

## ADDENDUM ACKNOWLEDGMENT

**ADDENDUM NO. 1**  
**Bid Due Date: 6/7/24**

**Dated: 5/13/24**

### NOTICE

*It is the sole responsibility of the bidder to ensure that it has received any and all Addenda and the Philadelphia Redevelopment Authority may in their sole discretion reject any bid for which all Addenda have not been executed and returned.*

### RFP FOR

**Project No.:** 52025E-05-01  
**Description:** McPherson Roof Restoration

### IS AMENDED AS FOLLOWS:

1. BID OPENING DATE: POSTPONED FROM May 17, 2024 TO June 7, 2024
2. Addenda will be posted in [Construction RFPs - MAKING PHILADELPHIA BETTER BLOCK BY BLOCK \(phdcphila.org\)](http://phdcphila.org). Each Bidder shall ascertain prior to submitting a proposal that Bidder has received all Amendments issued, and shall acknowledge their receipt in their proposal submission.
3. The Pre-Bid Meeting Sign-in Sheet is posted at [Construction RFPs - MAKING PHILADELPHIA BETTER BLOCK BY BLOCK \(phdcphila.org\)](http://phdcphila.org).
4. Attached are the Answers and/or Clarifications to questions submitted by prospective sellers.
5. Remove and Replace the following Sections:

Remove Section		Replace with attached Section	
Section Number	Section Title	Section Number	Section Title
000100	Table of Contents	000100	Table of Contents
004114	Construction Bid Proposal	004114	Construction Bid Proposal_240513
004313	Bid Bond	n/a	n/a
007202	Supplementary_State_Grant_Conditions_RACP_(01-03-24)	007202	Supp_State_Conditions_RACP_McPherson (04-18-24)
007203	Supplemental_State_Grant_Conditions_LSA_(01-03-24)	007203	Supplemental_State_Grant_Conditions_LSA_(04-18-2024)
007343B	Prevailing-Wage-Rates-Commonwealth-of-PA	007343B	Prevailing Wages Determination Mcpherson Square (State, 240510)
Attachment A	Attachment_A_McPherson_Contract_Drawings_04-15-24	Attachment A	Attachment_A_Contract_Drawings_McPherson Square Library_COMBINED_REVISIED_ADDENDUM_1_240511
Attachment B	Attachment_B_Additional_Information	Attachment B	Attachment_B-Additional Information_240513

PROJECT 52025E-05-01  
MCPHERSON SQUARE LIBRARY ROOF RESTORATION  
Addendum #1, 5/13/24

Addenda Acknowledgement Form

6. Add the following Sections:

Add Section	
Section Number	Section Title
012110	Allowances

*Bidder must acknowledge receipt of Addenda in their proposal submission.*

**Bidder Signature / Date**

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PROJECT 52025E-05-01  
MCPHERSON SQUARE LIBRARY ROOF RESTORATION  
Addendum #1, 5/13/24

Addenda Acknowledgement Form

## Questions and Clarifications

McPherson Square Library Roof Restoration Project RFP  
Addendum 1, 5/13/2024

### Question 1:

*"Clemens Construction is interested in pursuing this RFP however we only realized this morning that the prebid walkthrough was at 10am. The RFP was only recently changed from a request from Roofing to General Contracting. Is there a way we can still bid this work and potentially do a walk through?"*

### **Response:**

**No. The scheduled Pre-Bid Meeting was Mandatory.**

### Question 2:

*"I represent Kingspan Light + Air who is a manufacture of structured polycarbonate skylights. My RFI is to clarify that we are not removing the perimeter steel, rafters, or purlins that support the existing skylight. The intent is to attach our new skylight system over this exiting steel so that the existing light fixture hanging from the center is not disturbed. Please see photo of interior attached."*



### **Response:**

**The response is documented in revised drawings in Addendum 1.**

### Clarification 1:

**No Bid Bonds are required for this project.**

**SECTION 000110**  
**TABLE OF CONTENTS**

SPECIFICATIONS:

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002114	Diesel Engine Emission Controls for PW Bids
002115	Notice to Sellers ONLY – Mayors Executive Order 07-14
004114	Construction Bid Proposal
007200	SCR for Best Value Public Works June 2020
007201	Supplementary Federal Grant Conditions (04-16-2024)
<del>007202</del>	<del>Supplementary State Grant Conditions RACP (01-03-2024)</del>
007202	Supp_State_Conditions_RACP_McPherson (04-18-24)
<del>007203</del>	<del>Supplementary State Grant Conditions LSA (01-03-2024)</del>
007203	Supplemental_State_Grant_Conditions_LSA_(04-18-2024)
007337	Rebuild EOP-PRA Projects (02-15-2024)
007343a	Prevailing Wage Rates City of Philadelphia 20230620
<del>007343b</del>	<del>Prevailing Wage Rates Commonwealth of Pennsylvania</del>
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<u>DIVISION 01</u>	<u>GENERAL REQUIREMENTS</u>
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012300	Alternates
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013100	Project Management and Coordination
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015000	Temporary Facilities and Controls
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017823	Operation and Maintenance Data
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END

SECTION 004114  
CONSTRUCTION BID PROPOSAL

**PHILADELPHIA REDEVELOPMENT AUTHORITY**

**MCPHERSON SQUARE LIBRARY ROOF RESTORATION  
601 E INDIANA AVENUE  
PHILADELPHIA, PA 19134**

**THIS BID FORM IS COMPLETE AND MUST NOT BE SEPARATED. IF ANY SHEET OR SHEETS ARE DETACHED WHEN SUBMITTED AS A BID, THE PHILADELPHIA REDEVELOPMENT AUTHORITY RESERVES THE RIGHT TO REJECT YOUR BID.**

\_\_\_\_\_  
**FIRM NAME**

\_\_\_\_\_  
**FIRM ADDRESS**

\_\_\_\_\_  
**FEDERAL EIN**

\_\_\_\_\_  
**TOTAL BASE BID**

\_\_\_\_\_  
**PHILADELPHIA BUSINESS TAX ID**

To the Philadelphia Redevelopment Authority:

I, the undersigned Bidder, hereby propose to furnish all the labor, materials and equipment, perform the whole of the work, and submit to all conditions, as represented, intended and implied, both particularly and generally, by the Plans, Special Specifications, Standard Specifications, Standard Details, Standard Contract Requirements, Form of Agreement, the Ordinance authorizing the work and this bid at the prices herein stated, and agrees that each item bid shall be complete in itself, and the Philadelphia Redevelopment Authority may increase or diminish the amount of work thereunder, or omit the item without invalidating the unit price bid for it or any other item, on the following terms to wit:

A. BID AMOUNT

I will complete the Work in accordance with the Contract Documents for the following Bid Amount as defined in Section 00700, Standard Contract Requirements. (Insert Bid Amount in words as well as figures.)

- (1) General Conditions \$ \_\_\_\_\_
- (2) Temporary Protection \$ \_\_\_\_\_
- (3) Building Demolition \$ \_\_\_\_\_
- (4) Site Demolition \$ \_\_\_\_\_
- (5) Masonry \$ \_\_\_\_\_
- (6) Roofing \$ \_\_\_\_\_
- (7) Carpentry \$ \_\_\_\_\_
- (8) Site Improvements \$ \_\_\_\_\_
- (9) Site Utilities \$ \_\_\_\_\_

TOTAL BASE BID AMOUNT \$ \_\_\_\_\_

\_\_\_\_\_ DOLLARS

- (10) ALLOWANCE No. 1: Bidders are to include the amount equal to Two Percent (2%) of their base bid amount for payment of Permit and License fees to all regulatory agencies. Refer to Allowances, Section 01210 for more details.

ALLOWANCE AMOUNT \_\_\_\_\_ DOLLARS,  
\$ \_\_\_\_\_

**TOTAL BASE BID** (Base Bid plus Allowance(s)). \$ \_\_\_\_\_  
\_\_\_\_\_ DOLLARS

(11) ALLOWANCE No. 2: RESTORE SURFACE AT DOME INTERIOR Refer to Allowances, Section 012100 for more details.  
ALLOWANCE AMOUNT \_\_\_\_\_ \$100,000 \_\_\_\_\_ DOLLARS,  
\$ \_\_\_\_\_

**TOTAL BASE BID** (Base Bid plus Allowance(s)). \$ \_\_\_\_\_  
\_\_\_\_\_ DOLLARS

ALTERNATES [*if used*]

ADD ALTERNATE No. 1 (Substitution): CONTRACTOR MAY CONSIDER ALTERNATIVE MATERIALS, SUCH AS GLASS FIBER REINFORCED CONCRETE (GFRC), AS AN ALTERNATE TO TERRA COTTA (Specification 012300)

ADD ALTERNATE No. 1 AMOUNT

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**B. COMPLETION**

**I will substantially complete the Work, ready for final payment, in accordance with the Contract Documents within 150 consecutive calendar days counting from the date stated in the Notice to Proceed.**

**C. ADDENDA**

Bidder must attach Addendum Acknowledgement sheets for all Addenda, if applicable.

**EXECUTION OF CONTRACT**

This contract consists of the Standard Contract Requirements; the Department's Standard Details and Specifications, as they apply; the Department's General Bidding and Contract Requirements; the Technical Specifications; the Bid; the Plans with all of the notes thereon (excluding any records or reports of test borings, underground structures, and test piles); any additional exhibits or attachments to any of the foregoing; and any addenda thereto issued by the PRA/City (collectively, the "Contract").

NOTE: ANY CONTRACT THAT IS NOT EXECUTED IN ACCORDANCE WITH THE INSTRUCTIONS PROVIDED BELOW, MAY, IN THE SOLE DISCRETION OF THE PHILADELPHIA REDEVELOPMENT AUTHORITY, BE REJECTED.

**SIGNING OF CONTRACT**

If Contractor is an INDIVIDUAL or a PARTNERSHIP, date and sign the Contract here, with original

PROJECT 52025E-05-01  
MCPHERSON SQUARE LIBRARY ROOF RESTORATION, ADDENDUM 1, 5/13/2024  
004114-3

CONSTRUCTION BID PROPOSAL

signatures, in ink.

This \_\_\_\_\_ day of \_\_\_\_\_ 2019

\_\_\_\_\_  
(Signature of Owner, Partner)

\_\_\_\_\_  
(Type or Print Name and Title)

\_\_\_\_\_  
(Business Name of Bidder)

If Contractor is a CORPORATION, date and sign the Contract here with original signatures, in ink, by (a) President or Vice-President of the corporation AND (b) Secretary, Assistant Secretary, Treasurer or Assistant Treasurer of the corporation; and (c) affix the seal of the corporation. If the Contract is not signed by the President or Vice-President; and Secretary, Assistant Secretary; Treasurer or Assistant Treasurer, attach a duly certified corporate resolution authorizing the person signing in place of such officers to execute this Contract for the corporation.

\_\_\_\_\_ This \_\_\_\_\_ day of \_\_\_\_\_ 2019

\_\_\_\_\_  
(Corporate or Business Name of Bidder) CORPORATE SEAL

\_\_\_\_\_  
(Address, Including Zip Code)

\_\_\_\_\_  
(Telephone Number)

\_\_\_\_\_  
(Signature of President or Vice President)  
or

\_\_\_\_\_  
(Signature of Secretary, Asst. Secretary, Treasurer  
Assistant Treasurer

\_\_\_\_\_  
(Type or Print Name and Title)

\_\_\_\_\_  
(Type or Print Name and Title)

SECTION 007203  
SUPPLEMENTARY STATE GRANT CONDITIONS - LSA

**PART 1 GENERAL**

**1.1 SUPPLEMENTARY CONDITIONS**

These Supplementary Conditions amend or supplement the “General Conditions” and other provisions of the Contract Documents as indicated below. All provisions, which are not so amended or supplemented, remain in full force and effect. The “General Conditions” also may be supplemented elsewhere in the Contract Documents by provisions located in, but not necessarily limited to, Division 1 of the specifications.

**1.2 STATE REQUIREMENTS FOR LSA GRANTS**

The Contractor is hereby notified that state grant funds are being used to finance this construction and the Contractor shall therefore comply with the state requirements imposed by the Commonwealth of Pennsylvania.

The City was selected to receive a Local Share Account Grant Contract (the “**LSA Grant**”) from the Commonwealth of Pennsylvania (the “**Commonwealth**”) through the Commonwealth Financing Authority to fund a portion of the Rebuild Improvements at **McPherson Square Library** (the “**Project**”).

The Contractor is responsible for performing its work in accordance with the Commonwealth’s LSA Grant and Local Share Account Program Guidelines, which are included in this Section 007203 and which may be revised from time to time (the “**LSA Requirements**”). If the Contractor does not comply with the LSA Requirements, payment may be withheld from the Contractor. In the case of any differences between the LSA Requirements and the Contract Documents (including but not limited to the requirements under other types of grants), the Contractor shall comply with the more stringent requirement.

If there are different types of grants funding the construction, each grant will have a separate section in these specifications outlining the supplementary conditions for that type of grant and Contractor is required to comply with the requirements of each and every type of grant. **Please review the supplementary condition sections carefully.** Many of the grant requirements will be duplicative, especially if there are multiple state grants, but there may be important differences. Accordingly, in performing all work, including project management work, being funded by the LSA Grant, the Contractor shall:

- a. Comply, and require all subcontractors to comply, with the statutes, regulations, nondiscrimination/sexual harassment provisions, and other provisions set forth in Article V (Compliance with Applicable Statutes and Regulations) of the LSA Grant Agreement [**ATTACHMENT 1**], including but not limited to the Nondiscrimination/ Sexual Harassment Provisions, the State Contractor Responsibility Program requirements regarding suspension or debarment by any governmental entity and tax delinquency, the Offset Provisions for Commonwealth Grants regarding set offs for the amount of any tax

SECTION 007203  
SUPPLEMENTARY STATE GRANT CONDITIONS - LSA

liability or other debt owed to the Commonwealth, the American with Disabilities Act, the Anti-Pollution Regulations, the Contractor Integrity Provisions, the Prohibition of Illegal Alien Labor on Assisted Projects Act, and the Right to Know Law, all of which are incorporated by reference into this Section 007203 as if fully set forth herein and all of which must be incorporated into all applicable subcontracts;

- b. Certify that Contractor is in compliance with all applicable Pennsylvania state labor and workforce safety laws by completing the Worker Protection and Investment Certification Form (BOP-2201) **[ATTACHMENT 2]** and submitting the completed form with the bid/proposal.
- c. Ensure that prevailing wage requirements under the Pennsylvania Prevailing Wage Act or the Rebuild prevailing wage requirements (which track the City of Philadelphia's prevailing wage requirements), whichever are higher, are satisfied. **NOTE** that the Contractor shall pay, and require to be paid, the current wage rates as those may be updated by the Commonwealth or the City from time to time. The prevailing wages rates for the City and the Commonwealth at the time of this posting are attached as **Section 007343A** and **Section 007343B**, respectively.
- d. Indemnify, defend, and hold harmless, and cause its subcontractors, to indemnify defend, and hold harmless, the Commonwealth (in addition to the City of Philadelphia, PAID, PRA, and PIDC) from and against all claims, liabilities, demands and actions based upon or arising in whole or in part, directly or indirectly, from or in any way related to any activities performed in connection with the work.
- e. Add, and require subcontractors to add, the Commonwealth Financing Authority as an **additional insured** (in addition to the City of Philadelphia, PAID, PRA, and PIDC) on any insurance policies and notify the Commonwealth of any change or cancellation of such insurance policies. **NOTE** that the insurance requirements stated in the LSA Grant Agreement may be lower than those otherwise required for in the Contract Documents. If there is a difference, the Contractor is required to obtain the higher limits and types of insurance. Contractor shall submit certificates of insurance evidencing the required insurance, including the additional insured endorsement.
- f. Certify, in writing, for itself and all its subcontractors, that as of the date of its execution of this contract that neither the Contractor, nor any subcontractors, nor any suppliers, are under suspension or debarment by the Commonwealth or any governmental entity, instrumentality, or authority and, if the Contractor cannot so certify, then it agrees to submit, along with the bid/proposal, a written explanation of why such certification cannot be made.
- g. Certify, in writing, that as of the date of its execution of the contract, the Contractor has no tax liabilities or other Commonwealth obligations.



SECTION 007203  
SUPPLEMENTARY STATE GRANT CONDITIONS - LSA

- h. Execute, and require all subcontractors who work on the Project to execute, the Commonwealth's "Nondiscrimination/Sexual Harassment Clause" **[ATTACHMENT 3]** as though the Contractor or subcontractor, as the case may be, were the "Applicant" or "Grantee" for purposes of that form.
- i. Contractor shall, and shall require all subcontractors to, cooperate with any and all audits of LSA Grant funding required by the Commonwealth.

PART 2 PRODUCTS                      Not Used

PART 3 EXECUTION                      Not Used

**ATTACHMENTS:**

- 1. LSA Grant Agreement - *will be provided in future Addendum*
- 2. Worker Protection and Investment Certification Form (BOP-2201)
- 3. Nondiscrimination/Sexual Harassment Clause (form)

**END**

Attachment 1 - LSA Grant Agreement - *will be provided in future Addendum*



**WORKER PROTECTION AND INVESTMENT CERTIFICATION FORM**

A. Pursuant to Executive Order 2021-06, *Worker Protection and Investment* (October 21, 2021), the Commonwealth is responsible for ensuring that every worker in Pennsylvania has a safe and healthy work environment and the protections afforded them through labor laws. To that end, contractors and grantees of the Commonwealth must certify that they are in compliance with Pennsylvania’s Unemployment Compensation Law, Workers’ Compensation Law, and all applicable Pennsylvania state labor and workforce safety laws including, but not limited to:

1. Construction Workplace Misclassification Act
2. Employment of Minors Child Labor Act
3. Minimum Wage Act
4. Prevailing Wage Act
5. Equal Pay Law
6. Employer to Pay Employment Medical Examination Fee Act
7. Seasonal Farm Labor Act
8. Wage Payment and Collection Law
9. Industrial Homework Law
10. Construction Industry Employee Verification Act
11. Act 102: Prohibition on Excessive Overtime in Healthcare
12. Apprenticeship and Training Act
13. Inspection of Employment Records Law

B. Pennsylvania law establishes penalties for providing false certifications, including contract termination; and three-year ineligibility to bid on contracts under 62 Pa. C.S. § 531 (Debarment or suspension).

**CERTIFICATION**

I, the official named below, certify I am duly authorized to execute this certification on behalf of the contractor/grantee identified below, and certify that the contractor/grantee identified below is compliant with applicable Pennsylvania state labor and workplace safety laws, including, but not limited to, those listed in Paragraph A, above. I understand that I must report any change in the contractor/grantee’s compliance status to the Purchasing Agency immediately. I further confirm and understand that this Certification is subject to the provisions and penalties of 18 Pa. C.S. § 4904 (Unsworn falsification to authorities).

<i>Signature</i>	<i>Date</i>
<i>Name (Printed)</i>	
<i>Title of Certifying Official (Printed)</i>	
<i>Contractor/Grantee Name (Printed)</i>	

## Commonwealth of Pennsylvania

### **NONDISCRIMINATION/SEXUAL HARASSMENT CLAUSE**

During the term of the Contract, the Applicant (known herein as "Grantee") agrees as follows:

1. In the hiring of any employee(s) for the manufacture of supplies, performance of work, or any other activity required under the grant agreement or any subgrant agreement, contract, or subcontract, the Grantee, a subgrantee, a contractor, a subcontractor, or any person acting on behalf of the Grantee shall not discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the *Pennsylvania Human Relations Act* (PHRA) and applicable federal laws, against any citizen of this Commonwealth who is qualified and available to perform the work to which the employment relates.
2. The Grantee, any subgrantee, contractor or any subcontractor or any person on their behalf shall not in any manner discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the PHRA and applicable federal laws, against or intimidate any of its employees.
3. Neither the Grantee nor any subgrantee nor any contractor nor any subcontractor nor any person on their behalf shall in any manner discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the PHRA and applicable federal laws, in the provision of services under the grant agreement, subgrant agreement, contract or subcontract.
4. Neither the Grantee nor any subgrantee nor any contractor nor any subcontractor nor any person on their behalf shall in any manner discriminate against employees by reason of participation in or decision to refrain from participating in labor activities protected under the *Public Employee Relations Act*, *Pennsylvania Labor Relations Act* or *National Labor Relations Act*, as applicable and to the extent determined by entities charged with such Acts' enforcement, and shall comply with any provision of law establishing organizations as employees' exclusive representatives.
5. The Grantee, any subgrantee, contractor or any subcontractor shall establish and maintain a written nondiscrimination and sexual harassment policy and shall inform their employees in writing of the policy. The policy must contain a provision that sexual harassment will not be tolerated and employees who practice it will be disciplined. Posting this Nondiscrimination/Sexual Harassment Clause conspicuously in easily-accessible and well-lighted places customarily frequented by employees and at or near where the grant services are performed shall satisfy this requirement for employees with an established work site.
6. The Grantee, any subgrantee, contractor or any subcontractor shall not discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the PHRA and applicable federal laws, against any subgrantee, contractor, subcontractor or supplier who is qualified to perform the work to which the grant relates.
7. The Grantee and each subgrantee, contractor and subcontractor represents that it is presently in compliance with and will maintain compliance with all applicable federal, state, and local laws and regulations relating to nondiscrimination and sexual harassment. The Grantee and each subgrantee, contractor and subcontractor further represents that it has filed a Standard Form 100 Employer Information Report ("EEO-1") with the U.S. Equal Employment Opportunity Commission ("EEOC") and shall file an annual EEO-1 report with the EEOC as required for employers' subject to *Title VII of the Civil Rights Act of 1964*, as amended, that have 100 or more employees and employers that have federal government contracts or first-tier subcontracts and have 50 or more employees. The Grantee, any subgrantee, any contractor or any subcontractor shall, upon request and within the time periods

requested by the Commonwealth, furnish all necessary employment documents and records, including EEO-1 reports, and permit access to their books, records, and accounts by the granting agency and the Bureau of Diversity, Inclusion and Small Business Opportunities for the purpose of ascertaining compliance with the provisions of this Nondiscrimination/Sexual Harassment Clause.

8. The Grantee, any subgrantee, contractor or any subcontractor shall include the provisions of this Nondiscrimination/Sexual Harassment Clause in every subgrant agreement, contract or subcontract so that those provisions applicable to subgrantees, contractors or subcontractors will be binding upon each subgrantee, contractor or subcontractor.
9. The Grantee's and each subgrantee's, contractor's and subcontractor's obligations pursuant to these provisions are ongoing from and after the effective date of the grant agreement through the termination date thereof. Accordingly, the Grantee and each subgrantee, contractor and subcontractor shall have an obligation to inform the Commonwealth if, at any time during the term of the grant agreement, it becomes aware of any actions or occurrences that would result in violation of these provisions.
10. The Commonwealth may cancel or terminate the grant agreement and all money due or to become due under the grant agreement may be forfeited for a violation of the terms and conditions of this Nondiscrimination/Sexual Harassment Clause. In addition, the granting agency may proceed with debarment or suspension and may place the Grantee, subgrantee, contractor, or subcontractor in the Contractor Responsibility File.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Company Name

SECTION 007202  
SUPPLEMENTARY STATE GRANT CONDITIONS - RACP

**PART 1 GENERAL**

**1.1 SUPPLEMENTARY CONDITIONS**

These Supplementary Conditions amend or supplement the “General Conditions” and other provisions of the Contract Documents as indicated below. All provisions, which are not so amended or supplemented, remain in full force and effect. The “General Conditions” also may be supplemented elsewhere in the Contract Documents by provisions located in, but not necessarily limited to, Division 1 of the specifications.

**1.2 STATE REQUIREMENTS FOR RACP GRANTS**

The Contractor is hereby notified that state grant funds are being used to finance this construction and the Contractor shall therefore comply with the state requirements imposed by the Commonwealth of Pennsylvania.

The City was selected to receive a Redevelopment Assistance Capital Program grant (the “**RACP Grant**”) from the Commonwealth of Pennsylvania (the “**Commonwealth**”) to fund a portion of the Rebuild Improvements at **McPherson Square Library**.

The Contractor is responsible for performing its work in accordance with the Commonwealth’s RACP requirements, which are included in this Section 007202 and which may be revised from time to time (the “**RACP Requirements**”). If the Contractor does not comply with the RACP Requirements, payment may be withheld from the Contractor. In the case of any differences between the RACP Requirements and the Contract Documents (including but not limited to the requirements under other types of grants), the Contractor shall comply with the more stringent requirement.

If there are different types of grants funding the construction, each grant will have a separate section in these specifications outlining the supplementary conditions for that type of grant and Contractor is required to comply with the requirements of each and every type of grant. Please review the supplementary condition sections carefully. Many of the grant requirements will be duplicative, especially if there are multiple state grants, but there may be important differences. Accordingly, in performing all work, including project management work, the Contractor shall:

- a. Comply with the RACP Requirements, including the items listed on the “**Key Compliance Guidelines**” [ATTACHMENT 1]
- b. Review and comply with the attached “**Guidance on Steel Certification Relative to the Redevelopment Assistance Capital Program (RACP)**” *(Updated March 2023)* [ATTACHMENT 2]

SECTION 007202  
SUPPLEMENTARY STATE GRANT CONDITIONS - RACP

- c. Ensure that prevailing wage requirements under the Pennsylvania Prevailing Wage Act or the Rebuild prevailing wage requirements (which track the City of Philadelphia’s prevailing wage requirements), whichever are higher, are satisfied. **NOTE** that the Contractor shall pay, and require to be paid, the current wage rates as those may be updated by the Commonwealth or the City from time to time. The prevailing wages rates for the City and the Commonwealth at the time of this posting are attached as **Section 007343A** and **Section 007343B**, respectively.
- d. The Contractor shall submit wage information on the Commonwealth’s wage rate submittal form (the “**DLI Wage Form**”) **[ATTACHMENT 3]**. **NOTE** that this form will be required in addition to the use of LCP Tracker.
- e. Indemnify, defend, and hold harmless, and cause its subcontractors, to indemnify defend, and hold harmless, the Commonwealth (in addition to the City of Philadelphia, PAID, PRA, and PIDC) from and against all claims, liabilities, demands and actions based upon or arising in whole or in part, directly or indirectly, from or in any way related to any activities performed in connection with the work.
- f. Add, and require subcontractors to add, the Commonwealth as an **additional insured** (in addition to the City of Philadelphia, PAID, PRA, and PIDC) on any insurance policies and notify the Commonwealth of any change or cancellation of such insurance policies. **NOTE** that the insurance requirements stated in the attached Key Compliance Guidelines may be lower than those otherwise required for the Project. If there is a difference, the Contractor is required to obtain the higher limits and types of insurance. Contractor shall submit certificates of insurance evidencing the required insurance, including the additional insured endorsement.
- g. Certify, in writing, for itself and all its subcontractors, that as of the date of its execution of this contract that neither the Contractor, nor any subcontractors, nor any suppliers, are under suspension or debarment by the Commonwealth or any governmental entity, instrumentality, or authority and, if the Contractor cannot so certify, then it agrees to submit, along with the bid/proposal, a written explanation of why such certification cannot be made.
- h. Certify, in writing, that as of the date of its execution of the contract, the Contractor has no tax liabilities or other Commonwealth obligations.
- i. Execute, and require all subcontractors who work on the Project to execute, the Commonwealth’s “Nondiscrimination/Sexual Harassment Clause” **[ATTACHMENT 4]** as though the Contractor or subcontractor, as the case may be, were the “Applicant” or “Grantee” for purposes of that form.
- j. Contractor shall, and shall require all subcontractors to, cooperate with any and all audits of RACP Grant funding required by the Commonwealth.

SECTION 007202  
SUPPLEMENTARY STATE GRANT CONDITIONS - RACP

PART 2 PRODUCTS Not Used

PART 3 EXECUTION Not Used

**ATTACHMENTS:**

1. Key Compliance Guidelines
2. Guidance on Steel Certification Relative to the Redevelopment Assistance Capital Program (RACP)
3. DLI Wage Form
4. Nondiscrimination/Sexual Harassment Clause (form)

**END**



## KEY COMPLIANCE GUIDELINES

It is suggested that a copy of this complete document be given to your Project, Construction Manager, and/or Architect so that they are fully aware of the RACP requirements related to each. This document should be included in your bid packages and should be made an addendum to any and all construction contracts, plans and specifications related to the RACP project.

Compliance with all RACP requirements, including the key items in these guidelines will be monitored frequently throughout the construction phase of your project and will be reviewed once more during the legislatively mandated close-out audit.

## COMPETITIVE BIDDING REQUIREMENTS

The sole and exclusive bidding requirement for RACP projects is in the Capital Facilities Debt Enabling Act (Act 67 of 2004), which states "Notwithstanding any other provision of law, the solicitation of a minimum of three written bids for all contracted construction work on redevelopment assistance capital projects shall be the sole requirement for the composition, solicitation, opening and award of bids on such projects." Unless the terms of the law change, the Office of the Budget cannot grant waivers for bidding requirements to Grantees.

RACP projects are not subject to separation of trades. You are REQUIRED to solicit a minimum of three (3) bids for "all generally contracted work" being performed within the RACP defined scope of work. You are not required to receive three (3) bid responses. However, you should provide documentation to prove that at least three bids were solicited by providing copies of the solicitation letters (preferably on letterhead of the bidding entity) used in the bidding process. You are not required to select the lowest bidder, but if you do not, you will have to provide a brief written justification for your selection. Note: there is NO threshold level under the RACP program regardless of the size or dollar amount associated with the work to be performed. You need to show that you solicited a minimum of three (3) bids for any contract to be eligible for RACP.

Bidding is acceptable at either the general contractor level (described in option a. below) or at the sub-contractor level (described in option b. below):

- **General Contractor (GC) Level** - If you chose to bid at the GC level, please note that the bid should encompass the entire RACP scope of work to be performed including all associated construction work. The dollar amount bid on the project must include 100% of the work to be performed by the GC and the sub-contractors. Bidding at the GC level will require submission of bidding and construction related documents at the GC level only (see Sub-Contractor level below for a distinction)
- **Sub-Contractor Level** - If you choose not to solicit three bids for a General Contractor, then you are required to solicit a minimum of three bids for EACH Sub-Contractor covering all trades involved in the project. Note that any self-performed work by a non-bid GC is NOT an eligible cost for reimbursement OR match purposes. Bidding at the Sub-Contractor level will require submission of bidding and construction related documents at the sub level...meaning proof of

bidding, construction contracts, payment and performance bonds, insurance etc. will need to be provided for every sub-contractor in the RACP scope.

Professional Services: Professional services associated with the project are not required to be bid as these associated costs are only eligible as match.

Change Orders: Grantees and/or Sub-Grantees are not required to competitively bid out change orders as long as the work was within the RACP scope of the original bid and is less than 20% of the total contract. If a change order is for work beyond the RACP scope of work originally bid, the Grantee will be required to competitively bid out the new scope of work in order to be considered RACP eligible.

## **PENNSYLVANIA STEEL PRODUCTS PROCUREMENT ACT**

The Office of the Budget (OB) cannot grant waivers to the Pennsylvania Steel Products Procurement Act (SPPA) unless the terms of the law change. All RACP Grantees must comply with the SPPA. If a Grantee/RACP project fails to abide by the SPPA, it does so at its own risk.

[A full explanation on the RACP steel requirements is available as a PDF download.](#)

Up to 2011, OB only accepted the ST-4 Form (justification for the use of foreign steel) that the Department of General Services (DGS) had exclusively devised to address exceptions linked to the requirements of the SPPA, when it was necessary. Since 2011, OB has approved the acceptability of two more DGS ST Forms (ST-2, ST-3) with some caveats, providing that the forms are properly filled out. The ST-1 Form will not be accepted by OB. It is not necessary for the ST-2, ST-3, and ST-4 Forms to be notarized.

Effective January 1, 2013, OB began utilizing the DGS Exempt Machinery and Equipment Steel Products listings ([2023](#), [2022](#), [2021](#)) as part of our steel policy. DGS published a Statement of Policy- Steel products procurement in the Pennsylvania Bulletin Volume 43, Number 6 dated February 9, 2013 (See PA Bulletin #43, pages 85-86) that discussed the exemption of certain steel products, based on their analysis of ST-4 forms submitted that list products not produced domestically in sufficient quantity. DGS publishes an updated "Exemption List" annually.

Please be aware that ST forms are acceptable only in cases where nonstructural steel needs to be addressed. The DGS ST forms do not replace the steel certification forms associated with structural steel. OB will continue to require the submission of steel mill certifications to demonstrate compliance with the steel requirements for structural steel.

The PDF copies of the three acceptable ST Forms for RACP listed below can be obtained from the RACP website:

- [ST-2 Steel Origin Certification: Non-Identifiable, Non-Structural Steel](#)
- [ST-3 75% U.S. Manufacture Certification](#)
- [ST-4 Not Domestically Manufactured: Prime Contractor](#) (only to be used when requesting items to be exempted that are not found on the current year's List of Exempt Machinery and Equipment Steel Products)

It is suggested that the certifications be collected at the time any steel for the project is purchased and delivered to ease the collection process.

Be advised that OB DOES NOT need to approve the ST forms prior to the start of the construction period. The ST forms need to be submitted to demonstrate that compliance, when and where necessary, has been met.

We shall deem as ineligible all contracts that are unable to demonstrate compliance via the submission of steel certifications for Structural Steel and for Non-structural Steel the submission of steel certifications and/or ST forms and/or DGS Exempt Machinery and Equipment Steel Products List. Therefore, the value of construction contracts associated with non-compliant steel will be removed (both materials and labor costs) from the scope of the project, which may in turn affect the project's ability to leverage their full grant amount (project may not receive its full grant).

Recycled products, melted from previously used steel, are acceptable, providing that adequate documentation from the supplier has been furnished. The supplier shall certify that the recycled steel product was produced in the USA.

#### **TRADE PRACTICES ACT**

In accordance with the Trade Practices Act of July 23, 1968, P.L. 686 (71 P.S. § 773.101 et seq.), the Grantee cannot and shall not use or permit to be used in the work any aluminum or steel products made in a foreign country which is listed below as a foreign country which discriminates against aluminum or steel products manufactured in Pennsylvania. The countries of Argentina, Brazil, South Korea, and Spain have been found to discriminate against certain products manufactured in Pennsylvania. Therefore, the purchase or use of those countries' products, as listed below, is not permitted:

- **Argentina:** carbon steel wire rod and cold-rolled carbon steel sheet.
- **Brazil:** welded carbon steel pipes and tubes; carbon steel wire rod; tool steel; certain stainless steel products, including hot-rolled stainless steel bar; stainless steel wire rod and cold-formed stainless steel bar; pre-stressed concrete steel wire strand; hot-rolled carbon steel plate in coil; hot-rolled carbon steel sheet; and cold-rolled carbon steel sheet.
- **South Korea:** welded carbon steel pipes and tubes; hot-rolled carbon steel plate; hot-rolled carbon steel sheet; and galvanized steel sheet.
- **Spain:** certain stainless steel products, including stainless steel wire rod, hot-rolled stainless steel bars; and cold-formed stainless steel bars; pre-stressed concrete steel wire strand; and certain steel products, including hot-rolled steel plate, cold-rolled carbon steel plate, carbon steel structural shapes; galvanized carbon steel sheet, hot-rolled carbon steel bars, and cold-formed carbon steel bars.

Penalties for violation of the above paragraphs may be found in the Trade Practices Act, which penalties include becoming ineligible for public works contracts for a period of three years.

This provision in no way relieves the Grantee of responsibility to comply with those provisions which prohibit the use of foreign-made steel and cast iron products.

### **PUBLIC WORKS CONTRACTORS' BOND LAW (PAYMENT & PERFORMANCE BONDS)**

The requirement for 100% payment and performance (P&P) bonds is a state law; the Office of the Budget cannot waive this requirement.

A performance bond must be obtained at 100% of the contract amount, conditioned upon the faithful performance of the contract in accordance with the plans, specifications, and conditions of the contract. Such bond shall be solely for the protection of the contracting body which awarded said contract.

A payment bond must be obtained at 100% of the contract amount. Such bond shall be solely for the protection of claimants supplying labor or materials to the Grantee, its contractor or to any of its subcontractors, in the prosecution of the work provided for in such contract, and shall be conditioned for the prompt payment of all such material furnished or labor supplied or performed in the prosecution of the work. "Labor or materials" shall include public utility services and reasonable rentals of equipment, but only for periods when the equipment rented is actually used at the site.

### **PA PREVAILING WAGE ACT (PWA)**

The Office of the Budget cannot grant waivers for the PA Prevailing Wage Act. All Grantees must comply with the act. Grantees that fail to abide by the Prevailing Wage Act do so at their own risk. Please do not assume that PA Prevailing Wage is always consistent with your local union wages.

All projects should apply for a wage determination letter prior to the start of construction by registering the project with the PA Department of Labor and Industry to obtain the prevailing wage rates relevant to your project. This determination sheet will provide the necessary trade classifications for the project, along with their corresponding hourly wage and hourly fringe rates that are required for the certified payrolls required as part of RACP. The wage determination should be obtained within 120 days of the award of construction contracts. If necessary, the Department of Labor and Industry can issue determinations letters after construction has begun.

The prevailing wage information and forms can be found on the [PA Department of Labor & Industry website](#).

### **AMERICANS WITH DISABILITIES ACT (ADA)**

Typically your architect should provide a letter stating the plans and specs are in compliance with ADA regulations. Additionally, the Grantee agrees to comply with the General Prohibitions Against Discrimination, 28 C.F.R. § 35.130, and all other regulations promulgated under Title II of The Americans with Disabilities Act which are applicable to all benefits, services, programs, and activities provided by the commonwealth through contracts.

### **FIDELITY BONDS**

The Grantee shall procure and furnish evidence to OB of fidelity bonds with coverage to be maintained under the administrative title of the position in amounts and for such positions as are reasonably

determined by OB. Fidelity Bonding is also commonly known as "Employee Dishonesty Insurance." The minimum level of coverage should equal the average monthly RACP reimbursement amount based on the total grant amount.

### **INSURANCE REQUIREMENTS**

- Worker's Compensation Insurance - The Grantee shall provide Worker's Compensation Insurance where required, and shall accept full responsibility for the payment of premiums for Worker's Compensation Insurance and Social Security, as well as income tax withholding and any other taxes or payroll deductions required by law for its employees who are performing services related to the project.
- General Liability & Property Damage Insurance - The Grantee will provide and maintain comprehensive general liability and property damage insurance in the minimum amount of \$250,000.00 per person for injury and death in a single occurrence; \$1,000,000.00 per occurrence for injury or death of more than one (1) person in a single occurrence; and \$500,000.00 for a single occurrence of property damage, and which shall be endorsed to protect the commonwealth.
- Flood Insurance – If the project is wholly or partially within a floodplain, proof of sufficient flood insurance coverage must be provided. In any case, a project is required to provide a copy of a floodplain map of the project area, with the project site being delineated thereon.

*Identify Commonwealth as Additional Insured:* The commonwealth shall be listed on the above insurance policies as an additional insured. Upon request, the Grantee shall furnish proof of insurance as required by this section to OB.

### **RESTRICTIONS ON GOVERNMENTAL ENTITIES SELLING RACP PROJECTS**

Article 8 of the RACP Grant Agreement spells out sale price restrictions for a governmental entity that sells property that was acquired and/or improved with RACP funds. The restrictions are required to insure that the Grantees CANNOT sell the property for a net gain or even recoup the value of the grant in the sale price. [A PDF download is available that contains more information on Article 8.](#)

**GUIDANCE ON STEEL CERTIFICATION RELATIVE TO THE  
REDEVELOPMENT ASSISTANCE CAPITAL PROGRAM (RACP)**

*Updated March 2023*

The following guidance is a clarification from the Office of the Budget (OB) regarding the requirements associated with the Pennsylvania Steel Products Procurement Act (SPPA) relative to the RACP program whose statutes are regulated under Act 1 of 1999, as amended. In the past, many a grantee has inquired about specific cases and we were able to provide each individual project with specific directions. Additionally, we had only accepted the ST-4 form that the Department of General Services (DGS) had exclusively devised to address exceptions linked to the requirements of the SPPA in the handling of special cases or exceptions. Please note that cost consideration (or convenience) is not an acceptable justification that the ST-4 form can address. Filled out ST-4 forms premised on cost consideration will not be accepted by OB.

Effective immediately, OB will accept two more DGS ST forms (ST-2, ST-3) with some caveats, providing that the forms are properly filled out. The ST-1 form is NOT a valid option and shall NOT be accepted by OB. It is not necessary for the ST-2, ST-3, and ST-4 forms to be notarized. Please, be advised that this guidance is specifically tailored to suit the published and programmatic needs of OB as the overseer of RACP program. This is not a commonwealth-wide policy. Any attempt to impose this guidance on other state agencies is strongly discouraged.

Please, be aware that the aforementioned ST forms are acceptable only in cases where non-structural steel needs to be addressed. The DGS ST forms do not replace the steel certification forms associated with structural steel. It remains the responsibility of the project representatives to provide documented evidence that a non-structural steel product is not domestically produced in sufficient quantities.

OB shall continue to require that steel mill certifications be submitted to demonstrate compliance with the steel requirements. Please, be further advised that OB DOES NOT need to approve the ST forms prior to the start of the construction period. The ST forms need to be submitted to demonstrate that compliance, when and where necessary, has been met. The ST forms exceptions are displayed below. Please, contact us if you have any questions.

It is suggested that the certifications be collected at the time any steel for the project is purchased and delivered to ease the collection process.

Effective January 1, 2013 OB began utilizing the DGS Exempt Machinery and Equipment Steel Products listings as part of the RACP steel policy. DGS published a Statement of Policy - Steel Products Procurement in the Pennsylvania Bulletin Volume 43, Number 6 dated February 9, 2013 (See PA Bulletin #43, pages 85-86) that discussed their production of an annual list, based on their analysis of submitted ST-4 forms, which exempts certain steel products not produced domestically in sufficient quantity.

No other changes in RACP steel policy resulted from this new adjustment; consequently, the use of steel certificates for structural steel will still be required. Please note that the use of ST 2, 3, and 4, as requested for other steel products, will still be utilized unless an exemption based on the list has been formulated and forwarded to OB.

RACP Policy for Compliance with the Steel Products Procurement Act:

Two distinct approaches are presented below:

### Structural Steel Products

Pursuant to the SPPA, OB will require a mill certificate containing the statement "milled, melted, and manufactured in the USA" for all structural steel products used on RACP projects. We shall deem as ineligible all contracts that are unable to demonstrate compliance via the submission of steel certifications. Therefore, the value of construction contracts associated with non-compliant steel will be removed (both materials and labor costs) from the scope of the project.

### Non-Structural Steel Products

Pursuant to the SPPA, OB will require, either, a mill certificate containing the statement "milled, melted, and manufactured in the USA" or the appropriate ST form or an **Exemption Request** to utilize the DGS current years' Final List of Exempt Machinery and Equipment Steel Products to demonstrate compliance associated with the non-structural steel products used on RACP projects. OB shall deem as ineligible all contracts that are unable to demonstrate compliance via the submission of steel certifications /**ST forms/Exemption Request** based on the DGS Exempt Machinery and Equipment Steel Products listing. Therefore, the value of construction contracts associated with non-compliant steel will be removed (both materials and labor costs) from the scope of the project.

Recycled products, melted from previously used steel, are acceptable, providing that adequate documentation from the supplier has been furnished. The supplier shall certify that the recycled steel product was produced in the USA.

Furthermore, the burden of proof for all non-structural steel products not produced domestically in sufficient quantities is still the project's responsibility to provide.

Please be aware that the acceptance of ST forms is contingent upon the form being fully filled-in and compliant with the submission guidelines for steel certifications for DGS projects (see attached) with the following exceptions:

- A. It is not necessary for the forms to be notarized; however, all ST forms must be signed. Original signatures or electronic signatures through Adobe fill/sign, DocuSign, or Nuance (program which allows electronic signature similar to Adobe fill/sign) are acceptable.
- B. Any questions regarding steel certification submissions and/or compliance with the Act shall be submitted to OB (Scott Bowman - [scotbowman@pa.gov](mailto:scotbowman@pa.gov)).
- C. The Steel certification forms do NOT need to be submitted and approved by OB before the steel product arrives on site so as not to interfere with the project construction schedule.
- D. OB assumes responsibility for acceptance of the DGS ST forms in accordance with this policy.

Completion of the ST-2, ST-3, and ST-4 forms shall follow the DGS directions attached to the form with the following exceptions:

- o ST forms do NOT need to be submitted and approved by OB before the steel product arrives on site so as not to interfere with the construction schedule.

- o RACP ME# assigned to the project shall be inserted in all areas requiring the DGS contract number (Line#5).
- o RACP official project name shall be inserted in all areas requiring the contract title (Line #6).

Note:

Acceptance of each ST form shall be determined by OB at its sole discretion. All documents and other information to be delivered in order to demonstrate compliance with the steel requirements shall be and are, in form, content and substance, subject to the approval of OB, which approval may be withheld or delayed at OB's discretion. OB reserves the right to reject all improperly filled out or unsupported ST forms.

Below are links to PDF copies of the three acceptable ST Forms that can be obtained from the RACP website:

- [ST-2 Steel Origin Certification: Non-Identifiable, Non-Structural Steel](#)
- [ST-3 75% U.S. Manufacture Certification](#)
- [ST-4 Not Domestically Manufactured: Prime Contractor](#) (only to be used when the items requested to be exempted are not found on the appropriate year's List of Exempt Machinery and Equipment Steel Products [see section below entitled "Year of DGS Exemption Listing to Use"])

To implement the RACP policy on Non-structural Steel Exemption Request utilizing the DGS's current years' Final List of Exempt Machinery and Equipment Steel Products, referred to as the "Exemption List", please follow the below requirements:

1. The Project must be under "active" construction (workers on site) on or AFTER 1/01/2013 (RACP effective date) to use the "Exemption List".
2. "Active" construction does not include performance of just "punch list" items.
3. Effective date is based on the "active" construction date and not the date the machinery and equipment were purchased.
4. There is no retroactive application of utilization of the "Exemption List".
5. No ST-4 form is required for a RACP Exemption Request based on the "Exemption List".
6. RACP Exemption Request (to utilize the "Exemption List") must come from a contractor involved in the construction of the project and be:
  - On Construction Company Letterhead.
  - Dated and Signed by appropriate company official (does not need to be notarized).
  - Should be addressed to Office of Budget
  - Should contain RACP project name and/or ME #
  - Lists any/all machinery and equipment that the Company is requesting to have exempted from ST-4 documentation.
  - All items listed on RACP Exemption Request letter must clearly match-up to an item on the appropriate year's "Exemption List" and the Exemption List year should be notated for each item.
  - There can/may be multiple construction company RACP Exemption Request letters utilized for various machinery and equipment, as applicable, per project.
  - Exemption Request can be submitted directly by the project to OB or through the State Assigned Consultant for their project.



- Any questions regarding the exemption request submission and/or compliance with the SPPA shall also be submitted to OB, to the attention of Scott Bowman, [Scotbowman@pa.gov](mailto:Scotbowman@pa.gov)

Year of DGS Exemption Listing to Use:

A project should be using the exemption listing for when they are in active construction. For example, if construction was active (and complete) in 2019 they would use the 2019 listing. If a project overlaps a calendar year, they should use the latest listing in which construction is active. For example, if construction is active in 2019 and 2020, they would use the 2020 listing.

If a project is phased, they should use the listing for the year they are in active construction for each phase. For example, if the first phase starts and ends in 2020 whereas the second phase starts and ends in 2021, the first phase would use the 2020 listing while the second phase would use the 2021 listing. If a phase overlaps a calendar year, follow the 1<sup>st</sup> paragraph above.

