CITY OF PHILADELPHIA

FREE LIBRARY OF PHILADELPHIA

MAYOR - CHERELLE L. PARKER

PRESIDENT AND DIRECTOR - FREE LIBRARY - KELLY RICHARDS

MCPHERSON SQUARE LIBRARY

PROJECT NO.: 52025E-05-01

601 E Indiana Ave,
Philadelphia, PA 19134

CONSTRUCTION DOCUMENTATION

SMPARCHITECTS
1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

CIVIL ENGINEER:
KS ENGINEERS, P.C.
530 Walnut Street, Suite 460
Philadelphia, Pennsylvania 19106
215 925 0425

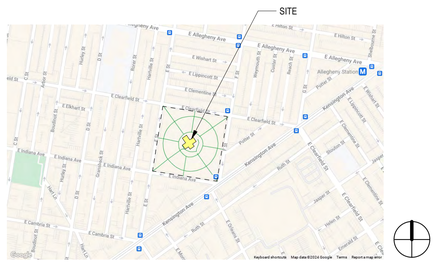
STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
100 East Lancaster Avenue, Suite 203
Wayne, Pennsylvania 19087
610 213 3657

ROOFING CONSULTANT
STEVE MCLAUGHLIN
Steve McLaughlin
210 Garden Avenue
Somerdale, NJ 08083
856 287 242

PROJECT USER:
FREE LIBRARY OF PHILADELPHIA
1901 Vine Street,
Philadelphia, Pennsylvania 19103

PROJECT ADMINISTRATOR:
REBUILD PHILADELPHIA
Cassie O'Connell, Project Manager
1515 Arch Street, Mezzanine Level
Philadelphia, Pennsylvania 19107

LOCATION PLAN



DRAWING LIST

GENERAL

CS.1	COVER SHEET
A0.1	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS

CIVIL

C1.0	EXISTING SITE PLAN
C2.0	DEMOLITION PLAN
C3.0	PROPOSED SITE PLAN
C6.0	EROSION AND SEDIMENT CONTROL PLAN
C6.1	EROSION AND SEDIMENT CONTROL DETAILS
C6.2	EROSION AND SEDIMENT CONTROL NOTES
C7.0	CONSTRUCTION DETAILS
C8.0	UTILITY DETAILS
C8.1	UTILITY DETAILS

ARCHITECTURAL

D2.0	DEMOLITION BASEMENT & ROOF PLAN
D3.0	DEMOLITION EXTERIOR ELEVATIONS
D3.1	DEMOLITION EXTERIOR ELEVATIONS
A2.0	FLOOR PLANS
A2.1	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A8.0	ROOF DETAILS
A8.1	CORNICE DETAILS
A10.0	DOME INTERIOR PHOTOS

STRUCTURAL

S1	ROOF FRAMING PLAN, SECTIONS AND NOTES

PROJECT APPROVED

PROJECT MANAGER/PUBLIC PROPERTY

PROJECT MANAGER/REBUILD

ART COMMISSION

SEALS

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
ROOM 709
PHILADELPHIA PENNSYLVANIA

PROJECT NO. 52025E-05-01	DRAWING NO. CS-1
DATE 04/15/2024	
SCALE AS NOTED	
DRAWN BY JS	
CHECKED BY JGH	

FILE: C:\PDFORM\PREDESIGN\24x36DWG8

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS.

2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.

3. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.

4. THE CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.

6. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROVIDE A SKETCH OF THE CONDITION.

7. DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.

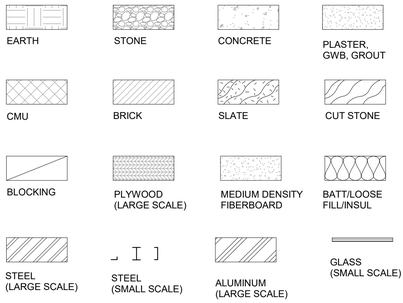
8. THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS WITH ALL TRADES PRIOR TO INSTALLATION.

9. DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.

10. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING NIC, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT WORK.

11. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SLEEVING WORK, UNO. COORDINATE LOCATION AND SIZE OF ALL OPENINGS, INTERIOR AND/OR EXTERIOR WITH ALL TRADES PRIOR TO INSTALLATION.

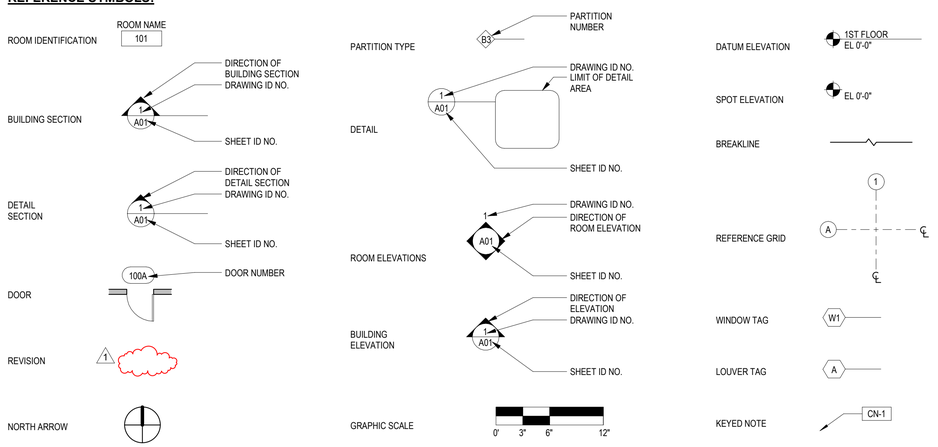
MATERIAL SYMBOLS:



ABBREVIATIONS:

A	
A/E	ARCHITECT/ENGINEER
AB	ANCHOR BOLT
ABV	ABOVE
ACT	ACOUSTIC CEILING TILE
ADJ	ADJACENT/ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AGG	AGGREGATE
ALCW	ALUMINUM CURTAINWALL
AL(ALUM)	ALUMINUM
ALSF	ALUMINUM STOREFRONT
ALW	ALUMINUM WINDOW
ANOD	ANODIZED
AP	ACCESS PANEL
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
B	
B&B	BOARD AND BATTEN
BCAB	BASE CABINET
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BLW	BELOW
B.O.	BOTTOM OF
BC	BROADLOOM CARPET
BM	BEAM
BRK	BRICK
BTW	BETWEEN
C	
CAB	CABINET
CB	CEMENTBOARD
CERT	CERTIFIED
CFMF	COLD FORMED METAL FRAMING
CJ	CONSTRUCTION/CONTROL JOINT
CL	CENTERLINE
CLG	CEILING
CLR	CLEAR/ CLEARANCE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMP	COMPOSITE
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
COR	CORRUGATED
CPT	CARPET TILE
CT	CERAMIC TILE
CUH	CABINET UNIT HEATER
CW	CURTAINWALL
D	
DEMO	DEMOLISH/DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DWG(S)	DRAWING(S)
E	
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
EoR	ENGINEER OF RECORD
EP	ELECTRICAL PANEL
EPX	EPOXY
EQ	EQUAL
EQPM	EQUIPMENT
ES	EXPOSED STRUCTURE
ETR	EXISTING TO REMAIN
EWC	ELECTRIC WATER COOLER
EXP	EXPOSED
EXG	EXISTING
EXT	EXTERIOR
F	
FA	FIRE ALARM
FCB	FIBER CEMENT BOARD
FCU	FAN COIL UNIT
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER CABINET
FF	FACTORY FINISH
FFE	FINISHED FLOOR ELEVATION
FIN	FINISH(ED)
FLG	FLASHING
FLR	FLOOR(ING)
FND	FOUNDATION
F.O.	FACE OF
FP	FILLER PANEL
FT	FOOT (FEET)
FTG	FOOTING
FTR	FIN TUBE RADIATOR
G	
GA	GAUGE
GALV	GALVANIZED
GF	GROUND FACE
GLAZ	GLAZED, GLAZING, GLASS
GRG	GLASS REINFORCED GYPSUM
GWB	GYPSUM WALLBOARD
H	
HDPE	HIGH DENSITY POLYETHYLENE
HM	HOLLOW METAL
HOR	HORIZONTAL
HR	HOUR
HRWD	HARDWOOD
HSS	HOLLOW STEEL SECTION
HT	HIGH TEMPERATURE
HVAC	HEAVING/VENTILATION/AIR CONDITIONING
HWH	HOT WATER HEATER
I	
IGU	INSULATED GLAZING UNIT
INCL	INCLUDING/INCLUDED
INFO	INFORMATION
INSUL	INSULATED, INSULATION
INT	INTERIOR
J	
JT	JOINT
L	
LAM	LAMINATED
LF	LINEAR FEET
LG	LONG
LIN	LINOLEUM
LLV	LONG LEG VERTICAL
LTL	LINTEL
LT	LIGHT
LOUV	LOUVER
M	
MAS	MASONRY
MAS DIM	MASONRY DIMENSION
MATL	MATERIAL
MAX	MAXIMUIM
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
M.O.	MASONRY OPENING
MR	MOISTURE RESISTANT
MTD	MOUNTED
MTL	METAL
MULL	MULLION
N	
N	NORTH
NA	NOT APPLICABLE
NAT	NATURAL
NIC	NOT IN CONTRACT
NIS	NOT IN SCOPE
NOM	NOMINAL
NTS	NOT TO SCALE
O	
OC	ON CENTER
OFE	OWNER FURNISHED EQUIPMENT
OH	OPPOSITE HAND
OPP	OPPOSITE
OPG	OPENING
OSB	ORIENTED STRAND BOARD
OTLN	OUTLINE
P	
PAC	PRECAST ARCHITECTURAL CONCRETE
PERF	PERFORATED
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PNL	PANEL
PNLG	PANELING
PNT	PAINT(ED)
POL	POLISHED
PROJ	PROJECTION
P.T.	PRESSURE TREATED
PT	PORCELAIN TILE
PTN	PARTITION
PWD	PLYWOOD
PV	PIPE VENT
R	
RA	RETURN AIR
RAD	RADIUS
RB	RUBBER BASE
RBT	RUBBER STAIR TREAD
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFER; REFERENCE
REQ'D	REQIURED
REV	REVISION, REVISE(D)
RSF	RESILIENT FLOORING
RT	RESILIENT TILE FLOORING
RM	ROOM
R.O.	ROUGH OPENING
RTF	RESILIENT RUBBER TILE FLOORING
RWC	RAINWATER CONDUCTOR
S	
S	SOUTH
SA	SUPPLY AIR
SBC	SINK BASE CABINET
SBO	SUPPLIED BY OTHERS
SFI	SPRAY FOAM INSULATION
SGT	STRUCTURAL GLAZED TILE
SIM	SIMILAR
SIP	STRUCTURAL INSULATED PANEL
SL	SLOPED/SLOPE
SOG	SLAB ON GRADE
SSTL	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STAIN(ED)
STRUC	STRUCTURAL
SUSP	SUSPENDED
T	
TER	TERRAZZO
TF	TRANSPARENT FINISH
THK	THICKNESS
TLT	TOILET
TPTN	TOILET PARTITION
T.O.	TOP OF
TYP	TYPICAL
T&G	TONGUE AND GROOVE
U	
UNO	UNLESS NOTED OTHERWISE
V	
VAR	VARIES/VARIOUS
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VTR	VENT THROUGH ROOF
W	
W	WEST
W/	WITH
W/O	WITHOUT
WB	WALL BASE
WC	WATER CLOSET
WCAB	WALL CABINET
WD	WOOD
WDP	WOOD PANEL
WF	WIDE FLANGE
WIN	WINDOW
WOM	WALK OFF MAT
WSCT	WAINSCOT
X	
XPS	EXTRUDED POLYSTYRENE

REFERENCE SYMBOLS:



CODE:

THIS RENOVATION DOES NOT IMPACT ISSUES OF OCCUPANCY, HEIGHT AND AREA OR EGRESS.

ALTERNATES:

A. **ALTERNATE 1(ADD):**
REPAIR AND RESTORE EXISTING PLASTER AND LATH CEILING (ASSUMED) AT DOME INTERIOR. REPAINT INTERIOR DOME SURFACE.

B. **ALTERNATE 2:**
FOR REPLACEMENT TERRA COTTA UNITS, CONTRACTOR MAY CONSIDER ALTERNATIVE MATERIALS, SUCH AS GLASS FIBER REINFORCED CONCRETE (GFRC) AS AN ALTERNATE FOR CONSIDERATION BY OWNER.
PROVIDE PRODUCT DATA FOR ALTERNATIVE PRODUCT FOR REVIEW, IN ADDITION TO PROPOSED DEDUCT ALTERNATE COST. IDENTIFY AND QUANTIFY SCHEDULE IMPROVEMENTS AVAILABLE TO THE PROJECT IF THIS ALTERNATE IS SELECTED BY THE OWNER.

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Rebuild Philadelphia

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610 888 2566

ROOFING CONSULTANT:
Steve McLaughlin
210 Garden Avenue
Somerdale, NJ 08083
856 287 2424

Seal:

No.	Date	Revision

By: JS | Checked: JGH | Scale: AS NOTED

Date: 04/15/2024

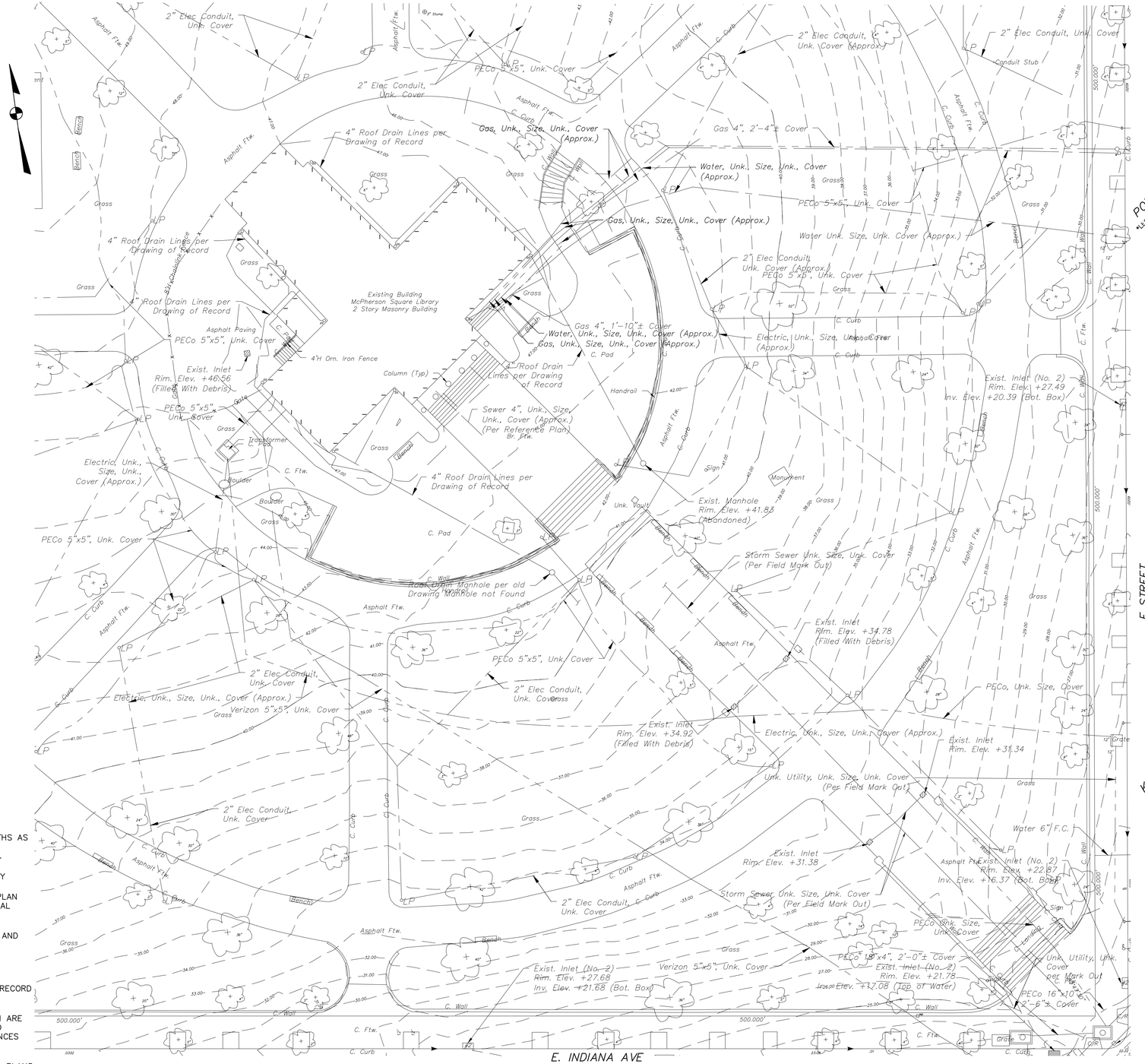
Drawing Title:
GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS

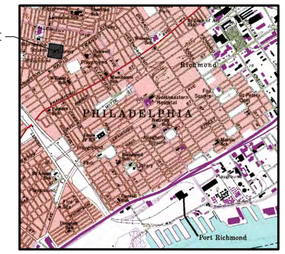
Drawing No.:
A0.1

LEGEND

EXISTING

- PROPERTY LINES
- CONTOUR LINE
- GAS LINE
- POTABLE WATER
- SEWER (COMBINED)
- SANITARY SEWER
- STORM DRAIN
- TELECOM CONDUIT
- ELETRIC CONDUIT
- ELECTRIC OVERHEAD LINE
- CHAIN LINK FENCE
- METAL FENCE
- CURB
- UNKNOWN MANHOLE
- TELEPHONE MANHOLE
- SANITARY MANHOLE
- WATER MANHOLE
- WATER VALVE
- OIL FILL VALVE
- FRESH AIR INLET
- FIRE HYDRANT
- UTILITY POLE/STREET LIGHT
- LIGHTPOLE
- TRAFFIC SIGNAL
- INLET
- AREA DRAIN
- SIGN
- TREE
- FLAG POLE





VICINITY MAP

DELAWARE DIRECT WATERSHED (SOUTH) MANAGEMENT DISTRICT A
SCALE 1"=100'

GENERAL NOTES:

1. PROPERTY DIMENSIONS ARE PER DEEDS OF RECORD AND STREET WIDTHS AS PER CITY PLAN NO. 18 AND ARE SHOWN IN PHILADELPHIA DISTRICT STANDARD. ALL OTHER DIMENSIONS ARE SHOWN IN U.S. SURVEY FEET.
2. SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY RODRIGUEZ CONSULTING, LLC ON 02/19/2020. SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN AND DEED OF RECORD. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM.
3. EXISTING SITE CONDITIONS AND PROPERTY LINE ARE BASED ON PLAN AND SURVEY BY OTHERS:
   PLAN REFERENCE:
   #1 – PWD GSI PROJECT #50120, RECEIVED 11/26/2019
4. SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
5. IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
6. UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20200520979). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1–800–242–1776 SHALL BE CONTACTED AT LEAST 3–10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
7. INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
8. PROJECT SITE IS LOCATED WITHIN THE SP–PO–A DISTRICT.

0 10' 20' 40'
SCALE: 1" = 20'–0"

PROTECT YOURSELF

PENNSYLVANIA UNDER GROUND LOCATION 1-800-242-1776 STOP – CALL BEFORE YOU DIG!

WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE

Pennsylvania One Call System, Inc.
1–800–242–1776

ACT 187

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.

