



ATHLETIC EVENT GRAPHICS - STADIUM FIELD
SYNTHETIC TURF ATHLETIC FIELD GRAPHICS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERMANENT COLORED TURF AND/OR INLAY OF ANY AND ALL PIAA REGULATION AND LINES AFFILIATED WITH FOOTBALL, SOCCER, LACROSSE, BASEBALL, AND SOFTBALL EVENTS. THE CONTRACTOR SHALL SUBMIT A LAYOUT PLAN OF ALL LINES AND GRAPHICS TO BE INCLUDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FINALIZING SYNTHETIC TURF MANUFACTURING.

FOOTBALL - INCLUDING ALL FIELD MARKINGS NECESSARY FOR PERFORMANCE OF SPORT. (160' X 360') COLOR: WHITE

SOCCER - INCLUDING ALL FIELD MARKINGS NECESSARY FOR PERFORMANCE OF SPORT. (225' X 360') COLOR: YELLOW

LACROSSE - INCLUDING ALL FIELD MARKINGS NECESSARY FOR PERFORMANCE OF SPORT. (160' X 360') COLOR: RED

BASEBALL/SOFTBALL - INCLUDING ALL FIELD MARKINGS NECESSARY FOR PERFORMANCE OF SPORT. COLOR: CAROLINA BLUE

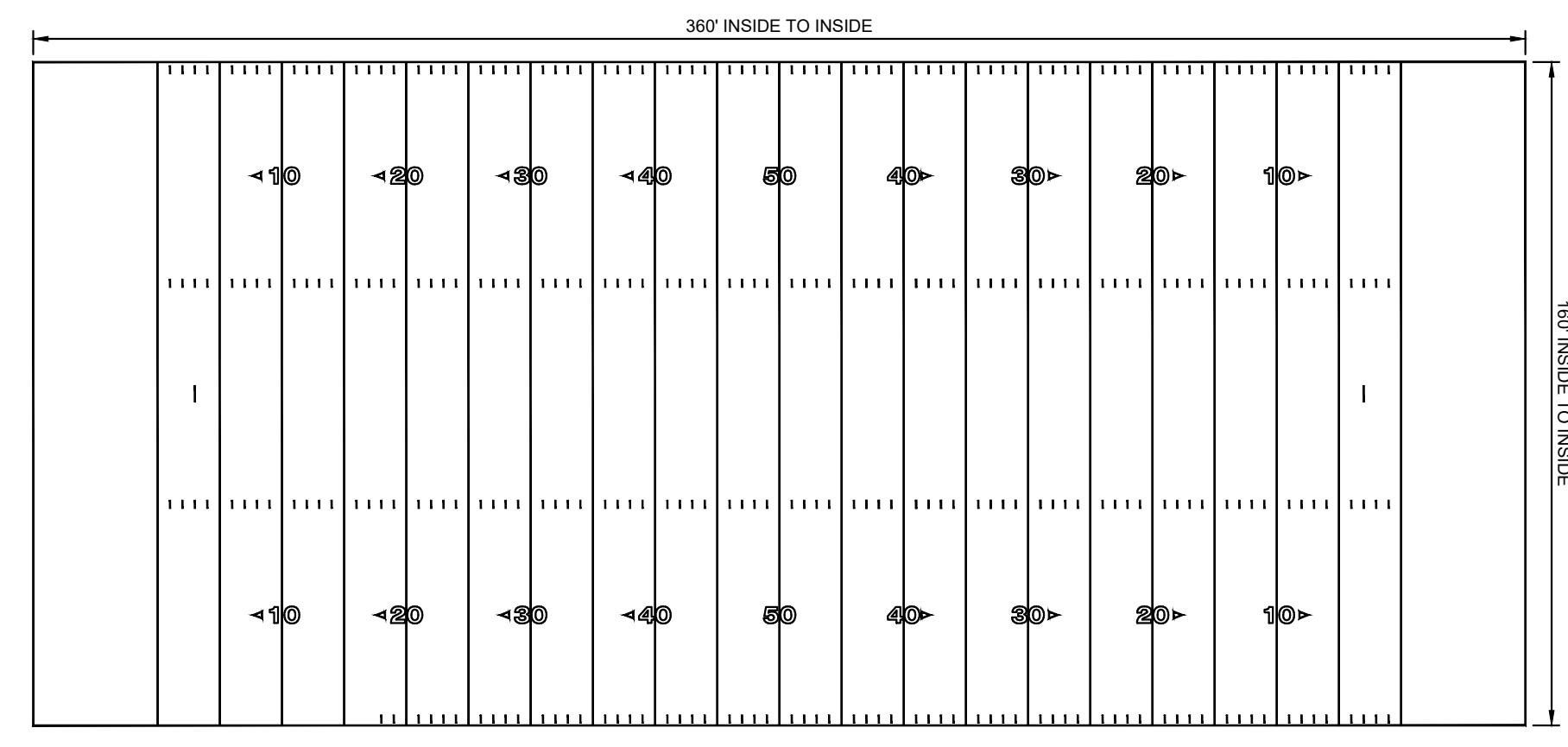
FIELD LINE GRAPHICS - LINE SEQUENCE:

THE FOLLOWING COLOR SEQUENCE DELINEATES THE ORDER (HIGHEST PRIORITY TO LOWEST PRIORITY) IN WHICH THE INSTALLATION OF THE FIELD LINES SHALL GRAPHICALLY TAKE PRECEDENCE.

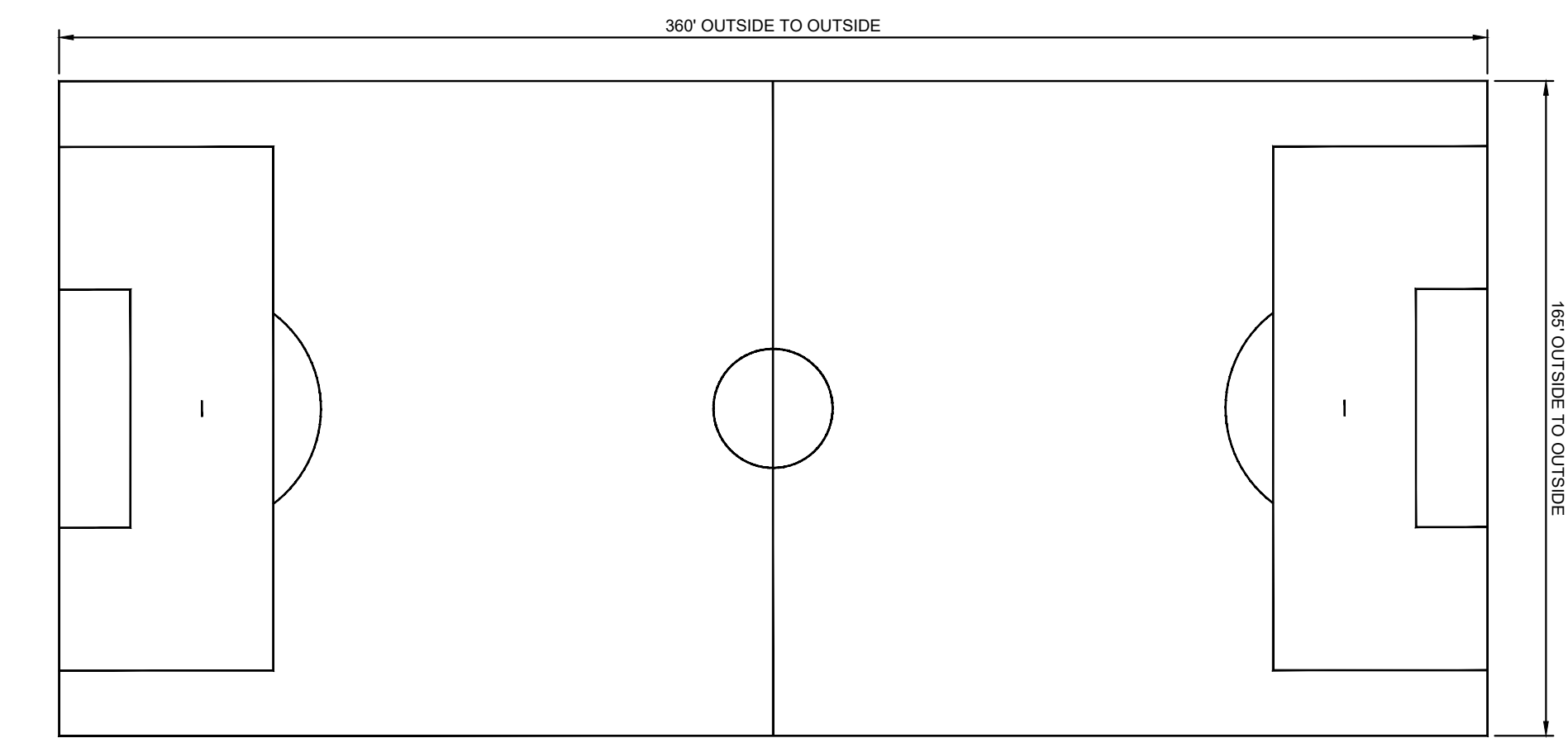
1. WHITE FIELD LINES
2. YELLOW FIELD LINES
3. RED FIELD LINES
4. CAROLINA BLUE FIELD LINES

NOTES:

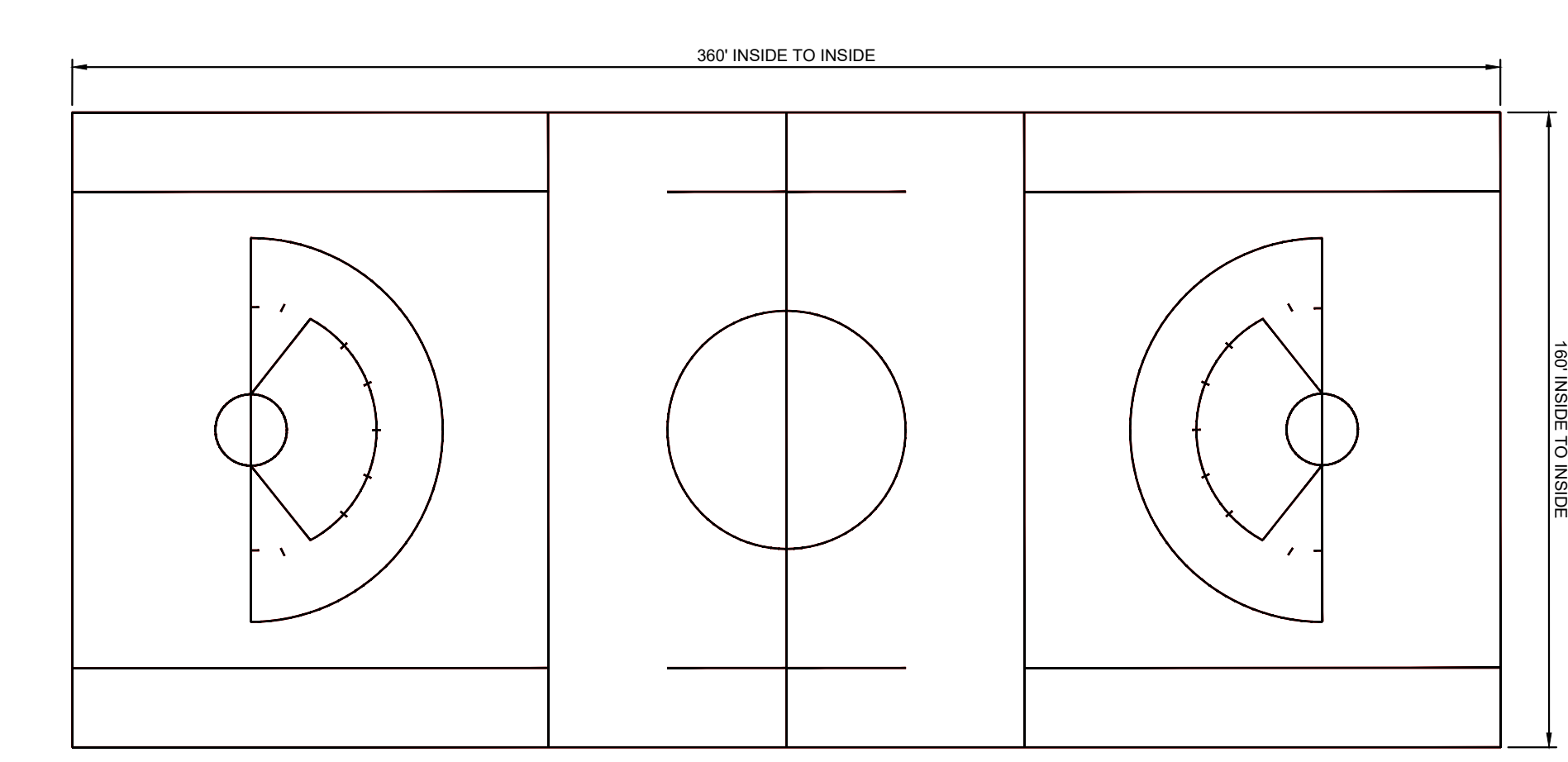
- A. ALL FIELD LAYOUT DIMENSIONS SHALL CONFORM TO THE NATIONAL FEDERATION OF STATE HIGH SCHOOL ASSOCIATIONS.
- B. NO FIELD DELINEATION DOTS SHALL BE OBLITERATED BY OTHER FIELD GRAPHICS.
- C. CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS FOR APPROVAL PRIOR TO FIELD INSTALLATION.