Among other items, the DGS web page for Steel Products Procurement Act information includes links for a copy of the Act; the current year's Final List of Exempt Machinery and Equipment Steel Products; the PA Bulletin's Steel Products Procurement Act Statement of Policy; and Frequently Asked Questions. Certain prior years DGS Exemption Lists are downloadable from the RACP website.

Please be aware that all other steel items not specifically exempted or that may require any type of interpretation would be discretionary to OB's policy. Be reminded that this exemption listing is not effective for structural steel.


Note:

Acceptance of each Exemption Request shall be determined by OB at its sole discretion. All documents and other information to demonstrate compliance with the steel requirements shall be in form, content, and substance, subject to the approval of OB, which approval may be withheld or delayed at OB's discretion. OB reserves the right to reject all improperly filled out or unsupported Exemption Request.

WEEKLY PAYROLL CERTIFICATION FOR PUBLIC WORKS PROJECTS

Contractor or  Subcontractor (Please check one)

ALL INFORMATION MUST BE COMPLETED

CONTRACTOR  ADDRESS	SUBCONTRACTOR  ADDRESS	 DEPARTMENT OF <b>LABOR &amp; INDUSTRY</b> <small>COMMONWEALTH OF PENNSYLVANIA</small> BUREAU OF LABOR LAW COMPLIANCE PREVAILING WAGE DIVISION 7TH & FORSTER STREETS HARRISBURG, PA 17120 1-800-932-0665
PAYROLL NUMBER	WEEK ENDING DATE	PROJECT AND LOCATION
		PROJECT SERIAL # <span style="float: right;">PROJECT #</span>

EMPLOYEE NAME	APPR. RATE (%)	WORK CLASSIFICATION	DAY AND DATE							S-TIME 0- TIME	BASE HOURLY RATE	TOTAL FRINGE BENEFITS (C=Cash) (FB=Contributions)*	TOTAL DEDUCTIONS	GROSS PAY FOR PREVAILING RATE JOB(S)	CHECK #
			HOURS WORKED EACH DAY												
											C:				
											FB:				
											C:				
											FB:				
											C:				
											FB:				
											C:				
											FB:				

\*SEE REVERSE SIDE

PAGE NUMBER \_\_\_\_\_ OF \_\_\_\_\_

**THE NOTARIZATION MUST BE COMPLETED ON FIRST AND LAST SUBMISSIONS ONLY. ALL OTHER INFORMATION MUST BE COMPLETED WEEKLY.**

\*FRINGE BENEFITS EXPLANATION (FB): Bona fide benefits contribution, except those required by Federal or State Law (unemployment tax, workers' compensation, income taxes, etc.)

Please specify the type of benefits provided and contributions per hour:

- 1) Medical or hospital care \_\_\_\_\_
- 2) Pension or retirement \_\_\_\_\_
- 3) Life insurance \_\_\_\_\_
- 4) Disability \_\_\_\_\_
- 5) Vacation, holiday \_\_\_\_\_
- 6) Other (please specify) \_\_\_\_\_

**CERTIFIED STATEMENT OF COMPLIANCE**

1. The undersigned, having executed a contract with \_\_\_\_\_  
(AWARDING AGENCY, CONTRACTOR OR SUBCONTRACTOR)

\_\_\_\_\_ for the construction of the above-identified project, acknowledges that:

- (a) The prevailing wage requirements and the predetermined rates are included in the aforesaid contract.
- (b) Correction of any infractions of the aforesaid conditions is the contractor's or subcontractor's responsibility.
- (c) It is the contractor's responsibility to include the Prevailing Wage requirements and the predetermined rates in any subcontract or lower tier subcontract for this project.

2. The undersigned certifies that:

- (a) Neither he nor his firm, nor any firm, corporation or partnership in which he or his firm has an interest is debarred by the Secretary of Labor and Industry pursuant to Section 11(e) of the PA Prevailing Wage Act, Act of August 15, 1961, P.L. 987 as amended, 43 P.S. § 165-11(e).
- (b) No part of this contract has been or will be subcontracted to any subcontractor if such subcontractor or any firm, corporation or partnership in which such subcontractor has an interest is debarred pursuant to the aforementioned statute.

3. The undersigned certifies that:

(a) the legal name and the business address of the contractor or subcontractor are: \_\_\_\_\_  
 \_\_\_\_\_

(b) The undersigned is:  a single proprietorship  a corporation organized in the state of \_\_\_\_\_  
 a partnership  other organization (describe) \_\_\_\_\_

(c) The name, title and address of the owner, partners or officers of the contractor/subcontractor are:

NAME	TITLE	ADDRESS

The willful falsification of any of the above statements may subject the contractor to civil or criminal prosecution, provided in the PA Prevailing Wage Act of August 15, 1961, P.L. 987, as amended, August 9, 1963, 43 P.S. § 165.1 through 165.17.

\_\_\_\_\_  
 (DATE)

\_\_\_\_\_  
 (SIGNATURE)

\_\_\_\_\_  
 (TITLE)

\_\_\_\_\_  
 SEAL

Taken, sworn and subscribed before me this \_\_\_\_\_ Day  
 of \_\_\_\_\_ A.D., \_\_\_\_\_

**Commonwealth of Pennsylvania**  
**NONDISCRIMINATION/SEXUAL HARASSMENT CLAUSE**

During the term of the Contract, the Applicant (known herein as “Grantee”) agrees as follows:

1. In the hiring of any employee(s) for the manufacture of supplies, performance of work, or any other activity required under the grant agreement or any subgrant agreement, contract, or subcontract, the Grantee, a subgrantee, a contractor, a subcontractor, or any person acting on behalf of the Grantee shall not discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the *Pennsylvania Human Relations Act* (PHRA) and applicable federal laws, against any citizen of this Commonwealth who is qualified and available to perform the work to which the employment relates.
2. The Grantee, any subgrantee, contractor or any subcontractor or any person on their behalf shall not in any manner discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the PHRA and applicable federal laws, against or intimidate any of its employees.
3. Neither the Grantee nor any subgrantee nor any contractor nor any subcontractor nor any person on their behalf shall in any manner discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the PHRA and applicable federal laws, in the provision of services under the grant agreement, subgrant agreement, contract or subcontract.
4. Neither the Grantee nor any subgrantee nor any contractor nor any subcontractor nor any person on their behalf shall in any manner discriminate against employees by reason of participation in or decision to refrain from participating in labor activities protected under the *Public Employee Relations Act*, *Pennsylvania Labor Relations Act* or *National Labor Relations Act*, as applicable and to the extent determined by entities charged with such Acts’ enforcement, and shall comply with any provision of law establishing organizations as employees’ exclusive representatives.
5. The Grantee, any subgrantee, contractor or any subcontractor shall establish and maintain a written nondiscrimination and sexual harassment policy and shall inform their employees in writing of the policy. The policy must contain a provision that sexual harassment will not be tolerated and employees who practice it will be disciplined. Posting this Nondiscrimination/Sexual Harassment Clause conspicuously in easily-accessible and well-lighted places customarily frequented by employees and at or near where the grant services are performed shall satisfy this requirement for employees with an established work site.
6. The Grantee, any subgrantee, contractor or any subcontractor shall not discriminate by reason of race, gender, creed, color, sexual orientation, gender identity or expression, or in violation of the PHRA and applicable federal laws, against any subgrantee, contractor, subcontractor or supplier who is qualified to perform the work to which the grant relates.
7. The Grantee and each subgrantee, contractor and subcontractor represents that it is presently in compliance with and will maintain compliance with all applicable federal, state, and local laws and regulations relating to nondiscrimination and sexual harassment. The Grantee and each subgrantee, contractor and subcontractor further represents that it has filed a Standard Form 100 Employer Information Report (“EEO-1”) with the U.S. Equal Employment Opportunity Commission (“EEOC”) and shall file an annual EEO-1 report with the EEOC as required for employers’ subject to *Title VII of the Civil Rights Act of 1964*, as amended, that have 100 or more employees and employers that have federal government contracts or first-tier subcontracts and have 50 or more employees. The Grantee, any subgrantee, any contractor or any subcontractor shall, upon request and within the time periods

requested by the Commonwealth, furnish all necessary employment documents and records, including EEO-1 reports, and permit access to their books, records, and accounts by the granting agency and the Bureau of Diversity, Inclusion and Small Business Opportunities for the purpose of ascertaining compliance with the provisions of this Nondiscrimination/Sexual Harassment Clause.

8. The Grantee, any subgrantee, contractor or any subcontractor shall include the provisions of this Nondiscrimination/Sexual Harassment Clause in every subgrant agreement, contract or subcontract so that those provisions applicable to subgrantees, contractors or subcontractors will be binding upon each subgrantee, contractor or subcontractor.
9. The Grantee's and each subgrantee's, contractor's and subcontractor's obligations pursuant to these provisions are ongoing from and after the effective date of the grant agreement through the termination date thereof. Accordingly, the Grantee and each subgrantee, contractor and subcontractor shall have an obligation to inform the Commonwealth if, at any time during the term of the grant agreement, it becomes aware of any actions or occurrences that would result in violation of these provisions.
10. The Commonwealth may cancel or terminate the grant agreement and all money due or to become due under the grant agreement may be forfeited for a violation of the terms and conditions of this Nondiscrimination/Sexual Harassment Clause. In addition, the granting agency may proceed with debarment or suspension and may place the Grantee, subgrantee, contractor, or subcontractor in the Contractor Responsibility File.

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title

\_\_\_\_\_  
Company Name

## BUREAU OF LABOR LAW COMPLIANCE PREVAILING WAGES PROJECT RATES

Project Name:	McPherson Square Library Roof Renovation
General Description:	Roof system replacement in kind (SBS Modified Bitumen shingles, gutters, downspouts); custom replacement of copper dome with glass oculus; interior dome plaster replacement; replacement of underground stormwater drainage system; masonry restoration of brick chimney and terracotta cornice.
Project Locality	Philadelphia
Awarding Agency:	Philadelphia Housing Development Corporation (PHDC)
Contract Award Date:	7/11/2024
Serial Number:	24-03834
Project Classification:	Building
Determination Date:	4/16/2024
Assigned Field Office:	Philadelphia
Field Office Phone Number:	(215)560-1858
Toll Free Phone Number:	
Project County:	Philadelphia County

**BUREAU OF LABOR LAW COMPLIANCE  
PREVAILING WAGES PROJECT RATES**

<b>Project: 24-03834 - Building</b>	<b>Effective Date</b>	<b>Expiration Date</b>	<b>Hourly Rate</b>	<b>Fringe Benefits</b>	<b>Total</b>
Asbestos & Insulation Workers	6/1/2023		\$57.84	\$43.36	\$101.20
Asbestos & Insulation Workers	5/1/2024		\$59.37	\$46.03	\$105.40
Boilermaker (Commercial, Institutional, and Minor Repair Work)	1/1/2019		\$29.26	\$18.48	\$47.74
Boilermakers	1/1/2023		\$51.27	\$35.30	\$86.57
Boilermakers	1/1/2024		\$52.10	\$35.72	\$87.82
Bricklayer	5/1/2023		\$47.50	\$31.61	\$79.11
Carpenter - Chief of Party (Surveying & Layout)	5/1/2023		\$60.54	\$29.27	\$89.81
Carpenter - Chief of Party (Surveying & Layout)	5/1/2024		\$62.83	\$29.27	\$92.10
Carpenter - Chief of Party (Surveying & Layout)	5/1/2025		\$65.14	\$29.27	\$94.41
Carpenter - Instrument Person (Surveying & Layout)	5/1/2023		\$52.64	\$29.27	\$81.91
Carpenter - Instrument Person (Surveying & Layout)	5/1/2024		\$54.64	\$29.27	\$83.91
Carpenter - Instrument Person (Surveying & Layout)	5/1/2025		\$56.64	\$29.27	\$85.91
Carpenter - Rodman (Surveying & Layout)	5/1/2023		\$26.32	\$20.87	\$47.19
Carpenter - Rodman (Surveying & Layout)	5/1/2024		\$27.32	\$20.87	\$48.19
Carpenter - Rodman (Surveying & Layout)	5/1/2025		\$28.32	\$20.87	\$49.19
Carpenters	5/1/2023		\$52.64	\$29.27	\$81.91
Carpenters	5/1/2024		\$54.64	\$29.27	\$83.91
Carpenters	5/1/2025		\$56.64	\$29.27	\$85.91
Cement Finishers & Plasterers	5/1/2022		\$41.97	\$32.40	\$74.37
Cement Masons	5/1/2023		\$44.20	\$32.96	\$77.16
Dockbuilder, Pile Drivers	5/1/2023		\$50.48	\$37.99	\$88.47
Dockbuilder, Pile Drivers	5/1/2024		\$52.98	\$37.99	\$90.97
Dockbuilder, Pile Drivers	5/1/2025		\$55.23	\$37.99	\$93.22
Dockbuilder, Pile Drivers	5/1/2026		\$56.98	\$37.99	\$94.97
Dockbuilder/Pile Driver Diver	5/1/2023		\$58.41	\$41.74	\$100.15
Dockbuilder/Pile Driver Diver	5/1/2024		\$61.54	\$41.74	\$103.28
Dockbuilder/Pile Driver Diver	5/1/2025		\$64.35	\$41.74	\$106.09
Dockbuilder/Pile Driver Diver	5/1/2026		\$66.54	\$41.74	\$108.28
Dockbuilder/pile driver tender	5/1/2023		\$50.48	\$37.99	\$88.47
Dockbuilder/pile driver tender	5/1/2024		\$52.98	\$37.99	\$90.97
Dockbuilder/pile driver tender	5/1/2025		\$55.23	\$37.99	\$93.22
Dockbuilder/pile driver tender	5/1/2026		\$56.98	\$37.99	\$94.97
Drywall Finisher	5/1/2023		\$41.80	\$31.76	\$73.56
Electricians	5/1/2023		\$68.18	\$42.97	\$111.15
Elevator Constructor	1/1/2023		\$66.21	\$43.64	\$109.85
Floor Coverer	5/1/2023		\$54.74	\$29.46	\$84.20
Floor Coverer	5/1/2024		\$56.94	\$29.46	\$86.40
Glazier	5/1/2023		\$46.68	\$36.62	\$83.30
Interior Finish	5/1/2023		\$36.45	\$27.02	\$63.47
Iron Workers (Bridge, Structural, Ornamental, Precast)	1/1/2023		\$50.70	\$39.51	\$90.21
Iron Workers (Riggers)	7/1/2023		\$44.62	\$34.14	\$78.76
Iron Workers (Rodman/Reinforcing)	7/1/2023		\$48.29	\$34.77	\$83.06
Laborers (Class 01 - See notes)	5/1/2022		\$35.20	\$26.82	\$62.02
Laborers (Class 01 - See notes)	5/1/2023		\$36.45	\$27.02	\$63.47

**BUREAU OF LABOR LAW COMPLIANCE  
PREVAILING WAGES PROJECT RATES**

<b>Project: 24-03834 - Building</b>	<b>Effective Date</b>	<b>Expiration Date</b>	<b>Hourly Rate</b>	<b>Fringe Benefits</b>	<b>Total</b>
Laborers (Class 02 - See notes)	5/1/2022		\$36.70	\$27.00	\$63.70
Laborers (Class 02 - See notes)	5/1/2023		\$37.95	\$27.30	\$65.25
Laborers (Class 03 - See notes)	5/1/2022		\$35.62	\$27.05	\$62.67
Laborers (Class 03 - See notes)	5/1/2023		\$36.87	\$27.25	\$64.12
Laborers (Class 04 - See notes)	5/1/2022		\$35.62	\$27.05	\$62.67
Laborers (Class 04 - See notes)	5/1/2023		\$36.87	\$27.25	\$64.12
Laborers (Class 05 - See notes)	5/1/2022		\$35.20	\$26.82	\$62.02
Laborers (Class 05 - See notes)	5/1/2023		\$36.45	\$27.02	\$63.47
Landscape Laborer	5/1/2023		\$29.45	\$23.98	\$53.43
Marble Finisher	5/1/2023		\$39.52	\$29.30	\$68.82
Marble Mason	5/1/2023		\$47.20	\$31.95	\$79.15
Mason Tender, Cement	5/1/2023		\$36.87	\$27.25	\$64.12
Millwright	5/1/2023		\$51.60	\$35.81	\$87.41
Millwright	5/1/2024		\$54.67	\$35.81	\$90.48
Millwright	5/1/2025		\$57.39	\$35.81	\$93.20
Millwright	5/1/2026		\$60.20	\$35.81	\$96.01
Operators (Building, Class 01 - See Notes)	5/1/2023		\$52.20	\$32.81	\$85.01
Operators (Building, Class 01A - See Notes)	5/1/2023		\$55.20	\$33.70	\$88.90
Operators (Building, Class 02 - See Notes)	5/1/2023		\$51.95	\$32.74	\$84.69
Operators (Building, Class 02A - See Notes)	5/1/2023		\$54.97	\$33.61	\$88.58
Operators (Building, Class 03 - See Notes)	5/1/2023		\$47.87	\$31.53	\$79.40
Operators (Building, Class 04 - See Notes)	5/1/2023		\$47.57	\$31.44	\$79.01
Operators (Building, Class 05 - See Notes)	5/1/2023		\$45.85	\$30.93	\$76.78
Operators (Building, Class 06 - See Notes)	5/1/2023		\$44.85	\$30.65	\$75.50
Operators (Building, Class 07A- See Notes)	5/1/2023		\$63.33	\$37.68	\$101.01
Operators (Building, Class 07B- See Notes)	5/1/2023		\$63.04	\$37.59	\$100.63
Painters Class 1 (see notes)	5/1/2023		\$42.32	\$32.91	\$75.23
Painters Class 4 (see notes)	5/1/2023		\$44.41	\$32.91	\$77.32
Plasterers	5/1/2021		\$41.52	\$31.85	\$73.37
Plasterers	5/1/2023		\$42.97	\$32.65	\$75.62
Plumbers	5/1/2023		\$64.73	\$37.61	\$102.34
Pointers, Caulkers, Cleaners	5/1/2023		\$48.80	\$30.70	\$79.50
Roofers (Composition)	5/1/2023		\$42.63	\$34.62	\$77.25
Roofers (Shingle)	5/1/2023		\$32.85	\$22.10	\$54.95
Roofers (Slate & Tile)	5/1/2023		\$35.85	\$22.10	\$57.95
Sheet Metal Workers	5/1/2022		\$55.75	\$47.28	\$103.03
Sheet Metal Workers	5/1/2023		\$57.31	\$48.97	\$106.28
Sign Makers and Hangars	7/15/2022		\$30.54	\$24.35	\$54.89
Sign Makers and Hangars	7/15/2023		\$31.76	\$24.63	\$56.39
Sprinklerfitters	1/1/2023		\$62.23	\$31.99	\$94.22
Steamfitters	5/1/2023		\$67.37	\$41.99	\$109.36
Stone Masons	5/1/2023		\$47.20	\$31.95	\$79.15
Terrazzo Finisher	5/1/2023		\$43.75	\$27.86	\$71.61
Terrazzo Grinder	5/1/2023		\$44.02	\$27.86	\$71.88



**BUREAU OF LABOR LAW COMPLIANCE  
PREVAILING WAGES PROJECT RATES**

<b>Project: 24-03834 - Building</b>	<b>Effective Date</b>	<b>Expiration Date</b>	<b>Hourly Rate</b>	<b>Fringe Benefits</b>	<b>Total</b>
Terrazzo Mechanics	5/1/2023		\$50.26	\$29.56	\$79.82
Tile Finisher	5/1/2023		\$39.52	\$29.30	\$68.82
Tile Setter	5/1/2023		\$50.26	\$29.56	\$79.82
Truckdriver class 1(see notes)	5/1/2022		\$35.60	\$20.74	\$56.34
Truckdriver class 1(see notes)	5/1/2023		\$36.29	\$21.55	\$57.84
Truckdriver class 1(see notes)	5/1/2024		\$36.79	\$22.54	\$59.33
Truckdriver class 2 (see notes)	5/1/2022		\$35.70	\$20.74	\$56.44
Truckdriver class 2 (see notes)	5/1/2023		\$36.39	\$21.55	\$57.94
Truckdriver class 2 (see notes)	5/1/2024		\$36.89	\$22.54	\$59.43
Truckdriver class 3 (see notes)	5/1/2022		\$35.95	\$20.74	\$56.69
Truckdriver class 3 (see notes)	5/1/2023		\$36.64	\$21.55	\$58.19
Truckdriver class 3 (see notes)	5/1/2024		\$37.14	\$22.54	\$59.68
Window Film / Tint Installer	6/1/2019		\$24.52	\$12.08	\$36.60

**BUREAU OF LABOR LAW COMPLIANCE  
PREVAILING WAGES PROJECT RATES**

<b>Project: 24-03834 - Heavy/Highway</b>	<b>Effective Date</b>	<b>Expiration Date</b>	<b>Hourly Rate</b>	<b>Fringe Benefits</b>	<b>Total</b>
Carpenter - Chief of Party (Surveying & Layout)	5/1/2023		\$63.24	\$29.06	\$92.30
Carpenter - Chief of Party (Surveying & Layout)	5/1/2024		\$65.19	\$29.06	\$94.25
Carpenter - Chief of Party (Surveying & Layout)	5/1/2025		\$67.15	\$29.06	\$96.21
Carpenter - Chief of Party (Surveying & Layout)	5/1/2026		\$69.10	\$29.06	\$98.16
Carpenter - Instrument Person (Surveying & Layout)	5/1/2023		\$54.99	\$29.06	\$84.05
Carpenter - Instrument Person (Surveying & Layout)	5/1/2024		\$56.69	\$29.06	\$85.75
Carpenter - Instrument Person (Surveying & Layout)	5/1/2025		\$58.39	\$29.06	\$87.45
Carpenter - Instrument Person (Surveying & Layout)	5/1/2026		\$60.09	\$29.06	\$89.15
Carpenter - Rodman (Surveying & Layout)	5/1/2023		\$43.99	\$22.41	\$66.40
Carpenter - Rodman (Surveying & Layout)	5/1/2024		\$45.35	\$22.41	\$67.76
Carpenter - Rodman (Surveying & Layout)	5/1/2025		\$46.71	\$22.41	\$69.12
Carpenter - Rodman (Surveying & Layout)	5/1/2026		\$48.07	\$22.41	\$70.48
Carpenter	5/1/2023		\$54.99	\$29.06	\$84.05
Carpenter	5/1/2024		\$56.69	\$29.06	\$85.75
Carpenter	5/1/2025		\$58.49	\$29.06	\$87.55
Carpenter	5/1/2026		\$60.19	\$29.06	\$89.25
Cement Masons	5/1/2023		\$43.20	\$32.91	\$76.11
Dockbuilder, Pile Drivers	5/1/2023		\$50.48	\$37.99	\$88.47
Dockbuilder, Pile Drivers	5/1/2024		\$52.98	\$37.99	\$90.97
Dockbuilder, Pile Drivers	5/1/2025		\$55.23	\$37.99	\$93.22
Dockbuilder, Pile Drivers	5/1/2026		\$56.98	\$37.99	\$94.97
Dockbuilder/Pile Driver Diver	5/1/2023		\$58.41	\$41.74	\$100.15
Dockbuilder/Pile Driver Diver	5/1/2024		\$61.54	\$41.74	\$103.28
Dockbuilder/Pile Driver Diver	5/1/2025		\$64.35	\$41.74	\$106.09
Dockbuilder/Pile Driver Diver	5/1/2026		\$66.54	\$41.74	\$108.28
Dockbuilder/pile driver tender	5/1/2023		\$50.48	\$37.99	\$88.47
Dockbuilder/pile driver tender	5/1/2024		\$52.98	\$37.99	\$90.97
Dockbuilder/pile driver tender	5/1/2025		\$55.23	\$37.99	\$93.22
Dockbuilder/pile driver tender	5/1/2026		\$56.98	\$37.99	\$94.97
Electric Lineman	5/30/2022		\$59.17	\$31.48	\$90.65
Electric Lineman	5/29/2023		\$60.48	\$32.77	\$93.25
Electric Lineman	6/3/2024		\$62.07	\$33.96	\$96.03
Iron Workers (Bridge, Structural, Ornamental, Precast)	1/1/2023		\$50.70	\$39.51	\$90.21
Iron Workers (Riggers)	7/1/2023		\$44.62	\$34.14	\$78.76
Iron Workers (Rodman/Reinforcing)	7/1/2023		\$48.29	\$34.77	\$83.06
Laborers (Class 01 - See notes)	5/1/2022		\$36.30	\$27.20	\$63.50
Laborers (Class 01 - See notes)	5/1/2023		\$37.55	\$27.45	\$65.00
Laborers (Class 02 - See notes)	5/1/2022		\$36.50	\$27.20	\$63.70
Laborers (Class 02 - See notes)	5/1/2023		\$37.75	\$27.45	\$65.20
Laborers (Class 03 - See notes)	5/1/2022		\$36.50	\$27.20	\$63.70
Laborers (Class 03 - See notes)	5/1/2023		\$37.75	\$27.45	\$65.20
Laborers (Class 04 - See notes)	5/1/2022		\$31.10	\$27.20	\$58.30
Laborers (Class 04 - See notes)	5/1/2023		\$32.35	\$27.45	\$59.80
Laborers (Class 05 - See notes)	5/1/2022		\$37.15	\$27.20	\$64.35

**BUREAU OF LABOR LAW COMPLIANCE  
PREVAILING WAGES PROJECT RATES**

<b>Project: 24-03834 - Heavy/Highway</b>	<b>Effective Date</b>	<b>Expiration Date</b>	<b>Hourly Rate</b>	<b>Fringe Benefits</b>	<b>Total</b>
Laborers (Class 05 - See notes)	5/1/2023		\$38.40	\$27.45	\$65.85
Laborers (Class 06 - See notes)	5/1/2022		\$37.20	\$27.20	\$64.40
Laborers (Class 06 - See notes)	5/1/2023		\$38.40	\$27.45	\$65.85
Laborers (Class 07 - See notes)	5/1/2022		\$37.05	\$27.20	\$64.25
Laborers (Class 07 - See notes)	5/1/2023		\$38.30	\$27.45	\$65.75
Laborers (Class 08 - See notes)	5/1/2022		\$36.80	\$27.20	\$64.00
Laborers (Class 08 - See notes)	5/1/2023		\$38.05	\$27.45	\$65.50
Laborers (Class 09 - See notes)	5/1/2022		\$36.65	\$27.20	\$63.85
Laborers (Class 09 - See notes)	5/1/2023		\$37.90	\$27.45	\$65.35
Laborers (Class 10- See notes)	5/1/2022		\$36.80	\$27.20	\$64.00
Laborers (Class 10- See notes)	5/1/2023		\$38.05	\$27.45	\$65.50
Laborers (Class 11 -See Notes)	5/1/2022		\$36.70	\$27.20	\$63.90
Laborers (Class 11 -See Notes)	5/1/2023		\$37.95	\$27.45	\$65.40
Laborers (Class 12 -See Notes)	5/1/2022		\$38.40	\$27.20	\$65.60
Laborers (Class 12 -See Notes)	5/1/2023		\$39.65	\$27.45	\$67.10
Laborers (Class 13 -See Notes)	5/1/2022		\$40.43	\$27.20	\$67.63
Laborers (Class 13 -See Notes)	5/1/2023		\$41.65	\$27.45	\$69.10
Laborers (Class 14 -See Notes)	5/1/2022		\$36.55	\$27.20	\$63.75
Laborers (Class 14 -See Notes)	5/1/2023		\$38.25	\$27.45	\$65.70
Laborers Utility (PGW ONLY) (Flagperson)	5/1/2022		\$30.17	\$19.18	\$49.35
Laborers Utility (PGW ONLY)	5/1/2022		\$37.20	\$19.18	\$56.38
Landscape Laborer	5/1/2022		\$27.73	\$23.65	\$51.38
Landscape Laborer	5/1/2023		\$29.03	\$23.80	\$52.83
Millwright	5/1/2023		\$51.60	\$35.81	\$87.41
Millwright	5/1/2024		\$54.67	\$35.81	\$90.48
Millwright	5/1/2025		\$57.39	\$35.81	\$93.20
Millwright	5/1/2026		\$60.20	\$35.81	\$96.01
Operators Class 01 - See Notes (Building, Heavy, Highway)	5/1/2023		\$52.20	\$32.81	\$85.01
Operators Class 01 - See Notes (Building, Heavy, Highway)	5/1/2024		\$53.36	\$33.65	\$87.01
Operators Class 01 - See Notes (Building, Heavy, Highway)	5/1/2025		\$54.52	\$34.49	\$89.01
Operators Class 01 - See Notes (Building, Heavy, Highway)	5/1/2026		\$55.67	\$35.34	\$91.01
Operators Class 01a - See Notes (Building, Heavy, Highway)	5/1/2023		\$55.20	\$33.70	\$88.90
Operators Class 01a - See Notes (Building, Heavy, Highway)	5/1/2024		\$56.37	\$34.53	\$90.90
Operators Class 01a - See Notes (Building, Heavy, Highway)	5/1/2025		\$57.52	\$35.38	\$92.90
Operators Class 01a - See Notes (Building, Heavy, Highway)	5/1/2026		\$58.68	\$36.22	\$94.90
Operators Class 02 - See Notes (Building, Heavy, Highway)	5/1/2023		\$51.95	\$32.74	\$84.69
Operators Class 02 - See Notes (Building, Heavy, Highway)	5/1/2024		\$53.11	\$33.58	\$86.69
Operators Class 02 - See Notes (Building, Heavy, Highway)	5/1/2025		\$54.27	\$34.42	\$88.69

**BUREAU OF LABOR LAW COMPLIANCE  
PREVAILING WAGES PROJECT RATES**

<b>Project: 24-03834 - Heavy/Highway</b>	<b>Effective Date</b>	<b>Expiration Date</b>	<b>Hourly Rate</b>	<b>Fringe Benefits</b>	<b>Total</b>
Highway)					
Operators Class 02 - See Notes (Building, Heavy, Highway)	5/1/2026		\$55.43	\$35.26	\$90.69
Operators Class 02a - See Notes (Building, Heavy, Highway)	5/1/2023		\$54.97	\$33.61	\$88.58
Operators Class 02a - See Notes (Building, Heavy, Highway)	5/1/2024		\$56.13	\$34.45	\$90.58
Operators Class 02a - See Notes (Building, Heavy, Highway)	5/1/2025		\$57.29	\$35.29	\$92.58
Operators Class 02a - See Notes (Building, Heavy, Highway)	5/1/2026		\$58.44	\$36.14	\$94.58
Operators Class 03 - See Notes (Building, Heavy, Highway)	5/1/2023		\$47.87	\$31.53	\$79.40
Operators Class 03 - See Notes (Building, Heavy, Highway)	5/1/2024		\$49.03	\$32.37	\$81.40
Operators Class 03 - See Notes (Building, Heavy, Highway)	5/1/2025		\$50.18	\$33.22	\$83.40
Operators Class 03 - See Notes (Building, Heavy, Highway)	5/1/2026		\$51.34	\$34.06	\$85.40
Operators Class 04 - See Notes (Building, Heavy, Highway)	5/1/2023		\$47.57	\$31.44	\$79.01
Operators Class 04 - See Notes (Building, Heavy, Highway)	5/1/2024		\$48.73	\$32.28	\$81.01
Operators Class 04 - See Notes (Building, Heavy, Highway)	5/1/2025		\$49.88	\$33.13	\$83.01
Operators Class 04 - See Notes (Building, Heavy, Highway)	5/1/2026		\$51.04	\$33.97	\$85.01
Operators Class 05 - See Notes (Building, Heavy, Highway)	5/1/2023		\$45.85	\$30.93	\$76.78
Operators Class 05 - See Notes (Building, Heavy, Highway)	5/1/2024		\$47.00	\$31.78	\$78.78
Operators Class 05 - See Notes (Building, Heavy, Highway)	5/1/2025		\$48.16	\$32.62	\$80.78
Operators Class 05 - See Notes (Building, Heavy, Highway)	5/1/2026		\$49.32	\$33.46	\$82.78
Operators Class 06 - See Notes (Building, Heavy, Highway)	5/1/2023		\$44.85	\$30.65	\$75.50
Operators Class 06 - See Notes (Building, Heavy, Highway)	5/1/2024		\$46.02	\$31.48	\$77.50
Operators Class 06 - See Notes (Building, Heavy, Highway)	5/1/2025		\$47.17	\$32.33	\$79.50
Operators Class 06 - See Notes (Building, Heavy, Highway)	5/1/2026		\$48.34	\$33.16	\$81.50
Operators Class 07 (A) - See Notes (Building, Heavy, Highway)	5/1/2023		\$63.33	\$37.68	\$101.01
Operators Class 07 (A) - See Notes (Building, Heavy, Highway)	5/1/2024		\$64.80	\$38.61	\$103.41
Operators Class 07 (A) - See Notes (Building, Heavy, Highway)	5/1/2025		\$66.26	\$39.55	\$105.81
Operators Class 07 (A) - See Notes (Building, Heavy, Highway)	5/1/2026		\$67.73	\$40.48	\$108.21
Operators Class 07 (B) - See Notes (Building, Heavy, Highway)	5/1/2023		\$63.04	\$37.59	\$100.63

**BUREAU OF LABOR LAW COMPLIANCE  
PREVAILING WAGES PROJECT RATES**

<b>Project: 24-03834 - Heavy/Highway</b>	<b>Effective Date</b>	<b>Expiration Date</b>	<b>Hourly Rate</b>	<b>Fringe Benefits</b>	<b>Total</b>
Operators Class 07 (B) - See Notes (Building, Heavy, Highway)	5/1/2024		\$64.50	\$38.53	\$103.03
Operators Class 07 (B) - See Notes (Building, Heavy, Highway)	5/1/2025		\$65.97	\$39.46	\$105.43
Operators Class 07 (B) - See Notes (Building, Heavy, Highway)	5/1/2026		\$67.44	\$40.39	\$107.83
Painters Class 2 (see notes)	2/1/2023		\$48.82	\$32.09	\$80.91
Painters Class 2 (see notes)	2/1/2024		\$49.57	\$33.34	\$82.91
Painters Class 3 (see notes)	2/1/2023		\$59.78	\$32.13	\$91.91
Painters Class 3 (see notes)	2/1/2024		\$60.53	\$33.38	\$93.91
Steamfitters (Heavy and Highway - Gas Distribution)	5/1/2022		\$64.57	\$40.28	\$104.85
Steamfitters (Heavy and Highway - Gas Distribution)	5/1/2023		\$67.37	\$41.68	\$109.05
Steamfitters (Heavy and Highway - Gas Distribution)	3/4/2024		\$67.37	\$41.83	\$109.20
Truckdriver class 1(see notes)	5/1/2022		\$35.45	\$20.74	\$56.19
Truckdriver class 1(see notes)	5/1/2023		\$36.14	\$21.55	\$57.69
Truckdriver class 1(see notes)	5/1/2024		\$36.64	\$22.54	\$59.18
Truckdriver class 2 (see notes)	5/1/2022		\$35.55	\$20.74	\$56.29
Truckdriver class 2 (see notes)	5/1/2023		\$36.24	\$21.55	\$57.79
Truckdriver class 2 (see notes)	5/1/2024		\$36.74	\$22.54	\$59.28
Truckdriver class 3 (see notes)	5/1/2022		\$35.80	\$20.74	\$56.54
Truckdriver class 3 (see notes)	5/1/2023		\$36.49	\$21.55	\$58.04
Truckdriver class 3 (see notes)	5/1/2024		\$36.99	\$22.54	\$59.53

## **ADDENDUM 1**

- C3.0**      Redirection of RD-1 per information from the drain scoping report.
- C8.1**      Addition of cleanouts considering the conditions of the scoping report, to prove extra points of access near fittings.
- D2.0**      Revision to General Notes regarding the pendant light at the dome interior.
- A2.0**      Revision to General Notes regarding the pendant light at the dome interior.
- A2.1**      Revision to General Notes regarding the pendant light at the dome interior.





# CITY OF PHILADELPHIA FREE LIBRARY OF PHILADELPHIA

MAYOR - CHERELLE L. PARKER  
PRESIDENT AND DIRECTOR - FREE LIBRARY - KELLY RICHARDS

## MCPHERSON SQUARE LIBRARY

PROJECT NO.: 52025E-05-01

601 E Indiana Ave,  
Philadelphia, PA 19134

### CONSTRUCTION DOCUMENTATION ADDENDUM 1



**SMP ARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19106  
215 925 0425

**STRUCTURAL ENGINEER:**  
**ANN ROTHMANN STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

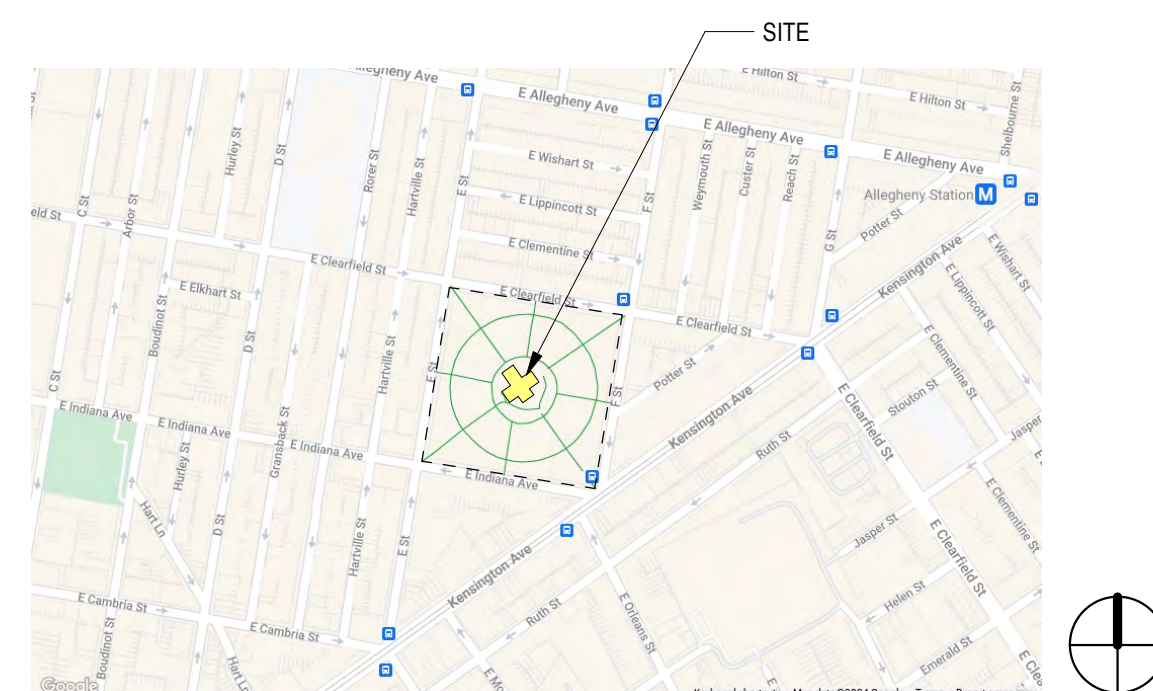
**ROOFING CONSULTANT:**  
**STEVE McLAUGHLIN**  
Steve McLaughlin  
210 Garden Avenue  
Somerville, NJ 08083  
856 287 2422

**PROJECT USER:**  
**FREE LIBRARY OF PHILADELPHIA**  
1901 Vine Street,  
Philadelphia, Pennsylvania 19103

**PROJECT ADMINISTRATOR:**  
**REBUILD PHILADELPHIA**  
Cassie O'Connell, Project Manager  
1515 Arch Street, Mezzanine Level  
Philadelphia, Pennsylvania 19107



#### LOCATION PLAN



#### DRAWING LIST

GENERAL	
CS 1	COVER SHEET
A0.1	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS
CIVIL	
C1.0	EXISTING SITE PLAN
C2.0	DEMOLITION PLAN
C3.0	PROPOSED SITE PLAN
C6.0	EROSION AND SEDIMENT CONTROL PLAN
C6.1	EROSION AND SEDIMENT CONTROL DETAILS
C6.2	EROSION AND SEDIMENT CONTROL NOTES
C7.0	CONSTRUCTION DETAILS
C8.0	UTILITY DETAILS
C8.1	UTILITY DETAILS
ARCHITECTURAL	
A2.0	DEMOLITION BASEMENT & ROOF PLAN
D3.0	DEMOLITION EXTERIOR ELEVATIONS
D3.1	DEMOLITION EXTERIOR ELEVATIONS
A2.0	FLOOR PLANS
A2.1	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	EXTERIOR ELEVATIONS
A8.0	ROOF DETAILS
A8.1	CORNICE DETAILS
A10.0	DOME INTERIOR PHOTOS
STRUCTURAL	
S1	ROOF FRAMING PLAN, SECTIONS AND NOTES

#### PROJECT APPROVED

PROJECT MANAGER/PUBLIC PROPERTY	
PROJECT MANAGER/REBUILD	
ART COMMISSION	
SEALS	
CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY	
ROOM 709 PHILADELPHIA PENNSYLVANIA	
PROJECT NO. 52025E-05-01	DRAWING NO. CS-1
DATE 04/15/2024	SCALE AS NOTED
DRAWN BY JS	CHECKED BY JGH

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.
- THE CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROVIDE A SKETCH OF THE CONDITION.
- DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS WITH ALL TRADES PRIOR TO INSTALLATION.
- DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING NIC, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL SLEEVING WORK, UNO, COORDINATE LOCATION AND SIZE OF ALL OPENINGS, INTERIOR AND/OR EXTERIOR WITH ALL TRADES PRIOR TO INSTALLATION.

**MATERIAL SYMBOLS:**

EARTH	STONE	CONCRETE	PLASTER, GWB, GROUT
CMU	BRICK	SLATE	CUT STONE
BLOCKING	PLYWOOD (LARGE SCALE)	MEDIUM DENSITY FIBERBOARD	BATT/LOOSE FILL/INSUL
STEEL (LARGE SCALE)	STEEL (SMALL SCALE)	ALUMINUM (LARGE SCALE)	GLASS (SMALL SCALE)
FINISH CARPENTRY	ROUGH CARPENTRY	FIBER CEMENT BD	
RIGID INSUL (LARGE SCALE)	RIGID INSUL (SMALL SCALE)	SPRAY APPLIED INSUL	

**REFERENCE SYMBOLS:**

ROOM IDENTIFICATION	PARTITION TYPE	DATUM ELEVATION
BUILDING SECTION	DETAIL	SPOT ELEVATION
DETAIL SECTION	ROOM ELEVATIONS	BREAKLINE
DOOR	BUILDING ELEVATION	REFERENCE GRID
REVISION	GRAPHIC SCALE	WINDOW TAG
NORTH ARROW	KEYED NOTE	LOUVER TAG

**ABBREVIATIONS:**

<b>A</b>	ARCHITECT/ENGINEER	<b>F</b>	FIRE ALARM	<b>P</b>	PRECAST ARCHITECTURAL CONCRETE
A/E	ANCHOR BOLT	FCB	FIBER CEMENT BOARD	PERF	PERFORATED
ABV	ABOVE	FCU	FAN COIL UNIT	PLAM	PLASTIC LAMINATE
ACT	ACOUSTIC CEILING TILE	FD	FLOOR DRAIN	PLAS	PLASTER
ADJ	ADJACENT/ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	PNL	PANEL
AFF	ABOVE FINISH FLOOR	FF	FACTORY FINISH	PNLG	PANELING
AGG	AGGREGATE	FEE	FINISHED FLOOR ELEVATION	PNT	PAINT(ED)
ALOW	ALUMINUM CURTAINWALL	FIN	FINISH(ED)	POL	POLISHED
AL(ALUM)	ALUMINUM	FLG	FLASHING	PROJ	PROJECTION
ALSF	ALUMINUM STOREFRONT	FLR	FLOOR(ING)	P.T.	PRESSURE TREATED
ALW	ALUMINUM WINDOW	FND	FOUNDATION	PT	PORCELAIN TILE
ANOD	ANODIZED	F.O.	FACE OF	PTN	PARTITION
AP	ACCESS PANEL	FP	FILLER PANEL	PWD	PLYWOOD
APPROX	APPROXIMATE	FT	FOOT (FEET)	PV	PIPE VENT
ARCH	ARCHITECTURAL	FTG	FOOTING		
		FTR	FIN TUBE RADIATOR		
<b>B</b>		<b>G</b>		<b>R</b>	
B&B	BOARD AND BATTEN	GA	GAUGE	RA	RETURN AIR
BCAB	BASE CABINET	GALV	GALVANIZED	RAD	RADIUS
BD	BOARD	GF	GROUND FACE	RB	RUBBER BASE
BLDG	BUILDING	GLAZ	GLAZED, GLAZING, GLASS	RBT	RUBBER STAIR TREAD
BLKG	BLOCKING	GRG	GLASS REINFORCED GYPSUM	RCP	REFLECTED CEILING PLAN
BLW	BELOW	GWB	GYPSUM WALLBOARD	RD	ROOF DRAIN
B.O.	BOTTOM OF			REF	REFER, REFERENCE
BC	BROADLOOM CARPET			REQD	REQUIRED
BM	BEAM	<b>H</b>		REV	REVISION, REVISE(D)
BRK	BRICK	HDPE	HIGH DENSITY POLYETHYLENE	RSF	RESILIENT FLOORING
BTW	BETWEEN	HM	HOLLOW METAL	RT	RESILIENT TILE FLOORING
		HOR	HORIZONTAL	RM	ROOM
<b>C</b>		HR	HARDWOOD	R.O.	ROUGH OPENING
CAB	CABINET	HRWD	HARDWOOD	RTF	RESILIENT RUBBER TILE FLOORING
CB	CEMENTBOARD	HSS	HOLLOW STEEL SECTION	RWC	RAINWATER CONDUCTOR
CERT	CERTIFIED	HT	HIGH TEMPERATURE		
CFMF	COLD FORMED METAL FRAMING	HVAC	HEAVY/VENTILATION/AIR CONDITIONING	<b>S</b>	
CJ	CONSTRUCTION/CONTROL JOINT			SA	SOUTH
CL	CENTERLINE	HWH	HOT WATER HEATER	SB	SUPPLY AIR
CLG	CEILING			SBC	SINK BASE CABINET
CLR	CLEAR/CLEARANCE	<b>I</b>		SBO	SUPPLIED BY OTHERS
CMU	CONCRETE MASONRY UNIT	IGU	INSULATED GLAZING UNIT	SFI	SPRAY FOAM INSULATION
COL	COLUMN	INCL	INCLUDING/INCLUDED	SIT	STRUCTURAL GLAZED TILE
COMP	COMPOSITE	INFO	INFORMATION	SIM	SIMILAR
CONC	CONCRETE	INSUL	INSULATED, INSULATION	SIP	STRUCTURAL INSULATED PANEL
CONC	CONCRETE	INT	INTERIOR	SL	SLOPED/SLOPE
CONT	CONTINUOUS			SOG	SLAB ON GRADE
COORD	COORDINATE	<b>J</b>		SSTL	STAINLESS STEEL
COR	CORRUGATED	JT	JOINT	STD	STANDARD
CPT	CARPET TILE			STL	STEEL
CT	CERAMIC TILE			STN	STAIN(ED)
CUH	CABINET UNIT HEATER	<b>L</b>		STRUC	STRUCTURAL
CW	CURTAINWALL	LAM	LAMINATED	SUSP	SUSPENDED
		LF	LINEAR FEET		
<b>D</b>		LG	LONG	<b>T</b>	
DEMO	DEMOLISH/DEMOLITION	LIN	LINOLEUM	TER	TERRAZZO
DIA	DIAMETER	LLV	LONG LEG VERTICAL	TF	TRANSPARENT FINISH
DIM	DIMENSION	LTL	LINTEL	THK	THICKNESS
DN	DOWN	LT	LIGHT	TLT	TOILET
DR	DOOR	LOUV	LOUVER	TPTN	TOILET PARTITION
DS	DOWNSPOUT			T.O.	TOP OF
DTL	DETAIL	<b>M</b>		TYP	TYPICAL
DWG(S)	DRAWING(S)	MAS	MASONRY	T&G	TONGUE AND GROOVE
		MAS DIM	MASONRY DIMENSION	<b>U</b>	
<b>E</b>		MATL	MATERIAL	UNO	UNLESS NOTED OTHERWISE
E	EAST	MAX	MAXIMUM		
EA	EACH	MDF	MEDIUM DENSITY FIBERBOARD	<b>V</b>	
EJ	EXPANSION JOINT	MECH	MECHANICAL	VAR	VARIES/VARIOUS
EL	ELEVATION	MFR	MANUFACTURER	VERT	VERTICAL
ELEC	ELECTRICAL	MIN	MINIMUM	VEST	VESTIBULE
ELEV	ELEVATOR	M.O.	MOISTURE RESISTANT	VIF	VERIFY IN FIELD
EMER	EMERGENCY	MTD	MOUNTED	VTR	VENT THROUGH ROOF
ER	ENGINEER OF RECORD	MTL	METAL		
EP	ELECTRICAL PANEL	MULL	MULLION	<b>W</b>	
EPX	EPOXY			W	WEST
EQ	EQUAL	<b>N</b>		W/	WITH
EQPM	EQUIPMENT	N	NORTH	W/O	WITHOUT
ES	EXPOSED STRUCTURE	NA	NOT APPLICABLE	WB	WALL BASE
ETR	EXISTING TO REMAIN	NAT	NATURAL	WC	WATER CLOSET
EWC	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT	WCAB	WALL CABINET
EXP	EXPOSED	NIS	NOT IN SCOPE	WD	WOOD
EXG	EXISTING	NOM	NOMINAL	WDP	WOOD PANEL
EXT	EXTERIOR	NTS	NOT TO SCALE	WF	WIDE FLANGE
		<b>O</b>		WIN	WINDOW
		OC	ON CENTER	WOM	WALK OFF MAT
		OFE	OWNER FURNISHED EQUIPMENT	WSCT	WAINSCOT
		OH	OPPOSITE HAND		
		OPP	OPPOSITE	<b>X</b>	
		OPG	OPENING	XPS	EXTRUDED POLYSTYRENE
		OSB	ORIENTED STRAND BOARD		
		OTLN	OUTLINE		

**CODE:**

THIS RENOVATION DOES NOT IMPACT ISSUES OF OCCUPANCY, HEIGHT AND AREA OR EGRESS.