PENNSYLVANIA ONE CALL: 1–800–242–1776

PHILADELPHIA WATER DEPARTMENT
1101 MARKET STREET, 2nd FLOOR
PHILADELPHIA, PENNSYLVANIA
(215) 685–6270

PHILADELPHIA GAS WORKS
800 W. MONTGOMERY AVENUE, 3RD FLOOR
PHILADELPHIA, PENNSYLVANIA 19122
(215) 684–6796

PECO–CONSTRUCTION DEPARTMENT
2301 MARKET STREET
PHILADELPHIA, PENNSYLVANIA 19103
(215) 731–3264

VERIZON
900 RACE STREET
PHILADELPHIA, PENNSYLVANIA 19107
(215) 351–8947

COMCAST
1351 S. COLUMBUS BOULEVARD
PHILADELPHIA, PENNSYLVANIA 19147
(215) 952–4935

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610 688 2566

ROOFING CONSULTANT:
Steve McLaughlin
210 Garden Avenue
Somerdale, NJ 08083
856 287 2424

Seal:

EXISTING SITE PLAN

By: TN | Checked: RSB | Scale: AS NOTED

Date: 04/15/2024

Drawing Title: C1.0

Drawing No.:

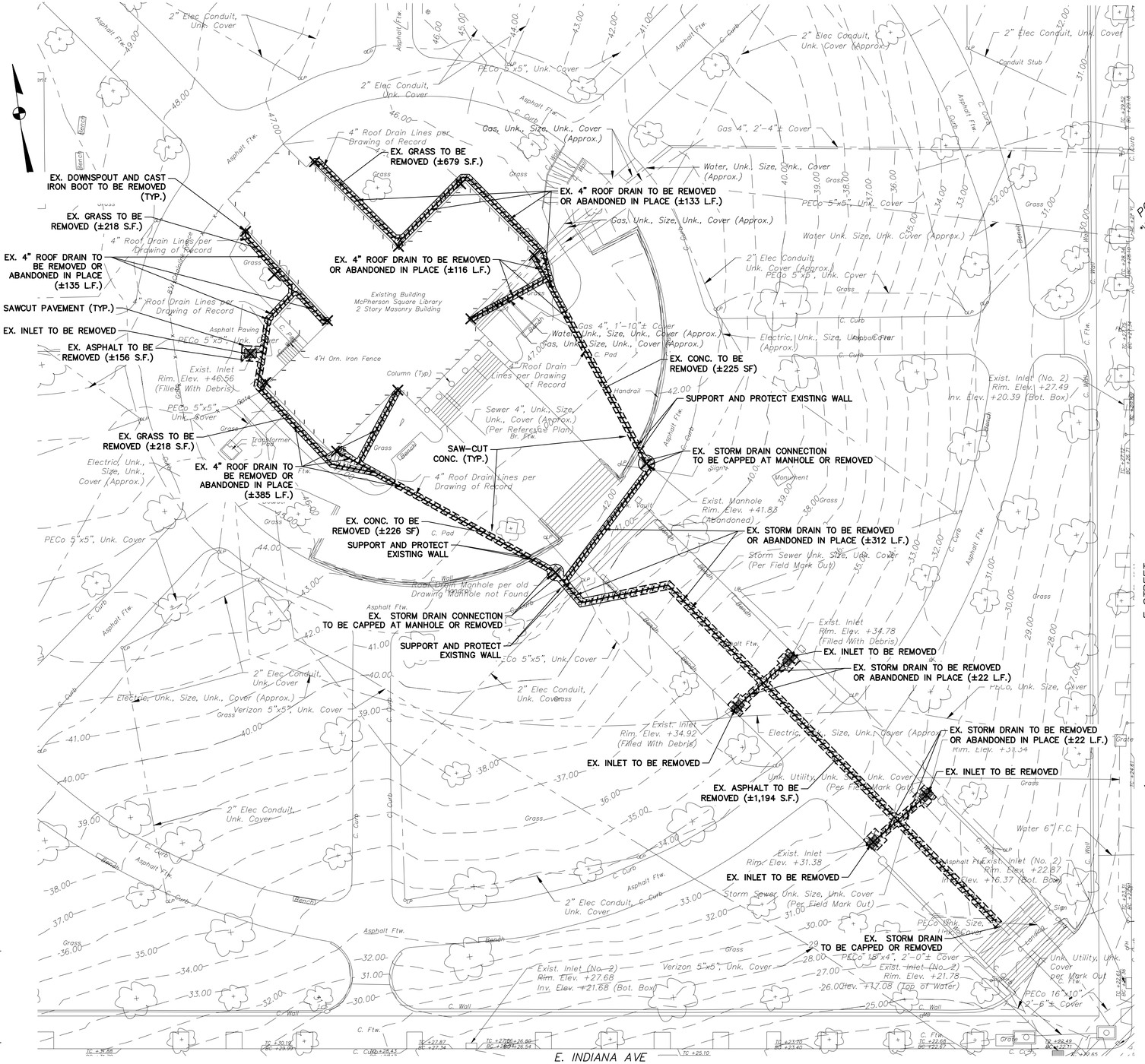
LEGEND

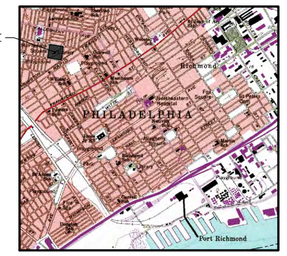
EXISTING

- PROPERTY LINES
- CONTOUR LINE
- GAS LINE
- POTABLE WATER
- SEWER (COMBINED)
- SANITARY SEWER
- STORM DRAIN
- TELECOM CONDUIT
- ELETRIC CONDUIT
- ELECTRIC OVERHEAD LINE
- CHAIN LINK FENCE
- METAL FENCE
- CURB
- UNKNOWN MANHOLE
- TELEPHONE MANHOLE
- SANITARY MANHOLE
- WATER MANHOLE
- WATER VALVE
- OIL FILL VALVE
- FRESH AIR INLET
- FIRE HYDRANT
- UTILITY POLE/STREET LIGHT
- LIGHTPOLE
- TRAFFIC SIGNAL
- INLET
- AREA DRAIN
- SIGN
- TREE
- FLAG POLE

DEMOLITION LEGEND

- SAWCUT PAVEMENT LINE
- EX. CONC. CURB TO BE REMOVED
- EX. PAVING TO BE REMOVED
- EX. GRASS TO BE REMOVED
- EX. CONCRETE TO BE REMOVED
- EX. INLET/ AREA DRAIN TO BE REMOVED
- EX. TREE TO BE REMOVED





VICINITY MAP

DELAWARE DIRECT WATERSHED (SOUTH) MANAGEMENT DISTRICT A
SCALE 1"=100'

DEMOLITION NOTES:

1. PRIOR TO STARTING ANY DEMOLITION WORK, CONTRACTOR TO DOCUMENT EXISTING SITE CONDITIONS WITH PHOTOS.
2. PRIOR TO STARTING ANY EXCAVATION, CONTRACTOR TO HAVE UNDERGROUND UTILITY LOCATION SERVICES COMPLETED WITHIN THE LIMIT OF DISTURBANCE.
3. EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN
4. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
5. TEMPORARY 8' HIGH LOCKABLE CHAINLINK CONSTRUCTION FENCE TO BE UTILIZED IN SECURING THE WORK AREA AND BLOCK OFF ENTRANCES TO WORK AREA. CONSTRUCTION FENCE TO BE SECURED WITH THE USE OF CONCRETE BLOCKS AND TO BE LOCKED WHEN NOT IN USE. ALL CONSTRUCTION VEHICLES, EQUIPMENT, AND MATERIALS ARE TO BE KEPT INSIDE LOCKED AREA WHEN NOT IN USE.
6. CONTRACTOR TO MONITOR EXISTING PARKING LOT AND PLAYGROUND AREA AT ALL TIMES TO PREVENT CONFLICT BETWEEN CONSTRUCTION VEHICLES, STAFF VEHICLES, DELIVERY TRUCKS AND PEDESTRIANS. CONTRACTOR TO REPAIR/REPLACE ANY CONCRETE, ASPHALT, LAWN OR PLANTED AREAS WITHIN THIS AREA AND WITHIN THE PUBLIC ROW THAT IS DAMAGED BY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
7. REMOVAL OF EXISTING TREES TO INCLUDE ALL MAJOR ROOT STRUCTURES, LOCATIONS TO BE TEMPORARILY BACKFILLED IN ACCORDANCE WITH SPECIFICATIONS.

LIMIT OF DISTURBANCE (LOD) SUMMARY		
ON-SITE	2,307 S.F.	0.053 ACRES
PUBLIC R.O.W.	–	–
TOTAL	2,307 S.F.	0.053 ACRES

0 10' 20' 40'

SCALE: 1" = 20'-0"

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STRUCTURAL ENGINEER:
Ann Rothmann
100 E Lancaster Avenue, Suite 203
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610 688 2566

ROOFING CONSULTANT:
Steve McLaughlin
210 Garden Avenue
Somerdale, NJ 08083
856 287 2424

Seal:

By: TH | Checked: RSB | Scale: AS NOTED

Date: 04/15/2024

Drawing Title:
DEMOLITION PLAN

Drawing No.:
C2.0

LEGEND

EXISTING

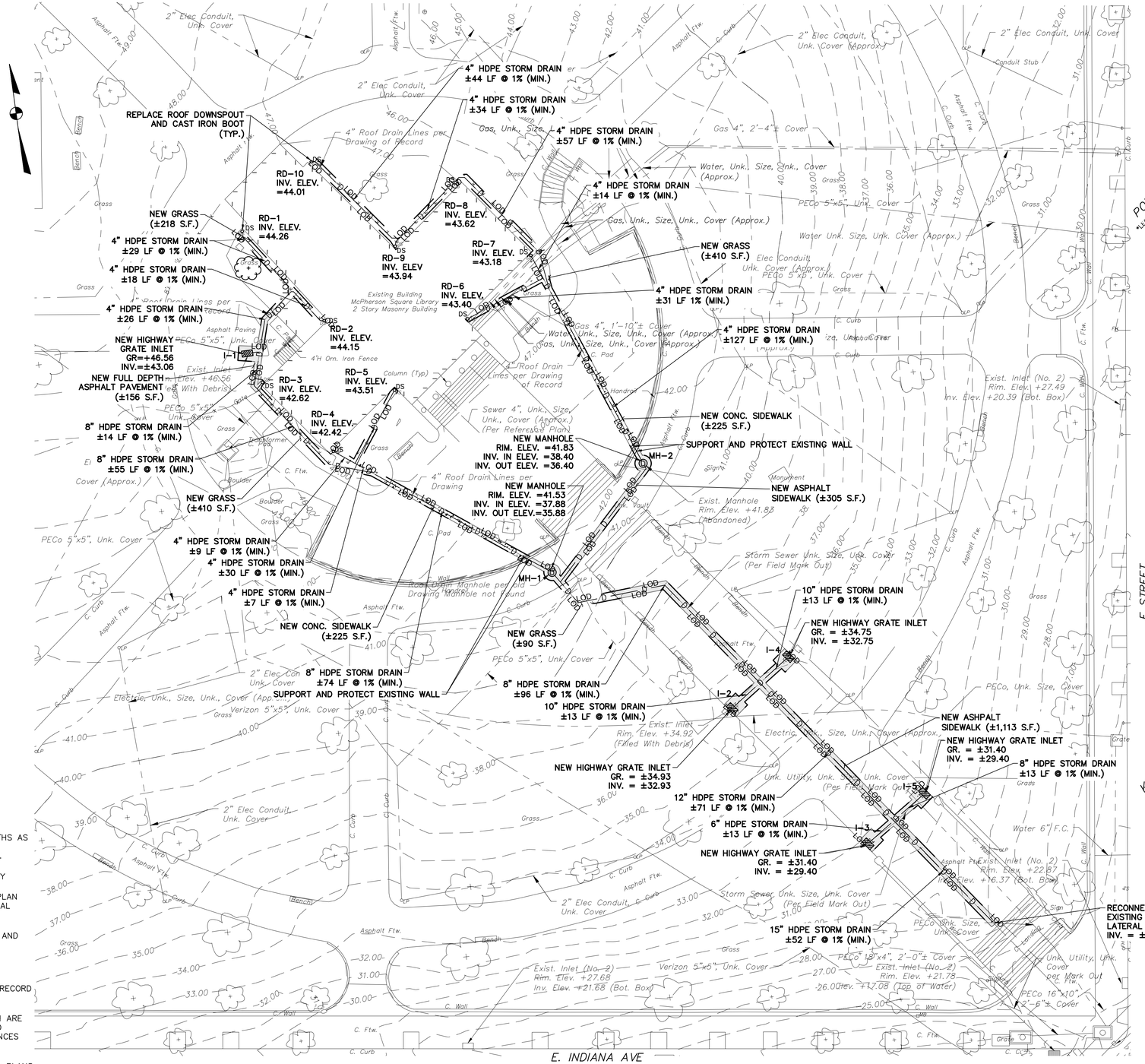
- PROPERTY LINES
- CONTOUR LINE
- GAS LINE
- POTABLE WATER
- SEWER (COMBINED)
- SANITARY SEWER
- STORM DRAIN
- TELECOM CONDUIT
- ELETRIC CONDUIT
- ELECTRIC OVERHEAD LINE
- CHAIN LINK FENCE
- METAL FENCE
- CURB
- UNKNOWN MANHOLE
- TELEPHONE MANHOLE
- SANITARY MANHOLE
- WATER MANHOLE
- WATER VALVE
- OIL FILL VALVE
- FRESH AIR INLET
- FIRE HYDRANT
- UTILITY POLE/STREET LIGHT
- LIGHTPOLE
- TRAFFIC SIGNAL
- INLET
- AREA DRAIN
- SIGN
- TREE
- FLAG POLE

PROPOSED LEGEND

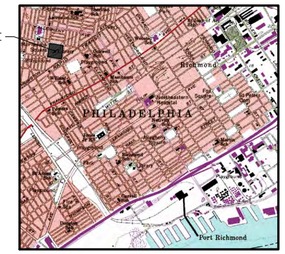
- PROPERTY LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STORM SEWER
- FENCE
- SANITARY SEWER
- WATER SERVICE
- LIMIT OF DISTURBANCE (LOD) & DEP SITE BOUNDARY
- ASPHALT CURB
- INLET
- OBSERVATION WELL
- ROOF DRAIN
- STORM DRAIN CLEANOUT
- FULL DEPTH ASPHALT PAVING
- GRASS AREA
- CONCRETE SIDEWALK
- LANDSCAPED AREA

GENERAL NOTES:

1. PROPERTY DIMENSIONS ARE PER DEEDS OF RECORD AND STREET WIDTHS AS PER CITY PLAN NO. 18 AND ARE SHOWN IN PHILADELPHIA DISTRICT STANDARD. ALL OTHER DIMENSIONS ARE SHOWN IN U.S. SURVEY FEET.
2. SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY RODRIGUEZ CONSULTING, LLC ON 02/19/2020. SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN AND DEED OF RECORD. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM.
3. EXISTING SITE CONDITIONS AND PROPERTY LINE ARE BASED ON PLAN AND SURVEY BY OTHERS:
   PLAN REFERENCE:
   #1 – PWD GSI PROJECT #50120, RECEIVED 11/26/2019
4. SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
5. IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
6. UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20200520979). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1–800–242–1776 SHALL BE CONTACTED AT LEAST 3–10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
7. INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
8. PROJECT SITE IS LOCATED WITHIN THE SP–PO–A DISTRICT.



SITE



VICINITY MAP

DELAWARE DIRECT WATERSHED (SOUTH) MANAGEMENT DISTRICT A
SCALE 1"=100'

LIMIT OF DISTURBANCE (LOD) SUMMARY		
ON–SITE	2,307 S.F.	0.053 ACRES
PUBLIC R.O.W.	–	–
TOTAL	2,307 S.F.	0.053 ACRES

0 10' 20' 40'
SCALE: 1" = 20'–0"

PROTECT YOURSELF

PENNSYLVANIA UNDER GROUND LOCATION 1–800–242–1776 STOP – CALL BEFORE YOU DIG!

WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE

Pennsylvania One Call System, Inc.
1–800–242–1776

ACT 187

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.

PENNSYLVANIA ONE CALL: 1–800–242–1776

PHILADELPHIA WATER DEPARTMENT
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PHILADELPHIA, PENNSYLVANIA
(215) 685–6270

PHILADELPHIA GAS WORKS
800 W. MONTGOMERY AVENUE, 3RD FLOOR
PHILADELPHIA, PENNSYLVANIA 19122
(215) 684–6796

PECO–CONSTRUCTION DEPARTMENT
2301 MARKET STREET
PHILADELPHIA, PENNSYLVANIA 19103
(215) 731–3264

VERIZON
900 RACE STREET
PHILADELPHIA, PENNSYLVANIA 19107
(215) 351–8947

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1351 S. COLUMBUS BOULEVARD
PHILADELPHIA, PENNSYLVANIA 19147
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856 287 2424

Seal:

By: TN	Checked: RSB	Scale: AS NOTED
Date: 04/15/2024		

Drawing Title:
PROPOSED SITE PLAN

Drawing No.:
C3.0

LEGEND

EXISTING

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- CONTOUR LINE
- GAS LINE
- POTABLE WATER
- SEWER (COMBINED)
- SANITARY SEWER
- STORM DRAIN
- TELECOM CONDUIT
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- SIGN
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- FLAG POLE

EROSION & SEDIMENT CONTROL LEGEND

- COMPOST FILTER SOCK, 12" DIAMETER
- SAFETY FENCE
- TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE (LOD)
- RUMBLE PAD CONSTRUCTION ENTRANCE
- FILTER BAG INLET PROTECTION

EROSION AND SEDIMENT CONTROL (E&SC) NOTES:

1. EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT ALONG LIMIT OF DISTURBANCE LINE WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN

2. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND SHALL SAFELY AND LEGALLY DISPOSE OF ALL THESE ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND REGULATORY AUTHORITY HAVING JURISDICTION. RECYCLING MUST BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS. BURNING OF ANY DEMOLISHED MATERIALS ON-SITE SHALL NOT BE PERMITTED. RECYCLING OF DEMOLITION DEBRIS SHALL BE APPROVED BY THE OWNER. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.

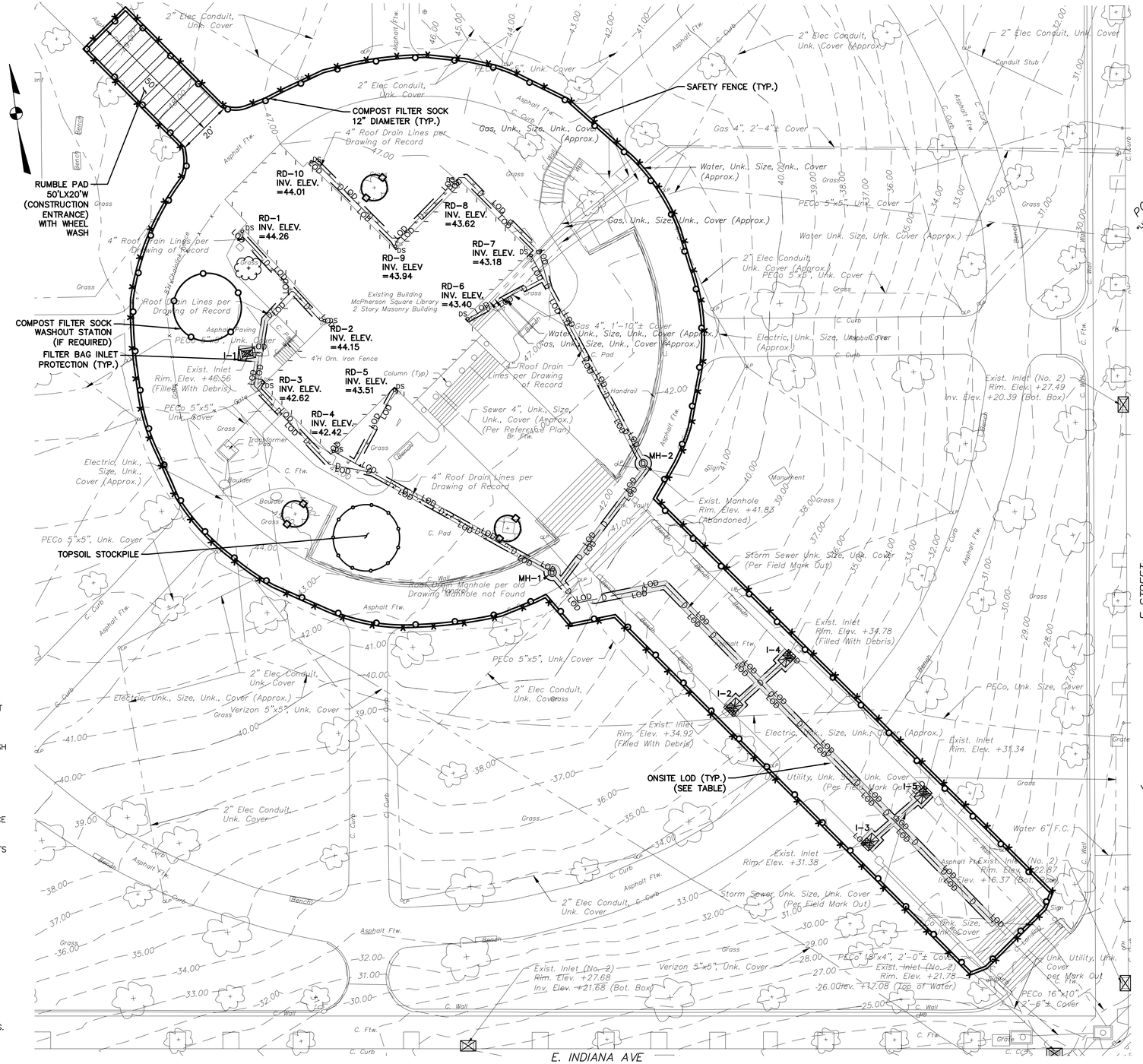
3. COMPOST FILTER SOCK ON PAVING TO BE WEIGHTED DOWN BY OBJECTS OF CONSIDERABLE MASS (SAND BAGS, CONCRETE BLOCK OR OTHER SUITABLE MATERIAL). COMPOST FILTER SOCK TO BE INSTALLED DOWNSTREAM OF ALL EARTH MOVING ACTIVITIES.

4. RUMBLE PAD CONSTRUCTION ENTRANCE TO BE SIZED IN ACCORDANCE WITH PA DEP MINIMUM REQUIREMENTS OF 50'L X 20'W AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS.

5. CONSTRUCTION, DEMOLITION AND EARTHWORK DUST CONTROL TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DUST CONTROL REQUIREMENTS (AIR MANAGEMENT REGULATION (AMR) II. SECTION IX.) AND TO INCLUDE BUT NOT LIMITED TO:

   a. NOTIFY OCCUPANTS OF NEARBY PROPERTIES, IN WRITING 10 DAYS BEFORE ENGAGING IN EARTHWORK, CONSTRUCTION AND DEMOLITION ACTIVITIES.
   b. USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING OR CUTTING.
   c. APPLICATION OF WATER OR APPROVED DUST CONTROL SUPPRESSANT DURING EXCAVATION, DEMOLITION AND/OR CONSTRUCTION TO SUPPRESS DUST FORMATION.
   d. COVERING AND WETTING OF STOCKPILES EARTH, SAND, GRAVEL AND OTHER SIMILAR CONSTRUCTION MATERIALS.
   e. ALL PERIMETER FENCING MUST HAVE DUST CONTROL FABRIC AND MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF FENCING.
   f. 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
   g. WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.

