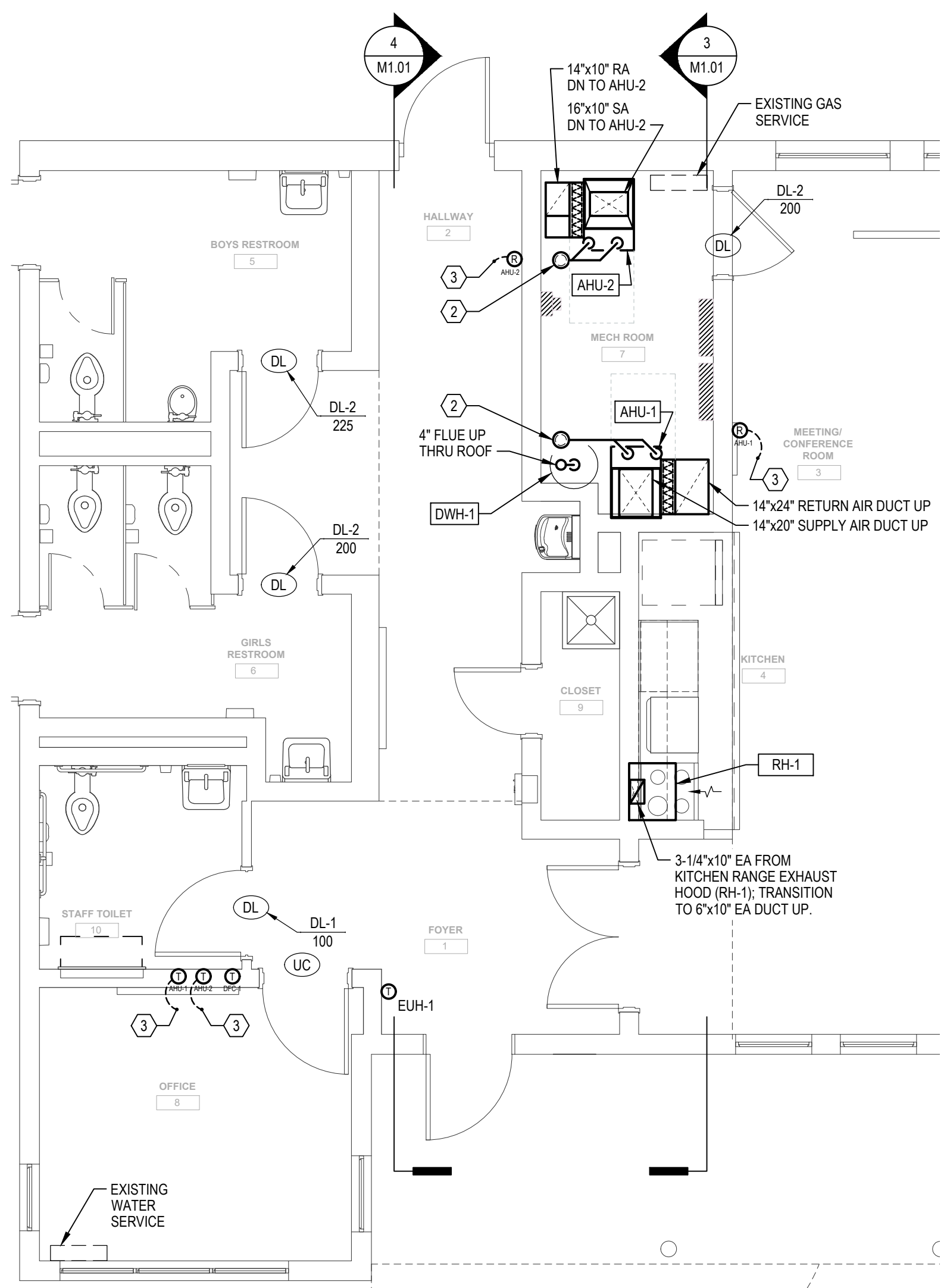
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- UNLESS OTHERWISE NOTED, MECHANICAL/PLUMBING ITEMS SHOWN HEAVY SOLID (—) SHALL BE NEW WORK; MECHANICAL/PLUMBING ITEMS SHOWN LIGHT SOLID (---) SHALL BE EXISTING.
- DO NOT LOCATE DUCTWORK OR PIPING ABOVE ELECTRICAL PANELS OR EQUIPMENT.
- ALL EXPOSED DUCTWORK PROPOSED SHALL BE INSULATED AND WRAPPED WITH AN ALUMINUM JACKET; REFER TO SPECIFICATIONS FOR DETAILS.
- COORDINATE DUCTWORK INSTALLATION WITH LIGHT FIXTURES; SEE ELECTRICAL DRAWINGS FOR PROPOSED LIGHT LOCATIONS.

SHEET KEYNOTES:

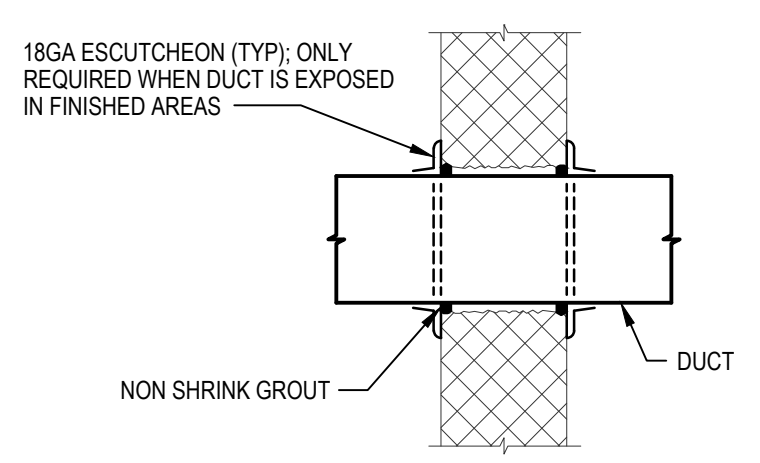
- PROVIDE ACCESS THRU EXISTING WALL FOR EQUIPMENT MAINTENANCE; COORDINATE OPENING LOCATION AND SIZE WITH APPROVED EQUIPMENT SELECTION AND STRUCTURAL; PROVIDE REMOVABLE PANEL; COORDINATE PANEL CONSTRUCTION WITH ARCHITECT.
- PROVIDE DIRECT VENT EXHAUST & INTAKE AIR CONCENTRIC ROOFTOP TERMINATION FOR AHU; COORDINATE SIZE WITH APPROVED EQUIPMENT SELECTION. INSTALL EXHAUST AND INTAKE AIR PIPING FROM AHU TO TERMINATION PER MANUFACTURERS INSTALLATION MANUAL.
- PROVIDE REMOTE TEMPERATURE SENSOR WITH LOCKABLE COVER; CONNECT TO THERMOSTAT LOCATED IN OFFICE (ROOM 8).



1 MECHANICAL FLOOR PLAN - ABOVE CEILING
 M1.01 / SCALE: 1/4" = 1'-0"

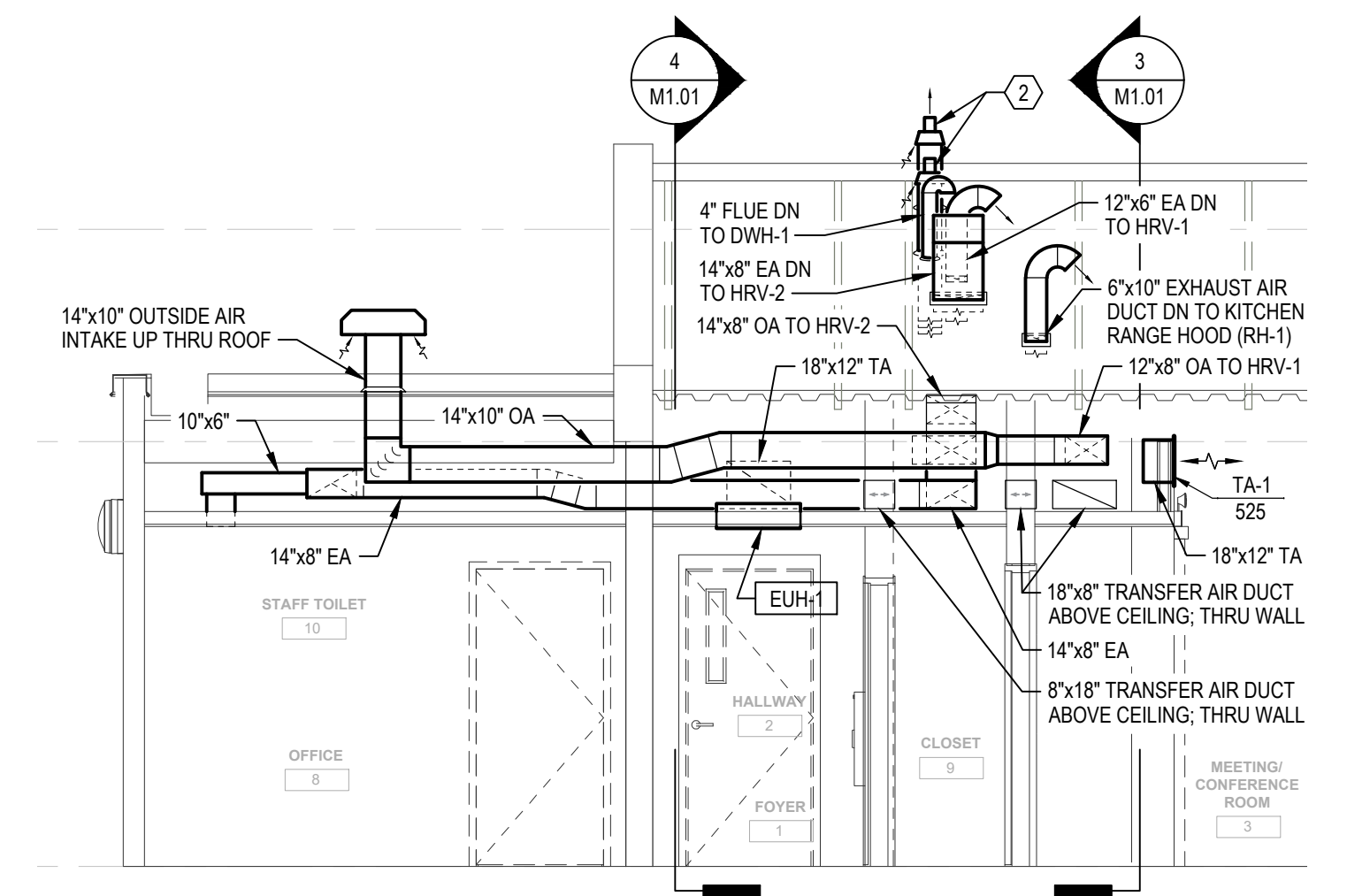


2 MECHANICAL PART PLAN - BELOW CEILING
 M1.01 / SCALE: 1/4" = 1'-0"

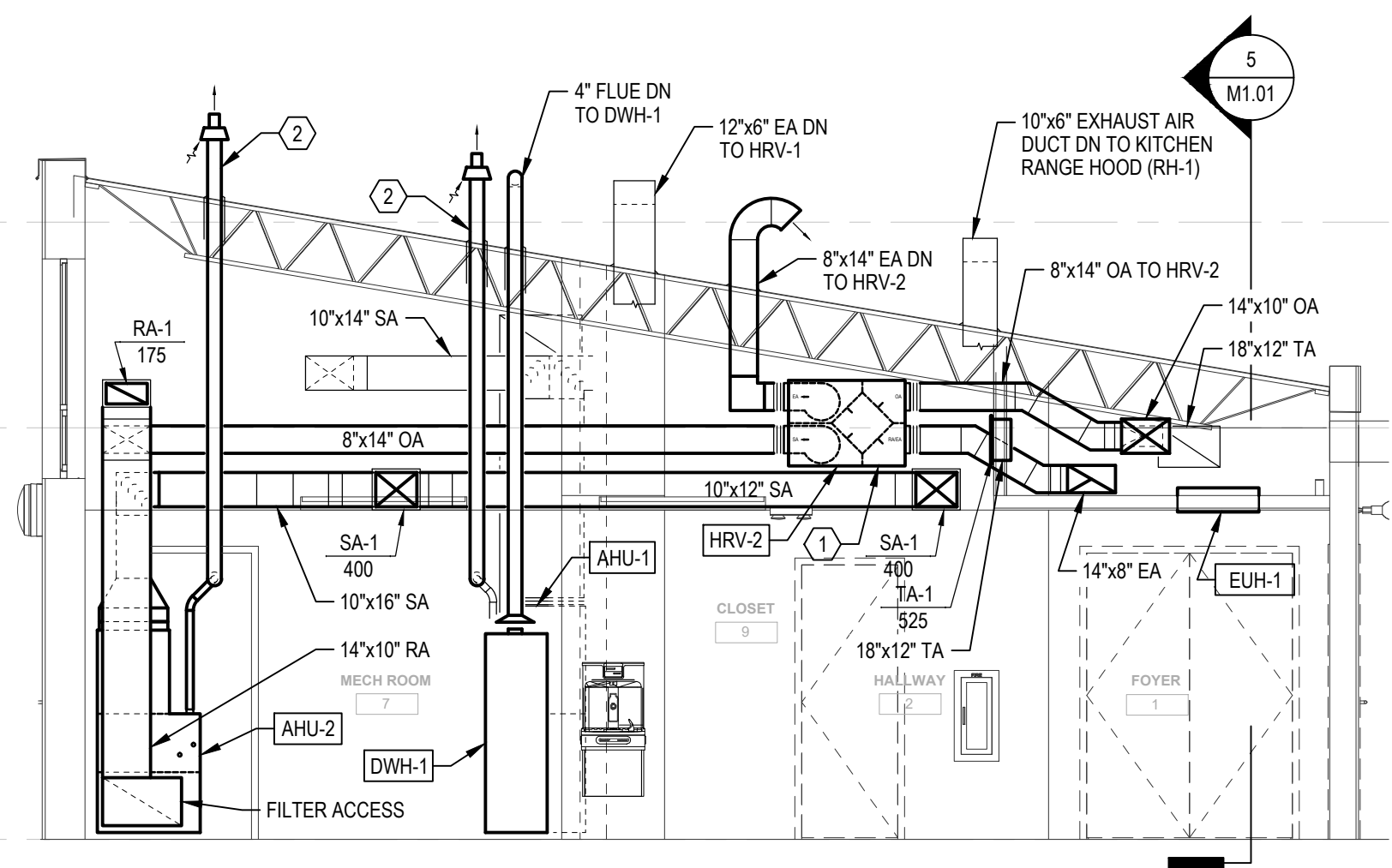


DETAIL DUCT THROUGH MASONRY WALL
 M1.01 / SCALE: NTS

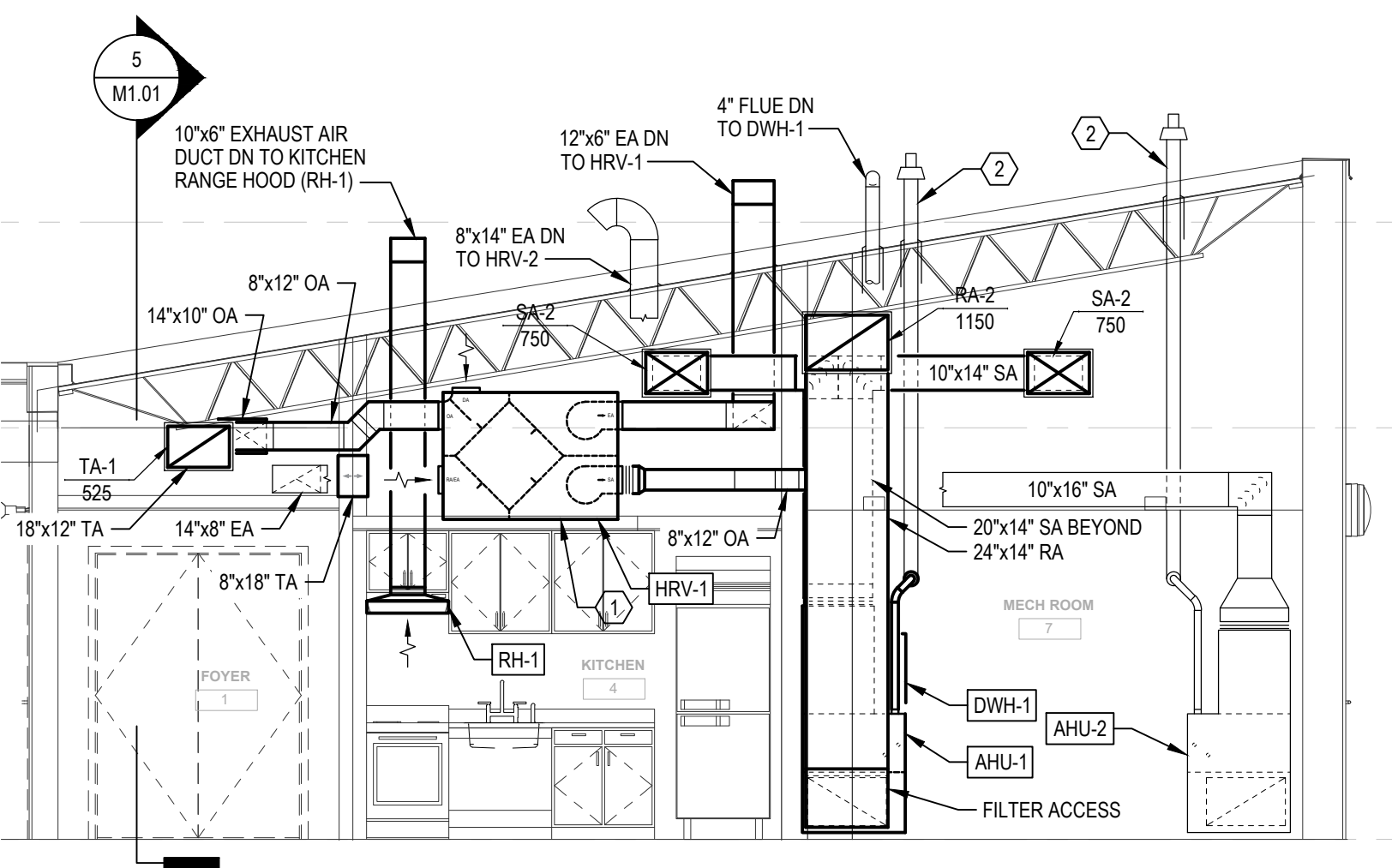
NOTES:
 1. THIS DETAIL APPLIES TO BOTH INSULATED AND NON-INSULATED DUCT.



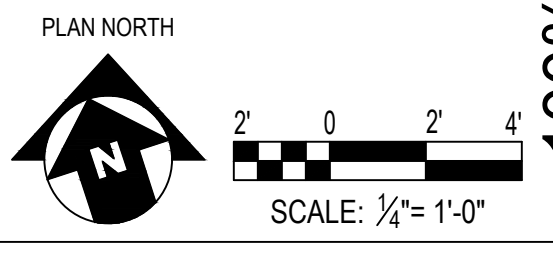
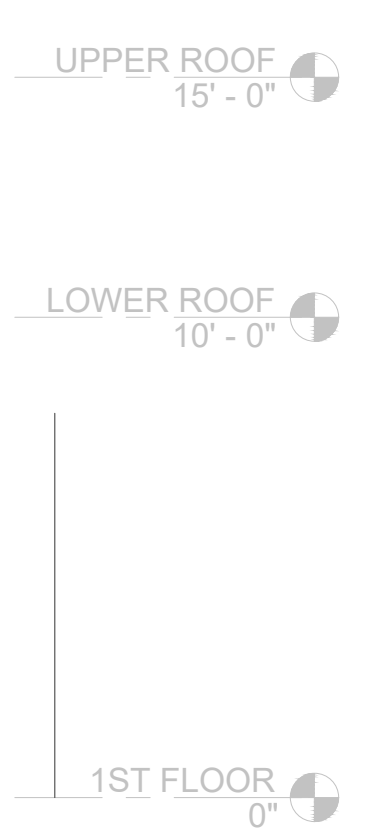
5 MECHANICAL BUILDING SECTION - NORTH
 M1.01 / SCALE: 1/4" = 1'-0"



4 MECHANICAL BUILDING SECTION - AHU-2
 M1.01 / SCALE: 1/4" = 1'-0"



3 MECHANICAL BUILDING SECTION - AHU-1
 M1.01 / SCALE: 1/4" = 1'-0"



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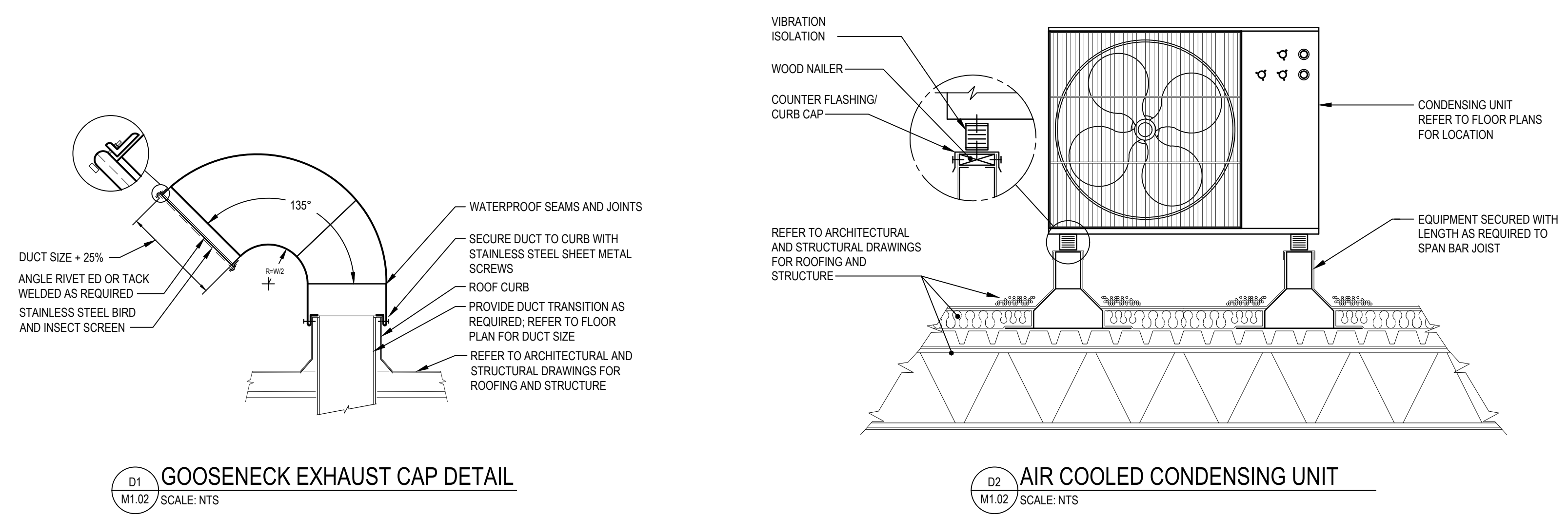
CITY OF PHILADELPHIA
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 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK PLAYGROUND BUILDING RENOVATION

DRAWING TITLE
 FLOOR PLAN - MECHANICAL

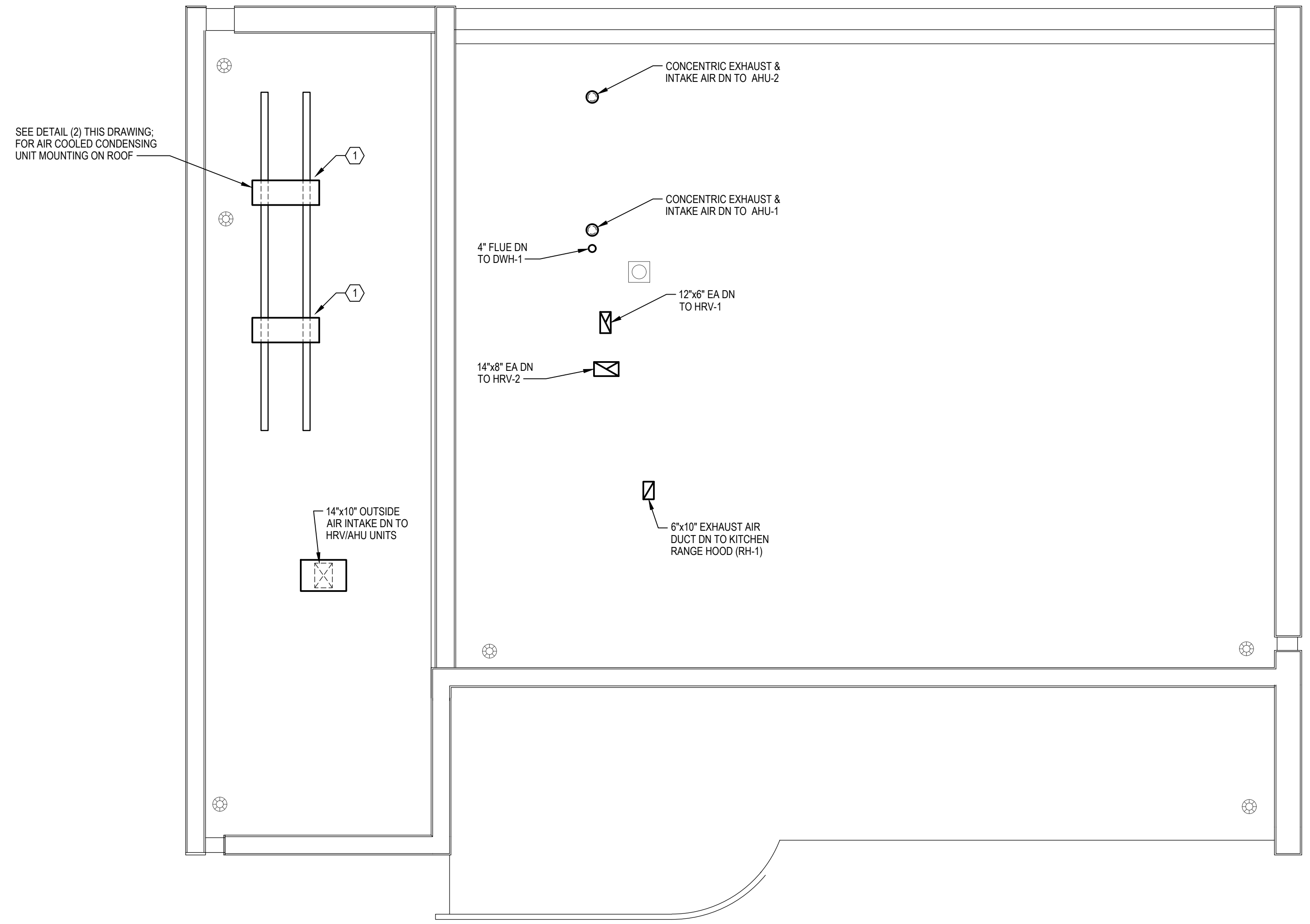
PROJECT NO. 18-00355-001	DRAWING NO. M1.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MMB	
CHECKED BY: GSC	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



D1 GOOSENECK EXHAUST CAP DETAIL
M1.02 SCALE: NTS

D2 AIR COOLED CONDENSING UNIT
M1.02 SCALE: NTS



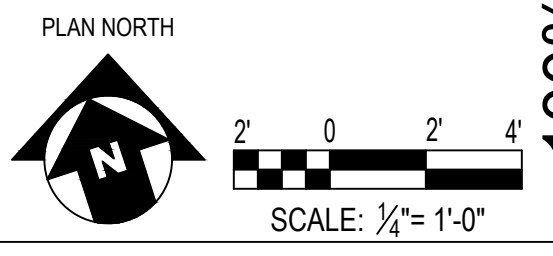
1 MECHANICAL ROOF PLAN
M1.02 SCALE: 1/4" = 1'-0"

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3. DO NOT LOCATE DUCTWORK OR PIPING ABOVE ELECTRICAL PANELS OR EQUIPMENT.
4. ALL EXPOSED DUCTWORK PROPOSED SHALL BE INSULATED AND WRAPPED WITH AN ALUMINUM JACKET; REFER TO SPECIFICATIONS FOR DETAILS.
5. COORDINATE DUCTWORK INSTALLATION WITH LIGHT FIXTURES; SEE ELECTRICAL DRAWINGS FOR PROPOSED LIGHT LOCATIONS.