**ALTERNATES:**

- ALTERNATE 1(ADD):** REPAIR AND RESTORE EXISTING PLASTER AND LATH CEILING (ASSUMED) AT DOME INTERIOR. REPAINT INTERIOR DOME SURFACE.
- ALTERNATE 2:** FOR REPLACEMENT TERRA COTTA UNITS, CONTRACTOR MAY CONSIDER ALTERNATIVE MATERIALS, SUCH AS GLASS FIBER REINFORCED CONCRETE (GFRC) AS AN ALTERNATE FOR CONSIDERATION BY OWNER. PROVIDE PRODUCT DATA FOR ALTERNATIVE PRODUCT FOR REVIEW. IN ADDITION TO PROPOSED DEDUCT ALTERNATE COST. IDENTIFY AND QUANTIFY SCHEDULE IMPROVEMENTS AVAILABLE TO THE PROJECT IF THIS ALTERNATE IS SELECTED BY THE OWNER.



MCPHERSON SQUARE LIBRARY  
601 E INDIANA AVE,  
PHILADELPHIA, PA 19134

**ARCHITECTS:**  
SMP Architects  
1600 Walnut Street, 2nd Floor  
Philadelphia, PA 19103  
215 985 4410  
www.smparchitects.com

**CIVIL ENGINEER:**  
KS Engineers  
530 Walnut Street, Suite 460  
Philadelphia, PA 19106  
215 616 3060

**STRUCTURAL ENGINEER:**  
Ann Rothmann  
100 E Lancaster Avenue, Suite 203  
Wayne, PA 19087  
610 688 2566

**ROOFING CONSULTANT:**  
Steve McLaughlin  
210 Garden Avenue  
Somersdale, NJ 08083  
856 287 2424

Seal:

No.	Date	Revision
-----	------	----------

By: JH Checked: JPH Scale: AS NOTED  
Date: 04/15/2024

Drawing Title:  
GENERAL NOTES,  
ABBREVIATIONS, MATERIALS,  
REFERENCE SYMBOLS

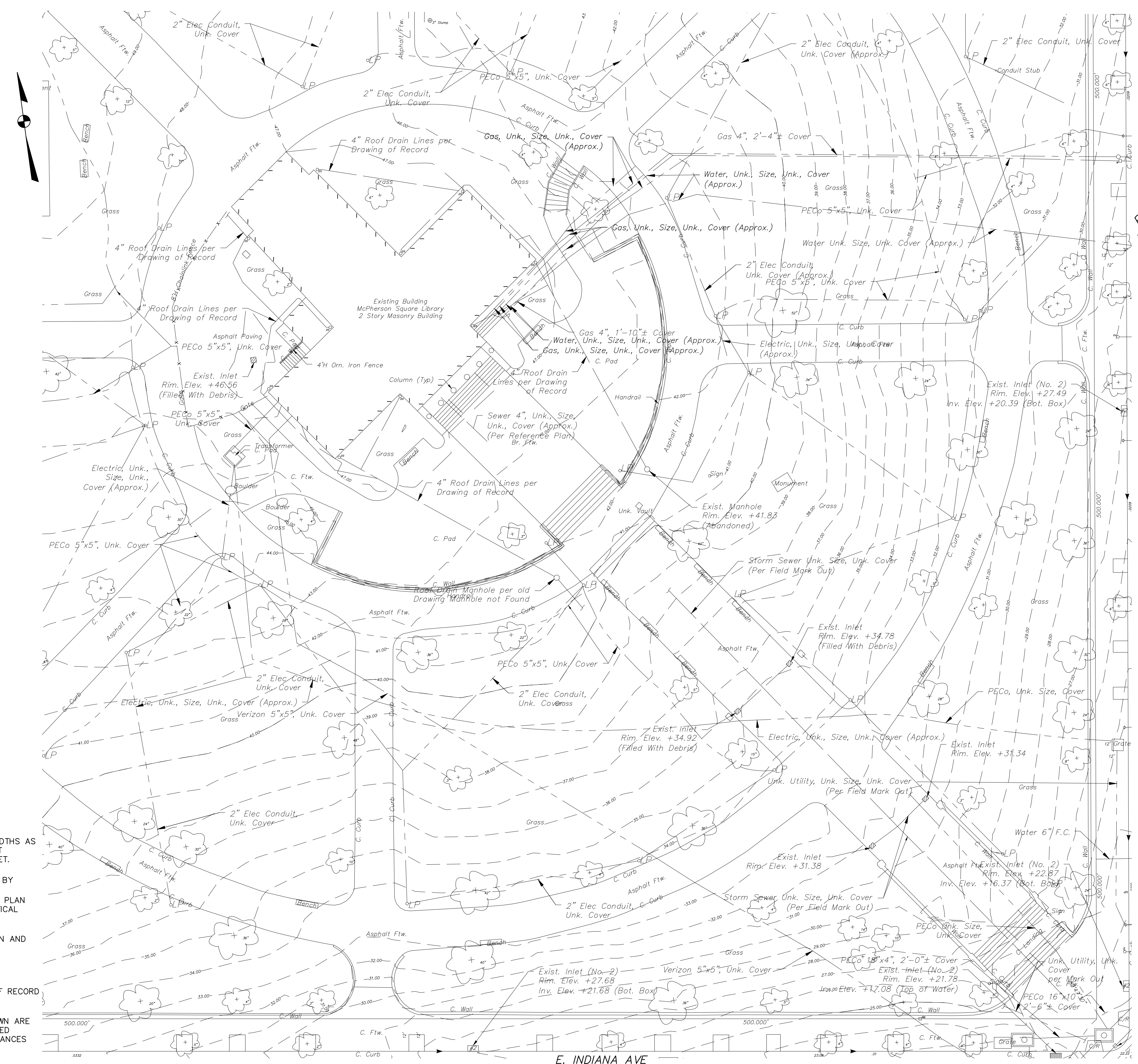
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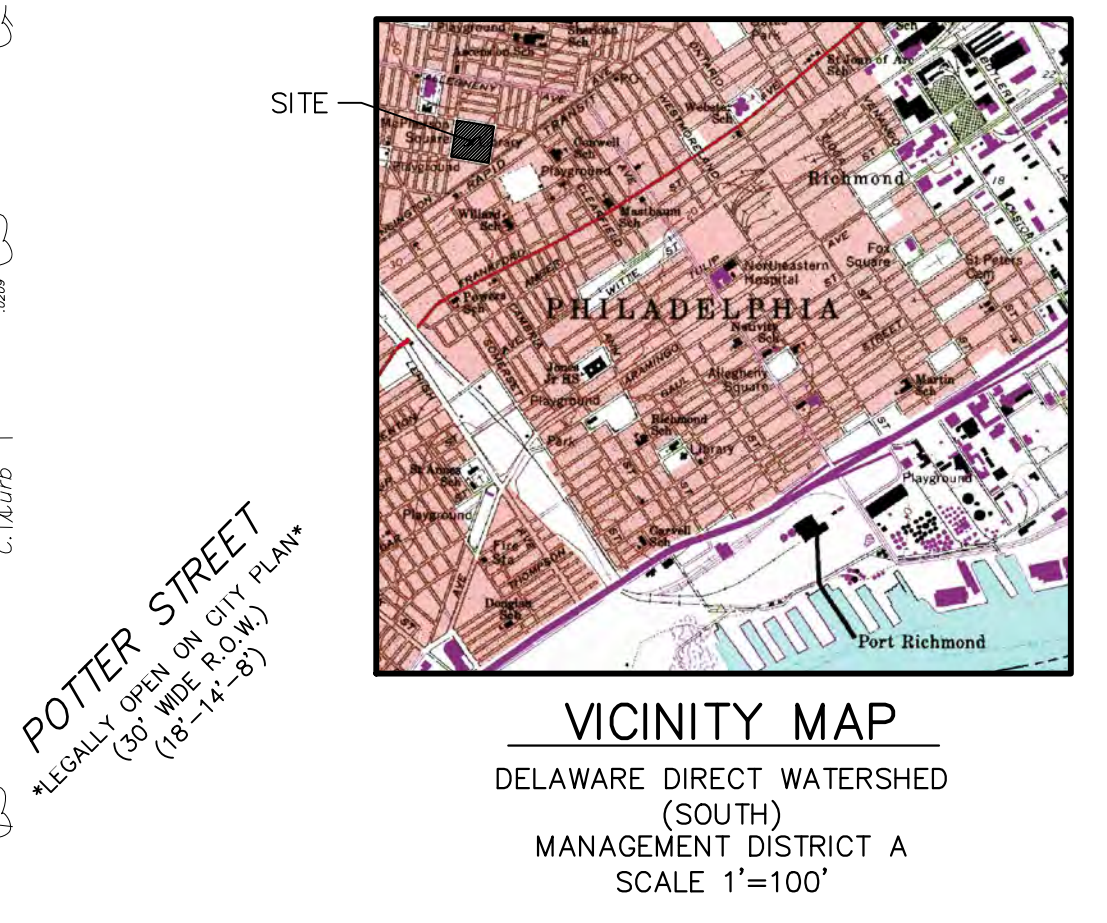


**LEGEND**

EXISTING	
---	PROPERTY LINES
- - -	CONTOUR LINE
G	GAS LINE
W	POTABLE WATER
- - -	SEWER (COMBINED)
S - S - S	SANITARY SEWER
D - D - D	STORM DRAIN
T - T - T	TELECOM CONDUIT
E	ELECTRIC CONDUIT
OHW - OHW - OHW	ELECTRIC OVERHEAD LINE
- X - X - X	CHAIN LINK FENCE
□	METAL FENCE
—	CURB
⊕	UNKNOWN MANHOLE
⊕	TELEPHONE MANHOLE
⊕	SANITARY MANHOLE
⊕	WATER MANHOLE
⊕	WATER VALVE
⊕	OIL FILL VALVE
⊕	FRESH AIR INLET
⊕	FIRE HYDRANT
⊕	UTILITY POLE/STREET LIGHT
⊕	LIGHTPOLE
⊕	TRAFFIC SIGNAL
⊕	INLET
⊕	AREA DRAIN
⊕	SIGN
⊕	TREE
⊕	FLAG POLE



- GENERAL NOTES:**
- PROPERTY DIMENSIONS ARE PER DEEDS OF RECORD AND STREET WIDTHS AS PER CITY PLAN NO. 18 AND ARE SHOWN IN PHILADELPHIA DISTRICT STANDARD. ALL OTHER DIMENSIONS ARE SHOWN IN U.S. SURVEY FEET.
  - SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY RODRIGUEZ CONSULTING, LLC ON 02/19/2020. SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN AND DEED OF RECORD. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM.
  - EXISTING SITE CONDITIONS AND PROPERTY LINE ARE BASED ON PLAN AND SURVEY BY OTHERS:  
PLAN REFERENCE:  
#1 - PWD GSI PROJECT #50120, RECEIVED 11/26/2019
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20200520979). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - PROJECT SITE IS LOCATED WITHIN THE SP-PO-A DISTRICT.

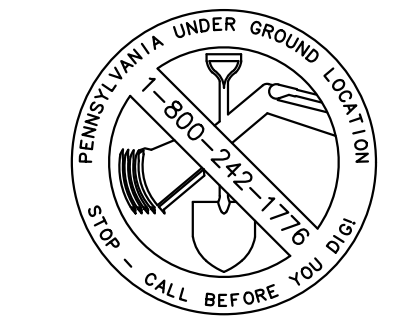


POTTER STREET  
\*LEGALLY OPEN ON CITY PLAN\*  
(50' WIDE R.O.W.)  
(18'-14'-8\")

F STREET  
\*LEGALLY OPEN ON CITY PLAN\*  
(50' WIDE R.O.W.)  
(12'-26'-12\")

KENSINGTON AVE  
\*LEGALLY OPEN ON CITY PLAN\*  
(70' WIDE R.O.W.)  
(13'-02'-35\")

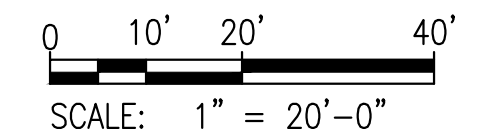
PROTECT YOURSELF



WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE  
Pennsylvania One Call System, Inc.  
1-800-242-1776

ACT 187	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.	
PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	



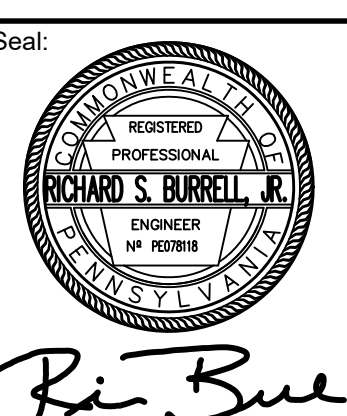
MCPHERSON SQUARE LIBRARY  
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KS ENGINEERS  
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Philadelphia, PA 19106  
215.616.3060

**STRUCTURAL ENGINEER:**  
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100 E Lancaster Avenue, Suite 203  
Wayne, PA 19087  
610.688.2566

**ROOFING CONSULTANT:**  
Steve McLaughlin  
210 Garden Avenue  
Somersdale, NJ 08083  
856.287.2424



**EXISTING SITE PLAN**

Date: 05/10/2024  
Drawing Title: C1.0  
Drawing No.:



**LEGEND**

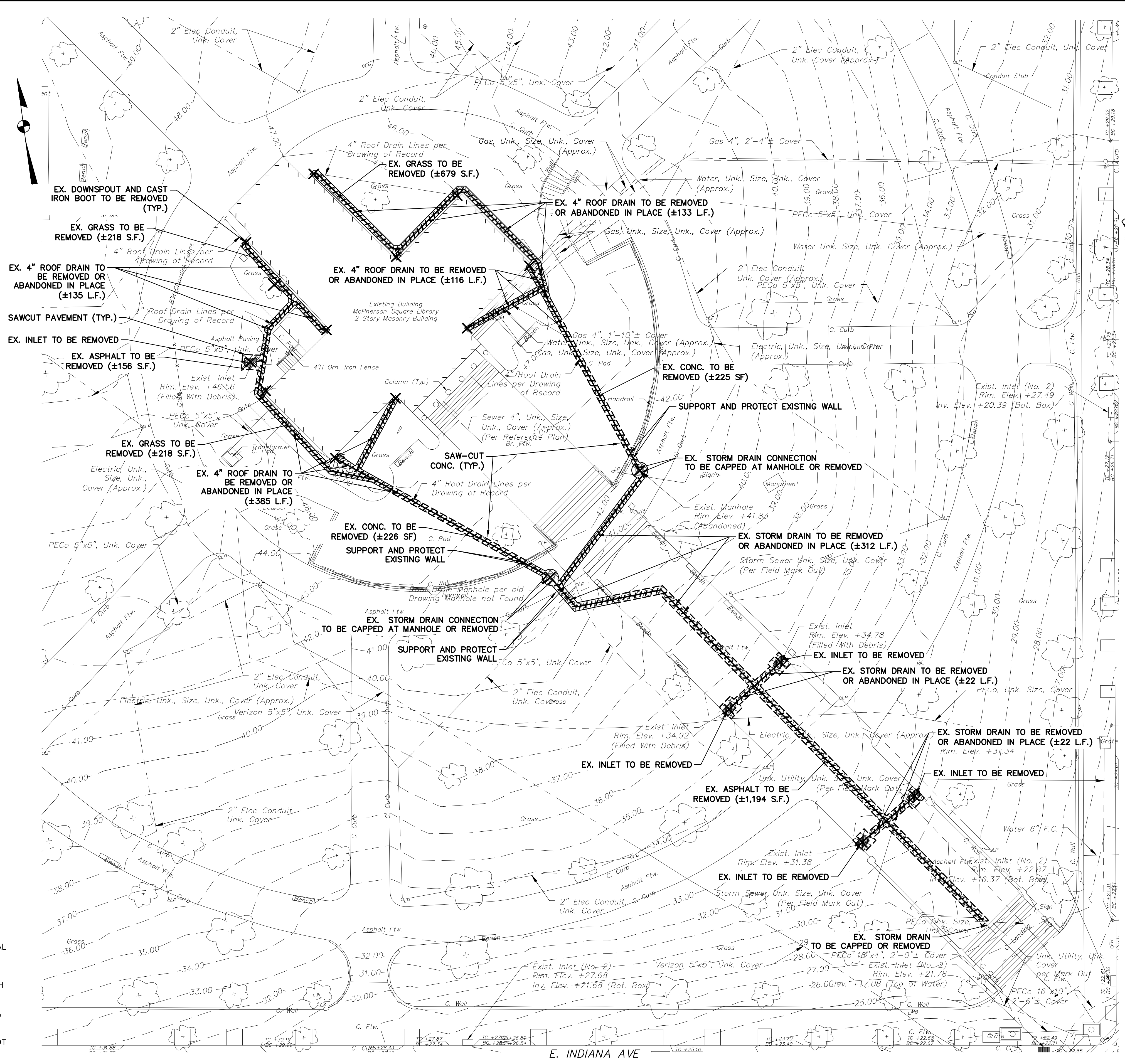
EXISTING	
---	PROPERTY LINES
- - -	CONTOUR LINE
G	GAS LINE
W	POTABLE WATER
- - -	SEWER (COMBINED)
S	SANITARY SEWER
D	STORM DRAIN
T	TELECOM CONDUIT
E	ELECTRIC CONDUIT
OHW	ELECTRIC OVERHEAD LINE
X	CHAIN LINK FENCE
□	METAL FENCE
□	CURB
○	UNKNOWN MANHOLE
○	TELEPHONE MANHOLE
○	SANITARY MANHOLE
○	WATER MANHOLE
○	WATER VALVE
○	OIL FILL VALVE
○	FRESH AIR INLET
○	FIRE HYDRANT
○	UTILITY POLE/STREET LIGHT
○	LIGHTPOLE
○	TRAFFIC SIGNAL
○	INLET
○	AREA DRAIN
○	SIGN
○	TREE
○	FLAG POLE

**DEMOLITION LEGEND**

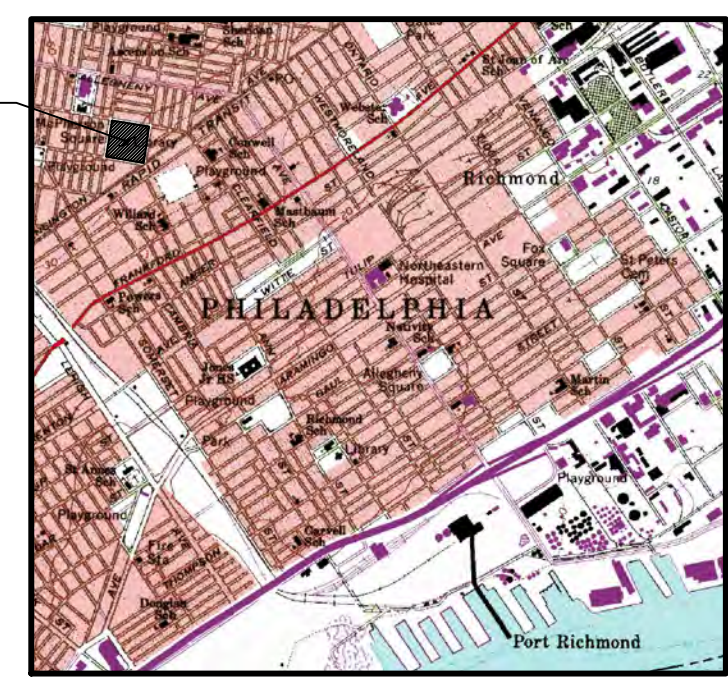
---	SAWCUT PAVEMENT LINE
---	EX. CONC. CURB TO BE REMOVED
---	EX. PAVING TO BE REMOVED
---	EX. GRASS TO BE REMOVED
---	EX. CONCRETE TO BE REMOVED
---	EX. INLET/ AREA DRAIN TO BE REMOVED
---	EX. TREE TO BE REMOVED

**DEMOLITION NOTES:**

- PRIOR TO STARTING ANY DEMOLITION WORK, CONTRACTOR TO DOCUMENT EXISTING SITE CONDITIONS WITH PHOTOS.
- PRIOR TO STARTING ANY EXCAVATION, CONTRACTOR TO HAVE UNDERGROUND UTILITY LOCATION SERVICES COMPLETED WITHIN THE LIMIT OF DISTURBANCE.
- EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN
- ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
- TEMPORARY 8' HIGH LOCKABLE CHAINLINK CONSTRUCTION FENCE TO BE UTILIZED IN SECURING THE WORK AREA AND BLOCK OFF ENTRANCES TO WORK AREA. CONSTRUCTION FENCE TO BE SECURED WITH THE USE OF CONCRETE BLOCKS AND TO BE LOCKED WHEN NOT IN USE. ALL CONSTRUCTION VEHICLES, EQUIPMENT, AND MATERIALS ARE TO BE KEPT INSIDE LOCKED AREA WHEN NOT IN USE.
- CONTRACTOR TO MONITOR EXISTING PARKING LOT AND PLAYGROUND AREA AT ALL TIMES TO PREVENT CONFLICT BETWEEN CONSTRUCTION VEHICLES, STAFF VEHICLES, DELIVERY TRUCKS AND PEDESTRIANS. CONTRACTOR TO REPAIR/REPLACE ANY CONCRETE, ASPHALT, LAWN OR PLANTED AREAS WITHIN THIS AREA AND WITHIN THE PUBLIC ROW THAT IS DAMAGED BY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- REMOVAL OF EXISTING TREES TO INCLUDE ALL MAJOR ROOT STRUCTURES, LOCATIONS TO BE TEMPORARILY BACKFILLED IN ACCORDANCE WITH SPECIFICATIONS.



LIMIT OF DISTURBANCE (LOD) SUMMARY		
ON-SITE	2,307 S.F.	0.053 ACRES
PUBLIC R.O.W.	-	-
TOTAL	2,307 S.F.	0.053 ACRES



**VICINITY MAP**  
DELAWARE DIRECT WATERSHED (SOUTH)  
MANAGEMENT DISTRICT A  
SCALE 1"=100'



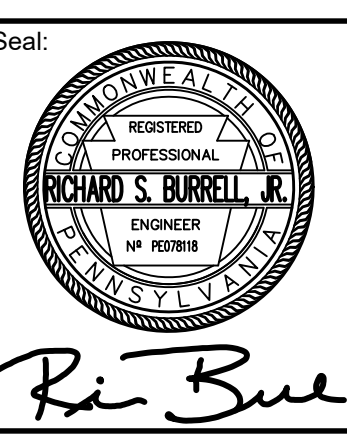
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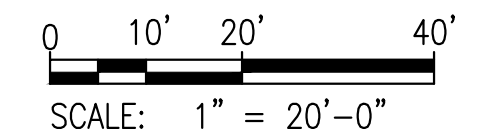


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Pennsylvania One Call System, Inc.  
1-800-242-1776

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PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
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PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	



\*LEGALLY OPEN ON CITY PLAN\*  
(12'-26"-12')

\*LEGALLY OPEN ON CITY PLAN\*  
(10'-26"-12')

\*LEGALLY OPEN ON CITY PLAN\*  
(50' WIDE R.O.W.)  
(12'-26"-26')

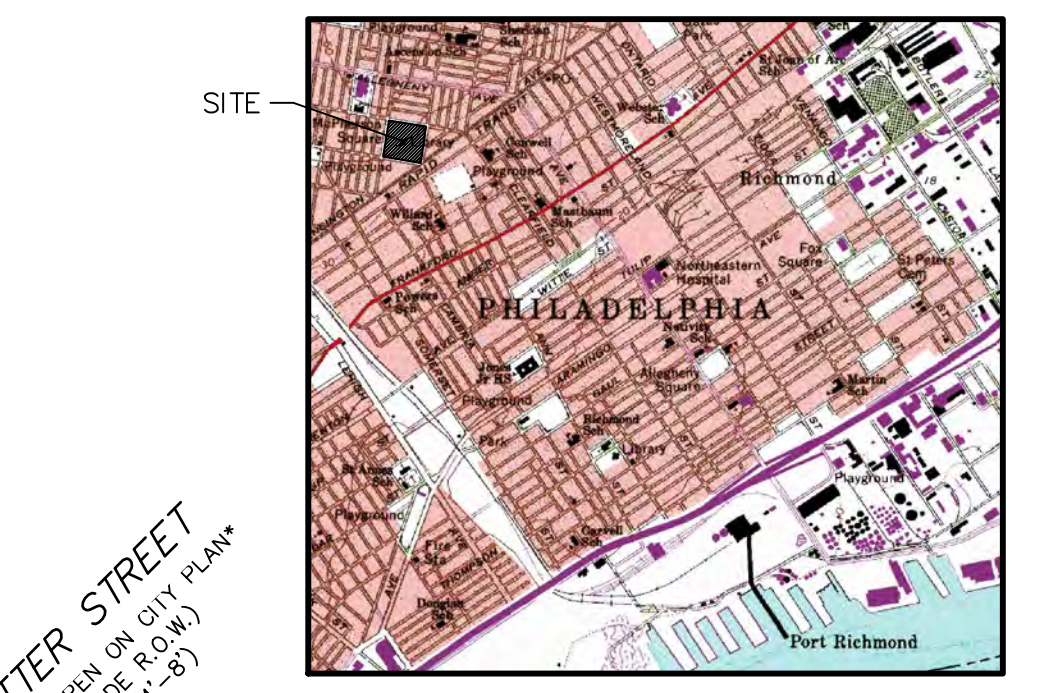
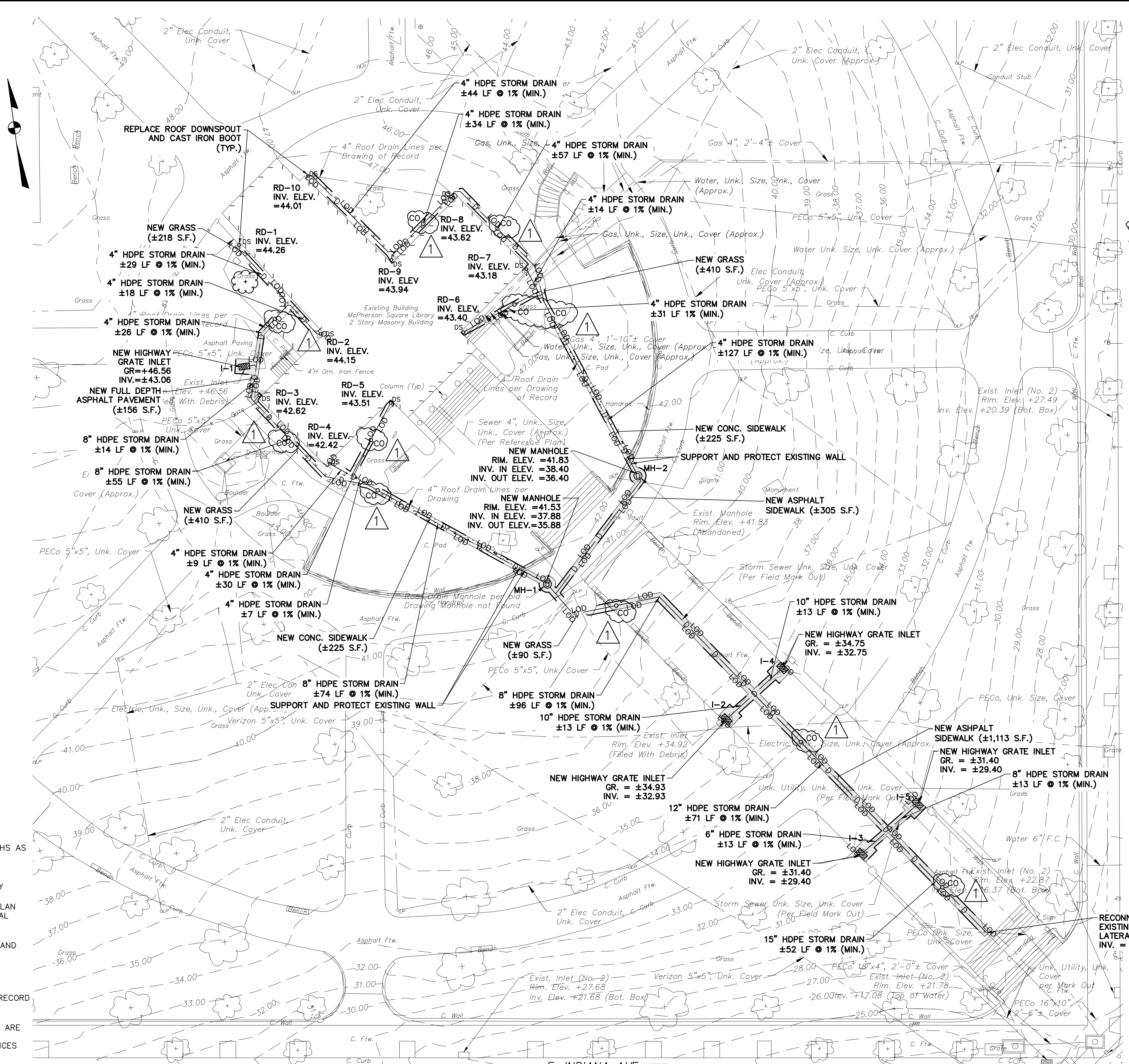


LEGEND

EXISTING	
---	PROPERTY LINES
---	CONTOUR LINE
G	GAS LINE
W	POTABLE WATER
---	SEWER (COMBINED)
S	SANITARY SEWER
D	STORM DRAIN
T	TELECOM CONDUIT
E	ELECTRIC CONDUIT
OHW	ELECTRIC OVERHEAD LINE
X	CHAIN LINK FENCE
□	METAL FENCE
□	CURB
○	UNKNOWN MANHOLE
○	TELEPHONE MANHOLE
○	SANITARY MANHOLE
○	WATER MANHOLE
○	WATER VALVE
○	OIL FILL VALVE
○	FRESH AIR INLET
○	FIRE HYDRANT
○	UTILITY POLE/STREET LIGHT
○	LIGHTPOLE
○	TRAFFIC SIGNAL
○	INLET
○	AREA DRAIN
○	SIGN
○	TREE
○	FLAG POLE

PROPOSED LEGEND	
---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
D	STORM SEWER
X	FENCE
S	SANITARY SEWER
W	WATER SERVICE
---	LIMIT OF DISTURBANCE (LOD) & DEP SITE BOUNDARY
---	ASPHALT CURB
○	INLET
○	OBSERVATION WELL
ORD	ROOF DRAIN
OCO	STORM DRAIN CLEANOUT
---	FULL DEPTH ASPHALT PAVING
---	GRASS AREA
---	CONCRETE SIDEWALK
---	LANDSCAPED AREA

- GENERAL NOTES:**
- PROPERTY DIMENSIONS ARE PER DEEDS OF RECORD AND STREET WIDTHS AS PER CITY PLAN NO. 18 AND ARE SHOWN IN PHILADELPHIA DISTRICT STANDARD. ALL OTHER DIMENSIONS ARE SHOWN IN U.S. SURVEY FEET.
  - SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY RODRIGUEZ CONSULTING, LLC ON 02/19/2020. SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN AND DEED OF RECORD. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM.
  - EXISTING SITE CONDITIONS AND PROPERTY LINE ARE BASED ON PLAN AND SURVEY BY OTHERS:  
PLAN REFERENCE:  
#1 - PWD GSI PROJECT #50120, RECEIVED 11/26/2019
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20200520979). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - PROJECT SITE IS LOCATED WITHIN THE SP-PO-A DISTRICT.



VICINITY MAP  
DELAWARE DIRECT WATERSHED (SOUTH)  
MANAGEMENT DISTRICT A  
SCALE 1"=100'

POTTER STREET  
\*LEGALLY OPEN ON CITY PLAN\*  
(18-14-81)

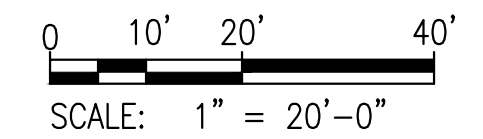
F STREET  
\*LEGALLY OPEN ON CITY PLAN\*  
(12-28-12)

KENSINGTON AVE  
\*LEGALLY OPEN ON CITY PLAN\*  
(10-08-15)

**LIMIT OF DISTURBANCE (LOD) SUMMARY**

ON-SITE	2,307 S.F.	0.053 ACRES
PUBLIC R.O.W.	-	-
TOTAL	2,307 S.F.	0.053 ACRES

\*LEGALLY OPEN ON CITY PLAN\*  
(50' WIDE R.O.W.)  
(12'-26'-26')



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PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

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**ROOFING CONSULTANT:**  
Steve McLaughlin  
210 Garden Avenue  
Somerset, NJ 08083  
856.287.2424

Seal: **RICHARD S. BURELL, JR.**  
REGISTERED PROFESSIONAL ENGINEER  
IN PENNSYLVANIA

DATE: 05/10/2024  
REVISION: AS NOTED

Drawing Title: **PROPOSED SITE PLAN**

Drawing No.: **C3.0**



**LEGEND**

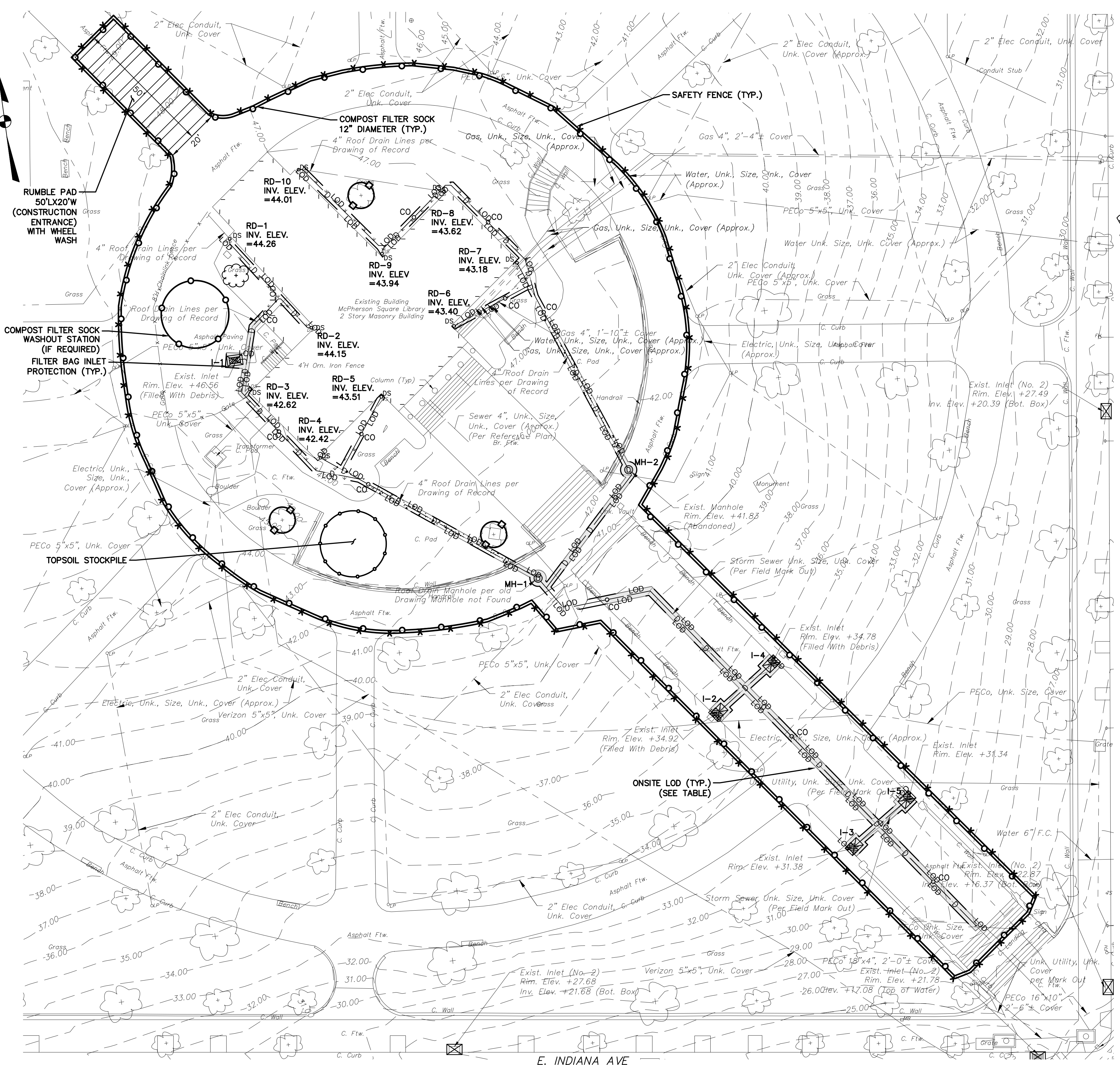
EXISTING	
---	PROPERTY LINES
- - -	CONTOUR LINE
G	GAS LINE
W	POTABLE WATER
- - - - -	SEWER (COMBINED)
S - S - S	SANITARY SEWER
D - D - D	STORM DRAIN
T - T - T	TELECOM CONDUIT
E	ELECTRIC CONDUIT
OHW OHW OHW	ELECTRIC OVERHEAD LINE
X - X - X	CHAIN LINK FENCE
□	METAL FENCE
□	CURB
○	UNKNOWN MANHOLE
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○	LIGHTPOLE
○	TRAFFIC SIGNAL
○	INLET
○	AREA DRAIN
○	SIGN
○	TREE
○	FLAG POLE

**EROSION & SEDIMENT CONTROL LEGEND**

○-○-○-○-○	COMPOST FILTER SOCK, 12" DIAMETER
X-X-X-X-X	SAFETY FENCE
□-□-□-□-□	TREE PROTECTION FENCE
- - - - -	LIMIT OF DISTURBANCE (LOD)
▨	RUMBLE PAD CONSTRUCTION ENTRANCE
⊠	FILTER BAG INLET PROTECTION

**EROSION AND SEDIMENT CONTROL (E&S) NOTES:**

- EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT ALONG LIMIT OF DISTURBANCE LINE WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND SHALL SAFELY AND LEGALLY DISPOSE OF ALL THESE ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND REGULATORY AUTHORITY HAVING JURISDICTION. RECYCLING MUST BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS. BURNING OF ANY DEMOLISHED MATERIALS ON-SITE SHALL NOT BE PERMITTED. RECYCLING OF DEMOLITION DEBRIS SHALL BE APPROVED BY THE OWNER. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
- COMPOST FILTER SOCK ON PAVING TO BE WEIGHTED DOWN BY OBJECTS OF CONSIDERABLE MASS (SAND BAGS, CONCRETE BLOCK OR OTHER SUITABLE MATERIAL). COMPOST FILTER SOCK TO BE INSTALLED DOWNSTREAM OF ALL EARTH MOVING ACTIVITIES.
- RUMBLE PAD CONSTRUCTION ENTRANCE TO BE SIZED IN ACCORDANCE WITH PA DEP MINIMUM REQUIREMENTS OF 50' L X 20' W AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- CONSTRUCTION, DEMOLITION AND EARTHWORK DUST CONTROL TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DUST CONTROL REQUIREMENTS (AIR MANAGEMENT REGULATION (AMR) II, SECTION IX.) AND TO INCLUDE BUT NOT LIMITED TO:
  - NOTIFY OCCUPANTS OF NEARBY PROPERTIES, IN WRITING 10 DAYS BEFORE ENGAGING IN EARTHWORK, CONSTRUCTION AND DEMOLITION ACTIVITIES.
  - USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING OR CUTTING.
  - APPLICATION OF WATER OR APPROVED DUST CONTROL SUPPRESSANT DURING EXCAVATION, DEMOLITION AND/OR CONSTRUCTION TO SUPPRESS DUST FORMATION.
  - COVERING AND WETTING OF STOCKPILES EARTH, SAND, GRAVEL AND OTHER SIMILAR CONSTRUCTION MATERIALS.
  - ALL PERIMETER FENCING MUST HAVE DUST CONTROL FABRIC AND MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF FENCING.
  - 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
  - WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.
- PERMANENT INLET PROTECTION TO BE INSTALLED ON ALL INLETS THAT DRAIN TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH THE SPECIFICATIONS.



LIMIT OF DISTURBANCE (LOD) SUMMARY			
ON-SITE	2,307 S.F.	0.053 ACRES	
PUBLIC R.O.W.	-	-	
TOTAL	2,307 S.F.	0.053 ACRES	



**VICINITY MAP**  
DELAWARE DIRECT WATERSHED (SOUTH)  
MANAGEMENT DISTRICT A  
SCALE 1"=100'



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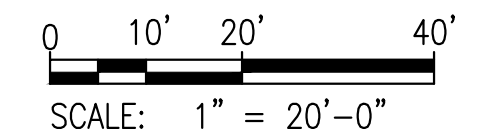


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PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264			



Date: 05/10/2024

Drawing Title: EROSION AND SEDIMENT CONTROL PLAN

Drawing No.: C6.0







**STANDARD EROSION AND SEDIMENT CONTROL NOTES:**

1. AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
3. PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE FUNCTIONING IN ACCORDANCE WITH THE APPROVED PLANS.
4. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
5. THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.
6. THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
7. FILTER FABRIC FENCE SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE-GROUND HEIGHT OF THE FILTER FENCE.
8. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
9. EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND PA DEP.
11. UNTIL THE SITE IS STABILIZED, ALL E&S BMP'S SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMP'S PRIOR TO ANY ANTICIPATED STORM EVENT, AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
12. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
13. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION.
15. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
16. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE BMP'S SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
17. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
18. A LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.
19. ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE FOLLOWING MANNER: REMOVAL AND DISPOSAL TO BE AT AN OFF-SITE LOCATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
20. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES — SIX TO 12 INCHES ON COMPACTED SOILS — PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.

21. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
22. ALL EARthen FILLS MUST BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS.
23. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
24. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
25. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
26. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
27. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
28. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUB-AREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-REMAINING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
29. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
30. E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP'S APPROVED BY PWD AND PA DEP.
31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMP'S SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
32. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. (WHEN APPLICABLE)
33. DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE PCSMP APPROVED BY PWD (WHERE APPLICABLE). NO CHANGE OR DEVIATION FROM THE APPROVED PCSMP IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD.
34. ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT "WATER MAIN STANDARD DETAILS AND CORROSION CONTROL SPECIFICATIONS", 1985 EDITION, AND "STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS", 1985 EDITION.
35. CONTACT PWD WATER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR, PHONE: 215-685-9271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED PWD FACILITIES.
36. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
37. A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING OR STRUCTURE THAT IS MORE THAN THREE (3) STORIES, GREATER THAN FORTY (40) FEET TALL, OR ENCOMPASSES MORE THAN TEN THOUSAND (10,000) SQUARE FEET; COMPLETELY OR PARTIALLY DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLSION; OR ENGAGING IN EARTHWORKS, DEFINED AS "CLEARING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND EXCESS OF 5,000 SQUARE FEET."

**SITE STABILIZATION METHODS (TEMPORARY & PERMANENT STABILIZATION)**

1. STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
2. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.
3. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

**TEMPORARY SEEDING**

1. THE FOLLOWING SURFACES OF THE SITE SHALL BE TEMPORARILY SEEDED AND MULCHED:

- A. THE SURFACE OF TOPSOIL STOCKPILES.
  - B. THE SURFACE OF EXPOSED EARTH AREAS THAT WILL BE EXPOSED WITHOUT CONSTRUCTION ACTIVITY THEREON.
- SEEDING SHALL OCCUR IMMEDIATELY AFTER ESTABLISHMENT OF THE TOPSOIL STOCKPILES OR ROUGH GRADED AREAS. THE FOLLOWING SHALL BE PLANTED:  
A. 40 LBS./ACRE ANNUAL RYE GRASS — COMMON, 100% P.L.S.
  - PREPARE AREAS TO BE SEEDDED AS FOLLOWS:  
A. REMOVE ALL DEBRIS, INCLUDING LARGE STONES. APPLY LIME AT A RATE OF 3 TONS PER ACRE AND FERTILIZER AT THE RATE OF 50-50-50 PER ACRE AND WORK INTO SOIL.  
B. SOW SEED AT THE INDICATED RATE. DIVIDE SEED INTO TWO EQUAL LOTS. SOW ONE LOT IN ONE DIRECTION. SOW SECOND LOT AT RIGHT ANGLE TO FIRST. RAKE SEEDED AREA SLIGHTLY. ROLL SURFACE LIGHTLY TO FIRM SOIL AROUND SEED.
  - PLACE CLEAN DRY STRAW OR HAY MULCH WITHIN 48 HOURS AFTER SEEDING. PLACE AT THE RATE OF 3 TONS PER ACRE.
  - SEEDING DATES SHALL BE BETWEEN MARCH 1 AND NOVEMBER 15.

**TEMPORARY MULCHING**

- MULCH PROPOSED LANDSCAPE AREAS OR TOPSOIL STOCKPILES IF EARTHWORK IS COMPLETED OUTSIDE OF THE RECOMMENDED PLANTING SEASONS FOR TEMPORARY SEEDING OR DUE TO UNFAVORABLE WEATHER CONDITIONS.
- MULCH SHALL BE APPLIED IMMEDIATELY FOLLOWING THE ESTABLISHMENT OF THE TOPSOIL STOCKPILE OR ROUGH GRADING.
- MULCH WITH SUITABLE FIBROUS GROUND, SHREDDED AGED HARDWOOD, PINE WOOD BARK OR STRAW, UNIFORMLY AND CONTINUOUSLY TO A LOOSE DEPTH OF 3 INCHES MINIMUM. ANCHOR AS REQUIRED.
- PROPERLY MAINTAIN MULCHED AREAS UNTIL PERMANENT STABILIZATION MEASURES ARE COMPLETE. REAPPLY MULCH MATERIALS WHICH BECOME DISLOADED AS INITIAL OR MODIFIED RATES AS NECESSARY. IF A SLOPE FAILURE OCCURS WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE, REPLACE MULCH AS NECESSARY.