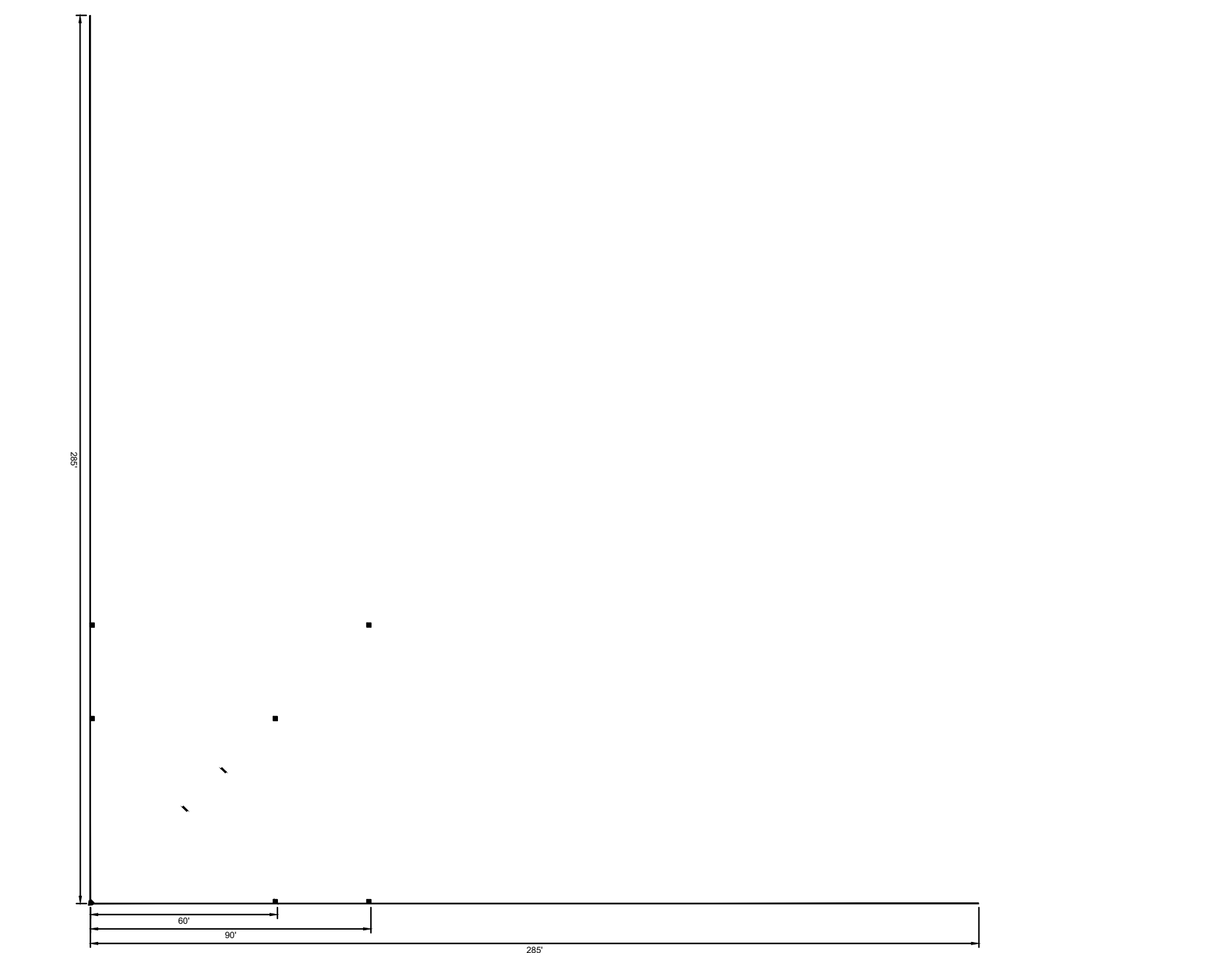
FOOTBALL LINES - WHITE
 NOT TO SCALE



SOCCER LINES - YELLOW
 NOT TO SCALE



LACROSSE LINES - BOY/GIRL UNIFIED - RED
 NOT TO SCALE



BASEBALL AND SOFTBALL - CAROLINA BLUE
 NOT TO SCALE

SITE PLAN DETAIL
 SCALE: 1"=20'-0"

REVISIONS		
ISSUE	DATE	DESCRIPTION
	06/02/23	ISSUE FOR BID



REVIEWED BY:
 PROJECT COORDINATOR:
 REALS:

KMA
 KELLY MAIELLO ARCHITECTS
 1420 Walnut Street, 15th Floor
 Philadelphia, PA 19102
 www.kmarchitects.com

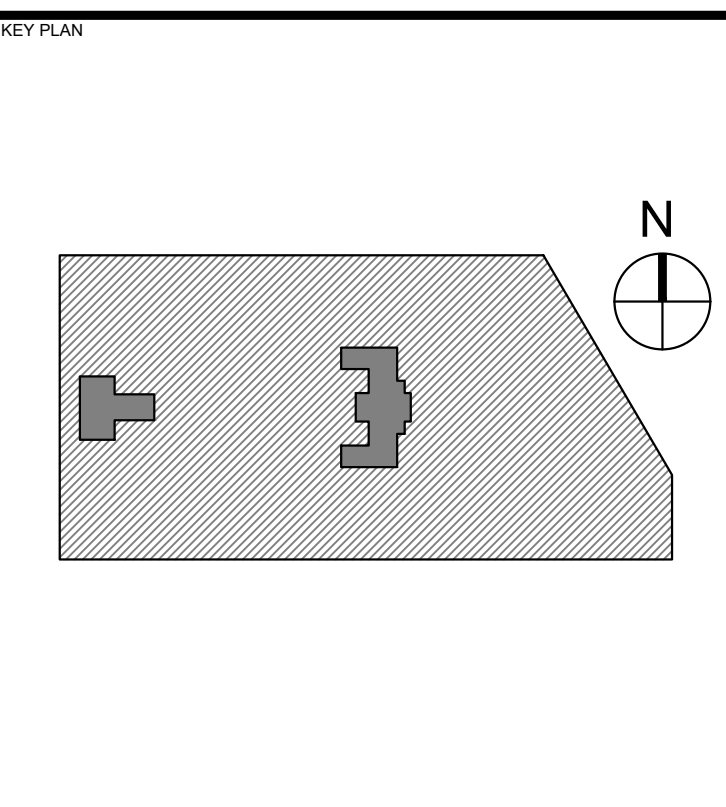
LANDSCAPE ARCHITECT:
 Salt Design Studio
 4100 Main Street Suite 200
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 www.saltdesignstudio.com

M.E.P./P./SITE CIVIL ENGINEERS:
 Pennoni Associates
 1900 Market Street Suite 300
 Philadelphia PA 19103
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LEED CONSULTANT:
 Verde Architecture Consulting
 1635 Market Street Suite 1600
 Philadelphia PA 19103

CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
 KINGSESSING RECREATION CENTER

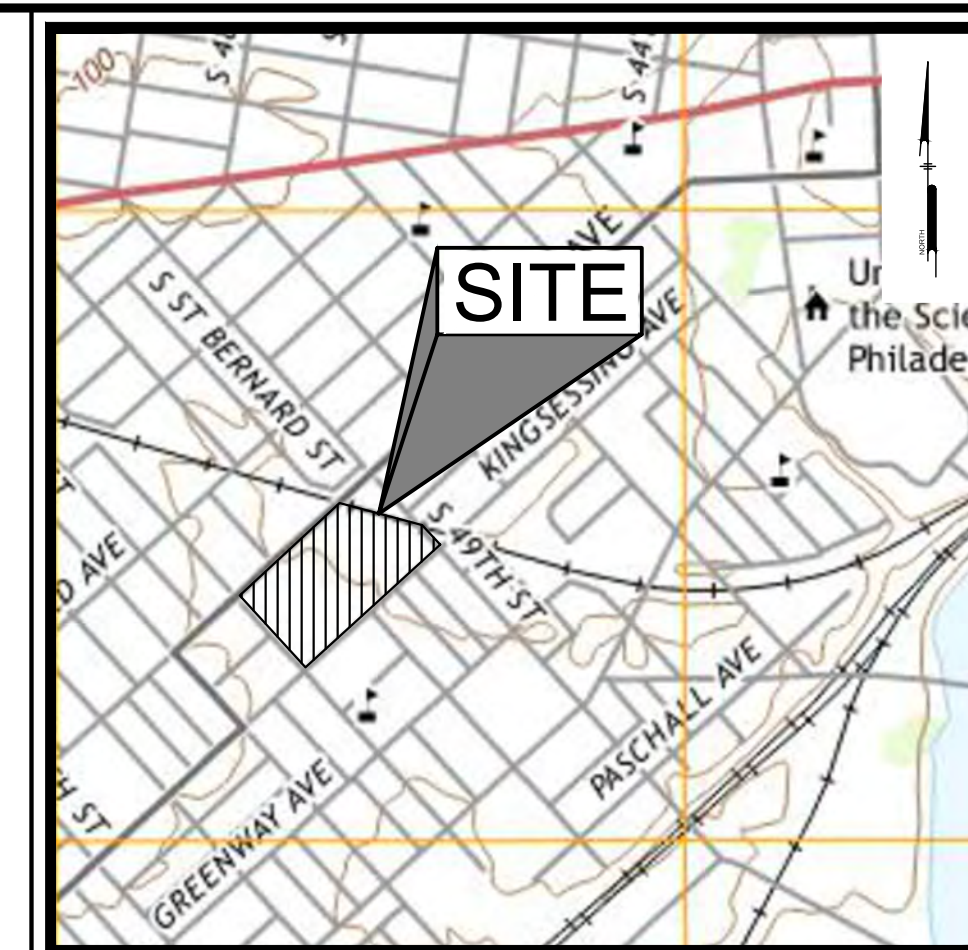
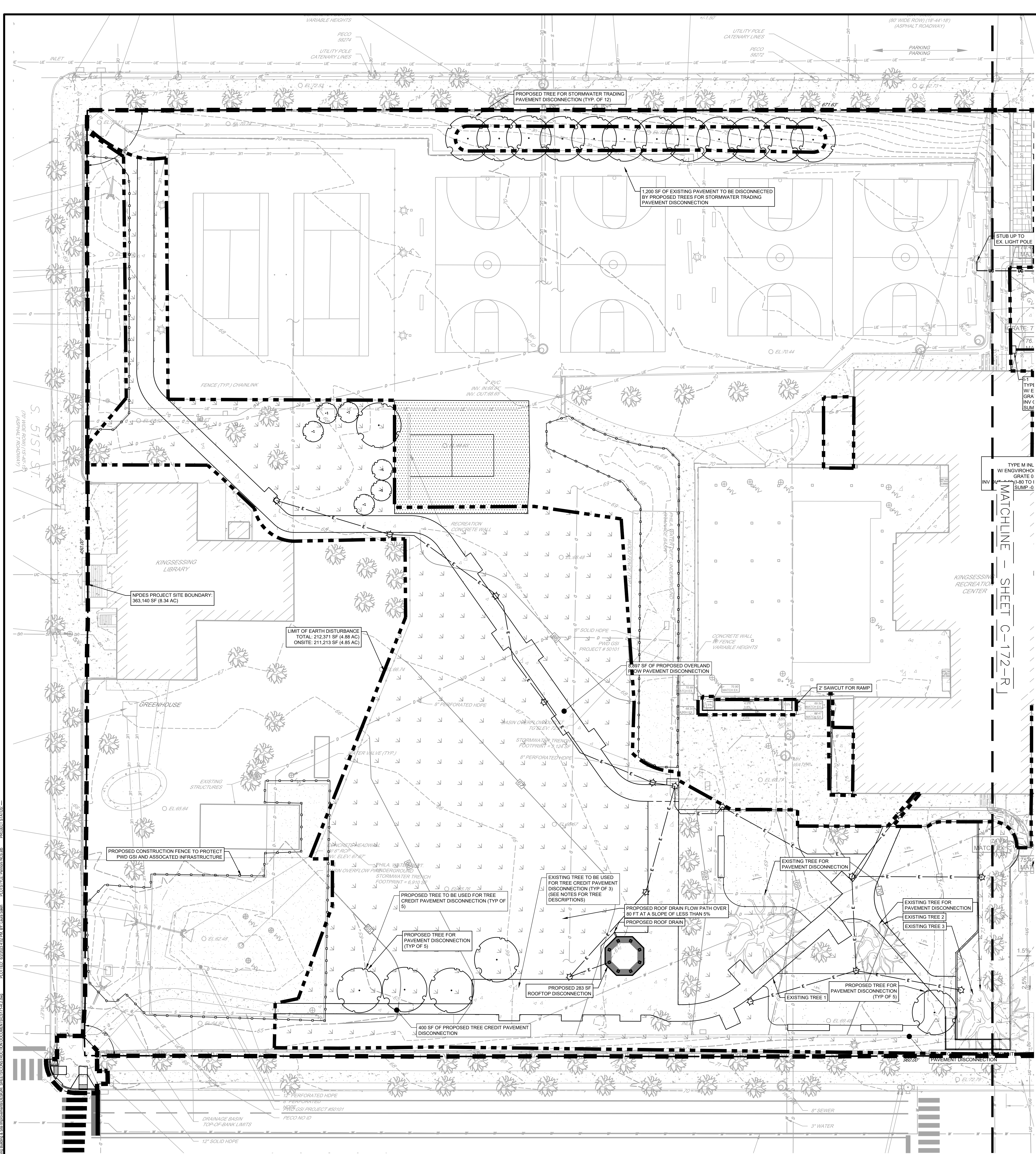