6. PERMANENT INLET PROTECTION TO BE INSTALLED ON ALL INLETS THAT DRAIN TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH THE SPECIFICATIONS.



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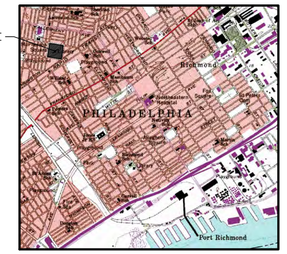
VICINITY MAP



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SCALE 1"=100'

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Seal:

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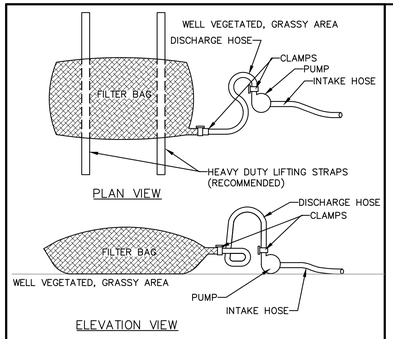
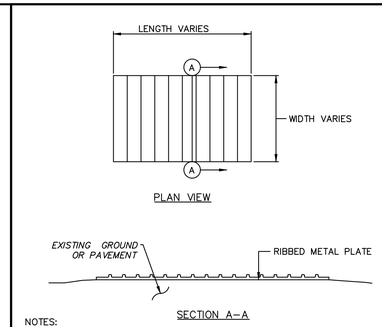
Date: 04/15/2024

Drawing Title: EROSION AND SEDIMENT CONTROL PLAN

Drawing No.: C6.0



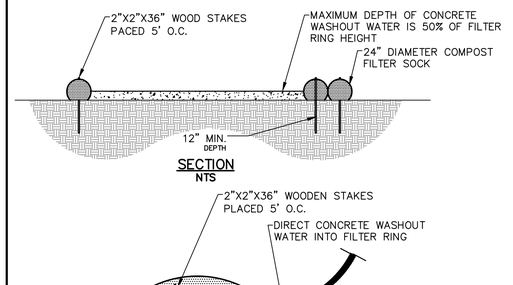
PUMPED WATER FILTER BAG



NOTES:

1. PRE-CONSTRUCTED RUMBLE PADS ARE TO BE USED IN LIEU OF ROCK CONSTRUCTION ENTRANCE. RUMBLE PAD SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND A SUFFICIENT NUMBER OF PADS SHALL BE INSTALLED TO PROVIDE FOR A MINIMUM OF FOUR (4) TIRE REVOLUTIONS WHILE ON THE PAD. MORE PADS MAY BE NEEDED DEPENDING ON SITE CONDITIONS. ACCUMULATED MATERIALS SHOULD BE CLEANED FROM THE PADS DAILY (MORE OFTEN IF NECESSARY) AND DISPOSED IN THE MANNER SPECIFIED BY THE PLAN.
2. MINIMUM SIZE 50'L X 20'W

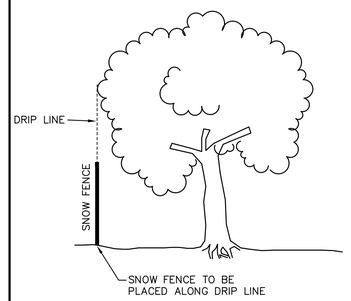
RUMBLE PAD (CONSTRUCTION ENTRANCE)



NOTES:

1. INSTALL ON FLAT GRADE FOR OPTIMAL PERFORMANCE.
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

COMPOST SOCK WASHOUT STATION



NOTE: 4' HIGH SNOW FENCE SHALL BE ERECTED ALONG THE DRIPLINE OF ALL TREES TO REMAIN, PRIOR TO CONSTRUCTION.

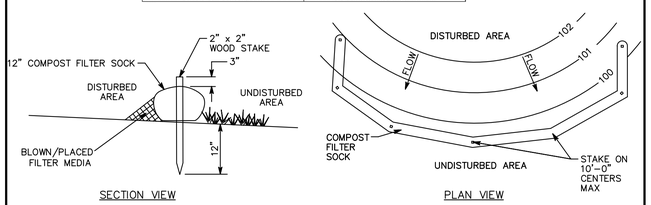
TREE PROTECTION DETAIL

TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-ply systems					
Inner Containment Netting	HDPE biaxial net Continuously wound Fusion-welded junctures 3/4" X 3/4" Max. aperture size				
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch) 3/16" Max. aperture size				
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.					

TABLE 4.2
Compost Standards

Organic Matter Content	80% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.0
Moisture Content	35% - 55%
Particle Size	98% pass through 1" screen
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum



1. REMOVE DEPOSITS WHEN SEDIMENT ACCUMULATION IS ONE HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
2. PLACE COMPOST FILTER SOCK ON LEVEL GRADE. EXTEND BOTH ENDS OF THE COMPOST FILTER SOCK AT LEAST 8'-0" UPSLOPE AT 45 DEGREES TO THE MAIN ALIGNMENT.
3. REPLACE BIODEGRADABLE FILTER SOCK AFTER 6 MONTHS; PHOTODEGRADABLE AFTER 12 MONTHS.
4. ALL DIMENSIONS ARE IN U.S. CUSTOMARY UNITS.
5. CONTRACTOR SHALL PROVIDE SAND BAGS, CONCRETE BLOCKS, OR OTHER SUITABLE MATERIAL TO STABILIZE COMPOST FILTER SOCK ON PAVED AREAS AND PREVENT IT FROM MOVING OR SHIFTING.
6. STABILIZING DEVICES SHALL BE SPACED 10 FEET ON CENTER OR AS RECOMMENDED BY THE MANUFACTURER, WHICHEVER IS LESS.
7. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
8. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

COMPOST FILTER SOCK, 12" DIAMETER

TOPSOIL APPLICATION

Graded areas should be scarified or otherwise loosened to a depth of 3 to 5 inches to permit bonding of the topsoil to the surface areas and to provide a roughened surface to prevent topsoil from sliding down slope.

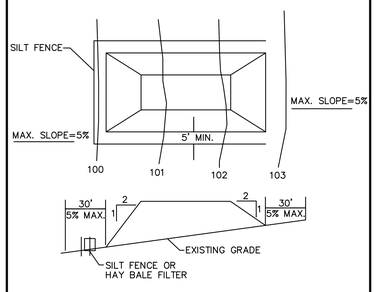
Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 8 inches minimum — 2 inches on fill outslopes. Spreading should be done in such a manner that sodding or seeding can proceed with a minimum of additional preparation or tillage. Irregularities in the surface resulting from topsoil placement should be corrected in order to prevent formation of depressions unless such depressions are part of the PCSM plan.

Topsoil should not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet, or in a condition that may otherwise be detrimental to proper grading and seedbed preparation. Compacted soils should be scarified 6 to 12 inches along contour wherever possible prior to seeding.

TABLE 11.1
Cubic Yards of Topsoil Required for Application to Various Depths

Depth (in)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

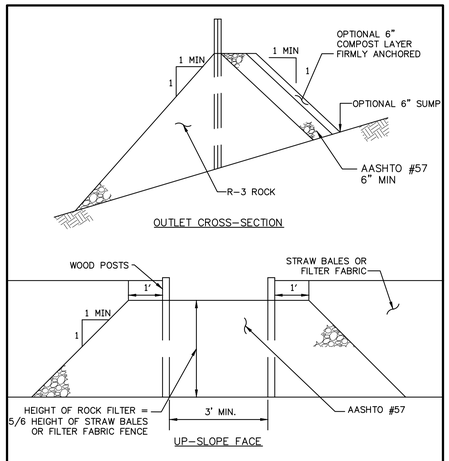
Adapted from VA DSWC



NOTES:

1. PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
3. STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIRED.
4. SILT FENCE SHALL BE INSTALLED AS DETAILED HEREON.
5. STOCKPILE NOT TO EXCEED 20 FEET IN HEIGHT.

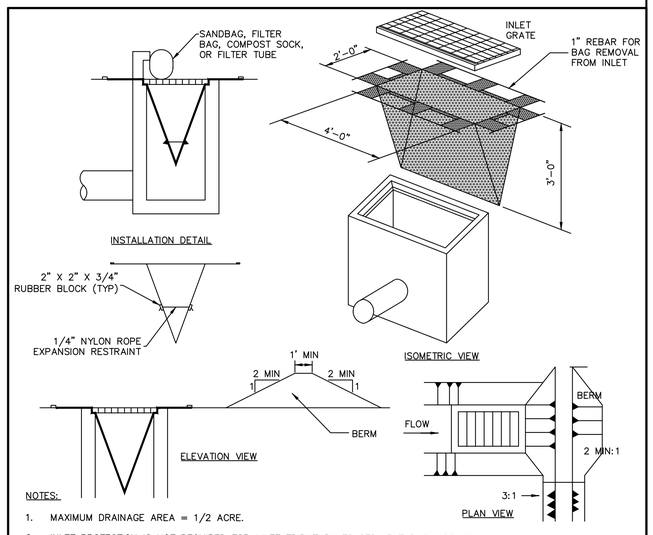
TEMPORARY STOCKPILE



Notes:

1. A rock filter outlet shall be installed where failure of a silt fence or straw barrier has occurred due to concentrated flow. Anchored compost layer shall be used on upslope face in HQ and EV watersheds.
2. Sediment must be removed when accumulations reach 1/3 the height of the outlet.

ROCK FILTER OUTLET (IF REQUIRED)



NOTES:

1. MAXIMUM DRAINAGE AREA = 1/2 ACRE.
2. INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.
3. EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.
4. DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS

FILTER BAG INLET PROTECTION

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Seal:

By: TN	Checked: RSS	Scale: AS NOTED

Date: 04/15/2024

Drawing Title:
EROSION AND SEDIMENT CONTROL DETAILS

Drawing No.:
C6.1

STANDARD EROSION AND SEDIMENT CONTROL NOTES:

1. AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
3. PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE FUNCTIONING IN ACCORDANCE WITH THE APPROVED PLANS.
4. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
5. THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.
6. THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
7. FILTER FABRIC FENCE SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FILTER FENCE.
8. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
9. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND PA DEP.
11. UNTIL THE SITE IS STABILIZED, ALL E&S BMP'S SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMP'S PRIOR TO ANY ANTICIPATED STORM EVENT, AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
12. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
13. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION.
15. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
16. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE BMP'S SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
17. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
18. A LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.
19. ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE FOLLOWNG MANNER: REMOVAL AND DISPOSAL TO BE AT AN OFF-SITE LOCATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
20. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES -- SIX TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.
21. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
22. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS.
23. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
24. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
25. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
26. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
27. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
28. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUB-AREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
29. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
30. E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP'S APPROVED BY PWD AND PA DEP.
31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMP'S SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
32. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. (WHEN APPLICABLE)
33. DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE PCSMP APPROVED BY PWD (WHERE APPLICABLE). NO CHANGE OR DEVIATION FROM THE APPROVED PCSMP IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD.
34. ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT "WATER MAIN STANDARD DETAILS AND CORROSION CONTROL SPECIFICATIONS", 1985 EDITION, AND "STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS", 1985 EDITION.
35. CONTACT PWD WATER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR, PHONE: 215-685-6271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED PWD FACILITIES.
36. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
37. A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING OR STRUCTURE THAT IS MORE THAN THREE (3) STORIES, GREATER THAN FORTY (40) FEET TALL, OR ENCOMPASSES MORE THAN TEN THOUSAND (10,000) SQUARE FEET; COMPLETELY OR PARTIALLY DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLOSION; OR ENGAGING IN EARTHWORKS, DEFINED AS "CLEAING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND EXCESS OF 5,000 SQUARE FEET."

SITE STABILIZATION METHODS (TEMPORARY & PERMANENT STABILIZATION)

1. STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
2. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.
3. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

TEMPORARY SEEDING

1. THE FOLLOWING SURFACES OF THE SITE SHALL BE TEMPORARILY SEEDED AND MULCHED:
   A. THE SURFACE OF TOPSOIL STOCKPILES.
   B. THE SURFACE OF EXPOSED EARTH AREAS THAT WILL BE EXPOSED WITHOUT CONSTRUCTION ACTIVITY THEREON.
2. SEEDING SHALL OCCUR IMMEDIATELY AFTER ESTABLISHMENT OF THE TOPSOIL STOCKPILES OR ROUGH GRADED AREAS. THE FOLLOWING SHALL BE PLANTED:
   A. 40 LBS./ACRE ANNUAL RYE GRASS – COMMON, 100% P.L.S.
3. PREPARE AREAS TO BE SEEDED AS FOLLOWS:
   A. REMOVE ALL DEBRIS, INCLUDING LARGE STONES. APPLY LIME AT A RATE OF 3 TONS PER ACRE AND FERTILIZER AT THE RATE OF 50-50-50 PER ACRE AND WORK INTO SOIL.
   B. SOW SEED AT THE INDICATED RATE. DIVIDE SEED INTO TWO EQUAL LOTS. SOW ONE LOT IN ONE DIRECTION. SOW SECOND LOT AT RIGHT ANGLE TO FIRST. RAKE SEEDED AREA SLIGHTLY. ROLL SURFACE LIGHTLY TO FIRM SOIL AROUND SEED.
4. PLACE CLEAN DRY STRAW OR HAY MULCH WITHIN 48 HOURS AFTER SEEDING. PLACE AT THE RATE OF 3 TONS PER ACRE.
5. SEEDING DATES SHALL BE BETWEEN MARCH 1 AND NOVEMBER 15.

TEMPORARY MULCHING

1. MULCH PROPOSED LANDSCAPE AREAS OR TOPSOIL STOCKPILES IF EARTHWORK IS COMPLETED OUTSIDE OF THE RECOMMENDED PLANTING SEASONS FOR TEMPORARY SEEDING OR DUE TO UNFAVORABLE WEATHER CONDITIONS.
2. MULCH SHALL BE APPLIED IMMEDIATELY FOLLOWING THE ESTABLISHMENT OF THE TOPSOIL STOCKPILE OR ROUGH GRADING.
3. MULCH WITH SUITABLE FIBROUS GROUND, SHREDDED AGED HARDWOOD, PINE WOOD BARK OR STRAW, UNIFORMLY AND CONTINUOUSLY TO A LOOSE DEPTH OF 3 INCHES MINIMUM. ANCHOR AS REQUIRED.
4. PROPERLY MAINTAIN MULCHED AREAS UNTIL PERMANENT STABILIZATION MEASURES ARE COMPLETE. REAPPLY MULCH MATERIALS WHICH BECOME DISLODGED AS INITIAL OR MODIFIED RATES AS NECESSARY. IF A SLOPE FAILURE OCCURS WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE, REPLACE MULCH AS NECESSARY.

PERMANENT SEEDING

1. PERMANENT SEEDING SHALL OCCUR IMMEDIATELY AFTER THE FINAL GRADING IS COMPLETED. THE FOLLOWING SEED SHALL BE PLACED UNLESS OTHERWISE SPECIFIED ON THE PLANS OR DIRECTED IN THE FIELD.
   THE FOLLOWING SEED MIX SHALL BE USED:
   A. 40% PENNLAWN FINE FESCUE
   B. 3% RED TOP
   C. 20% CHAMPION PERENNIAL RYE GRASS QUANTITIES ARE OF PURE LIVE SEED (P.L.S.) SPREAD AT A RATE OF 63 LBS. PER ACRE.
2. REMOVE ALL DEBRIS, INCLUDING LARGE STONES. TILL SOIL TO A DEPTH OF FOUR INCHES TO SIX INCHES. APPLY LIME AT A RATE OF 4 TONS PER ACRE. APPLY COMMERCIAL 10-20-20 FERTILIZER AT A RATE OF 930 LBS. PER ACRE. WORK FERTILIZER INTO TOP INCH OF SOIL.
3. SEED ONLY AT THE FOLLOWING TIMES:
   A. SPRING: MARCH 1 TO APRIL 30
   B. LATE SUMMER/EARLY FALL: AUGUST 15 TO NOVEMBER 15
4. DIVIDE SEED INTO TWO EQUAL LOTS. SOW ONE LOT IN ONE DIRECTION. SOW SECOND LOT AT RIGHT ANGLE TO FIRST LOT. RAKE SEEDED AREA SLIGHTLY. ROLL SURFACE LIGHTLY TO FIRM SOIL AROUND SEED.
5. MULCH SEEDED AREAS WITH STRAW OR HAY AT THE RATE OF 3 TONS PER ACRE. ANCHOR MULCH. COMPLY WITH THE REQUIREMENTS OF SECTION 805 – MULCHING, PENNDOT PUBLICATION 408. ANCHOR MULCH AS SPECIFIED.
6. MULCHING SHALL BE DONE AT THE MINIMUM RATE OF 3 TONS PER ACRE WITH SALT HAY, HAY OR STRAW MULCHES. PLACE MULCH IMMEDIATELY AFTER SEEDING OR WITHIN 48 HOURS AFTER SEEDING IS COMPLETED. PROPERLY MAINTAIN MULCHED AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. PROMPTLY REAPPLY MULCH MATERIALS WHICH BECOME DISLODGED OR LOST DUE TO WIND, RAIN, OR OTHER CAUSES AT INITIAL RATES OR AS DIRECTED.
7. LIQUID MULCH BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCHES.
   A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREAS SHOULD BE UNIFORM IN APPEARANCE.
   B. USE ONE OF THE FOLLOWING: EMULSIFIED ASPHALT, CLASS E-1 OR E-6. APPLY 31 GALLONS PER 1,000 SQUARE YARDS ON SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET HIGH OR MORE, USE 58 GALLONS PER 1,000 SQUARE YARDS. CUTBACK ASPHALT, CLASS RC-250. APPLY 31 GALLONS PER 1,000 SQUARE YARDS ON FLAT AREAS AND ON SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET HIGH OR MORE, USE 58 GALLONS PER 1,000 SQUARE YARDS. NON-ASPHALTIC EMULSION – NATURAL VEGETABLE GUM BLENDED WITH GELLING AND HARDENING AGENTS (TERRA TACK, AR) AS MANUFACTURED BY GRASS GROWERS COMPANY OR EQUAL. APPLY 25 LBS. PER 1,000 SQUARE YARDS.

MAINTENANCE PROGRAM

1. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION STABILIZATION, AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN.
2. THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT CONTROL MEASURES.
3. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING,AND RENETTING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
4. SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF AT AN OFF-SITE LOCATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
5. SOIL SEDIMENT REMOVED FROM SILT FENCE DURING REGULAR MAINTENANCE WILL BE INCORPORATED BACK INTO THE EARTHWORK AS FILL ON THE SITE. SOIL SEDIMENT MATERIAL SHALL BE DISTRIBUTED ON-SITE WITHOUT CHANGING DRAINAGE PATTERNS DURING A SPECIFIC CONSTRUCTION STAGE. SILT FENCE INSTALLED ON THE PROJECT SITE SHALL BE MAINTAINED AS FOLLOWS:
   A. THE FENCE CONDITION WILL BE INSPECTED ONCE A WEEK OR AFTER EVERY STORM EVENT, WHICHEVER COMES FIRST. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
   B. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. DEPOSITS WILL BE REMOVED WHERE ACCUMULATIONS REACH ONE-HALF THE ABOVE-GROUND HEIGHT OF THE FENCE.
   C. UNDERCUTTING OR EROSION OF THE TOE ANCHOR WILL BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS.
   D. ANY MANUFACTURER'S RECOMMENDATIONS WILL BE ADHERED TO WHEN REPLACING FILTER FABRIC FENCE DUE TO WEATHERING.
6. AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON PUBLIC ROADWAYS, WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER WILL NOT BE PERMITTED.
7. OTHER BMP'S
   A. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.