**PERMANENT SEEDING**

- PERMANENT SEEDING SHALL OCCUR IMMEDIATELY AFTER THE FINAL GRADING IS COMPLETED. THE FOLLOWING SEED SHALL BE PLACED UNLESS OTHERWISE SPECIFIED ON THE PLANS OR DIRECTED IN THE FIELD. THE FOLLOWING SEED MIX SHALL BE USED:  
A. 40% PENNLAWN FINE FESCUE  
B. 3% RED TOP  
C. 20% CHAMPION PERENNIAL RYE GRASS QUANTITIES ARE OF PURE LIVE SEED (P.L.S.) SPREAD AT A RATE OF 63 LBS. PER ACRE.
- REMOVE ALL DEBRIS, INCLUDING LARGE STONES. TILL SOIL TO A DEPTH OF FOUR INCHES TO SIX INCHES. APPLY LIME AT A RATE OF 4 TONS PER ACRE. APPLY COMMERCIAL 10-20-20 FERTILIZER AT A RATE OF 930 LBS. PER ACRE. WORK FERTILIZER INTO TOP INCH OF SOIL.
- SEED ONLY AT THE FOLLOWING TIMES:  
A. SPRING: MARCH 1 TO APRIL 30  
B. LATE SUMMER/EARLY FALL: AUGUST 15 TO NOVEMBER 15
- DIVIDE SEED INTO TWO EQUAL LOTS. SOW ONE LOT IN ONE DIRECTION. SOW SECOND LOT AT RIGHT ANGLE TO FIRST LOT. RAKE SEEDED AREA SLIGHTLY. ROLL SURFACE LIGHTLY TO FIRM SOIL AROUND SEED.
- MULCH SEEDED AREAS WITH STRAW OR HAY AT THE RATE OF 3 TONS PER ACRE. ANCHOR MULCH. COMPLY WITH THE REQUIREMENTS OF SECTION 805 — MULCHING, PENNDOT PUBLICATION 408. ANCHOR MULCH AS SPECIFIED.
- MULCHING SHALL BE DONE AT THE MINIMUM RATE OF 3 TONS PER ACRE WITH SALT HAY, HAY OR STRAW MULCHES. PLACE MULCH IMMEDIATELY AFTER SEEDING OR WITHIN 48 HOURS AFTER SEEDING IS COMPLETED. PROPERLY MAINTAIN MULCHED AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. PROMPTLY REAPPLY MULCH MATERIALS WHICH BECOME DISLOADED OR LOST DUE TO WIND, RAIN, OR OTHER CAUSES AT INITIAL RATES OR AS DIRECTED.
- LIQUID MULCH BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCHES. A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREAS SHOULD BE UNIFORM IN APPEARANCE.  
B. USE ONE OF THE FOLLOWING: EMULSIFIED ASPHALT. CLASS E-1 OR E-6. APPLY 31 GALLONS PER 1,000 SQUARE YARDS ON SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET HIGH OR MORE, USE 58 GALLONS PER 1,000 SQUARE YARDS.  
C. CUTBACK ASPHALT. CLASS RC-250. APPLY 31 GALLONS PER 1,000 SQUARE YARDS ON FLAT AREAS AND ON SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET HIGH OR MORE, USE 58 GALLONS PER 1,000 SQUARE YARDS. NON-ASPHALTIC EMULSION — NATURAL VEGETABLE GUM BLENDED WITH GELLING AND HARDENING AGENTS (TERRA TACK, AR) AS MANUFACTURED BY GRASS GROWERS COMPANY OR EQUAL. APPLY 25 LBS. PER 1,000 SQUARE YARDS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION STABILIZATION, AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN.

**MAINTENANCE PROGRAM**

- THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT CONTROL MEASURES.
  - UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
  - SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF AT AN OFF-SITE LOCATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
  - SOIL SEDIMENT REMOVED FROM SILT FENCE DURING REGULAR MAINTENANCE WILL BE INCORPORATED BACK INTO THE EARTHWORK AS FILL ON THE SITE. SOIL SEDIMENT MATERIAL SHALL BE DISTRIBUTED ON-SITE WITHOUT CHANGING DRAINAGE PATTERNS DURING A SPECIFIC CONSTRUCTION STAGE. SILT FENCE INSTALLED ON THE PROJECT SITE SHALL BE MAINTAINED AS FOLLOWS:  
A. THE FENCE CONDITION WILL BE INSPECTED ONCE A WEEK OR AFTER EVERY STORM EVENT, WHICHEVER COMES FIRST. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.  
B. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. DEPOSITS WILL BE REMOVED WHERE ACCUMULATIONS REACH ONE-HALF THE ABOVE-GROUND HEIGHT OF THE FENCE.  
C. UNDERCUTTING OR EROSION OF THE TOE ANCHOR WILL BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS.  
D. ANY MANUFACTURER'S RECOMMENDATIONS WILL BE ADHERED TO WHEN REPLACING FILTER FABRIC FENCE DUE TO WEATHERING.
  - AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON PUBLIC ROADWAYS, WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER WILL NOT BE PERMITTED.
  - OTHER BMP'S  
A. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.
- CONSTRUCTION SEQUENCE:**
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN EARTH MOVING ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE CITY OFFICIALS, THE EROSION AND SEDIMENT CONTROL PREPARER, AND REPRESENTATIVE OF THE CITY OF PHILADELPHIA EROSION AND SEDIMENT CONTROL OFFICE TO AN ON-SITE MEETING. INCLUDE A REPRESENTATIVE FROM PWD'S EROSION AND SEDIMENT CONTROL INSPECTION GROUP BY CONTACTING THE INSPECTIONS COORDINATOR OF PWD (OFFICE 215-685-6387).
  - AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
  - CONSTRUCTION FENCE TO BE INSTALLED AROUND THE PERMETER OF THE WORK AREA. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE FENCE WITH THE OWNER AND/OR ENGINEER. CONSTRUCTION FENCE LOCATION SHALL BE INSTALLED TO PROTECT THE PUBLIC FROM LAND DISTURBANCE ACTIVITIES AND TO MAINTAIN PEDESTRIAN ACCESS.
  - INSTALL COMPOST FILTER SOCK DOWNHILL FROM ALL EARTH MOVING ACTIVITIES AND AS SHOWN ON THE PLAN. ALTHOUGH OFF SITE AREAS ARE PAVED, COMPOST FILTER SOCK OR OTHER EROSION CONTROL PRACTICES SHALL BE INSTALLED AROUND THE PERMETER OF THE WORK AREA AS SHOWN ON THE PLAN.
  - INSTALL INLET PROTECTION AS SHOWN ON THE PLAN. EXISTING INLETS SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONSTRUCTION.
  - INSTALL CONSTRUCTION ENTRANCE AS SHOWN AND IN ACCORDANCE WITH THE CONSTRUCTION ENTRANCE DETAIL.
  - CLEAR AND GRUB SITE. DEMOLISH EXISTING PAVING, CURBING, AND FENCING AS REQUIRED. SAWCUT PAVED AREAS AS NEEDED TO MINIMIZE EARTH DISTURBANCE. EXCAVATE TRENCHES FOR PROPOSED SEWER CONNECTIONS. DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISCARDED IN ACCORDANCE WITH APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
  - ROUGH GRADE SUBBASE TO REQUIRED DEPTHS.
  - INSTALL ALL INLETS AND PIPING IN ACCORDANCE WITH THE PLAN DRAWINGS. PHOTOGRAPH INLETS SHOWING THE PROPERLY INSTALLED SUMP (WITH TAPE MEASURE AS SIZE REFERENCE) AND TRAP/HOOD (INCLUDING GROUTING) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. CONFIRM, MEASURE, AND PHOTOGRAPH INLET AND INLET SUMP DEPTHS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL AND PHOTOGRAPH TRAPS/HOODS AS INDICATED ON THE PLANS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL INLET PROTECTION ON INLETS AS THEY BECOME FUNCTIONAL.
  - REMOVE ANY ACCUMULATED DEBRIS OR SEDIMENT THAT HAS TAKEN PLACE AFTER THE APPROVAL OF THE SUBGRADE.
  - INSTALL PROPOSED SITE IMPROVEMENTS.
  - WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER".
  - AS SOON AS SLOPES, CHANNEL DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
  - TOPSOIL AND SEED GRASSED AREAS. INSTALL PLANTS AND TREES.
  - SWEEP PAVED AREAS DAILY TO PREVENT TRACKING OF SOIL OFF-SITE.
  - UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL ON THE E&S BMP'S.
  - REMOVE SOIL EROSION MEASURES AFTER SITE HAS BEEN INSPECTED AND STABILIZED.



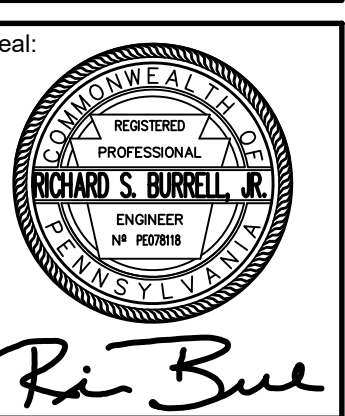
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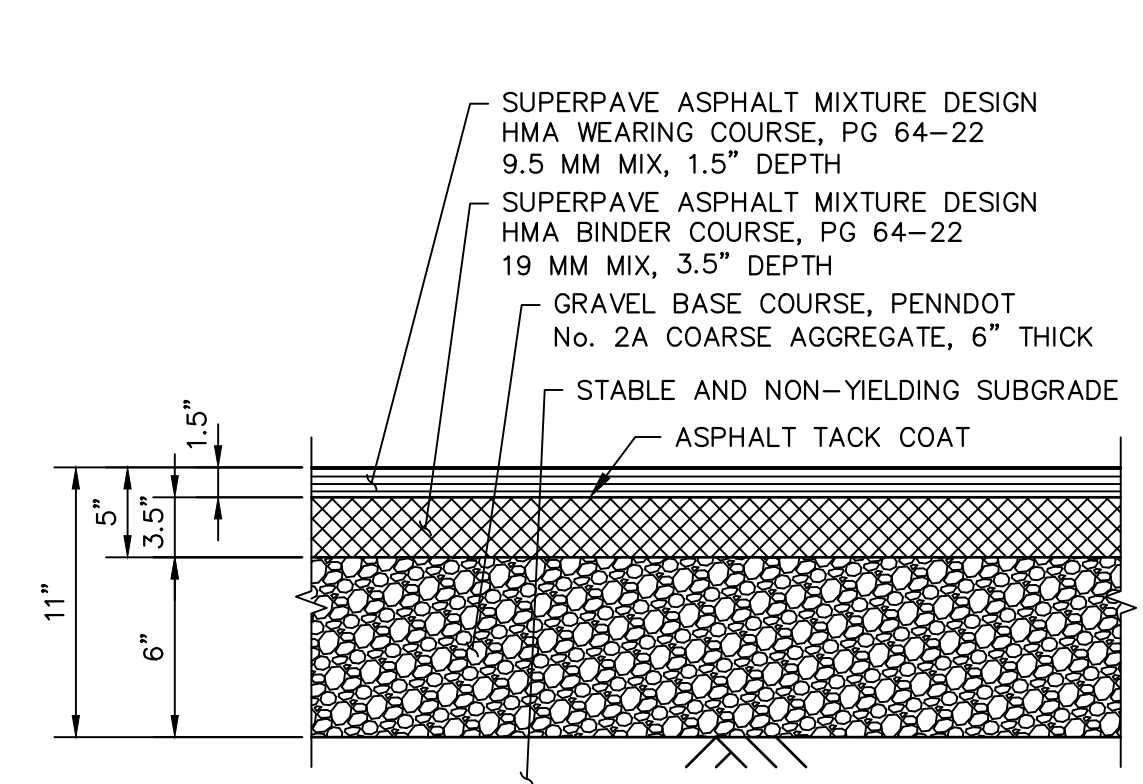


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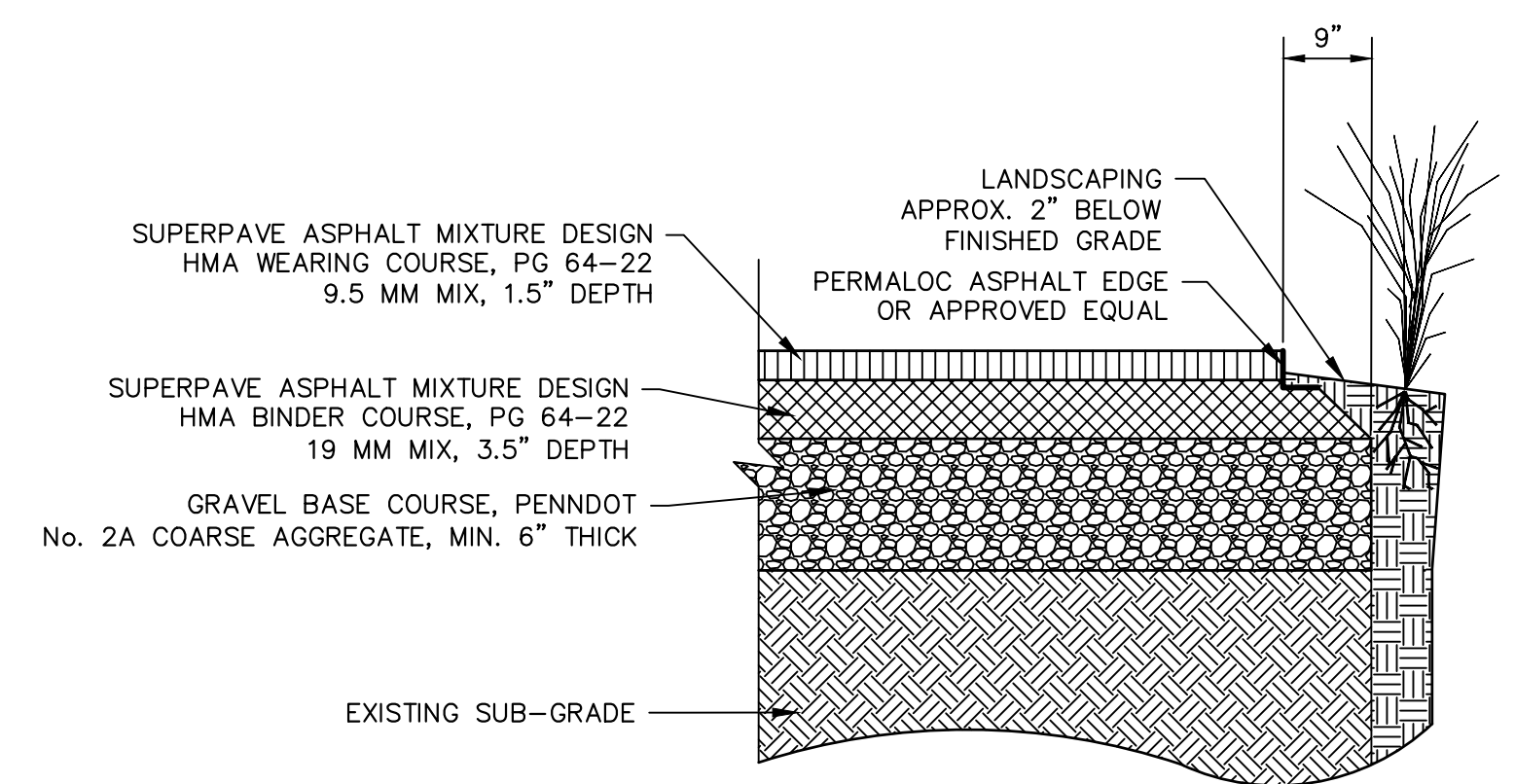
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CONTROL NOTES

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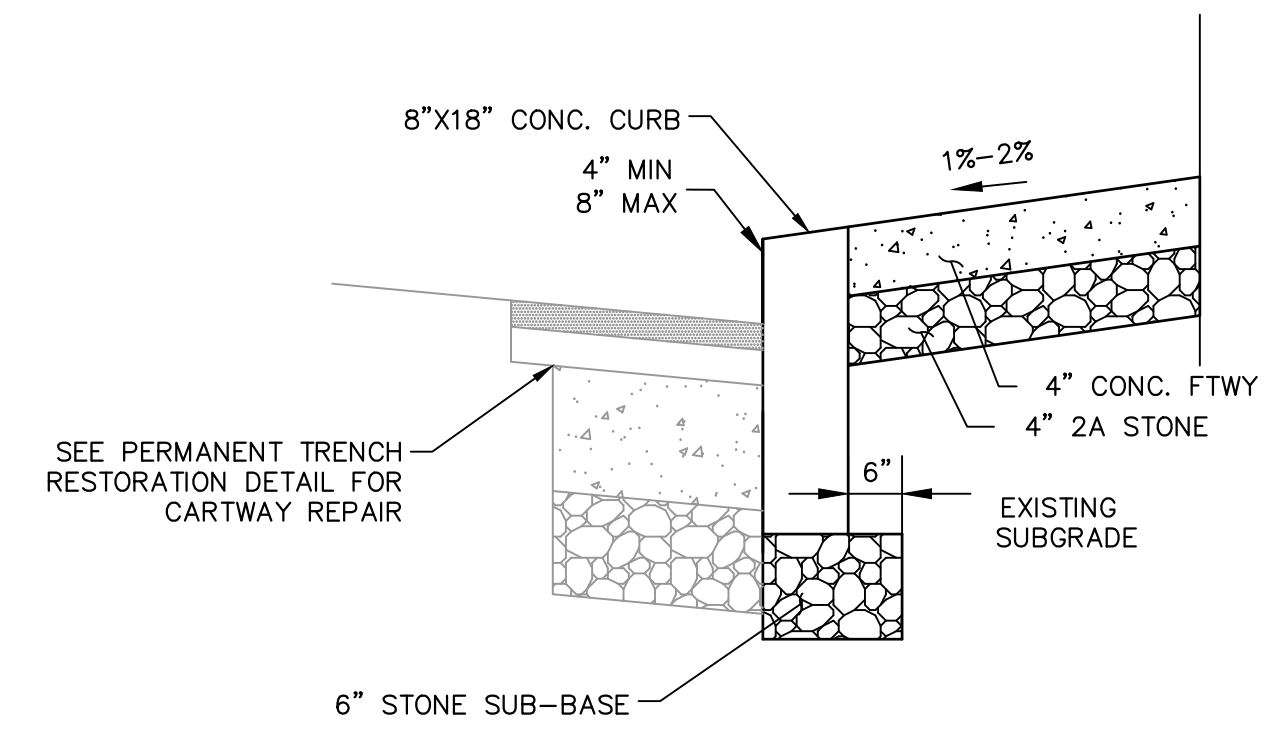




**FULL DEPTH ASPHALT PAVEMENT**  
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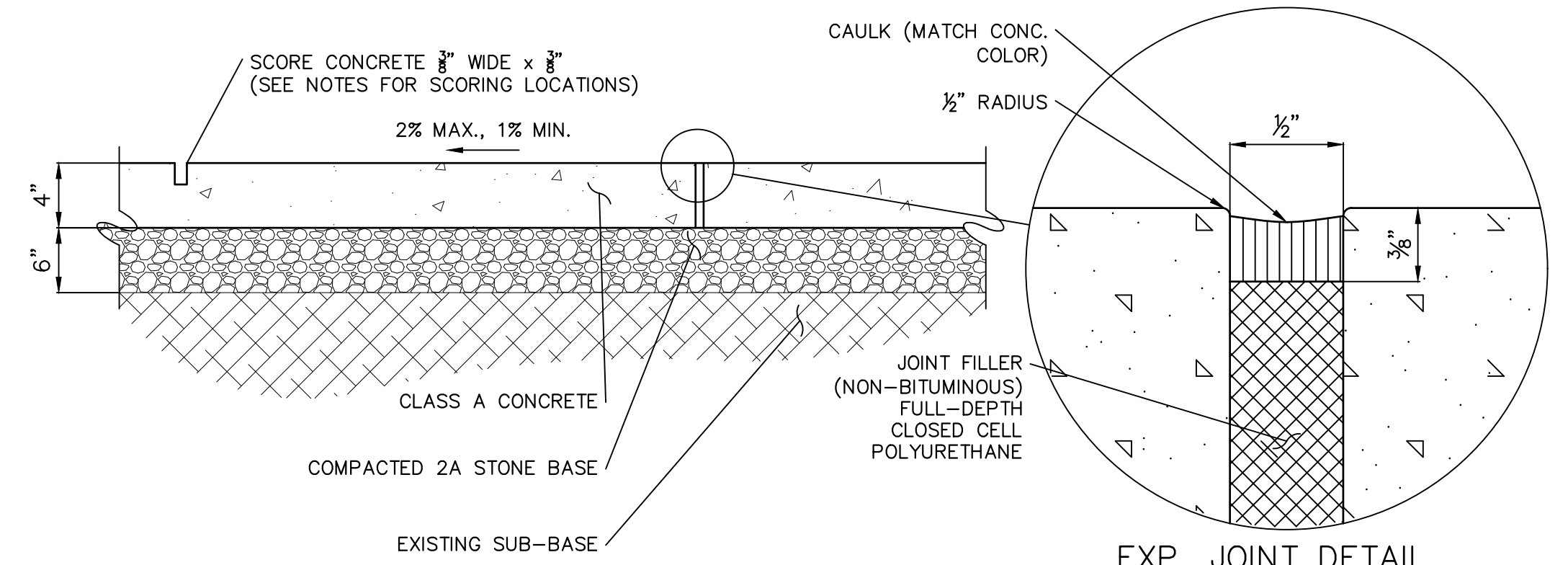


**FULL DEPTH PAVING AT LANDSCAPED EDGES**  
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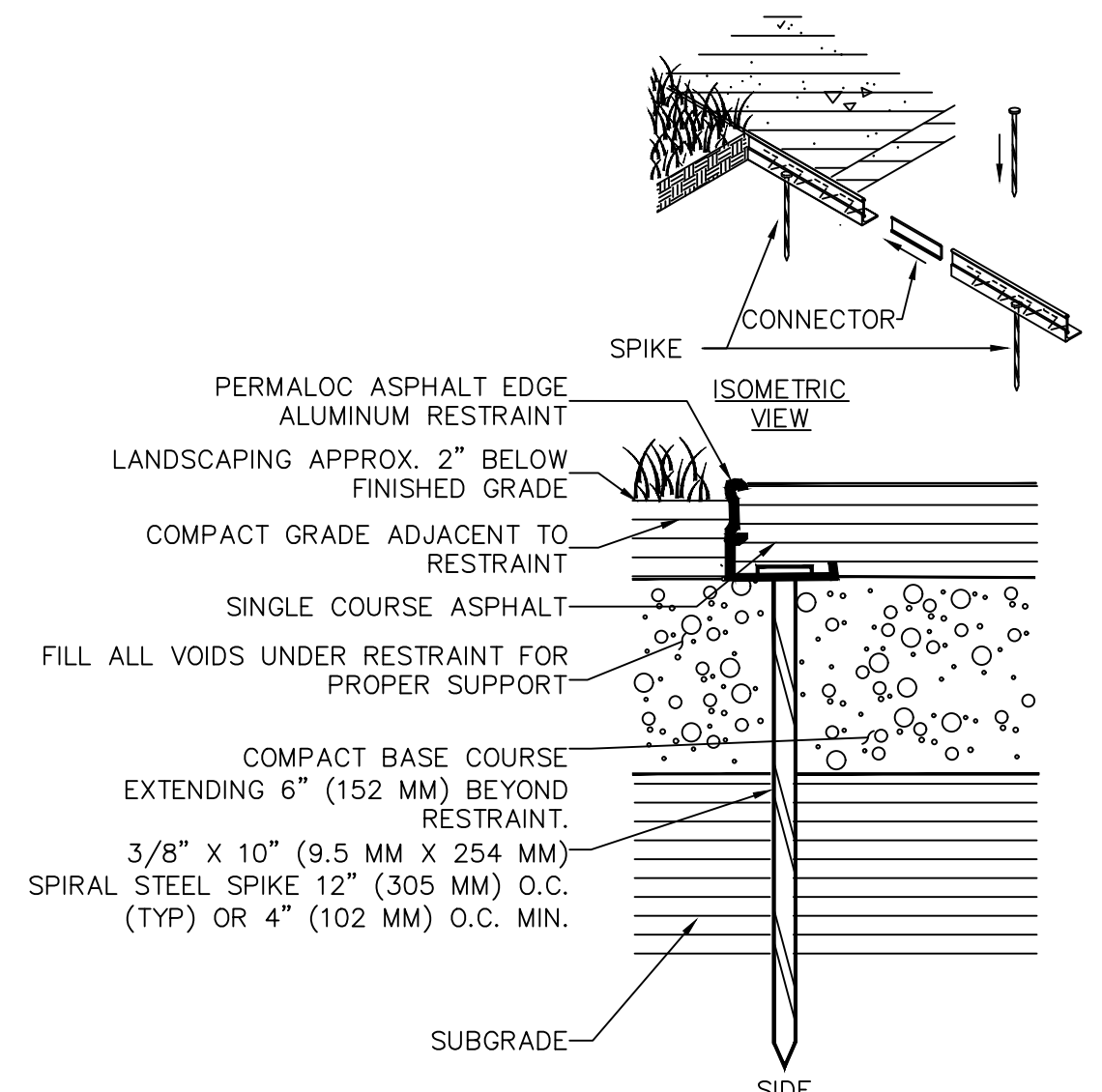
- NOTES:
1. SAW-CUT EXISTING BITUMINOUS PAVING AT THE CARTWAY.
  2. REMOVE EXISTING CURB AND SIDEWALK TO BE REPLACED.
  3. REPLACE NEW CONCRETE CURB AND SIDEWALK.
  4. REPLACE SAW-CUT PORTION OF CARTWAY WITH NEW BITUMINOUS PAVEMENT.
  5. USE THIS DETAIL AT REPLACEMENT OF EXISTING SIDEWALKS AND CURBS.
  6. COMPLY WITH CITY OF PHILADELPHIA STANDARDS.

**CONCRETE CURB AND FOOTWAY DETAIL**  
SCALE: N.T.S.



- NOTES:
1. SPACE EXPANSION JOINTS 20' O.C. UNLESS SHOWN OTHERWISE ON PLANS.
  2. INSTALL EXPANSION JOINTS WHERE WALK ABUTS OTHER STRUCTURES.
  3. CONCRETE WALKWAY SHALL BE SCORED ON A 5' X 5' GRID. PERPENDICULAR TO THE CURBLINE.

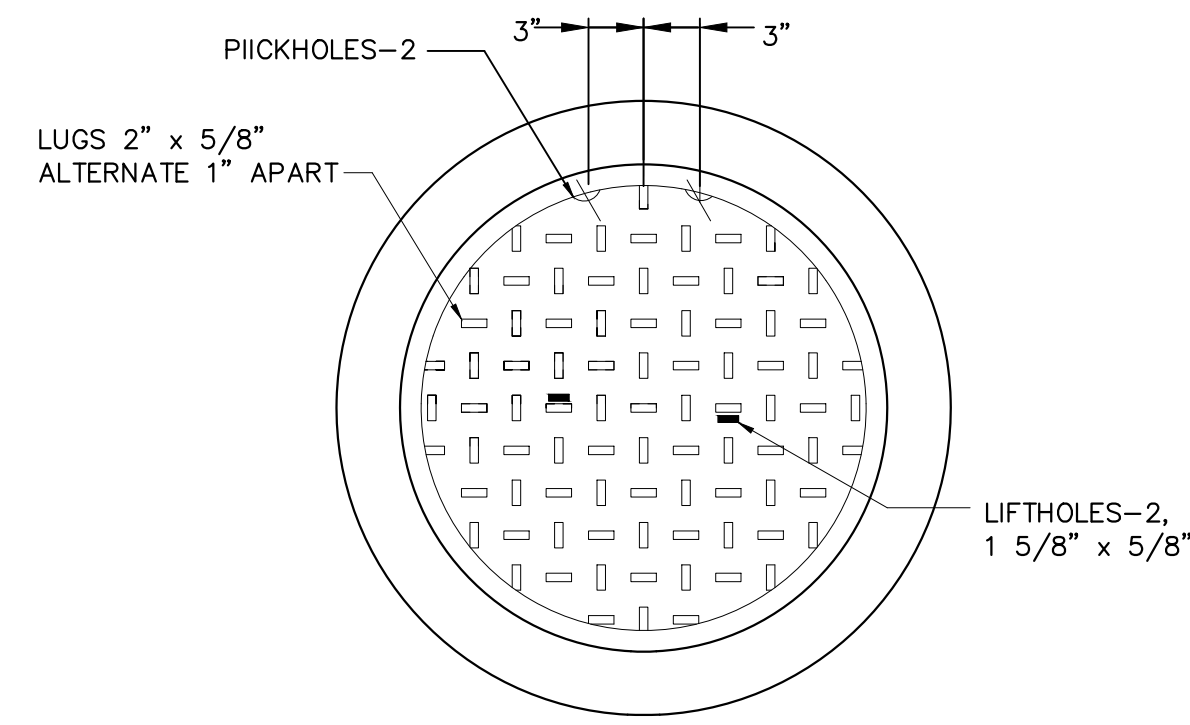
**CONCRETE FOOTWAY DETAIL**  
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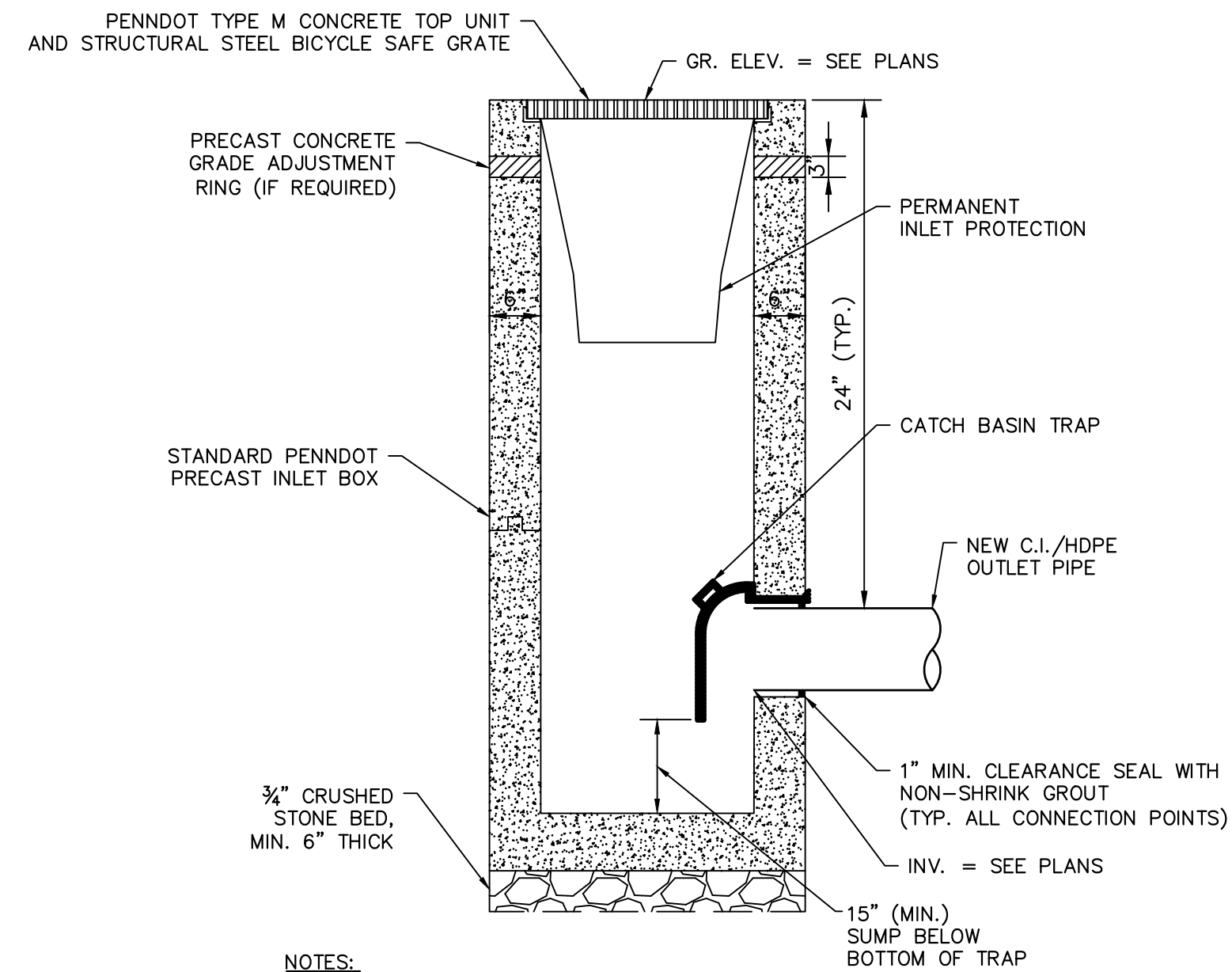
- NOTES:
1. INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES".
  2. 8'-0" (2.44 M) SECTIONS CONNECTED WITH 4" (102 MM) SLIDING CONNECTOR.
  3. MAINTAIN 3/8" (9.5 MM) GAP BETWEEN SECTIONS TO ALLOW FOR PRODUCT EXPANSION IN EXTREME TEMPERATURES.
  4. CORNERS: NOTCH BASE ONLY AND FORM A CONTINUOUS CORNER.

**ASPHALT EDGING DETAIL**  
SCALE: N.T.S.



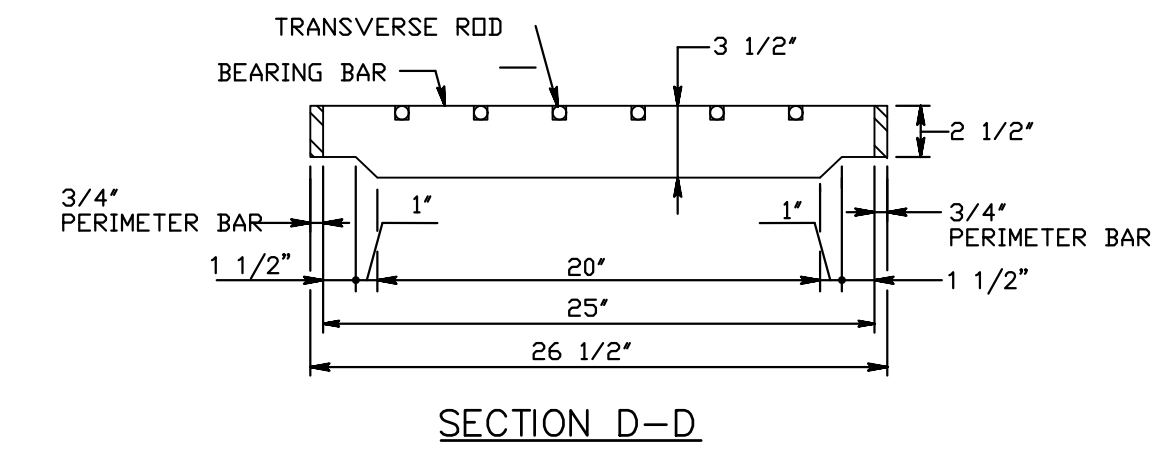
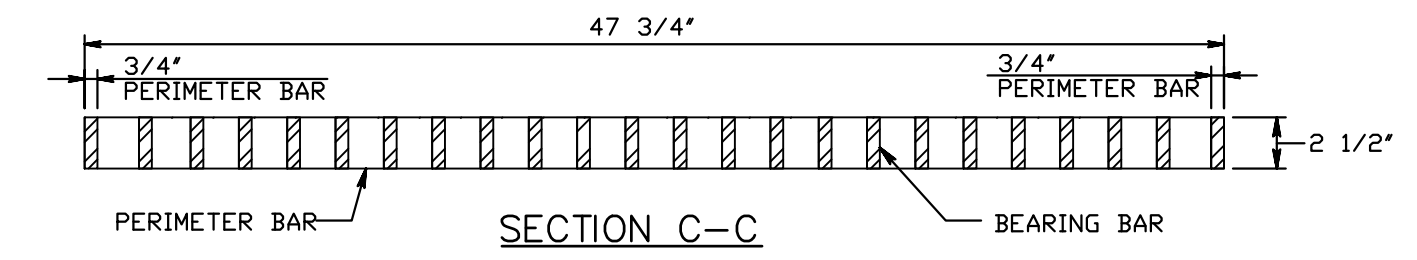
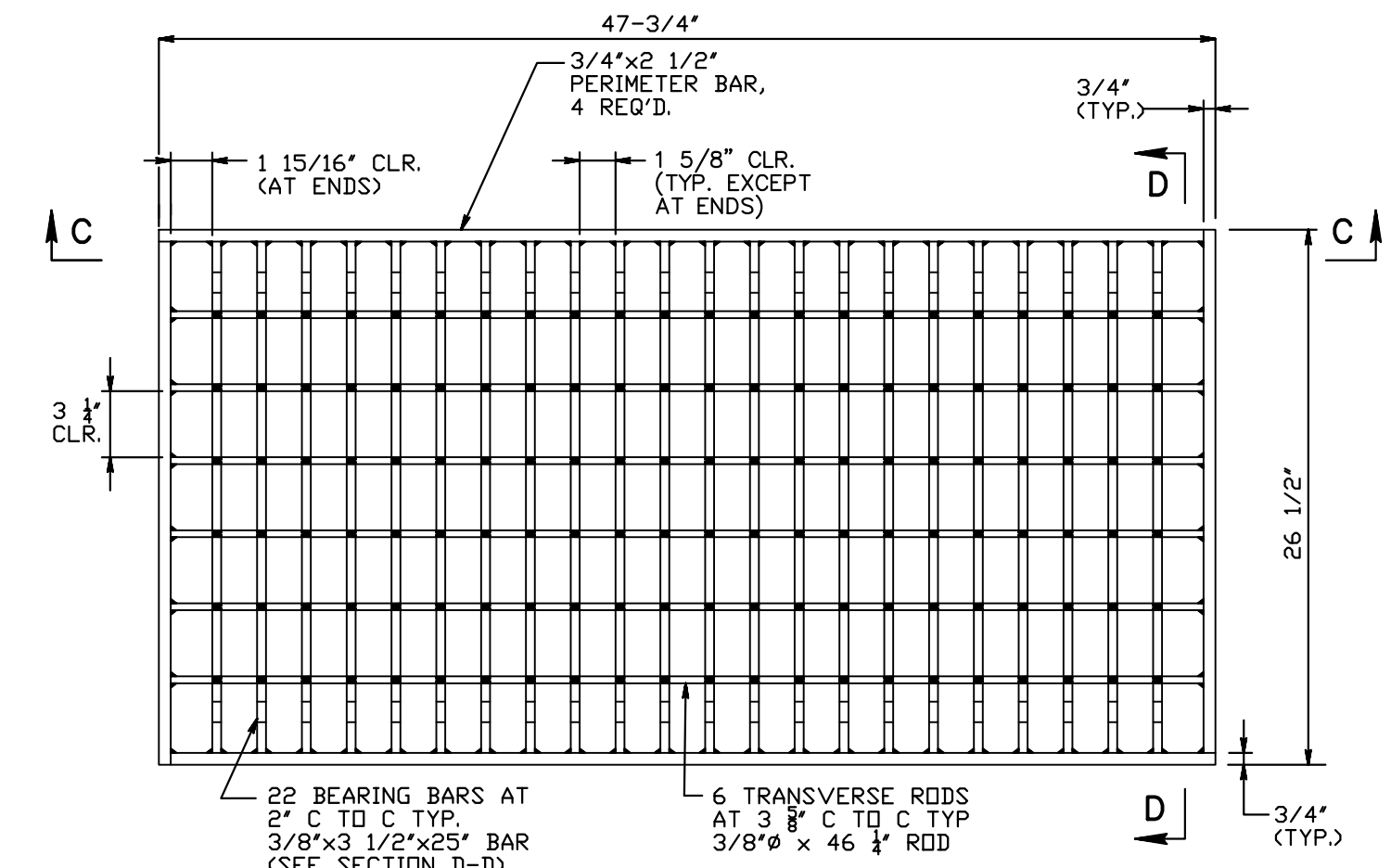


**GRAY MANHOLE FRAME AND COVER**  
SCALE: N.T.S.

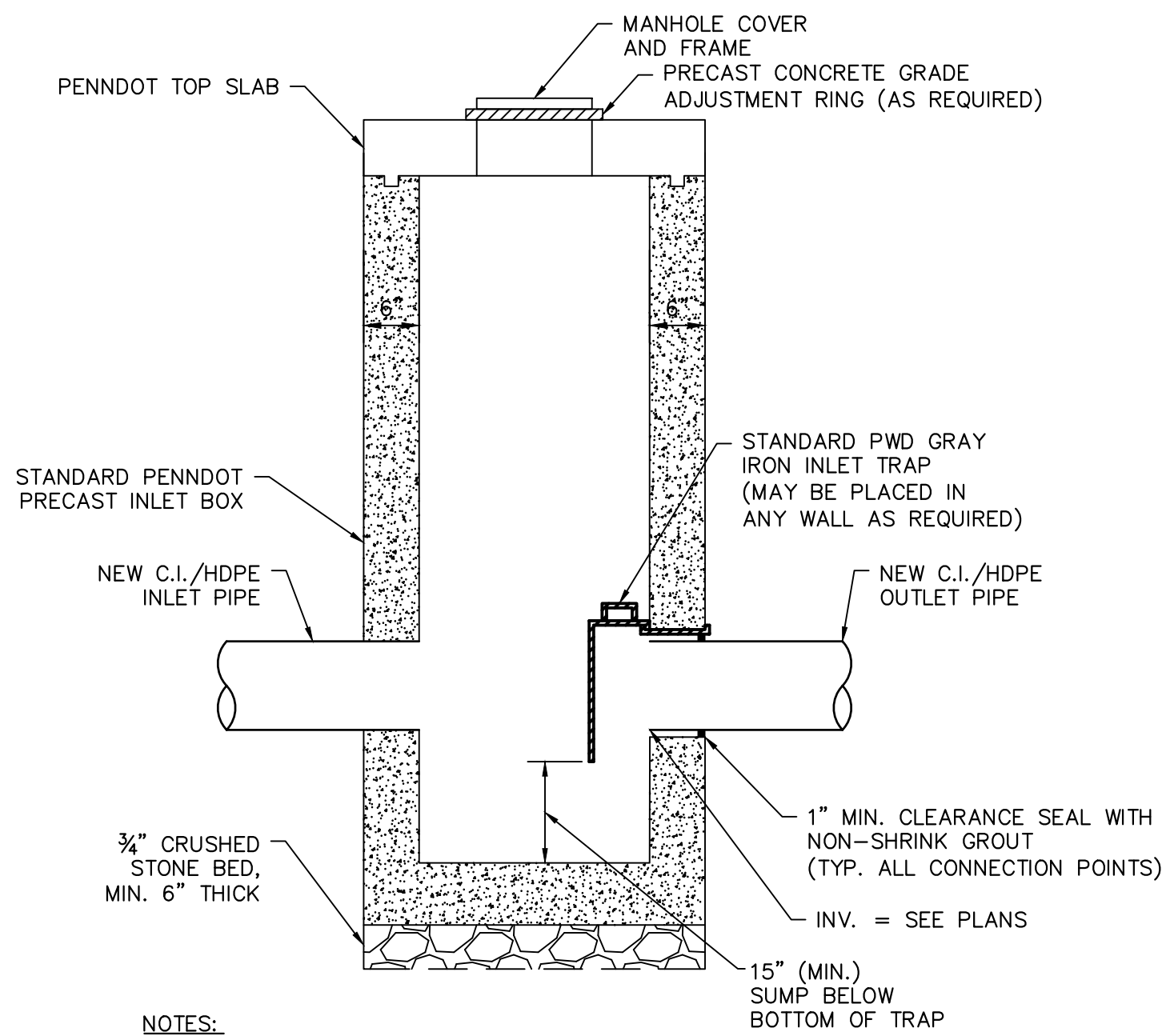


- NOTES:**
1. COMPLY WITH PENNDOT STANDARDS.
  2. USE PRECAST PENNDOT INLET BOX WITH 3'-9 1/2" x 2' INTERIOR DIMENSIONS AND 6" THICK WALLS.
  3. SEAL INLET TRAP WITH NON-SHRINK, NON-METALLIC MORTAR. APPLY BITUMIN-TYPE SEALING COMPOUND TO JOINT.
  4. PROPOSED INLET TRAP MUST BE AIR TIGHT.
  5. USE PENNDOT STANDARD INLET BOX OR APPROVED EQUAL.

**HIGHWAY GRATE INLET**  
SCALE: N.T.S.

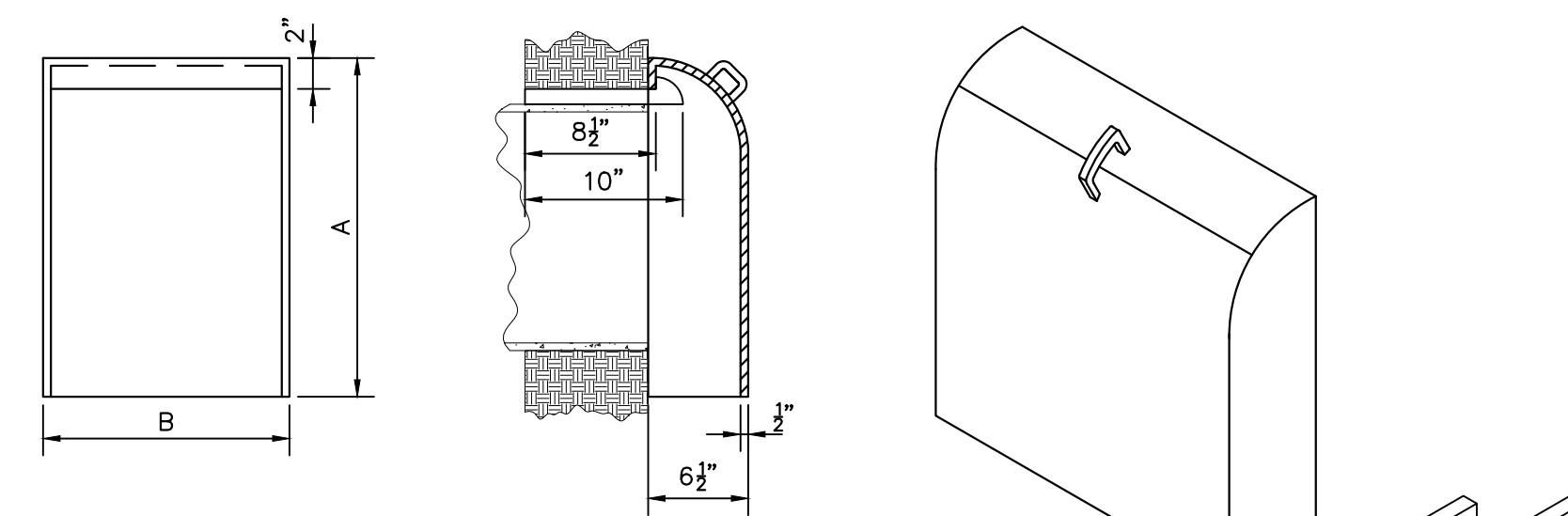


**STRUCTURAL STEEL BICYCLE SAFE GRATE**  
SCALE: N.T.S.



- NOTES:**
1. COMPLY WITH PENNDOT STANDARDS.
  2. USE PRECAST PENNDOT INLET BOX WITH 3'-9 1/2" x 2' INTERIOR DIMENSIONS AND 6" THICK WALLS.
  3. SEAL INLET TRAP WITH NON-SHRINK, NON-METALLIC MORTAR. APPLY BITUMIN-TYPE SEALING COMPOUND TO JOINT.
  4. PROPOSED INLET TRAP MUST BE AIR TIGHT.
  5. USE PENNDOT STANDARD INLET BOX OR APPROVED EQUAL.