SHEET KEYNOTES:

- 1 PROVIDE ROOF PENETRATION HOUSING FOR ALL REFRIGERANT PIPING PENETRATING ROOF.

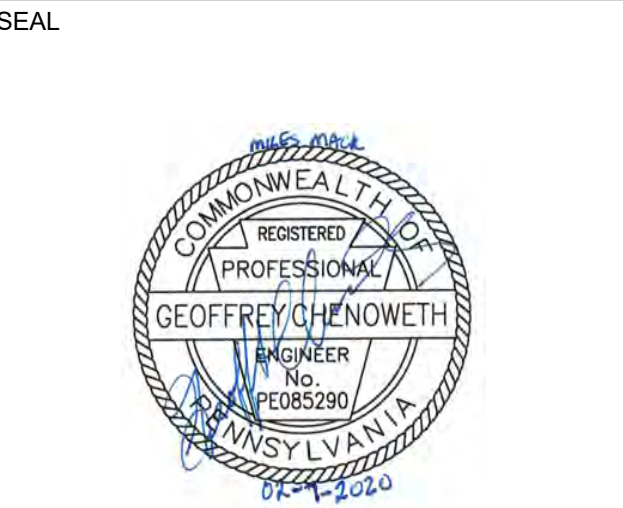


100% Submission - 2/7/20

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PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
ROOF PLAN - MECHANICAL

PROJECT NO. 18-00355-001	DRAWING NO. M1.02
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MMB	
CHECKED BY: GSC	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

INDOOR AIR HANDLING UNIT SCHEDULE																																				
DESIG.	SERVES	LOCATION	SUPPLY FAN				HEATING CHARACTERISTICS				NATURAL GAS				COOLING CHARACTERISTICS				SEER	FILTER		DIMENSIONS			SHIPPING WEIGHT			ELECTRICAL			BASIS	INTEGRATE W/ CONDENSING UNIT	NOTES			
			CFM	OA CFM	ESP IN H ₂ O	MOTOR HP	OAT (°F)	EAT (°F)	LAT (°F)	MBH SENS	MBH INPUT	THERMAL EFFICIENCY	SUPPLY PRESSURE	INTAKE (DIA)	EXHAUST (DIA)	OAT (°F) DB	OAT (°F) WB	EAT (°F) DB		EAT (°F) WB	LAT (°F) DB	LAT (°F) WB	SENS	TOTAL	TYPE	SIZE	H (IN)	W (IN)	D (IN)	(LBS)				VPH	MCA	MOCP
AHU-1	MEETING ROOM	MECHANICAL RM	1,500	260	0.43	1	11	30	115	29	132	98%	7" - 12"	2"	2"	92	75	77	68	55	-	31	53	15	MERV 16	4"	60	25	30	350	230/1	35.6	60	LENNOX CBX	ACCU-1	1, 2, 3
AHU-2	RESTROOMS	MECHANICAL RM	800	525	0.48	3/4	11	45	120	17	88	98%	7" - 12"	2"	2"	92	75	78	68	55	-	28	35	15	MERV 16	4"	59	21	30	250	230/1	20.8	35	LENNOX CBX	ACCU-2	1, 2, 3

NOTES:
1) REFER TO CONTROLS SEQUENCE AND SPECIFICATIONS FOR MORE INFORMATION.
2) OUTSIDE AIR TEMPERATURES ARE PROVIDED BY HEAT RECOVERY VENTILATOR DATA.
3) PROVIDE MANUFACTURERS STANDARD WIRE WALL THERMOSTAT AND REMOTE TEMPERATURE SENSOR FOR EACH UNIT AS SHOWN ON THE DRAWINGS.

HEAT RECOVERY VENTILATOR SCHEDULE																														
DESIG.	SERVES	LOCATION	SUPPLY FAN			SUPPLY FILTER		EXHAUST FAN			SINGLE POINT ELECTRICAL CONNECTION			WINTER ENTHALPIC ENERGY RECOVERY				SUMMER ENTHALPIC ENERGY RECOVERY				DIMENSIONS			SHIPPING WEIGHT (LBS)	BASIS	NOTES			
			CFM	ESP IN H ₂ O	MOTOR TYPE	TYPE	SIZE	CFM	ESP IN H ₂ O	MOTOR TYPE	V/PH	MCA	MOP	WATTS	THERMAL EFFICIENCY	OAT (°F) DB	OAT (°F) WB	LAT (°F) DB	LAT (°F) WB	THERMAL EFFICIENCY	OAT (°F) DB	OAT (°F) WB	LAT (°F) DB	LAT (°F) WB				L (IN)	D (IN)	H (IN)
HRV-1	AHU-1	ABOVE KITCHENET	260	0.25	PSC	MERV 7	1"	260	0.12	PSC	120/1	6.63	9.13	330	40%	35	-	11	-	18%	95	75	92	75	51	21	41	225	BROAN B1600705	1, 2, 3, 4, 5, 6, 7, 8
HRV-2	AHU-2	ABOVE CLOSET	525	0.12	PSC	MERV 8	1"	252	0.33	PSC	120/1	9.50	12.00	640	36%	35	-	11	-	20%	95	75	92	75	34	29	25	180	BROAN B6LC	1, 2, 3, 4, 5, 6, 7, 8

NOTES:
1) REFER TO CONTROLS SEQUENCE AND SPECIFICATIONS FOR MORE INFORMATION.
2) PROVIDE FACTORY INSTALLED SPEED CONTROLLER ON EACH MOTOR.
3) PROVIDE FACTORY INSTALLED FREEZE-STAT. REFER TO CONTROLS DRAWING M7.01 FOR FREEZE-STAT LOCATION.
4) PROVIDE FACTORY INSTALLED ENTHALPIC PLATE HEAT EXCHANGER.
5) PROVIDE VIBRATION ISOLATION.
6) SIZE HEAT EXCHANGER USING THE CRITERIA INDICATED IN THE "ENTHALPIC ENERGY RECOVERY" COLUMNS.
7) LEAVING AIR TEMPERATURE OF THE HEAT EXCHANGER IS PURPOSELY AT VARIANCE WITH THE ENTERING AIR TEMPERATURE OF THE COIL TO ACCOUNT FOR HEAT EXCHANGE INEFFICIENCIES DEVELOPED OVER THE LIFE OF THE UNIT.
8) DISCONNECT PROVIDED UNDER DIVISION 26.

AIR COOLED CONDENSING UNIT SCHEDULE																					
DESIG.	COMPRESSOR (No.)	FAN (No.)	COOLING				HEATING				ELECTRICAL			UNIT WEIGHT (LBS)	BASIS	ASHRAE 15/34 COMPLIANCE ¹		NOTES			
			OPER RANGE DB (°F)	RATED INDOOR DB/WB (°F)	RATED OUTDOOR DB (°F)	CAPACITY (MBH)	OPER RANGE (°F)	RATED INDOOR DB (°F)	RATED OUTDOOR DB/WB (°F)	CAPACITY (MBH)	V/PH	MOCP	MCA			TOTAL EST. REFRIGERANT CAPACITY (LBS)	MINIMUM ROOM VOLUME (CU FT)				
ACCU-1	1	2	23 - 122	80/67	95	60	(-13) - 61	70	47/43	64	240/1	40	25.4	300	LG MULTI V S (ARUN060GSS4)	7.7	296	1, 2, 3, 4, 5, 6, 7, 8			
ACCU-2	1	2	23 - 122	80/67	95	60	(-13) - 61	70	47/43	64	240/1	40	25.4	300	LG MULTI V S (ARUN060GSS4)	7.7	296	1, 2, 3, 4, 5, 6, 7, 8			

NOTES:
1) VRF HEAT PUMP UNIT, REFER TO CONTROL SEQUENCE AND SPECIFICATIONS FOR MORE INFORMATION.
2) CONDENSATE SHALL DRAIN TO ROOF.
3) INTEGRATE WITH INDOOR UNIT CONTROL SYSTEM AND PROVIDE CENTRAL ACCESS THROUGH OFFICE COMPUTER.
4) MINIMUM ROOM VOLUME CALCULATION BASED ON 26 LBS/1000 CU FT (ASHRAE 34 MAXIMUM RCL).
5) PROVIDE HAIL GUARD KIT, LOW AMBIENT BAFFLE KIT, AND DRAIN PAN HEATER.
6) CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF PIPING ROUTING AND REQUIRED LENGTHS.
7) CONFIRM REFRIGERANT VOLUME WITH FINAL LAYOUT AND VERIFY ASHRAE 15/34 COMPLIANCE.
8) ESTIMATED MAXIMUM SYSTEM LENGTHS: 1/4-1/2 - 64 FT; 3/8-5/8 - 26; 3/8-3/4 - 30

DUCTLESS FAN COIL UNIT SCHEDULE																	
DESIG.	SERVICE	STYLE	AIRFLOW (CFM)	COOLING				HEATING				ELECTRICAL		REFRIG	BASIS	NOTES	INTEGRATE W/ CONDENSING UNIT
				SENSIBLE (MBH)	TOTAL (MBH)	EAT (°F) DB	LAT (°F) WB	TOTAL (MBH)	EAT (°F) DB	LAT (°F) WB	V/PH	MCA					
DFC-1	OFFICE	CEILING CASSETTE	283	6.0	7.4	72	60	52	9.8	68	100	240/1	0.20	R-410A	LG MULTI V S 4-WAY (ARNU093TRD4)	1, 2, 3, 4, 5, 6, 7	ACCU-2

NOTES:
1) REFER TO CONTROL SEQUENCE AND SPECIFICATIONS FOR MORE INFORMATION.
2) PROVIDE UNIT WITH INTEGRAL CONDENSATE PUMP AND 3" DIA. OUTSIDE AIR CONNECTION.
3) PROVIDE MANUFACTURERS STANDARD WIRE WALL THERMOSTAT FOR EACH UNIT AS SHOWN ON THE DRAWINGS.
4) INTEGRATE WITH OUTDOOR UNIT CONTROL SYSTEM AND PROVIDE CENTRAL ACCESS THROUGH OFFICE COMPUTER.
5) REFER TO ACCU SCHEDULE FOR MINIMUM ROOM VOLUME CALCULATION BASED ON ASHRAE 34 MAXIMUM RCL.
6) CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF PIPING ROUTING AND REQUIRED LENGTHS.
7) CONFIRM REFRIGERANT VOLUME WITH FINAL LAYOUT AND VERIFY ASHRAE 15/34 COMPLIANCE.

ELECTRIC UNIT HEATER SCHEDULE									
DESIG.	NOMINAL CFM	BTU/H	RPM	ELECTRICAL VOLT/PH	KW	AMPS	TYPE	BASIS	NOTES
EUH-1	300	13,700	1,400	240/1	4	19.2	CEILING	QMARK CDF 500 SERIES	1, 2, 3

NOTES:
1) PROVIDE WALL MOUNTED THERMOSTAT.
2) PROVIDE TRIM RING FOR RECESSED MOUNTING ON PERMANENT CEILING.
3) PROVIDE FIELD INSTALLED POWER DISCONNECT SWITCH.

MISCELLANEOUS EQUIPMENT SCHEDULE		
DESIG.	DESCRIPTION	BASIS
EEVP	ELECTRONIC EXPANSION VALVE PANEL AHU COMMUNICATIONS KIT, POWERED BY ICP (12 VDC)	LG PRLK048A0
ICP	INTERFACE CONTROLLER PANEL AHU COMMUNICATIONS KIT, 230V/1PH	LG PAHCMR000
RH-1	RANGE HOOD 24" STAINLESS STEEL RANGE HOOD WITH INTEGRAL LIGHTS AND EXHAUST FAN; 120V/1Ø, 1.40 AMPS, 230 CFM (HIGH) / 110 CFM (LOW), 3 1/4" x 10" HORIZONTAL DUCT CONNECTION. HOOD WILL BE OPERATED BY UNIT MOUNTED SWITCH; DAMPER ASSEMBLY INCLUDED; PROVIDE ROOF PENETRATION AND TERMINATE ABOVE ROOF WITH GOOSENECK; REFER TO DRAWINGS FOR LOCATION AND DUCT SIZE.	BROAN BCSEK130SS

AIR DEVICE SCHEDULE							
DESIG.	DUTY	TYPE	NECK SIZE	CFM RANGE	MAX NOISE CRITERIA	BASIS	NOTES
SA-1	SUPPLY	GRILLE	12x 10	400	25	TITUS 271RL	1, 2, 3
SA-2	SUPPLY	GRILLE	18x 12	750	25	TITUS 271RL	1, 2, 3
RA-1	RETURN	GRILLE	12x 8	275	20	TITUS 350FL	1, 2
RA-2	RETURN	GRILLE	24x 16	1240	20	TITUS 350FL	1, 2
EA-1	EXHAUST	GRILLE	8x 8	100	20	TITUS 350FL	1, 2
EA-2	EXHAUST	GRILLE	10x 10	200 - 225	20	TITUS 350FL	1, 2
TA-1	TRANSFER	GRILLE	18x 12	525	20	TITUS 350FL	1, 2
DL-1	TRANSFER	DOOR LOUVER	14x 6	100	20	TITUS CT-700	1, 2
DL-2	TRANSFER	DOOR LOUVER	14x 14	200 - 225	20	TITUS CT-700	1, 2

NOTES:
1) REFER TO SPECIFICATIONS FOR OPTIONS AND ACCESSORIES.
2) COORDINATE SURFACE MOUNTING OF AIR DEVICE WITH EXISTING CEILING.
3) PROVIDE WITH ZERO DEGREE DEFLECTION.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Charles Mottershead, 215.683-4466



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1515 ARCH STREET
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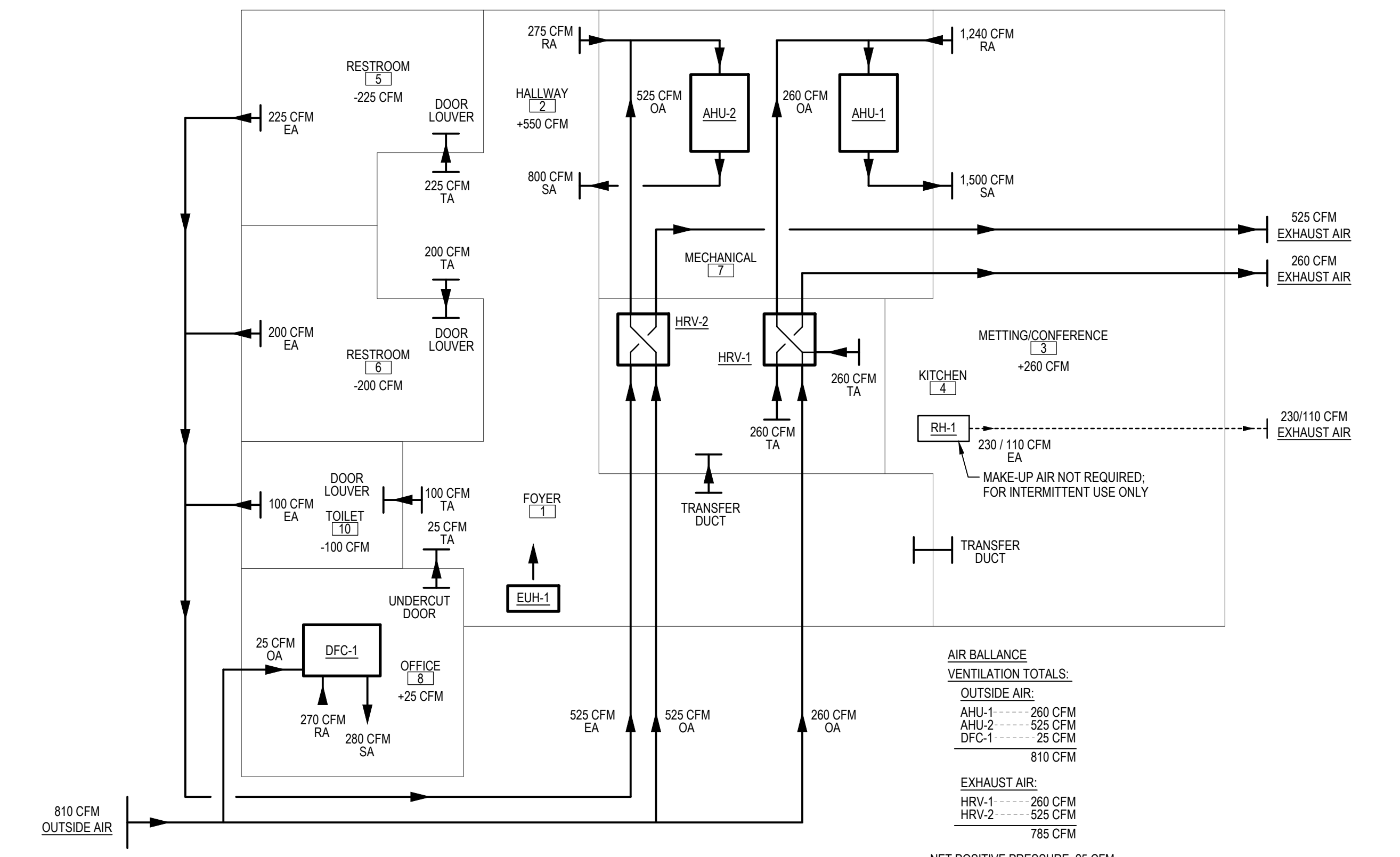
PROJECT TITLE
MILES MACK PLAYGROUND BUILDING RENOVATION

DRAWING TITLE
SCHEDULES - MECHANICAL

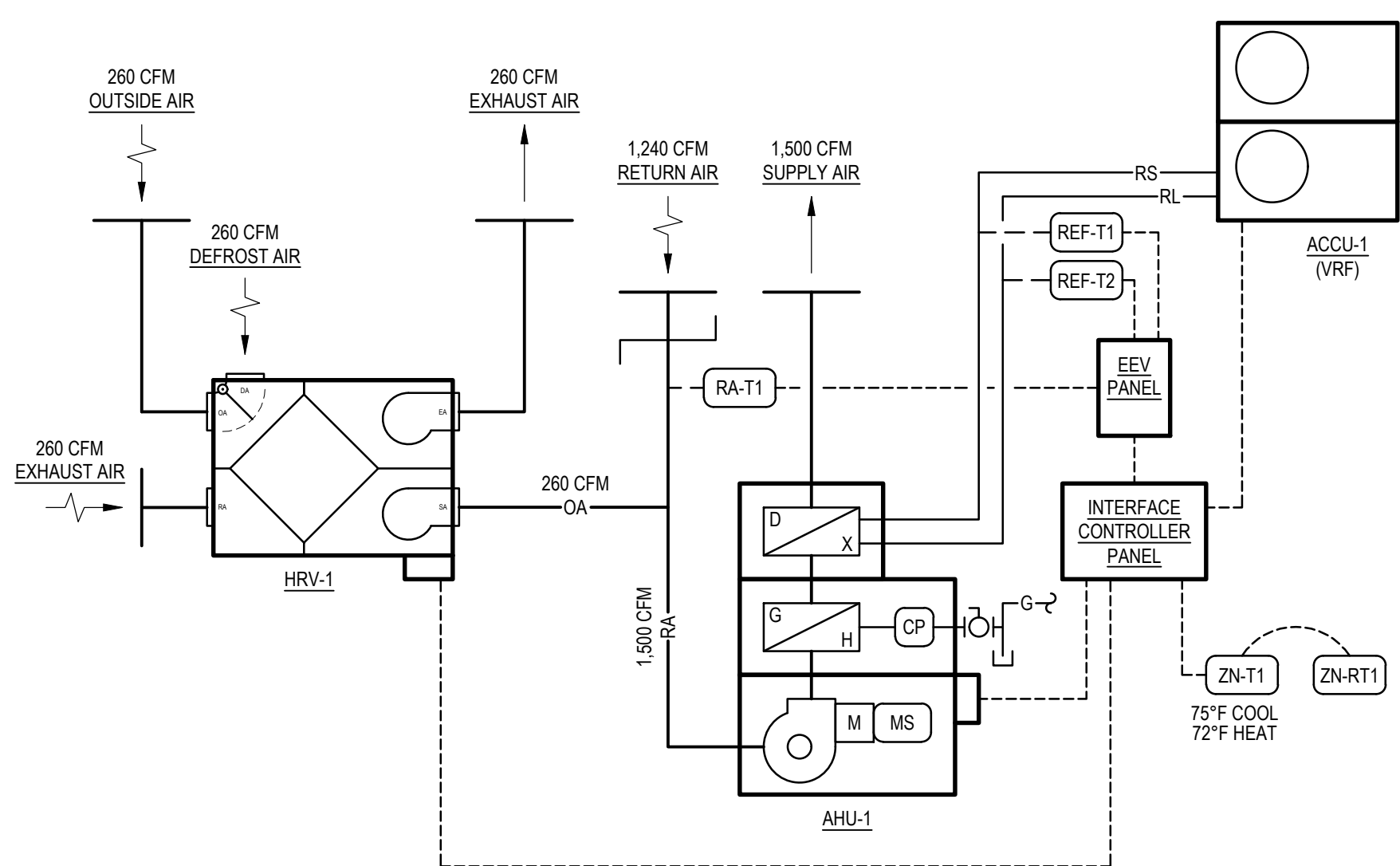
PROJECT NO. 18-00355-001	DRAWING NO. M6.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MMB	
CHECKED BY: GSC	FILE:

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100% Submission - 2/7/20

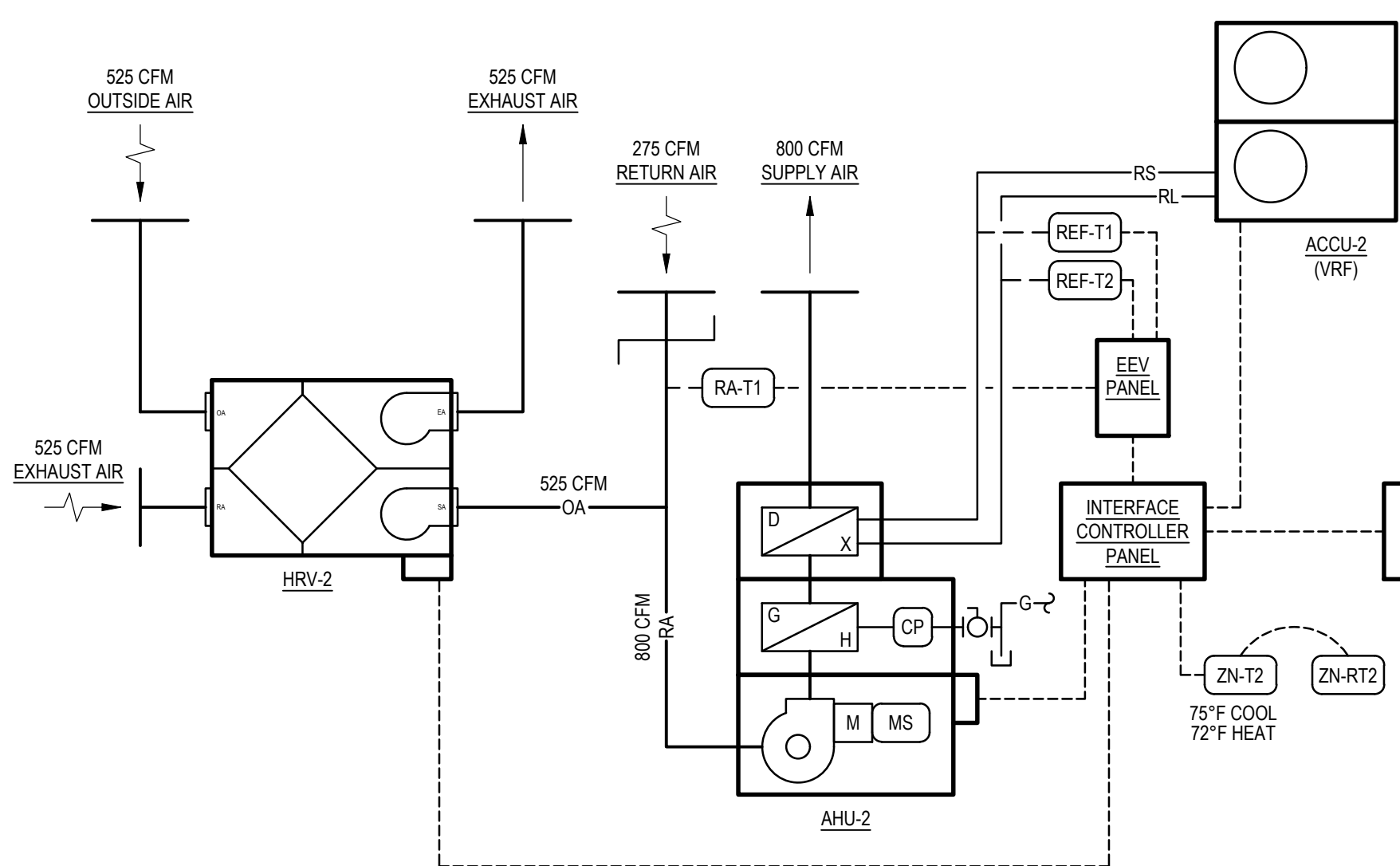


5 MECHANICAL AIR FLOW SCHEMATIC
M7.01 SCALE: NONE



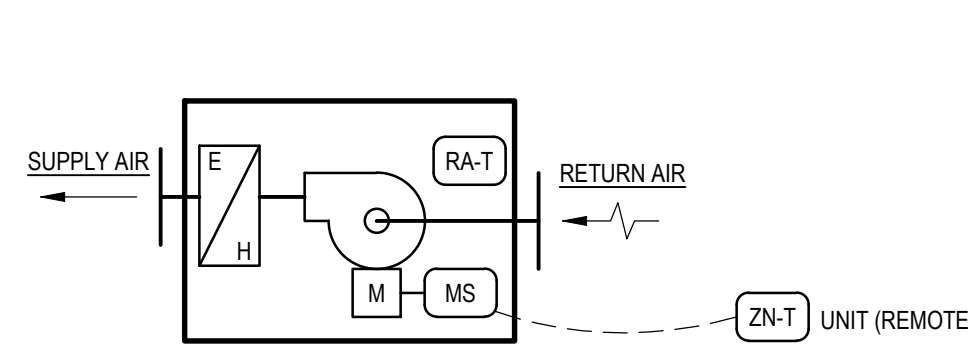
1 VRF AIR HANDLING UNIT (AHU-1) WITH HEAT RECOVERY (HRV-1)
M7.01 SCALE: NTS

- A. GENERAL**
A.1. THIS SEQUENCE APPLIES TO AHU-1, HRV-1, AND VRF-1. CONTROL OF THIS SYSTEM WILL BE THROUGH THE WALL MOUNTED CONTROLLER/THERMOSTAT (ZN-T1) WHICH IS A SELF-CONTAINED CONTROLLER TYPICALLY PROVIDED BY THE VRF SYSTEM MANUFACTURER. REFER TO THE VRF SYSTEM MANUFACTURERS PRODUCTS AND THEIR INSTALLATION REQUIREMENTS FOR VARIATIONS ON THE BELOW SEQUENCE. AHU-1 IS CONNECTED TO THE SYSTEM THROUGH AN ELECTRONIC EXPANSION VALVE (EEV) AND A VRF SYSTEM CONTROL GATEWAY ADAPTOR. THIS BUILDING DOES NOT HAVE A COMMERCIAL BUILDING AUTOMATION SYSTEM.
- B. SYSTEM ARCHITECTURE (GENERAL LAYOUT)**
B.1. VRF SYSTEM EQUIPMENT COMMUNICATION IS ACCOMPLISHED THROUGH A TWO-WIRE, TWISTED, STRANDED, AND SHIELDED CONDUCTOR SYSTEM, DAISY CHAINED FROM COMPONENT TO COMPONENT AND TO THE CONTROLLER/THERMOSTAT AS A LOCAL BUS. THE OUTDOOR UNIT TYPICALLY FUNCTIONS AS THE MASTER AND ALL OTHER COMPONENTS ARE SET AS SLAVES. THE CONTROLLER/THERMOSTAT CONTAINS AN ETHERNET/IP OR BACnet CONNECTION FOR SERVICE OR FUTURE CONNECTION TO PPR'S CITY NETWORK FOR REMOTE MONITORING.
- B.2. AHU-1 IS CONNECTED TO THE VRF SYSTEM THROUGH AN INTERFACE ADAPTION CONTROLLER TO MATE THE UNITS CONTROLS WITH THE VRF SYSTEM PROTOCOL AND THROUGH AN ELECTRONIC EXPANSION VALVE KIT TO MATE THE REFRIGERANT SYSTEM WITH THE VRF SYSTEM CONFIGURATION AND CONTROL.
- C. SYSTEM ENABLE**
C.1. THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL DETERMINE OCCUPIED/UNOCCUPIED STATUS AS SCHEDULED (OCCUPIED 5:00 AM TO 8:00 PM, SEVEN DAYS A WEEK (ADJ.)) OR THROUGH MANUAL ACTIVATION (OVERRIDE) PERFORMED AT THE ZONE THERMOSTAT. HRV-1 SHALL BE ENABLED WITH AHU-1 TO PROVIDE VENTILATION THROUGH THE VRF SYSTEMS STANDARD VENTILATION PROGRAM. REFER TO VENTILATION PARAGRAPH FOR REQUIRED SEQUENCES OF HRV-1. SIMULTANEOUS HEATING AND COOLING OF THE SPACES MUST NOT BE PERMITTED.
- D. OCCUPIED/UNOCCUPIED MODE**
D.1. DURING OCCUPIED MODE, THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL MONITOR ZONE TEMPERATURE (ZN-T1) AND COMPARE TO THE ZONE SETPOINT AND THE OUTDOOR TEMPERATURE (OD-T).
D.2. DURING OCCUPIED PERIOD, THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL OPERATE IN AUTO MODE (DUAL SET POINT FUNCTION) TO AUTOMATICALLY SWITCH BETWEEN COOLING AND HEATING SERVICE. ALL SYSTEM SETPOINTS SHALL BE SET AS FOLLOWS:
D.2.1. COOLING SERVICE SETPOINT - 72 °F (ADJ., PPR STANDARD)
D.2.2. HEATING SERVICE SETPOINT - 70 °F (ADJ., PPR STANDARD)
D.2.3. OUTDOOR TEMPERATURE FOR 2nd HEATING STAGE (NATURAL GAS, AHU-1 ONLY) - 30 °F (ADJ.)
D.3. DURING UNOCCUPIED PERIOD, THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL OPERATE IN AUTO MODE (DUAL SET POINT FUNCTION) TO AUTOMATICALLY SWITCH BETWEEN COOLING AND HEATING SERVICE. ALL SYSTEM SETPOINTS SHALL BE SET TO A SETBACK TEMPERATURE AS FOLLOWS:
D.3.1. COOLING SETBACK SERVICE SETPOINT - 76 °F (ADJ.)
D.3.2. HEATING SETBACK SERVICE SETPOINT - 68 °F (ADJ.)
D.3.3. OUTDOOR TEMPERATURE FOR 2nd HEATING STAGE (NATURAL GAS, AHU-1 ONLY) - 30 °F (ADJ.)
- E. VENTILATION SYSTEM OPERATION (AHU-1 AND HRV-1 ONLY)**
E.1. HEAT RECOVERY VENTILATOR (HRV-1) SHALL BE ACTIVATED DURING OPERATION OF AHU-1. HRV-1 SHALL OPERATE THROUGH INTERNAL CONTROLS TO MAINTAIN RELIABLE OPERATION. HRV-1 SHALL ACTIVATE DEFROST MODE WHEN REQUIRED. THE DESIGN PERMITS DEFROST MODE TO MAINTAIN EXHAUST AIR OPERATION WHILE SHUTTING OFF FRESH AIR SUPPLY FOR 6 MINUTES (ADJ.)
- F. ALARMS/EMERGENCY OPERATION**
F.1. PROVIDE STANDARD VRF SYSTEM AND/OR ZONE THERMOSTAT ALARMS, PROGRAMMED AND COORDINATED WITH THE SETPOINTS AND DESIRED OPERATION ABOVE.
- G. NOTES**
G.1. COORDINATE CONTROL REQUIREMENTS WITH SPECIFIC SUPPLIER/MANUFACTURER OF VRF SYSTEM.
G.2. PROVIDE DRY CONTACTS IN UNIT CONTROLS FOR SIGNAL FROM FIRE ALARM PANEL TO SHUT UNIT DOWN.
G.3. OUTDOOR UNIT IS PROVIDED WITH LOW AMBIENT Baffle AND CONTROL KIT. COORDINATE LOW AMBIENT OPERATION SEQUENCE AS REQUIRED FOR PROPER UNIT OPERATION.



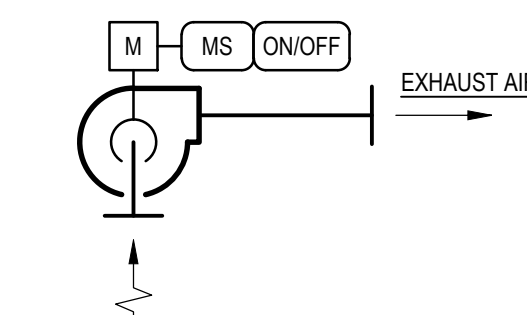
2 VRF AIR HANDLING UNIT (AHU-2) WITH HEAT RECOVERY (HRV-2)
M7.01 SCALE: NTS

- A. GENERAL**
A.1. THIS SEQUENCE APPLIES TO AHU-2, DFC-1, HRV-2, AND VRF-2. CONTROL OF THIS SYSTEM WILL BE THROUGH THE WALL MOUNTED CONTROLLER/THERMOSTAT (ZN-T2) WHICH IS A SELF-CONTAINED CONTROLLER TYPICALLY PROVIDED BY THE VRF SYSTEM MANUFACTURER. REFER TO THE VRF SYSTEM MANUFACTURERS PRODUCTS AND THEIR INSTALLATION REQUIREMENTS FOR VARIATIONS ON THE BELOW SEQUENCE. AHU-2 IS CONNECTED TO THE SYSTEM THROUGH AN ELECTRONIC EXPANSION VALVE (EEV) AND A VRF SYSTEM CONTROL GATEWAY ADAPTOR. THIS BUILDING DOES NOT HAVE A COMMERCIAL BUILDING AUTOMATION SYSTEM.
- B. SYSTEM ARCHITECTURE (GENERAL LAYOUT)**
B.1. VRF SYSTEM EQUIPMENT COMMUNICATION IS ACCOMPLISHED THROUGH A TWO-WIRE, TWISTED, STRANDED, AND SHIELDED CONDUCTOR SYSTEM, DAISY CHAINED FROM COMPONENT TO COMPONENT AND TO THE CONTROLLER/THERMOSTAT AS A LOCAL BUS. THE OUTDOOR UNIT TYPICALLY FUNCTIONS AS THE MASTER AND ALL OTHER COMPONENTS ARE SET AS SLAVES. THE CONTROLLER/THERMOSTAT CONTAINS AN ETHERNET/IP OR BACnet CONNECTION FOR SERVICE OR FUTURE CONNECTION TO PPR'S CITY NETWORK FOR REMOTE MONITORING.
- B.2. DUCTLESS FAN COILS (DFC-1) ARE CONTROLLED LOCALLY BY ZONE THERMOSTATS (ZN-T2A), WHICH ARE WIRED THERMOSTATS CONNECTED DIRECTLY TO EACH DFC. EACH DFC IS ALSO CONNECTED TO THE MAIN COMMUNICATION BUS FOR THE VRF SYSTEM TO INTERFACE WITH THE OUTDOOR UNIT.
- B.3. AHU-2 IS CONNECTED TO THE VRF SYSTEM THROUGH AN INTERFACE ADAPTION CONTROLLER TO MATE THE UNITS CONTROLS WITH THE VRF SYSTEM PROTOCOL AND THROUGH AN ELECTRONIC EXPANSION VALVE KIT TO MATE THE REFRIGERANT SYSTEM WITH THE VRF SYSTEM CONFIGURATION AND CONTROL.
- C. SYSTEM ENABLE**
C.1. THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL DETERMINE OCCUPIED/UNOCCUPIED STATUS AS SCHEDULED (OCCUPIED 5:00 AM TO 8:00 PM, SEVEN DAYS A WEEK (ADJ.)) OR THROUGH MANUAL ACTIVATION (OVERRIDE) PERFORMED AT THE ZONE THERMOSTAT. HRV-2 SHALL BE ENABLED WITH AHU-2 TO PROVIDE VENTILATION THROUGH THE VRF SYSTEMS STANDARD VENTILATION PROGRAM. REFER TO VENTILATION PARAGRAPH FOR REQUIRED SEQUENCES OF HRV-2. SIMULTANEOUS HEATING AND COOLING OF THE SPACES MUST NOT BE PERMITTED.
- D. OCCUPIED/UNOCCUPIED MODE**
D.1. DURING OCCUPIED MODE, THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL MONITOR ZONE TEMPERATURE (ZN-T2) AND COMPARE TO THE ZONE SETPOINT AND THE OUTDOOR TEMPERATURE (OD-T).
D.2. DURING OCCUPIED PERIOD, THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL OPERATE IN AUTO MODE (DUAL SET POINT FUNCTION) TO AUTOMATICALLY SWITCH BETWEEN COOLING AND HEATING SERVICE. ALL SYSTEM SETPOINTS SHALL BE SET AS FOLLOWS:
D.2.1. COOLING SERVICE SETPOINT - 72 °F (ADJ., PPR STANDARD)
D.2.2. HEATING SERVICE SETPOINT - 70 °F (ADJ., PPR STANDARD)
D.2.3. OUTDOOR TEMPERATURE FOR 2nd HEATING STAGE (NATURAL GAS, AHU-2 ONLY) - 30 °F (ADJ.)
D.3. DURING UNOCCUPIED PERIOD, THE VRF SYSTEM AND/OR ZONE THERMOSTAT SHALL OPERATE IN AUTO MODE (DUAL SET POINT FUNCTION) TO AUTOMATICALLY SWITCH BETWEEN COOLING AND HEATING SERVICE. ALL SYSTEM SETPOINTS SHALL BE SET TO A SETBACK TEMPERATURE AS FOLLOWS:
D.3.1. COOLING SETBACK SERVICE SETPOINT - 76 °F (ADJ.)
D.3.2. HEATING SETBACK SERVICE SETPOINT - 68 °F (ADJ.)
D.3.3. OUTDOOR TEMPERATURE FOR 2nd HEATING STAGE (NATURAL GAS, AHU-2 ONLY) - 30 °F (ADJ.)
- E. VENTILATION SYSTEM OPERATION (AHU-2 AND HRV-2 ONLY)**
E.1. HEAT RECOVERY VENTILATOR (HRV-2) SHALL BE ACTIVATED DURING OPERATION OF AHU-2. HRV-2 SHALL OPERATE THROUGH INTERNAL CONTROLS TO MAINTAIN RELIABLE OPERATION. HRV-2 SHALL ACTIVATE DEFROST MODE WHEN REQUIRED. THE DESIGN PERMITS DEFROST MODE TO MAINTAIN EXHAUST AIR OPERATION WHILE SHUTTING OFF FRESH AIR SUPPLY FOR 6 MINUTES (ADJ.)
- F. ALARMS/EMERGENCY OPERATION**
F.1. PROVIDE STANDARD VRF SYSTEM AND/OR ZONE THERMOSTAT ALARMS, PROGRAMMED AND COORDINATED WITH THE SETPOINTS AND DESIRED OPERATION ABOVE.
- G. NOTES**
G.1. COORDINATE CONTROL REQUIREMENTS WITH SPECIFIC SUPPLIER/MANUFACTURER OF VRF SYSTEM.
G.2. PROVIDE DRY CONTACTS IN UNIT CONTROLS FOR SIGNAL FROM FIRE ALARM PANEL TO SHUT UNIT DOWN.
G.3. OUTDOOR UNIT IS PROVIDED WITH LOW AMBIENT Baffle AND CONTROL KIT. COORDINATE LOW AMBIENT OPERATION SEQUENCE AS REQUIRED FOR PROPER UNIT OPERATION.



3 ELECTRIC UNIT HEATER (EUH-1)
M7.01 SCALE: NTS

- A. GENERAL**
THE ELECTRIC UNIT HEATER (EUH) IS A CONSTANT VOLUME UNIT EQUIPPED WITH A CONSTANT VOLUME FAN AND AN ELECTRIC HEATING COIL.
- B. UNIT HEATER OPERATION**
THE EUH SHALL OPERATE THROUGH AN EXTERNAL THERMOSTAT. THE EUH SHALL CYCLE THROUGH INTERNAL CONTROLS TO MAINTAIN A ZONE TEMPERATURE SETPOINT OF 70°F (ADJ. +/- 2°F DEADBAND).



4 RANGE HOOD (RH-1)
M7.01 SCALE: NTS

- A. GENERAL**
THE CONSTANT VOLUME EXHAUST FAN SHALL BE CONTROLLED TO OPERATE CONTINUOUSLY.
- B. EXHAUST FAN OPERATION**
THE FAN SHALL OPERATE THROUGH AN INTERNAL ON/OFF SWITCH. THE FAN SHALL BE MANUALLY CONTROLLED AND ENABLED DIRECTLY WHENEVER THE ON/OFF SWITCH IS ENABLED.

GENERAL CONTROL NOTES AND REQUIREMENTS:

- THESE CONTROL DRAWINGS INDICATE SYSTEMS TO BE CONTROLLED BY BAS AND/OR STANDALONE MEANS AS WELL AS INTENDED SEQUENCES OF OPERATION.
- THE CONTROL SYSTEM SHALL BE FULLY INSTALLED, CALIBRATED, AND ADJUSTED TO PROVIDE ACCURATE AND STABLE SYSTEM OPERATION. CONTROLLED PARAMETERS SHALL BE MAINTAINED WITHIN ACCEPTABLE RANGES AND PID TUNING SHALL BE PERFORMED TO PROVIDE STABLE OPERATION WITHIN 2 MINUTES OF A PARAMETER CHANGE. THE ENGINEER WILL EVALUATE THE SYSTEM TO PROVE THAT PROPER INSTALLATION AND SYSTEM SETUP/TUNING HAS BEEN PERFORMED ONLY AFTER WRITTEN DOCUMENTATION FROM THE CONTROL SYSTEM CONTRACTOR, INCLUDING TRENDRING DATA, HAS BEEN SUBMITTED INDICATING THAT THE CONTROL INSTALLATION AND SETUP IS COMPLETE.
- CONTROL SUBMITTALS SHALL INCLUDE SYSTEM SCHEMATICS, WIRING DIAGRAMS, AND CONTROL LOGIC TO BE USED TO ACHIEVE INTENDED SEQUENCES OF OPERATION. SIMPLY REPRODUCING SEQUENCES AS PROVIDED IN THESE DRAWINGS OR SUBMITTING CONTROL SEQUENCES DIRECTLY FROM EQUIPMENT SUBMITTALS WILL NOT BE ACCEPTABLE.
- CONTROLLERS INTEGRATED TO THE BAS SHALL BE NATIVE BACNET.
- UNLESS OTHERWISE NOTED, MECHANICAL EQUIPMENT SHOWN HEAVY SOLID (—) SHALL BE NEW WORK AND MECHANICAL EQUIPMENT SHOWN LIGHT SOLID (---) SHALL BE EXISTING.
- CONTROL DEVICES SHALL BE INSTALLED IN BOTH NEW AND EXISTING PIPING. COORDINATE WITH MECHANICAL CONTRACTOR TO PROVIDE NECESSARY FITTINGS AND ACCESSORIES.
- SYSTEMS ARE COMPOSED OF NEW AND EXISTING EQUIPMENT. COORDINATE WITH CONTRACT DOCUMENTS.
- FINAL POINTS LISTS SHALL BE DEVELOPED BY THE BAS SUPPLIER, BASED ON THE POINTS TABLE, SCHEMATICS, AND SEQUENCES PROVIDED HERE, AND SUBMITTED TO THE ENGINEER FOR REVIEW.
- POWER FOR CONTROL SYSTEMS AND EQUIPMENT SHALL BE PROVIDED BY BAS CONTRACTOR IN ACCORDANCE WITH DIVISION 26 REQUIREMENTS. ALL POWER FOR CONTROL SYSTEMS SHALL BE INDEPENDENT OF EQUIPMENT LOW VOLTAGE DC SERVICE UNLESS OTHERWISE DIRECTED.
- LOW VOLTAGE AND LINE VOLTAGE POWER FOR CONTROL SYSTEMS AND EQUIPMENT SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR. COORDINATE WITH ELECTRICAL CONTRACTOR FOR ACCESS TO POWER.
- ADDRESSABLE DEVICES BEING CONNECTED TO THE FIRE ALARM SYSTEM SHALL BE PROVIDED BY THE FIRE ALARM CONTRACTOR. SUCH DEVICES ARE SHOWN HERE FOR INDICATION OF CONTROLS INTERLOCKS.
- IN ADDITION TO THE BACNET INTERFACE, VARIABLE FREQUENCY DRIVES SHALL BE HARD WIRED FOR START/STOP, SPEED, AND STATUS.
- CONTROL END DEVICES FOR AHU'S SHALL BE FACTORY MOUNTED.
- ACTUATORS, VARIABLE FREQUENCY DRIVES (MOTOR CURRENT), TEMPERATURE SENSORS, HUMIDITY SENSORS AND CURRENT SENSORS SHALL PROVIDE ANALOG INPUTS TO THE BAS.
- VALVE AND DAMPER ACTUATORS ARE NOTED WITH "NO" AND "NC" FOR NORMALLY OPEN AND NORMALLY CLOSED, INDICATING SPRING RETURN ORIENTATION.
- WHERE ADJUSTABLE TEMPERATURE SETPOINTS ARE NOT IDENTIFIED, A +/- 2°F DEADBAND (ADJUSTABLE) SHALL BE PROVIDED.
- HEATING SEASON AND COOLING SEASON SHALL BE CALENDAR BASED. HEATING SEASON SHALL BE DECEMBER 1 THROUGH MARCH 31 (ADJUSTABLE). COOLING SEASON SHALL BE APRIL 1 THROUGH NOVEMBER 30 (ADJUSTABLE).
- ALL SETPOINTS, RESET SCHEDULES AND DEADBANDS IDENTIFIED HEREIN SHALL BE ADJUSTABLE BY THE BUILDING OPERATOR THROUGH THE BAS INTERFACE ASSOCIATED WITH EACH SYSTEM.
- VARIABLE FREQUENCY DRIVES SHALL BE HARD WIRED FOR START/STOP, SPEED, STATUS AND SHALL BE USED FOR FINAL FAN BALANCING.
- SETPOINT SHALL BE DEFINED AS A PERFORMANCE STANDARD FOR A COMPONENT OR SYSTEM UNDER CONTROL, WHICH IS ESTABLISHED BY THE CONTROL SYSTEM USER. TYPICALLY, A SETPOINT IS DEFINED WITH AN ACCEPTABLE DEADBAND, TO ALLOW THE MECHANICAL OR ELECTRICAL SYSTEM THE OPPORTUNITY TO DAMPEN OR ELIMINATE EXCESSIVE START/STOP OR OSCILLATION OF THE EQUIPMENT.
- DEADBAND IS THE ACCEPTABLE RANGE ASSOCIATED WITH THE SETPOINT, IN WHICH THE CONTROL SYSTEM IS SATISFIED WITH NO MECHANICAL OR ELECTRICAL SYSTEM MODULATION NECESSARY FROM THE CONTROL SYSTEM. TYPICALLY, A DEADBAND IS EXPRESSED AS A +/- RANGE AROUND THE NUMERICAL VALUE OF THE SETPOINT.
- CONTROL SYSTEM PERFORMANCE SHALL BE MEASURED BY THE ENGINEER AND/OR COMMISSIONING AUTHORITY, AND SHALL BE DEFINED AS THE ABILITY OF THE CONTROL SYSTEM TO MEET THE ESTABLISHED SETPOINT WITHIN THE ALLOWABLE DEADBAND WITH STABLE PARAMETER (I.E. TEMPERATURE, POSITION, ETC.) PERFORMANCE. THE CONTROL SYSTEM INSTALLER SHALL PERFORM PROPER LOOP TUNING, IN WHICH THE PROPORTIONAL AND INTEGRAL SETTINGS OF THE CONTROL LOGIC ARE ESTABLISHED WITH THE ACTUAL SYSTEM IN OPERATIONS, TO ACHIEVE THE STABLE PERFORMANCE. THE CONTROL SYSTEM INSTALLER SHALL ALSO ACCEPT THAT EACH CONTROL LOOP SHALL BE TUNED WITH RESPECT TO BOTH UPSTREAM AND DOWNSTREAM CONTROL LOOPS, WHICH MAY AFFECT TUNING REQUIRED TO ACHIEVE THE REQUIRED PERFORMANCE AND STABILITY.