CONSTRUCTION SEQUENCE:

1. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN EARTH MOVNG ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE CITY OFFICIALS, THE EROSION AND SEDIMENT CONTROL PREPARER, AND REPRESENTATIVE OF THE CITY OF PHILADELPHIA EROSION AND SEDIMENT CONTROL OFFICE TO AN ON-SITE MEETING. INCLUDE A REPRESENTATIVE FROM PWD'S EROSION AND SEDIMENT CONTROL INSPECTION GROUP BY CONTACTING THE INSPECTIONS COORDINATOR OF PWD (OFFICE 215-685-6387).
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
3. CONSTRUCTION FENCE TO BE INSTALLED AROUND THE PERIMETER OF THE WORK AREA. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE FENCE WITH THE OWNER AND/OR ENGINEER. CONSTRUCTION FENCE LOCATION SHALL BE INSTALLED TO PROTECT THE PUBLIC FROM LAND DISTURBANCE ACTIVITIES AND TO MAINTAIN PEDESTRIAN ACCESS.
4. INSTALL COMPOST FILTER SOCK DOWNHILL FROM ALL EARTH MOVING ACTIVITIES AND AS SHOWN ON THE PLAN. ALTHOUGH OFF SITE AREAS ARE PAVED, COMPOST FILTER SOCK OR OTHER EROSION CONTROL PRACTICES SHALL BE INSTALLED AROUND THE PERIMETER OF THE WORK AREA AS SHOWN ON THE PLAN.
5. INSTALL INLET PROTECTION AS SHOWN ON THE PLAN. EXISTING INLETS SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONSTRUCTION.
6. INSTALL CONSTRUCTION ENTRANCE AS SHOWN AND IN ACCORDANCE WITH THE CONSTRUCTION ENTRANCE DETAIL.
7. CLEAR AND GRUB SITE, DEMOLISH EXISTING PAVING, CURBING, AND FENCING AS REQUIRED. SAWCUT PAVED AREAS AS NEEDED TO MINIMIZE EARTH DISTURBANCE. EXCAVATE TRENCHES FOR PROPOSED SEWER CONNECTIONS. DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISCARDED IN ACCORDANCE WITH APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
8. ROUGH GRADE SUBBASE TO REQUIRED DEPTHS.
9. INSTALL ALL INLETS AND PIPING IN ACCORDANCE WITH THE PLAN DRAWINGS. PHOTOGRAPH INLETS SHOWING THE PROPERLY INSTALLED SUMP (WITH TAPE MEASURE AS SIZE REFERENCE) AND TRAP/HOOD (INCLUDING GROUTING) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. CONFIRM, MEASURE, AND PHOTOGRAPH INLET AND INLET SUMP DEPTHS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL AND PHOTOGRAPH TRAPS/HOODS AS INDICATED ON THE PLANS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL INLET PROTECTION ON INLETS AS THEY BECOME FUNCTIONAL.
10. REMOVE ANY ACCUMULATED DEBRIS OR SEDIMENT THAT HAS TAKEN PLACE AFTER THE APPROVAL OF THE SUBGRADE.
11. INSTALL PROPOSED SITE IMPROVEMENTS.
12. WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER".
13. AS SOON AS SLOPES, CHANNEL DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
14. TOPSOIL AND SEED GRASSED AREAS. INSTALL PLANTS AND TREES.
15. SWEEP PAVED AREAS DAILY TO PREVENT TRACKING OF SOIL OFF-SITE.
16. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL ON THE E&SC BMPS.
17. REMOVE SOIL EROSION MEASURES AFTER SITE HAS BEEN INSPECTED AND STABILIZED.

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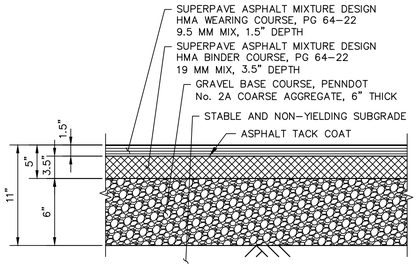
Seal:

By: TN	Checked: RSB	Scale: AS NOTED

Date: 04/15/2024

Drawing Title:
EROSION AND SEDIMENT CONTROL NOTES

Drawing No.:
C6.2



FULL DEPTH ASPHALT PAVEMENT

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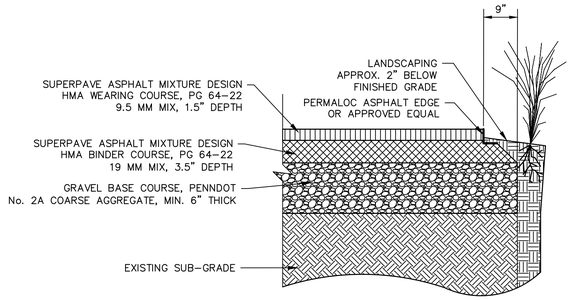

FULL DEPTH PAVING AT LANDSCAPED EDGES

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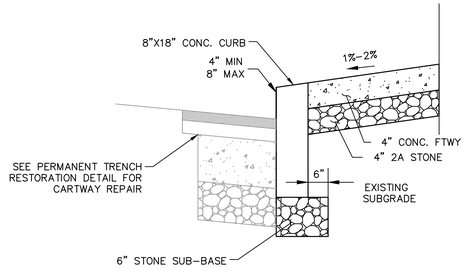
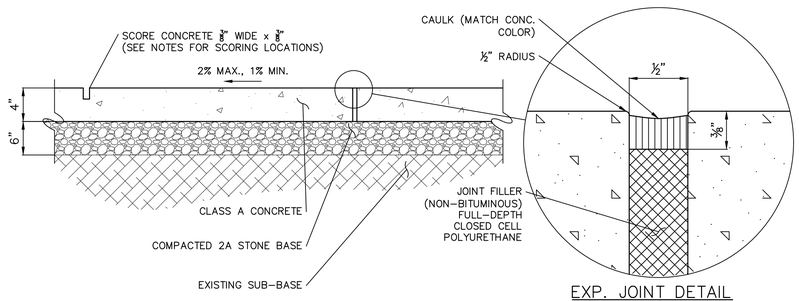


NOTES:
1. SAW-CUT EXISTING BITUMINOUS PAVING AT THE CARTWAY.
2. REMOVE EXISTING CURB AND SIDEWALK TO BE REPLACED.
3. REPLACE NEW CONCRETE CURB AND SIDEWALK.
4. REPLACE SAW-CUT PORTION OF CARTWAY WITH NEW BITUMINOUS PAVEMENT.
5. USE THIS DETAIL AT REPLACEMENT OF EXISTING SIDEWALKS AND CURBS.
6. COMPLY WITH CITY OF PHILADELPHIA STANDARDS.

CONCRETE CURB AND FOOTWAY DETAIL

SCALE: N.T.S.

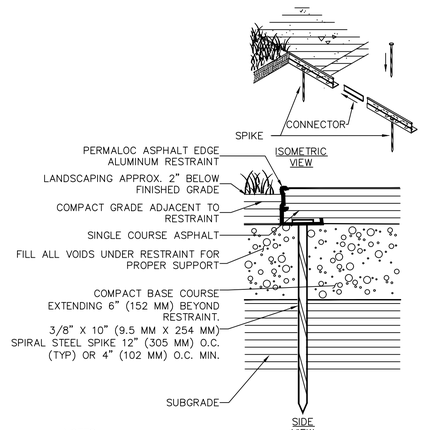


EXP. JOINT DETAIL

NOTES:
1. SPACE EXPANSION JOINTS 20' O.C. UNLESS SHOWN OTHERWISE ON PLANS.
2. INSTALL EXPANSION JOINTS WHERE WALK ABUTS OTHER STRUCTURES.
3. CONCRETE WALKWAY SHALL BE SCORED ON A 5' X 5' GRID. PERPENDICULAR TO THE CURBLINE.

CONCRETE FOOTWAY DETAIL

SCALE: N.T.S.



NOTES:
1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES".
2. 8'-0" (2.44 M) SECTIONS CONNECTED WITH 4" (102 MM) SLIDING CONNECTOR.
3. MAINTAIN 3/8" (9.5 MM) GAP BETWEEN SECTIONS TO ALLOW FOR PRODUCT EXPANSION IN EXTREME TEMPERATURES.
4. CORNERS: NOTCH BASE ONLY AND FORM A CONTINUOUS CORNER.

ASPHALT EDGING DETAIL

SCALE: N.T.S.

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ROOFING CONSULTANT:
Steve McLaughlin
210 Garden Avenue
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856 287 2424

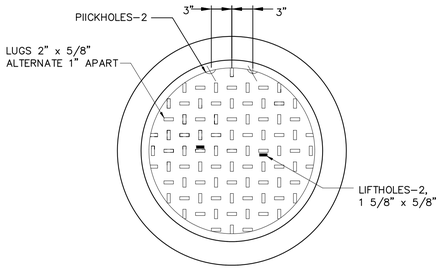
Seal:

By: TN	Checked: RSB	Scale: AS NOTED

Date: 04/15/2024

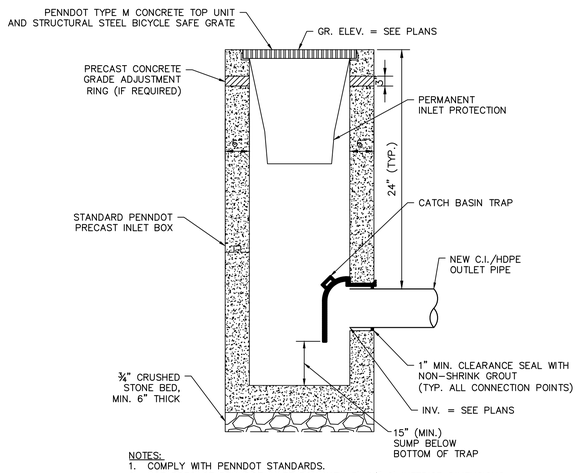
Drawing Title:
CONSTRUCTION DETAILS

Drawing No.:
C7.0



GRAY MANHOLE FRAME AND COVER

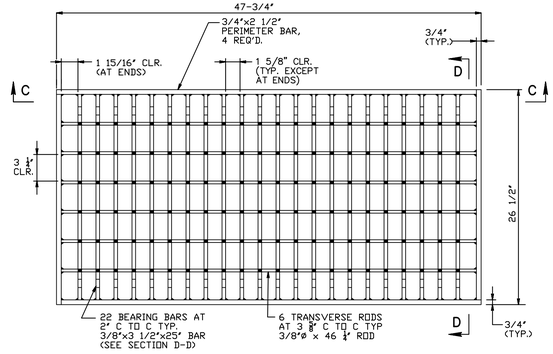
SCALE: N.T.S.

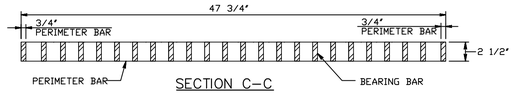


NOTES:
1. COMPLY WITH PENNDOT STANDARDS.
2. USE PRECAST PENNDOT INLET BOX WITH 3'–9¼"x2' INTERIOR DIMENSIONS AND 6" THICK WALLS.
3. SEAL INLET TRAP WITH NON–SHRINK, NON–METALLIC MORTAR. APPLY BITUMIN–TYPE SEALING COMPOUND TO JOINT.
4. PROPOSED INLET TRAP MUST BE AIR TIGHT.
5. USE PENNDOT STANDARD INLET BOX OR APPROVED EQUAL.

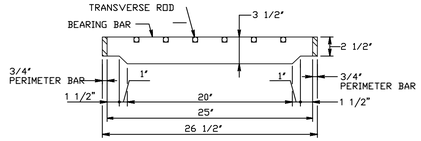
HIGHWAY GRATE INLET

SCALE: N.T.S.





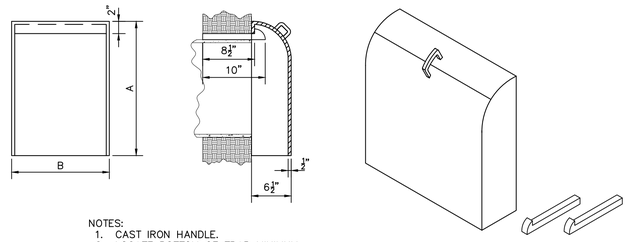
SECTION C–C



SECTION D–D

STRUCTURAL STEEL BICYCLE SAFE GRATE

SCALE: N.T.S.

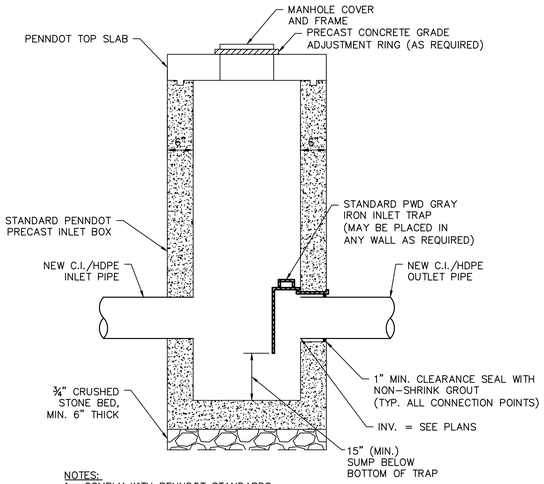


NOTES:
1. CAST IRON HANDLE.
2. LOCATE BOTTOM OF TRAP MINIMUM 6" BELOW FLOW LINE.
3. INSTALL ON FLAT WALL ONLY.

R–3701 CATCH BASIN TRAP – ALL DIMENSIONS IN INCHES				
CATALOG NO.	A (IN)	B(IN)	PIPE SIZE (IN)	SETTING METHOD
R–3701–6	16	12	UP TO 6	ON 2 HOOKS
R–3701–8	18	12	8	ON 2 HOOKS
R–3701–10	20	12	10	ON 2 HOOKS
R–3701–12	22	16	12	ON 2 HOOKS
R–3701–15	25	19	15	ON 2 HOOKS
R–3701–18	28	22	18	ON 2 HOOKS

STANDARD INLET TRAP

SCALE: N.T.S.



NOTES:
1. COMPLY WITH PENNDOT STANDARDS.
2. USE PRECAST PENNDOT INLET BOX WITH 3'–9¾"x2' INTERIOR DIMENSIONS AND 6" THICK WALLS.
3. SEAL INLET TRAP WITH NON–SHRINK, NON–METALLIC MORTAR. APPLY BITUMIN–TYPE SEALING COMPOUND TO JOINT.
4. PROPOSED INLET TRAP MUST BE AIR TIGHT.
5. USE PENNDOT STANDARD INLET BOX OR APPROVED EQUAL.

STANDARD MANHOLE

SCALE: N.T.S.

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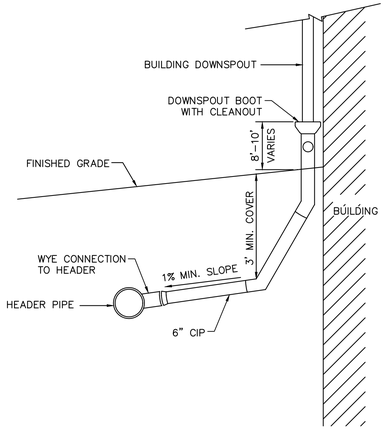
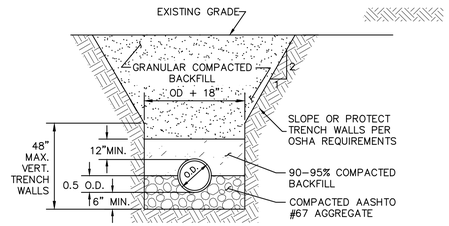
Drawing Title:
UTILITY DETAILS

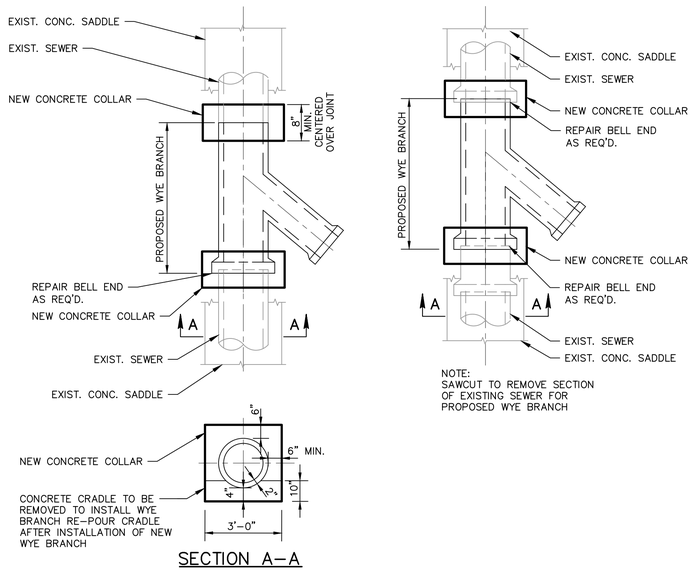
Drawing No.:
C8.0



DOWNSPOUT LATERAL CONNECTION
SCALE: N.T.S.



TRENCH RESTORATION (IN GRASS)
SCALE: N.T.S.



SECTION A-A

PREFABRICATED WYE BRANCH DETAIL
SCALE: N.T.S.

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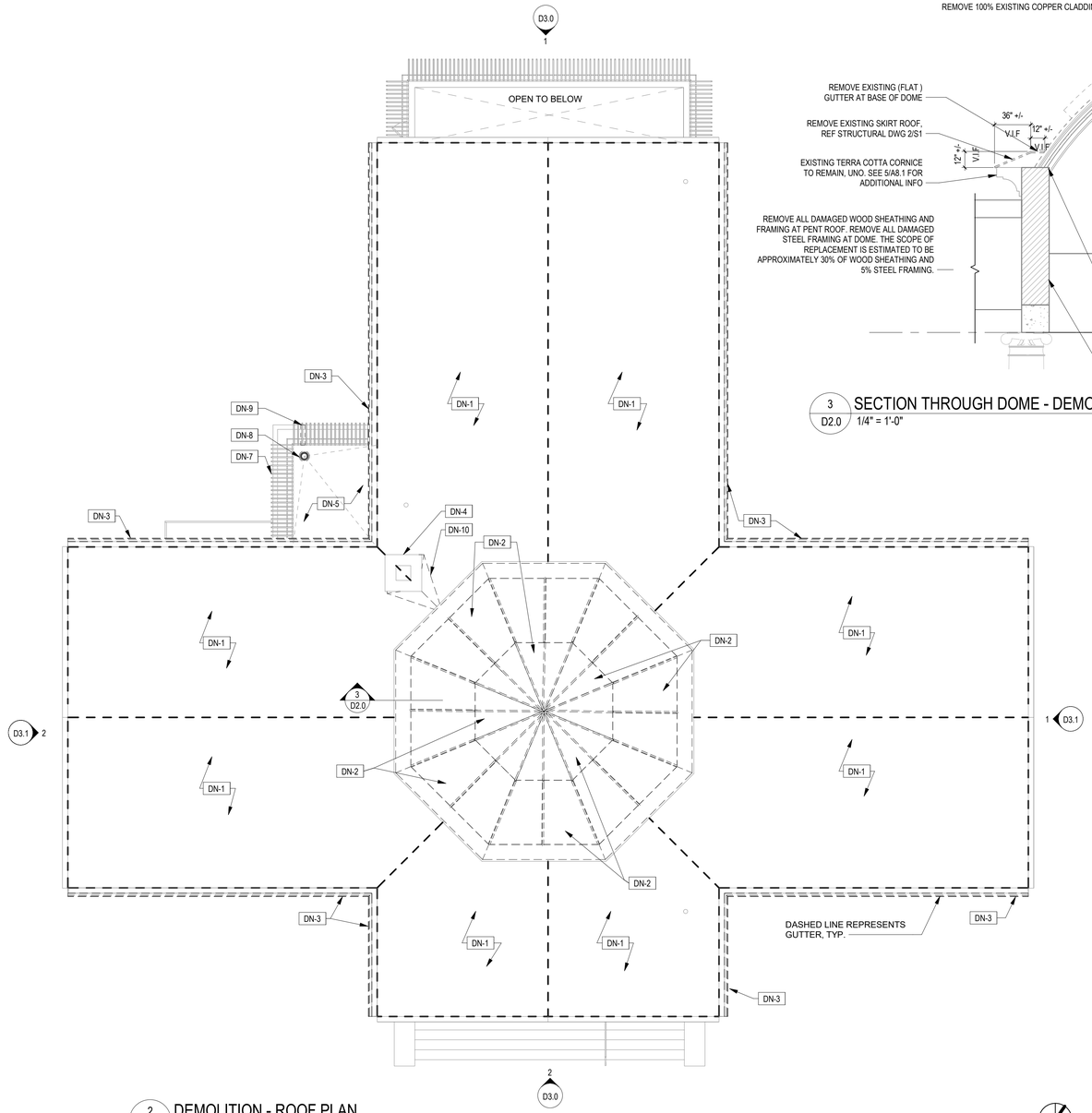
Seal:

By: TN	Checked: RSB	Scale: AS NOTED

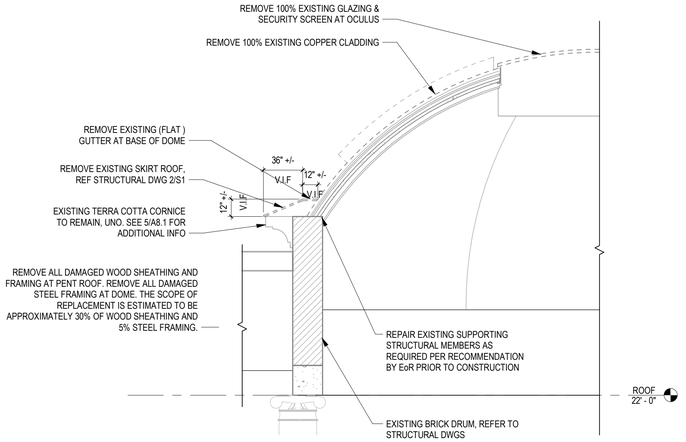
Date: 04/15/2024

Drawing Title:
UTILITY DETAILS

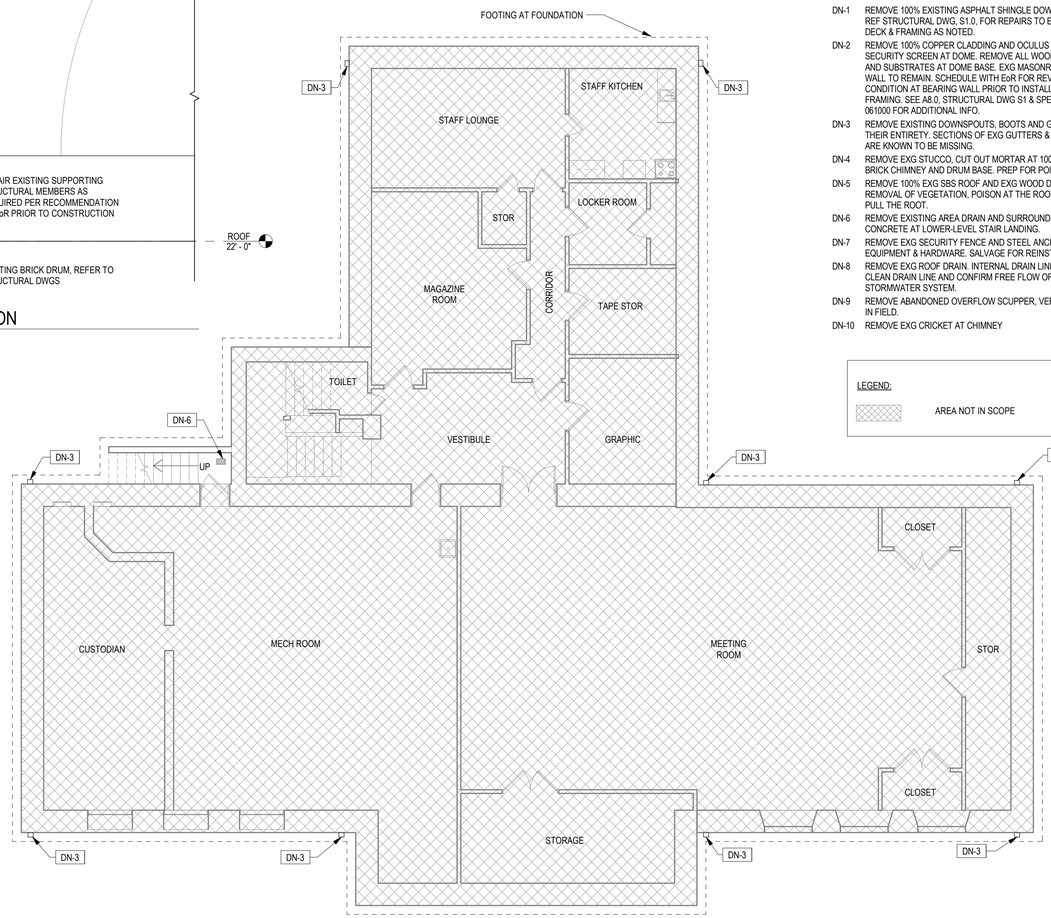
Drawing No.:
C8.1



2 D2.0 DEMOLITION - ROOF PLAN
1/8" = 1'-0"



3 D2.0 SECTION THROUGH DOME - DEMOLITION
1/4" = 1'-0"



1 D2.0 DEMOLITION - BASEMENT LEVEL
1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

1. VERIFY ALL EXG CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
2. CUT A TEMPORARY ACCESS OPENING, BETWEEN RAFTERS, IN EACH QUADRANT OF CROSS-GABLE ROOF FOR REMOVAL OF EXG INSULATION.
3. ALL EXG PIPE PENETRATIONS AT ROOF TO REMAIN.
4. REPAIR EXG STRUCTURAL FRAME AS NOTED ON STRUCTURAL DRAWINGS S1.0.