**STANDARD MANHOLE**  
SCALE: N.T.S.

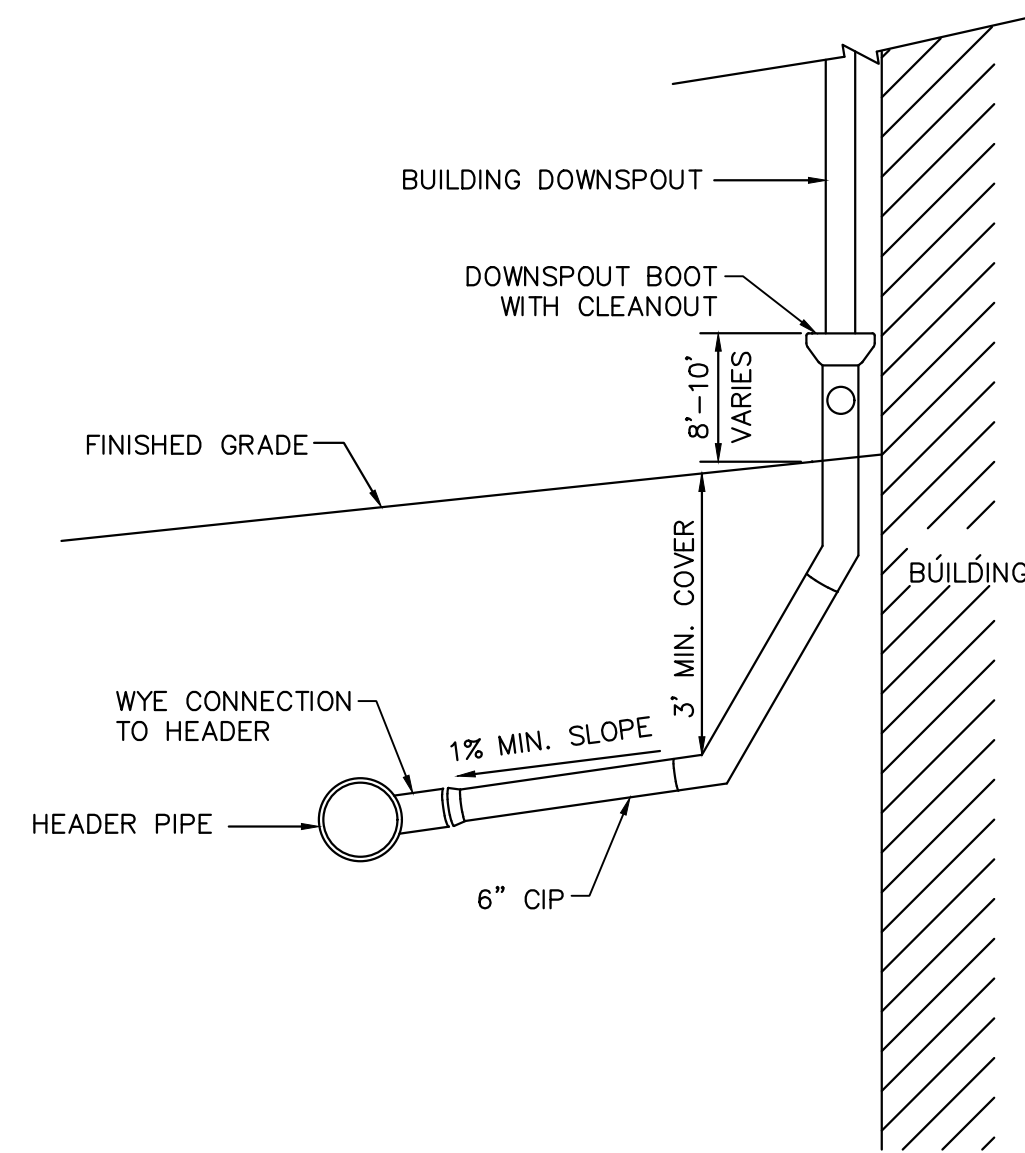


- NOTES:**
1. CAST IRON HANDLE.
  2. LOCATE BOTTOM OF TRAP MINIMUM 6" BELOW FLOW LINE.
  3. INSTALL ON FLAT WALL ONLY.

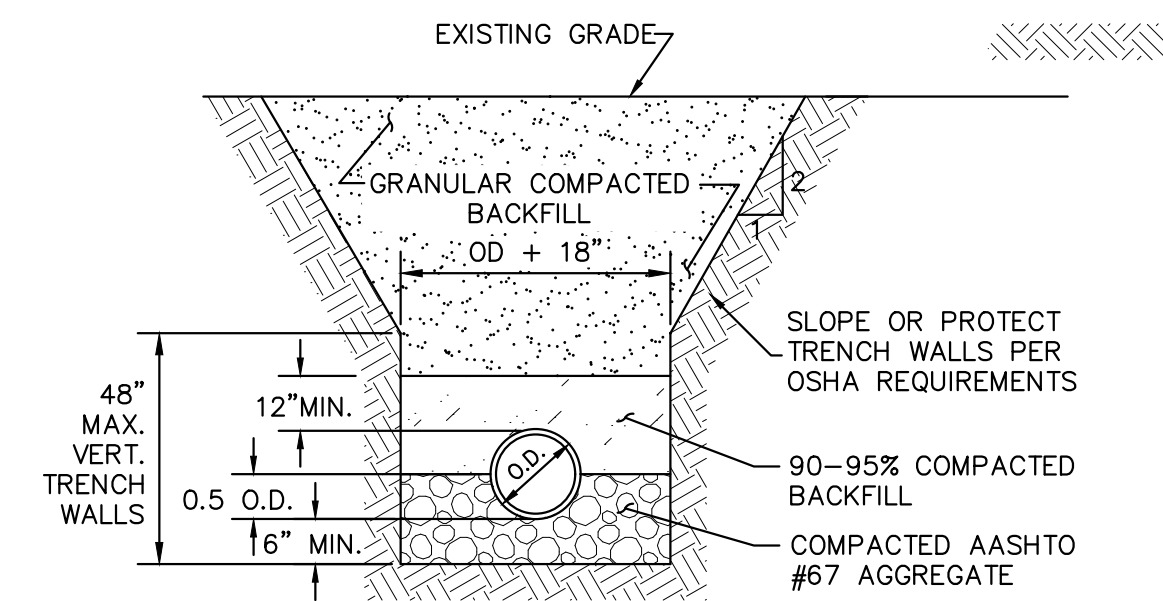
R-3701 CATCH BASIN TRAP - ALL DIMENSIONS IN INCHES				
CATALOG NO.	A (IN)	B (IN)	PIPE SIZE (IN)	SETTING METHOD
R-3701-6	16	12	UP TO 6	ON 2 HOOKS
R-3701-8	18	12	8	ON 2 HOOKS
R-3701-10	20	12	10	ON 2 HOOKS
R-3701-12	22	16	12	ON 2 HOOKS
R-3701-15	25	19	15	ON 2 HOOKS
R-3701-18	28	22	18	ON 2 HOOKS

**STANDARD INLET TRAP**  
SCALE: N.T.S.

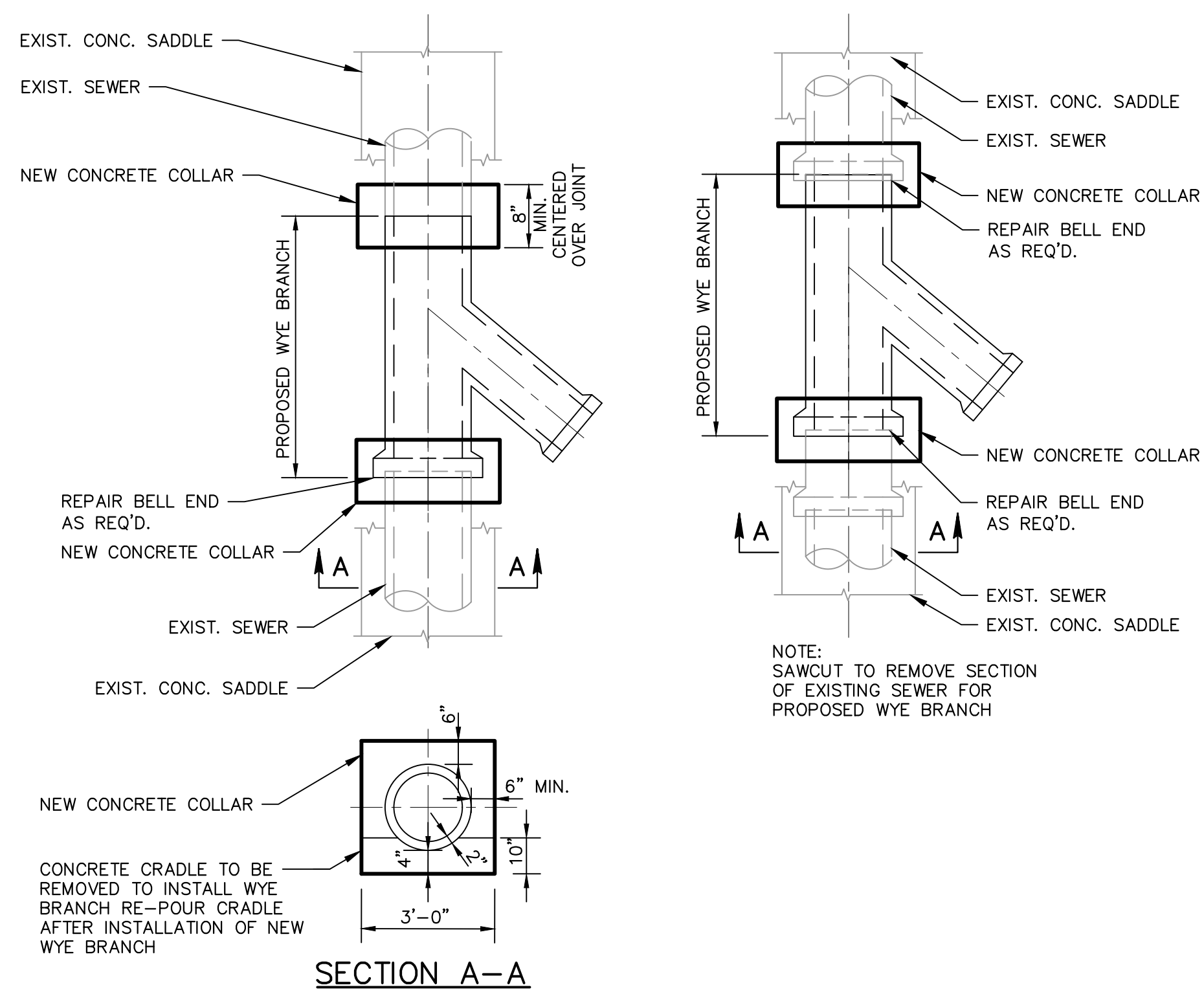




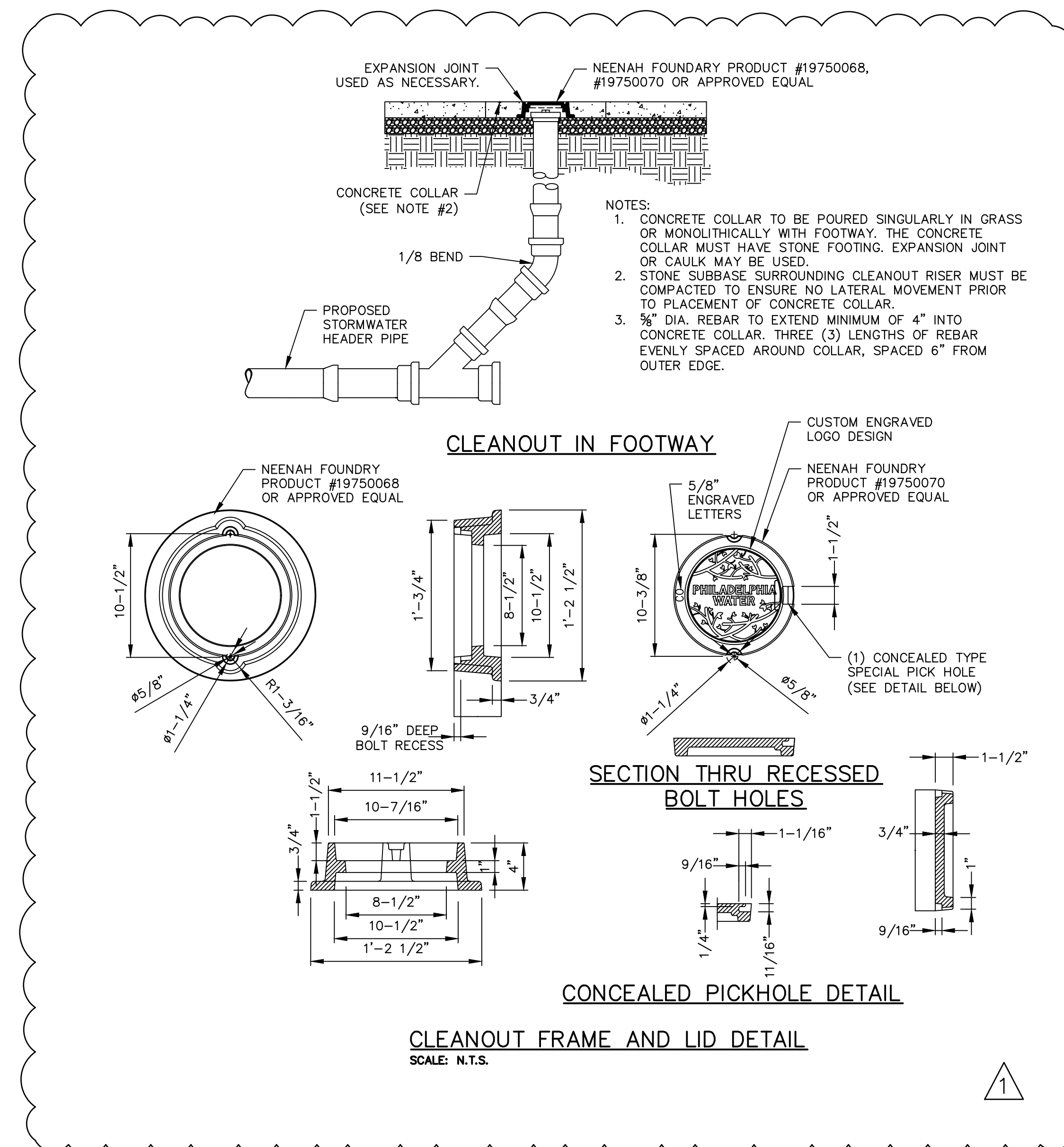
**DOWNSPOUT LATERAL CONNECTION**  
SCALE: N.T.S.



**TRENCH RESTORATION (IN GRASS)**  
SCALE: N.T.S.

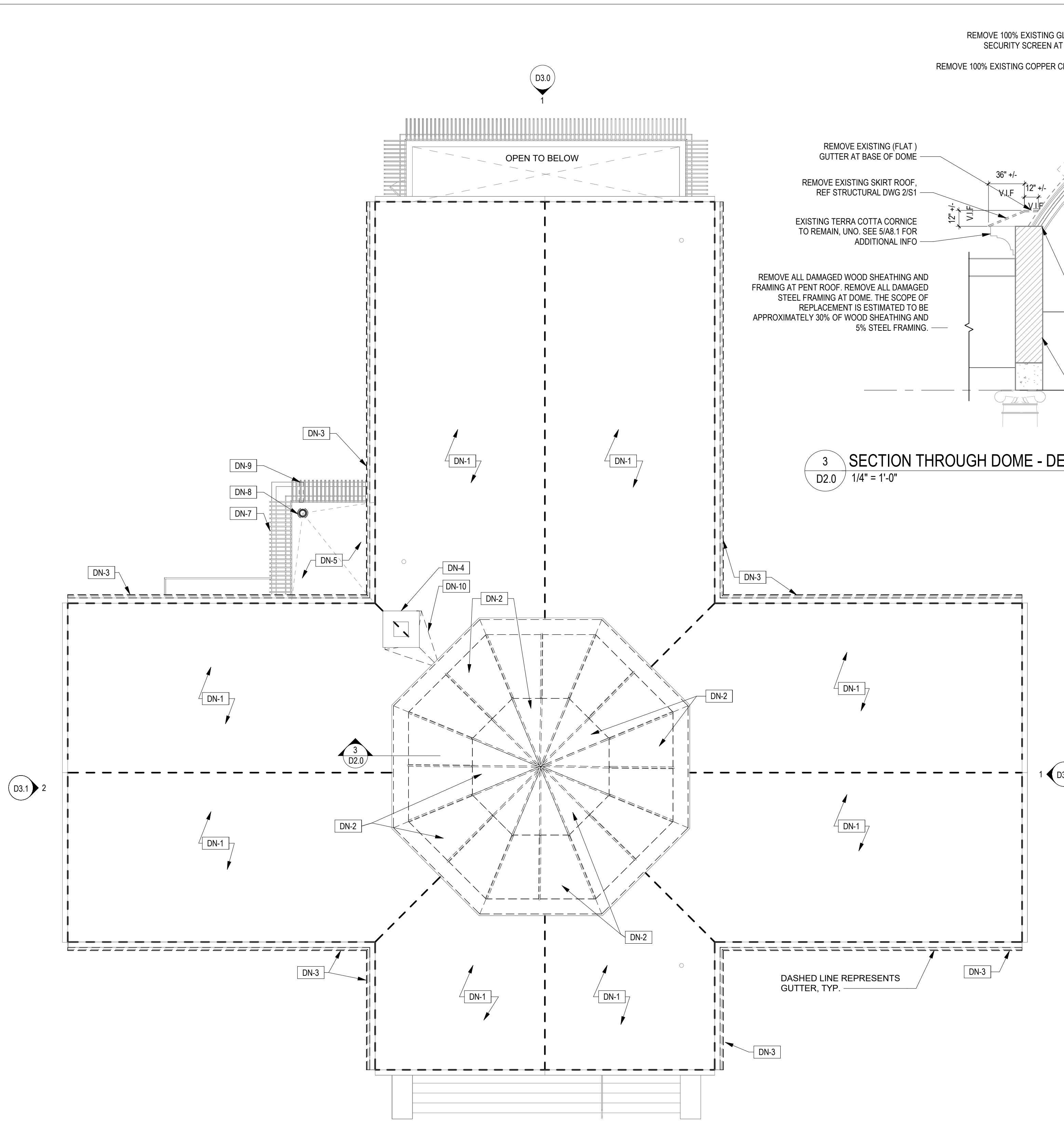


**PREFABRICATED WYE BRANCH DETAIL**  
SCALE: N.T.S.

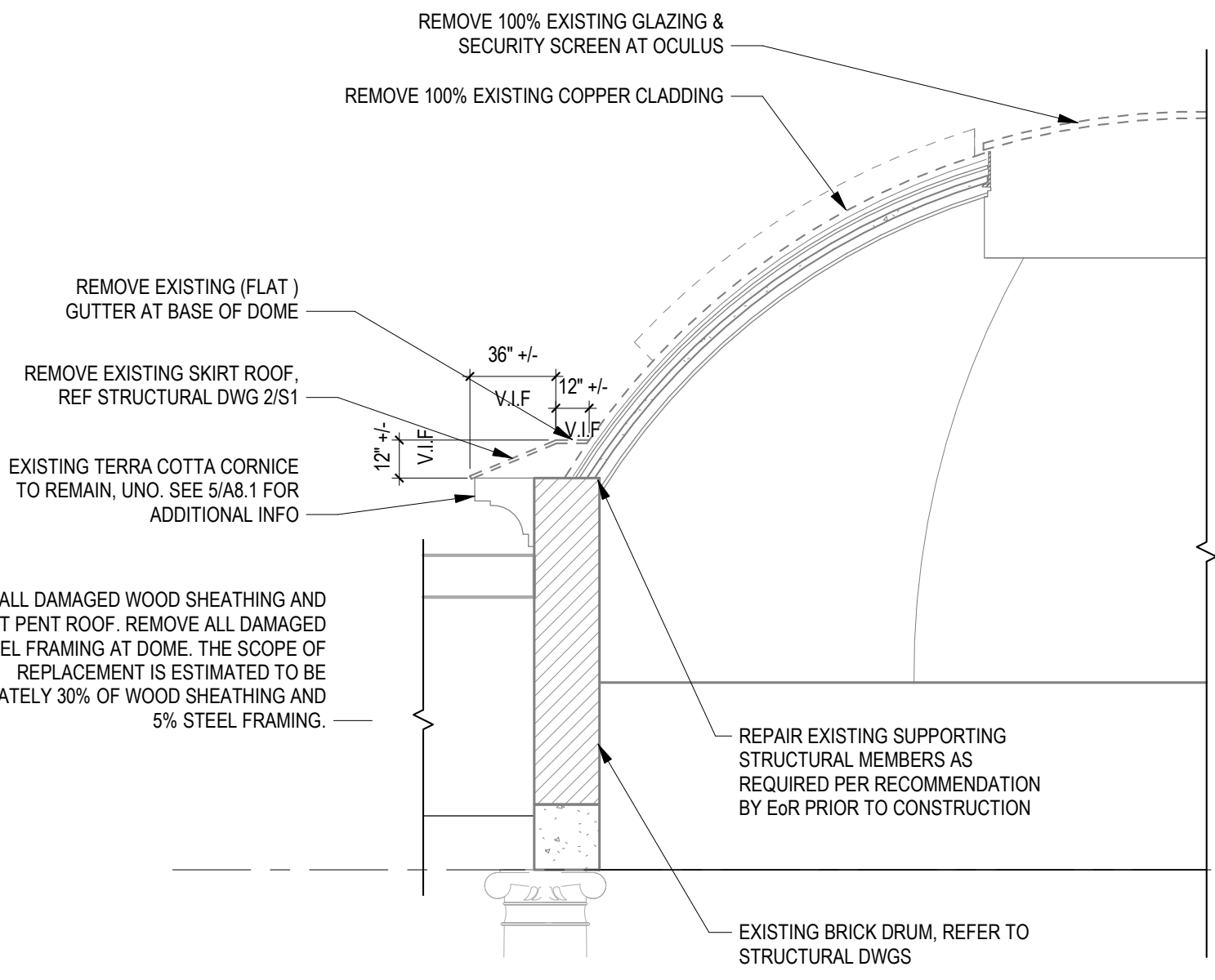


**CLEANOUT FRAME AND LID DETAIL**  
SCALE: N.T.S.

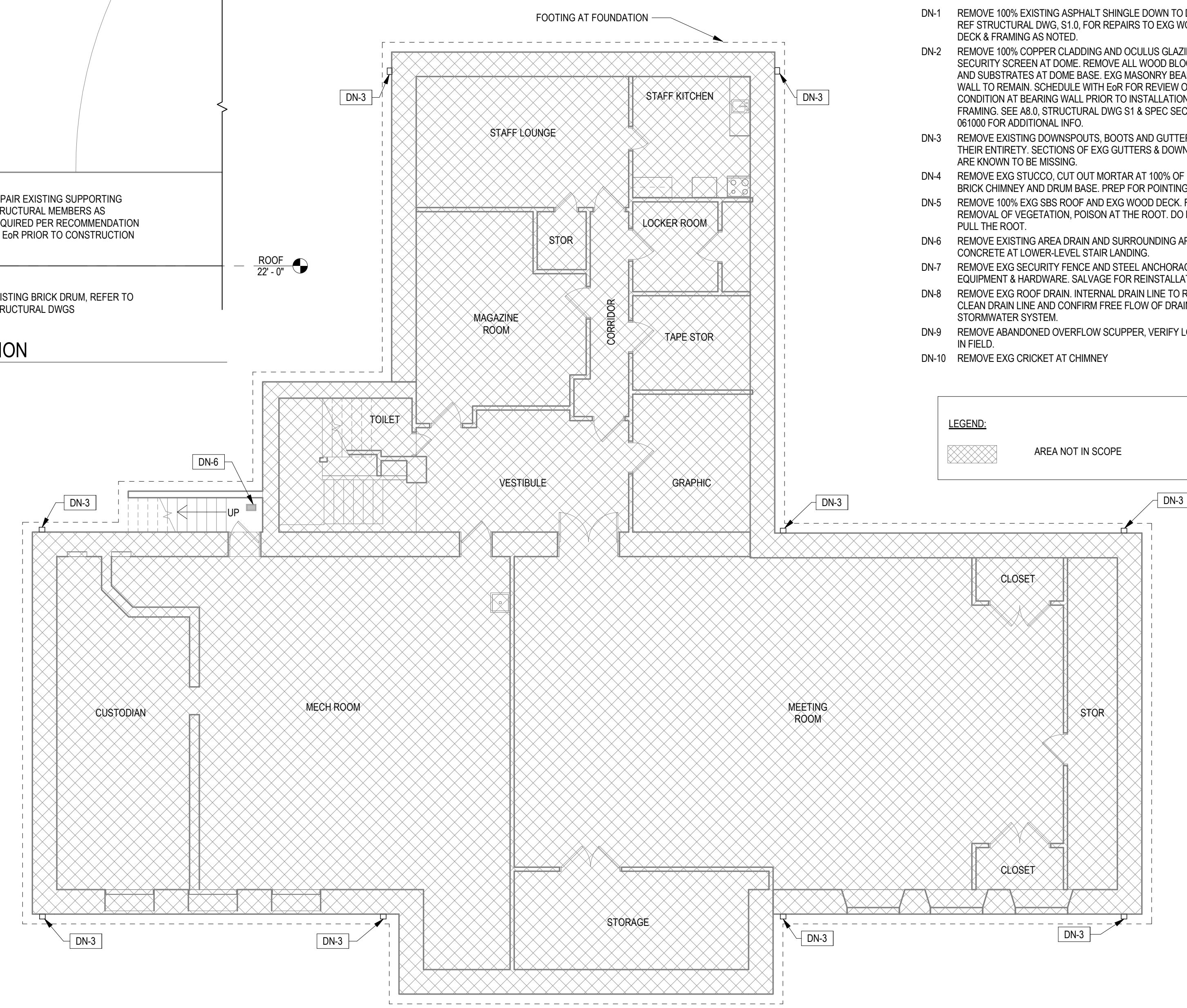




2 DEMOLITION - ROOF PLAN  
D2.0 1/8" = 1'-0"



3 SECTION THROUGH DOME - DEMOLITION  
D2.0 1/4" = 1'-0"



1 DEMOLITION - BASEMENT LEVEL  
D2.0 1/8" = 1'-0"

**GENERAL DEMOLITION NOTES:**

1. VERIFY ALL EXG CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
2. CUT A TEMPORARY ACCESS OPENING BETWEEN RAFTERS IN EACH QUADRANT OF CROSS-GABLE ROOF FOR REMOVAL OF EXG INSULATION.
3. ALL EXG PIPE PENETRATIONS AT ROOF TO REMAIN.
4. REPAIR EXG STRUCTURAL FRAME AS NOTED ON STRUCTURAL DRAWINGS S1-6.
5. CAREFULLY REMOVE, SALVAGE, AND STORE INTERIOR PENDANT LIGHT SUSPENDED FROM CENTER OF OCELLUS.

**KEYED DEMOLITION NOTES**

- DN-1 REMOVE 100% EXISTING ASPHALT SHINGLE DOWN TO DECK. REF STRUCTURAL DWG. S1.0, FOR REPAIRS TO EXG WOOD DECK & FRAMING AS NOTED.
- DN-2 REMOVE 100% COPPER CLADDING AND OCELLUS GLAZING AND SECURITY SCREEN AT DOME. REMOVE ALL WOOD BLOCKING AND SUBSTRATES AT DOME BASE. EXG MASONRY BEARING WALL TO REMAIN. SCHEDULE WITH EOR FOR REVIEW OF EXG CONDITION AT BEARING WALL PRIOR TO INSTALLATION OF NEW FRAMING. SEE A8.0, STRUCTURAL DWG S1 & SPEC SECTION 061000 FOR ADDITIONAL INFO.
- DN-3 REMOVE EXISTING DOWNSPOUTS, BOOTS AND GUTTERS IN THEIR ENTIRETY. SECTIONS OF EXG GUTTERS & DOWNSPOUTS ARE KNOWN TO BE MISSING.
- DN-4 REMOVE EXG STUCCO, CUT OUT MORTAR AT 100% OF EXG BRICK CHIMNEY AND DRUM BASE. PREP FOR POINTING.
- DN-5 REMOVE 100% EXG SBS ROOF AND EXG WOOD DECK. FOR REMOVAL OF VEGETATION, POISON AT THE ROOT. DO NOT PULL THE ROOT.
- DN-6 REMOVE EXISTING AREA DRAIN AND SURROUNDING AREA OF CONCRETE AT LOWER-LEVEL STAIR LANDING.
- DN-7 REMOVE EXG SECURITY FENCE AND STEEL ANCHORAGE EQUIPMENT & HARDWARE. SALVAGE FOR REINSTALLATION.
- DN-8 REMOVE EXG ROOF DRAIN. INTERNAL DRAIN LINE TO REMAIN. CLEAN DRAIN LINE AND CONFIRM FREE FLOW OF DRAINAGE TO STORMWATER SYSTEM.
- DN-9 REMOVE ABANDONED OVERFLOW SCUPPER. VERIFY LOCATION IN FIELD.
- DN-10 REMOVE EXG CRICKET AT CHIMNEY

**LEGEND:**

[Hatched Box] AREA NOT IN SCOPE

NOTE:  
NO SCOPE OF WORK AT FIRST LEVEL DEMOLITION FLOOR PLAN.  
HENCE OMITTED FROM SET OF DRAWINGS.



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**ROOFING CONSULTANT:**  
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Somerdale, NJ 08083  
856 287 2424

Seal:

DATE	REVISION
5/10/2024	ADDENDUM 1

By: JS Checked: JGH Scale: AS NOTED  
Date: 04/15/2024

Drawing Title:  
DEMOLITION BASEMENT & ROOF PLAN


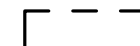
Drawing No.:  
D2.0

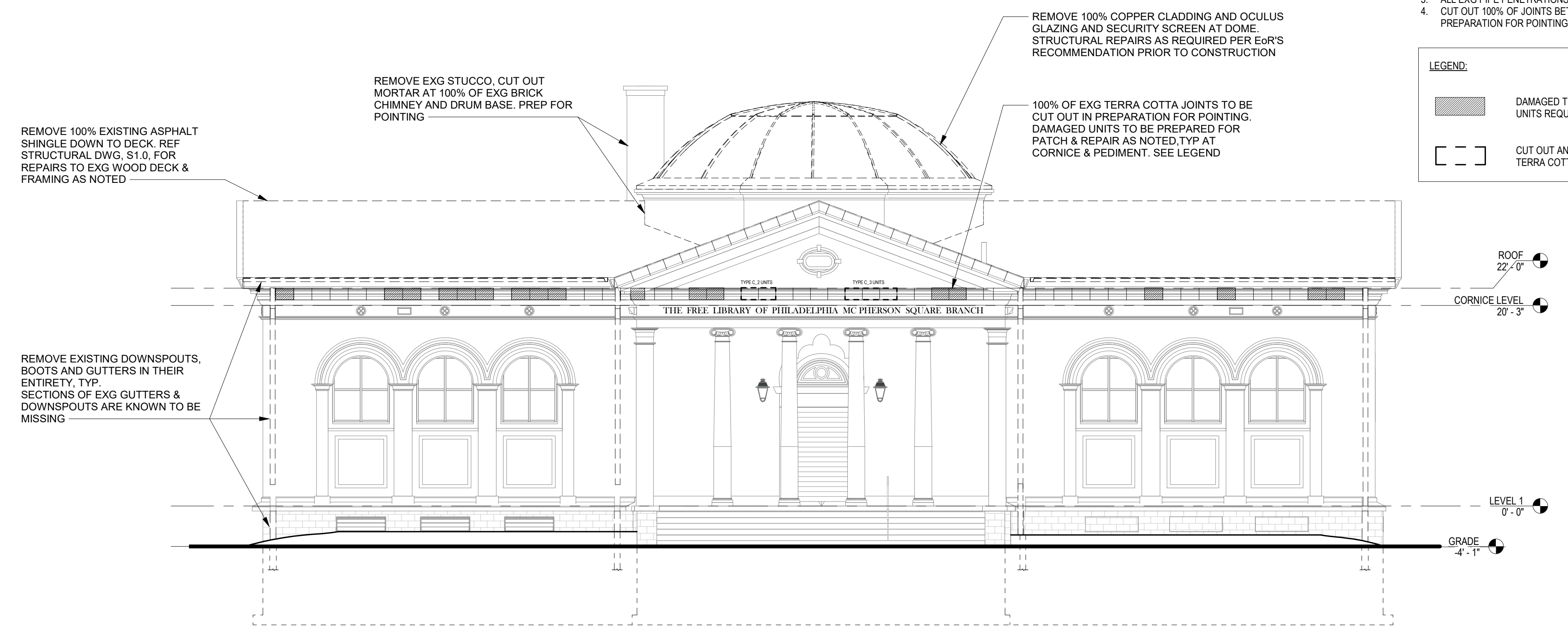


**GENERAL DEMOLITION NOTES:**

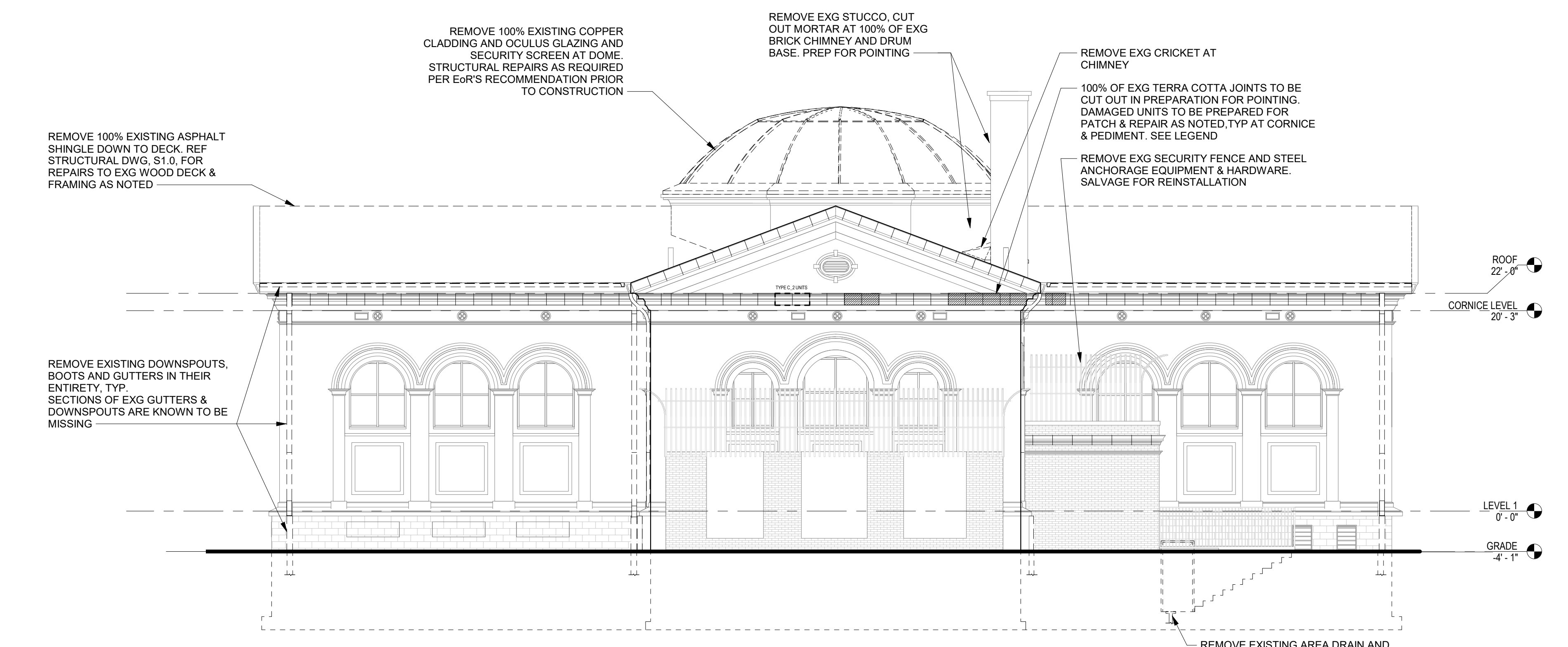
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. CUT A TEMPORARY ACCESS OPENING, BETWEEN RAFTERS, IN EACH QUADRANT OF CROSS-GABLE ROOF FOR REMOVAL OF EXG INSULATION.
3. ALL EXG PIPE PENETRATIONS AT ROOF TO REMAIN.
4. CUT OUT 100% OF JOINTS BETWEEN TERRA COTTA UNITS IN PREPARATION FOR POINTING.

**LEGEND:**

-  DAMAGED TERRA COTTA UNITS. REF A3.0 & A3.1 FOR UNITS REQUIRING REPAIR
-  CUT OUT AND REMOVE DESTABILIZED SECTIONS OF TERRA COTTA



**2 SOUTH (FRONT) ELEVATION**  
D3.0 1/8" = 1'-0"



**1 NORTH (REAR) ELEVATION**  
D3.0 1/8" = 1'-0"



Seal:

No.	Date	Revision

By: JH    Checked: JPH    Scale: AS NOTED  
Date: 04/15/2024


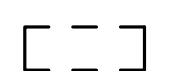
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DEMOLITION EXTERIOR  
ELEVATIONS

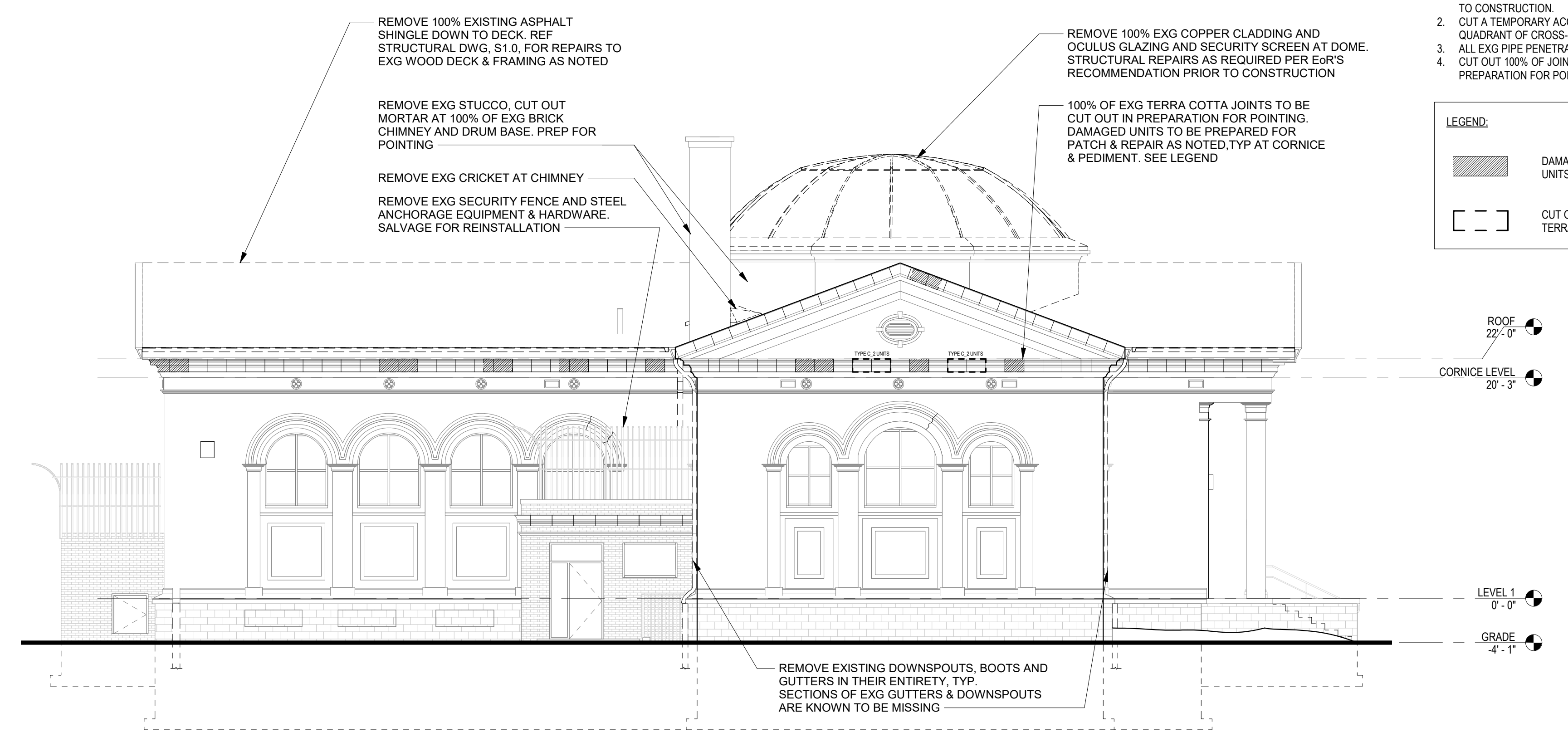
Drawing No.:  
D3.1

**GENERAL DEMOLITION NOTES:**

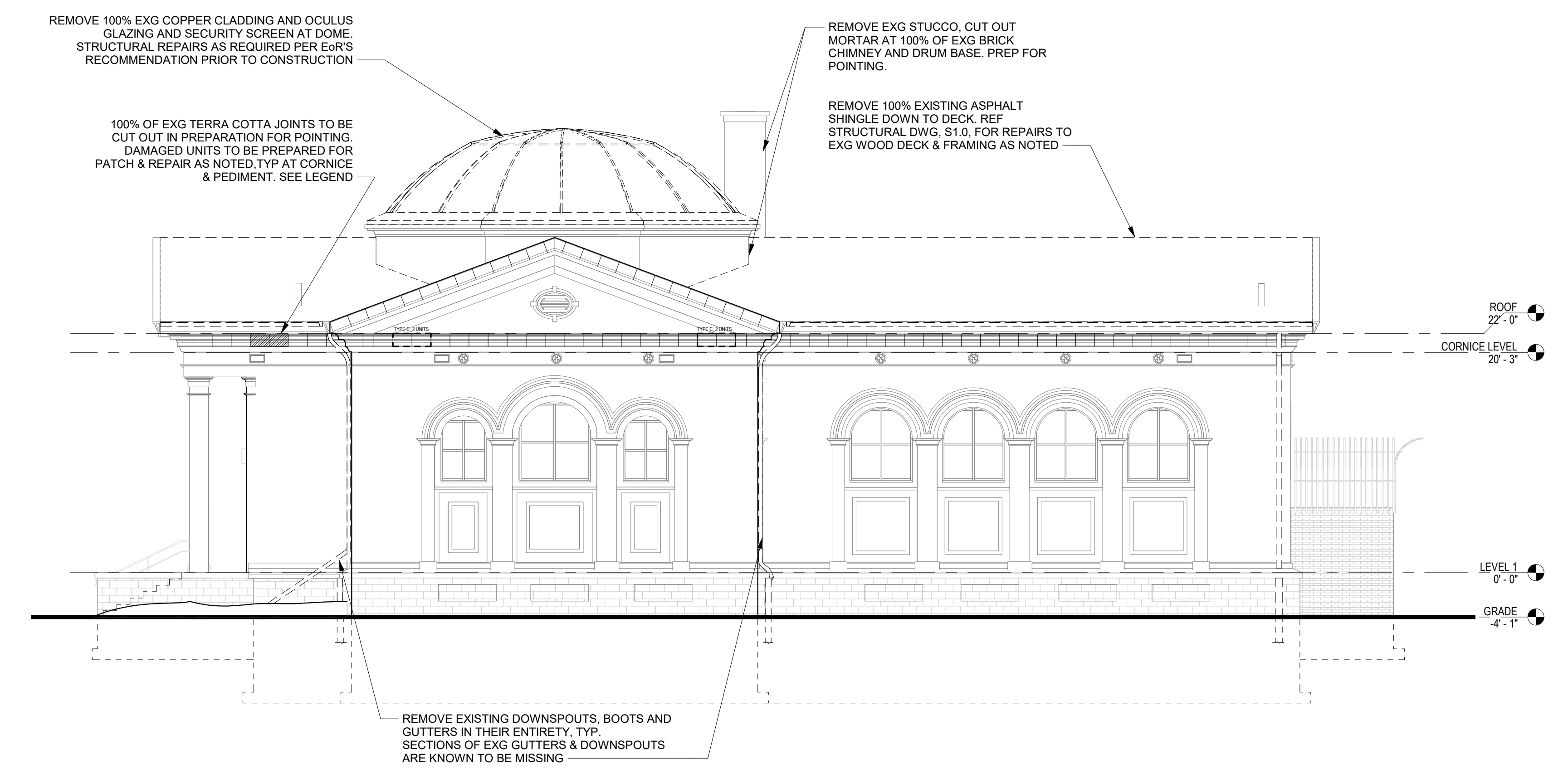
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. CUT A TEMPORARY ACCESS OPENING, BETWEEN RAFTERS, IN EACH QUADRANT OF CROSS-GABLE ROOF FOR REMOVAL OF EXG INSULATION.
3. ALL EXG PIPE PENETRATIONS AT ROOF TO REMAIN.
4. CUT OUT 100% OF JOINTS BETWEEN TERRA COTTA UNITS IN PREPARATION FOR POINTING.