CONTROLS ABBREVIATIONS

"X"		"X"-Y"		"Y"	
C	COMPRESSOR	A	AMPERAGE		
CP	CONTROL PANEL	AL	ALARM		
EA	EXHAUST AIR	B	MANUAL PUSH BUTTON		
EF	EXHAUST FAN	DPR	DAMPER		
EG	EMERGENCY GENERATOR	DPS	DIFFERENTIAL PRESSURE SENSOR		
EM	EMERGENCY	KW	KILOWATT		
F	FILTER	KWH	KILOWATT-HOUR		
FRZ	FREEZE STAT	O/C	OPEN/CLOSE		
GDS	GAS DETECTION SYSTEM	OVR	OVERRIDE (REFER TO SEQUENCE)		
HRV	HEAT RECOVERY VENTILATOR	PS	PRESSURE SWITCH		
LA	LEAVING AIR	RH	RELATIVE HUMIDITY (%)		
MA	MIXED AIR	RT	REMOTE TEMPERATURE		
OA	OUTDOOR AIR	S	STATUS		
P	POSITION	SD	SMOKE DETECTOR		
PH	PHOTOCELL	SP	STATIC PRESSURE		
PM	POWER METER	SS	START/STOP (ENABLE/DISABLE)		
RA	RETURN AIR	SW	SWITCH ON/OFF		
REF	REFRIGERANT	T	TEMPERATURE		
RT	RADIANT TUBE	V	VOLTAGE		
RTU	ROOF TOP UNIT				
SA	SUPPLY AIR				
SF	SUPPLY FAN				
SM	SMOKE				
TA	TEMPERED AIR				
TMLD	TANK MONITORING / LEAK DETECTION				
VP	VACUUM PUMP				
WOB	WASTE OIL BURNER				
ZN	ZONE				

CONTROLS DESIGNATIONS

- (Y) VISUAL DISPLAY DEVICE MOUNTED ON SIDE OF DUCT OR UNIT
- (X)-Y POINT(S) INTEGRATED OR HARD WIRED TO BAS
- (X) INDICATED GRAPHICAL DISPLAY POINT (MUST APPEAR ON SYSTEM GRAPHIC)
- (R (REQUESTED)) = SETPOINT FOR A THERMOSTAT, DAMPER, VALVE, ETC.
- (A (ACTUAL)) = POSITIVE POSITION FEEDBACK, TEMPERATURE SENSOR INPUT, ETC.
- (O (ORIGINAL)) = VALUE ESTABLISHED DURING INITIAL SYSTEM COMMISSIONING.

100% Submission - 2/7/20

REVISIONS

ISSUE	DATE	DESCRIPTION



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and Department of Public Property
1515 Arch Street, 11th Floor
Philadelphia, PA 19102
Contact: Charles Mottershead, 215.683.4466



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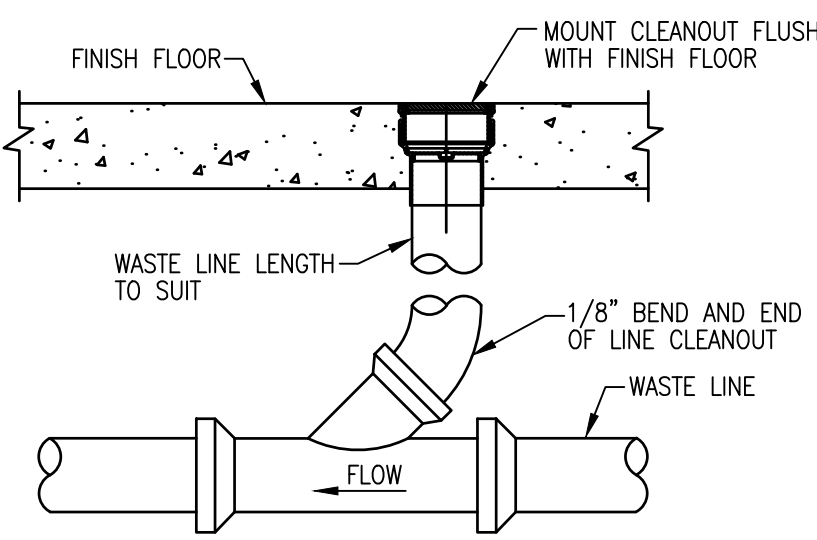
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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
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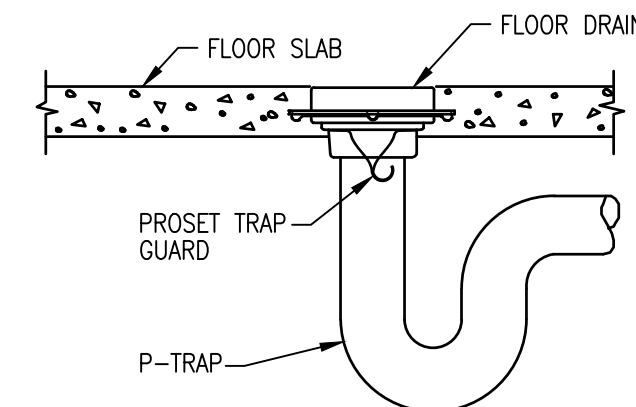
PROJECT TITLE
MILES PARK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
CONTROLS - MECHANICAL

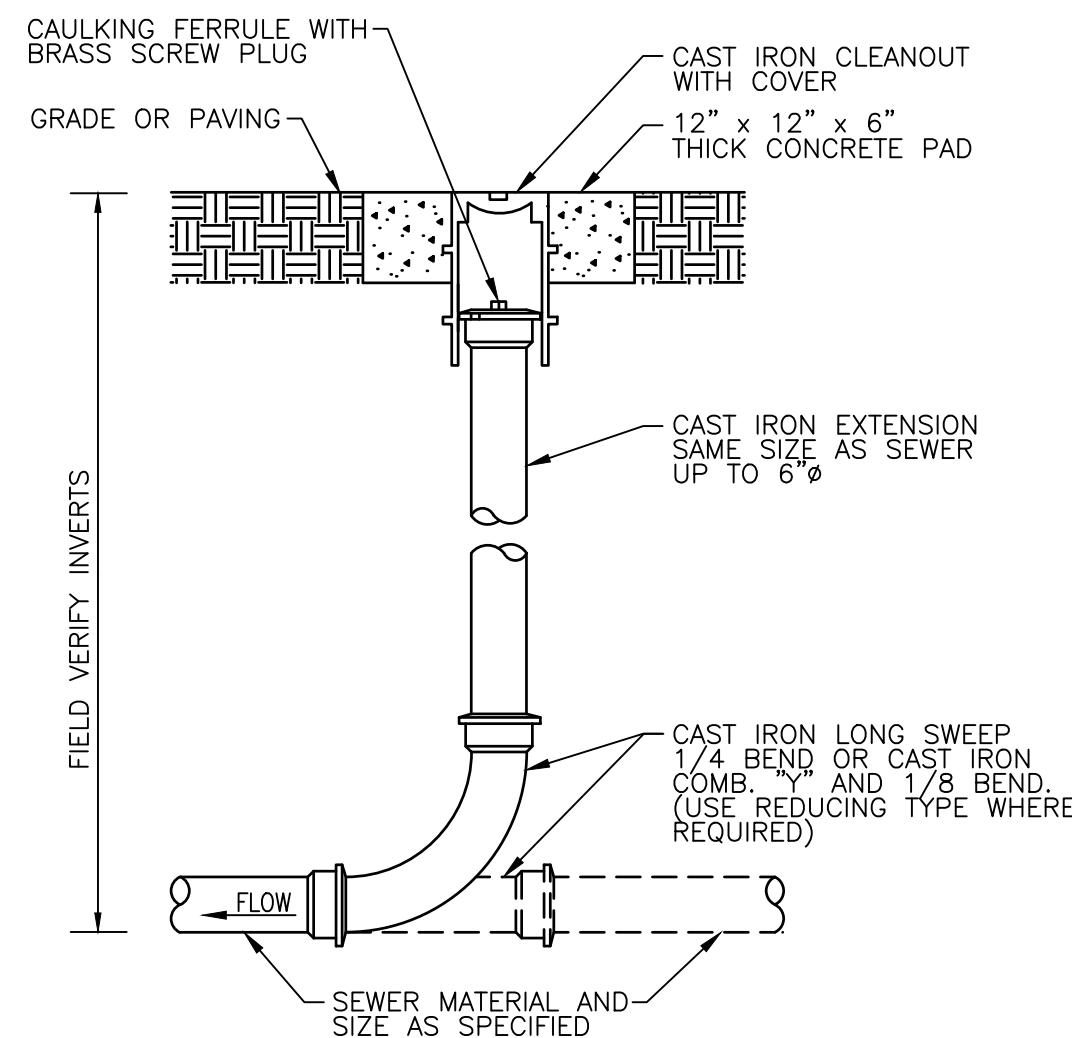
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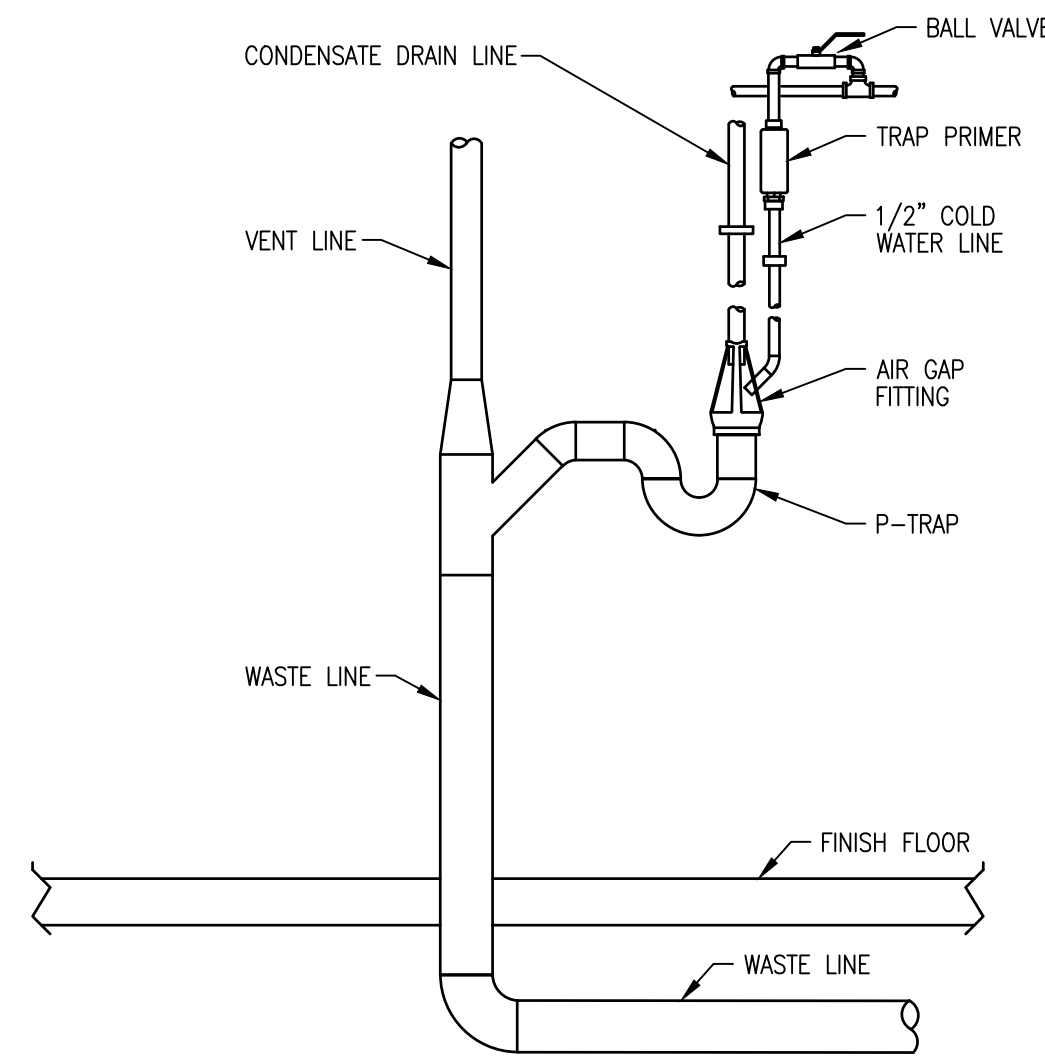
5 FLOOR (INTERIOR) CLEANOUT DETAIL
P0.01 SCALE: NOT TO SCALE



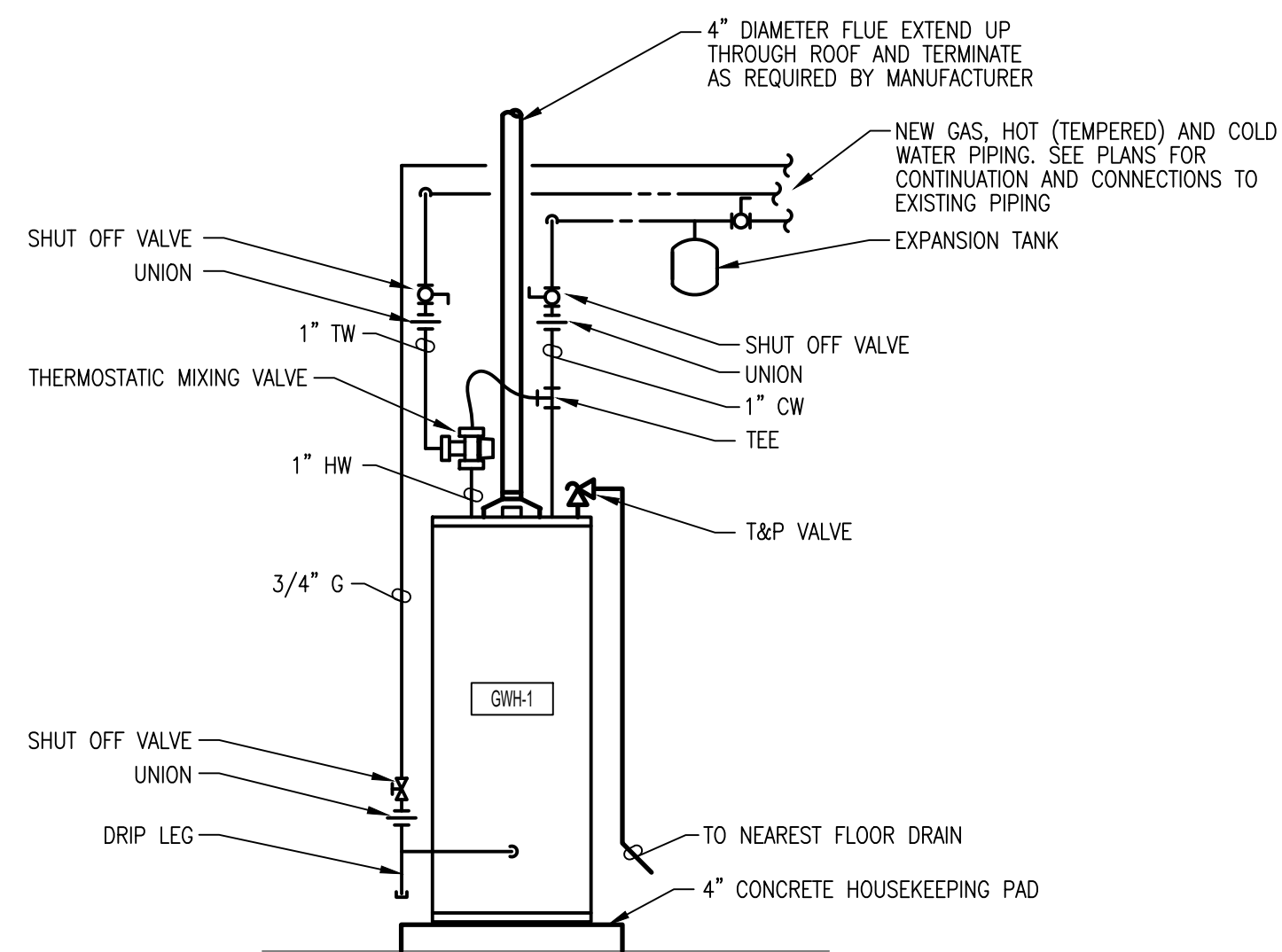
6 FLOOR DRAIN WITH TRAP GUARD DETAIL
P0.01 SCALE: NOT TO SCALE



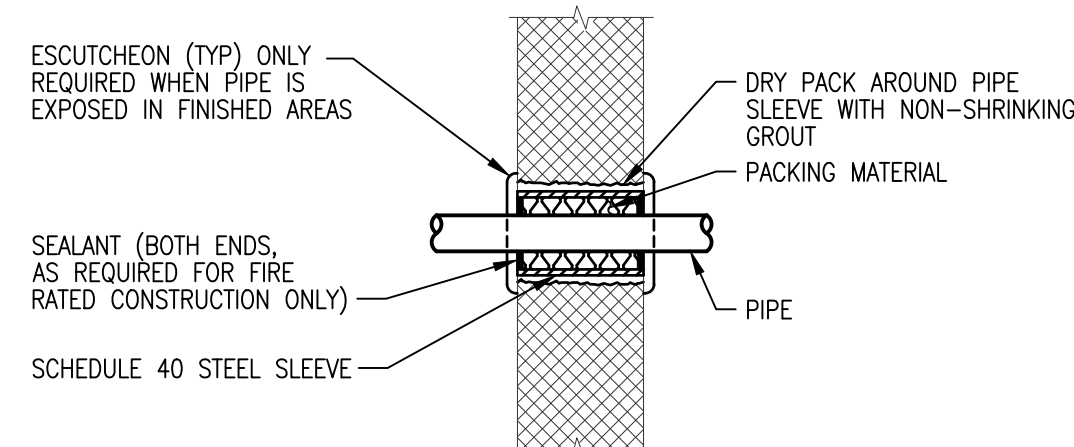
3 YARD (EXTERIOR) CLEANOUT DETAIL
P0.01 SCALE: NOT TO SCALE



4 CONDENSATE (SAFEWASTE) DRAIN DETAIL
P0.01 SCALE: NOT TO SCALE



1 GAS FIRED DOMESTIC WATER HEATER DETAIL
P0.01 SCALE: NOT TO SCALE



- NOTES:
1. THIS DETAIL APPLIES TO BOTH INSULATE AND NON-INSULATE PIPE.
 2. FOR FIRE RATED CONSTRUCTION PROVIDE APPROPRIATE APPROVED THROUGH-PENETRATION FIRESTOP ASSEMBLY TO MAINTAIN THE FIRE RATING OF THE WALL ASSEMBLY.
 3. FOR ADDITIONAL REQUIREMENTS REFER TO UL SYSTEM NO. C-AJ-1149

2 PIPE THROUGH MASONRY WALL
P0.01 SCALE: NOT TO SCALE

ABBREVIATIONS

ABV APPROX	ABOVE APPROXIMATELY
BLDG	BUILDING
BLW	BELOW
BTU/HR	BRITISH THERMAL UNITS PER HOUR
CO	CLEANOUT
CW	CONDENSATE COLD WATER
CX	CONNECT TO EXISTING
DESIG	DESIGNATION
DF	DRINKING FOUNTAIN
DIA. Ø	DIAMETER
DN	DOWN
EX	EXISTING
ETR	EXISTING TO REMAIN
F	DEGREES FAHRENHEIT
FD	FLOOR DRAIN
FT. '	FEET OF HEAD
FU	FIXTURE UNITS
G	NATURAL GAS PIPE
GAL	GALLON, GALLONS
GPM	GALLONS PER MINUTE
GPH	GALLONS PER HOUR
HB	HOSE BIBB
HP	HORSEPOWER
HW	DOMESTIC HOT WATER
IN. "	INCH, INCHES
KW	KILOWATTS
MAX	MAXIMUM
MBH	THOUSAND BRITISH THERMAL UNITS PER HOUR
MECH	MECHANICAL
NIC	NOISE CRITERIA OR NORMALLY CLOSED
NOM	NOT IN CONTRACT
NFWH	NON-FREEZE WALL HYDRANT
NO	NORMALLY OPEN
%	PERCENT
PH	PHASE
PSI	POUNDS PER SQUARE INCH POUNDS
RPM	REVOLUTIONS PER MINUTE
SAN	SANITARY, SOIL, WASTE
SW	STORMWATER
TYP	TYPICAL
V	VOLTS, VACUUM PIPE
VP	SANITARY VENT PIPE
VTR	VENT THROUGH ROOF
W	WIDTH
W/	WITH
WH	WALL HYDRANT

PLUMBING LEGEND

SYMBOL	DESCRIPTION
---	SOIL, WASTE, OR SANITARY PIPE
---	VENT PIPE
---	STORM WATER PIPE
---	CONDENSATE DRAIN PIPE
---	PUMPED CONDENSATE PIPE
---	DOMESTIC COLD WATER PIPE
---	DOMESTIC HOT WATER PIPE
---	DOMESTIC HOT WATER RETURN PIPE
---	DOMESTIC HOT WATER RETURN PIPE
---	DOMESTIC TEMPERED WATER PIPE
---	SPRINKLER SUPPLY PIPE
---	FIRE LINE PIPE
---	PIPE (SOLID) OVER PIPE (BROKEN)
---	CLEANOUT (WALL/INLINE & FLOOR)
---	SHUT-OFF OR GATE VALVE (NO/NC)
---	BALL VALVE (NO/NC)
---	GLOBE VALVE (NO/NC)
---	PIPE REDUCER; ECCENTRIC
---	PIPE REDUCER; CONCENTRIC
---	SPRINKLER HEAD
---	BRANCH TAKE OFF
---	PIPE DROP END
---	PIPE DROP TEE
---	PIPE RISE TEE
---	PIPE WITH CAP
---	PIPE WITH OPEN END
---	PIPE CONTINUATION, BEAK SYMBOL
---	VENT THRU ROOF
---	HOSE BIBB / NON-FREEZE WALL HYDRANT
---	FLOOR DRAIN
---	PIPE SYSTEM FLOW SYMBOL
---	POINT OF CONNECTION, NEW TO EXISTING
---	POINT OF DISCONNECTION FROM EXISTING
---	KEY NOTE SYMBOL FOR SPECIFIC NOTE: APPLIES TO DRAWING ON WHICH IT OCCURS

DESIGNATIONS

EQUIPMENT & FIXTURE DESIGNATIONS

DWH	DOMESTIC WATER HEATER
P--	PLUMBING FIXTURE

DRAWING & PLAN DESIGNATIONS

X	SECTION REFERENCE: (SEE DATA BELOW FOR DETAILS)
#	DETAIL = LETTER / SECTION = NUMBER
#	DRAWING TITLE
SHT	SCALE
	SHEET NUMBER FROM WHICH THE PARTIAL, SECTION, ELEVATION, OR DETAIL IS DRAWN
PLAN NORTH	
N	NORTH ARROW
TRUE NORTH	