DRAWING TITLE
 SYNTHETIC TURF FIELD
 SPORTS STRIPING PLAN

PROJECT NO. KLMLX21003	DRAWING NO. CS154-R.2
DATE 04/21/23	SCALE 1" = 20'
DRAWN BY SDL	CHECKED BY MJM

PACKAGE 2 - IFB
 NOT FOR CONSTRUCTION NPDES PERMIT #PAC510302
 06/02/2023 PWD TRACKING #FY22-KING-6800-01

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



REVISIONS		
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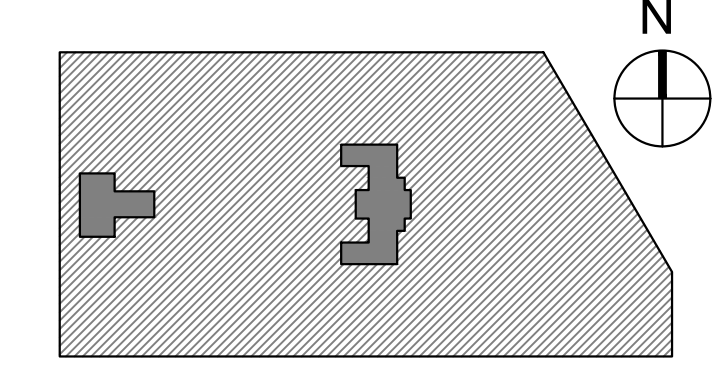
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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE:
KINGSESSING RECREATION CENTER

KEY PLAN:
PROPOSED NPDES PROJECT SITE BOUNDARY



DRAWING TITLE:
PCSM/UTILITY PLAN SOUTH

PROJECT NO. KMLX21003	DRAWING NO.
DATE 04/21/23	CS171-R.2
SCALE 1" = 20'	
DRAWN BY SDL	
CHECKED BY MJM	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

UTILITY NOTES:

- ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.
- BEDDING REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D998). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS.
- THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- EXISTING UTILITY LATERALS FOR THE PREVIOUS USE ARE NOT TO BE REUSED.
- CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES.
- UTILITY CONNECTION AND UTILITY COMPANY DETAILS FOR RECONNECTION AND NEW SERVICE WERE NOT PROVIDED BY THE UTILITY COMPANIES. CONTRACTOR MUST OBTAIN ANY UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UTILITIES ON THESE PLANS. HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF

GREEN STORMWATER INFRASTRUCTURE NOTES

- THE CONTRACTOR PERFORMING THE GREEN STORMWATER INFRASTRUCTURE INSTALLATION MUST BE PREQUALIFIED BY THE PHILADELPHIA WATER DEPARTMENT (PWD) CONTACT MS. TRISHA GRACE OF THE PROJECTS MANAGEMENT UNIT AT (215) 685-6336.
- THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR.
- THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY THE PWD CONSTRUCTION DIVISION 1101 MARKET STREET, 2ND FLOOR, PHONE (215) 685-6345, AT LEAST 7 DAYS IN ADVANCE FOR ASSIGNMENT OF AN INSPECTOR TO THE JOB.
- THE CONTRACTOR MUST PROVIDE OFFICE SPACE FOR USE BY THE PWD INSPECTOR DURING CONSTRUCTION.
- APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE DESIGN OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
- CONTACT PWD-WATER TRANSPORTATION RECORDS, 1101 MARKET STREET, 2ND FLOOR, PHONE (215) 685-6271, FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL SEWER CONNECTIONS TO EXISTING AND/OR PROPOSED PWD FACILITIES.
- FIELD-FABRICATED WYE BRANCHES AND BENDS ARE NOT PERMITTED.
- A LIST OF ALL MATERIALS AND SUPPLIERS MUST BE SUBMITTED TO THE PWD CONSTRUCTION BRANCH FOR APPROVAL.
- THE CONTRACTOR OR ENGINEER IS RESPONSIBLE FOR OBTAINING ALL ADDITIONAL PERMITS AND APPROVALS FROM ALL AFFECTED CITY AGENCIES AND UTILITIES.
- PRIOR TO OBTAINING A BUILDING PERMIT, THE CONTRACTOR IS REQUIRED TO OBTAIN PWD STORMWATER MANAGEMENT APPROVAL AND SEWAGE FACILITIES PLANNING (ACT 537) APPROVAL.
- ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY THE ASSIGNED PWD-CONSTRUCTION DIVISION ENGINEER AND BY THE PWD DESIGN PROJECT ENGINEER.
- PWD RESERVES THE RIGHT TO REQUEST ADDITIONAL BORINGS DURING CONSTRUCTION SHOULD THE SOIL EXCAVATED IN THAT AREA APPEAR TO BE UNSUITABLE.
- ANY TRENCH WHERE THE CUT IS DEEPER THAN 10 FEET WILL REQUIRE A DETAILED SHORING PLAN PREPARED BY A REGISTERED PROFESSIONAL ENGINEER TO BE SUBMITTED TO PWD FOR APPROVAL BEFORE WORK CAN BEGIN.
- PLACE AND COMPACT BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR EXCAVATION, REFILLING, GRADING, LANDSCAPING AND REPAIRING.
- ALL SIDEWALK AND CURBING TO BE REPLACED IN KIND ALONG FULL LIMITS OF CONSTRUCTION TO NEXT EXISTING JOINT OR AS DIRECTED BY PWD.

EXISTING LEGEND

- EXISTING PROPERTY LINE (APPROXIMATE)
- EXISTING RIGHT OF WAY LINE (APPROXIMATE)
- EXISTING BUILDING
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING EDGE OF MACADAM/GRAVEL
- EXISTING TRAFFIC MARKING
- EXISTING FENCE
- EXISTING TREE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING INLET
- EXISTING SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY STRUCTURES

PROPOSED LEGEND

- PROPOSED BUILDING
- PROPOSED DOOR
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED LANDSCAPED AREA
- PROPOSED UNIT PAVERS
- PROPOSED POROUS PLAYGROUND SAFETY SURFACE
- PROPOSED SYNTHETIC TURF FIELD
- PROPOSED ADA RAMP
- PROPOSED CURB
- PROPOSED DEBARRED CURB
- PROPOSED STOP BAR/PAVEMENT MARKING
- PROPOSED FENCE
- PROPOSED SIGN
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM INLET
- PROPOSED STORM MANHOLE
- PROPOSED STORM CLEANOUT
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED FIRE LINE
- PROPOSED NATURAL GAS LINE
- PROPOSED CABLE/TELEPHONE LINE
- PROPOSED ELECTRIC LINE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED NPDES PROJECT SITE BOUNDARY

EXISTING TREES FOR PAVEMENT DISCONNECTION

TREE #	SPECIES	CALIPER DIAMETER (IN)
1	HONEY LOCUST	23.50
2	BLACK GUM	9.70
3	BLACK GUM	15.20

CALL BEFORE YOU DIG

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1978 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 20212563952

EXISTING LEGEND

- EXISTING PROPERTY LINE (APPROXIMATE)
- EXISTING RIGHT OF WAY LINE (APPROXIMATE)
- EXISTING BUILDING
- EXISTING CURB
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EXISTING TREES FOR PAVEMENT DISCONNECTION

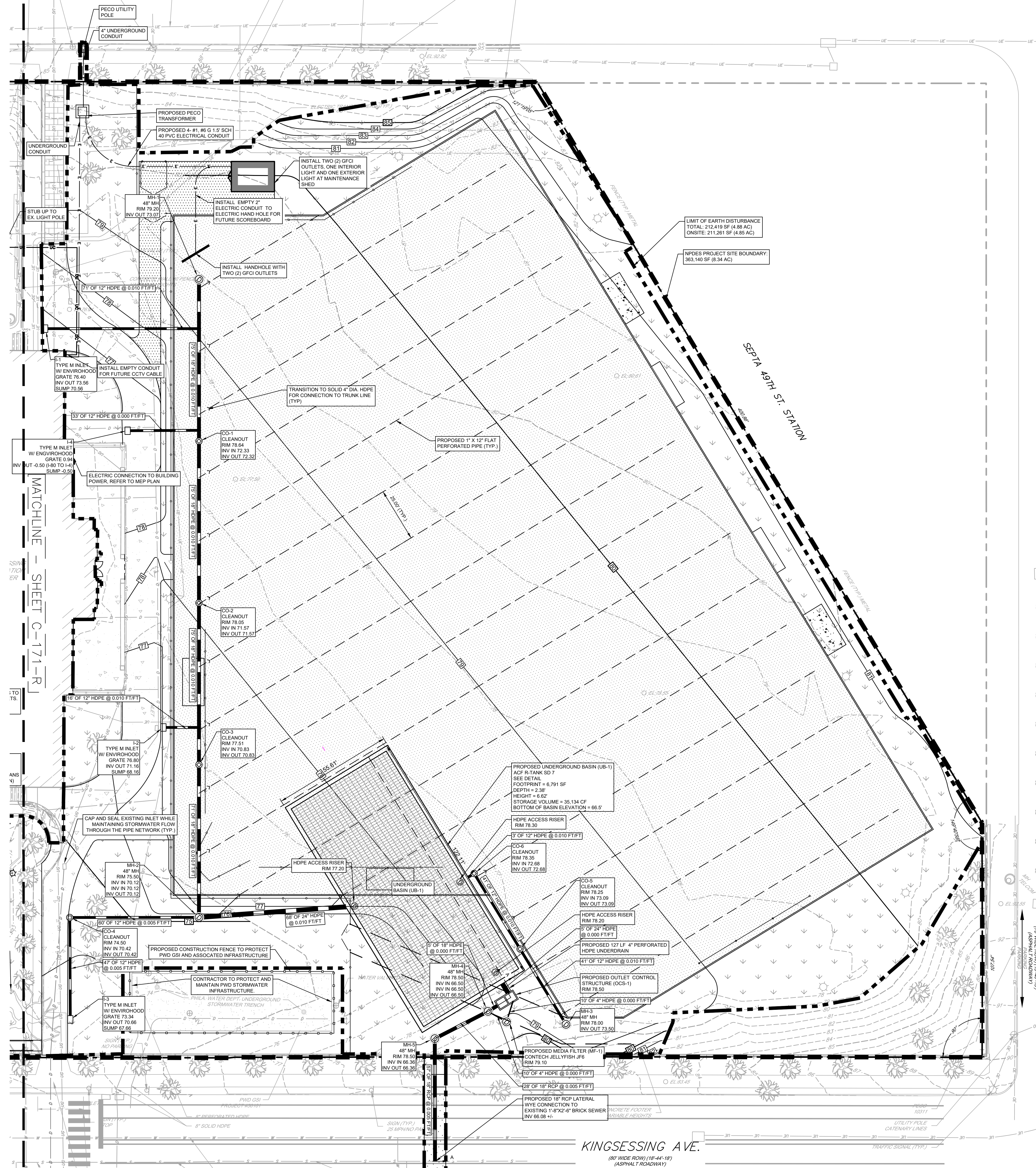
TREE #	SPECIES	CALIPER DIAMETER (IN)
1	HONEY LOCUST	23.50
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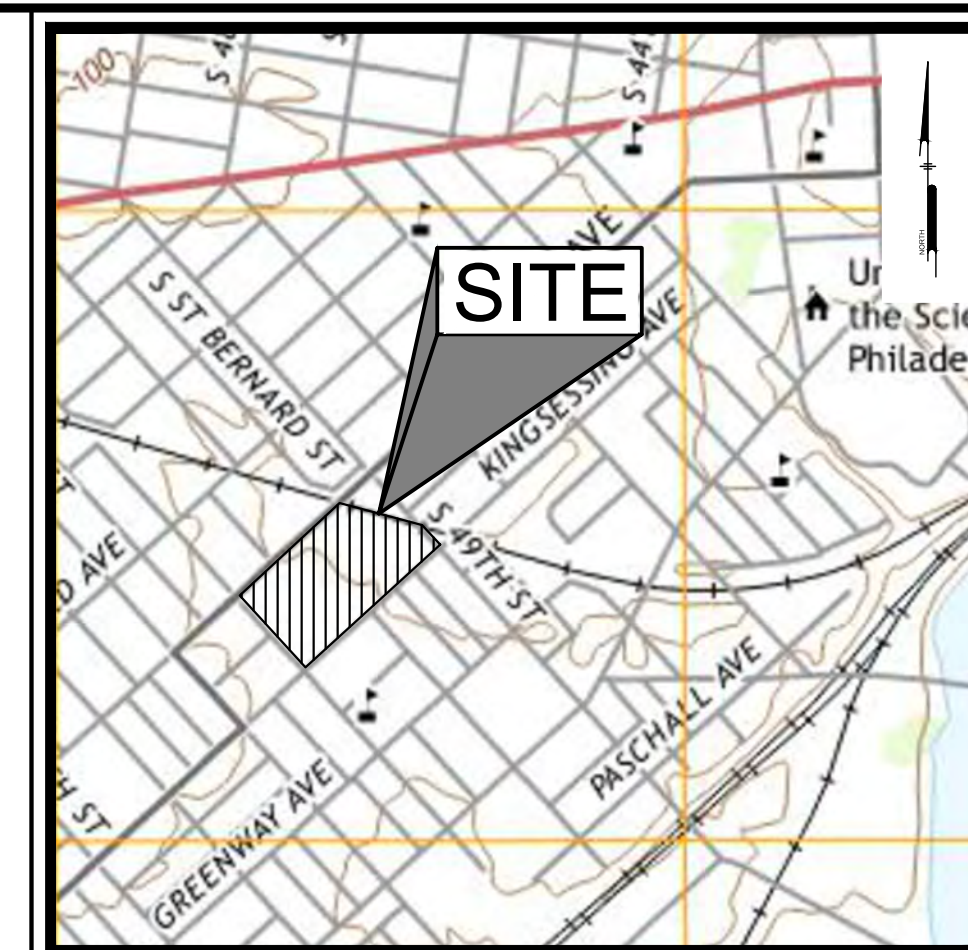
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1978 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 20212563952