**LEGEND:**

-  DAMAGED TERRA COTTA UNITS, REF A3.0 & A3.1 FOR UNITS REQUIRING REPAIR
-  CUT OUT AND REMOVE DESTABILIZED SECTIONS OF TERRA COTTA

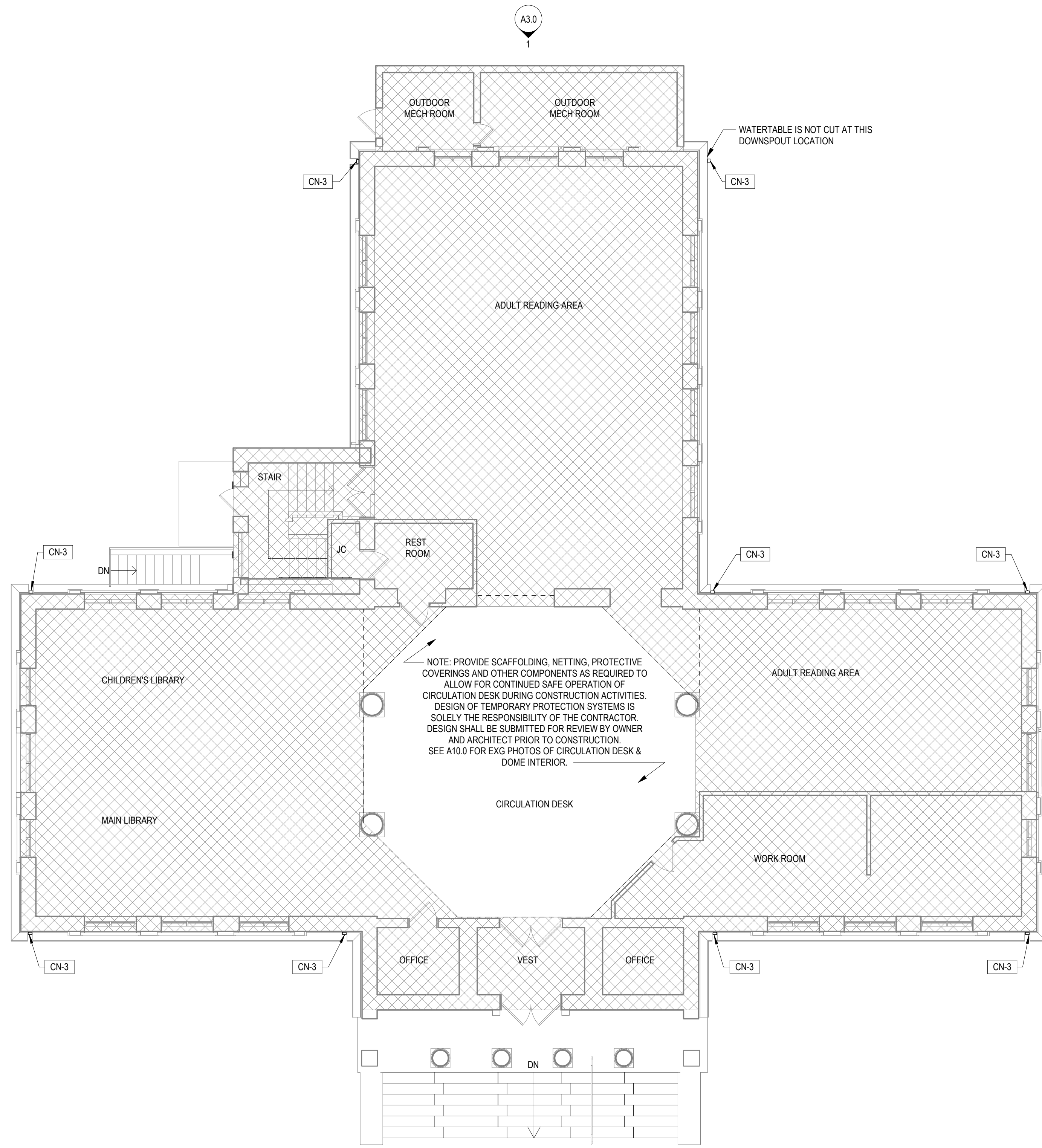


**2 WEST ELEVATION**  
D3.1 1/8" = 1'-0"

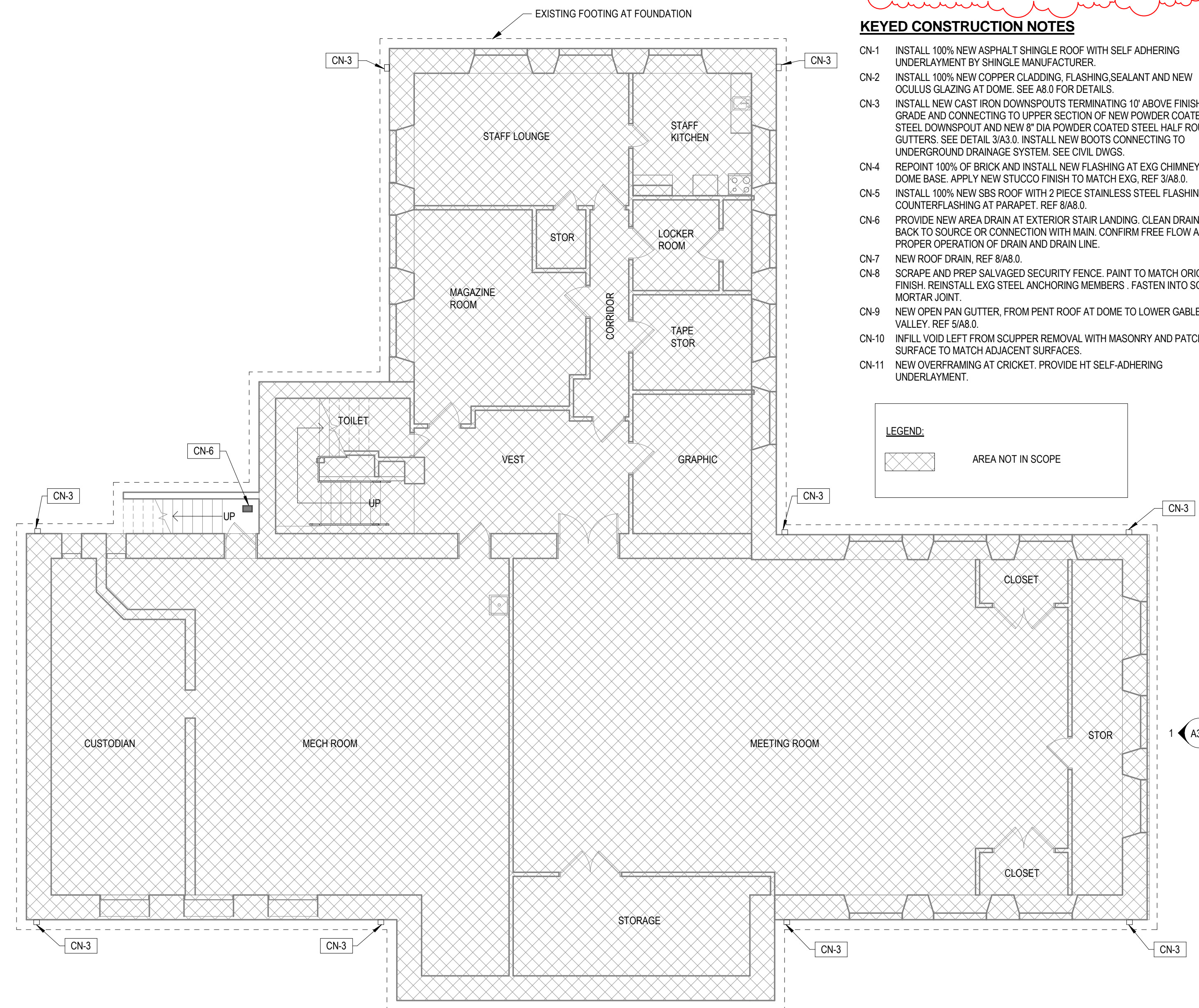


**1 EAST ELEVATION**  
D3.1 1/8" = 1'-0"





2 FIRST FLOOR PLAN  
A2.0 1/8" = 1'-0"



1 BASEMENT LEVEL PLAN  
A2.0 1/8" = 1'-0"

**GENERAL CONSTRUCTION NOTES:**

1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
3. PATCH TEMPORARY ACCESS OPENINGS BETWEEN RAFTERS IN ROOF WITH ASPHALT SHINGLE ROOF ASSEMBLY TO WATERTIGHT CONDITION ONCE INSTALLATION OF NEW ATTIC INSULATION IS COMPLETE.
4. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH EOR PRIOR TO NEW CONSTRUCTION.
5. REINSTALL INTERIOR PENDANT LIGHT, TO MATCH ORIGINAL SUSPENSION FROM THE CENTER OF THE OCVLUS.

**KEYED CONSTRUCTION NOTES**

- CN-1 INSTALL 100% NEW ASPHALT SHINGLE ROOF WITH SELF ADHERING UNDERLAYMENT BY SHINGLE MANUFACTURER.
- CN-2 INSTALL 100% NEW COPPER CLADDING, FLASHING, SEALANT AND NEW OCVLUS GLAZING AT DOME. SEE A8.0 FOR DETAILS.
- CN-3 INSTALL NEW CAST IRON DOWNSPOUTS TERMINATING 10' ABOVE FINISHED GRADE AND CONNECTING TO UPPER SECTION OF NEW POWDER COATED STEEL DOWNSPOUT AND NEW 8" DIA POWDER COATED STEEL HALF ROUND GUTTERS. SEE DETAIL 3/A3.0. INSTALL NEW BOOTS CONNECTING TO UNDERGROUND DRAINAGE SYSTEM. SEE CIVIL DWGS.
- CN-4 REPOINT 100% OF BRICK AND INSTALL NEW FLASHING AT EXG CHIMNEY AND DOME BASE. APPLY NEW STUCCO FINISH TO MATCH EXG. REF 3/A8.0.
- CN-5 INSTALL 100% NEW SBS ROOF WITH 2 PIECE STAINLESS STEEL FLASHING AND COUNTERFLASHING AT PARAPET. REF 8/A8.0.
- CN-6 PROVIDE NEW AREA DRAIN AT EXTERIOR STAIR LANDING. CLEAN DRAIN LINE BACK TO SOURCE OR CONNECTION WITH MAIN. CONFIRM FREE FLOW AND PROPER OPERATION OF DRAIN AND DRAIN LINE.
- CN-7 NEW ROOF DRAIN, REF 8/A8.0.
- CN-8 SCRAPE AND PREP SALVAGED SECURITY FENCE. PAINT TO MATCH ORIGINAL FINISH. REINSTALL EXG STEEL ANCHORING MEMBERS. FASTEN INTO SOUND MORTAR JOINT.
- CN-9 NEW OPEN PAN GUTTER, FROM PENT ROOF AT DOME TO LOWER GABLE ROOF VALLEY. REF 5/A8.0.
- CN-10 INFILL VOID LEFT FROM SCUPPER REMOVAL WITH MASONRY AND PATCH SURFACE TO MATCH ADJACENT SURFACES.
- CN-11 NEW OVERFRAMING AT CRICKET. PROVIDE HT SELF-ADHERING UNDERLAYMENT.

**LEGEND:**

AREA NOT IN SCOPE



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**ROOFING CONSULTANT:**  
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210 Garden Avenue  
Somerdale, NJ 08083  
856 287 2424

Seal:

DATE	REVISION
5/10/2024	ADDENDUM 1

By: JS Checked: JPH Date: 04/15/2024

Drawing Title:  
FLOOR PLANS

Drawing No.:  
A2.0



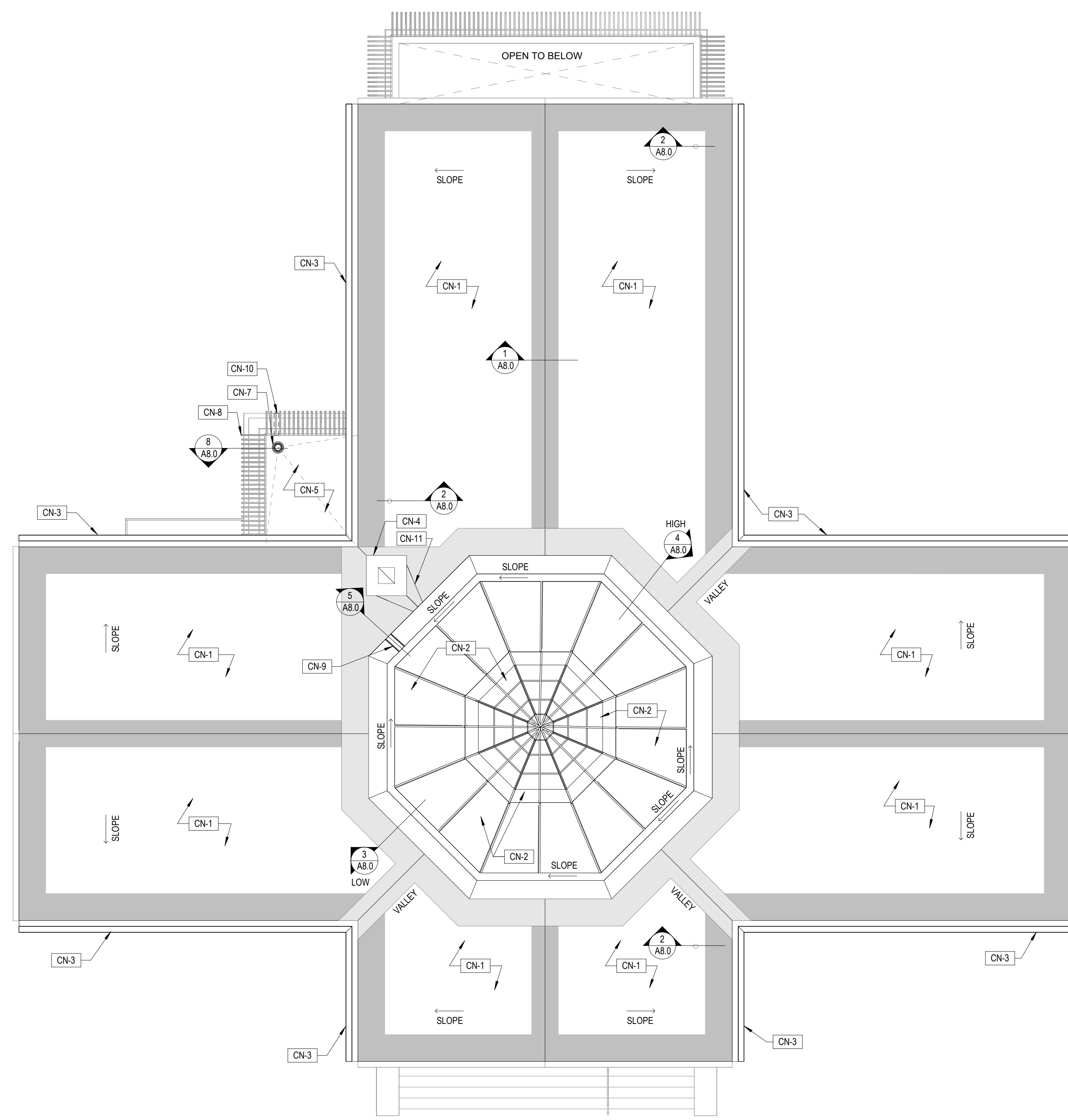
- GENERAL CONSTRUCTION NOTES:**
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
  2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
  3. PATCH TEMPORARY ACCESS OPENINGS BETWEEN RAFTERS IN ROOF WITH ASPHALT SHINGLE ROOF ASSEMBLY TO WATERTIGHT CONDITION ONCE INSTALLATION OF NEW ATTIC INSULATION IS COMPLETE.
  4. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH EOR PRIOR TO NEW CONSTRUCTION.
  5. REINSTALL INTERIOR PENDANT LIGHT, TO MATCH ORIGINAL SUSPENSION FROM THE CENTER OF THE OCULUS.

- GENERAL ROOF NOTES:**
1. REFER TO STRUCTURAL DRAWINGS FOR INFORMATION ABOUT WOOD FRAMING REPLACEMENTS.
  2. ALL METAL FLASHINGS TO BE ZT COPPER.
  3. INSTALL R-30 MINERAL WOOL UNFACED BATT INSULATION BETWEEN RAFTERS. UTILIZE OPENING CUT IN EACH QUADRANT OF CROSS-GABLE ROOF FOR ACCESS TO ATTIC SPACE. SEE GENERAL CONSTRUCTION NOTE 3.

- KEYED CONSTRUCTION NOTES**
- CN-1 INSTALL 100% NEW ASPHALT SHINGLE ROOF WITH SELF ADHERING UNDERLAYMENT BY SHINGLE MANUFACTURER.
  - CN-2 INSTALL 100% NEW COPPER CLADDING, FLASHING SEALANT AND NEW OCULUS GLAZING AT DOME. SEE A8.0 FOR DETAILS.
  - CN-3 INSTALL NEW CAST IRON DOWNSPOUTS TERMINATING 10' ABOVE FINISHED GRADE AND CONNECTING TO UPPER SECTION OF NEW POWDER COATED STEEL DOWNSPOUT AND NEW 8" DIA POWDER COATED STEEL HALF ROUND GUTTERS. SEE DETAIL 3A3.0. INSTALL NEW BOOTS CONNECTING TO UNDERGROUND DRAINAGE SYSTEM. SEE CIVIL DWGS.
  - CN-4 REPOINT 100% OF BRICK AND INSTALL NEW FLASHING AT EXG CHIMNEY AND DOME BASE. APPLY NEW STUCCO FINISH TO MATCH EXG. REF 3A8.0.
  - CN-5 INSTALL 100% NEW SBS ROOF WITH 2 PIECE STAINLESS STEEL FLASHING AND COUNTERFLASHING AT PARAPET. REF 8A8.0.
  - CN-6 PROVIDE NEW AREA DRAIN AT EXTERIOR STAIR LANDING. CLEAN DRAIN LINE BACK TO SOURCE OR CONNECTION WITH MAIN. CONFIRM FREE FLOW AND PROPER OPERATION OF DRAIN AND DRAIN LINE.
  - CN-7 NEW ROOF DRAIN, REF 8A8.0.
  - CN-8 SCRAPE AND PREP SALVAGED SECURITY FENCE. PAINT TO MATCH ORIGINAL FINISH. REINSTALL EXG STEEL ANCHORING MEMBERS. FASTEN INTO SOUND MORTAR JOINT.
  - CN-9 NEW OPEN PAN GUTTER, FROM PENT ROOF AT DOME TO LOWER GABLE ROOF VALLEY. REF 5A8.0.
  - CN-10 INFILL VOID LEFT FROM SCUPPER REMOVAL WITH MASONRY AND PATCH SURFACE TO MATCH ADJACENT SURFACES.
  - CN-11 NEW OVERFRAMING AT CRICKET. PROVIDE HT SELF-ADHERING UNDERLAYMENT.

**LEGEND:**

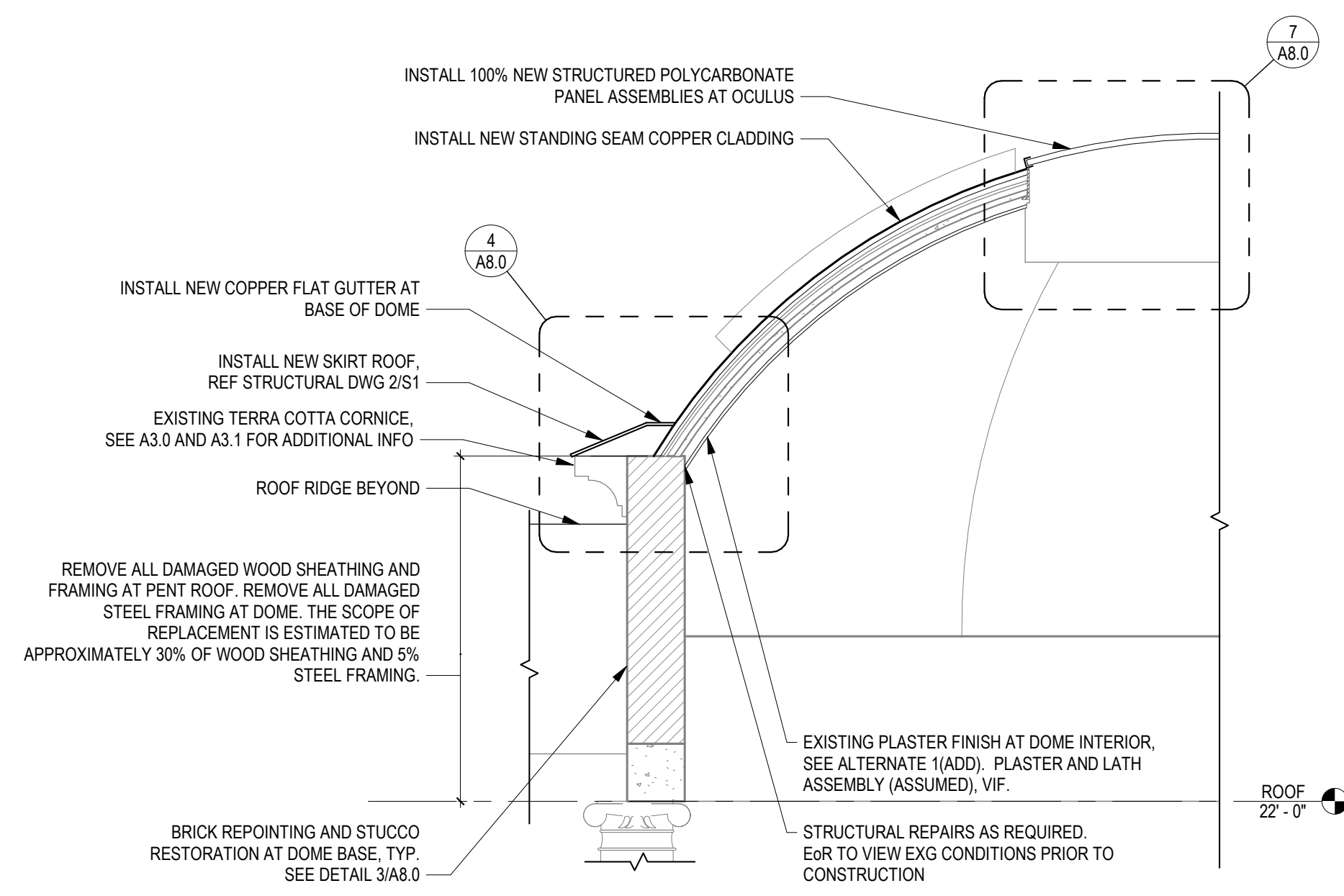
	AREA NOT IN SCOPE
	BRICK
	ICE & WATER SHIELD (INSTALL PER MFR INSTRUCTIONS)
	UNDERLAYMENT HT (BY SHINGLE MFR)



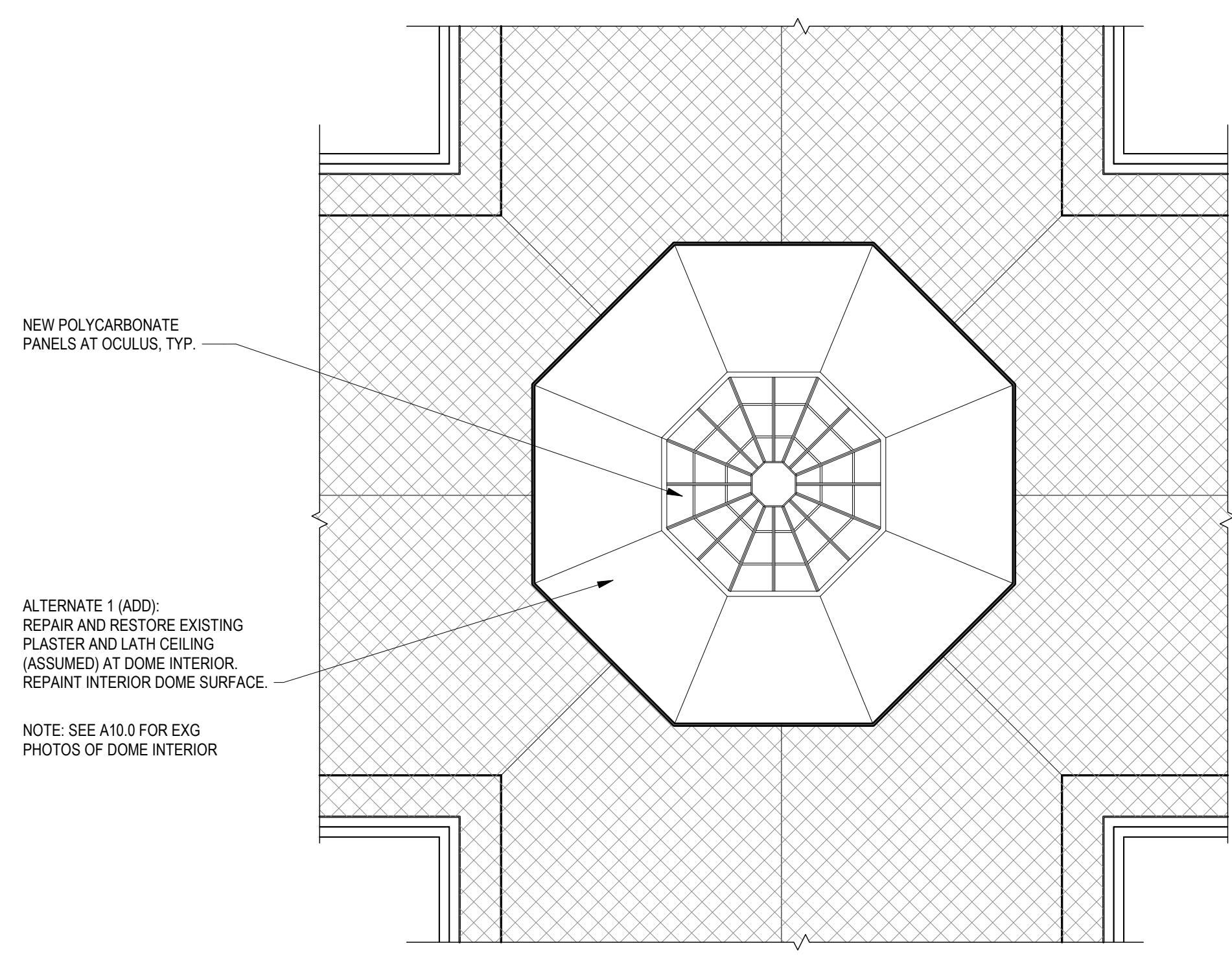
1 ROOF PLAN  
A2.1 1/8" = 1'-0"

ROOF TYPES				
TYPE	DESCRIPTION	CODE-REQ'D INSUL MIN R-VALUE	DETAIL	SPECIFICATION
R1	SLOPED ASPHALT SHINGLE ROOF ASSEMBLY	MIN R-30 ci R-30 ci		EXG 2x10 PLANK DECK, R-30 MINERAL WOOL UNFACED BATT INSULATION BETWEEN RAFTERS, EXG 1/2" PLYWOOD SHEATHING, SELF ADHERING UNDERLAYMENT, NEW ICE & WATER SHIELD (ONLY AT EAVES, RIDGES & VALLEYS), ASPHALT FIBERGLASS SHINGLE ROOF SYSTEM
R2	LOW-SLOPE SBS MEMBRANE ROOF ON WOOD DECKING	MIN R-30 ci R-30 ci		NEW T&G WOOD DECK, HT SELF ADHERING VAPOR RETARDER, (2) LAYERS 2 5/8" THICK POLYISO INSULATION, 1/2" GYPSUM COVERBOARD, MULTI-PLY SBS MODIFIED BITUMEN ROOFING SYSTEM

- GENERAL ROOF NOTES:**
1. SEE STRUC DWGS FOR ROOF DECK & STRUCTURE.
  2. SEE ROOF PLAN DWG AND A-8 SERIES DWGS FOR ADDITIONAL DETAILS.

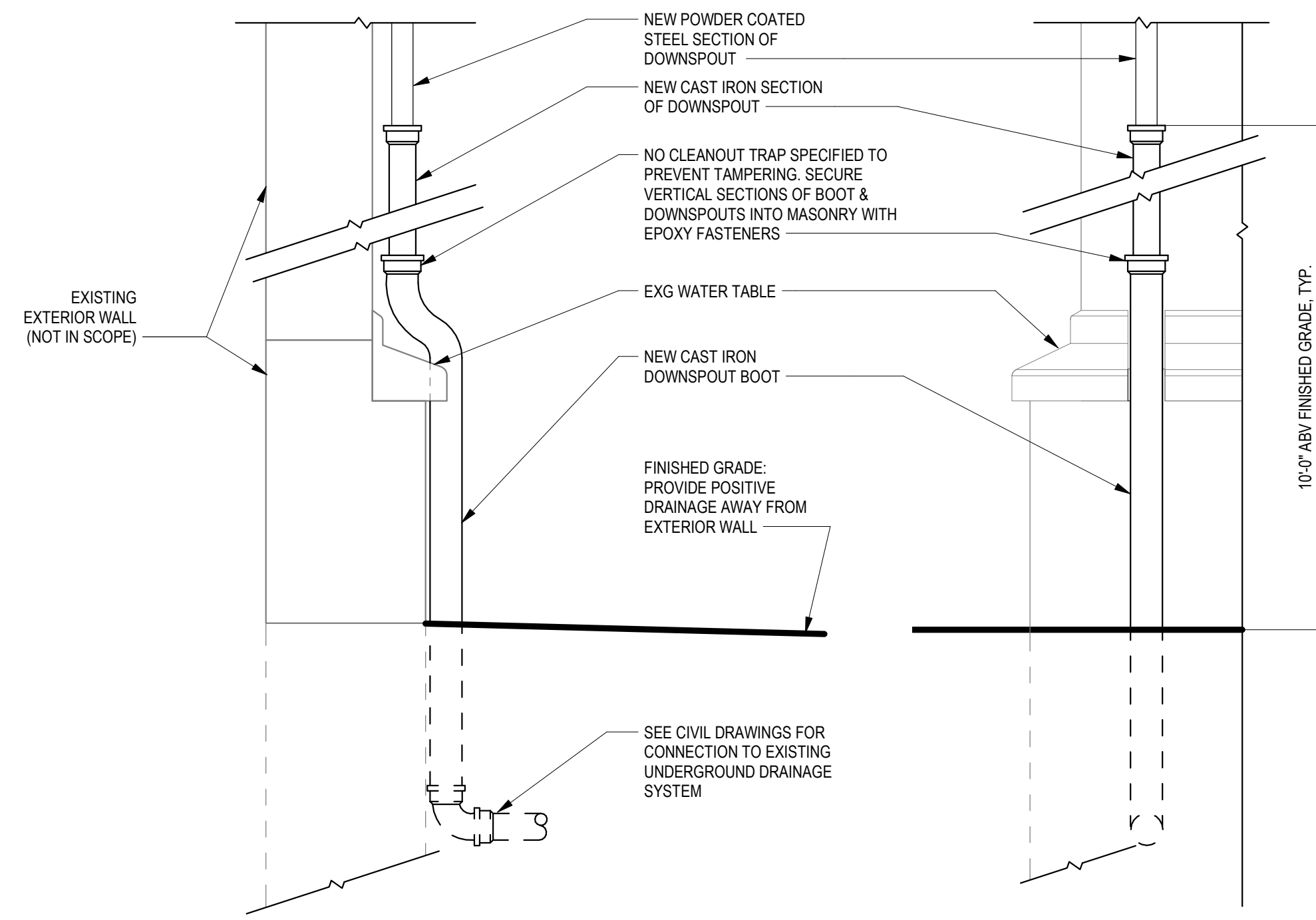


3 SECTION DIAGRAM THROUGH DOME  
A2.1 1/4" = 1'-0"



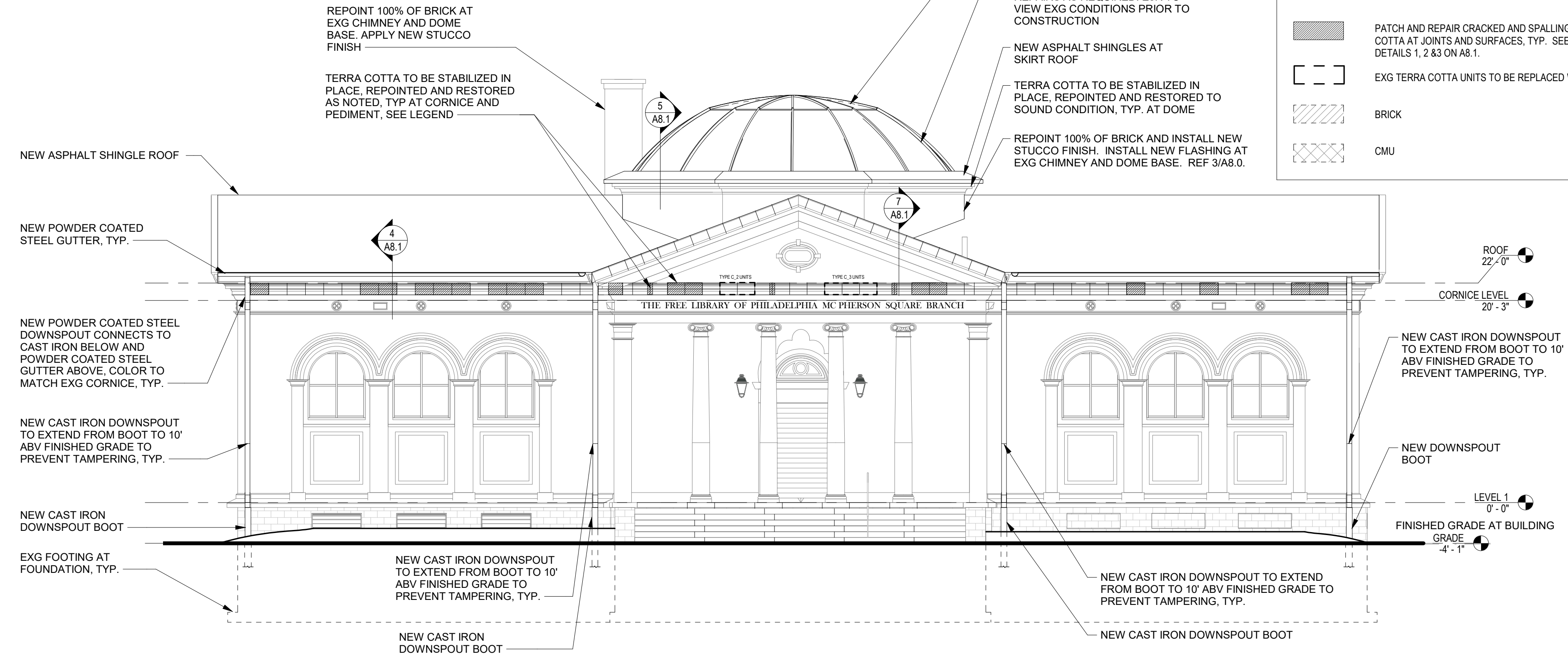
2 ALTERNATE 1(ADD) - REFLECTED CEILING PLAN AT DOME INTERIOR  
A2.1 1/8" = 1'-0"



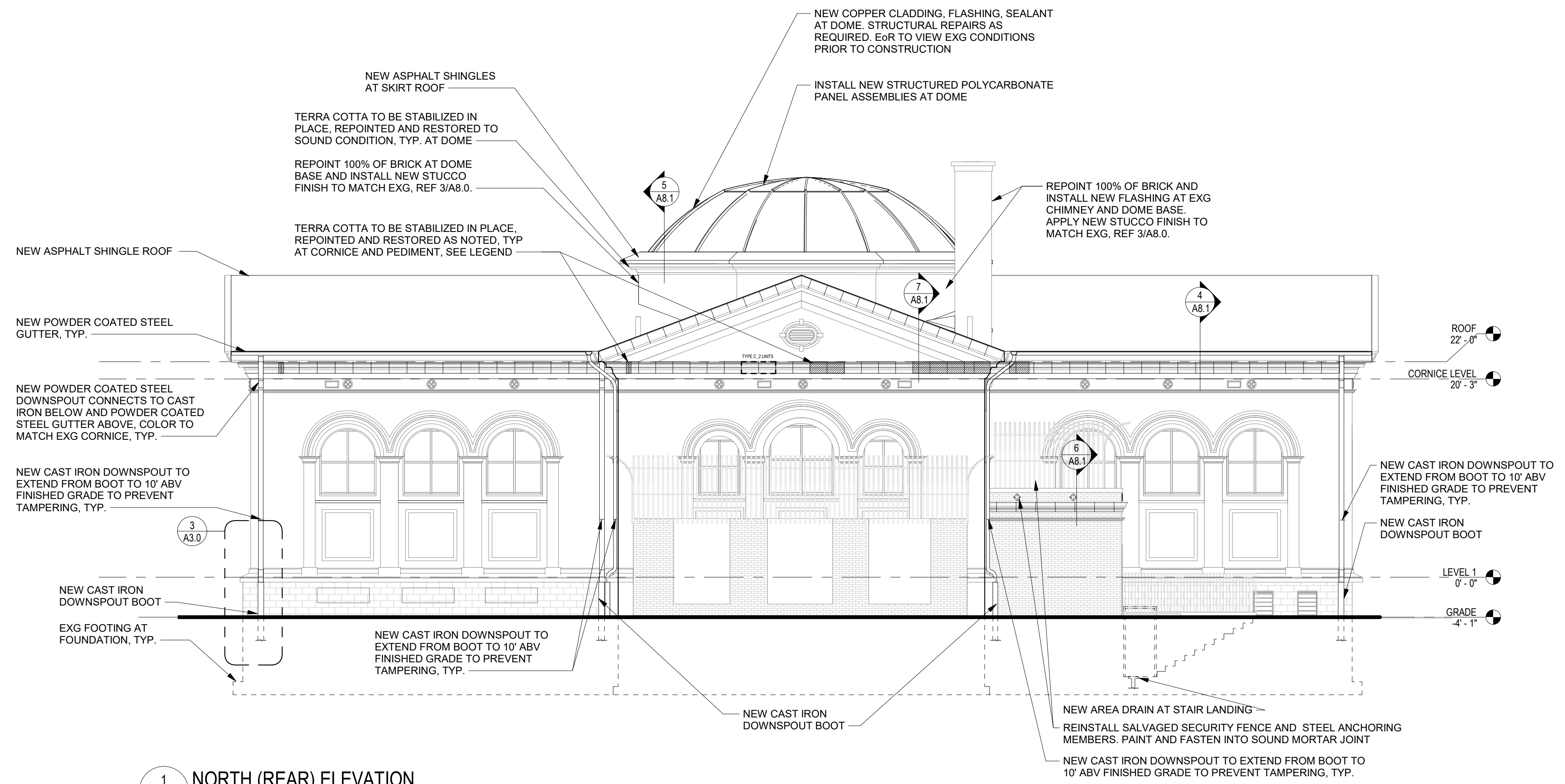


4 ENLARGED ELEVATION AT DOWNSPOUT: SIDE VIEW  
A3.0 1/2" = 1'-0"

3 ENLARGED ELEVATION AT DOWNSPOUT: FRONT VIEW  
A3.0 1/2" = 1'-0"



2 SOUTH (FRONT) ELEVATION  
A3.0 1/8" = 1'-0"



1 NORTH (REAR) ELEVATION  
A3.0 1/8" = 1'-0"

**GENERAL NOTES:**

1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
3. SEE CIVIL DRAWINGS FOR CONNECTIONS TO NEW DOWNSPOUT BOOT.
4. REPOINT 100% OF JOINTS BETWEEN TERRA COTTA UNITS.
5. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH ENGINEER OF RECORD PRIOR TO NEW CONSTRUCTION.

**LEGEND:**

- [Pattern] PATCH AND REPAIR CRACKED AND SPALLING TERRA COTTA AT JOINTS AND SURFACES, TYP. SEE REPAIR DETAILS 1, 2 & 3 ON A8.1.
- [Pattern] EXG TERRA COTTA UNITS TO BE REPLACED WITH NEW
- [Pattern] BRICK
- [Pattern] CMU

Seal:

No. Date Revision

By: JH Checked: JPH Scale: AS NOTED  
Date: 04/15/2024

Drawing Title:  
EXTERIOR ELEVATIONS

Drawing No.:  
A3.0

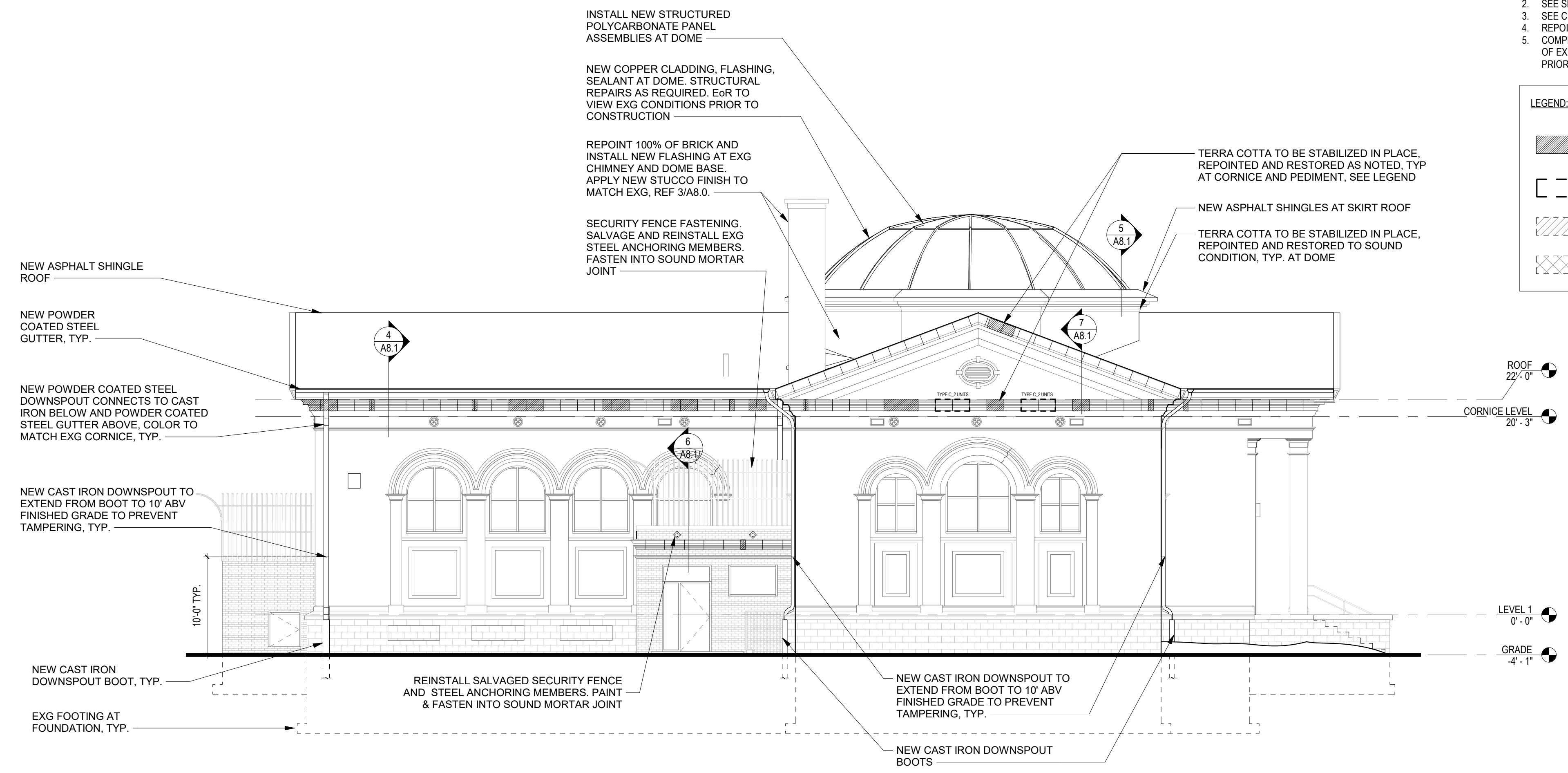


**GENERAL NOTES:**

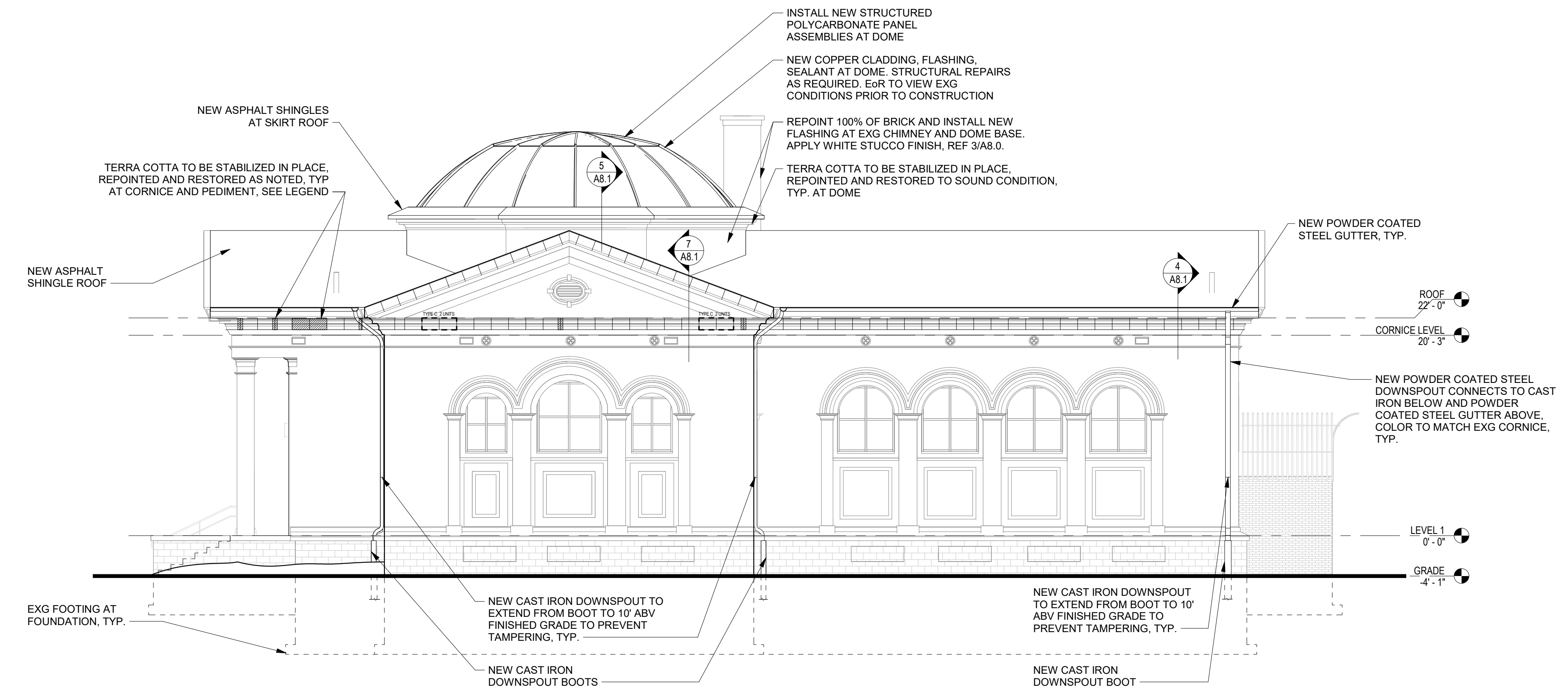
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
2. SEE SHEET A0.1 FOR LIST OF ALTERNATES.
3. SEE CIVIL DRAWINGS FOR CONNECTIONS TO NEW DOWNSPOUT BOOT.
4. REPOINT 100% OF JOINTS BETWEEN TERRA COTTA UNITS.
5. COMPLETE STRUCTURAL REPAIRS AND REVIEW EXISTING CONDITIONS OF EXPOSED STRUCTURAL MEMBERS WITH ENGINEER OF RECORD PRIOR TO NEW CONSTRUCTION.