GENERAL NOTES

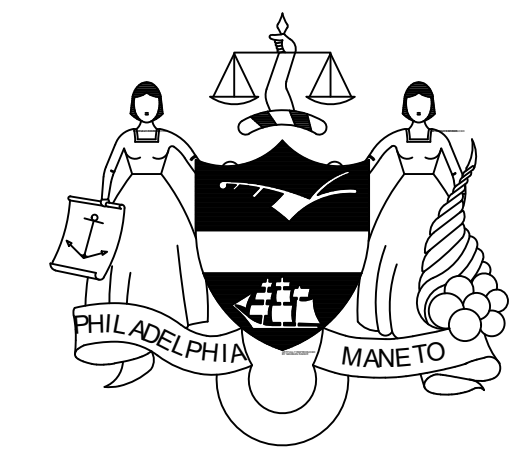
1. WORK SHALL CONFORM TO THE CONTRACT DRAWINGS, SPECIFICATIONS AND THE LATEST APPLICABLE INTERNATIONAL MECHANICAL AND PLUMBING CODE AND THE NATIONAL ELECTRIC CODE AND THE PHILADELPHIA PLUMBING CODE. WORK SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 70, THE NATIONAL ELECTRICAL CODE, THE NATIONAL ELECTRICAL SAFETY CODE, OSHA AND NATIONAL SAFETY CODE REQUIREMENTS.
2. THE SCOPE OF WORK INDICATED IN THESE DOCUMENTS SHALL INCLUDE ALL PLUMBING SYSTEMS, FULLY ADJUSTED, TESTED AND READY TO USE. PROVIDE ITEMS NECESSARY TO COMPLETE THE SYSTEMS. EXAMINE WORK INDICATED FOR TRADES IN ORDER TO DETERMINE THE EXTENT OF THE WORK REQUIRED TO BE COMPLETED.
3. IT IS THE INTENTION OF THESE DRAWINGS TO CALL FOR FINISHED WORK, TESTED AND READY FOR OPERATION. WHEREVER THE WORD "PROVIDE" IS USED, IT SHALL MEAN "FURNISH AND INSTALL COMPLETE, TESTED AND READY FOR USE."
4. THE DRAWINGS ARE DIAGRAMMATIC AND DO NOT SHOW EVERY COMPONENT AND/OR ACCESSORY REQUIRED FOR A COMPLETE INSTALLATION. THE CONTRACTOR SHALL PROVIDE ITEMS NECESSARY FOR A PROPERLY WORKING SYSTEM IN COMPLIANCE WITH ACCEPTED INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
5. PRIOR TO BID, THE CONTRACTOR SHALL VISIT THE SITE AND IDENTIFY ITEMS THAT MAY AFFECT THEIR BID. PRIOR TO THE INSTALLATION, FABRICATION, REMOVAL, OR RELOCATION OF ANY WORK, THE CONTRACTORS SHALL REVIEW THE ACTUAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND SHALL COORDINATE WORK WITH THE PLANS, EXISTING EQUIPMENT AND SYSTEMS, BUILDING STRUCTURE AND WORK OF OTHER TRADES. WHERE CONFLICTS OCCUR, OR IF CONNECTIONS THERETO CAN NOT BE MADE, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO MATERIAL FABRICATION OR INSTALLATION.
6. WHERE THE WORK OF VARIOUS TRADES WILL BE INSTALLED IN CLOSE PROXIMITY TO ONE ANOTHER OR WHERE THERE IS EVIDENCE THAT THE WORK OF ONE TRADE WILL INTERFERE WITH WORK OF ANOTHER, THE CONTRACTOR SHALL WORK OUT SPACE CONDITIONS TO MAKE A SATISFACTORY ADJUSTMENT. IF THE CONTRACTOR ALLOWS ONE TRADE TO INSTALL HIS WORK BEFORE COORDINATING WITH WORK OF OTHER TRADES THE CONTRACTOR SHALL MAKE NECESSARY CHANGES TO CORRECT THE CONDITIONS IN A MANNER ACCEPTABLE TO THE OWNER AND THE CONTRACTOR SHALL BEAR THE COST OF SUCH CORRECTIONS.
7. THE CONTRACTOR SHALL LOCATE EQUIPMENT WHICH MUST BE SERVICED, OPERATED, OR MAINTAINED IN FULLY ACCESSIBLE POSITION. EQUIPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO, VALVES, MOTORS, CONTROLLERS, DRAIN PANS, ETC. IF REQUIRED FOR ACCESSIBILITY, FURNISH ACCESS DOORS FOR THE PURPOSE. MINOR DEVIATIONS FROM DRAWINGS MAY BE MADE TO ALLOW FOR BETTER ACCESSIBILITY.
8. WORK IN OCCUPIED SPACE SHALL BE COORDINATED WITH THE OWNER. SHOULD ANY OUTAGES BE REQUIRED IN THE COURSE OF THIS PROJECT, THE CONTRACTOR SHALL COORDINATE SUCH OUTAGES WITH THE OWNER'S DESIGNATED REPRESENTATIVE, SCHEDULING ANY OUTAGES DURING THE NON WORKING HOURS, SO AS NOT TO EFFECT FACILITY OPERATIONS, 72 HOURS NOTICE WILL BE REQUIRED PRIOR TO ANY OUTAGE. NO OUTAGE MAY BE EXECUTED PRIOR TO APPROVAL OF THE OWNER'S DESIGNATED REPRESENTATIVE AND THE FACILITY MANAGER.
9. THE CONTRACTOR SHALL LEAVE THE ENTIRE PLUMBING SYSTEM INSTALLED UNDER THIS CONTRACT IN PROPER WORKING ORDER AND SHALL, WITHOUT CHARGE, REPLACE ANY WORK OR MATERIALS WHICH DEVELOP DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR, WITHIN ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
10. THE CONTRACTOR SHALL, DURING THE ONE YEAR WARRANTY PERIOD, BE RESPONSIBLE FOR PROPER REPAIR AND ADJUSTMENTS OF PLUMBING SYSTEMS AND EQUIPMENT, APPARATUS, DEVICES ETC. INSTALLED BY HIM, AND DO WORK NECESSARY TO ENSURE EFFICIENT AND PROPER FUNCTIONING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL INCUR FINANCIAL RESPONSIBILITIES FOR, ANY DAMAGES CAUSED BY OR RESULTING FROM DEFECTS IN HIS WORK.
12. WALL OPENINGS RESULTING FROM DEMOLITION SHALL BE CLOSED AND FINISHED TO MATCH EXISTING.
13. FINISHES DAMAGED DURING THE PROJECTS SHALL BE REPAIRED TO MATCH EXISTING.
14. REFER TO ARCHITECTURAL DRAWING G0.2 FOR PLUMBING FIXTURES INSTALLATION DETAILS.
15. REFER TO ARCHITECTURAL DRAWING A2.0 FLOOR PLAN FOR FINAL LOCATIONS OF PLUMBING FIXTURES.
16. REFER TO ARCHITECTURAL DRAWING A6.1 ENLARGED PLANS AND ELEVATIONS OF PLUMBING FIXTURES.

PLUMBING FIXTURE ROUGH-IN SCHEDULE						
NO.	FIXTURE	CW	HW	SAN	VENT	REMARKS
P-1	WATER CLOSET	1"	--	4"	2"	NOTE 2
P-1A	WATER CLOSET	1"	--	4"	2"	ADA COMPLIANT, NOTE 2
P-2	URINAL	3/4"	--	2"	1-1/2"	ADA COMPLIANT, NOTE 1, 2
P-3	LAVATORY SINK	1/2"	1/2"	2"	1-1/2"	NOTE 2
P-3A	LAVATORY SINK	1/2"	1/2"	2"	1-1/2"	ADA COMPLIANT, NOTE 2
P-4	WATER COOLER	1/2"	--	1 1/2"	1 1/2"	NOTE 2
P-5	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	ADA COMPLIANT, NOTE 2
P-6	SERVICE BASIN (MOP)	3/4"	3/4"	3"	2"	NOTE 2

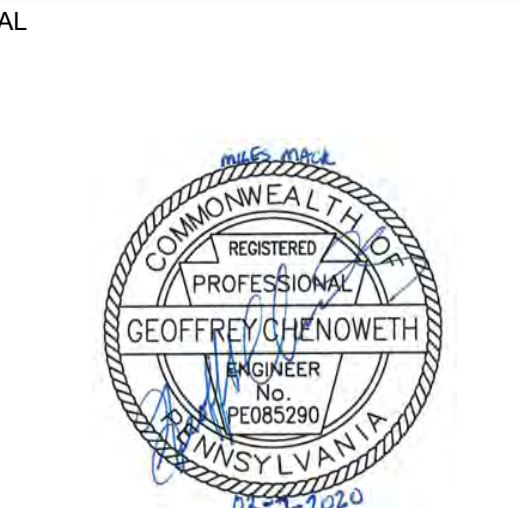
NOTES:
1.) PROVIDE WALL MOUNTED SUPPORT
2.) REFER TO SPECIFICATIONS FOR BASIS OF DESIGN FIXTURES

DOMESTIC WATER HEATER SCHEDULE											
DESIG.	CAPACITY (GAL)	BTU/HR. INPUT	GAS SUPPLY PRESSURE	FLUE SIZE	RECOVERY RATE (GPH)	TEMP RISE (F°)	VOLTAGE	PHASE	BASIS	SHIPPING WEIGHT	REMARKS
GWH-1	40	40,000	5"-14" W.C.	4"	43	90	120	1	BRADFORD WHITE RG240L6N	134 Lbs.	SEE DETAIL

REVISIONS		
ISSUE	DATE	DESCRIPTION



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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
SYMBOLS, SCHEDULES, NOTES, DETAILS AND
ABBREVIATIONS - PLUMBING

PROJECT NO.
18-00355-001

DRAWING NO.
P0.01

DATE: 02.07.2020
SCALE: AS NOTED
DRAWN BY: BFL
CHECKED BY: GSC
FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

100% Submission - 2/7/20



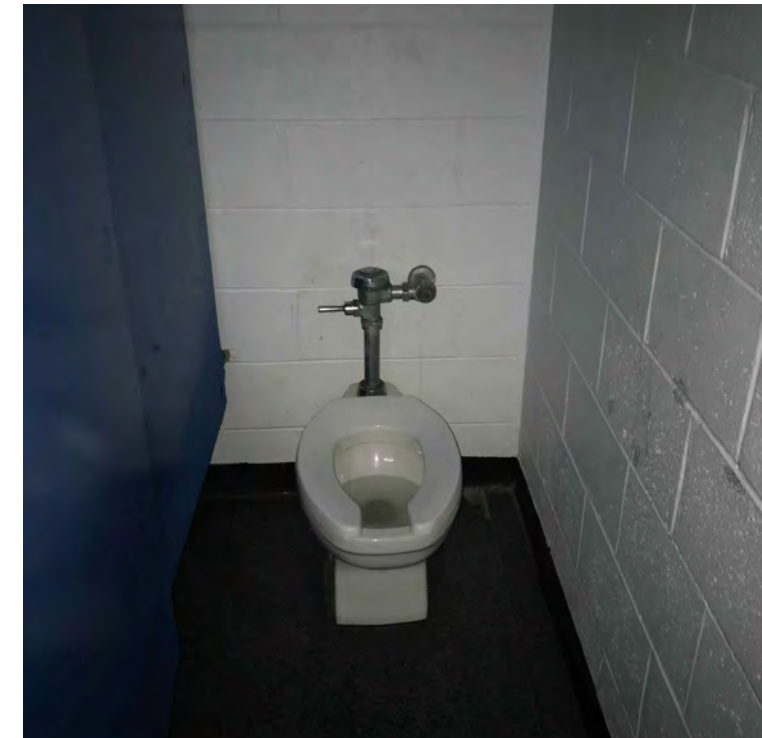
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PHOTOGRAPH # 5
SCALE: NOT TO SCALE



PHOTOGRAPH # 6
SCALE: NOT TO SCALE



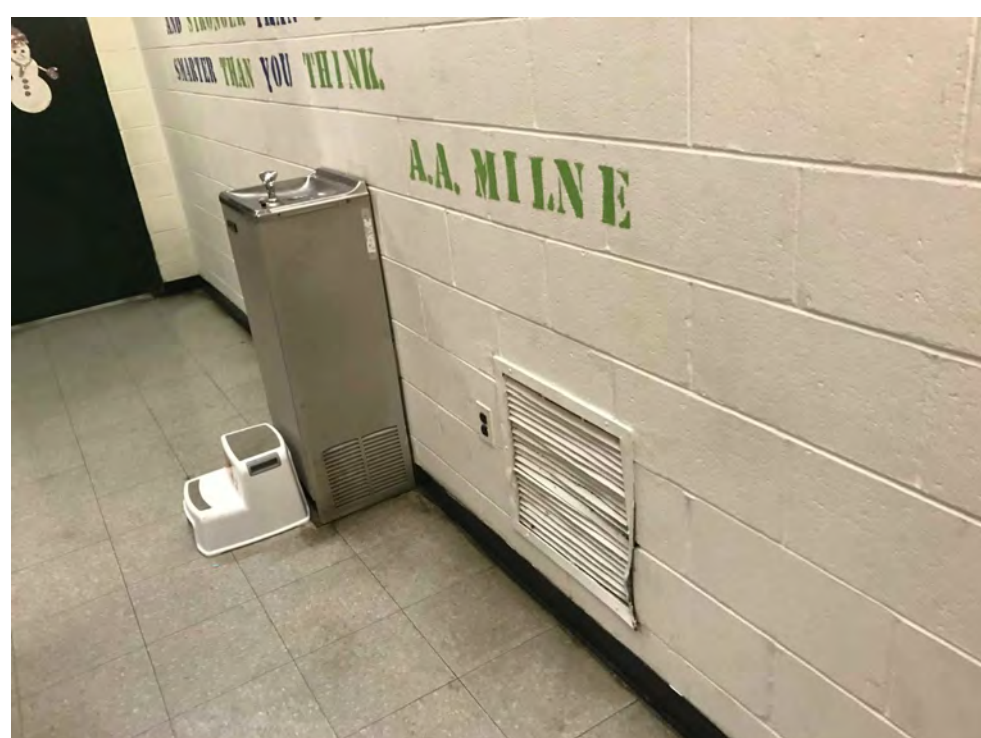
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PHOTOGRAPH # 8
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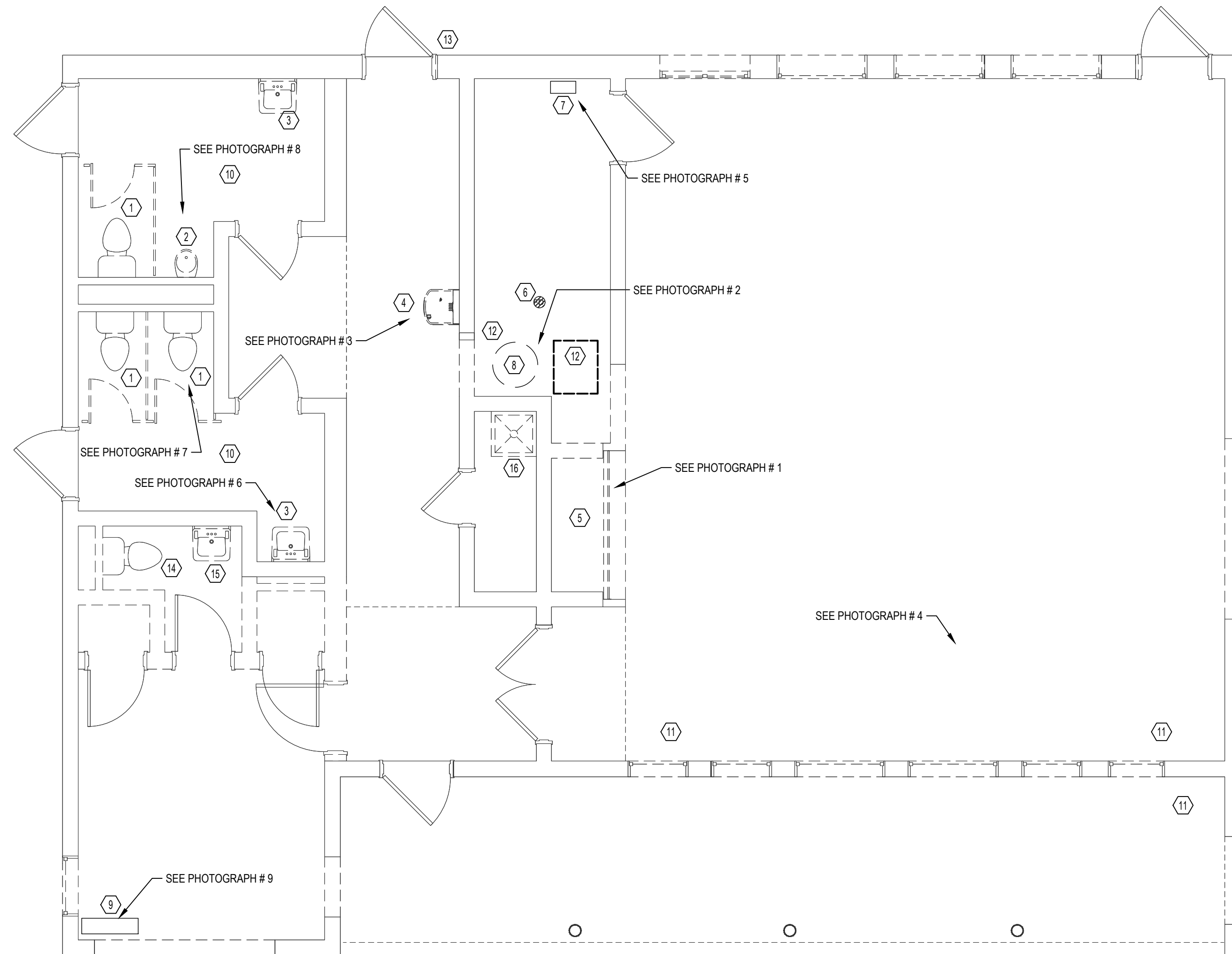
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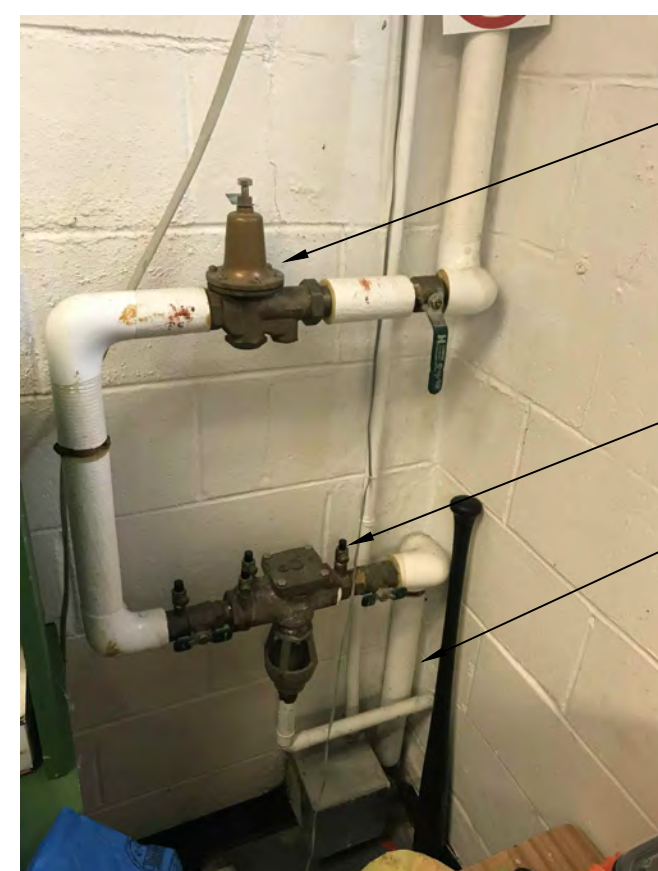
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PHOTOGRAPH # 4
SCALE: NOT TO SCALE



FLOOR PLAN - PLUMBING DEMOLITION
SCALE: 1/4" = 1'-0"



PHOTOGRAPH # 9
SCALE: NOT TO SCALE

EXISTING PRESSURE REDUCING VALVE TO REMAIN

EXISTING BACKFLOW PREVENTER TO REMAIN

EXISTING INCOMING WATER SERVICE TO REMAIN

GENERAL SHEET NOTES:

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2. DEMOLITION SHALL INCLUDE REMOVAL AND OFF-SITE DISPOSAL OF MATERIALS. DO NOT ABANDON IN PLACE ANY MECHANICAL AND RELATED ELECTRICAL COMPONENTS UNLESS OTHERWISE NOTED ON DRAWINGS.
3. ALL EXISTING SANITARY SEWER, WASTE, VENT, STORMWATER, AND DOMESTIC WATER PIPING SHALL REMAIN UNLESS NOTED OTHERWISE. DESIGN INTENT IS TO UTILIZE AS MUCH OF THE EXISTING PIPING AS POSSIBLE.

SHEET KEYNOTES: DEMOLITION

- ① DISCONNECT AND REMOVE EXISTING WATER CLOSET AND SUPPLY LINE. CLEAN AND PREP EXISTING PIPING FOR INSTALLATION OF NEW FIXTURE. CUT AND REMOVE EXISTING CLOSET FLANGE AND REPLACE.
- ② DISCONNECT AND REMOVE EXISTING URINAL AND FLUSH VALVE. CLEAN AND PREP EXISTING PIPING FOR INSTALLATION OF NEW FIXTURE.
- ③ DISCONNECT AND REMOVE EXISTING LAVATORY AND ALL ASSOCIATED TRIM. CLEAN AND PREP EXISTING PIPING FOR INSTALLATION OF NEW FIXTURE.
- ④ DISCONNECT AND REMOVE EXISTING ELECTRIC WATER COOLER AND ALL ASSOCIATED PIPING. REMOVE WASTE CONNECTION AND CAP BEHIND FINISH WALL CONSTRUCTION. REMOVE WATER LINE BACK TO MAIN AND CAP.
- ⑤ DISCONNECT AND REMOVE EXISTING KITCHEN SINK AND ALL ASSOCIATED TRIM. CLEAN AND PREP EXISTING PIPING FOR INSTALLATION OF NEW FIXTURE.
- ⑥ DISCONNECT AND REMOVE EXISTING FLOOR DRAIN. CAP WASTE LINE BELOW FINISH FLOOR CONSTRUCTION.
- ⑦ EXISTING GAS SERVICE ENTRANCE AND METER LOCATION TO REMAIN.
- ⑧ DISCONNECT AND REMOVE EXISTING GAS FIRED WATER HEATER AND ALL ASSOCIATED PIPING.
- ⑨ EXISTING DOMESTIC WATER SERVICE ENTRANCE AND BACKFLOW PREVENTER ASSEMBLIES TO REMAIN.
- ⑩ EXISTING SANITARY, WASTE, VENT AND DOMESTIC WATER PIPING SERVING TOILET ROOM TO REMAIN.
- ⑪ EXISTING STORM DRAIN AND/OR PIPING TO REMAIN.
- ⑫ DISCONNECT AND REMOVE ALL EXISTING GAS PIPING BACK TO EXISTING METER/REGULATOR LOCATED IN MECHANICAL ROOM.
- ⑬ DISCONNECT AND REMOVE EXISTING NON-FREEZE WALL HYDRANT AND RELATED PIPING. COORDINATE WILL PATCH/INFILL WITH GENERAL CONTRACTOR.
- ⑭ DISCONNECT AND REMOVE EXISTING WATER CLOSET AND ALL ASSOCIATED PIPING. REMOVE FLOOR CLOSET FLANGE AND CAP SANITARY LINE BELOW FINISH FLOOR. REMOVE COLD WATER LINE BACK TO MAIN AND CAP.
- ⑮ DISCONNECT AND REMOVE EXISTING LAVATORY AND ALL ASSOCIATED PIPING. REMOVE WASTE LINE AND CAP BELOW FINISH FLOOR. REMOVE HOT AND COLD WATER PIPING BACK TO MAINS AND CAP.
- ⑯ DISCONNECT AND REMOVE EXISTING SERVICE BASIN (MOP) AND ALL RELATED TRIM. CLEAN AND PREP EXISTING PIPING FOR INSTALLATION OF NEW FIXTURE.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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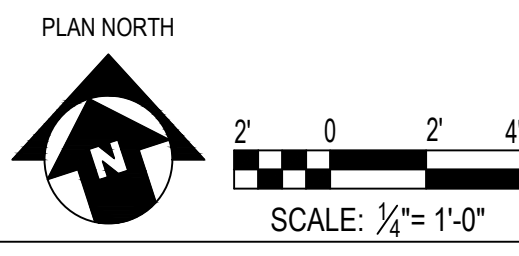
CITY OF PHILADELPHIA
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11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
FLOOR PLAN - PLUMBING DEMOLITION

PROJECT NO. 18-00355-001	DRAWING NO. PD1.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: BFL	
CHECKED BY: GSC	FILE:

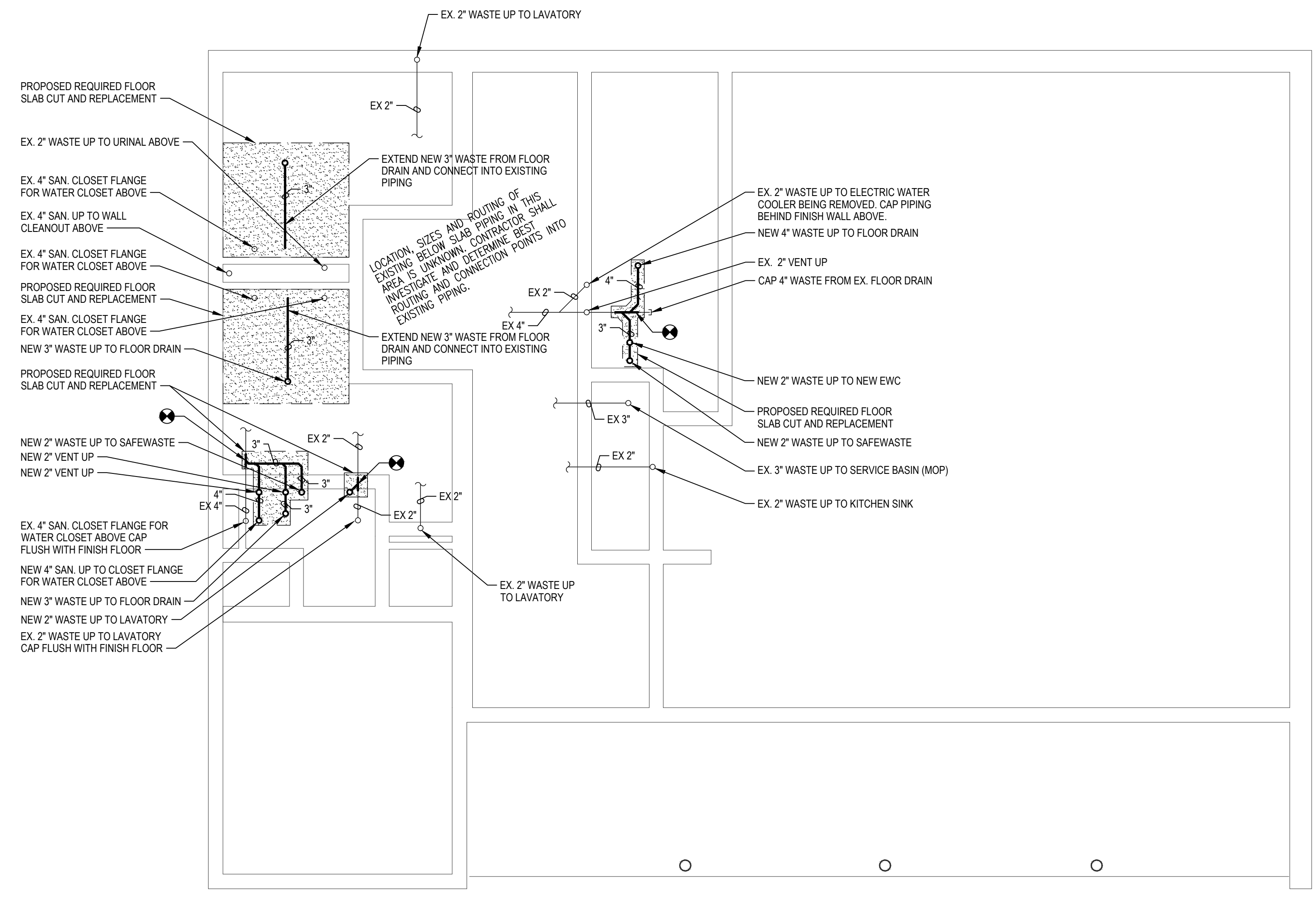
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2. DO NOT LOCATE DUCTWORK OR PIPING ABOVE ELECTRICAL PANELS OR EQUIPMENT.