UTILITY PLAN DETAIL - SOUTH
SCALE: 1"=20'-0"

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023
NPDES PERMIT #PAC510302
PWD TRACKING #FY22-KING-6800-01

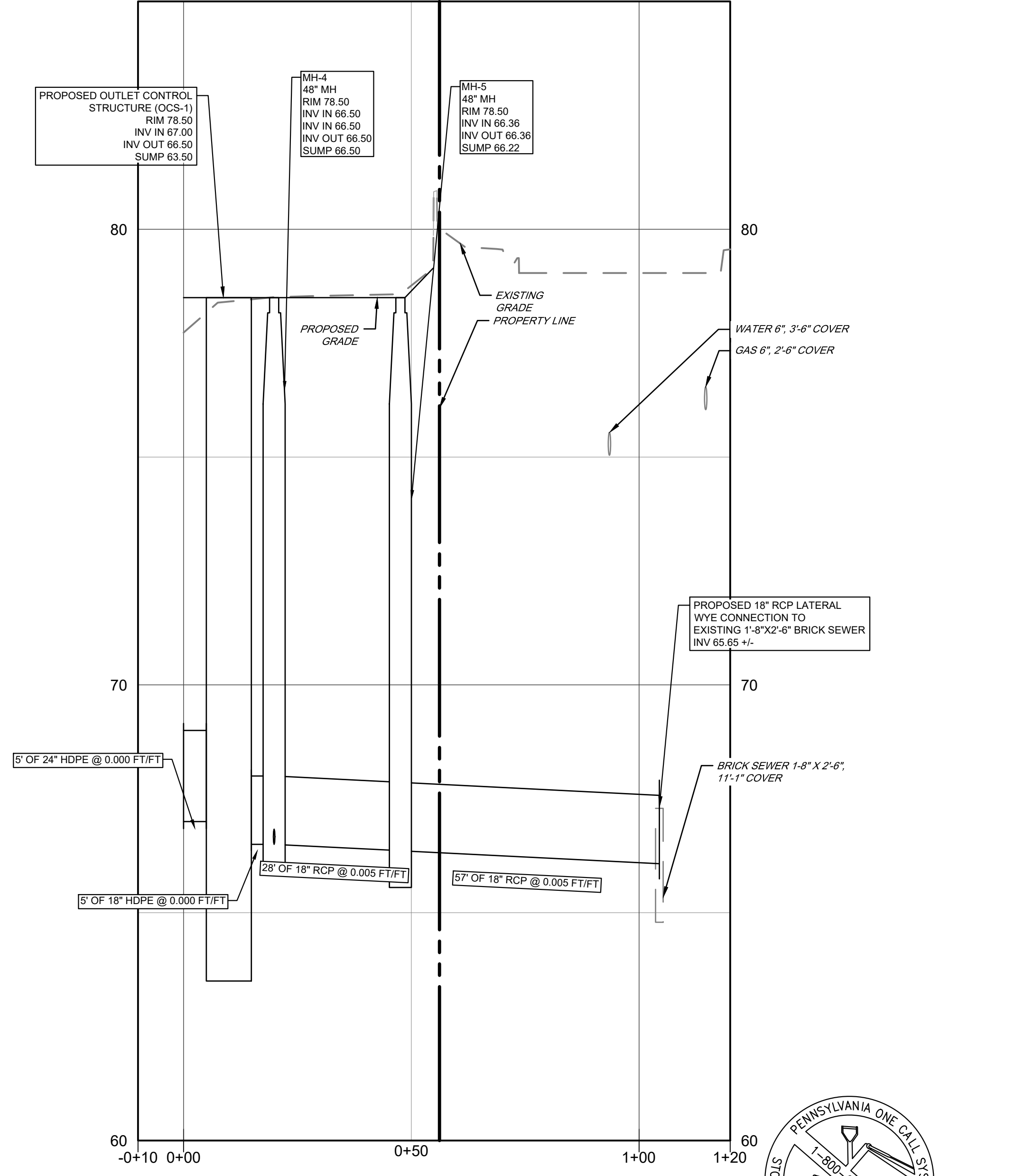


UTILITY PLAN DETAIL - NORTH
SCALE: 1"=20'-0"



LOCATION MAP
Scale: 1" = 100'
WATERSHED: LOWER SCHUYLKILL RIVER
FLOOD MANAGEMENT DISTRICT: A
FEMA FLOODPLAIN: ZONE X

EXISTING LEGEND		PROPOSED LEGEND	
---	EXISTING PROPERTY LINE (APPROXIMATE)	▭	PROPOSED BUILDING
---	EXISTING RIGHT OF WAY LINE (APPROXIMATE)	▭	PROPOSED DOOR
▭	EXISTING BUILDING	▭	PROPOSED CONCRETE PAVEMENT
▭	EXISTING CURB	▭	PROPOSED ASPHALT PAVEMENT
▭	EXISTING SIDEWALK	▭	PROPOSED LANDSCAPED AREA
▭	EXISTING EDGE OF MACADAM/GRAVEL	▭	PROPOSED UNIT PAVERS
▭	EXISTING TRAFFIC MARKING	▭	PROPOSED POROUS PLAYGROUND SAFETY SURFACE (DIC)
▭	EXISTING FENCE	▭	PROPOSED SYNTHETIC TURF FIELD
▭	EXISTING TREE	▭	PROPOSED ADA RAMP
---	EXISTING MAJOR CONTOUR	▭	PROPOSED CURB
---	EXISTING MINOR CONTOUR	▭	PROPOSED DEPRESSED CURB
---	EXISTING SIGN	▭	PROPOSED WALL
---	EXISTING BOLLARD	▭	PROPOSED STOP BAR/PAVEMENT MARKING
---	EXISTING UTILITY POLE	▭	PROPOSED FENCE
---	EXISTING LIGHT	▭	PROPOSED SIGN
---	EXISTING INLET	▭	PROPOSED MAJOR CONTOUR
---	EXISTING SEWER	▭	PROPOSED MINOR CONTOUR
---	EXISTING STORM SEWER	▭	PROPOSED STORM INLET
---	EXISTING WATER LINE	▭	PROPOSED STORM MANHOLE
---	EXISTING UNDERGROUND TELEPHONE LINE	▭	PROPOSED STORM CLEANOUT
---	EXISTING GAS LINE	▭	PROPOSED STORM SEWER
---	EXISTING UNDERGROUND ELECTRIC	▭	PROPOSED SANITARY SEWER
---	EXISTING OVERHEAD WIRES	▭	PROPOSED WATER LINE
---	EXISTING UTILITY STRUCTURES	▭	PROPOSED FIRE LINE
		▭	PROPOSED NATURAL GAS LINE
		▭	PROPOSED CABLE/TELEPHONE LINE
		▭	PROPOSED ELECTRIC LINE
		▭	PROPOSED LIMIT OF DISTURBANCE
		▭	PROPOSED NPDES PROJECT SITE BOUNDARY



SECTION A-A: UB-1 TO KINGESSING AVE.
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

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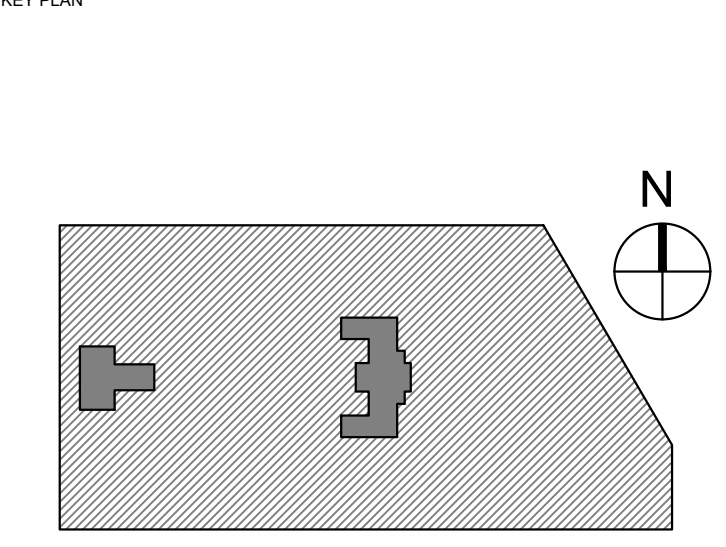
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PROJECT TITLE
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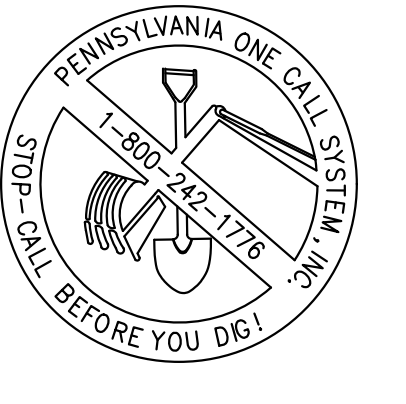