KEYED DEMOLITION NOTES

DN-1 REMOVE 100% EXISTING ASPHALT SHINGLE DOWN TO DECK. REF STRUCTURAL DWG, S1.0, FOR REPAIRS TO EXG WOOD DECK & FRAMING AS NOTED.

DN-2 REMOVE 100% COPPER CLADDING AND OCULUS GLAZING AND SECURITY SCREEN AT DOME. REMOVE ALL WOOD BLOCKING AND SUBSTRATES AT DOME BASE. EXG MASONRY BEARING WALL TO REMAIN. SCHEDULE WITH EoR FOR REVIEW OF EXG CONDITION AT BEARING WALL PRIOR TO INSTALLATION OF NEW FRAMING. SEE A8.0, STRUCTURAL DWG S1 & SPEC SECTION 061000 FOR ADDITIONAL INFO.

DN-3 REMOVE EXISTING DOWNSPOUTS, BOOTS AND GUTTERS IN THEIR ENTIRETY. SECTIONS OF EXG GUTTERS & DOWNSPOUTS ARE KNOWN TO BE MISSING.

DN-4 REMOVE EXG STUCCO, CUT OUT MORTAR AT 100% OF EXG BRICK CHIMNEY AND DRUM BASE. PREP FOR POINTING.

DN-5 REMOVE 100% EXG SBS ROOF AND EXG WOOD DECK. FOR REMOVAL OF VEGETATION, POISON AT THE ROOT. DO NOT PULL THE ROOT.

DN-6 REMOVE EXISTING AREA DRAIN AND SURROUNDING AREA OF CONCRETE AT LOWER-LEVEL STAIR LANDING.

DN-7 REMOVE EXG SECURITY FENCE AND STEEL ANCHORAGE EQUIPMENT & HARDWARE. SALVAGE FOR REINSTALLATION.

DN-8 REMOVE EXG ROOF DRAIN. INTERNAL DRAIN LINE TO REMAIN. CLEAN DRAIN LINE AND CONFIRM FREE FLOW OF DRAINAGE TO STORMWATER SYSTEM.

DN-9 REMOVE ABANDONED OVERFLOW SCUPPER, VERIFY LOCATION IN FIELD.

DN-10 REMOVE EXG CRICKET AT CHIMNEY

LEGEND:

AREA NOT IN SCOPE

NOTE:
NO SCOPE OF WORK AT FIRST LEVEL DEMOLITION FLOOR PLAN, HENCE OMITTED FROM SET OF DRAWINGS.

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Seal:

No.	Date	Revision

By: JS	Checked: JGH	Scale: AS NOTED

Date: 04/15/2024

Drawing Title:
DEMOLITION BASEMENT & ROOF PLAN

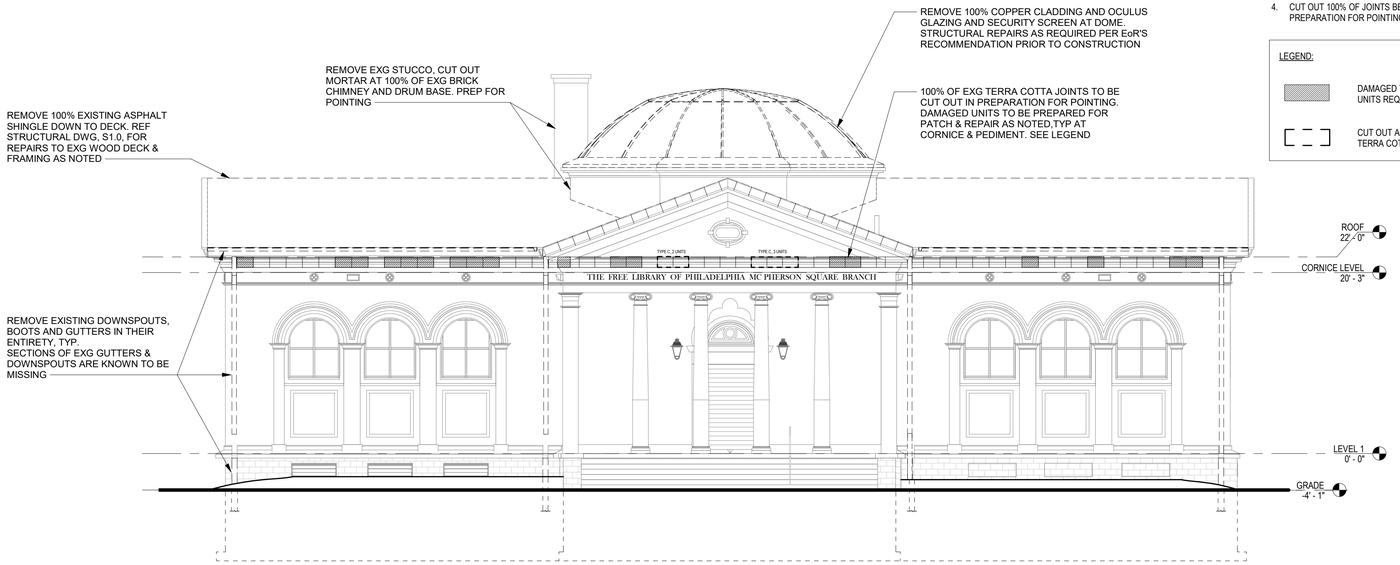
Drawing No.:
D2.0

GENERAL DEMOLITION NOTES:

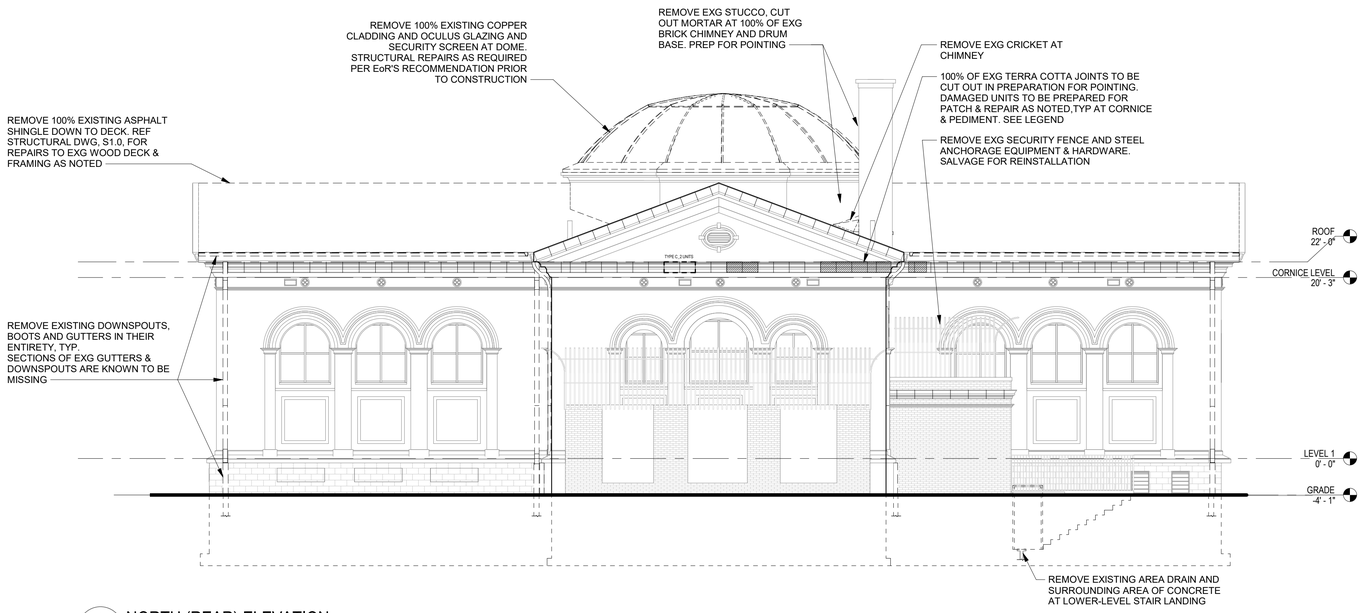
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. CUT A TEMPORARY ACCESS OPENING, BETWEEN RAFTERS, IN EACH QUADRANT OF CROSS-GABLE ROOF FOR REMOVAL OF EXG INSULATION.
3. ALL EXG PIPE PENETRATIONS AT ROOF TO REMAIN.
4. CUT OUT 100% OF JOINTS BETWEEN TERRA COTTA UNITS IN PREPARATION FOR POINTING.

LEGEND:

- DAMAGED TERRA COTTA UNITS. REF A3.0 & A3.1 FOR UNITS REQUIRING REPAIR
- CUT OUT AND REMOVE DESTABILIZED SECTIONS OF TERRA COTTA



2 D3.0 SOUTH (FRONT) ELEVATION
1/8" = 1'-0"



1 D3.0 NORTH (REAR) ELEVATION
1/8" = 1'-0"

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Seal:

No.	Date	Revision

By: JS | Checked: JOH | Scale: AS NOTED

Date: 04/15/2024

Drawing Title:
DEMOLITION EXTERIOR ELEVATIONS

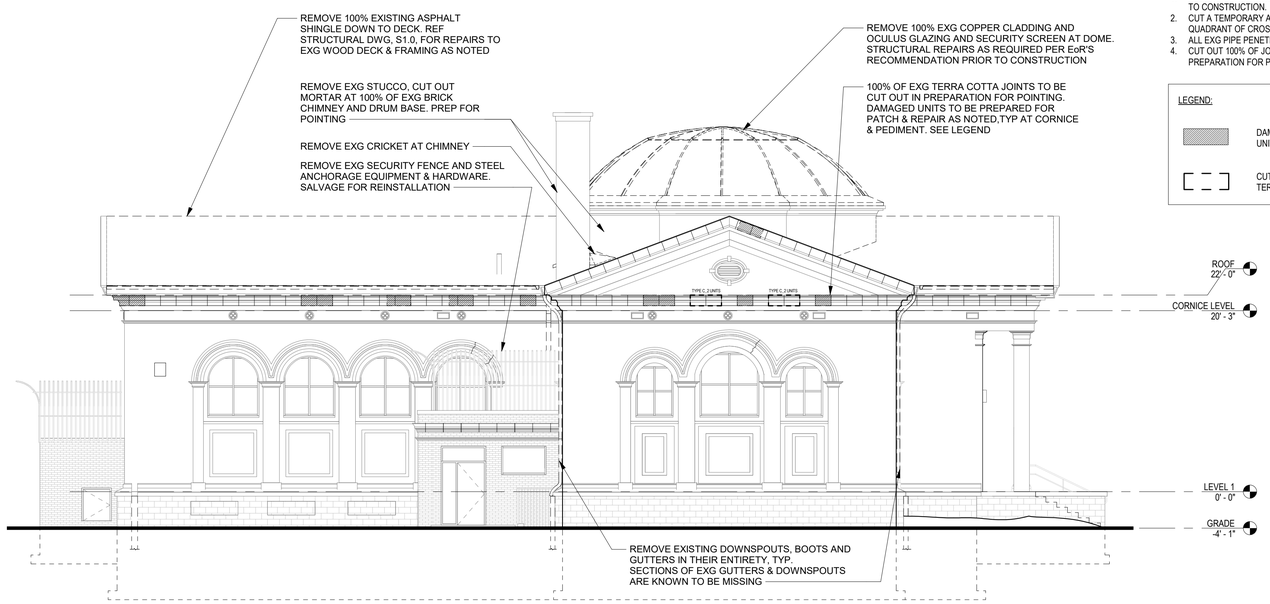
Drawing No.:
D3.0

GENERAL DEMOLITION NOTES:

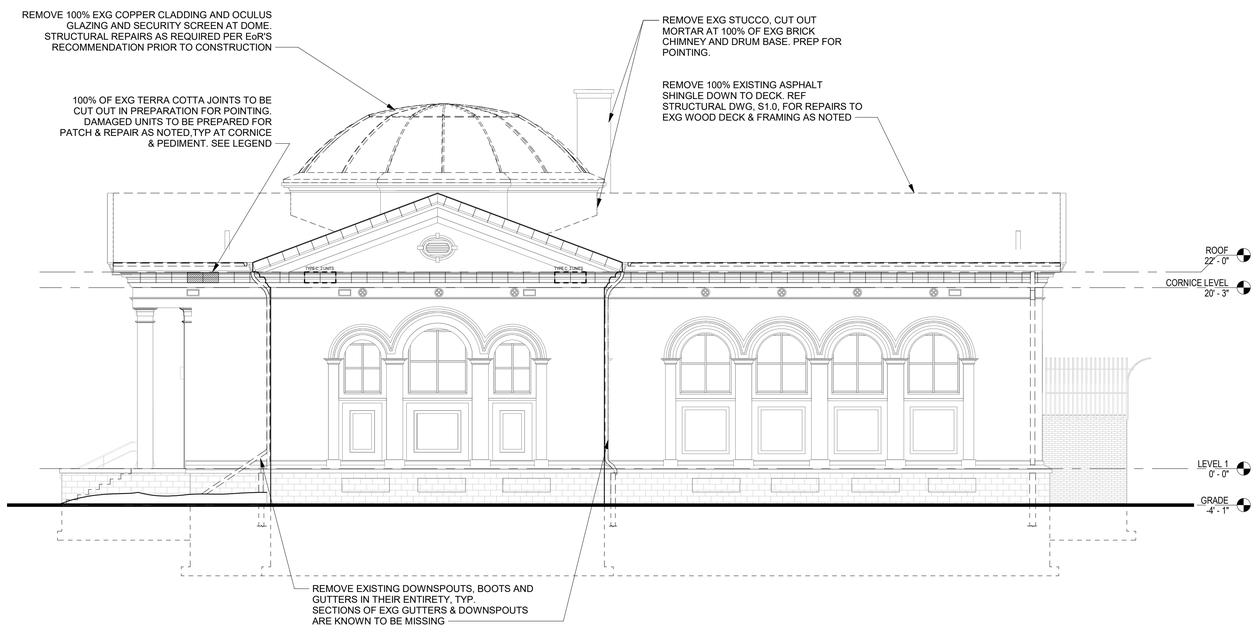
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. CUT A TEMPORARY ACCESS OPENING, BETWEEN RAFTERS, IN EACH QUADRANT OF CROSS-GABLE ROOF FOR REMOVAL OF EXG INSULATION.
3. ALL EXG PIPE PENETRATIONS AT ROOF TO REMAIN.
4. CUT OUT 100% OF JOINTS BETWEEN TERRA COTTA UNITS IN PREPARATION FOR POINTING.

LEGEND:

- DAMAGED TERRA COTTA UNITS. REF A3.0 & A3.1 FOR UNITS REQUIRING REPAIR
- CUT OUT AND REMOVE DESTABILIZED SECTIONS OF TERRA COTTA



2 / D3.1 WEST ELEVATION
1/8" = 1'-0"



1 / D3.1 EAST ELEVATION
1/8" = 1'-0"

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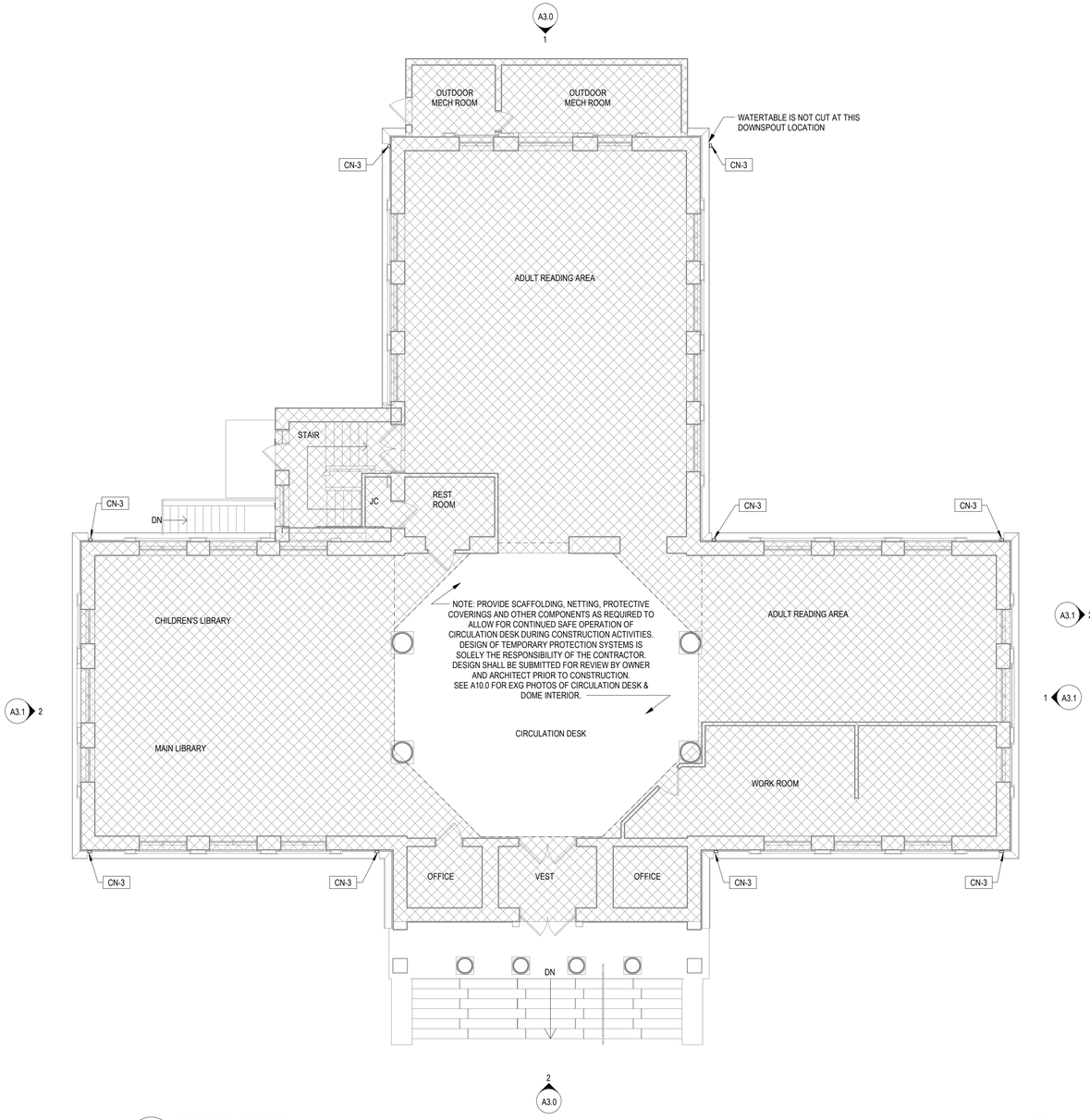
No.	Date	Revision