**LEGEND:**

- [Hatched Box] PATCH AND REPAIR CRACKED AND SPALLING TERRA COTTA AT JOINTS AND SURFACES, TYP. SEE REPAIR DETAILS 1, 2 & 3 ON A8.1.
- [Dashed Box] EXG TERRA COTTA UNITS TO BE REPLACED WITH NEW
- [Brick Pattern] BRICK
- [CMU Pattern] CMU



2 WEST ELEVATION  
A3.1 1/8" = 1'-0"

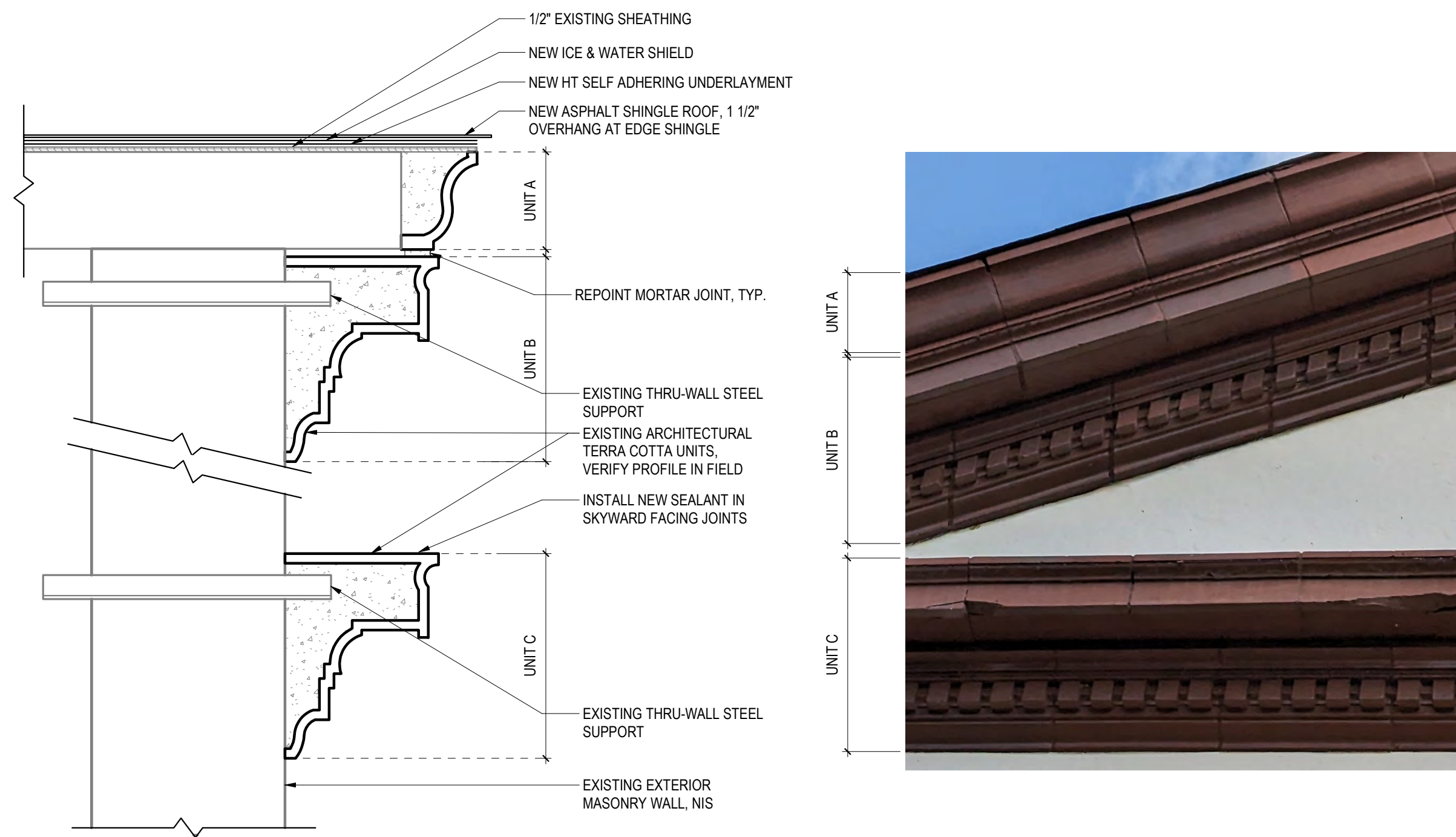


1 EAST ELEVATION  
A3.1 1/8" = 1'-0"

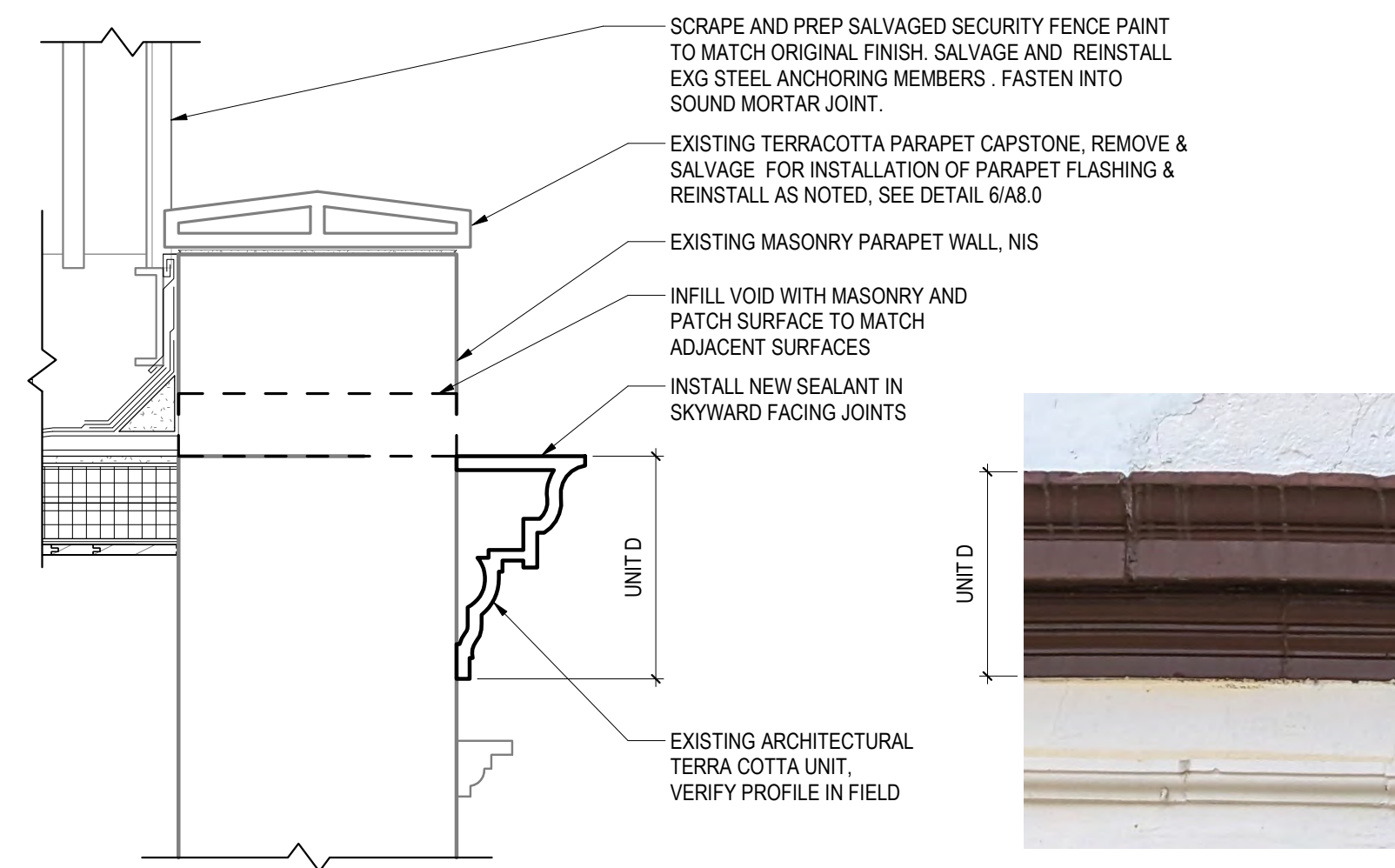




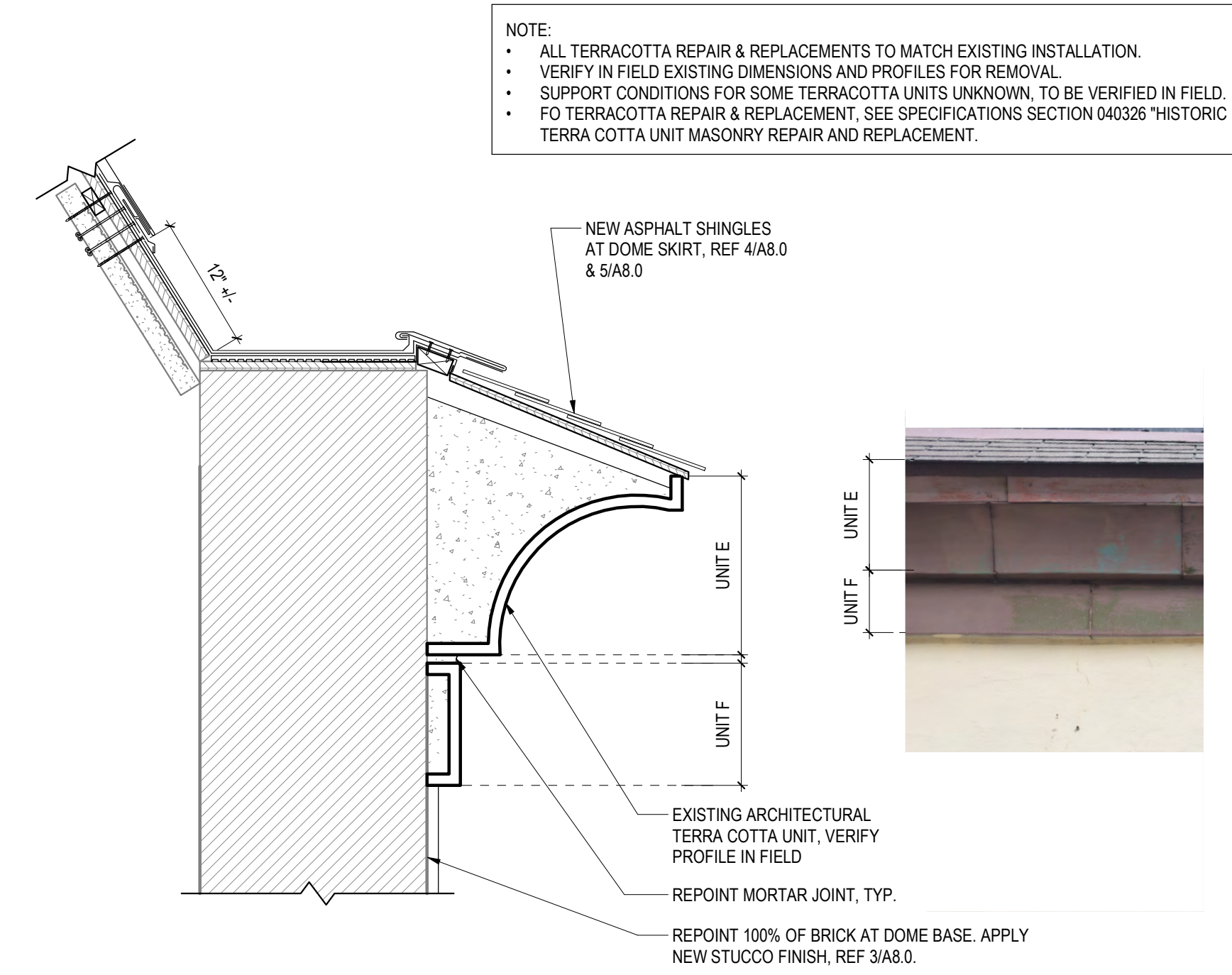




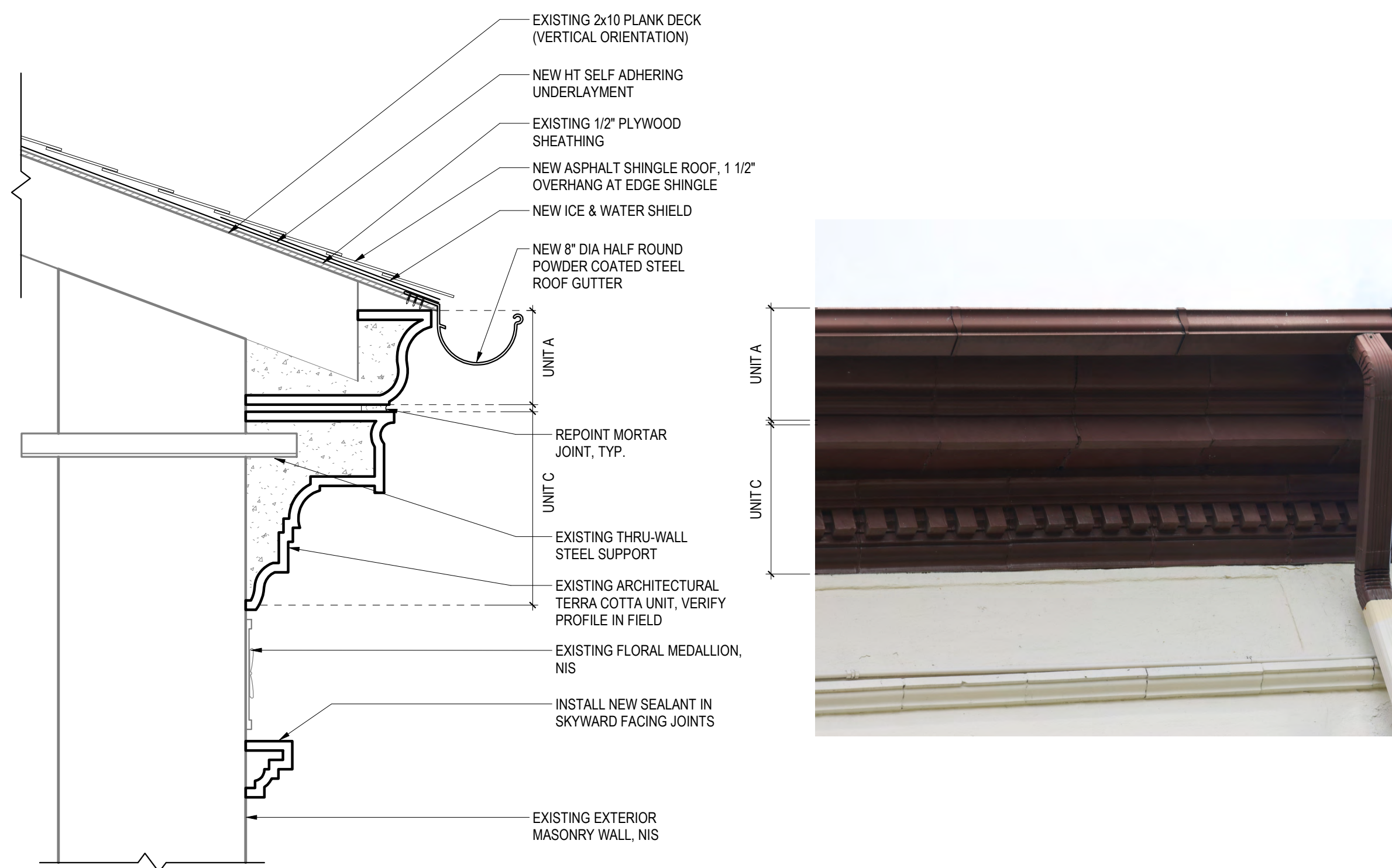
7 TERRA COTTA DETAIL - CORNICE AT RAKE AND PEDIMENT  
A8.1 1" = 1'-0"



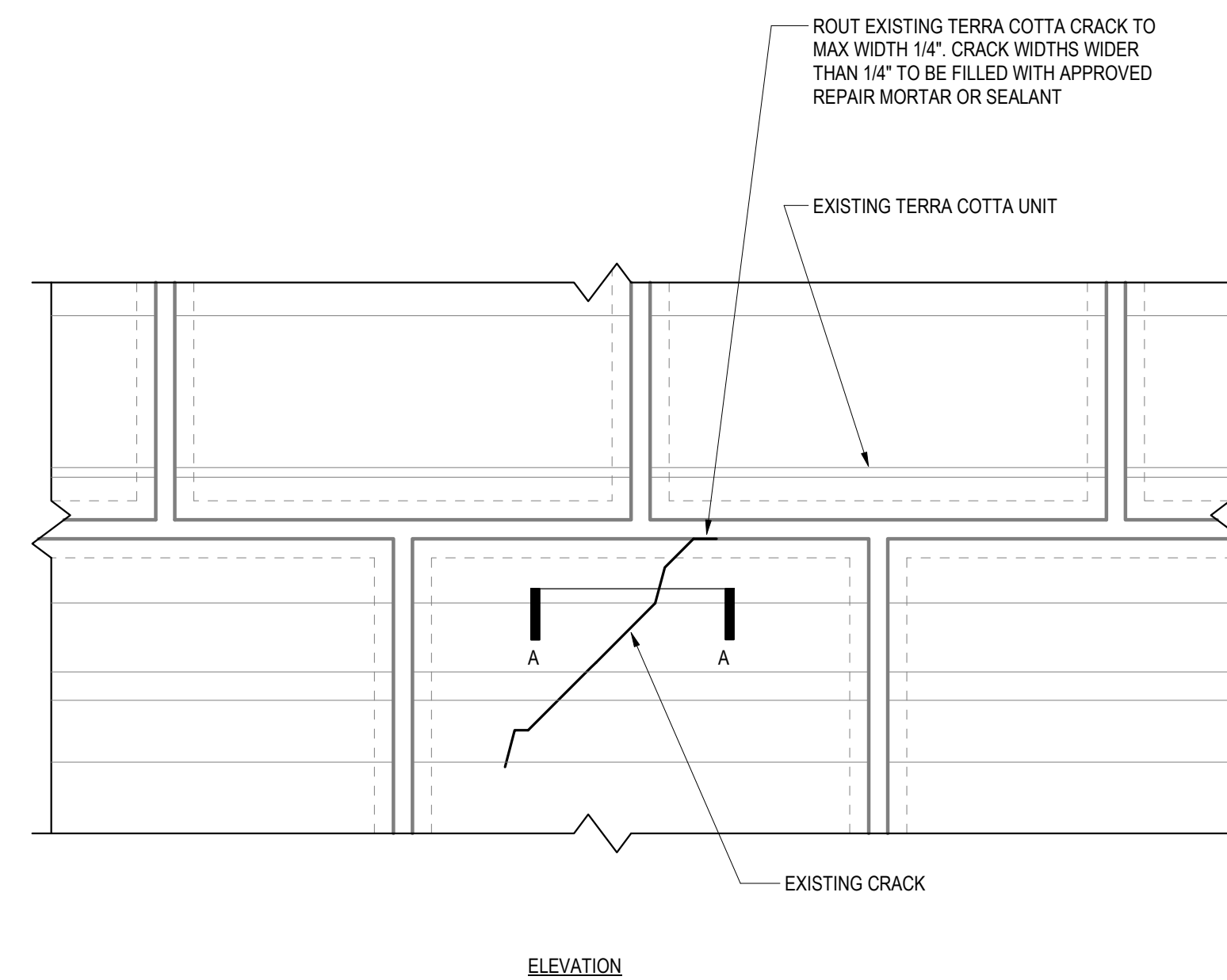
6 TERRA COTTA DETAIL - CORNICE AT SBS ROOF  
A8.1 1" = 1'-0"



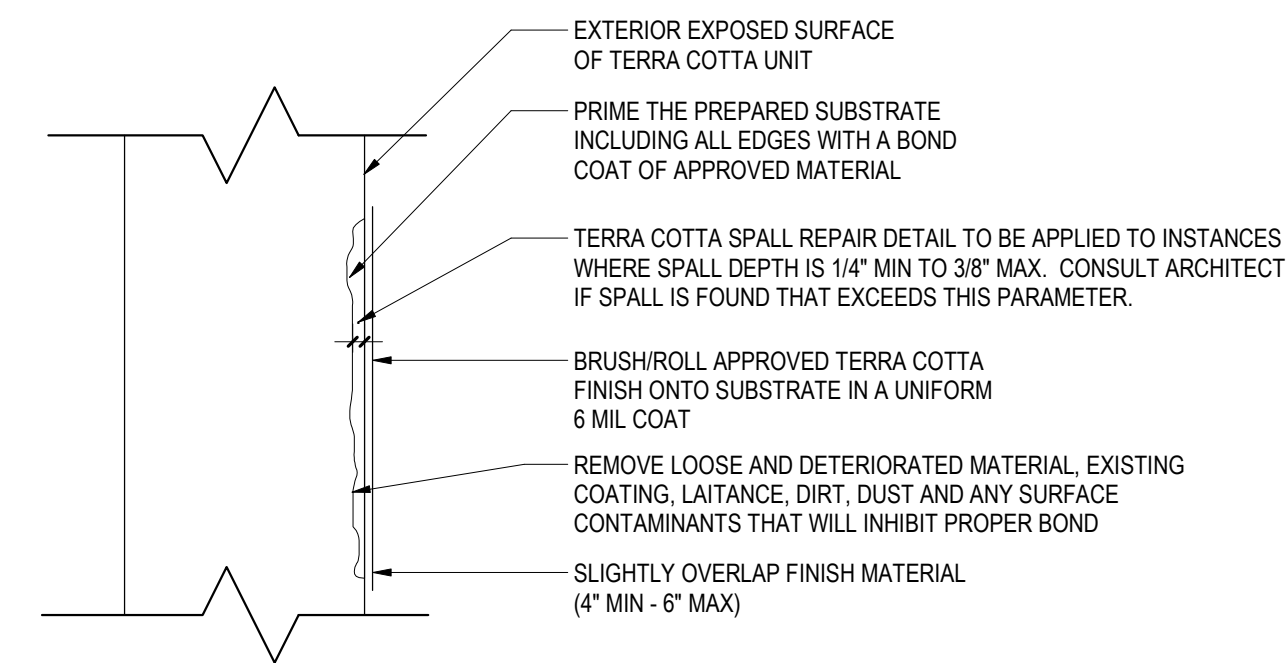
5 TERRA COTTA DETAIL - CORNICE AT DOME SKIRT  
A8.1 1" = 1'-0"



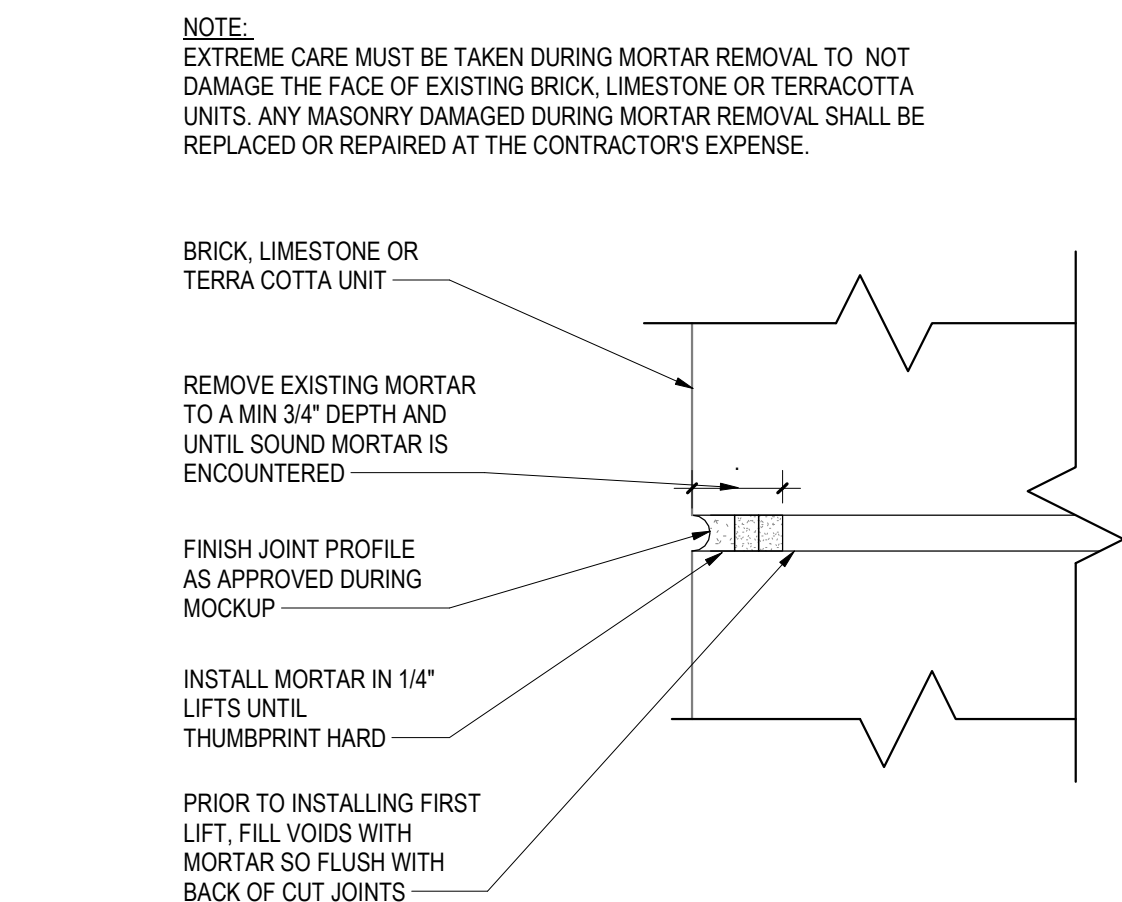
4 TERRA COTTA DETAIL - CORNICE AT EAVE  
A8.1 1" = 1'-0"



3 CORNICE DETAIL TYPICAL - ROUT AND SEAL CRACKED UNITS  
A8.1 1 1/2" = 1'-0"



2 CORNICE DETAIL TYPICAL - GLAZE SPALLS  
A8.1 6" = 1'-0"



1 CORNICE DETAIL - TYPICAL REPOINTING  
A8.1 6" = 1'-0"

NOTE:  
• ALL TERRACOTTA REPAIR & REPLACEMENTS TO MATCH EXISTING INSTALLATION.  
• VERIFY IN FIELD EXISTING DIMENSIONS AND PROFILES FOR REMOVAL.  
• SUPPORT CONDITIONS FOR SOME TERRACOTTA UNITS UNKNOWN, TO BE VERIFIED IN FIELD.  
• FOR TERRACOTTA REPAIR & REPLACEMENT, SEE SPECIFICATIONS SECTION 040326 "HISTORIC TERRACOTTA UNIT MASONRY REPAIR AND REPLACEMENT."

Seal:

No. Date Revision

By: JH Checked: JPH Scale: AS NOTED  
Date: 04/15/2024

Drawing Title:  
CORNICE DETAILS

Drawing No.:  
A8.1





PROVIDE PROTECTION TO ALLOW FOR CONTINUED OPERATION OF CIRCULATION DESK AREA DURING CONSTRUCTION ACTIVITIES

ALTERNATE 1 (ADD):  
REPAIR AND RESTORE EXISTING PLASTER AND LATH CEILING (ASSUMED) AT DOME INTERIOR.  
REPAINT INTERIOR DOME SURFACE. PAINTING SHALL INCLUDE ALL SURFACES AND ELEMENTS ABOVE THE CORNICE LINE



1 DOME INTERIOR PHOTOS  
A10.0 NTS

Seal:

No.	Date	Revision

By: JH    Checked: JSH    Scale: AS NOTED  
Date: 04/15/2024

Drawing Title:  
DOME INTERIOR PHOTOS

Drawing No.:  
A10.0



**GENERAL STRUCTURAL NOTES**

1. THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND APPLICABLE LOCAL REGULATIONS.
2. NOTIFY THE ENGINEER IMMEDIATELY IF ANY EXISTING CONDITIONS CONFLICT WITH STRUCTURAL INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS.
3. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR WORK THAT SHE DOES NOT REVIEW AND/OR WORK NOT COMPLETED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S PLANS AND/OR SPECIFICATIONS.
4. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR CLARIFICATION.
5. STRUCTURAL SPECIAL INSPECTIONS ARE A REQUIREMENT FOR THIS PROJECT. A QUALIFIED INDEPENDENT INSPECTION AGENCY REGISTERED WITH THE CITY OF PHILADELPHIA SHALL BE SELECTED BY THE OWNER TO PERFORM THESE SERVICES. SPECIAL INSPECTIONS SHALL BE PERFORMED FOR THIS PROJECT AS FOLLOWS, AND IN ACCORDANCE WITH PROJECT SPECIFICATIONS:  
STRUCTURAL STEEL (AISC 360) VISUAL INSPECTION OF FIELD CONNECTIONS PERIODIC POST-INSTALLED ANCHOR INSTALLATION HORIZONTAL & OVERHEAD INSTALLATION CONTINUOUS
6. THE SPECIAL INSPECTIONS AGENCY SHALL PERFORM INSPECTIONS AND SUBMIT REPORTS THE ENGINEER OF RECORD (EOR) WITHIN 72 HOURS OF INSPECTION. ANY INADEQUACIES FOUND BY THE INSPECTOR SHALL BE REPORTED TO THE EOR WITHIN 24 HOURS. THE CONTRACTOR SHALL FACILITATE THESE INSPECTIONS BY SCHEDULING THE INSPECTIONS TO COORDINATE WITH THE WORK BEING PERFORMED BY THEIR SUB-CONTRACTORS.

**POST-INSTALLED ANCHORS IN MASONRY**

1. WHEN INSTALLING POST INSTALLED ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DAMAGING EXISTING MASONRY. INSTALLER SHALL BE TRAINED BY MANUFACTURER ON INSTALLATION PROCEDURES, CLEAN HOLE FREE OF DUST, DEBRIS, AND MOISTURE. USE COMPRESSED AIR AND WIRE BRUSH, IN ACCORDANCE WITH MANUFACTURERS PROCEDURES. VERIFY THAT ADHESIVES TO BE USED, ARE WITHIN EXPIRATION DATE. PROVIDE HILTI OR APPROVED ALTERNATIVE.

**STEEL**

1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:  
A. AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS," CURRENT EDITION.  
B. THE AMERICAN WELDING SOCIETY (AWS D1.1) "CODE FOR WELDING IN BUILDING CONSTRUCTION," CURRENT EDITION.
2. INSTALLER QUALIFICATIONS: ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STRUCTURAL STEEL WORK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
3. FABRICATOR QUALIFICATIONS: ENGAGE A FIRM EXPERIENCED IN FABRICATING STRUCTURAL STEEL SIMILAR TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE, AS WELL AS SUFFICIENT PRODUCTION CAPACITY TO FABRICATE STRUCTURAL STEEL WITHOUT DELAYING THE WORK.
4. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:  
A. PLATES AND ANGLES: ASTM A36, Fy=36 KSI.  
B. W, WT & C SHAPES: ASTM A992, Fy=50 KSI.  
C. STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E GRADE B, [STD. = SCHEDULE 40]  
D. BOLTED CONNECTIONS (STEEL TO STEEL): ASTM A325-N, (3/4" DIAM.), U.N.O.  
E. ANCHOR BOLTS AND CONNECTORS IN WOOD FRAMING: ASTM A307, (3/4" DIAM.), U.N.O.
5. ANCHORAGE BOLTS AND FITTINGS IN MASONRY SHALL BE GALVANIZED.
6. WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE A.W.S. SUBMIT WELDER CERTIFICATES TO ENGINEER FOR RECORD.
7. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX. ALL WELDING SHALL CONFORM TO THE A.W.S. STANDARD CODE.
8. ALL SHOP AND FIELD WELDS SHALL BE 3/16" FILLET WELDS MINIMUM, U.N.O.
9. SHOP PRIME ALL STEEL. TOUCH UP FIELD WELDS AND ANY DAMAGED AREAS OF PAINT WITH A ZINC RICH PAINT, IN FIELD AFTER WELDING.
10. MINIMUM CENTER-CENTER SPACING BETWEEN BOLTS SHALL BE 3", U.N.O. MINIMUM EDGE DISTANCE SHALL BE 1-1/4" FROM CENTER OF BOLTS TO EDGE OF STEEL.

**REPAIR EXISTING STEEL**

1. STEEL FRAMING FOR THE DOME ARMATURE IS TO BE INSPECTED BY THE EOR DURING CONSTRUCTION. CONTRACTOR SHALL DEMOLISH FINISHES AS NEEDED TO EXPOSE DAMAGED FRAMING.
2. EOR AND SPECIAL INSPECTIONS AGENCY REPRESENTATIVE SHALL ATTEND SITE MEETING TO ESTABLISH CRITERIA FOR IDENTIFYING A) EXISTING FRAMING MEMBERS TO BE REMOVED AND REPLACED; B) EXISTING FRAMING MEMBERS TO BE REINFORCED AND RE-USED; AND C) EXISTING FRAMING MEMBERS IN GOOD CONDITION TO REMAIN IN PLACE.
3. POWER-TOOL CLEAN EXISTING STEEL FRAMING TO SSPC-SP3 STANDARDS, IN PREPARATION FOR REPAIRS.
4. SPECIAL INSPECTIONS AGENCY SHALL SURVEY ALL STEEL FRAMING MEMBERS FOR MATERIAL PROFILE, AND REPORT FINDINGS.
5. ELECTRODES TO BE USED WELDING EXISTING STEEL, SHALL BE ASTM A233, CLASS E60XX. WELD PROCEDURES SHALL CONFORM TO THE A.W.S. D1.1 STANDARD PRE-CERTIFIED.

**FRAMING LUMBER & SHEATHING**

1. FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM STRENGTH FOR THE SPECIFIED USE, UNLESS OTHERWISE NOTED ON PLAN. ALL LUMBER SHALL BE GRADE-STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE SURFACED DRY. MOISTURE CONTENT NOT TO EXCEED 19%.

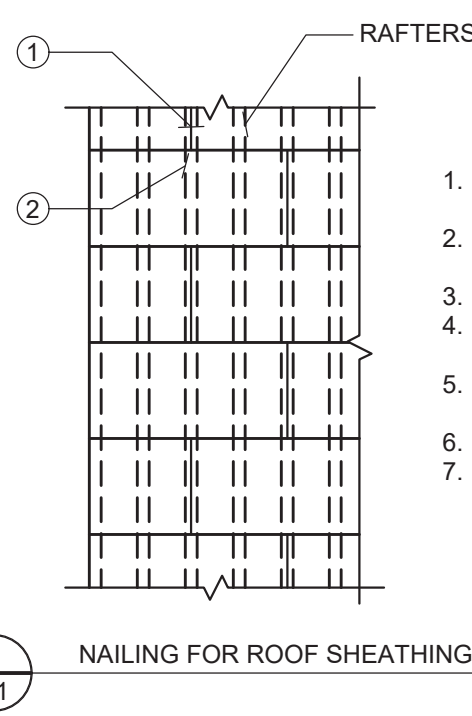
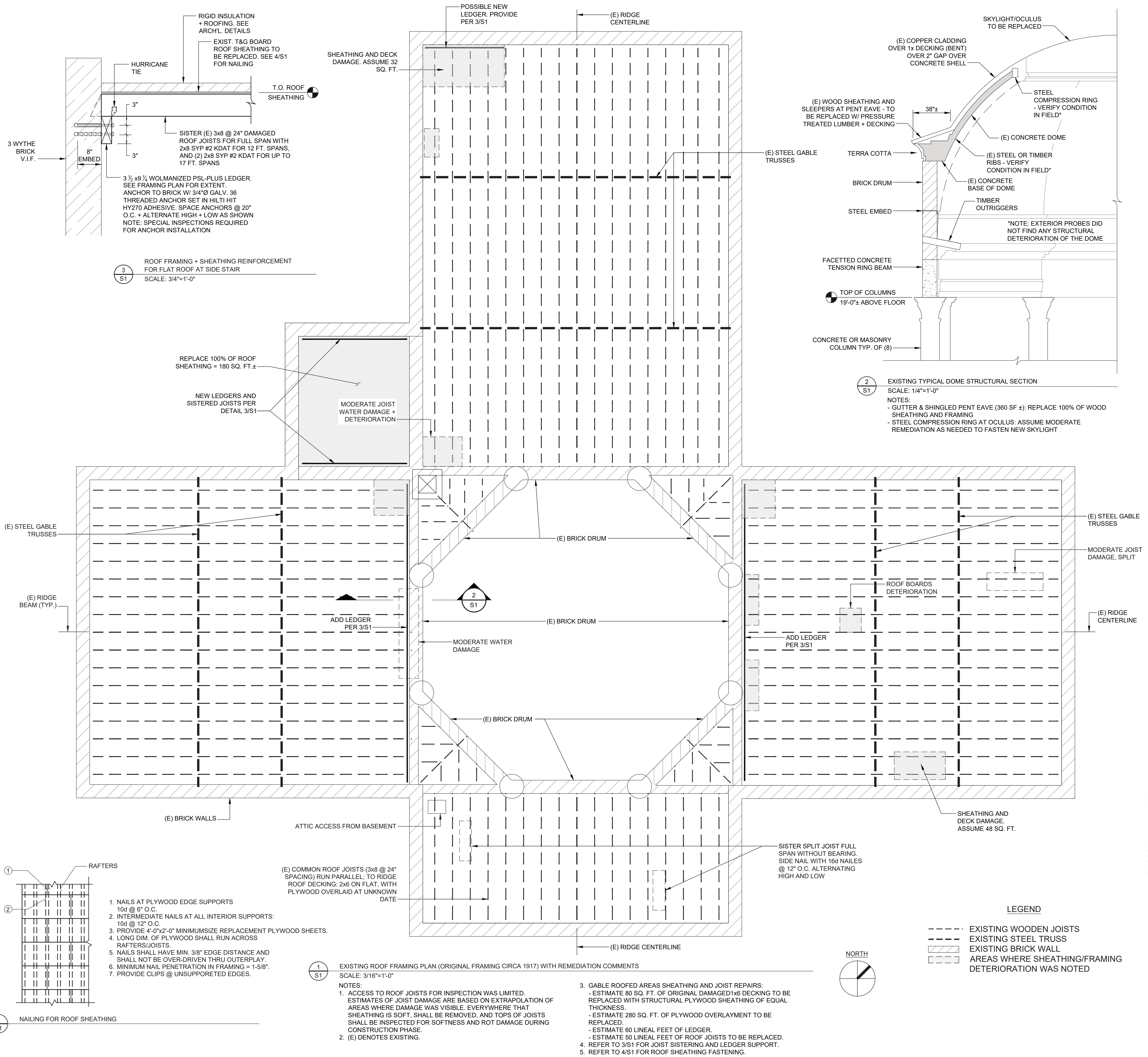
- DIMENSION LUMBER:**  
GRADE NO.2 PRESSURE TREATED, MIXED SOUTHERN PINE OR EQUAL. PROVIDE LUMBER STAMPED KDAT (KILN-DRIED AFTER TREATMENT). ALTERNATIVELY, SEASON THE LUMBER FOR SEVERAL MONTHS AFTER TREATMENT, SO MOISTURE CONTENT MEETS EQUILIBRIUM CONDITIONS.
2. STRUCTURAL COMPOSITE LUMBER SHALL BE PRESERVATIVE TREATED, (WOLMANIZED) PARALLEL STRAND LUMBER, (PSL-PT) PSL 2900FB-2.0E
  3. STORE FRAMING AND SHEATHING MATERIALS IN DRY LOCATION. REMOVE STANDING WATER FROM INSTALLED SHEATHING. ENSURE INSTALLED LUMBER MOISTURE CONTENT IS 19% OR LESS, BEFORE INSTALLING HOLD DOWN ANCHORS, STRAPS, OR FINISHES THAT WOULD BE AFFECTED BY LUMBER SHRINKING OR EXPANDING.
  4. FASTENING SHALL CONFORM TO A MINIMUM AS SPECIFIED IN TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE.
  5. BUILT-UP MULTI-MEMBER WOOD GIRDERS SHALL HAVE MEMBER JOINTS STAGGERED SUCH THAT NOT MORE THAN (1) MEMBER SPICE OCCURS BETWEEN SUPPORT POINTS. ORIENT ADJACENT MEMBERS WITH ALTERNATE GRAINS, AND CONNECT MEMBERS WITH GALVANIZED NAILS: 10D (148") X 3" COMMON FOR (2) MEMBERS, 16D (162") X 3-1/2" COMMON FOR (3) MEMBERS, AND 20D (192") X 4" COMMON FOR (4) MEMBERS. NAIL AT TOP AND BOTTOM @ 24" O.C. STAGGER OPPOSITE FACES, AND WITHIN 1-1/2" OF MEMBER ENDS.
  6. PROVIDE CROSS BRIDGING AT MAXIMUM 8'-0" O.C. FOR ALL JOISTS. NO JOISTS SHALL BE CUT OR NOTCHED WITHOUT APPROVAL.
  7. ALL MEMBERS SHALL HAVE LATERAL SUPPORT SUPPLIED AT ALL BEARING POINTS AS WELL AS CONTINUOUSLY ALONG THE COMPRESSION FACE.
  8. PLYWOOD OR OSB SHEATHING SHALL BE APA GRADE STAMPED FOR SPECIFIC SPAN, SHALL BE MADE WITH EXTERIOR GLUE AND SHALL BE OF THE FOLLOWING THICKNESS:

- ROOF: 19/32" THICK, EXPOSURE 1, STRUCTURAL 1, SPAN RATING 40/20.  
INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS.  
PROTECT SHEATHING FROM EXTENSIVE EXPOSURE TO WEATHER.
9. INSTALL PLYWOOD SHEATHING WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTING MEMBERS, U.N.O.
  10. USE PLYCLIPS OR OTHER EDGE SUPPORT AS REQUIRED FOR ROOF SHEATHING.

11. PROVIDE STRUCTURAL WOOD TONGUE AND GROOVE DECKING TO MATCH EXISTING DECKING DEPTH. PROVIDE SYP GRADE #1 OR EQUAL. FASTEN TO SUPPORTING JOISTS WITH #10 SCREWS X 2" EMBED @ 8" O.C.
12. PRESERVATIVE TREATMENT: TREAT WOOD MEMBERS AND SHEATHING IN CONTACT WITH MASONRY OR CONCRETE, OR WITHIN 6" OF GROUND, (IRC-R317.1.5). TREAT IN ACCORDANCE WITH CURRENT STANDARDS OF AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD.  
USE CATEGORY 3B FOR EXPOSED EXTERIOR WOOD, NOT IN CONTACT WITH GROUND.  
USE CATEGORY 4A FOR WOOD IN CONTACT WITH GROUND.  
LUMBER AND SHEATHING SHALL BE VISIBLY STAMPED WITH AWPA USE CATEGORY STAMP.
13. CONTRACTOR SHALL VERIFY CORROSIVE COMPATIBILITY OF FASTENERS WITH ACO PRESERVATIVE
14. PROTECT ENDS AND TOPS OF FRAMING IN CONTACT WITH MOISTURE WITH SELF ADHERED FLASHING OR EQUAL.

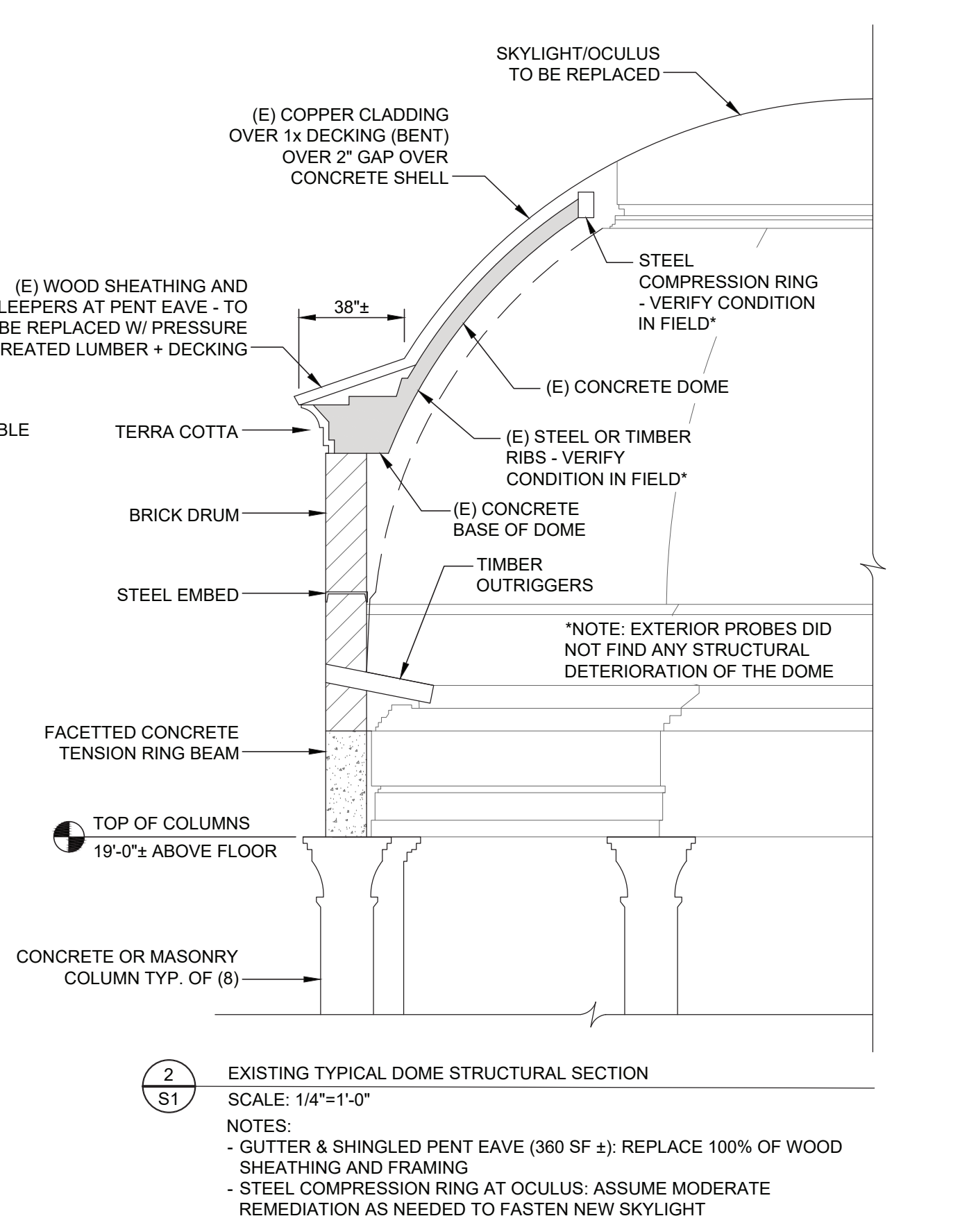
**STRUCTURAL DESIGN CRITERIA**

GROUND SNOW LOAD	25 LBS/SQ FT
ROOF LIVE LOAD	20 LBS/ SQ FT
<b>WIND LOADS</b>	
WIND SPEED:	115 MPH, EXPOSURE B
WIND PRESSURE FOR COMPONENTS AND CLADDING DESIGN	20 LBS/SQ FT



1. NAILS AT PLYWOOD EDGE SUPPORTS 10d @ 8" O.C.
2. INTERMEDIATE NAILS AT ALL INTERIOR SUPPORTS: 10d @ 12" O.C.
3. PROVIDE 4'-0"x2'-0" MINIMUM SIZE REPLACEMENT PLYWOOD SHEETS.
4. LONG DIM. OF PLYWOOD SHALL RUN ACROSS RAFTERS/JOISTS.
5. NAILS SHALL HAVE MIN. 3/8" EDGE DISTANCE AND SHALL NOT BE OVER-DRIVEN THRU OUTERPLAY.
6. MINIMUM NAIL PENETRATION IN FRAMING = 1-5/8".
7. PROVIDE CLIPS @ UNSUPPORTED EDGES.

- 1 S1** EXISTING ROOF FRAMING PLAN (ORIGINAL FRAMING CIRCA 1917) WITH REMEDIATION COMMENTS  
SCALE: 3/16"=1'-0"
- NOTES:**
1. ACCESS TO ROOF JOISTS FOR INSPECTION WAS LIMITED. ESTIMATES OF JOIST DAMAGE ARE BASED ON EXTRAPOLATION OF AREAS WHERE DAMAGE WAS VISIBLE. EVERYWHERE THAT SHEATHING IS SOFT, SHALL BE REMOVED, AND TOPS OF JOISTS SHALL BE INSPECTED FOR SOFTNESS AND ROT DAMAGE DURING CONSTRUCTION PHASE.
  2. (E) DENOTES EXISTING.
  3. GABLE ROOFED AREAS SHEATHING AND JOIST REPAIRS:  
- ESTIMATE 80 SQ. FT. OF ORIGINAL DAMAGED 1x6 DECKING TO BE REPLACED WITH STRUCTURAL PLYWOOD SHEATHING OF EQUAL THICKNESS.  
- ESTIMATE 280 SQ. FT. OF PLYWOOD OVERLAYMENT TO BE REPLACED.  
- ESTIMATE 60 LINEAL FEET OF LEDGER.  
- ESTIMATE 50 LINEAL FEET OF ROOF JOISTS TO BE REPLACED.
  4. REFER TO 3/S1 FOR JOIST SISTERING AND LEDGER SUPPORT.
  5. REFER TO 4/S1 FOR ROOF SHEATHING FASTENING.