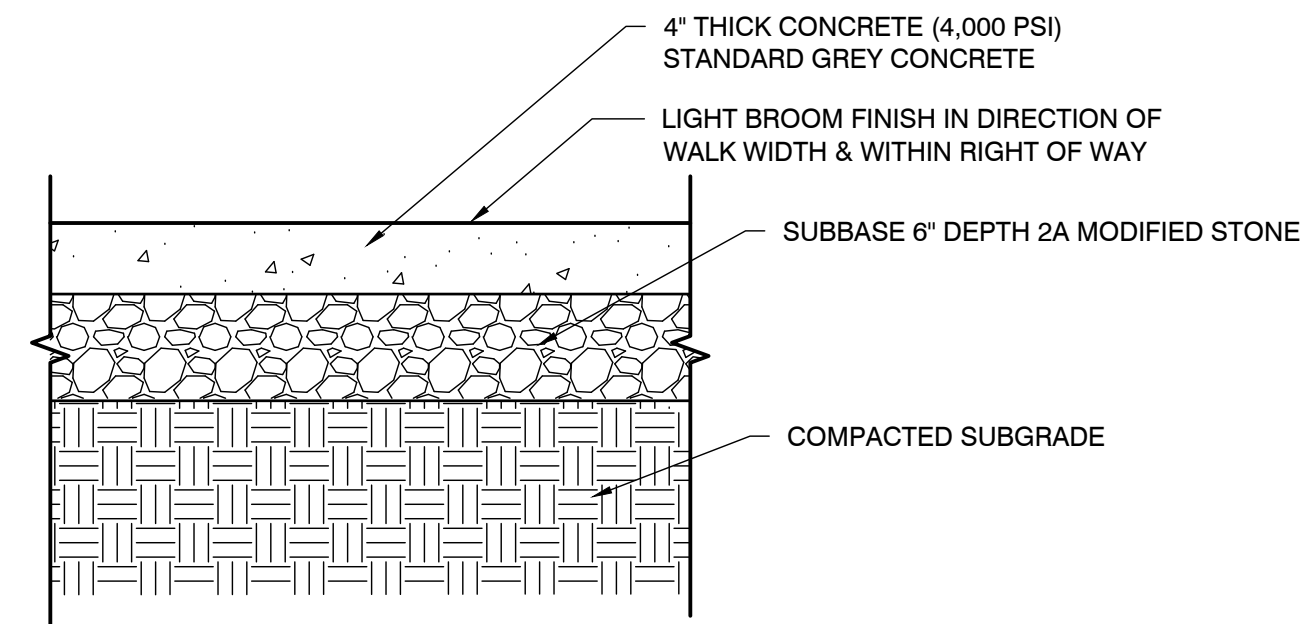
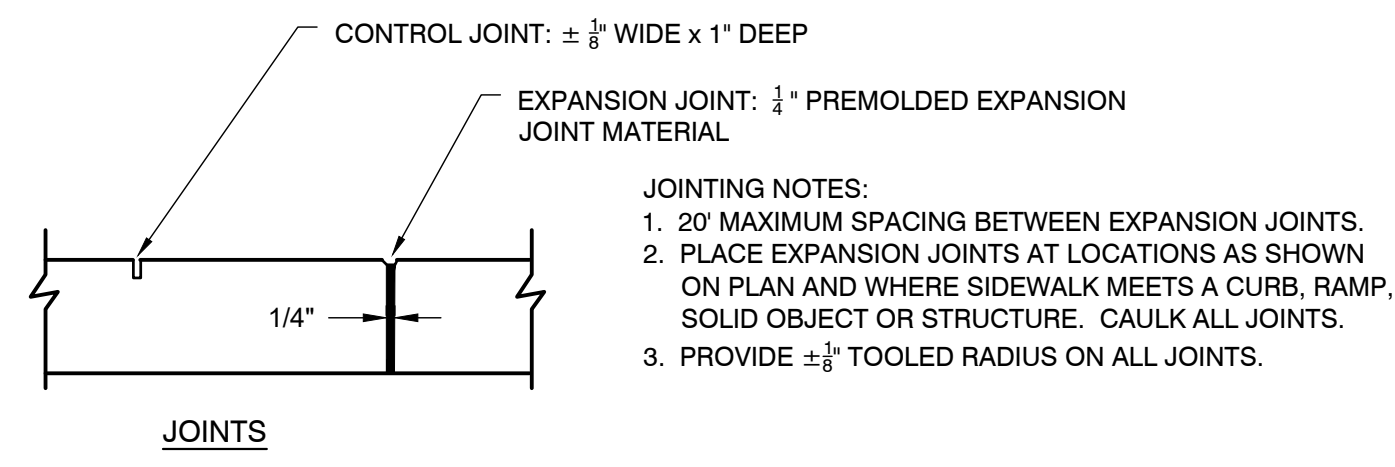
DRAWING TITLE
PCSM / UTILITY PLAN NORTH

PROJECT NO. KMLMLX21003	DRAWING NO. CS172-R.2
DATE 04/21/23	SCALE 1" = 20'
DRAWN BY SDL	CHECKED BY MJM

PACKAGE 2 - IFB
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PWD TRACKING #FY22-KING-6800-01

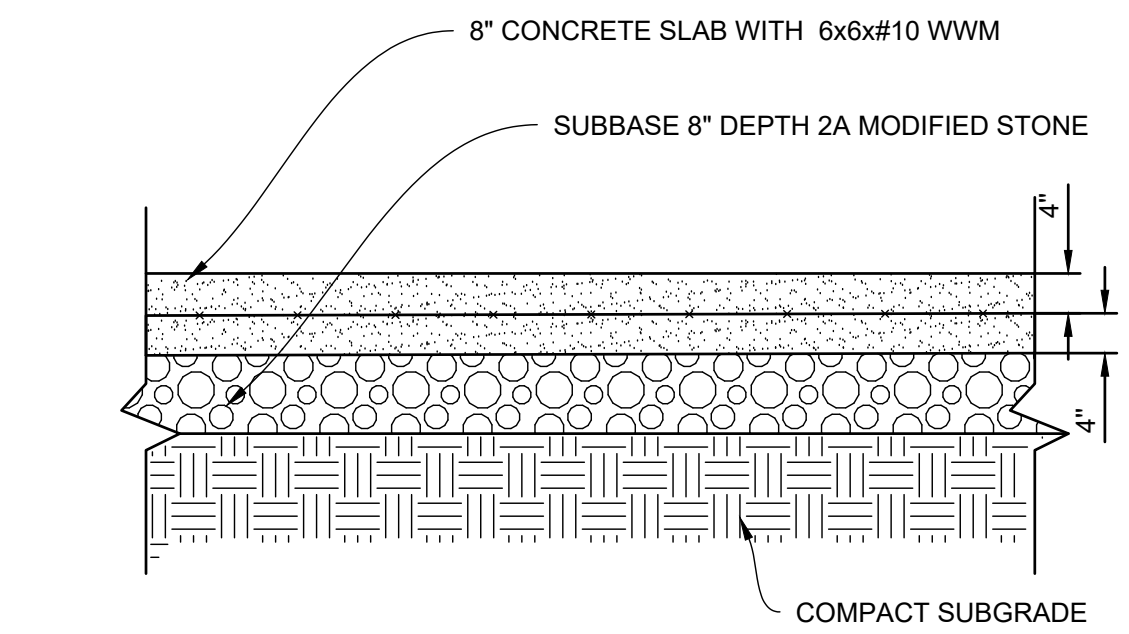
CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.
SERIAL NUMBER(S): 20212583952





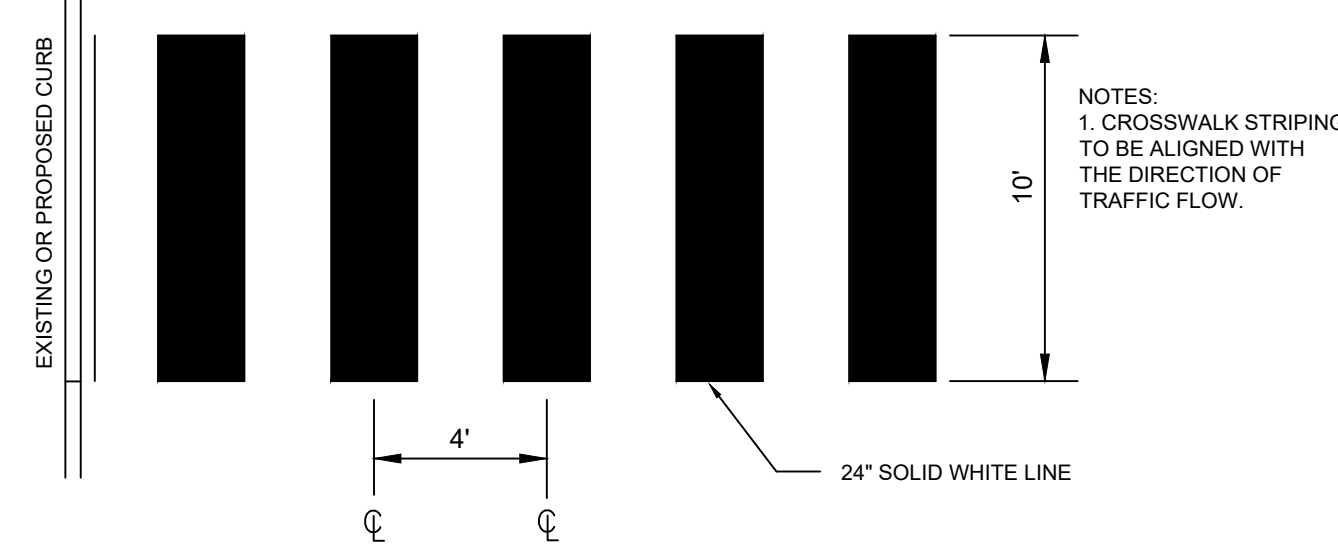
SIDEWALK NOTES:
 1. ALL CONCRETE SHALL BE 4,000 PSI AT 28 DAYS, AIR ENTRAINED, W/C RATIO 0.45, MAX. SLUMP 3".
 2. COMPACTED SUBGRADE AS DIRECTED BY GEOTECHNICAL ENGINEER.

DETAIL- SIDEWALK AND JOINT
 N.T.S.

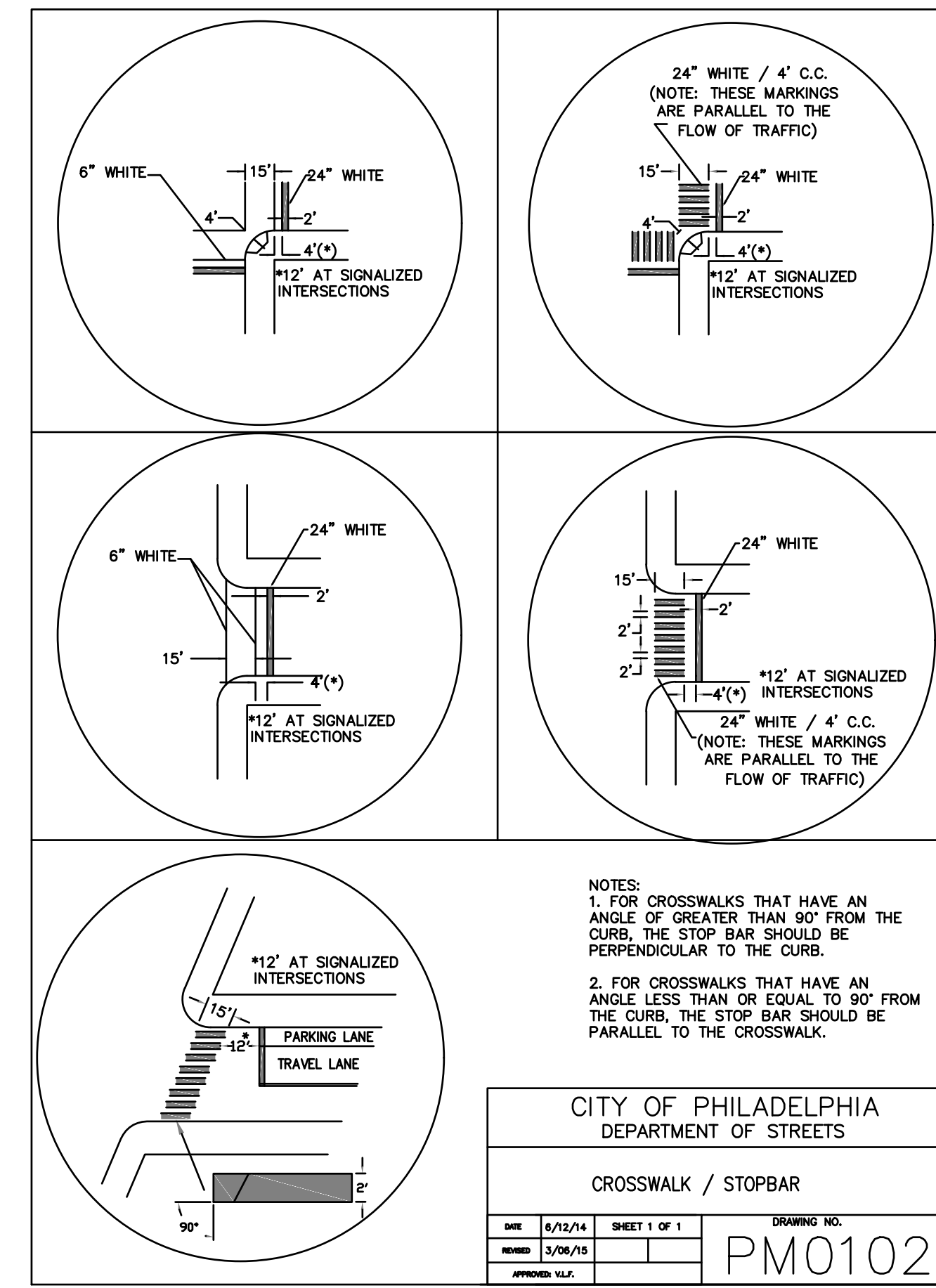


NOTE:
 EXPANSION JOINTS SHALL BE PROVIDED AT EQUAL DISTANCES OF NOT MORE THAN 20' AND AT BUILDING WALL. JOINTS SHALL BE FILLED WITH PREFORMED EXPANSION JOINT FILLER, 1/2" THICK CONFORMING TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. THE JOINT SHALL BE RECESSED 1/4" FROM THE TOP AND FRONT OF CONCRETE SLAB.
 NOTE: CONCRETE SHALL BE 4,000 PSI AT 28 DAYS