FOUNDATION PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION



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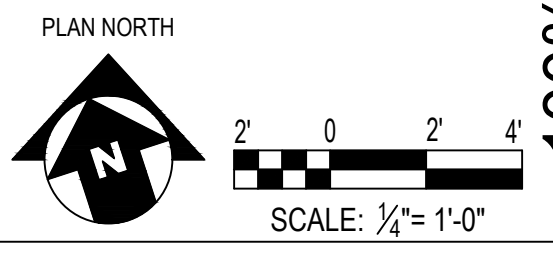
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PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

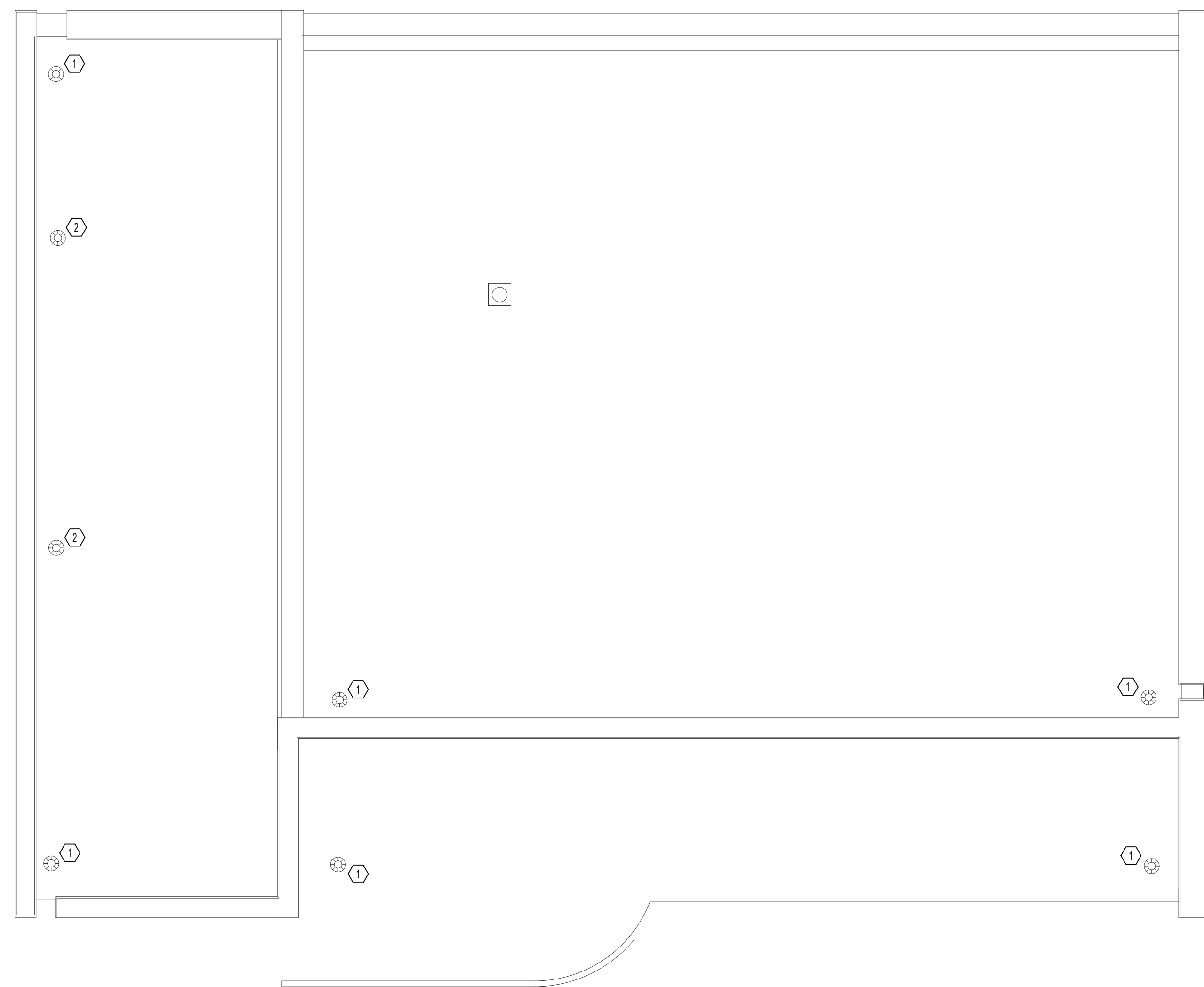
DRAWING TITLE
FOUNDATION PLAN - PLUMBING

PROJECT NO. 18-00355-001	DRAWING NO. P1.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: BFL	
CHECKED BY: GSC	FILE:

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100% Submission - 2/7/20



ROOF PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

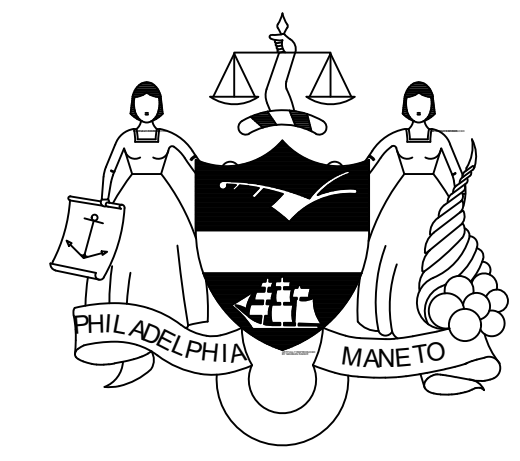
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2. DO NOT LOCATE DUCTWORK OR PIPING ABOVE ELECTRICAL PANELS OR EQUIPMENT.

SHEET KEYNOTES:

- ① EXISTING ROOF DRAIN AND ALL ASSOCIATED PIPING TO REMAIN. COORDINATE ANY REQUIRED REMOVAL AND RE-INSTALLATION OF ROOF DRAIN FOR NEW ROOF INSTALLATION WITH GENERAL CONTRACTOR.
- ② EXISTING PIPING VENT AND ALL ASSOCIATED PIPING TO REMAIN. COORDINATE ANY REQUIRED MODIFICATIONS AND/OR FLASHING REPLACEMENT FOR NEW ROOF INSTALLATION WITH GENERAL CONTRACTOR.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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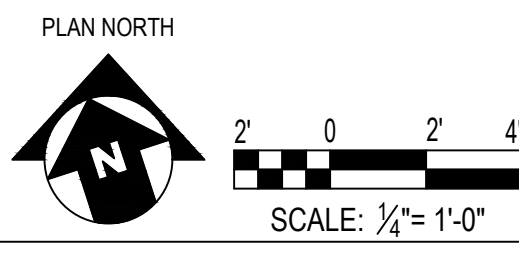
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
ROOF PLAN - PLUMBING

PROJECT NO. 18-00355-001	DRAWING NO. P1.03
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: BFL	
CHECKED BY: GSC	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



100% Submission - 2/7/20

GENERAL NOTES:

- PROVIDE ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, COORDINATION, ADDITIONAL DESIGN AND ALL INCIDENTALS NECESSARY TO PROVIDE A COMPLETE AND OPERABLE SYSTEM AS DETAILED ON PLANS TO THE SATISFACTION OF THE ENGINEER AND THE OWNER.
- CONTRACTOR SHALL INCLUDE IN THEIR BID ALL MATERIAL, LABOR AND ALL INCIDENTALS FOR A COMPLETE INSTALLATION WHETHER SPECIFICALLY CALLED FOR OR NOT. ALL ERRORS, DISCREPANCIES AND MISSED ITEMS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER DURING THE BIDDING PROCESS BY THE CONTRACTOR. THESE ITEMS SHALL BE INCLUDED IN THE BID PRICE.
- PERFORM WORK AS REQUIRED BY APPLICABLE CODES, REGULATIONS AND LAWS OF LOCAL, STATE AND FEDERAL GOVERNMENTS AND OTHER AUTHORITIES WITH LAWFUL JURISDICTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE.
- MATERIAL AND EQUIPMENT SHALL BE UL, NEMA, ANSI, IEEE, ADA & CBM APPROVED FOR INTENDED SERVICE. MATERIAL AND INSTALLATION SHALL MEET REQUIREMENTS OF NATIONAL AND STATE ELECTRICAL CODE.
- COORDINATE ALL ELECTRICAL ITEMS WITH EXISTING FIELD CONDITIONS. LOCATIONS SHOWN ARE APPROXIMATE AND MAY REQUIRE MINOR ADJUSTMENT IN THE FIELD TO SATISFY THE DESIGN INTENT.
- DAMAGE TO EXISTING FACILITIES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED IMMEDIATELY BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND REQUIRE COORDINATION WITH ALL OTHER TRADES AND VERIFICATION OF EXISTING CONDITIONS. ROUTING OF CONDUIT IS DIAGRAMMATIC IN NATURE AND NOT INTENDED TO SHOW ALL REQUIRED OFFSETS AND DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING ASSOCIATED EQUIPMENT AND CONDITIONS. COORDINATE THE LOCATION OF ALL EQUIPMENT WITH THE ENGINEER AND THE OWNER. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER TRADES' DRAWINGS AND SPECIFICATIONS AND COORDINATING WITH ALL OTHER TRADES DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONTINUITY OF ALL POWER, CONTROL, AND COMMUNICATION FUNCTIONS TO ALL AREAS AFFECTED BY DEMOLITION AND/OR NEW CONSTRUCTION.
- CONTRACTOR SHALL NOT CUT ANY ACTIVE ELECTRICAL OR COMMUNICATIONS LINES DURING CONSTRUCTION. IF THE CONTRACTOR ACCIDENTALLY CUTS A LINE, THEN THEY SHALL CONTACT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH FURTHER WORK.
- CONTRACTOR SHALL SUBMIT FOR APPROVAL SHOP DRAWINGS FOR ALL EQUIPMENT AND MATERIALS USED ON THE PROJECT. SUBMITTALS SHALL BE APPROVED BY THE ENGINEER BEFORE PURCHASE OF MATERIALS.
- PROVIDE TEMPORARY POWER AND LIGHTING FOR ALL TRADES AS REQUIRED TO COMPLETE THE PROJECT. ALL TEMPORARY AND INTERIM EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS INCLUDING, BUT NOT LIMITED TO, NFPA 110 AND NFPA 70.
- PROVIDE FIRE SEALANT FOR PENETRATIONS THROUGH FIRE RATED FLOORS AND WALLS TO MAINTAIN THE APPLICABLE FIRE RATING. ALL FIREPROOFING FOR ELECTRICAL PENETRATION SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.

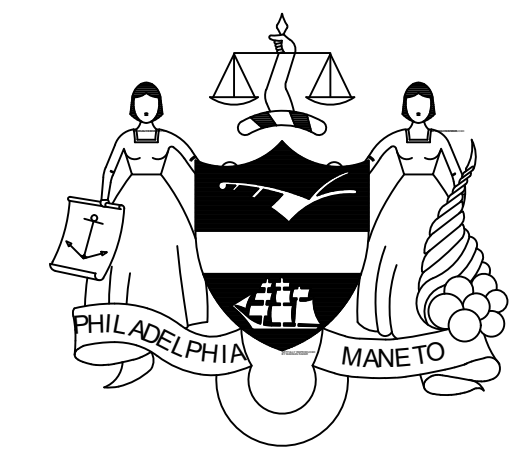
SYMBOL LEGEND

SYMBOL	DESCRIPTION
	NORMAL LIGHT FIXTURE
	WALL MOUNTED LIGHT
	INDUSTRIAL LIGHT FIXTURE
	DOWN LIGHT FIXTURE
	EXIT LIGHT - WALL OR CEILING MOUNTED (COORDINATE MOUNTING, FACES, AND ARROWS WITH DRAWINGS)
	PHOTOCELL
	TIMECLOCK
	DAYLIGHT HARVEST
	MOTION SENSOR
	OCCUPANCY SENSOR
	ROOM CONTROLLER
	CONTROL SWITCH
	SECURITY CAMERA
	TYPICAL LIGHT FIXTURE DESIGNATION, CIRCUIT AND CONTROL X = DESIGNATION (REFER TO LIGHTING FIXTURE SCHEDULE) XX-XX = PANEL AND CIRCUIT NUMBER x = SWITCH LEG OR ZONE IF NOTHING LISTED LIGHT FIXTURE CONTROLLED BY LOCAL SWITCH, REFER TO LIGHTING CONTROL DETAILS
	125 VOLT, 20 AMP DUPLEX RECEPTACLE. "R" DENOTES RECESSED " " DENOTES SURFACE MOUNTED
	125 VOLT, 20 AMP DOUBLE DUPLEX RECEPTACLE
	125 VOLT, 20 AMP DUPLEX RECEPTACLE EQUIPPED WITH INTEGRAL GROUND FAULT INTERRUPTER.
	125 VOLT, 20 AMP, DUPLEX RECEPTACLE OUTLET FLOOR/CEILING MOUNTED.
	SPECIAL PURPOSE RECEPTACLE, WALL MOUNTED
	LOW-VOLTAGE SWITCH
	MOTOR RATED SWITCH
	JUNCTION BOX
	TELEPHONE JACK
	WIRELESS ACCESS POINT
	FIRE ALARM MANUAL PULL STATION
	FIRE ALARM AUDIO/VISUAL SIGNALING DEVICE FLUSH CEILING MOUNTED, 75cd - DENOTES CANDELA RATING
	FIRE ALARM AUDIO/VISUAL SIGNALING DEVICE WALL MOUNTED 75cd - DENOTES CANDELA RATING
	FIRE ALARM VISUAL SIGNALING DEVICE WALL MOUNTED 75cd - DENOTES CANDELA RATING
	FIRE ALARM AUDIBLE SIGNALING DEVICE WALL MOUNTED
	FIRE ALARM AUDIO/VISUAL SIGNALING DEVICE FLUSH CEILING MOUNTED 75cd - DENOTES CANDELA RATING
	FIRE ALARM ANNUNCIATOR PANEL
	FIRE ALARM SYSTEM CONTROL PANEL
	SMOKE DETECTOR "WG" DENOTES WIREGUARD
	CARBON MONOXIDE DETECTOR "WG" DENOTES WIREGUARD
	DUCT DETECTOR
	CIRCUIT BREAKER
	NON-FUSED DISCONNECT SWITCH, SIZE AS INDICATED WHERE: "AF" - INDICATES AMPERE SWITCH SIZE "NF" - DENOTES NON-FUSED "P" - DENOTES POLE "3R" - DENOTES NEMA TYPE ENCLOSURE
	FUSED DISCONNECT SWITCH, SIZE AS INDICATED WHERE: "AF" - INDICATES AMPERE SWITCH SIZE "AT" - INDICATES AMPERE FUSE SIZE "P" - DENOTES POLE "3R" - DENOTES NEMA TYPE ENCLOSURE
	FUSE
	CONTACTOR
	PANELBOARD

ABBREVIATIONS:

A	AMPERES	IEEE	INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS
A/C	ABOVE COUNTER	IMC	INTERMEDIATE METAL CONDUIT
ADA	AMERICANS WITH DISABILITIES ACT	INT	INTERLOCK
AFF	ABOVE FINISHED FLOOR	KCMIL	THOUSAND CIRCULAR MILS
AFG	ABOVE FINISH GRADE	KVA	KILOVOLT AMPERES
AHJ	AUTHORITY HAVING JURISDICTION	KW	KILOWATTS
AHU	AIR HANDLING UNIT	LTG	LIGHTING
AIC	AMPERE INTERRUPTING CAPACITY	LFMC	LIQUID TIGHT FLEXIBLE METAL CONDUIT
AL	ALUMINUM	MAU	MAKE-UP AIR UNIT
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MC	METAL CLAD CABLE
ARCH	ARCHITECT	MCB	MAIN CIRCUIT BREAKER
ATC	AUTOMATIC TEMPERATURE CONTROL	MCC	MOTOR CONTROL CENTER
ATS	AUTOMATIC TRANSFER SWITCH	MCP	MOROT CIRCUIT PROTECTOR
AWG	AMERICAN WIRE GAUGE	MISC	MISCELLANEOUS
BFG	BELOW FINISH GRADE	MLO	MAIN LUG ONLY
BLDG	BUILDING	NC	NORMALLY CLOSED
BN	BUILDING NETWORK	NEC	NATIONAL ELECTRIC CODE
C	CONDUIT	NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
CAT	CATALOG	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CB	CIRCUIT BREAKER	NO	NORMALLY OPEN OR NUMBER
CBM	CERTIFIED BALLAST MANUFACTURERS	NTS	NOT TO SCALE
CKT	CIRCUIT	P	POLE
CL	CENTERLINE	PB	PUSH BUTTON
CLF	CURRENT LIMITING FUSE	PNL	PANEL
COL	COLUMN	POS	PROVIDED UNDER OTHER SECTIONS
CPT	CONTROL POWER TRANSFORMER	PVC	POLYVINYL CHLORIDE
CT	CURRENT TRANSFORMER	PWR	POWER
CU	COPPER	QTY	QUANTITY
DWG	DRAWING	REL	RELOCATE
EC	ELECTRICAL CONTRACTOR	REQD	REQUIRED
ECB	ENCLOSED CIRCUIT BREAKER	REX	REPLACE EXISTING
EF	EXHAUST FAN	RMC	RIGID METAL CONDUIT
ELEV	ELEVATOR	RMS	ROOT MEAN SQUARED
EM	EMERGENCY	RNMC	RIGID NON-METALLIC CONDUIT
EMT	ELECTRICAL METALLIC TUBING	RTU	ROOF TOP UNIT
EPO	EMERGENCY POWER OFF	RX	REMOVE EXISTING
ETR	EXISTING TO REMAIN	SP	SPARE
ETBR	EXISTING TO BE RELOCATED	SW	SWITCH
EWC	ELECTRIC WATER COOLER	SYM	SYMMETRICAL
EX	EXISTING	TEL	TELEPHONE
F	FUSE	TGB	TELECOMMUNICATION GROUNDING BAR
F	FUSE	TMCB	THERMAL MAGNETIC CIRCUIT BREAKER
FA	FIRE ALARM	TMGB	TELECOMMUNICATION MAIN GROUNDING BAR
FAAP	FIRE ALARM ANNUNCIATOR PANEL	TYP	TYPICAL
FACP	FIRE ALARM CONTROL PANEL	UG	UNDERGROUND OR UNDERGRADE
FLA	FULL LOAD AMPERES	UL	UNDERWRITERS LABORATORIES
FMC	FLEXIBLE METAL CONDUIT	V	VOLT
FT	FEET	VT	VOLTAGE TRANSFORMER
GND, G	GROUND OR GROUNDING	W	WIRE
GRMC	GALVANIZED RIGID METALLIC CONDUIT	WH	WATER HEATER
HOA	HAND, OFF, AUTOMATIC SWITCH	WP	WEATHER PROOF
		WR	WEATHER RESISTANT
		XFMR	TRANSFORMER
		Δ	DELTA
		Y	WYE
		∅	PHASE

REVISIONS		
ISSUE	DATE	DESCRIPTION



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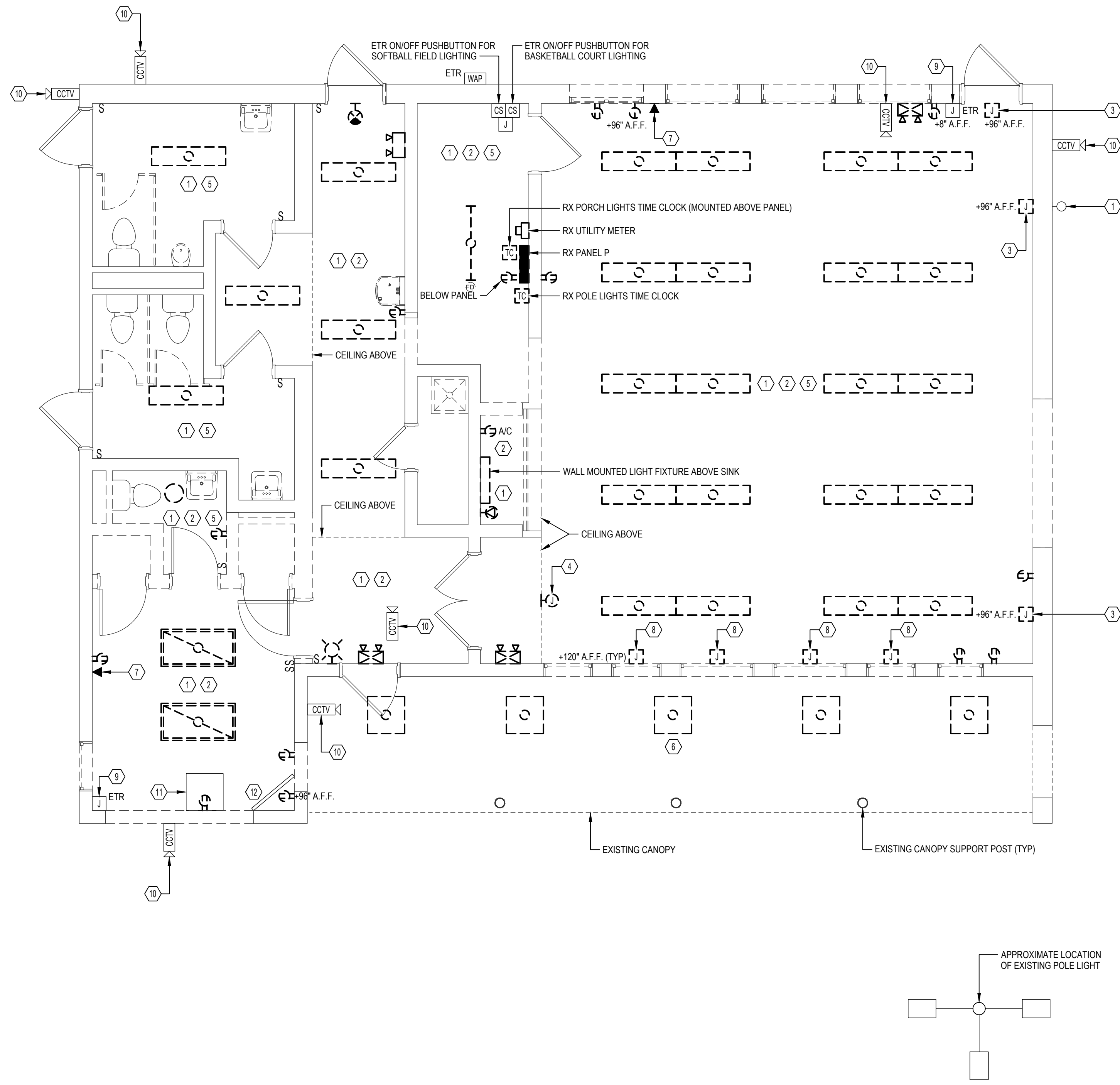
PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
SYMBOLS, SCHEDULES, NOTES, AND ABBREVIATIONS

PROJECT NO. 18-00355-001	DRAWING NO. E0.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MJC	
CHECKED BY: TDB	FILE:

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100% Submission - 2/7/20



FLOOR PLAN - ELECTRICAL DEMOLITION
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- 1 REMOVE ALL LIGHT FIXTURES, LIGHT SWITCHES, EXIT SIGNS, EMERGENCY LIGHTS, AND ASSOCIATED CONDUCTORS. RECESSED BACKBOXES AND CONCEALED RACEWAYS SHALL BE ABANDONED IN PLACE. PROVIDE BLANK STAINLESS STEEL FACEPLATE FOR ABANDONED RECESSED BACKBOXES.
- 2 REMOVE RECEPTACLES, RACEWAY, CONDUCTORS, AND ASSOCIATED ACCESSORIES BACK TO SOURCE. RECESSED BACKBOXES AND CONCEALED RACEWAYS SHALL BE ABANDONED IN PLACE. PROVIDE BLANK STAINLESS STEEL FACEPLATE FOR ABANDONED RECESSED BACKBOXES.
- 3 REMOVE EXISTING BACKBOXES, RACEWAY, AND ASSOCIATED ACCESSORIES. PATCH AND REPAIR AFFECTED SURFACES TO MATCH EXISTING.
- 4 REMOVE RECESSED BACKBOX AND BLANK FACEPLATE. PATCH AND REPAIR AFFECTED SURFACES TO MATCH EXISTING.
- 5 REMOVE RACEWAYS, CONDUCTORS, SWITCHES, AND COMPONENTS ASSOCIATED WITH MECHANICAL EQUIPMENT SCHEDULED TO BE REMOVED.
- 6 REMOVE ALL EXTERIOR CANOPY LIGHT FIXTURES, CONDUCTORS, AND BACKBOXES BACK TO SOURCE. EXISTING CONCEALED RACEWAY TO BE ABANDONED IN PLACE. PATCH AND REPAIR AFFECTED SURFACES TO MATCH EXISTING.
- 7 EXISTING TELECOMMUNICATION CABLING AND DATA JACK TO REMAIN.
- 8 REMOVE RACEWAY, CONDUCTORS, AND ALL ACCESSORIES ASSOCIATED WITH ACTUATED LOUVERS BACK TO SOURCE.
- 9 EXISTING JUNCTION BOX, RACEWAYS, AND CONDUCTORS TO BE MAINTAINED DURING CONSTRUCTION.
- 10 EXISTING CAMERAS, RACEWAYS, AND CONDUCTORS TO REMAIN, UNLESS OTHERWISE NOTED.
- 11 RELOCATE EXISTING CCTV HEADEND UNIT. REFER TO NEW WORK DRAWINGS FOR NEW LOCATION.
- 12 RELOCATE EXISTING CCTV MONITOR. REFER TO NEW WORK DRAWINGS FOR NEW LOCATION.