By: JS	Checked: JGH	Scale: AS NOTED

Date: 04/15/2024

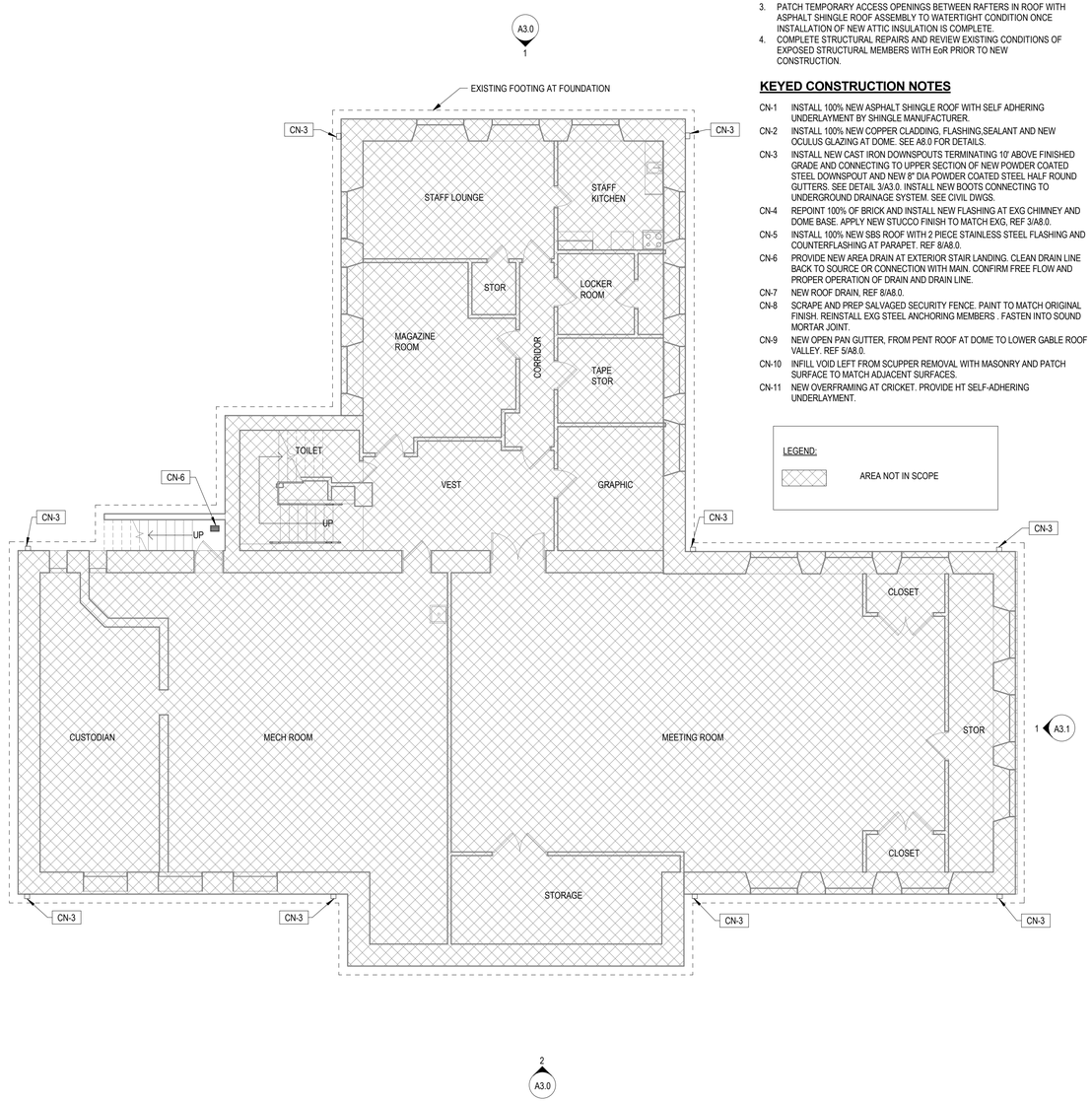
Drawing Title:
DEMOLITION EXTERIOR ELEVATIONS

Drawing No.:
D3.1



2 FIRST FLOOR PLAN

A2.0 1/8" = 1'-0"



1 BASEMENT LEVEL PLAN

A2.0 1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES:

1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
3. PATCH TEMPORARY ACCESS OPENINGS BETWEEN RAFTERS IN ROOF WITH ASPHALT SHINGLE ROOF ASSEMBLY TO WATERTIGHT CONDITION ONCE INSTALLATION OF NEW ATTIC INSULATION IS COMPLETE.
4. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH EoR PRIOR TO NEW CONSTRUCTION.

KEYED CONSTRUCTION NOTES

CN-1 INSTALL 100% NEW ASPHALT SHINGLE ROOF WITH SELF ADHERING UNDERLAYMENT BY SHINGLE MANUFACTURER.

CN-2 INSTALL 100% NEW COPPER CLADDING, FLASHING,SEALANT AND NEW OCULUS GLAZING AT DOME. SEE A8.0 FOR DETAILS.

CN-3 INSTALL NEW CAST IRON DOWNSPOUTS TERMINATING 10' ABOVE FINISHED GRADE AND CONNECTING TO UPPER SECTION OF NEW POWDER COATED STEEL DOWNSPOUT AND NEW 8" DIA POWDER COATED STEEL HALF ROUND GUTTERS. SEE DETAIL 3/A3.0. INSTALL NEW BOOTS CONNECTING TO UNDERGROUND DRAINAGE SYSTEM. SEE CIVIL DWGS.

CN-4 REPOINT 100% OF BRICK AND INSTALL NEW FLASHING AT EXG CHIMNEY AND DOME BASE. APPLY NEW STUCCO FINISH TO MATCH EXG, REF 3/A8.0.

CN-5 INSTALL 100% NEW SBS ROOF WITH 2 PIECE STAINLESS STEEL FLASHING AND COUNTERFLASHING AT PARAPET. REF 8/A8.0.

CN-6 PROVIDE NEW AREA DRAIN AT EXTERIOR STAIR LANDING. CLEAN DRAIN LINE BACK TO SOURCE OR CONNECTION WITH MAIN. CONFIRM FREE FLOW AND PROPER OPERATION OF DRAIN AND DRAIN LINE.

CN-7 NEW ROOF DRAIN. REF 8/A8.0.

CN-8 SCRAPE AND PREP SALVAGED SECURITY FENCE. PAINT TO MATCH ORIGINAL FINISH. REINSTALL EXG STEEL ANCHORING MEMBERS . FASTEN INTO SOUND MORTAR JOINT.

CN-9 NEW OPEN PAN GUTTER, FROM PENT ROOF AT DOME TO LOWER GABLE ROOF VALLEY. REF 5/A8.0.

CN-10 INFILL VOID LEFT FROM SCUPPER REMOVAL WITH MASONRY AND PATCH SURFACE TO MATCH ADJACENT SURFACES.

CN-11 NEW OVERFRAMING AT CRICKET. PROVIDE HT SELF-ADHERING UNDERLAYMENT.

LEGEND:

AREA NOT IN SCOPE

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Seal:

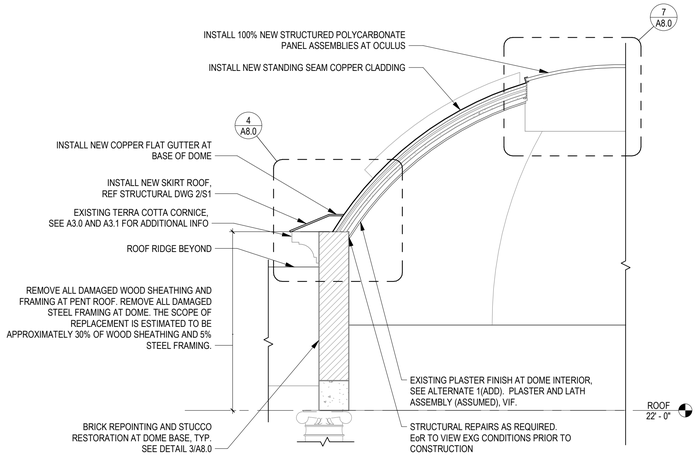
No.	Date	Revision

By: JS | Checked: JGH | Scale: AS NOTED

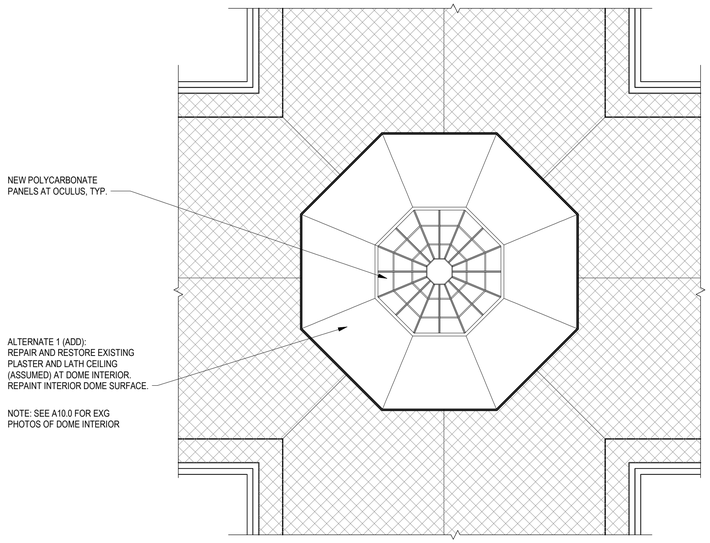
Date: 04/15/2024

Drawing Title: FLOOR PLANS

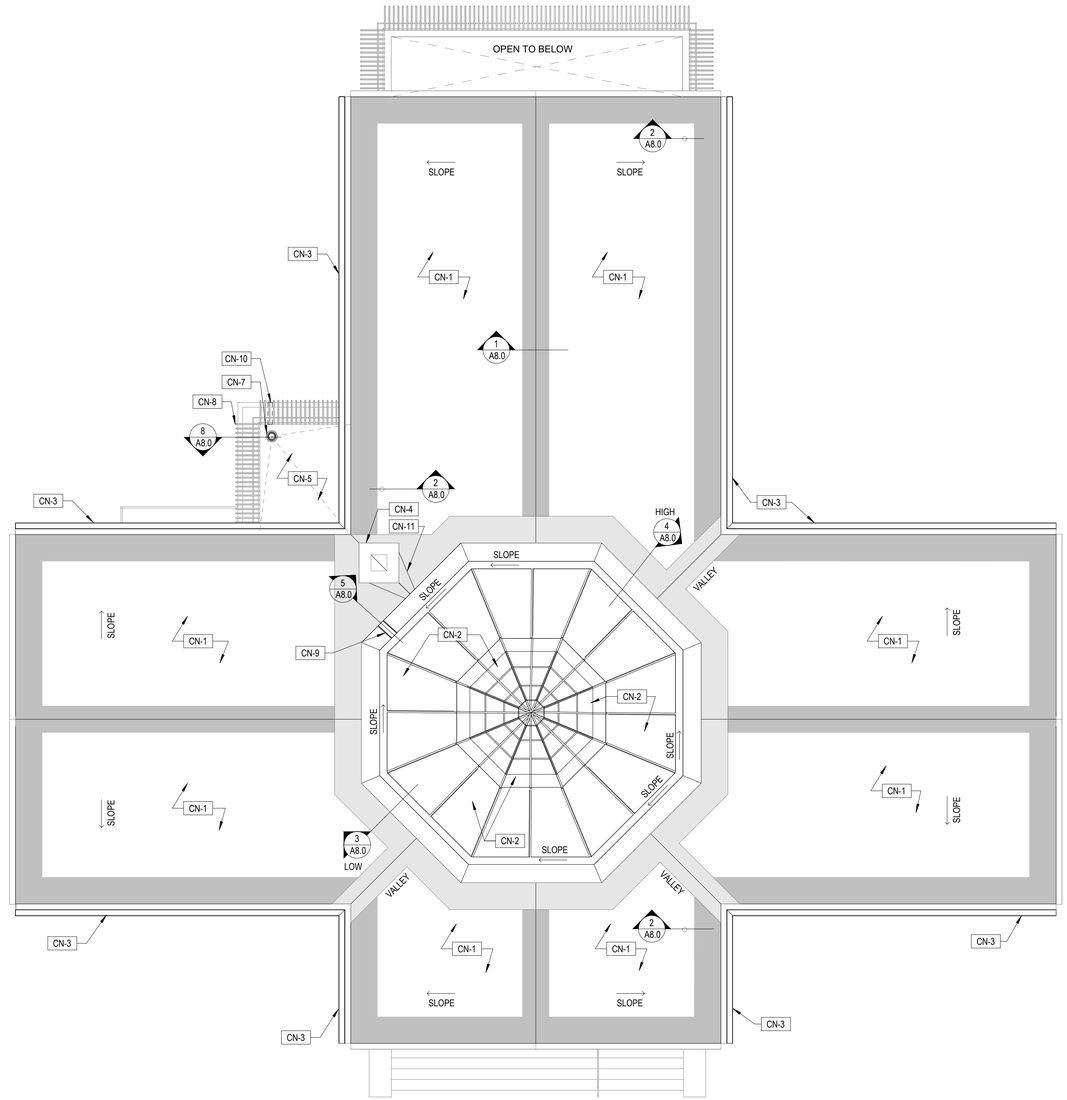
Drawing No.: A2.0



3 A2.1 SECTION DIAGRAM THROUGH DOME
1/4" = 1'-0"



2 A2.1 ALTERNATE 1(ADD) - REFLECTED CEILING PLAN AT DOME INTERIOR
1/8" = 1'-0"



1 A2.1 ROOF PLAN
1/8" = 1'-0"

GENERAL CONSTRUCTION NOTES:

1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
3. PATCH TEMPORARY ACCESS OPENINGS BETWEEN RAFTERS IN ROOF WITH ASPHALT SHINGLE ROOF ASSEMBLY TO WATERTIGHT CONDITION ONCE INSTALLATION OF NEW ATTIC INSULATION IS COMPLETE.
4. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH EoR PRIOR TO NEW CONSTRUCTION.

GENERAL ROOF NOTES:

1. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION ABOUT WOOD FRAMING REPLACEMENTS.
2. ALL METAL FLASHINGS TO BE ZT COPPER.
3. INSTALL R-30 MINERAL WOOL UNFACED BATT INSULATION BETWEEN RAFTERS. UTILIZE OPENING CUT IN EACH QUADRANT OF CROSS-GABLE ROOF FOR ACCESS TO ATTIC SPACE. SEE GENERAL CONSTRUCTION NOTE 3.

KEYED CONSTRUCTION NOTES

CN-1 INSTALL 100% NEW ASPHALT SHINGLE ROOF WITH SELF ADHERING UNDERLAYMENT BY SHINGLE MANUFACTURER

CN-2 INSTALL 100% NEW COPPER CLADDING, FLASHING,SEALANT AND NEW OCULUS GLAZING AT DOME. SEE A8.0 FOR DETAILS.

CN-3 INSTALL NEW CAST IRON DOWNSPOUTS TERMINATING 10' ABOVE FINISHED GRADE AND CONNECTING TO UPPER SECTION OF NEW POWDER COATED STEEL DOWNSPOUT AND NEW 8" DIA POWDER COATED STEEL HALF ROUND GUTTERS. SEE DETAIL 3/A3.0. INSTALL NEW BOOTS CONNECTING TO UNDERGROUND DRAINAGE SYSTEM. SEE CIVIL DWGS.

CN-4 REPOINT 100% OF BRICK AND INSTALL NEW FLASHING AT EXG CHIMNEY AND DOME BASE. APPLY NEW STUCCO FINISH TO MATCH EXG, REF 3/A8.0.

CN-5 INSTALL 100% NEW SBS ROOF WITH 2 PIECE STAINLESS STEEL FLASHING AND COUNTERFLASHING AT PARAPET. REF 8/A8.0.

CN-6 PROVIDE NEW AREA DRAIN AT EXTERIOR STAIR LANDING. CLEAN DRAIN LINE BACK TO SOURCE OR CONNECTION WITH MAIN. CONFIRM FREE FLOW AND PROPER OPERATION OF DRAIN AND DRAIN LINE.

CN-7 NEW ROOF DRAIN, REF 8/A8.0.

CN-8 SCRAPE AND PREP SALVAGED SECURITY FENCE. PAINT TO MATCH ORIGINAL FINISH. REINSTALL EXG STEEL ANCHORING MEMBERS . FASTEN INTO SOUND MORTAR JOINT.

CN-9 NEW OPEN PAN GUTTER, FROM PENT ROOF AT DOME TO LOWER GABLE ROOF VALLEY. REF 5/A8.0.

CN-10 INFILL VOID LEFT FROM SCUPPER REMOVAL WITH MASONRY AND PATCH SURFACE TO MATCH ADJACENT SURFACES.

CN-11 NEW OVERFRAMING AT CRICKET. PROVIDE HT SELF-ADHERING UNDERLAYMENT.

LEGEND:

- AREA NOT IN SCOPE
- BRICK
- ICE & WATER SHIELD (INSTALL PER MFR INSTRUCTIONS)
- UNDERLAYMENT HT (BY SHINGLE MFR)

ROOF TYPES

TYPE	DESCRIPTION	CODE-REQ'D INSUL MIN R-VALUE	DETAIL	SPECIFICATION
R1	SLOPED ASPHALT SHINGLE ROOF ASSEMBLY	MIN R-30 ci / R-30 ci		EXG 2x10 PLANK DECK, R-30 MINERAL WOOL UNFACED BATT INSULATION BETWEEN RAFTERS, EXG 1/2" PLYWOOD SHEATHING, SELF ADHERING UNDERLAYMENT, NEW ICE & WATER SHIELD (ONLY AT EAVES, RIDGES & VALLEYS), ASPHALT FIBERGLASS SHINGLE ROOF SYSTEM
R2	LOW-SLOPE SBS MEMBRANE ROOF ON WOOD DECKING	MIN R-30 ci / R-30 ci		NEW T&G WOOD DECK, HT SELF ADHERING VAPOR RETARDER,(2) LAYERS 2 5/8" THICK POLYISO INSULATION,1/2" GYPSUM COVERBOARD, MULTI-PLY SBS MODIFIED BITUMEN ROOFING SYSTEM

GENERAL ROOF NOTES:
1. SEE STRUC DWGS FOR ROOF DECK & STRUCTURE.
2. SEE ROOF PLAN DWG AND A-8 SERIES DWGS FOR ADDITIONAL DETAILS.