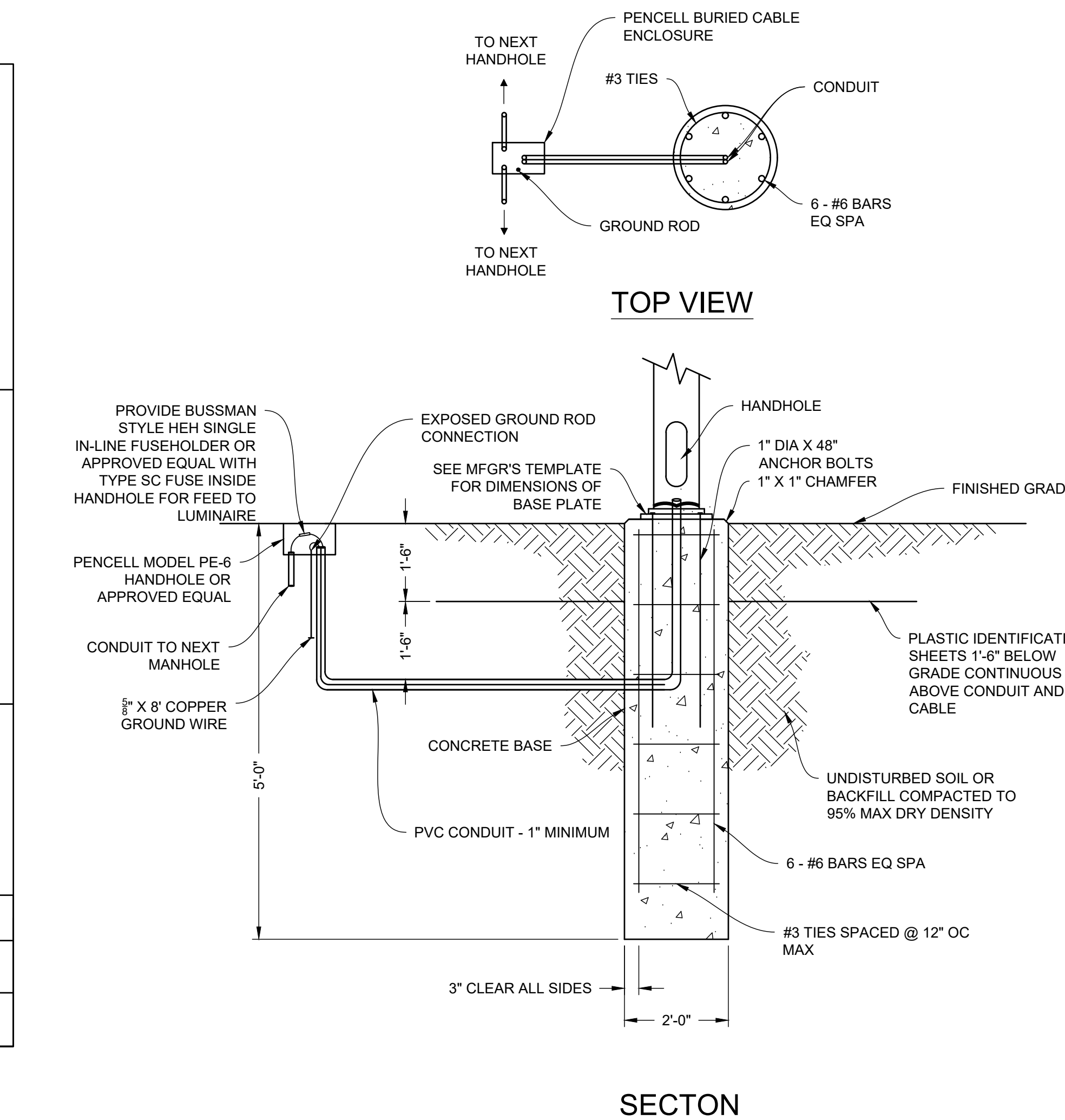
DETAIL- HEAVY DUTY CONCRETE PAVING SECTION (VEHICLE RATED)
 N.T.S.



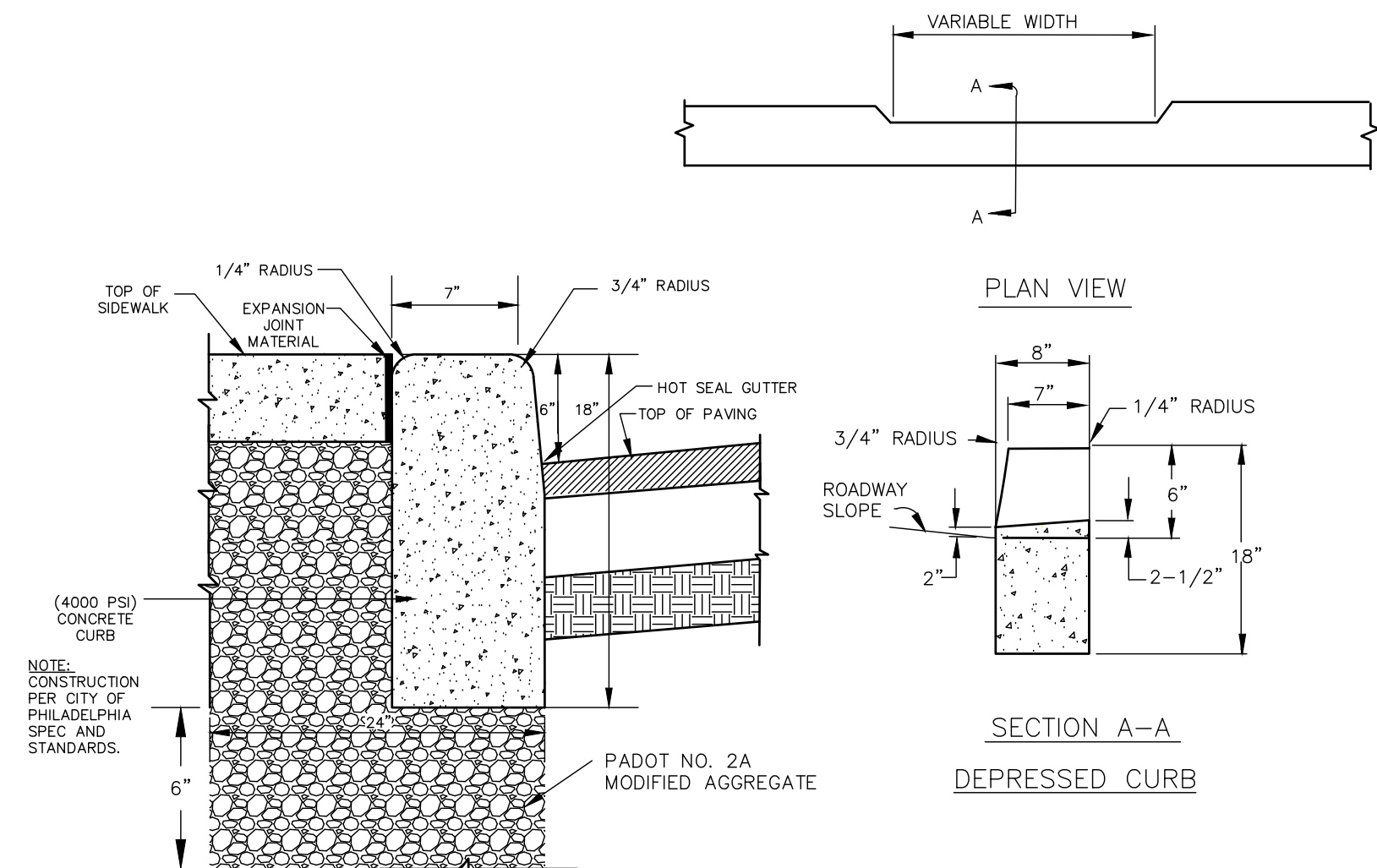
DETAIL- CROSSWALK STRIPING DETAIL
 N.T.S.



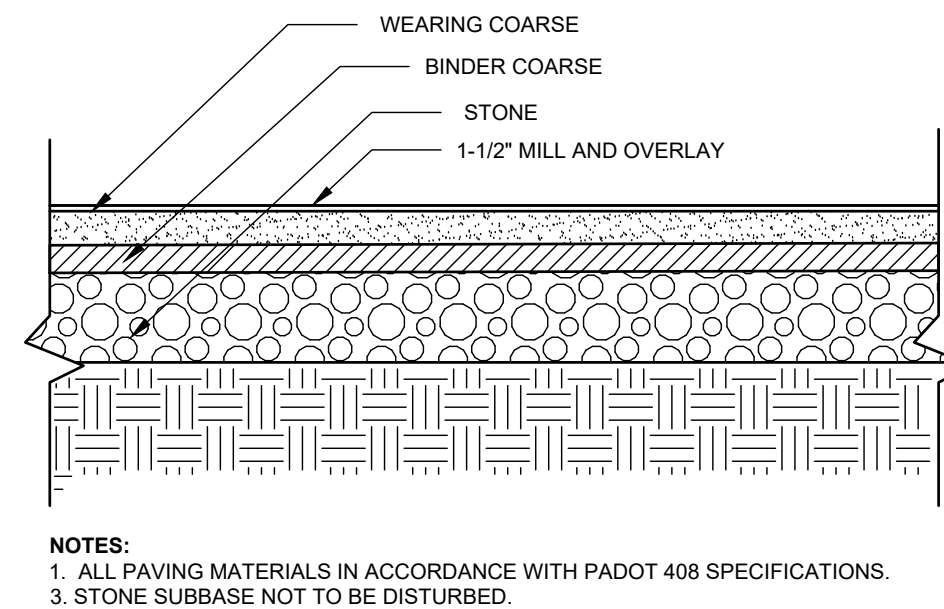
DETAIL- CITY OF PHILADELPHIA - CROSSWALK / STOPBAR (PM0102)
 N.T.S.



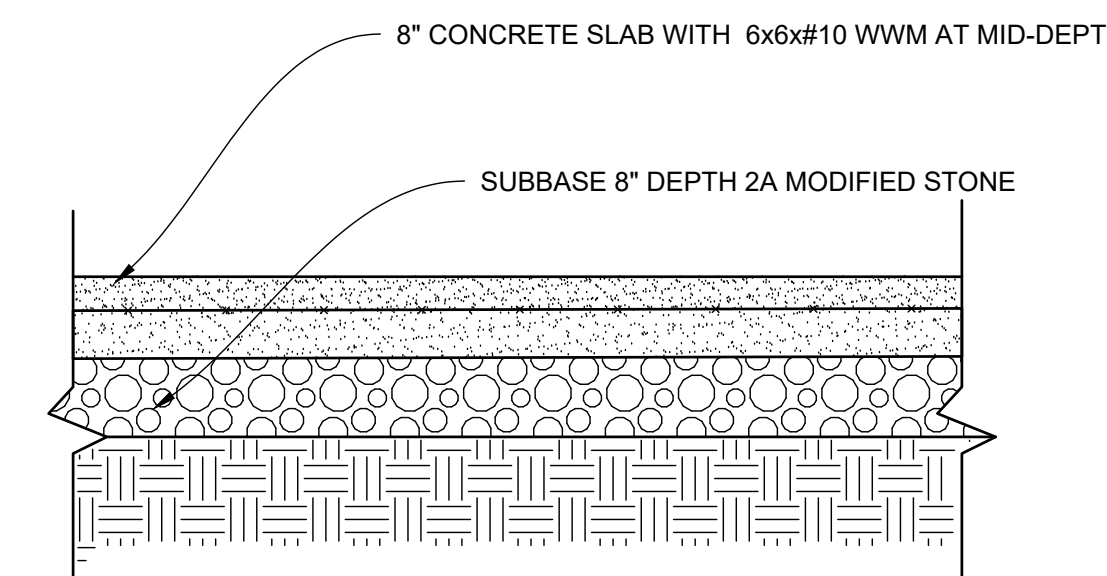
DETAIL- LIGHT POLE BASE DETAIL
 N.T.S.