- 2 S1** EXISTING TYPICAL DOME STRUCTURAL SECTION  
SCALE: 1/4"=1'-0"
- NOTES:**
- GUTTER & SHINGLED PENT EAVE (360 SF ±): REPLACE 100% OF WOOD SHEATHING AND FRAMING
  - STEEL COMPRESSION RING AT OCULUS: ASSUME MODERATE REMEDIATION AS NEEDED TO FASTEN NEW SKYLIGHT

- LEGEND**
- EXISTING WOODEN JOISTS
  - - - EXISTING STEEL TRUSS
  - ▨ EXISTING BRICK WALL
  - ▤ AREAS WHERE SHEATHING/FRAMING DETERIORATION WAS NOTED



MCPHERSON SQUARE LIBRARY  
601 E INDIANA AVE.  
PHILADELPHIA, PA 19134

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SMP Architects  
1600 Walnut Street, 2nd Floor  
Philadelphia, PA 19103  
215.985.4410  
www.smparchitects.com

**CIVIL ENGINEER:**  
KS ENGINEERS  
530 Walnut Street, Suite 460  
Philadelphia, PA 19106  
215.616.3060

**STRUCTURAL ENGINEER:**  
Ann Rothmann  
100 E Lancaster Avenue, Suite 203  
Wayne, PA 19087  
610.688.2566

**ROOFING CONSULTANT:**  
Steve McLaughlin  
210 Garden Avenue  
Somerdale, NJ 08083  
856.287.2424



No.	Date	Revision

By: SH Checked: AR Date: 04/15/2024 Scale: AS NOTED

Drawing Title:  
ROOF FRAMING PLAN, SECTIONS AND NOTES

Drawing No.:  
**S1** OF 1  
STRUCTURAL SHEET





## City of Philadelphia Rebuild Initiative Attachment B – Additional Information Requests for Proposal (RFP)

### ATTACHMENT B OVERVIEW

Attachment B provides additional information and requirements, typically related to Rebuild program requirements, not already captured in other attachments of the bid package. Please review this attachment set in detail.

### TABLE OF CONTENTS

- 01 – Philadelphia Redevelopment Authority Insurance Requirements - **ADDENDUM #1 REVISION 5/10/24**
- 02 – PIDC Financing
- 03 – Philadelphia Redevelopment Authority Submittal Log
  - *Submittal Log will be provided at the pre-construction meeting to the selected vendor/contractor.*
- 04 – City of Philadelphia Rebuild Project Management Information System (Unifier)
- 05 – Rebuild Ready Vendors List
- **06 – EXCLUSIONS TITLE**



# 01 – Philadelphia Redevelopment Authority Insurance Requirements

ADDENDUM #1 REVISION 5/10/24

**01 - INSURANCE REQUIREMENTS**

1. Contractor and all of its subcontractors, at their own expense, shall procure and maintain from reputable insurers admitted to do business on a direct basis in the Commonwealth of Pennsylvania and with a Best Rating of A- or better and satisfactory to the City of Philadelphia (“**Owner**”), a minimum of the following insurance, as specified below, covering the work and Contractor’s performance of the work on the project:

Insurance Requirements – McPherson Square Library

**Insurance.** Unless otherwise approved by the City’s Risk Management Division in writing, the successful respondent (hereinafter “Provider”) shall, at its sole cost and expense, procure and maintain, or cause to be procured and maintained, in full force and effect, the types and minimum limits of insurance specified below, covering Provider’s performance of the Services and the delivery of the Materials. Provider shall procure, or cause to be procured, all insurance from reputable insurers admitted to do business on a direct basis in the Commonwealth of Pennsylvania or otherwise acceptable to the City. All insurance herein, except Professional Liability, shall be written on an “occurrence” basis and not a “claims-made” basis. In no event shall Provider perform any Services or other work until Provider has delivered or caused to be delivered to the City’s Risk Management Division the required evidence of insurance coverages. All insurance coverages shall provide for at least thirty (30) days prior written notice to be given to the City in the event coverage is materially changed, canceled, or non-renewed. Certificates of insurance evidencing the required coverages shall be submitted to the City within fifteen (15) days of notice of contract award and for each renewal period. The City, its officers, employees, and agents, shall be named as additional insureds on the General Liability and Umbrella Insurance policies. Provider shall also deliver or cause to be delivered to the City an endorsement stating that the coverage afforded the City and its officers, employees, and agents, as additional insureds, will be primary to any other coverage available to them and that no act or omission of the City, its officers, employees or agents shall invalidate the coverage.

The City of Philadelphia, Office of Director of Finance, Division of Risk Management Dept., 1515 Arch Street, 14th Floor, Philadelphia, PA 19102-1479 must be listed as the **Certificate Holder**.

**(a) Workers’ Compensation and Employers’ Liability.**

- 1) Workers’ Compensation: Statutory Limits
- 2) Employers’ Liability: \$100,000 Each Accident - Bodily Injury by Accident; \$100,000 Each Employee - Bodily Injury by Disease; and \$500,000 Policy Limit - Bodily Injury by Disease.
- 3) Other states’ insurance including Pennsylvania.

**(b) General Liability Insurance.**

- 1) Limit of Liability: \$1,000,000 per occurrence combined single limit for bodily injury (including death) and property damage liability; \$1,000,000 advertising injury; \$2,000,000 general aggregate and \$1,000,000 aggregate for products and completed operations. The City may require higher limits of liability if, in the City’s sole discretion, the potential risk warrants.
- 2) Coverage: Premises operations; blanket contractual liability; personal injury liability; products and completed operations; independent contractors, employees and volunteers as additional insureds; cross liability; and broad form property damage (including completed operations).

Philadelphia Redevelopment Authority Insurance Requirements

**(c) Automobile Liability Insurance.**

- 1) Limit of Liability: \$1,000,000 per occurrence combined single limit for bodily injury (including death) and property damage liability.
- 2) Coverage: Owned, non-owned, and hired vehicles.

**(d) Umbrella Liability Insurance.**

Limit of Liability totaling \$5,000,000 per occurrence when combined with insurance required under (a), (b) and (c) above for the period of construction

**(e) Professional Liability Insurance.**

- 1) Limit of Liability: \$2,000,000 with a deductible not to exceed \$100,000.
- 2) Coverage: Errors and omissions.
- 3) Professional Liability Insurance may be written on a claims-made basis provided that coverage for occurrences happening during the performance of the Services required under this Contract shall be maintained in full force and effect under the policy or "tail" coverage for a period of at least two (2) years after completion of the Services.

**(f) Contractors Pollution Liability**

Provider shall maintain insurance covering losses caused by Pollution Conditions that arise from the operations described under the scope of services of this Contract.

- (a) Per Claim/Aggregate Limit: \$1,000,000/\$1,000,000

If coverage is written on a Claims-made basis, the Provider warrants that any retroactive date applicable to the coverage under the policy precedes the effective date of this Contract (including any Design Work for this Contract); and that continuous coverage will be maintained for a period of at least four (4) years after final payment to provide two (2) years of completed operations coverage and an additional two (2) years to report claims that are made.

**(g) All Risk Property Insurance.**

Provider is responsible for any damage to their work, materials, equipment, tools, etc. It is the responsibility of the Provider to determine if any Property or Builder's Risk Coverage provided by others is adequate to protect the Provider. In the event that Provider determines that said coverage is inadequate, Provider may obtain such insurance at Provider's sole expense. In the event that a crane will be required to be supplied by Provider on this project, Provider shall maintain Contractors Equipment Coverage in connection with that crane including insurance coverage for expenses to re-erect the crane and Rental Reimbursement and Expediting Expense Coverages.

In addition, the Provider waives all rights of recovery and shall cause its Insurers to waive their rights of subrogation against City of Philadelphia, General Contractor, Construction Manager, Prime Contractor, Owner, all the Additional Insureds and any of their agents and employees for damages caused by fire or other causes of loss to the extent covered by property insurance applicable to the work or any other type of



## Philadelphia Redevelopment Authority Insurance Requirements

property insurance (such as Contractor's Equipment, Installation Floater) maintained by Provider.

**Self-Insurance.** Provider may not self-insure any of the coverages required under the Contract without the prior written approval of the Responsible Official and the City's Risk Manager. In the event that Provider wants to self-insure any of the coverages listed above, it shall submit to the Responsible Official and the City's Risk Management Division, prior to Provider's commencement of Services or delivery of any Material hereunder, a certified copy of Provider's most recent audited financial statement, and such other evidence of its qualifications to act as self-insurer (e.g. state approval) as may be requested by the Responsible Official or the City's Risk Manager. In the event the City grants such approval, Provider understands and agrees that the City, its officers, employees and agents shall be entitled to receive the same coverages and benefits under Provider's self-insurance program that they would have received had the insurance requirements set forth above been satisfied by a reputable insurer admitted and duly authorized to do business in the Commonwealth of Pennsylvania or otherwise acceptable to the City. If at the time of commencement of the Term of the Contract, Provider self-insures its professional liability or workers' compensation and employers' liability coverage, Provider may, in lieu of the foregoing, furnish to the City a current copy of the state certification form for self-insurance or a current copy of the State Insurance Commissioner's letter of approval, whichever is appropriate. The insurance (including self-insurance) requirements set forth herein are not intended and shall not be construed to modify, limit or reduce the indemnifications made in the Contract by Provider to the City, or to limit Provider's liability under the Contract to the limits of the policies of insurance (or self-insurance) required to be maintained by Provider hereunder.

**Evidence of Insurance Coverage.** No Contract will be executed nor purchase order issued unless and until all required Certificates of Insurance evidencing all required coverages and limits are received. Certificates of insurance evidencing the required coverages must specifically reference the City contract number for which they are being submitted. The certificate of insurance and must be submitted to the City's Risk Manager at the following address:

City of Philadelphia  
Finance Department  
Division of Risk Management  
1515 Arch Street, 14th Floor  
Philadelphia, PA 19102-1579  
(Fax No.: 215-683-1718).

The City, in its sole discretion, may waive the fifteen (15) day requirement for advance documentation of coverage in situations where such waiver will benefit the City, but under no circumstances shall Provider actually begin work (or continue work, in the case of an Additional Term) without providing the required evidence of insurance. The City reserves the right to require Provider to furnish certified copies of the original policies of all insurance required under this Contract at any time upon fifteen (15) days written notice.

**2.** Each of the required insurance policies must satisfy the following requirements, either through provisions in the policy or by special endorsement attached to the policy, and Contractor shall provide evidence of the same:

- (a)** Contractor's insurance coverage is on a primary and non-contributory basis with any insurance carried or administered by Owner, PRA, the Philadelphia Authority for Industrial Development ("**PAID**"), the Philadelphia Industrial Development Corporation ("**PIDC**") or the Philadelphia Housing Development Corporation ("**PHDC**");
- (b)** includes coverage for ongoing operations and completed operations;

## Philadelphia Redevelopment Authority Insurance Requirements

- (c) Owner, PRA, PAID, PIDC, PHDC, and each of their respective officers, directors, employees and agents are named as additional insured on a primary and non-contributory basis on all of the insurance policies (and as loss payee for the builder's risk policy), except for workers' compensation and professional liability insurance policies, even for claims regarding their partial negligence;
- (d) includes a waiver of subrogation in favor of Owner and all of the other aforementioned additional insureds;
- (e) coverage is applicable separately to each insured against whom a claim is made or suit is brought and there is no "Cross Liability" exclusion on the insurance policies that preclude coverage for suits or claims between Contractor and Owner or between the Owner and any other insured or additional insured under the insurance policies;
- (f) no act or omission of Owner, PRA, PAID, PIDC, PHDC, or their respective officers, directors, employees or agents will invalidate coverage;
- (g) Contractor shall not have a Self-Insured Retention ("SIR") on any policy greater than Fifty Thousand Dollars (\$50,000), which is the responsibility of Contractor. If Contractor's policy(ies) has a Self-Insured Retention exceeding this amount, approval must be received from Owner prior to starting work. In the event any policy includes an SIR, Contractor is solely responsible for payment within the SIR of their policy(ies) and the Additional Insured requirements specified herein shall be provided within the SIR amount(s);
- (h) all the required insurance, except Professional Liability insurance, must be written on an "occurrence" basis and not a "claims-made" basis (except as otherwise expressly specified); and
- (i) the insurance policies must provide for at least thirty (30) days prior written notice to be given to Owner in the event that coverage is materially changed, cancelled or non-renewed or once any policy limits have been exhausted by fifty percent (50%).

3. In no event may Contractor perform or allow any subcontractor to perform any work under this Agreement until Contractor has delivered or caused to be delivered to the City's Risk Management Division the required evidence of insurance coverages that comply with the provisions of Section 1 through Section 10.

4. Contractor shall maintain all insurance in full force and effect for the entire term of this Agreement and as otherwise expressly specified. If any such insurance is due to expire during the term of this Agreement, Contractor shall not permit the coverage to lapse and shall furnish evidence of coverage to Owner, PRA, PAID, PIDC, and PHDC. In the event of material change, cancellation or non-renewal of coverage(s), Contractor must replace the coverage(s) to comply with the contract requirements to prevent a lapse of coverage for any time period during the term of the contract.

5. Endorsement forms required include CG 20 01, CG 20 10 and CG 20 37 as published by the

## Philadelphia Redevelopment Authority Insurance Requirements

Insurance Services Office (“ISO”) or on equivalent forms that are satisfactory to Owner.

**6.** Contractor, for itself and its respective insurers, hereby releases Owner, PRA, PAID, PIDC, and PHDC from any and all claims, demands, actions and causes of action (including, without limitation, subrogation claims), for loss or damage covered by any of the insurance maintained by Contractor, even if the loss or damage shall have been caused by the fault or partial negligence of Owner, PRA, PAID, PIDC, or PHDC, or anyone for whom the Owner, PRA, PAID, PIDC, or PHDC may be responsible. If any of the policies of insurance required under this Agreement require an endorsement to provide for the waiver of subrogation, then the named insured of such policies will cause them to be so endorsed.

**7.** Certificates of insurance evidencing the required coverages and additional insured endorsements must specifically reference the project and the Subgrant Agreement between PAID and PRA (as amended, the “**Subgrant Agreement**”), pursuant to which this Agreement is authorized. **At least ten (10) days before work is to commence, and before each renewal date, Contractor shall submit the original certificates of insurance to:**

PRA and PHDC at 1234 Market Street, 16<sup>th</sup> Floor, Philadelphia, PA 19107,  
Attention: General Counsel;

PAID c/o PIDC at 2600 Centre Square West, 15<sup>th</sup> and Market Streets,  
Philadelphia, PA 19103, Attention: Vice President – Corporate Counsel; and

City’s Division of Risk Management at One Parkway Building, 14th Floor,  
1515 Arch Street, Philadelphia, PA 19102, Attention: Risk Manager.

**8.** The ten (10) day requirement for advance documentation of insurance coverage may be waived by the Owner in situations where such waiver will benefit the Owner, but under no circumstances shall the Contractor actually begin work (or continue work, in the case of renewal) without providing the required proof of insurance and required endorsements. Owner reserves the right to require the Contractor to furnish certified copies of the original policies of all insurance required under this Agreement, including certified copies of all required endorsements, at any time upon ten (10) days prior written notice to the Contractor.

**9.** Insurance requirements are subject to the periodic review by Owner. Any failure, actual or alleged, on the part of Owner to monitor or enforce compliance with any of the insurance requirements will not be deemed as a waiver of any rights on the part of Owner. Owner may require additional types of insurance or higher limits if, in its sole discretion, the potential risk warrants it.

**10.** Notwithstanding the minimum insurance policy limits specified in Section 1, no less than the stated value for each of the insurance policies of Contractor and its subcontractors shall be available to Owner, PRA, PAID, PIDC, and PHDC to cover Contractor’s indemnity under the Agreement. However, the minimum amount of insurance required in Section 1 shall not be construed to be a limitation of the liability on the part of Contractor and the carrying of the insurance described shall in no way be interpreted as relieving Contractor of any responsibility or liability under this Agreement.

**11.** Contractor shall, at all times, keep the Property free from accumulation of waste materials or

## Philadelphia Redevelopment Authority Insurance Requirements

rubbish caused by Contractor's operations. All rubbish and flammable items shall be removed from the Project site daily and work areas shall be maintained free from accumulation of combustible debris. Contractor shall remove all dirt, grease marks, etc., from walls, ceilings, floor, fixtures, etc., resulting from the performance of the work of the Project. Upon completion of the work, any tools, materials and other articles not removed within seven (7) days after notice by Owner may be treated as abandoned property.



## 02 – PIDC Financing

## Exhibit “A”

# Financing to Support Your Rebuild Contract



PIDC financing and a mobilization grant are available to qualified Philadelphia-based businesses that have been awarded a Rebuild sub-contract.

The **Rebuild Contract Line of Credit Loan (“Rebuild CLOC”)** provides support to small, minority, women, and disabled-owned businesses that need working capital to fund contract-related expenses. To qualify, contracts must be for a Rebuild Project and be assignable to PIDC. Use of funds is restricted to labor, materials, and equipment costs directly associated with the contract being financed.

Borrowers may be required to participate in technical assistance programs sponsored by PIDC or other approved providers designed to support their business growth. Financing is an advance on approved contract receivables with an opportunity to access grant dollars for mobilization needs.

For more information, please visit [PIDCphila.com](http://PIDCphila.com) or contact Camille N. Simpkins, Relationship Manager, at 215-496-8137 or [csimpkins@pidcphila.com](mailto:csimpkins@pidcphila.com).



Driving growth to every corner of Philadelphia.

# REBUILD CONTRACT LINE OF CREDIT

The Rebuild Contract Line of Credit (“Rebuild CLOC”) provides support to small, minority, women, and disabled-owned businesses that need working capital to fund contract-related expenses. To qualify, contracts must be for a Rebuild Project and be assignable to PIDC. The business must also be located or plan to locate in the city of Philadelphia.

## USES

Use of funds is restricted to labor, materials, and equipment costs directly associated with the contract being financed. Borrowers may be required to participate in technical assistance programs sponsored by PIDC or other approved providers designed to support their business growth. Financing is an advance on approved contract receivables with an opportunity to access grant dollars for mobilization needs.

## FINANCING

Financing is available to qualified businesses that have been awarded Rebuild contracts or sub-contracts.

Line of Credit Amount:	\$50,000 - \$300,000 Financing of up to 90% of approved invoices under the Rebuild contract or subcontract(s).
Term:	12 months.
Interest Rate:	Fixed interest rate at 1.5%
Underwriting:	Collateral requirements for the loan must include assignment of contract or sub-contract payments to PIDC. The contract owner must also sign a payment directive. PIDC will review a combination of credit, cash flow, collateral, financial position, management capacity, and industry risk.

## TIMING & PROCEDURE

Client submits a completed application to PIDC for staff review at which time a thorough credit analysis is performed. For applications that receive a positive credit evaluation, the loan is presented to the PIDC Loan Committee. Following loan approval, PIDC issues a commitment letter to applicant. Settlement of the loan may occur once the terms of the commitment are satisfied. The process from application submission to settlement generally takes approximately 60 to 90 days to complete.

## FEES

Borrower will be charged a fixed fee of \$1,000 for loans of \$50,000 or \$1,500 for loans greater than \$50,000. This fee will cover all application, origination, and legal fees. A total of \$250 is due at the time of application. The remaining balance will be due upon execution of the commitment letter. If real estate collateral is required, then the fee will increase to cover this expense.

## MOBILIZATION GRANT

Contractors receiving a Rebuild CLOC in 2021, are ELIGIBLE for up to a \$5,000 Mobilization Grant, which can be used to cover payroll, supplies, equipment, or fees related to the Rebuild contract work.

Contractors will request this grant as part of their application and will describe their proposed use of funds. Contractors must submit proof of expenses for how the grant was expended as part of the approval process of their first invoice.

Fees are subject to change. Please confirm all transaction fees with PIDC prior to application.

[For more information, please visit PIDCphila.com](https://www.pidcphila.com) or contact

Camille N. Simpkins, Relationship Manager, at 215-496-8137 or [csimpkins@pidcphila.com](mailto:csimpkins@pidcphila.com).



## 03 – Philadelphia Redevelopment Authority

### Submittal Log

*Submittal Log will be provided at the pre-construction meeting to the selected vendor/contractor.*



**EXAMPLE ONLY**

Philadelphia Redevelopment Authority Submittal Log

SUBMITTAL LOG print date 12/6/2022

PROJECT NAME ADDRESS (Update Info)

Number	Section	Page	From Company	Submittal Description	Copy To	Planned Start of Trade Work	Planned Submittal Date	Actual Submittal Date	Submittal Return Date +14	Planned Resubmittal Date	Actual Resubmittal Date	Resubmittal Return Date +14	Action	Reviewed By
1	Division 1		PRA	Narrative- Monthly (for all projects over 4 weeks)	Rebuild/PRA/AE	Enter	Monthly							Rebuild/AE/PPR
2			PRA	Certificate of Insurance (including Workers Comp)	Rebuild/PRA/AE	Estimated	Pre Construction							Rebuild/AE/PPR
3			PRA	Certificate of Payment and Performance Bond	Rebuild/PRA/AE	Dates	Pre Construction							Rebuild/AE/PPR
4			PRA	Bid Award	Rebuild/PRA/AE	This	Pre Construction							Rebuild/AE/PPR
5			PRA	Executed Contract	Rebuild/PRA/AE	Column	Pre Construction							Rebuild/AE/PPR
6			GC	Project Baseline Schedule	Rebuild/PRA/AE	....	Pre Construction							Rebuild/AE/PPR
7			GC	Schedule of Values	Rebuild/PRA/AE	...	Pre Construction							Rebuild/AE/PPR
8			GC	LCP Tracker (confirmation of use Prime & Subs)	Rebuild/PRA/AE	...	Pre Construction							Rebuild/AE/PPR
9			GC	Project Estimated Hours	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
10			GC	Project Estimated WMBE Targets Summary Sheet	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
11			GC	Project Workforce Diversity Plan	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
12			PRA/GC	Project Contact List (including subcontractors)	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
13			PRA	Pre-Construction Meeting Minutes	Rebuild/PRA/AE		For Record							Rebuild/AE/PPR
13			GC	Onsite Labor Osha 10 Cards	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
14			GC	OSHA 300 Form Posted	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
15			GC	Company Safety Program	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
16			GC	Site Specific Safety Plan	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
17			GC	Phasing and Logistics Plan	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
18			PRA/GC	Project Specific Submittal log (PD, Shop Drawings, Samples)	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
19			GC	Submittal Cover Sheet Form	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
20			PRA	Project Labor Agreement (contracts above 3 million)	Rebuild/PRA/AE	n/a	As Required							Rebuild/AE/PPR
21			PRA	Workforce MOU	Rebuild/PRA/AE	n/a	As Required							Rebuild/AE/PPR
22			PRA/GC	Maintain Permits Log- (L&I, PWD, etc)	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
23			CITY	Street Department Approval	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
24			CITY	PWD Approval	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
25			CITY	Percent for Art Approval	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
26			AE	Zoning permit	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
27			AE/GC	Building Permit	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
28			PRA/GC	Street /Sidewalk Closure Permit	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
29			GC	Dust Mitigation Permit	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
30			GC	PPR Site Activity Permit	Rebuild/PRA/AE		Pre Construction							Rebuild/AE/PPR
31			PRA	Notice to Proceed	Rebuild/PRA/AE		For Record							Rebuild/AE/PPR
32			PRA	Construction Kick Off Meeting Minutes	Rebuild/PRA/AE		For Record							Rebuild/AE/PPR
33			GC	Project Schedule Update	Rebuild/PRA/AE		Monthly							Rebuild/AE/PPR
34			GC	2 Week Look Ahead	Rebuild/PRA/AE		Bi Weekly							Rebuild/AE/PPR
35			GC	Payment Request (Rebuild format)	Rebuild/PRA/AE		Monthly							Rebuild/AE/PPR
36			PRA/GC	Project Specific Submittal log - Monthly Update	Rebuild/PRA/AE		Monthly							Rebuild/AE/PPR
37			GC	Change Order Request Form- KIRA	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
38			GC	Change Order Request Log	Rebuild/PRA/AE		Monthly							Rebuild/AE/PPR
39			GC	Request for Information Form	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
40			GC	Request for Information Log	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
41			Rebuild	EOP Review at 25% Project Completion	Rebuild/PRA/AE									Rebuild/AE/PPR
42			PRA	Construction Kick Off Meeting Minutes	Rebuild/PRA/AE		For Record							Rebuild/AE/PPR
43			PRA	Project Meeting Minutes- Bi-weekly	Rebuild/PRA/AE		Bi Weekly							Rebuild/AE/PPR
44			AE	AE Project Field Reports	Rebuild/PRA/AE		Bi Weekly							Rebuild/AE/PPR
45			Rebuild/AE	Notice of Correction	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
46			GC	Daily Report	Rebuild/PRA/AE		Daily							Rebuild/AE/PPR
47			GC	Report of Injury	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
48			GC	Maintain Special inspections Log	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
49			GC	Environmental Remediation Plan & Program	Rebuild/PRA/AE	N/A	As Required							Rebuild/AE/PPR
50			GC	Environmental Remediation Waste Disposal Certificates	Rebuild/PRA/AE	N/A	As Required							Rebuild/AE/PPR
51			GC	LEED certifications, (KIRA)	Rebuild/PRA/AE	N/A	As Required							Rebuild/AE/PPR
52			GC	Commisioning, as required	Rebuild/PRA/AE	N/A	As Required							Rebuild/AE/PPR
53			GC	L& I inspection Reports	Rebuild/PRA/AE		As Required							Rebuild/AE/PPR
54			PRA/GC	Project Specific Submittal log - Monthly Update	Rebuild/PRA/AE		Monthly							Rebuild/AE/PPR
55			PRA/GC	Notice of Substantial Completion	Rebuild/PRA/AE		Closeout							Rebuild/AE/PPR

**EXAMPLE ONLY**

Number	Section	Page	From Company	Submittal Description	Copy To	Planned Start of Trade Work	Planned Submittal Date	Actual Submittal Date	Submittal Return Date +14	Planned Resubmittal Date	Actual Resubmittal Date	Resubmittal Return Date +14	Action	Reviewed By
56			GC	Punchlist Closeout	Rebuild/PRA/AE		Closeout							Rebuild/AE/PPR
57			GC	As built Documents	Rebuild/PRA/AE		Closeout							Rebuild/AE/PPR
58			GC	O & M Manuals	Rebuild/PRA/AE		Closeout							Rebuild/AE/PPR
59			GC	O & M Training	Rebuild/PRA/AE		Closeout							Rebuild/AE/PPR
60			GC	Temporary Certiciate of Occupancy- Certificate of Occupancy	Rebuild/PRA/AE	N/A	As Required							Rebuild/AE/PPR
61			PRA/GC	Project Closeout Audit- NICOLE	Rebuild/PRA/AE		Closeout							Rebuild/AE/PPR
62			PRA		Rebuild/PRA/AE									Rebuild/AE/PPR
63			PRA		Rebuild/PRA/AE									Rebuild/AE/PPR
64			PRA		Rebuild/PRA/AE									Rebuild/AE/PPR
65			PRA		Rebuild/PRA/AE									Rebuild/AE/PPR
66			PRA		Rebuild/PRA/AE									Rebuild/AE/PPR
(Spec section) -01	Division 2		GC	Product Data per specs..	Rebuild/PRA/AE	Enter	As Required							AE/LA/PE
			GC	Product Data per specs..	Rebuild/PRA/AE	Estimated								AE/LA/PE
			GC	Product Data per specs	Rebuild/PRA/AE	Dates								AE/LA/PE
			GC	Product Data per specs	Rebuild/PRA/AE	This								AE/LA/PE
			GC	Product Data per specs	Rebuild/PRA/AE	Column								AE/LA/PE
			GC	Product Data per specs	Rebuild/PRA/AE	....								AE/LA/PE
			GC	Product Data per specs	Rebuild/PRA/AE	...								AE/LA/PE
			GC	Product Data per specs	Rebuild/PRA/AE	...								AE/LA/PE
			GC	Product Data per specs	Rebuild/PRA/AE									AE/LA/PE
			GC	Samples per specs	Rebuild/PRA/AE									AE/LA/PE
			GC	Shop Drawings per specs	Rebuild/PRA/AE									AE/LA/PE
			GC	Mock ups per specs	Rebuild/PRA/AE									AE/LA/PE



04 – City of Philadelphia Rebuild  
Project Management Information System  
(Unifier)



## **Rebuild Project Management Information System**

Rebuild projects require that Project Users, Lead Designers, and General Contractors utilize Rebuild's Project Management Information System built on the Oracle Primavera Unifier. This system will facilitate review of design and construction documentation by Rebuild and City project partners, as well as provide a central location for project information to key partners. Implementation information can be found below, categorized by project phase.

Rebuild has procured and will issue licenses to one representative of each of the organizations listed below as "Users". Note that subcontractors to the General Contractor or subconsultants to the lead Designer will not be given licenses to the system. Subcontractor/subconsultant management systems and processes are left to the discretion of the General Contractor and Lead Designers.

### **DURING DESIGN**

#### Users:

- Rebuild Project Manager
- Project User (as applicable)
- PRA Manager (as applicable)
- Lead Designer

#### Core functions include but are not limited to:

- Storage of project contacts
- Submission and review of payment applications
- Submission and review of project schedules
- Submission and review of meeting agendas, minutes, and monthly updates
- Storage of permits
- Submission of professional service deliverables
- Submission of designs for review

### **DURING CONSTRUCTION**

#### Users:

- Rebuild Project Manager
- Project User (as applicable)
- PRA Manager (as applicable)
- Lead Designer
- General Contractor (or equivalent)
- Construction Inspector
- EOP Monitor

#### Core functions include but are not limited to:

- Storage of project contacts

- Submission and review of payment applications
- Submission and review of project schedules
- Submission of Potential Change Order (PCO) requests
- Log risks and issues
- Submission and review of meeting agendas, minutes, and bi-weekly updates
- Storage of permits
- Storage of Architect/Engineer Daily Observations
- Transmission of Architect's Supplemental Instructions
- Storage of Drawings & Specifications
- Submission and review of Submittals and Requests for Information
- Storage of inspector reports
- Facilitation of closeout processes





## 05 – Rebuild Ready Vendors List

Rebuild Ready Alumni through October 2022							
Company_Name	Certification	Contact	Email	Phone	Title	Business Type	Union
Tidy in 8 Cleaning Services, LLC.	EVP (MBE In Progress TEC)	Jenkins, Rashad	tidyineight@yahoo.com	2675815286		Cleaning Services	
Blissful Enterprises, LLC.	EVP (MBE In Progress TEC)	Pinkett, Angel	blissfulangel@msn.com	2156517956	Owner	Rental and Rehab	
Brewerytown Construction	EVP (MBE)	Hall, Rahsaan	info@brewerytownconstruction.com	8885728696	Partner	Remodel/Repair	
Flow Temp 368 General Contracting, Inc.	EVP (MBE)	Tran, Jason	jason@flowtempgc.com	2153293688	Owner	General Contracting, Plumbing, HVAC, and Electric	
Horizon Pro Painters, LLC.	EVP (MBE)	Abdussamad, Harun	info@horizonpaintersllc.com	2153835899	Owner	Industrial, Residential, Commercial Service Provider	
JMGJ LLC DBA Champ's Angels Construction	EVP (MBE)	McGirt, James	champsangels@yahoo.com	2156262069	Owner	Rehab and Home Improvement	
Moss Contracting, LLC.	EVP (MBE)	Moss, Rasheed	r.moss@mosscontractingllc.com	2673033614	President	Electrical Contracting/Residential Wiring	
Philadelphia Concrete Doctors	EVP (MBE)	Jones, Thomas	thomasjones@philadelphiaconcretedoctors.com	2673150429		Concrete Construction	
SJ Kaufman, LLC.	EVP (MBE)	Nand, Sanjay	sanjaynand_2000@yahoo.com	2154397306	Owner	Floor repair/install	
548 Construction, Inc.	EVP (MBE)	Forbes, Jvonn	jof548@gmail.com	2158702619	Chief Partner	Full Res. Renos/Foundations	
Ace of Diamond, LLC.	EVP (MBE)	Henderson, Lorenzo	AceOfDiamondLLC@gmail.com	2158522965	President	Carpentry	
Barton Building Enterprises, LLC.	EVP (MBE)	Barton, Glenn	glennbarton1@gmail.com	2158153170	Owner	Plumbing	
MAS General Contracting, Ltd.	EVP (MWBE)	Saeed, Zahra	zahra@masdgltd.com	2672701551	Owner	GM/CM	
Red Hawk Protection Solutions, LLC	EVP (MWBE)	Rodriguez, Jenica	jrodriguez@redhawkprotectionsolutions.com	2676391252		Armed and unarmed Security Guard Protection Services	
Apiary Studio, LLC.	LBE	Hesselein, Hans	hhesselein@apiary-studio.com	6099543988	Principal/Owner	Landscape Architecture	
360 Concrete Construction Company	MBE	Speaks, Danny	danny@360concretephyilly.com	2677097743	Construction Manager	Cast in place concrete	Yes
A & Beyond Services	MBE	Knapper, Laurie	anbeyond@gmail.com			General Construction	
A & Beyond Services	MBE	Knapper, Martin	anbeyond@gmail.com	2673349000		General Construction	
A.M. Electric, Inc.	MBE	Muhammad, Anthony	amelectricinc@verizon.net	2152363663	President	Electrical Service and Installation	
AEZI Electrical Services, LLC	MBE	Purdie, Danyelle	Danyellepurdie@aezielectrical.com	3022798344	Member	Electrical Contractor	
Benchmark Construction Group, Inc.	MBE	Penn, Kenneth	kpenn@benchmarkcg.net	2156696016	President	GC	
Browntown Group, LLC.	MBE	Thomas, John	john@browntowngroup.com	2155651016	President	Diversity/Inclusion Consulting	
CGW Electric, Inc.	MBE	Welcome, Charles	cgwelectric@aol.com	2152292433	President	Electrical Contractor	
Cheek Extreme Cleaning	MBE	Cheek, Antoine	cheekextreme@gmail.com	2157151160	Owner	Construction Clean-up	
D & D Family Construction, LLC.	MBE	Bozeman, Dennis	dboze1@me.com	2159710337	Owner	Glazing	Yes
McIntosh Plumbing LLC.	MBE	Mcintosh, Enell	mcintoshplumbing@gmail.com	6109097347	Owner	Plumbing, Steamfitter, Sheet Metal Contractor	Yes
International Construction Specialist, Inc.	MBE	Hassan, Shaheed	icsi_2005@yahoo.com	2156697845	Owner	GC: Painting, Abestos, Lead Abatement	
Joe Brown Construction Co, LLC	MBE	Brown, Joe	jbconstructioncompany@gmail.com	2159413488		Concrete/Masonry/Demo	Yes
Just It's Electric LLC	MBE	Truxon, Erik	info@justitselectric.com	1215473587	President	Electrical Contracting	
KTM Construction Co. dba Keystone Tile & Marble, Inc.	MBE	Williams, Lydell	keystone-tile@outlook.com	2679804415	President	Tile, Granite, Stone Supply/Installation	Yes
Lew Arendt Architecture, LLC.	MBE	Arendt, Wolfram	warendt@layerarchitects.com	2159136501	Principal	Architectural Services	
MHM Engineering, P.C.	MBE	Mabrouk, Mohamed	mhm@mhmengineering.com	7183925657	Owner	General A&E Services (design/inspection); GC	
NED Contracting, LLC. (Neighborhood & Economic Development)	MBE	Rucker, Wayne	info@NeighborhoodandEconomicDevelopment.com	2673418505	Owner	General Contractor	
Network Design Technologies, Inc.	MBE	Ruffin, Joseph	jruffin@networkdesigntechnologies.com	6109912929		Consulting/Low Voltage Installation	
Quality Air HVAC Trust	MBE	Massey, Darren	qualityairhvac@gmail.com	2152201979	Operations Manager/Trustee	HVAC/Sales, Service, Install	
Rainbow Electric, LLC.	MBE	Chisolm Jr., Eddie	rainbowelec@verizon.net	2152364965	President	Electrical Contractor	
Side Technology, Inc.	MBE	Kioko, Simon	skioko@sidetechnology.com	2154730110	President	Construction, Repair/Remodelling	
The Prime, LLC	MBE	Pridgen, Edward	epridgen53@gmail.com	2672262479		General Contractor/Construction Mgmt.	
Tyree Strickland Electric, LLC.	MBE	Strickland, Tyree	tystrickelectric@gmail.com	2679731752	Owner	Electrical Contractor	
DASH Renovations LLC.	MBE	Hendricks, Shawn	admin@dashrenovations.com	2672270514	Owner	Interior full gut rehabs/renovations; Commercial roofing	
D. Berry Communications Technology	MBE	Berry, Darrell	berrytelecom@aol.com	2158790420	President	Security camera install , Door lock entry systems , Tv wall mounting , Ring doorbell set ups	
Lapstone LLC.	MBE (EVP App in progress)	Mendez, Justin	Justin@lapstonellc.com	2152071512	President	GC	
Green North Studio LLC	MBE (In Progress TEC)	Mirabal, David	greennorthstudio@gmail.com	7875198002	President & CEO	Architectural Surveying	
Aid Army	MBE (Uncertified)	Couch, Malachi	malachicouch@gmail.com	2675025026		Landscaping	
America's Best Construction & Custom Design	MBE (Uncertified)	Moss, SunKing (Sunny)	sunkingmoss@gmail.com	2674160065		General Construction/Custom Design	
Baggy Construction, LLC.	MBE (Uncertified)	Johnson, Kenneth	kjohnvet1@gmail.com	2678897527	CFO	General Contractor	
Bashful Designs	MBE (Uncertified)	Williams, Michael	mwilliams8314@yahoo.com	2672900434		Drafter (Floor plans/design conceptions); Architectural Designs	
BBB Cleaning Service, LLC.	MBE (Uncertified)	Burroughs, Steven	buffbyburroughs@gmail.com	2679781903	Owner	GC/Janitorial Services	
Bullnose Construction and Consultants, Inc.	MBE (Uncertified)	Whitfield, Kirk	kwhitfield@bullnosecc.com	9543055775		GC	
Creative Living Realty LLC	MBE (Uncertified)	Chibundu, Uzoma	creativelivingrealtyllc@gmail.com	2675758962	Co-Owner	HomeStaging/Construction Renos/Interior Design	

Rebuild Ready Alumni through October 2022							
Company_Name	Certification	Contact	Email	Phone	Title	Business Type	Union
Creative Living Realty LLC	MBE (Uncertified)	Johnson, Jennifer	jennifer25johnson@yahoo.com	2675758962		HomeStaging/Construction Renos/Interior Design	
Elite Touch Floors, Inc.	MBE (Uncertified)	Leon, Luis	elitetouchflooring@gmail.com	2676879662	Owner	Commercial/Residential Floor Covering	
G & R Contractors Group	MBE (Uncertified)	Romero, Rene	romeroair1@gmail.com	2672571393	President	Interior Remodeling; Finish Carpentry	
Incredible Finishes	MBE (Uncertified)	Smith, Myron	incrediblefinishespa@gmail.com	2152783490		Interior Remodeling	
Infinity Contractors	MBE (Uncertified)	Phillips, Rickey	mrrickeyphillips@gmail.com	2675960710	GC	GC	
Interior Finishes by Sydnor, LLC.	MBE (Uncertified)	Sydnor, Tawanda	tawandasydnor@gmail.com	2676023198	Owner/Partner	GC Contracting Services	
Kevin Moore Construction	MBE (Uncertified)	Moore, Kevin	kmooreloans4you@gmail.com	3028981625	Owner	GC	
Leaks Development	MBE (Uncertified)	Leaks, Paul	leaksdevelopment@gmail.com			Wallcoverings	
Leary Construction	MBE (Uncertified)	Leary, Robert	r.learyconstruction@gmail.com	2157583394	Owner	Residential & Commerical Construction	
Mikkens Property Management	MBE (Uncertified)	Surles, Kim	mikprop12@gmail.com	2672271649	COO	Property Maintenance & Management	
Ohara Development Partners, LLC.	MBE (Uncertified)	Bartholomew, Joanna	info@oharadev.com	2159093046		Building Rehab & Community Development	
Philly Premier Contracting, LLC.	MBE (Uncertified)	Opara, Ugochukwu	Admin@phillypremiercontracting.com	4844784469	CEO	GCC	
RDS Contracting Group Inc.	MBE (Uncertified)	Smith, Raymond	raybyray@aol.com	2156816350		Lead Abatement/Demo	
Reese Construction LLC	MBE (Uncertified)	Reece, Kendall	kendallreese57@gmail.com	2153808296		Construction Management/GC	Yes
Rosa Builders & Management, LLC	MBE (Uncertified)	Rosa, Fernando	frosa.1@live.com	2155310462		General Construction/Consulting	
S.H.E. Designs & Builds	MBE (Uncertified)	Banks, Andean	s.h.e.designsbuilds@gmail.com	9512371263	Owner	Design/Reno/Repair	
Seamless Pros, LLC	MBE (Uncertified)	Evans, Khaleel	customersupport@seamlesspros.com	2679746090	Owner	Rough & Finish Carpentry	
Surratt Painting, Inc.	MBE (Uncertified)	Surratt, Claude	csurrattinc@gmail.com	2158061463	President	GC	
Tasco Contractors, Inc.	MBE (Uncertified)	Tasco, Robin	robtasco@yahoo.com	2675967020	Owner	Electrical/Sheetrock, Doors, Floors, Painting	
ENADO Properties Servicing, LLC.	MBE(Uncertified)	Osbourne, Dane	dosbo90321@gmail.com	6092544840	COO	GC/Rehabilitation	
Excellent Painting USA, LLC.	MBE(Uncertified)	Crosland, Craig	craigexcellentpaintingusa@gmail.com	2675058209	Owner/President	Painting Contractor	
3rd Generation Design & Construction	MWBE	Brown, Melvin	3rdgenerationdc@gmail.com	2155605796	Project Manager	GC	
A Positive Response Plumbing LLC	MWBE	Fletcher, Angelia	fletcherangelia@gmail.com	2677139094	Owner	Plumbing	
Advanced Infrastructure Design	MWBE	Mohtashami, Mojgan	mojgan@aidpe.com	7326489001	President	Consulting and Engineering (Civil)	
Dooley's Landscaping & Tree Care Services, LLC	MWBE	Dooley, Mae	dooleylandscaping4trees@yahoo.com	2158495013		Landscaping & Tree Care	
Kingdom Builders & Industrial Maintenance	MWBE	Rush, Shakina	kbimcontractors@gmail.com	4843282240	CEO	General Labor	Yes
LaPutt Enterprise LLC	MWBE	Johnson, L Elaine	president@laputts.com	2155205550	President/Owner	GC	Yes
Miller Design Group, LLC.	MWBE	Miller, Robin	millerdesigngroupllc@gmail.com	2674370082		Design Consultation (Architecture/Entertainment Industries); Rel Estate Education/Consultation	
Milligan Group, LLC.	MWBE	Milligan, Kariema	kariema.milligan@milligangroupllc.com	2152545529	President	Electrical, voice & data, and fiber optics cabling along with video surveillance solutions	Yes
Parallel Architecture Studio	MWBE	Pena, Carolina	carolina@prll.studio	2672715799	Principal	Architecture & Interior Design	
Rocks & Cornerstones, LLC	MWBE	Houser, Bose	bose@rocks-cornerstones.com	2673158480		Design/Build Renovations	
Unique Properties & Builders, LLC.	MWBE	Watts, Carla	uniqueproperties250@gmail.com	4845440770	Operations & Business Development	General Contracting/Construction Management	
Eating for the Ecosystem, Inc.	WBE	Billger, Sherrilyn	sherrilyn@efteonline.com	2676079254	CEO/Owner	Eco-landscaping/tree Services	
Inch and Meter PC	WBE	Matic, Jelena	jelena@inchandmeter.com	2676360448		Environmental Consulting & Engineering Firm	
JAG Expansion Group, LP.	WBE	Cormican, Jackie	jackie@jagdumpsters.com	2153652898	Owner	Commerical/Residential Dumpster Rental	
Karen Singer Tileworks, Inc.	WBE	Singer, Karen	karensinger@karensinger.com	2158497010	Artistic Director	Custom Ceramic Tile Fabricator	
Lauren Thomsen Design Architecture + Planning, LLC.	WBE	Thomsen, Lauren	lauren@laurenthomsendesign.com	5183688840	Partner	Architectural Design	
Levy DiCarlo Partners LLC	WBE	DiCarlo, Peter	pdc@ldcp.us	2158483750		Architectural Design Services/Interior Design	
P.A. Fly Contracting, Inc.	WBE	Fly, Pamela	pam@paflycontracting.com	2155389663		Carpentry	Yes
Over the Top Masonry Restoration	WBE (Uncertified)	Kearney, Alyssa	alyssa@ottmasonryrestoration.com	8563817458	Owner	Masonry Restoration	
Community Construction Partners		Anderson, Jordan	ccpartners215@gmail.com	2156920096	Principal	GC	
Goldstone General Contactors Corp		Borges, Monica	goldstonegccorp@gmail.com	2157200137	President	Commerical Roof/Metal Installation; Flat Roofing	
Milder Office Inc.		Milder, Avigail	avi@milderoffice.com	9172082570	Manager of Operations	Library Furniture Manufacturer	



## 06 – EXCLUSIONS

SECTION 012100  
ALLOWANCES

PART 1 GENERAL

1.1 DESCRIPTION OF WORK

- A. This Section specifies each Prime Contractor's administrative and procedural requirements governing handling and processing allowances

1.2 RELATED WORK SPECIFIED ELSEWHERE

- A. Applicable provisions of Bidding Requirements, Contract Requirements in Division 0 and all applicable Division 1 sections.
- B. Each section of the specifications including an allowance.

1.3 COORDINATION

- A. Designate required selection and delivery dates for products under each allowance in the Contractor's Construction Schedule.
- B. Designate each allowance with extensions based on estimated quantities for unit price allowances on Contractor's Schedule of Values.

1.4 DEFINITIONS

- A. Refer to Section 007200.

1.5 ALLOWANCES

- A. Include in Total Base Bid Amount, an amount equal to Two Percent (2%) of the base bid amount for payment of permit fees. This is a direct cost; no mark-ups will be permitted.

B. : RESTORE SURFACE AT DOME INTERIOR ALLOWANCE AMOUNT  
\_\_\_\_\_ \$100,000 \_\_\_\_\_ DOLLARS,

- C. Amount of each allowance (excluding 1.5.A above) shall include:

1. Net cost of product.
2. Delivery to site.
3. Applicable taxes.
4. Preparing submittals.

- D. In addition to amounts of allowances (excluding 1.5.A above), include in the base bid amount, the Contractor's cost for:

1. Assisting in selection and obtaining proposals from suppliers and subcontractors.
2. Processing submittals.
3. Handling at site, including unloading, uncrating and storage.
4. Protection from elements and from damage.
5. Labor, installation and finishing.



- 6. Other expenses required to complete installation.
- 7. Overhead and profit.

1.6 SELECTION OF PRODUCTS

- A. Design Professional shall issue by Change Order a full specification for the final selected product.
- B. Contractor's Duties
  - 1. Notify Design Professional of deadlines for specification of final products, allowing for Contractor's required submissions as required to meet Date of Completion.
  - 2. Provide cost proposals for products being considered when requested by Design Professional.
  - 3. Notify Design Professional of any effect anticipated by selection of product or supplier under consideration as it relates to:
    - a. Construction Schedule.
    - b. Contract Sum.
    - c. On notification of selection, enter into purchase agreement with designated supplier.

1.7 INSTALLATION

- A. Comply with requirements of applicable specification section, including warranties/guarantees.

1.8 ADJUSTMENT OF COSTS

- A. Should actual purchase cost be more or less than specified amount of allowance, Contract Sum shall be adjusted by Change Order equal to amount of difference. A percentage to cover Contractor's overhead and profit, as stated in Standard Contract Requirements, will be applied to difference in cost.
- B. For products specified under unit cost allowance unit cost applies to quantity required to complete the Work as determined by the Contractor.
  - 1. Submit invoices or other data to substantiate quantity actually used.
- C. Submit request for other costs, claimed for additional work caused by increase over amount of allowance, prior to required submission for product.

PART 2 PRODUCTS            Not Used

PART 3 EXECUTION        Not Used

- END -