REVISIONS		
ISSUE	DATE	DESCRIPTION



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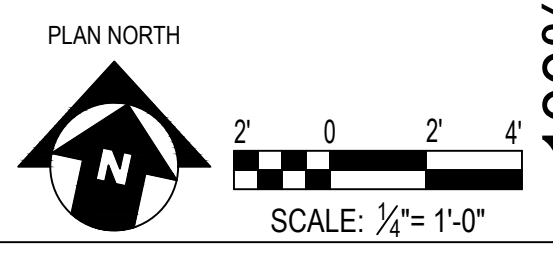
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
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PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

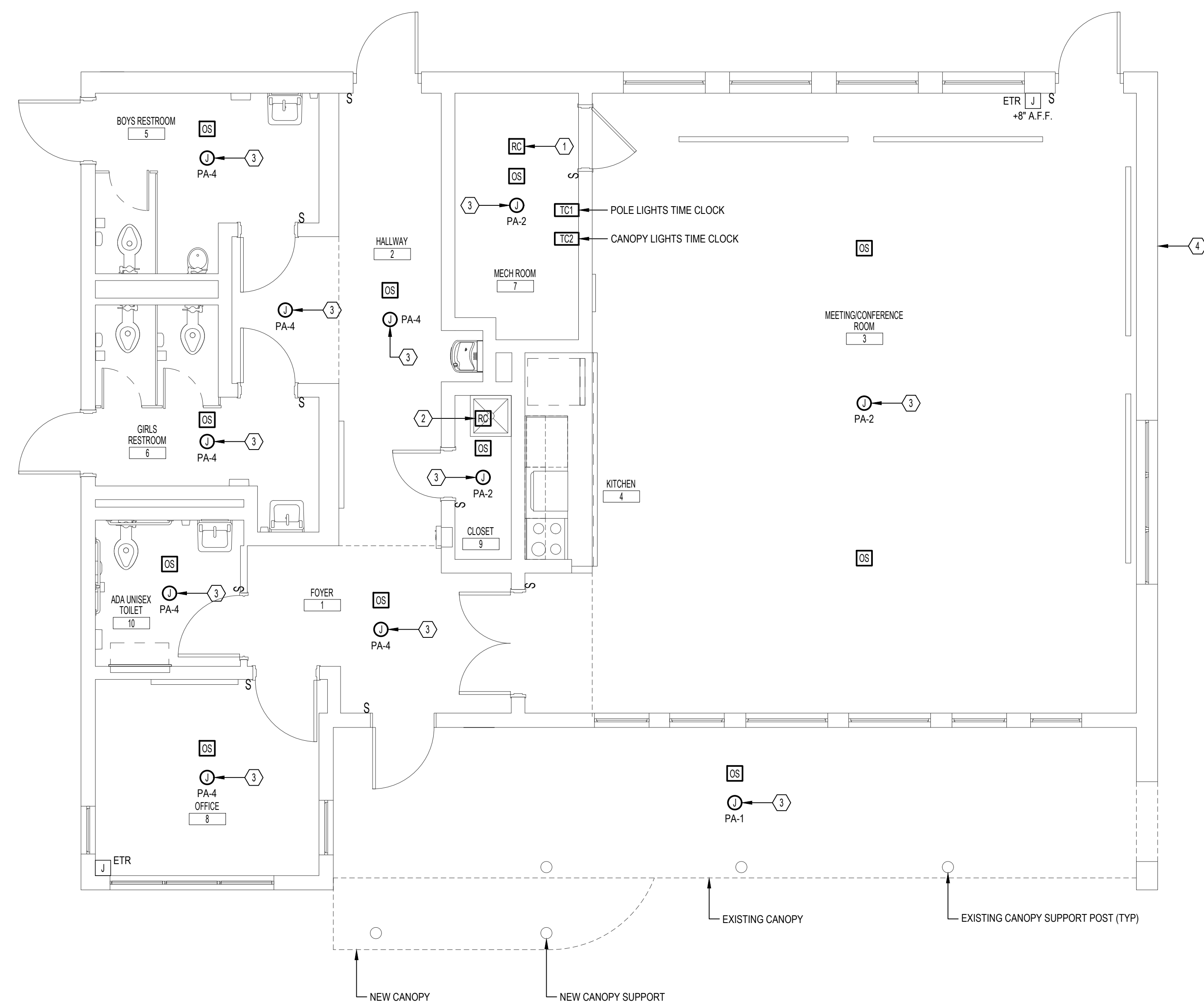
DRAWING TITLE
FLOOR PLAN - ELECTRICAL DEMOLITION

PROJECT NO. 18-00355-001	DRAWING NO. E1.01
DATE: 02.07.2020	
SCALE: AS NOTED	
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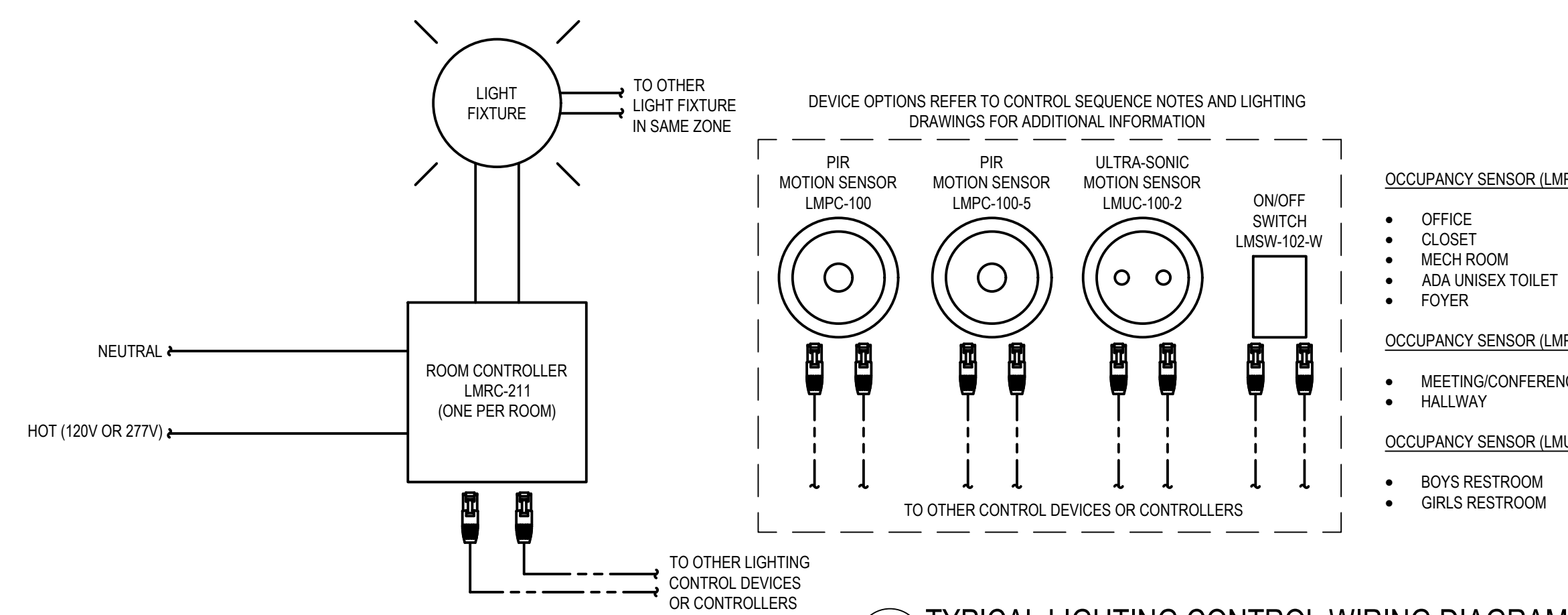
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100% Submission - 2/7/20



FLOOR PLAN - LIGHTING
SCALE: 1/4" = 1'-0"



1 TYPICAL LIGHTING CONTROL WIRING DIAGRAM
SCALE: NOT TO SCALE

- NOTES:**
1. WIRING PER MANUFACTURERS RECOMMENDATIONS.
 2. BASIS OF DESIGN IS WATTSTOPPER.
 3. ROOM CONTROLLER SHALL BE MOUNTED AS INDICATED ON DRAWINGS.
 4. COORDINATE QUANTITY OF DEVICE PER CONTROLLER.

GENERAL NOTES:

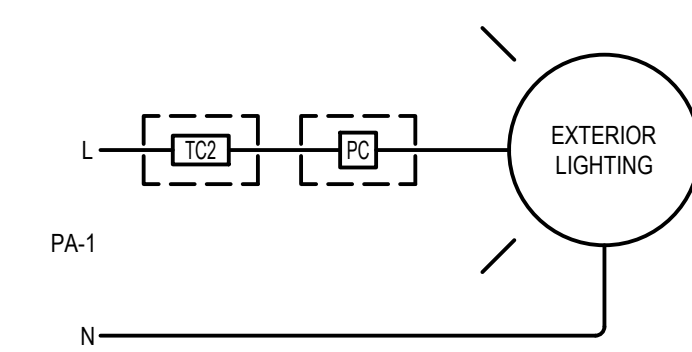
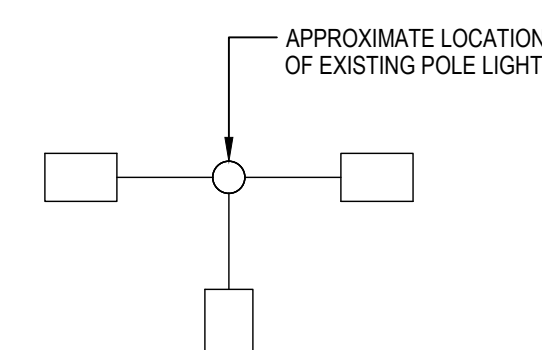
1. CONDUIT SHALL BE ROUTED ABOVE NEW CEILING AND ON THE SURFACE OF EXISTING CEILINGS AND WALLS.
2. DEVICES AND EQUIPMENT MOUNTED ON EXISTING WALLS SHALL BE SURFACE MOUNTED.
3. CONTRACTOR SHALL TEST FOR WIRE MAP AND CONTINUITY FOR ALL NEW CAT 5E CABLES.

DRAWING NOTES:

- 1 WALL MOUNT ROOM CONTROLLERS. ROOM CONTROLLERS FOR:
 - MEETING/CONFERENCE ROOM
 - MECH ROOM
 - CLOSET
- 2 WALL MOUNT ROOM CONTROLLERS. ROOM CONTROLLERS FOR:
 - HALLWAY
 - BOYS RESTROOM
 - GIRLS RESTROOM
 - ADA UNISEX TOILET
 - OFFICE
- 3 INTERIOR LIGHT FIXTURES, LAYOUT, PHOTOMETRICS, AND COMCHECK PROVIDED BY OWNER.
- 4 EXTERIOR LIGHT FIXTURES, LAYOUT, PHOTOMETRICS, AND COMCHECK PROVIDED BY OWNER.

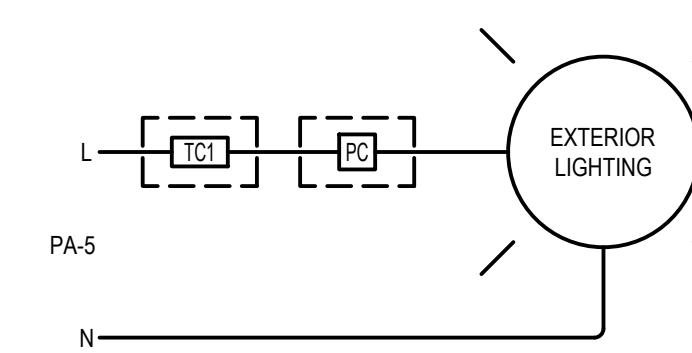
LIGHTING CONTROL SEQUENCE:

- CONTROLLER: ROOM CONTROLLER
 MOTION SENSOR: PIR OR ULTRA-SONIC (PERMISSIVE)
 MANUAL CONTROL: SWITCHES (MASTER)
 CONTROL SEQUENCE:
 • OCCUPIED: ON (MANUAL)
 • VACANT: OFF (AUTO/MANUAL)



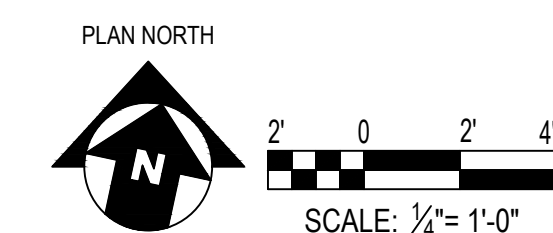
2 TYPICAL CANOPY / BUILDING MOUNTED LIGHTING CONTROL WIRING DIAGRAM
SCALE: NOT TO SCALE

- NOTES:**
1. PHOTOCELL SHALL FAIL CLOSED.
 2. AUTO: PHOTOCELL (PC) PERMISSIVE WITH TIME CLOCK (TC) ON/OFF.



3 TYPICAL POLE LIGHTING CONTROL WIRING DIAGRAM
SCALE: NOT TO SCALE

- NOTES:**
1. PHOTOCELL SHALL FAIL CLOSED.
 2. AUTO: PHOTOCELL (PC) PERMISSIVE WITH TIME CLOCK (TC) ON/OFF.

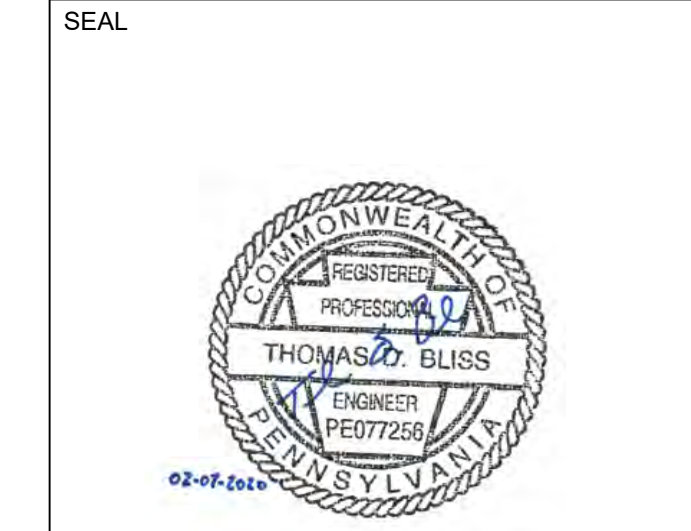


100% Submission - 2/7/20

REVISIONS		
ISSUE	DATE	DESCRIPTION



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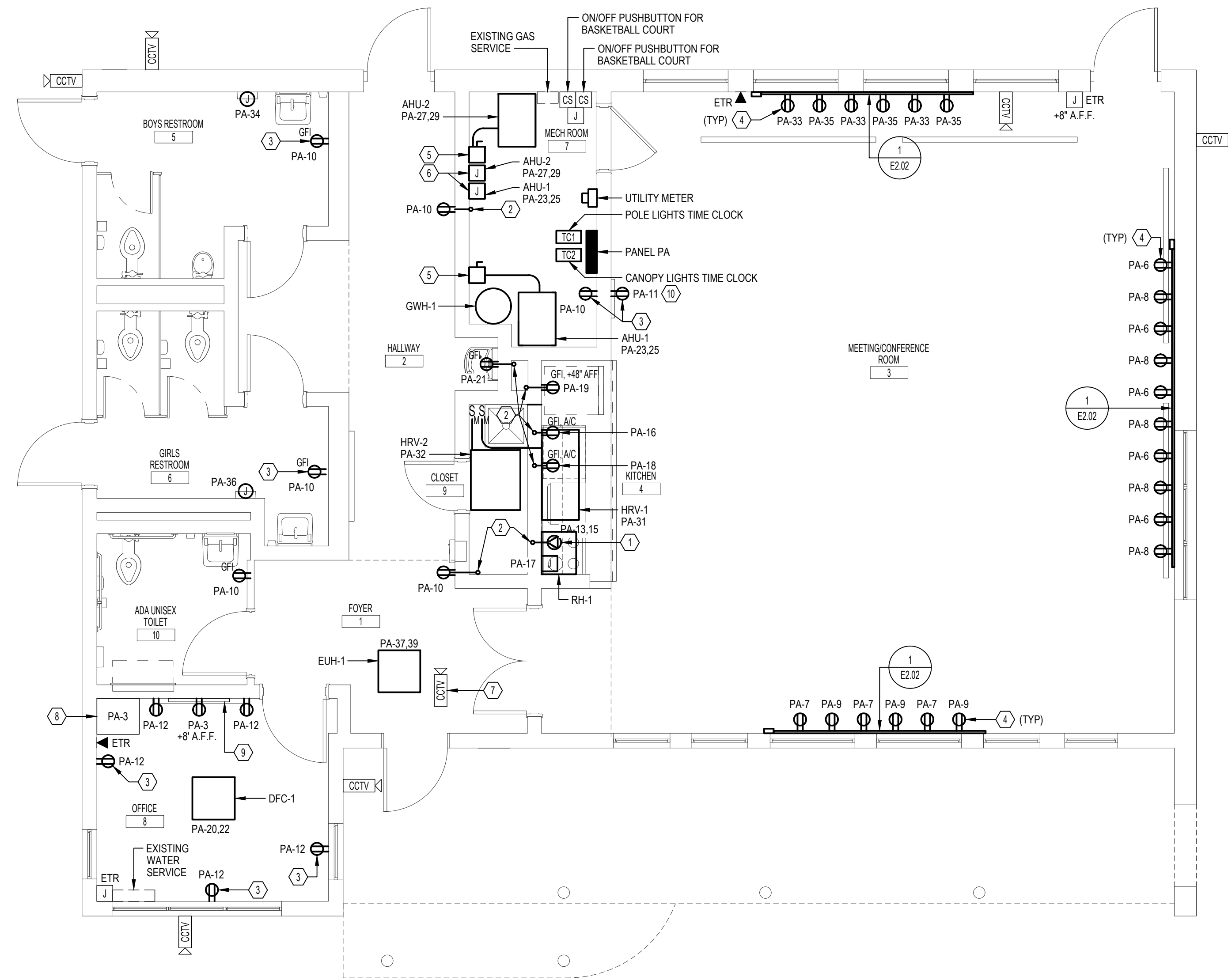
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PROJECT TITLE
 MILES MACK PLAYGROUND BUILDING
 RENOVATION

DRAWING TITLE
 FLOOR PLAN - LIGHTING

PROJECT NO. 18-00355-001	DRAWING NO. E2.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MJC	
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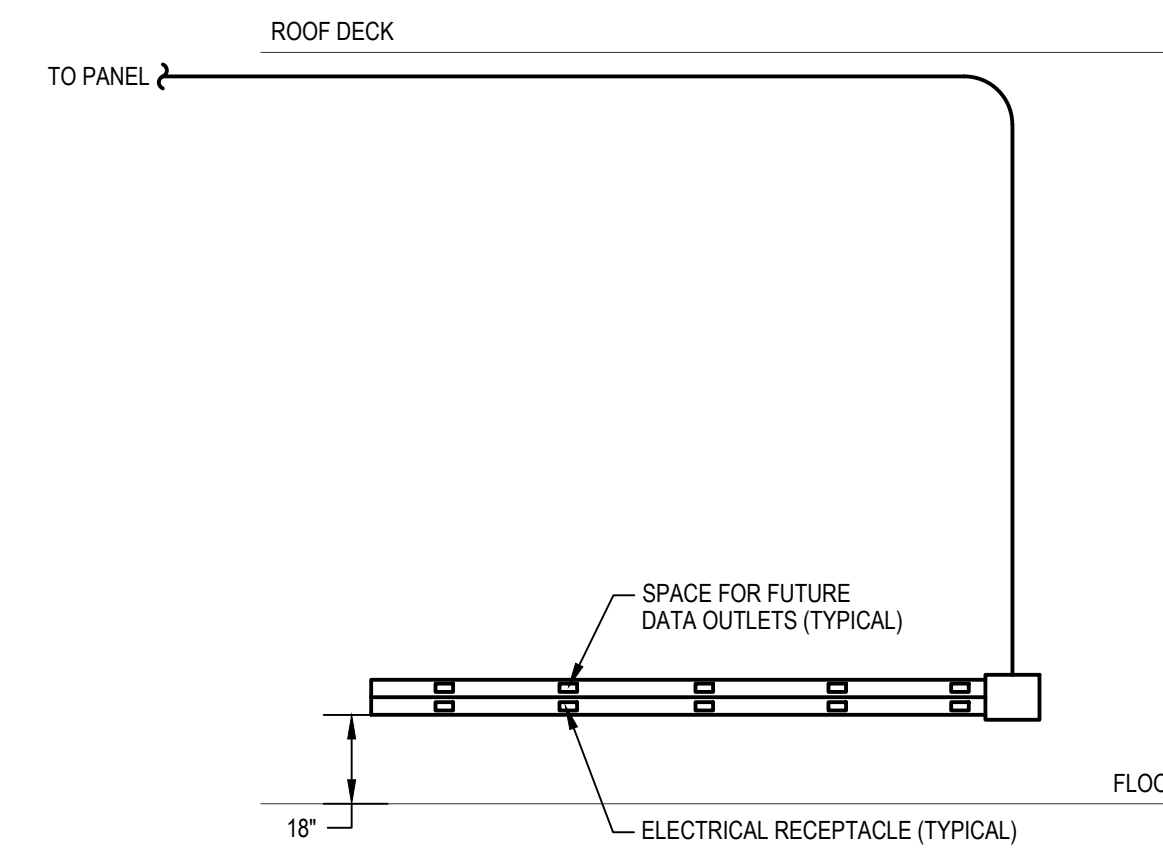
1 FLOOR PLAN - ELECTRICAL
E2.02 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. CONDUIT SHALL BE ROUTED ABOVE NEW CEILING AND ON THE SURFACE OF EXISTING CEILINGS AND WALLS.
2. DEVICES AND EQUIPMENT MOUNTED ON EXISTING WALLS SHALL BE SURFACE MOUNTED.
3. CONTRACTOR SHALL TEST FOR WIRE MAP AND CONTINUITY FOR ALL NEW CAT 5E CABLES.

DRAWING NOTES:

1. COORDINATE EXACT LOCATION AND SPECIAL RECEPTACLE TYPE WITH MAKE AND MODEL OF RANGE.
2. RECESSED RECEPTACLE (NEW). PENETRATE WALL TO CONDUIT ON OPPOSITE SIDE OF WALL.
3. PROVIDE SURFACE MOUNTED BACKBOX AND CONDUIT FOR NEW RECEPTACLE ON EXISTING WALL.
4. ELECTRICAL RECEPTACLE TO BE MOUNTED IN TWO CHANNEL RACEWAY.
5. 60A, NEMA 1, DISCONNECT SWITCH.
6. INTERFACE CONTROLLER PANELS FOR AHU-1 & AHU-2.
7. REINSTALL CAMERA TO ORIGINAL LOCATION AND RECONNECT CABLING.
8. REINSTALL CCTV HEADEND UNIT AND EXTEND/RECONNECT CABLING.
9. REINSTALL TELEVISION AND RECONNECT CABLING.
10. FIELD COORDINATE FINAL LOCATION OF CHEST FREEZER RECEPTACLE.