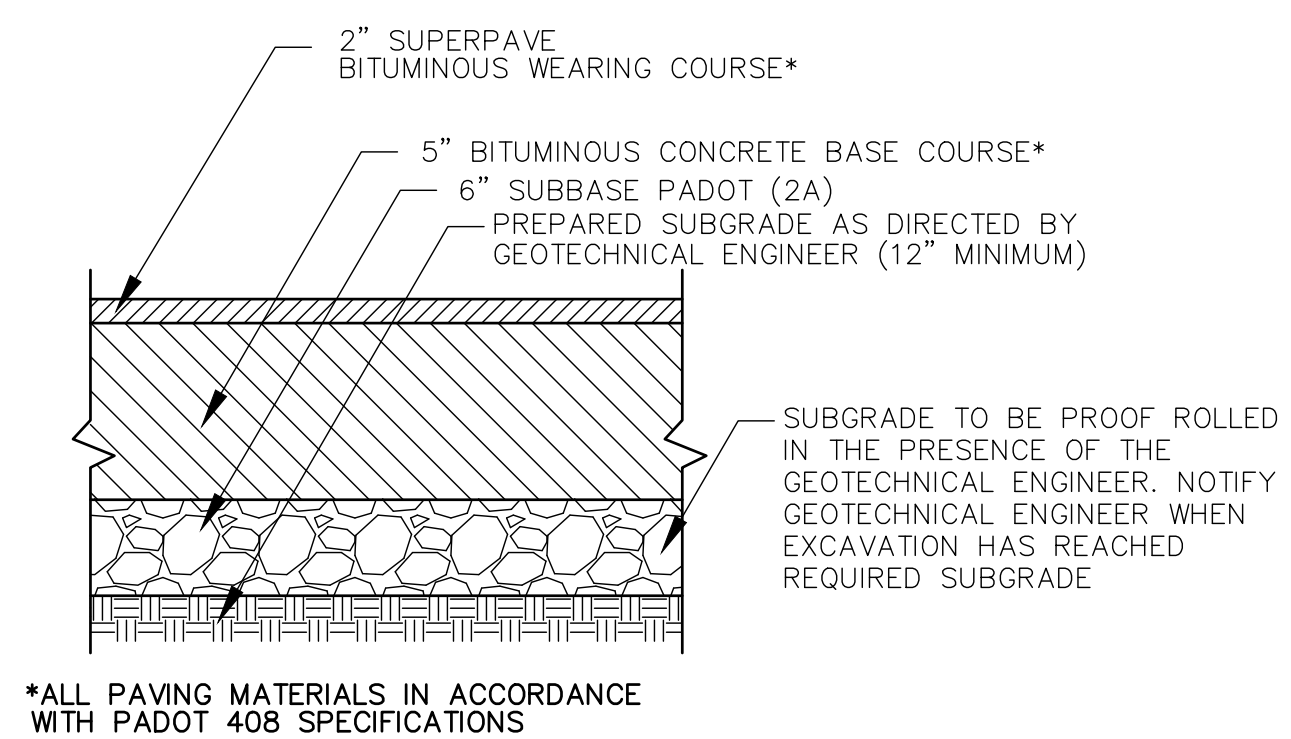
DETAIL- CONCRETE CURB
 N.T.S.



DETAIL- MILL & OVERLAY
 N.T.S.



DETAIL- CONCRETE STRUCTURAL SLAB (SHED AND BLEACHER PADS)
 N.T.S.



DETAIL- HEAVY GUTY PAVING STATION
 N.T.S.

REVISIONS

ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR:

REAS:



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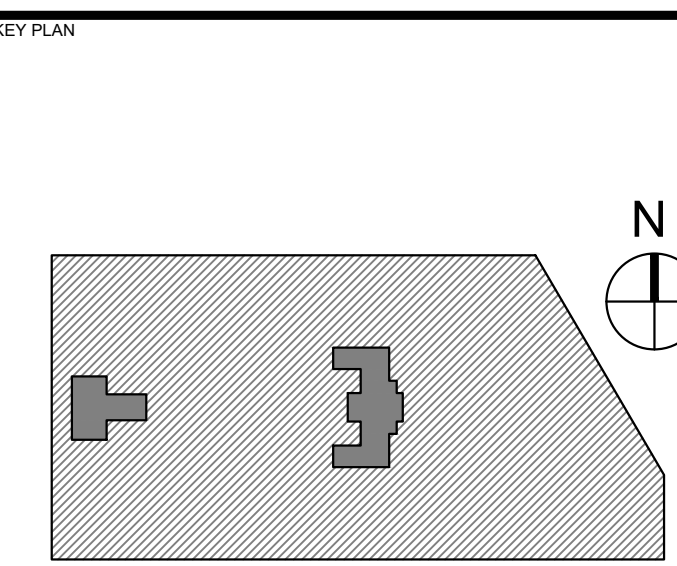
LANDSCAPE ARCHITECT:
 Salt Design Studio
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CITY OF PHILADELPHIA
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 1515 ARCH STREET
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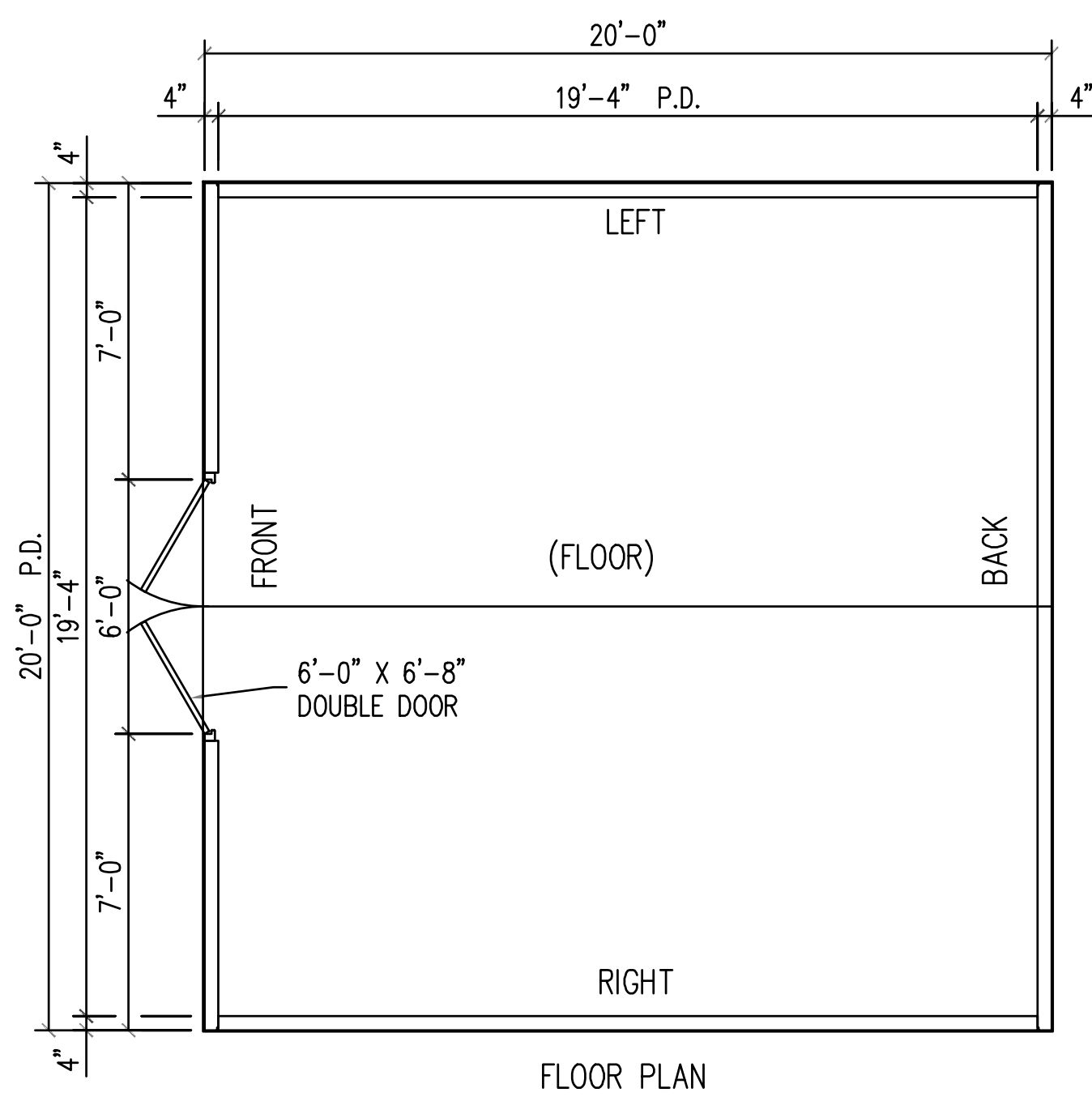
PROJECT TITLE
KINGSESSING RECREATION CENTER