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Seal:

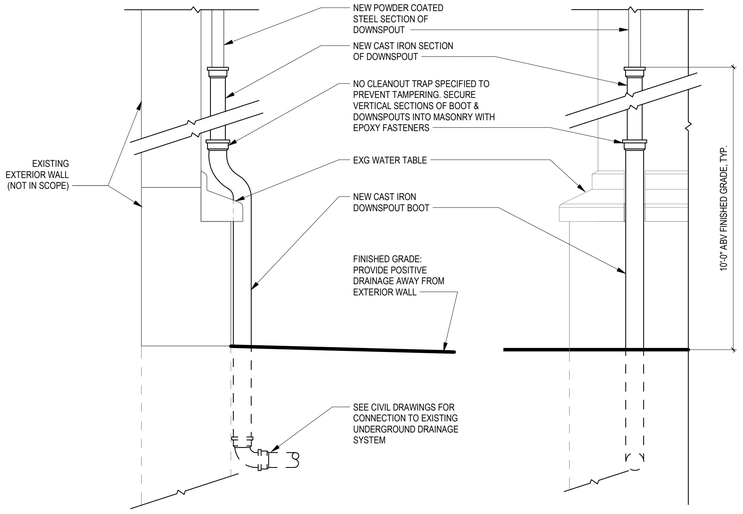
No.	Date	Revision

By: JS | Checked: JGH | Scale: AS NOTED

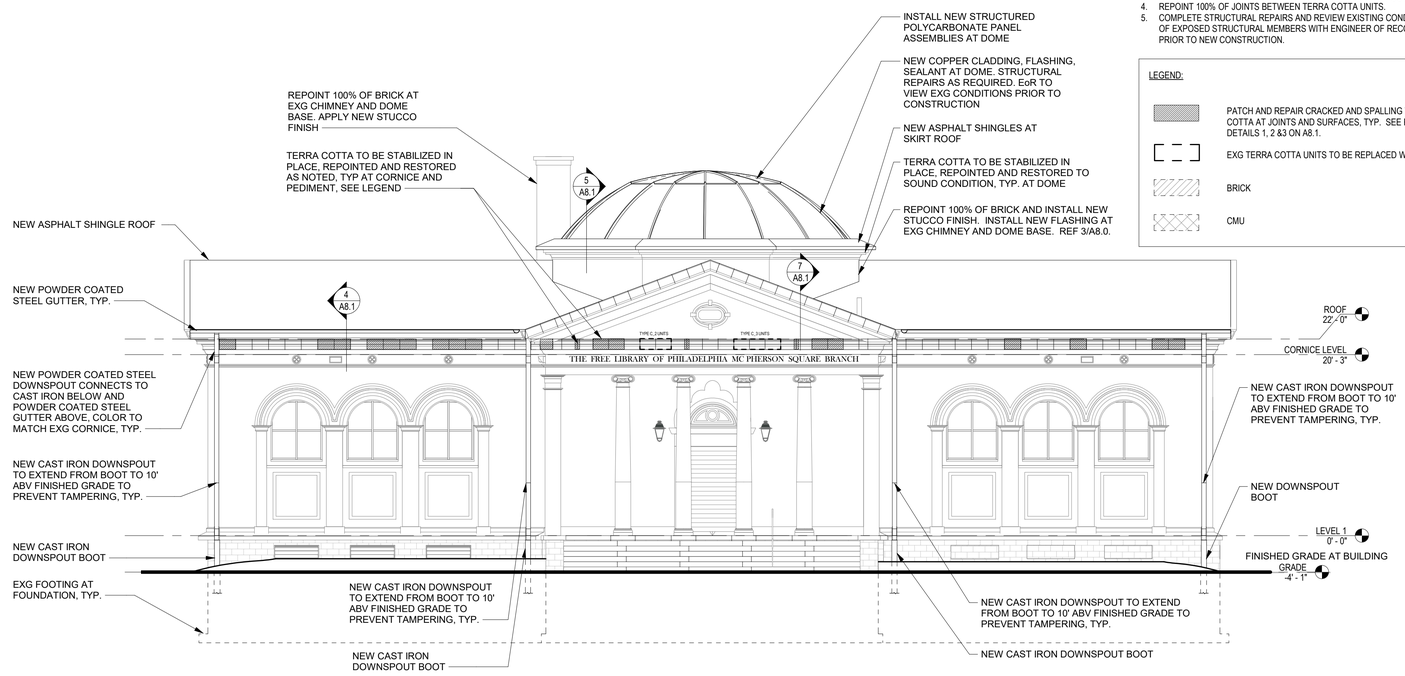
Date: 04/15/2024

Drawing Title: ROOF PLAN

Drawing No.: A2.1

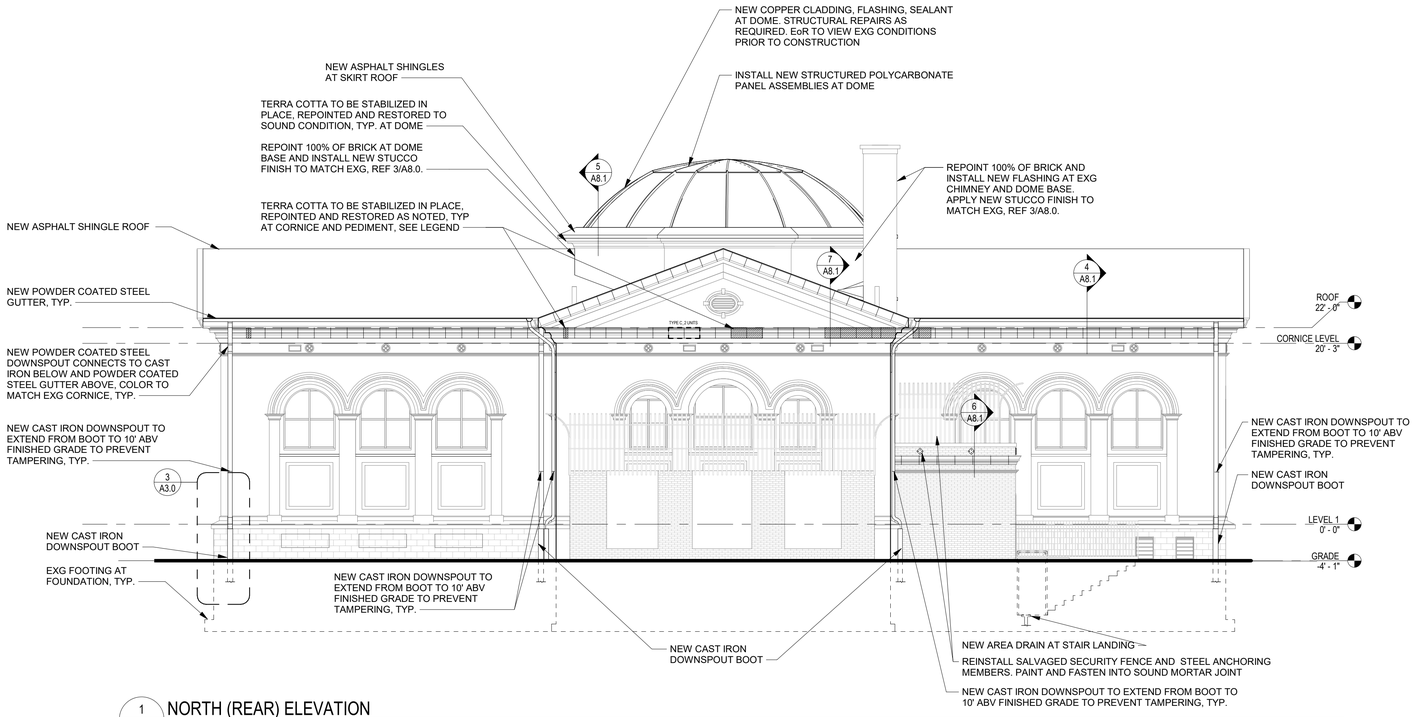


4 A3.0 ENLARGED ELEVATION AT DOWNSPOUT: SIDE VIEW
1/2" = 1'-0"



3 A3.0 ENLARGED ELEVATION AT DOWNSPOUT: FRONT VIEW
1/2" = 1'-0"

2 A3.0 SOUTH (FRONT) ELEVATION
1/8" = 1'-0"



1 A3.0 NORTH (REAR) ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
3. SEE CIVIL DRAWINGS FOR CONNECTIONS TO NEW DOWNSPOUT BOOT.
4. REPOINT 100% OF JOINTS BETWEEN TERRA COTTA UNITS.
5. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH ENGINEER OF RECORD PRIOR TO NEW CONSTRUCTION.

LEGEND:

- PATCH AND REPAIR CRACKED AND SPALLING TERRA COTTA AT JOINTS AND SURFACES, TYP. SEE REPAIR DETAILS 1, 2 &3 ON A8.1.
- EXG TERRA COTTA UNITS TO BE REPLACED WITH NEW
- BRICK
- CMU

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By: JS | Checked: JGH | Scale: AS NOTED

Date: 04/15/2024

Drawing Title:
EXTERIOR ELEVATIONS

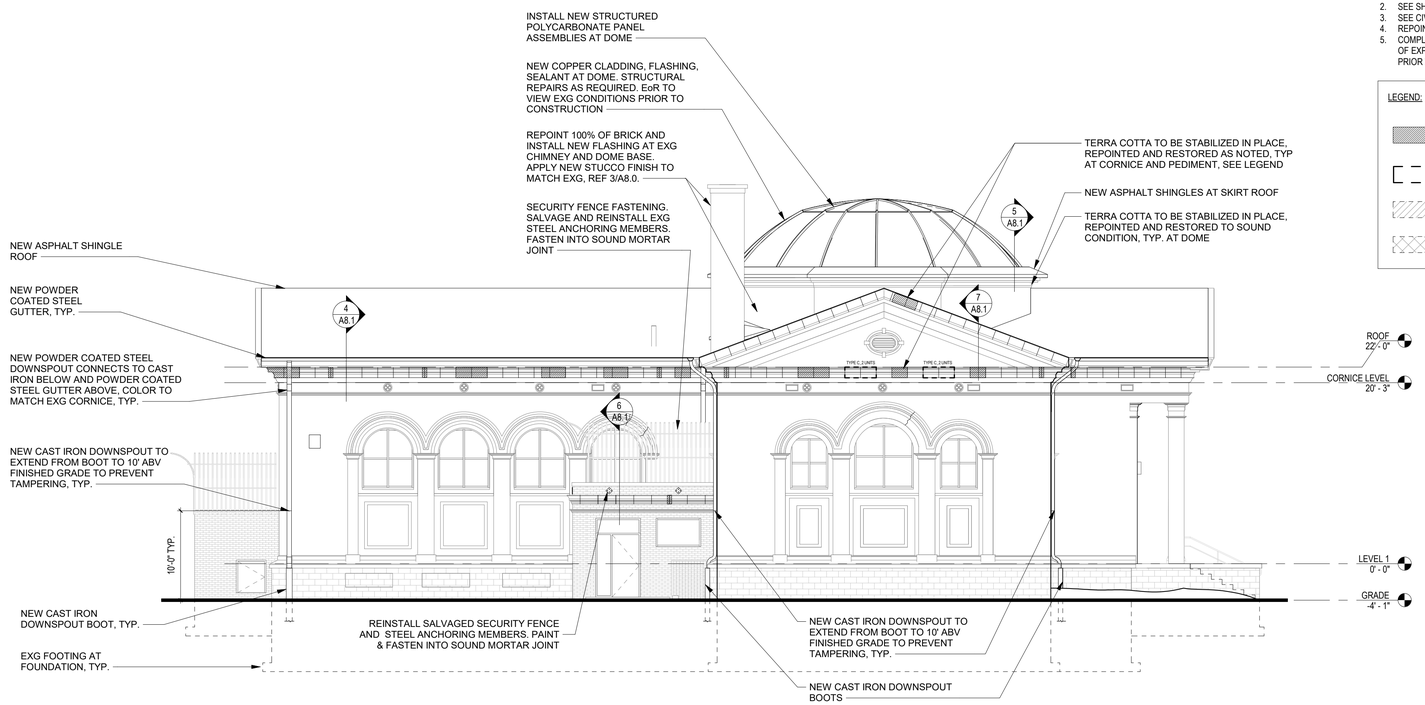
Drawing No.:
A3.0

GENERAL NOTES:

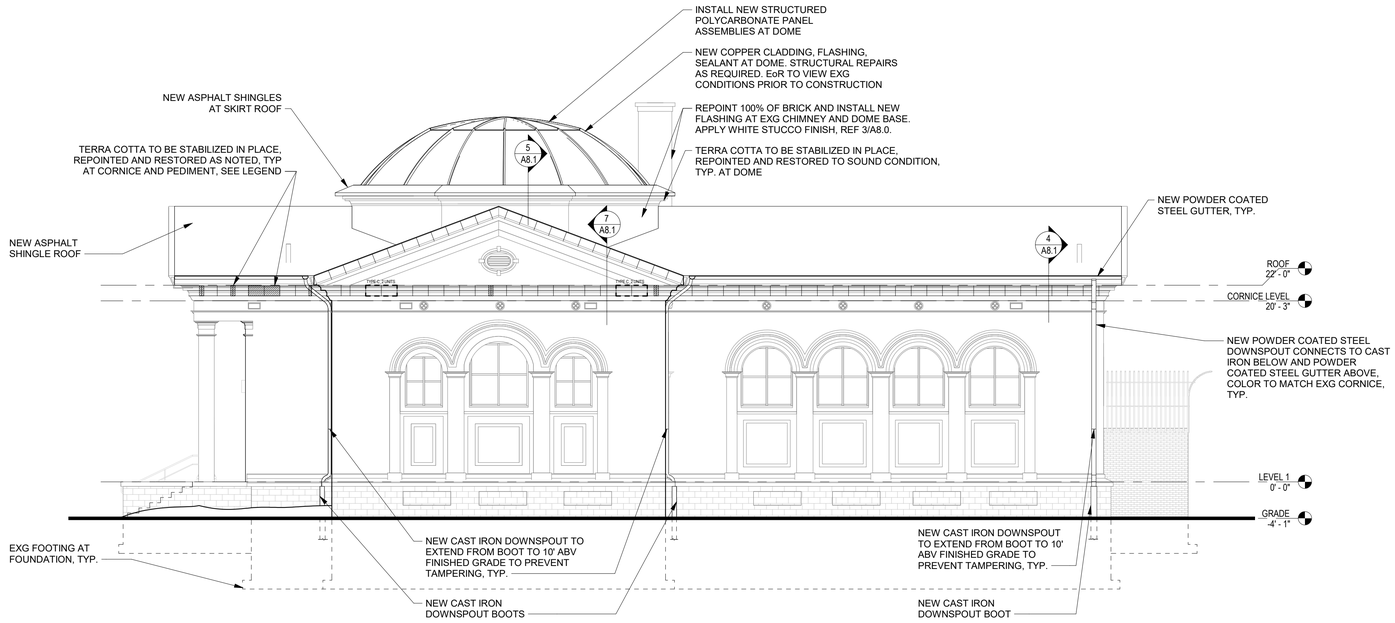
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
3. SEE CIVIL DRAWINGS FOR CONNECTIONS TO NEW DOWNSPOUT BOOT.
4. REPOINT 100% OF JOINTS BETWEEN TERRA COTTA UNITS.
5. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH ENGINEER OF RECORD PRIOR TO NEW CONSTRUCTION.

LEGEND:

- PATCH AND REPAIR CRACKED AND SPALLING TERRA COTTA AT JOINTS AND SURFACES, TYP. SEE REPAIR DETAILS 1, 2 &3 ON A8.1.
- EXG TERRA COTTA UNITS TO BE REPLACED WITH NEW
- BRICK
- CMU



2 A3.1 WEST ELEVATION
1/8" = 1'-0"



1 A3.1 EAST ELEVATION
1/8" = 1'-0"

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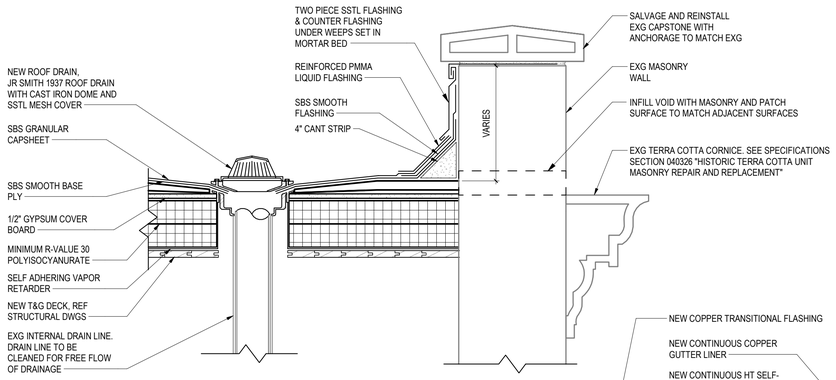
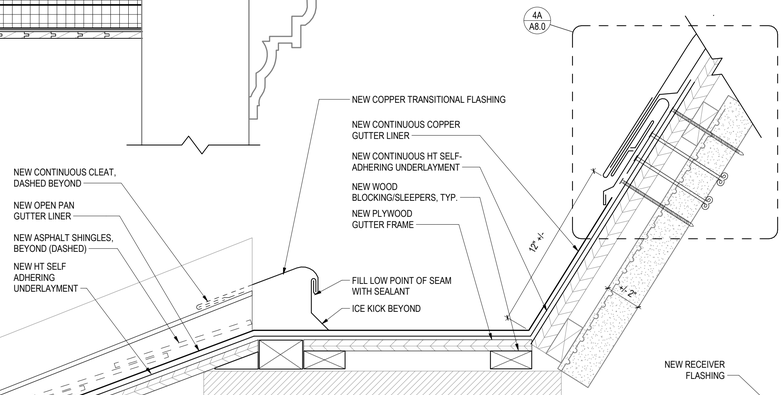
Date: 04/15/2024

Drawing Title:
EXTERIOR ELEVATIONS

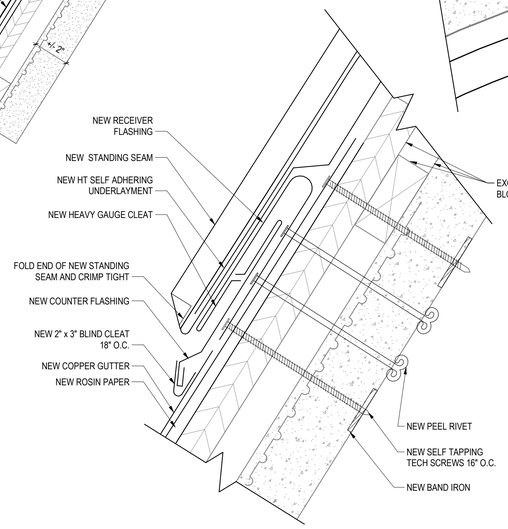
Drawing No.:
A3.1



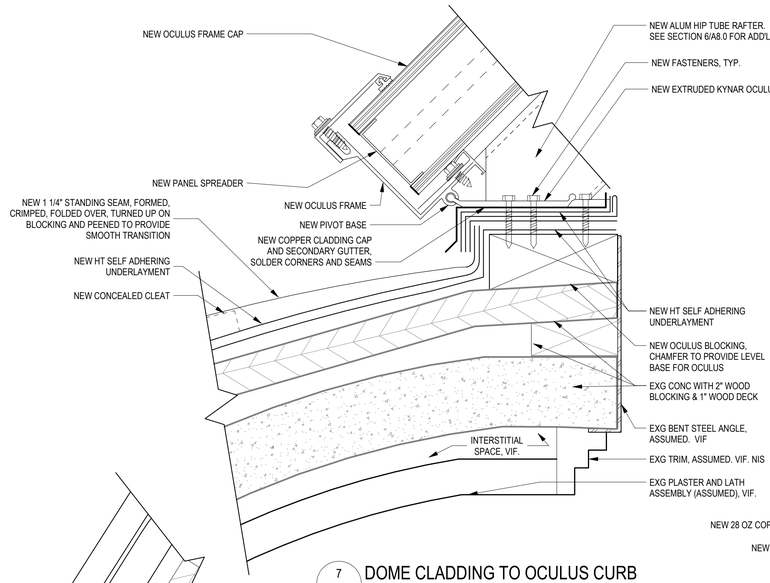
8 / A8.0 ROOF DRAIN AT SBS ROOF
1 1/2" = 1'-0"



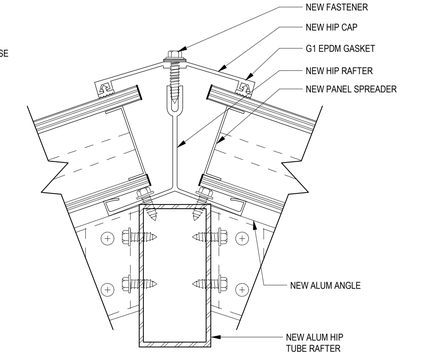
5 / A8.0 ROOF DETAIL - OPEN PAN GUTTER FROM DOME SKIRT TO GABLE VALLEY
3" = 1'-0"



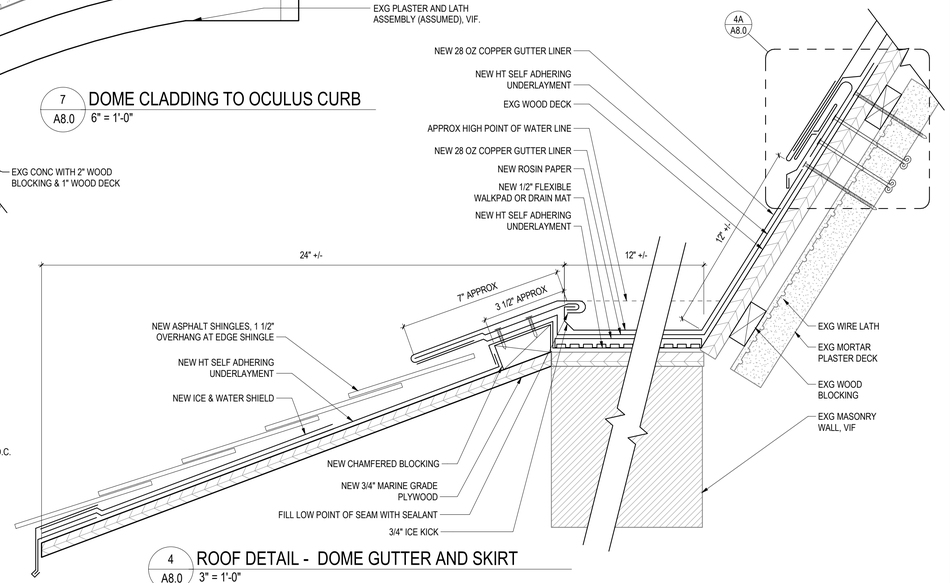
4A / A8.0 ENLARGED GUTTER TO DOME TRANSITION
6" = 1'-0"



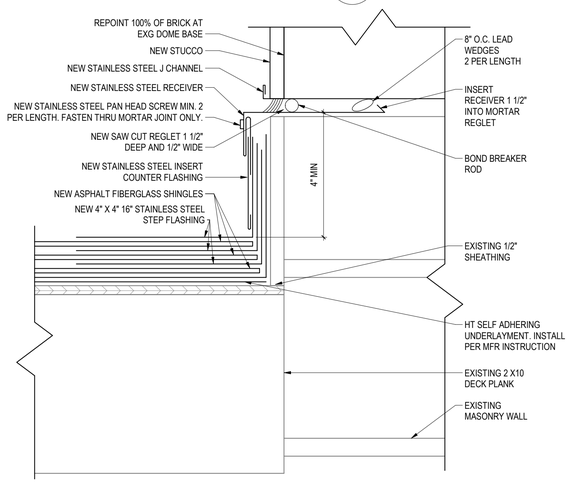
7 / A8.0 DOME CLADDING TO OCULUS CURB
6" = 1'-0"



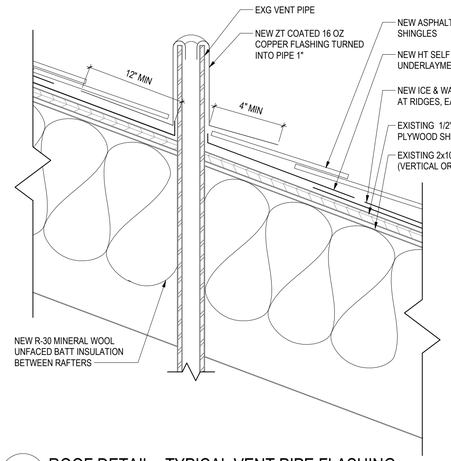
6 / A8.0 OCULUS DETAIL - SECTION AT HIP
6" = 1'-0"