2 TYPICAL TWO CHANNEL METALLIC SURFACE MOUNT RACEWAY
E2.02 SCALE: NOT TO SCALE

REVISIONS		
ISSUE	DATE	DESCRIPTION



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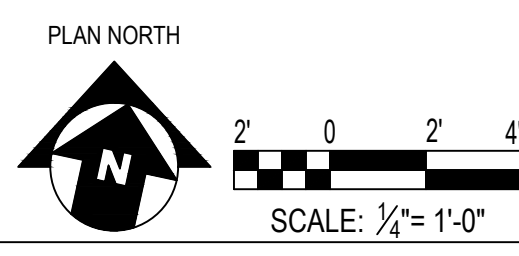
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PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

DRAWING TITLE
FLOOR PLAN - POWER

PROJECT NO. 18-00355-001	DRAWING NO. E2.02
DATE: 02.07.2020	SCALE: AS NOTED
DRAWN BY: MJC	CHECKED BY: TDB

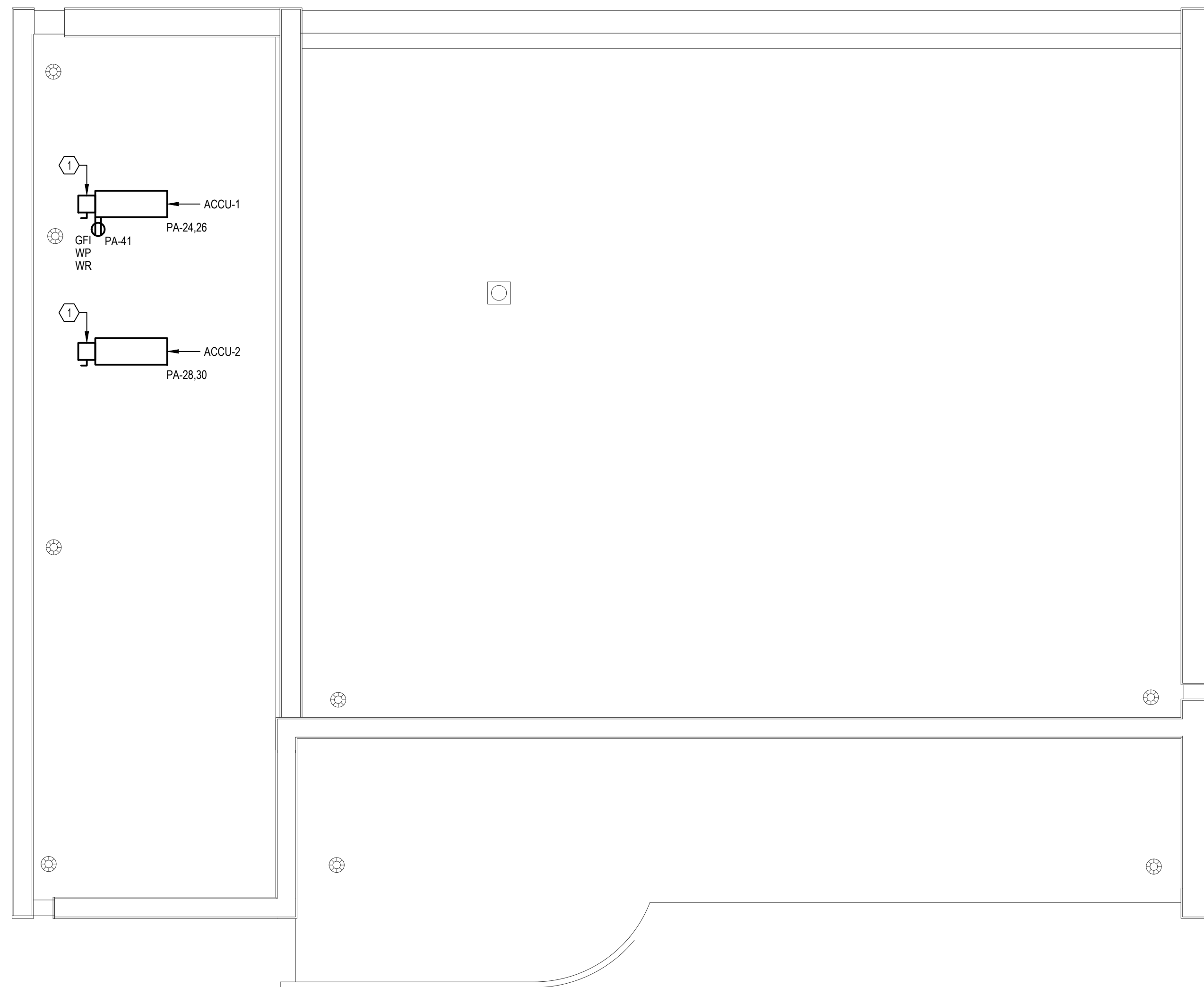
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100% Submission - 2/7/20

DRAWING NOTES:

① 60A, NEMA 3R, DISCONNECT SWITCH.



ROOF PLAN - ELECTRICAL
SCALE: 1/4" = 1'-0"

REVISIONS		
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STRUCTURAL ENGINEER:
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SYSTEMS ENGINEER:
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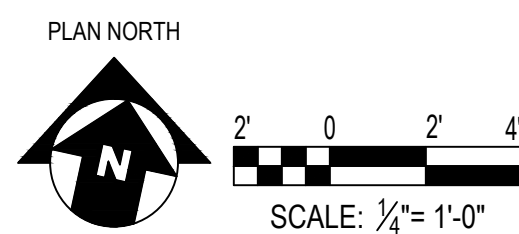
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
MILES MACK PLAYGROUND BUILDING
RENOVATION

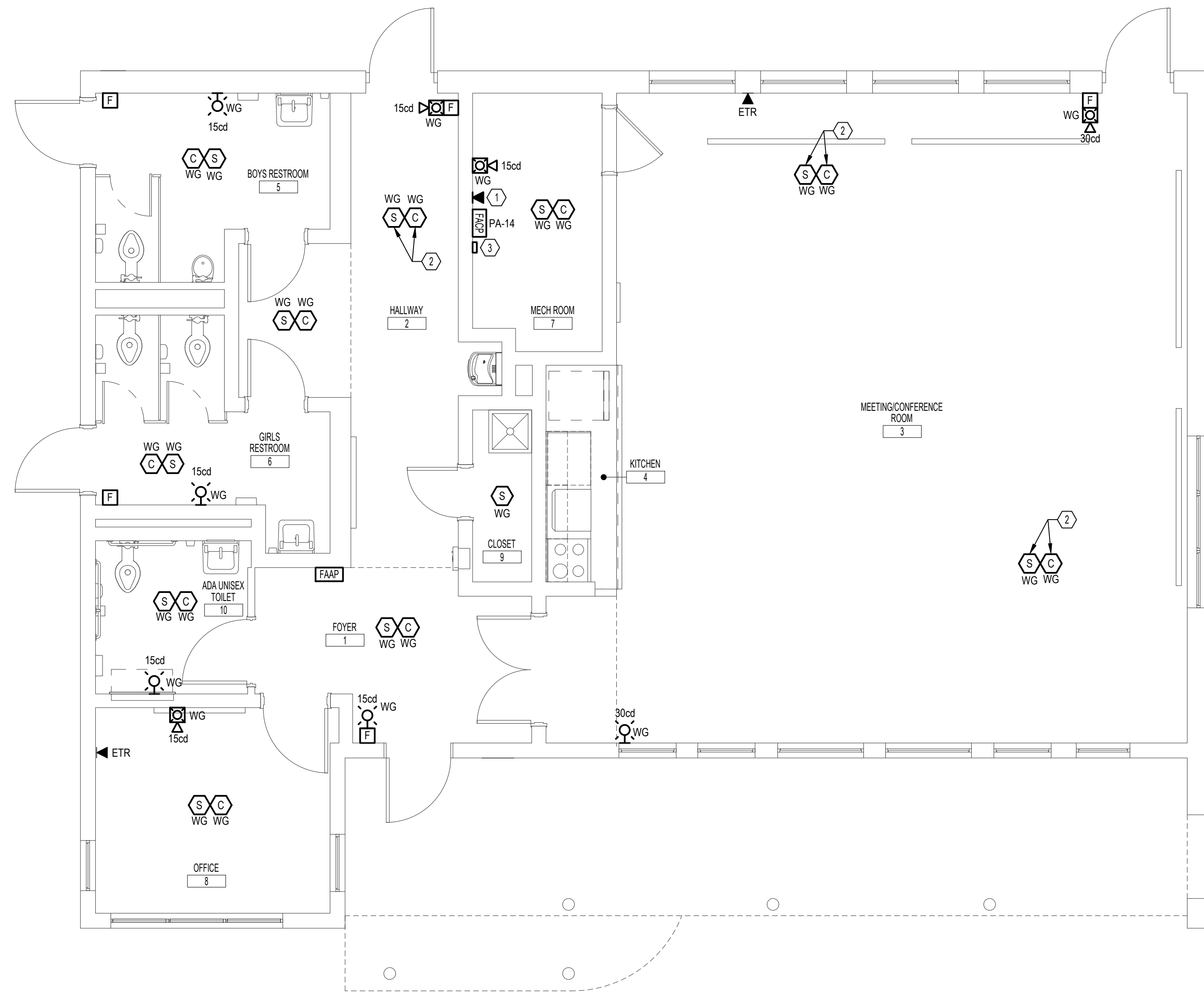
DRAWING TITLE
ROOF PLAN - POWER

PROJECT NO. 18-00355-001	DRAWING NO. E2.03
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MJC	
CHECKED BY: TDB	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



100% Submission - 2/7/20



FLOOR PLAN - ELECTRICAL

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. CONDUIT SHALL BE ROUTED ABOVE NEW CEILING AND ON THE SURFACE OF EXISTING CEILINGS AND WALLS.
2. DEVICES AND EQUIPMENT MOUNTED ON EXISTING WALLS SHALL BE SURFACE MOUNTED.
3. CONTRACTOR SHALL TEST FOR WIRE MAP AND CONTINUITY FOR ALL NEW CAT 5E CABLES.

DRAWING NOTES:

- ① VOICE OUTLET FOR FIRE ALARM CONTROL PANEL. CONTRACTOR TO INSTALL TWO CAT 5E CABLES IN 3/4" FROM VOICE OUTLET TO BUILDING PUNCH-DOWN BLOCKS.
- ② MOUNT FIRE ALARM DEVICE TO BOTTOM CHORD OF BEAM.
- ③ PROVIDE CROSS CONNECT PUNCH DOWN BLOCKS AND SURGE PROTECTION FOR INCOMING PHONE LINES. CONTRACTOR TO REROUTE EXISTING TELECOM UTILITY CABLES TO NEW SURGE PROTECTION AND PUNCH DOWN BLOCKS.

REVISIONS		
ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Charles Mottershead, 215.683-4466



PROJECT TEAM

ARCHITECT:
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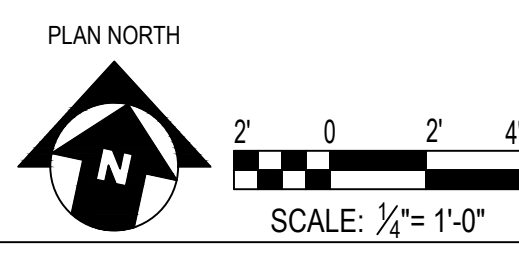
CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK PLAYGROUND BUILDING
 RENOVATION

DRAWING TITLE
 FLOOR PLAN - SPECIAL SYSTEMS

PROJECT NO. 18-00355-001	DRAWING NO. E2.04
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MJC	
CHECKED BY: TDB	FILE:

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



100% Submission - 2/7/20

DEMOLITION
PANEL: P
 MOUNTING: SURFACE
 MAIN: **100A MCB**
 AMP: 100 VOLT: 120/240
 PHASE: 1 3 WIRE + GND

Branch Circuit Load Description	kVA Load		Trip Poles	Circuit Wiring				Ckt. No.	Phase	Ckt. No.	Circuit Wiring				Trip Poles	kVA Load		Branch Circuit Load Description
	A	B		NO	Size	GND	C				NO	Size	GND	C		A	B	
AC (OFF)	0.00		20/2	0	0	0	0	1	A	2	0	0	0	0	30/2	1.00		EX LOAD
-		0.00		0	0	0	0	3	B	4	0	0	0	0		1.00		
EX LOAD	0.80		20/1	0	0	0	0	5	A	6	0	0	0	0	20/1	0.80		EX LOAD
EX LOAD	0.80	0.80	20/1	0	0	0	0	7	B	8	0	0	0	0	20/1	0.80	0.80	EX LOAD
POLE LIGHTS & TIMER	0.80		20/1	0	0	0	0	9	A	10	0	0	0	0	20/1	0.80		EX LOAD
EX LOAD	0.80	0.80	20/1	0	0	0	0	11	B	12	0	0	0	0	20/1	0.80	0.80	EX LOAD
EX LOAD	0.80		20/1	0	0	0	0	13	A	14	0	0	0	0	20/1	0.80		EX LOAD
EX LOAD	0.80	0.80	20/1	0	0	0	0	15	B	16	0	0	0	0	20/1	0.80	0.80	EX LOAD
EX LOAD	0.80		20/1	0	0	0	0	17	A	18	0	0	0	0	20/1	0.80		EX LOAD
EX LOAD	0.80	0.80	20/1	0	0	0	0	19	B	20	0	0	0	0	20/1	0.80	0.80	EX LOAD
OVEN	0.80		40/2	0	0	0	0	21	A	22	0	0	0	0	20/1	0.80		EX LOAD
-		1.20		0	0	0	0	23	B	24	0	0	0	0		0.00	0	
SPACE	1.20			0	0	0	0	25	A	26	0	0	0	0		0.00		
SPACE		0.00		0	0	0	0	27	B	28	0	0	0	0		0.00	0	
SPACE	0.00			0	0	0	0	29	A	30	0	0	0	0		0.00		
<< PHASE SUB-TOTALS >>																		
5.20 4.40 5.00 4.20																		

PHASE A **10.20** kVA
 PHASE B **8.60** kVA

18.80 kVA CONNECTED LOAD
17.96 kVA DEMAND LOAD
78.33 AMPS CONNECTED LOAD
74.83 AMPS DEMAND LOAD

PROVIDE THE FOLLOWING:

NEW
PANEL: PA
 MOUNTING: SURFACE
 MAIN: **225 MCB**
 AMP: 225 VOLT: 120/240
 PHASE: 1 3 WIRE + GND
 AIC: 22k AMPS RMS SYM

Branch Circuit Load Description	kVA Load		Trip Poles	Circuit Wiring				Ckt. No.	Phase	Ckt. No.	Circuit Wiring				Trip Poles	kVA Load		Branch Circuit Load Description
	A	B		NO	Size	GND	C				NO	Size	GND	C		A	B	
EXTERIOR LIGHTING	0.80		20/1*	2	12	12	3/4	1	A	2	2	12	12	3/4	20/1	0.80		INTERIOR LIGHTING
HEADEND UNIT & RECEPTACLE		0.80	20/1	2	12	12	3/4	3	B	4	2	12	12	3/4	20/1	0.80	0.80	INTERIOR LIGHTING
EXISTING POLE LIGHTS	0.80		20/1*	2	12	12	3/4	5	A	6	2	12	12	3/4	20/1	0.80		MEETING/CONFERENCE ROOM RECEPT.
MEETING/CONFERENCE ROOM RECEPT.		0.54	20/1	2	12	12	3/4	7	B	8	2	12	12	3/4	20/1	0.50	0.50	MEETING/CONFERENCE ROOM RECEPT.
MEETING/CONFERENCE ROOM RECEPT.	0.54		20/1	2	12	12	3/4	9	A	10	2	12	12	3/4	20/1	1.08		RESTROOM HALLWAY, MECH ROOM, TOILET RECEPT.
CHEST FREEZER		3.00	20/1	2	12	12	3/4	11	B	12	2	12	12	3/4	20/1	0.72	0.72	OFFICE RECEPT.
RANGE	2.00		50/2	2	8	10	3/4	13	A	14	2	12	12	3/4	20/1*	0.50		FIRE ALARM CONTROL PANEL
-		2.00		-	-	-	-	15	B	16	2	12	12	3/4	20/1	0.50	0.50	KITCHEN COUNTERTOP RECEPT.
RANGE HOOD	0.17		20/1	2	12	12	3/4	17	A	18	2	12	12	3/4	20/1	0.50		KITCHEN COUNTERTOP RECEPT.
KITCHEN REFRIGERATOR RECEPT.		1.00	20/1	2	12	12	3/4	19	B	20	2	12	12	3/4	15/2	0.08	0.08	DFC-1
WATER FOUNTAIN RECEPT.	1.00		20/1	2	12	12	3/4	21	A	22	-	-	-	-	-	0.02	-	
AHU-1		3.42	60/2	2	6	10	1	23	B	24	2	8	10	3/4	40/2	2.44	2.44	ACCU-1
-		3.42		-	-	-	-	25	A	26	-	-	-	-	-	2.44	-	
AHU-2		2.02	35/2	2	10	10	3/4	27	B	28	2	8	10	3/4	40/2	2.44	2.44	ACCU-2
-		2.02		-	-	-	-	29	A	30	-	-	-	-	-	2.44	-	
HRV-1		0.63	15/1	2	12	12	3/4	31	B	32	2	12	12	3/4	15/1	0.93	0.93	HRV-2
MEETING/CONFERENCE ROOM RECEPT.	0.54		20/1	2	12	12	3/4	33	A	34	2	12	12	3/4	20/1	0.95	0.95	HAMD DRYER
MEETING/CONFERENCE ROOM RECEPT.		0.54	20/1	2	12	12	3/4	35	B	36	2	12	12	3/4	20/1	0.95	0.95	HAMD DRYER
EUH-1	2.30		30/2	2	10	10	3/4	37	A	38	0	0	0	0	20/1	0.00		SPARE
-		2.30		-	-	-	-	39	B	40	0	0	0	0	20/1	0.00	0.00	SPARE
ROOFTOP RECEPTACLE	0.18		20/1	2	12	12	3/4	41	A	42	-	-	-	-	20/1	0.00		SPARE
SPARE		0.00	20/1	-	-	-	-	43	B	44	-	-	-	-	20/1	0.00		SPARE
SPARE	0.00		20/1	-	-	-	-	45	A	46	-	-	-	-	20/1	0.00		SPARE
SPARE		0.00	20/1	-	-	-	-	47	B	48	-	-	-	-	20/1	0.00	0.00	SPARE
SPARE	0.00		20/1	-	-	-	-	49	A	50	0	0	0	0	20/1	0.00		SPARE
SPARE		0.00	20/1	-	-	-	-	51	B	52	-	-	-	-	30/2**	0.00	0.00	SURGE PROTECTION
SPARE	0.00		20/1	-	-	-	-	53	A	54	-	-	-	-	-	0.00		-
<< PHASE SUB-TOTALS >>																		
13.77 16.25 12.07 9.73																		

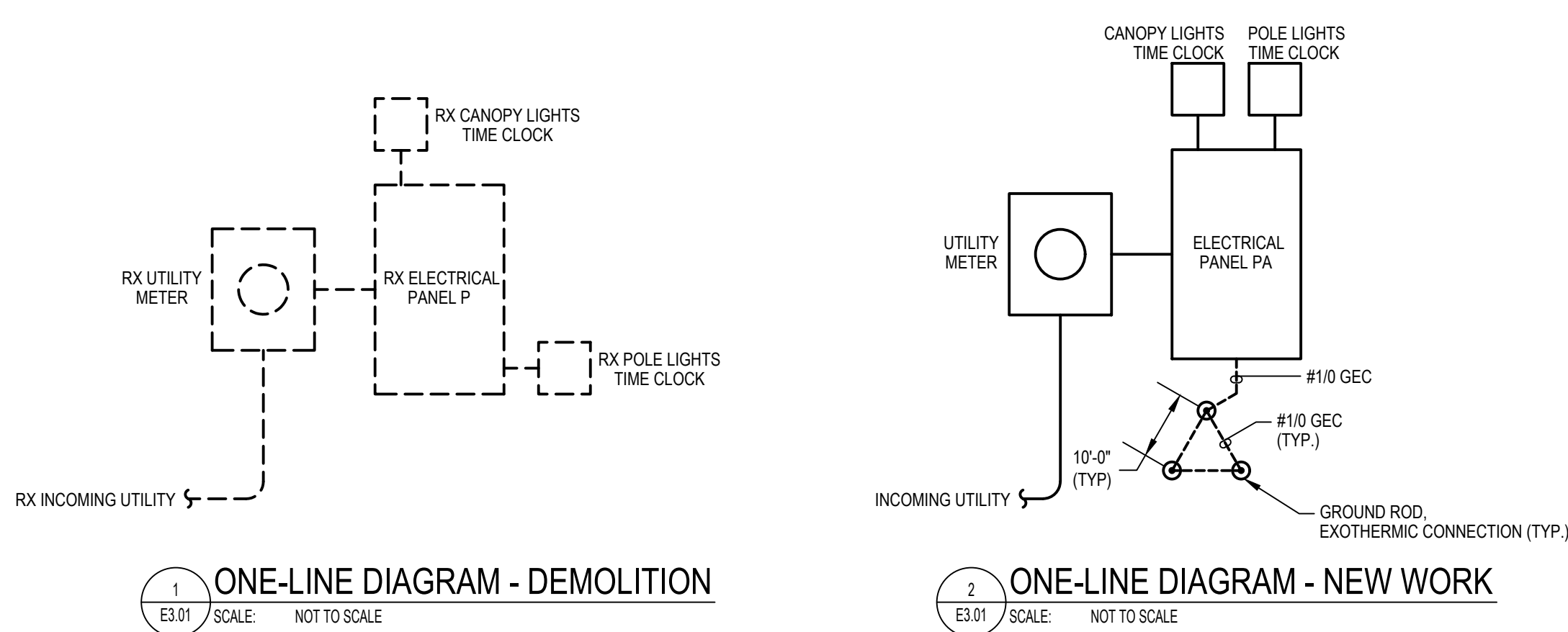
PHASE A **25.84** kVA
 PHASE B **25.98** kVA

49.38 kVA CONNECTED LOAD
47.83 kVA DEMAND LOAD
205.74 AMPS CONNECTED LOAD
199.30 AMPS DEMAND LOAD

PROVIDE THE FOLLOWING:
 * = LOCK OUT
 ** = PRE-INSTALLED CONDUCTORS

PANEL SCHEDULE NOTES:

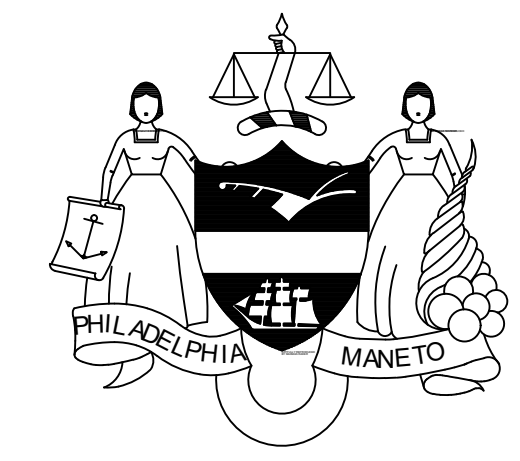
- ① EXISTING LIGHTING CIRCUIT TO BE REROUTED TO NEW PANELBOARD.



- CONTRACTOR / UTILITY COORDINATION:**
- NEW ELECTRIC SERVICE SHALL BE OBTAINED FROM PECO ENERGY COMPANY AND SHALL BE IN STRICT COMPLIANCE WITH THE REQUIREMENTS OF THE POWER COMPANY AND SHALL INCLUDE ALL REQUIRED METERING FACILITIES.
 - THE CONTRACTOR SHALL SUBMIT A SERVICE AND METER APPLICATION ON THE FORM FURNISHED BY PECO ENERGY COMPANY PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL PLACE "ONE-CALL" TO DETERMINE THE LOCATIONS OF UTILITIES IN THE AREA OF THE WORK THAT MAY BE COMPROMISED OR OTHERWISE INTERFERE WITH THE WORK OF THIS CONTRACT. ANY CONFLICT FOUND SHALL BE IMMEDIATELY REPORTED TO THE DEPARTMENT.
 - CONFERR AND COOPERATE WITH PECO ENERGY COMPANY IN ARRANGING FOR THE INSTALLATION, LOCATION AND DETAILS OF THE INCOMING SERVICE. PAY ALL CHARGES THAT MAY BE LEVIED BY THE POWER COMPANY FOR EXTRAORDINARY WORK THAT THEY MAY BE REQUIRED TO PERFORM IN CONJUNCTION WITH SUPPLYING SERVICE TO THE PROJECT.
 - OBTAIN APPROVAL OF METERING LOCATION AND DETAILS FROM POWER COMPANY, PRIOR TO INSTALLATION.
 - PROVIDE ALL REQUIRED EXCAVATION, BACKFILLING AND RESTORATION REQUIRED FOR THE INSTALLATION OF THE ELECTRIC SERVICE. IF REQUIRED, BACKFILLING SHALL BE DONE UNDER THE DIRECTION OF A PECO ENERGY COMPANY FIELD INSPECTOR.
 - PROVIDE UNDERGROUND RACEWAYS, CONDUCTORS, HAND HOLES, AND OTHER EQUIPMENT AND APPURTENANCES REQUIRED FOR A COMPLETE ELECTRIC SERVICE INSTALLATION.
 - PROVIDE ALL REQUIRED METERING FACILITIES, WHERE INDICATED, INCLUDING METER SOCKETS, TROUGHES, JUNCTION BOXES, CURRENT TRANSFORMER ENCLOSURES, SPECIAL CHANNELS AND ALL ACCESSORIES REQUIRED BY THE POWER COMPANY FOR THE INSTALLATION OF THEIR METERING INSTRUMENTS. CONFERR WITH PECO ENERGY COMPANY TO ASCERTAIN ALL ITEMS REQUIRED FOR METERING INSTALLATION, PRIOR TO SUBMITTING BID.

REVISIONS

ISSUE	DATE	DESCRIPTION



PROJECT COORDINATOR
 Philadelphia Parks & Recreation
 and Department of Public Property
 1515 Arch Street, 11th Floor
 Philadelphia, PA 19102
 Contact: Charles Mottershead, 215.683-4466



PROJECT TEAM

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 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 MILES MACK PLAYGROUND BUILDING
 RENOVATION

DRAWING TITLE
 PANEL SCHEDULES AND ONE-LINE DIAGRAMS

PROJECT NO. 18-00355-001	DRAWING NO. E3.01
DATE: 02.07.2020	
SCALE: AS NOTED	
DRAWN BY: MJC	
CHECKED BY: TDB	FILE:

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100% Submission - 2/7/20