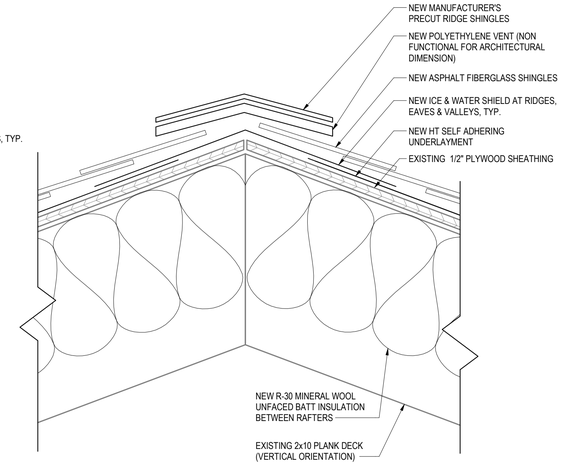
4 / A8.0 ROOF DETAIL - DOME GUTTER AND SKIRT
3" = 1'-0"



3 / A8.0 ROOF DETAIL - DOME STEP AND COUNTER
3" = 1'-0"



2 / A8.0 ROOF DETAIL - TYPICAL VENT PIPE FLASHING
3" = 1'-0"



1 / A8.0 ROOF DETAIL - RIDGE
3" = 1'-0"

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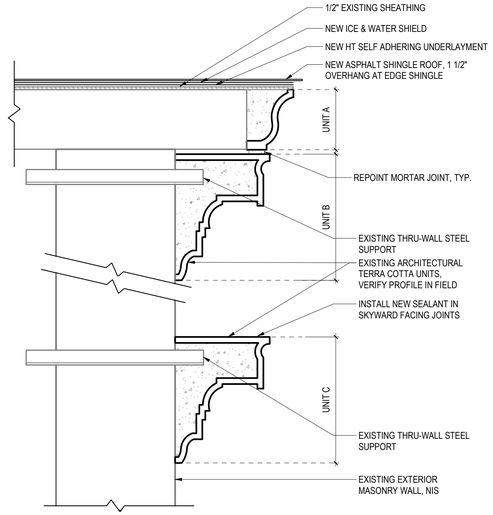
By: JS | Checked: JGH | Scale: AS NOTED

Date: 04/15/2024

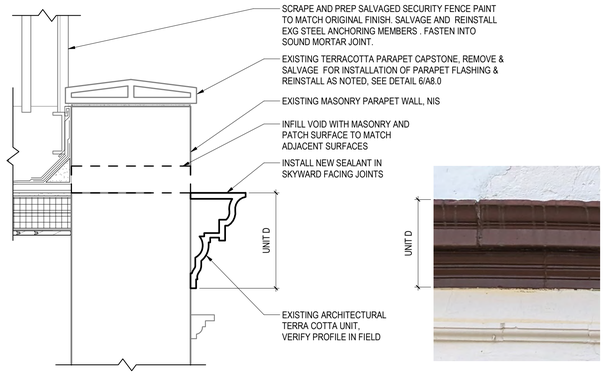
Drawing Title:
ROOF DETAILS

Drawing No.:
A8.0



7 A8.1 TERRA COTTA DETAIL - CORNICE AT RAKE AND PEDIMENT

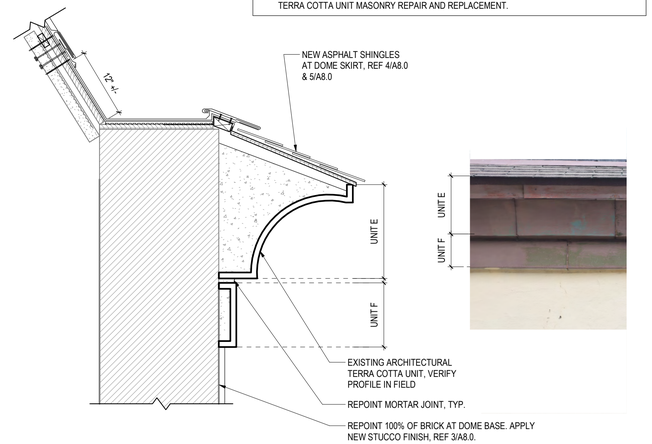
1" = 1'-0"



6 A8.1 TERRA COTTA DETAIL - CORNICE AT SBS ROOF

1" = 1'-0"

NOTE:
- ALL TERRACOTTA REPAIR & REPLACEMENTS TO MATCH EXISTING INSTALLATION.
- VERIFY IN FIELD EXISTING DIMENSIONS AND PROFILES FOR REMOVAL.
- SUPPORT CONDITIONS FOR SOME TERRACOTTA UNITS UNKNOWN, TO BE VERIFIED IN FIELD.
- FO TERRACOTTA REPAIR & REPLACEMENT, SEE SPECIFICATIONS SECTION 040326 "HISTORIC TERRA COTTA UNIT MASONRY REPAIR AND REPLACEMENT.



5 A8.1 TERRA COTTA DETAIL - CORNICE AT DOME SKIRT

1" = 1'-0"

4 A8.1 TERRA COTTA DETAIL - CORNICE AT EAVE

1" = 1'-0"

ELEVATION

SECTION A-A

3 A8.1 CORNICE DETAIL TYPICAL - ROUT AND SEAL CRACKED UNITS

1 1/2" = 1'-0"

2 A8.1 CORNICE DETAIL TYPICAL - GLAZE SPALLS

6" = 1'-0"

NOTE:
EXTREME CARE MUST BE TAKEN DURING MORTAR REMOVAL TO NOT DAMAGE THE FACE OF EXISTING BRICK, LIMESTONE OR TERRACOTTA UNITS. ANY MASONRY DAMAGED DURING MORTAR REMOVAL SHALL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE.

1 A8.1 CORNICE DETAIL - TYPICAL REPOINTING

6" = 1'-0"

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Date: 04/15/2024

Drawing Title:
CORNICE DETAILS

Drawing No.:
A8.1

PROVIDE PROTECTION TO ALLOW FOR CONTINUED OPERATION OF CIRCULATION DESK AREA DURING CONSTRUCTION ACTIVITIES

ALTERNATE 1 (ADD):
REPAIR AND RESTORE EXISTING PLASTER AND LATH CEILING (ASSUMED) AT DOME INTERIOR. REPAINT INTERIOR DOME SURFACE. PAINTING SHALL INCLUDE ALL SURFACES AND ELEMENTS ABOVE THE CORNICE LINE

1 A10.0 DOME INTERIOR PHOTOS
NTS

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Drawing Title:
DOME INTERIOR PHOTOS

Drawing No.:
A10.0

GENERAL STRUCTURAL NOTES

1. THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND APPLICABLE LOCAL REGULATIONS.
2. NOTIFY THE ENGINEER IMMEDIATELY IF ANY EXISTING CONDITIONS CONFLICT WITH STRUCTURAL INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS.
3. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR WORK THAT SHE DOES NOT REVIEW AND/OR WORK NOT COMPLETED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S PLANS AND /OR SPECIFICATIONS.
4. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR CLARIFICATION.
5. STRUCTURAL SPECIAL INSPECTIONS ARE A REQUIREMENT FOR THIS PROJECT. A QUALIFIED INDEPENDENT INSPECTION AGENCY REGISTERED WITH THE CITY OF PHILADELPHIA SHALL BE SELECTED BY THE OWNER TO PERFORM THESE SERVICES.
   SPECIAL INSPECTIONS SHALL BE PERFORMED FOR THIS PROJECT AS FOLLOWS, AND IN ACCORDANCE WITH PROJECT SPECIFICATIONS:
   STRUCTURAL STEEL (AISC 360) VISUAL INSPECTION OF FIELD CONNECTIONS PERIODIC
   POST-INSTALLED ANCHOR INSTALLATION HORIZONTAL & OVERHEAD INSTALLATIONCONTINUOUS
6. THE SPECIAL INSPECTIONS AGENCY SHALL PERFORM INSPECTIONS AND SUBMIT REPORTS THE ENGINEER OF RECORD (EOR) WITHIN 72 HOURS OF INSPECTION. ANY INADEQUACIES FOUND BY THE INSPECTOR SHALL BE REPORTED TO THE EOR WITHIN 24 HOURS. THE CONTRACTOR SHALL FACILITATE THESE INSPECTIONS BY SCHEDULING THE INSPECTIONS TO COORDINATE WITH THE WORK BEING PERFORMED BY THEIR SUB-CONTRACTORS.

POST-INSTALLED ANCHORS IN MASONRY

1. WHEN INSTALLING POST INSTALLED ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DAMAGING EXISTING MASONRY. INSTALLER SHALL BE TRAINED BY MANUFACTURER ON INSTALLATION PROCEDURES. **CLEAN HOLE FREE OF DUST, DEBRIS, AND MOISTURE. USE COMPRESSED AIR AND WIRE BRUSH, IN ACCORDANCE WITH MANUFACTURERS PROCEDURES**.
   VERIFY THAT ADHESIVES TO BE USED, ARE WITHIN EXPIRATION DATE.
   PROVIDE HILTI OR APPROVED ALTERNATIVE.

STEEL

1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
   A. AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS," CURRENT EDITION.
   B. THE AMERICAN WELDING SOCIETY (AWS D1.1) "CODE FOR WELDING IN BUILDING CONSTRUCTION," CURRENT EDITION.
2. INSTALLER QUALIFICATIONS: ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STRUCTURAL STEEL WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
3. FABRICATOR QUALIFICATIONS: ENGAGE A FIRM EXPERIENCED IN FABRICATING STRUCTURAL STEEL SIMILAR TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO FABRICATE STRUCTURAL STEEL WITHOUT DELAYING THE WORK.
4. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
   A. PLATES AND ANGLES: ASTM A36, FY=36 KSI.
   B. W, WT & C SHAPES: ASTM A992, FY=50 KSI.
   B. STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E GRADE B. [STD. = SCHEDULE 40]
   C. BOLTED CONNECTIONS (STEEL TO STEEL): ASTM A325-N, (3/4" DIAM.), U.N.O.
   D. ANCHOR BOLTS AND CONNECTORS IN WOOD FRAMING: ASTM A307, (3/4" DIAM.), U.N.O.
5. ANCHORAGE BOLTS AND FITTINGS IN MASONRY SHALL BE GALVANIZED.
6. WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE A.W.S. SUBMIT WELDER CERTIFICATES TO ENGINEER FOR RECORD.
7. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX. ALL WELDING SHALL CONFORM TO THE A.W.S. STANDARD CODE.
8. ALL SHOP AND FIELD WELDS SHALL BE 3/16" FILLET WELDS MINIMUM, U.N.O.
9. SHOP PRIME ALL STEEL. TOUCH UP FIELD WELDS AND ANY DAMAGED AREAS OF PAINT WITH A ZINC RICH PAINT, IN FIELD AFTER WELDING.
10. MINIMUM CENTER-CENTER SPACING BETWEEN BOLTS SHALL BE 3", U.N.O. MINIMUM EDGE DISTANCE SHALL BE 1-1/4" FROM CENTER OF BOLTS TO EDGE OF STEEL.

REPAIR EXISTING STEEL

1. STEEL FRAMING FOR THE DOME ARMATURE IS TO BE INSPECTED BY THE EOR DURING CONSTRUCTION. CONTRACTOR SHALL DEMOLISH FINISHES AS NEEDED TO EXPOSE DAMAGED FRAMING.
2. EOR AND SPECIAL INSPECTIONS AGENCY REPRESENTATIVE SHALL ATTEND SITE MEETING TO ESTABLISH CRITERIA FOR IDENTIFYING A) EXISTING FRAMING MEMBERS TO BE REMOVED AND REPLACED; B) EXISTING FRAMING MEMBERS TO BE REINFORCED AND RE-USED; AND C) EXISTING FRAMING MEMBERS IN GOOD CONDITION TO REMAIN IN PLACE.
3. POWER-TOOL CLEAN EXISTING STEEL FRAMING TO SSPC-SP3 STANDARDS, IN PREPARATION FOR REPAIRS.
4. SPECIAL INSPECTIONS AGENCY SHALL SURVEY ALL STEEL FRAMING MEMBERS FOR MATERIAL PROFILE, AND REPORT FINDINGS.
5. ELECTRODES TO BE USED WELDING EXISTING STEEL, SHALL BE ASTM A233, CLASS E60XX. WELD PROCEDURES SHALL CONFORM TO THE A.W.S. D1.1 STANDARD PRE-CERTIFIED..

FRAMING LUMBER & SHEATHING

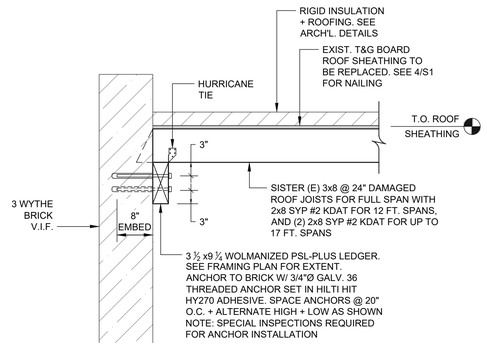
1. FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM STRENGTH FOR THE SPECIFIED USE, UNLESS OTHERWISE NOTED ON PLAN. ALL LUMBER SHALL BE GRADE-STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE SURFACED DRY. MOISTURE CONTENT NOT TO EXCEED 19%.

   DIMENSION LUMBER.:
   GRADE NO 2, PRESSURE TREATED, MIXED SOUTHERN PINE OR EQUAL. PROVIDE LUMBER STAMPED KDAT (KILN-DRIED AFTER TREATMENT). ALTERNATIVELY, SEASON THE LUMBER FOR SEVERAL MONTHS AFTER TREATMENT, SO MOISTURE CONTENT MEETS EQUILIBRIUM CONDITIONS.
2. STRUCTURAL COMPOSITE LUMBER SHALL BE PRESERVATIVE TREATED, (WOLMANIZED) PARALLEL STRAND LUMBER, (PSL-PT)
   PSL 2900FB-2.0E
3. STORE FRAMING AND SHEATHING MATERIALS IN DRY LOCATION. REMOVE STANDING WATER FROM INSTALLED SHEATHING. ENSURE INSTALLED LUMBER MOISTURE CONTENT IS 19% OR LESS, BEFORE INSTALLING HOLD DOWN ANCHORS, STRAPS, OR FINISHES THAT WOULD BE AFFECTED BY LUMBER SHRINKING OR EXPANDING.
4. FASTENING SHALL CONFORM TO A MINIMUM AS SPECIFIED IN TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE.
5. BUILT-UP MULTI-MEMBER WOOD GIRDERS SHALL HAVE MEMBER JOINTS STAGGERED SUCH THAT NOT MORE THAN (1) MEMBER SPLICE OCCURS BETWEEN SUPPORT POINTS. ORIENT ADJACENT MEMBERS WITH ALTERNATE GRAINS, AND CONNECT MEMBERS WITH GALVANIZED NAILS: 10D (.148") X 3" COMMON FOR (2) MEMBERS, 16D (.162") X 3-1/2" COMMON FOR (3) MEMBERS, AND 20D(.192") X 4" COMMON FOR (4) MEMBERS. NAIL AT TOP AND BOTTOM @ 24" OC, STAGGER OPPOSITE FACES, AND WITHIN 1-1/2" OF MEMBER ENDS.
6. PROVIDE CROSS BRIDGING AT MAXIMUM 8'-0" O.C. FOR ALL JOISTS. NO JOISTS SHALL BE CUT OR NOTCHED WITHOUT APPROVAL.
7. ALL MEMBERS SHALL HAVE LATERAL SUPPORT SUPPLIED AT ALL BEARING POINTS AS WELL AS CONTINUOUSLY ALONG THE COMPRESSION FACE.
8. PLYWOOD OR OSB SHEATHING SHALL BE APA GRADE STAMPED FOR SPECIFIC SPAN, SHALL BE MADE WITH EXTERIOR GLUE AND SHALL BE OF THE FOLLOWING THICKNESS:

   ROOF: 19/32" THICK, EXPOSURE 1, STRUCTURAL 1, SPAN RATING 40/20.
   INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS.
   PROTECT SHEATHING FROM EXTENSIVE EXPOSURE TO WEATHER.
9. INSTALL PLYWOOD SHEATHING WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTING MEMBERS, U.N.O.
10. USE PLYCLIPS OR OTHER EDGE SUPPORT AS REQUIRED FOR ROOF SHEATHING.
11. PROVIDE STRUCTURAL WOOD TONGUE AND GROOVE DECKING TO MATCH EXISTING DECKING DEPTH. PROVIDE SYP GRADE #1 OR EQUAL. FASTEN TO SUPPORTING JOISTS WITH #10 SCREWS X 2" EMBED @ 8" OC.
12. PRESERVATIVE TREATMENT: TREAT WOOD MEMBERS AND SHEATHING IN CONTACT WITH MASONRY OR CONCRETE, OR WITHIN 6" OF GROUND, [IRC-R317.1.5]. TREAT IN ACCORDANCE WITH CURRENT STANDARDS OF AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD.
    USE CATEGORY 3B FOR EXPOSED EXTERIOR WOOD, NOT IN CONTACT WITH GROUND.
    USE CATEGORY 4A FOR WOOD IN CONTACT WITH GROUND.
    LUMBER AND SHEATHING SHALL BE VISIBLY STAMPED WITH AWPA USE CATEGORY STAMP.
13. CONTRACTOR SHALL VERIFY CORROSIVE COMPATIBILITY OF FASTENERS WITH ACQ PRESERVATIVE
14. PROTECT ENDS AND TOPS OF FRAMING IN CONTACT WITH MOISTURE WITH SELF ADHERED FLASHING OR EQUAL.

STRUCTURAL DESIGN CRITERIA

GROUND SNOW LOAD	25 LBS/SQ FT
ROOF LIVE LOAD	20 LBS/ SQ FT
WIND LOADS	
WIND SPEED:	115 MPH, EXPOSURE B
WIND PRESSURE FOR COMPONENTS AND CLADDING DESIGN	20 LBS/SQ FT



3 / S1 ROOF FRAMING + SHEATHING REINFORCEMENT FOR FLAT ROOF AT SIDE STAIR
SCALE: 3/4"=1'-0"

1 / S1 EXISTING ROOF FRAMING PLAN (ORIGINAL FRAMING CIRCA 1917) WITH REMEDIATION COMMENTS
SCALE: 3/16"=1'-0"

NOTES:
1. ACCESS TO ROOF JOISTS FOR INSPECTION WAS LIMITED. ESTIMATES OF JOIST DAMAGE ARE BASED ON EXTRAPOLATION OF AREAS WHERE DAMAGE WAS VISIBLE. EVERYWHERE THAT SHEATHING IS SOFT, SHALL BE REMOVED, AND TOPS OF JOISTS SHALL BE INSPECTED FOR SOFTNESS AND ROT DAMAGE DURING CONSTRUCTION PHASE.
2. (E) DENOTES EXISTING.
3. GABLE ROOFED AREAS SHEATHING AND JOIST REPAIRS:
   - ESTIMATE 80 SQ. FT. OF ORIGINAL DAMAGED1x6 DECKING TO BE REPLACED WITH STRUCTURAL PLYWOOD SHEATHING OF EQUAL THICKNESS.
   - ESTIMATE 280 SQ. FT. OF PLYWOOD OVERLAYMENT TO BE REPLACED.
   - ESTIMATE 60 LINEAL FEET OF LEDGER.
   - ESTIMATE 50 LINEAL FEET OF ROOF JOISTS TO BE REPLACED.
4. REFER TO 3/S1 FOR JOIST SISTERING AND LEDGER SUPPORT.
5. REFER TO 4/S1 FOR ROOF SHEATHING FASTENING.

1. NAILS AT PLYWOOD EDGE SUPPORTS 10d @ 6" O.C.
2. INTERMEDIATE NAILS AT ALL INTERIOR SUPPORTS: 10d @ 12" O.C.
3. PROVIDE 4'-0"x2'-0" MINIMUMSIZE REPLACEMENT PLYWOOD SHEETS.
4. LONG DIM. OF PLYWOOD SHALL RUN ACROSS RAFTERS/JOISTS.
5. NAILS SHALL HAVE MIN. 3/8" EDGE DISTANCE AND SHALL NOT BE OVER-DRIVEN THRU OUTERPLAY.
6. MINIMUM NAIL PENETRATION IN FRAMING = 1-5/8".
7. PROVIDE CLIPS @ UNSUPPORETED EDGES.

4 / S1 NAILING FOR ROOF SHEATHING

2 / S1 EXISTING TYPICAL DOME STRUCTURAL SECTION
SCALE: 1/4"=1'-0"

NOTES:
- GUTTER & SHINGLED PENT EAVE (360 SF ±): REPLACE 100% OF WOOD SHEATHING AND FRAMING
- STEEL COMPRESSION RING AT OCULUS: ASSUME MODERATE REMEDIATION AS NEEDED TO FASTEN NEW SKYLIGHT

NORTH

LEGEND

- EXISTING WOODEN JOISTS
- EXISTING STEEL TRUSS
- EXISTING BRICK WALL
- AREAS WHERE SHEATHING/FRAMING DETERIORATION WAS NOTED

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No.	Date	Revision

By: SH Checked: AR Scale: AS NOTED

Date: 04/15/2024

Drawing Title:
ROOF FRAMING PLAN, SECTIONS AND NOTES

Drawing No.:
S1 OF 1 STRUCTURAL SHEET