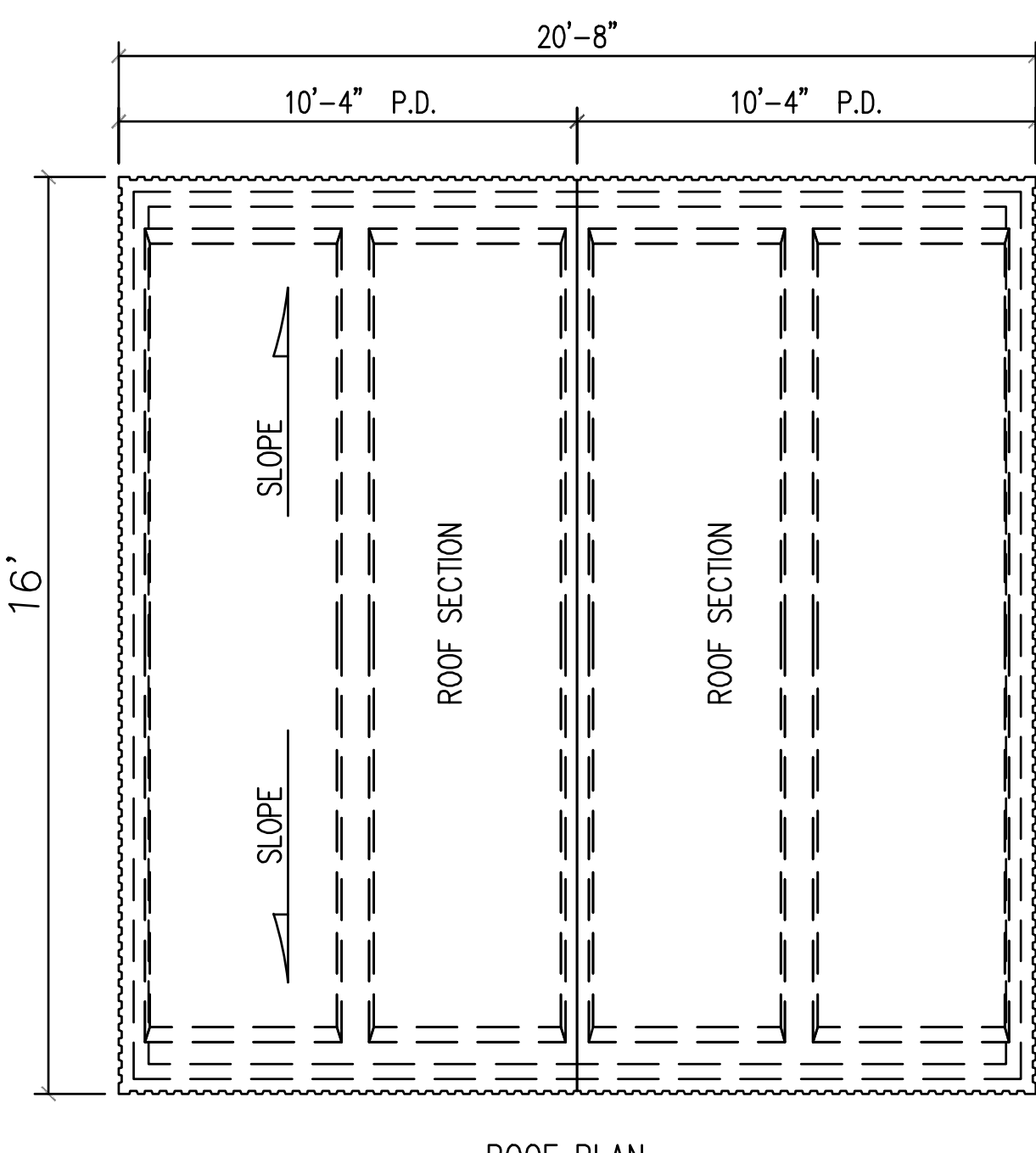
DRAWING TITLE
SITE DETAILS

PROJECT NO. KLMLX21003	DRAWING NO. CS601-R.2
DATE 04/21/23	SCALE AS NOTED
DRAWN BY SDL	CHECKED BY MJM

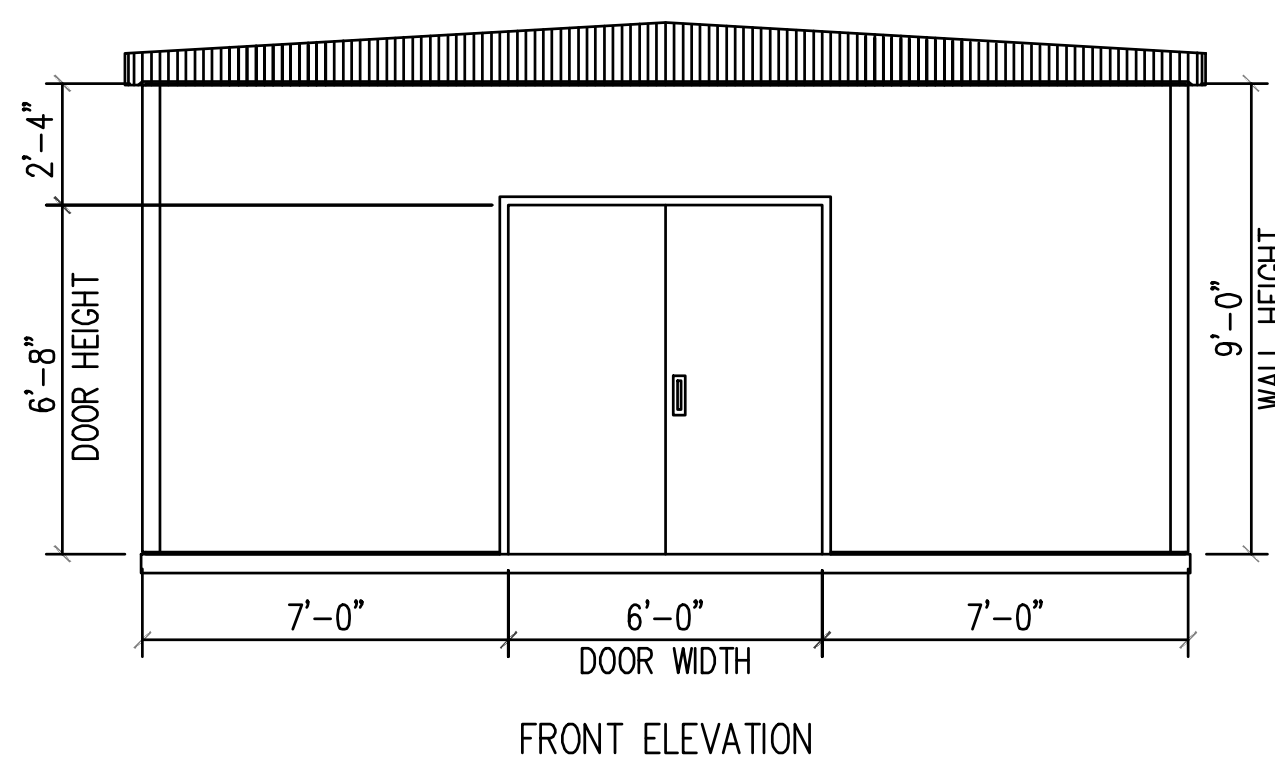
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



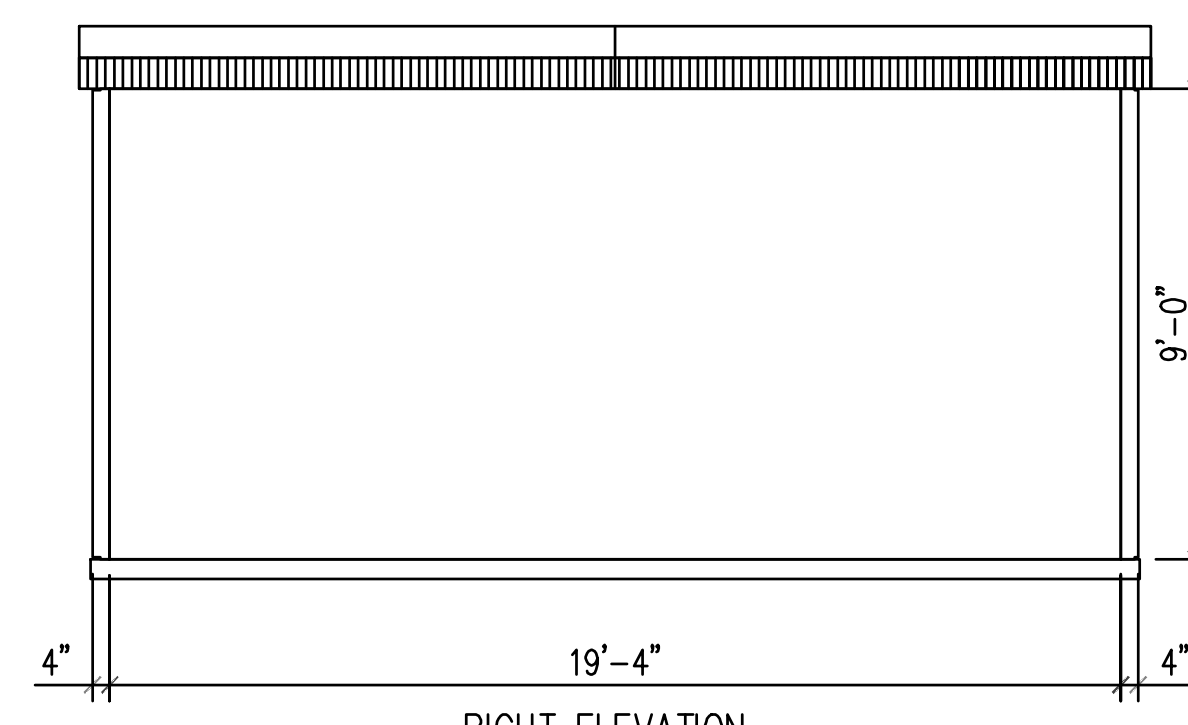
FLOOR PLAN



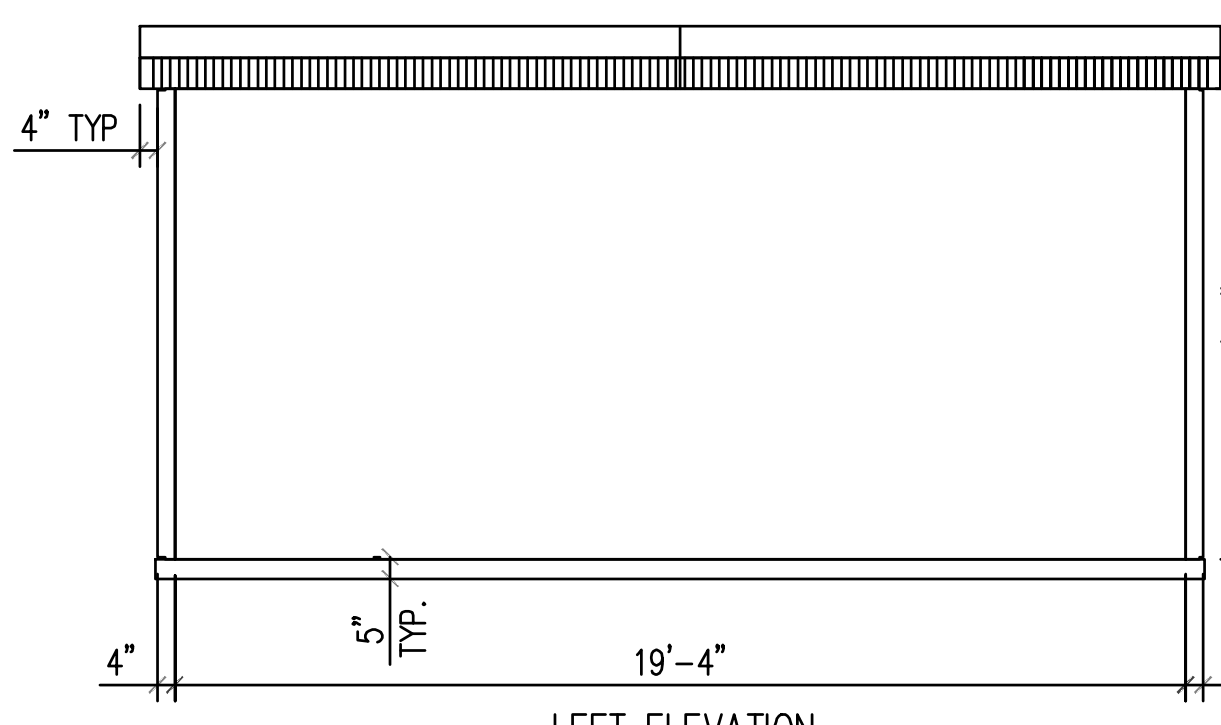
ROOF PLAN



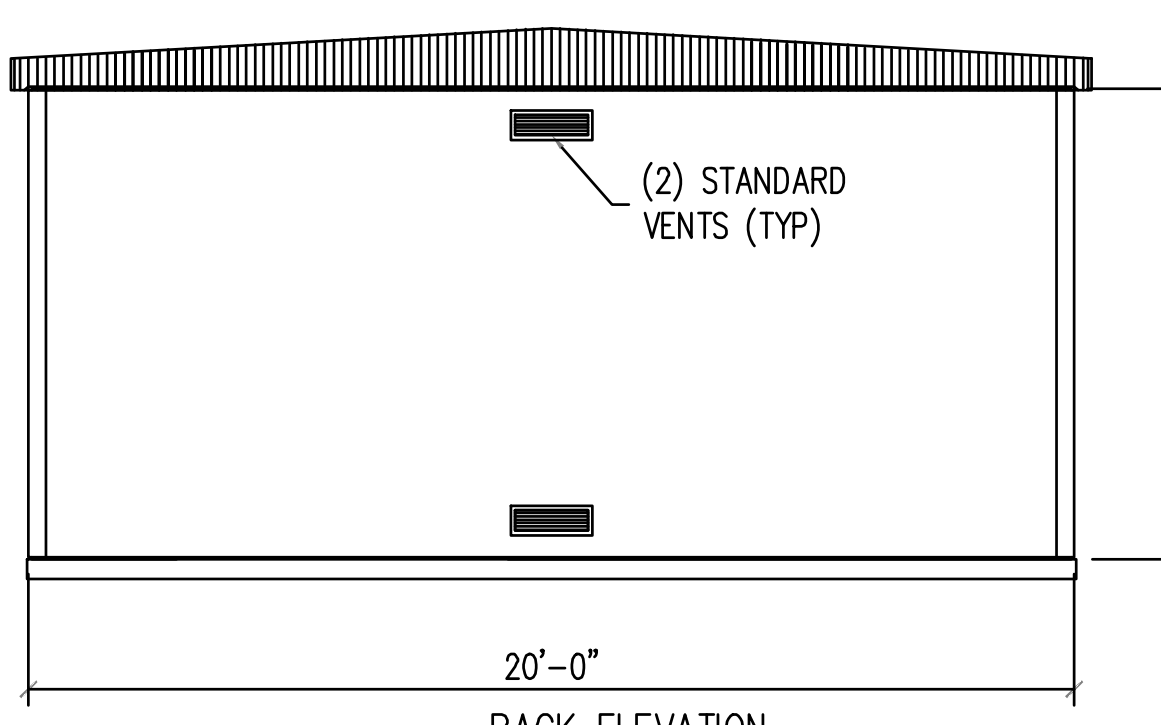
FRONT ELEVATION



RIGHT ELEVATION

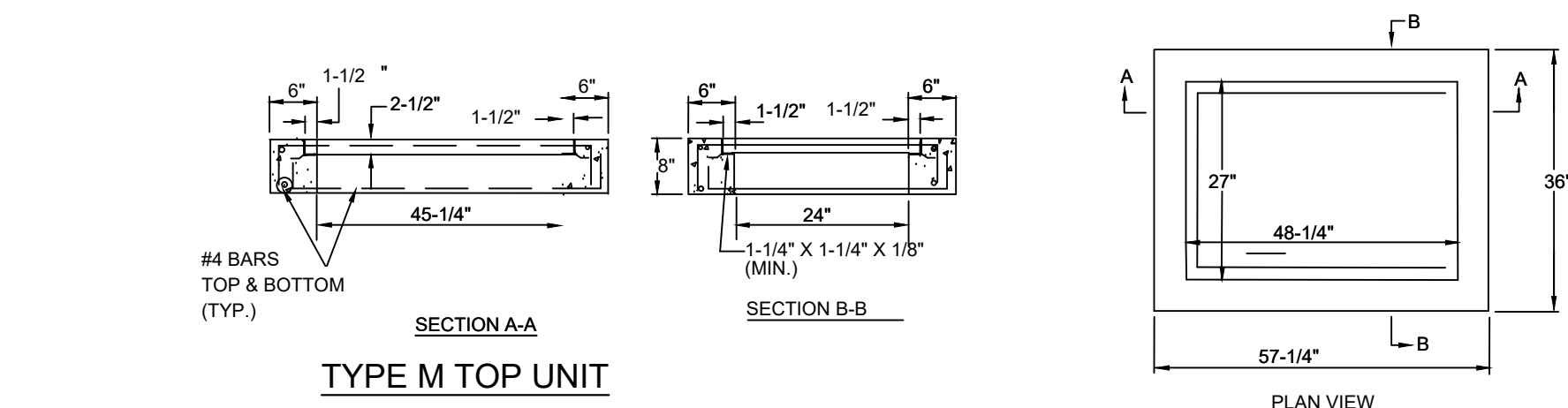


LEFT ELEVATION

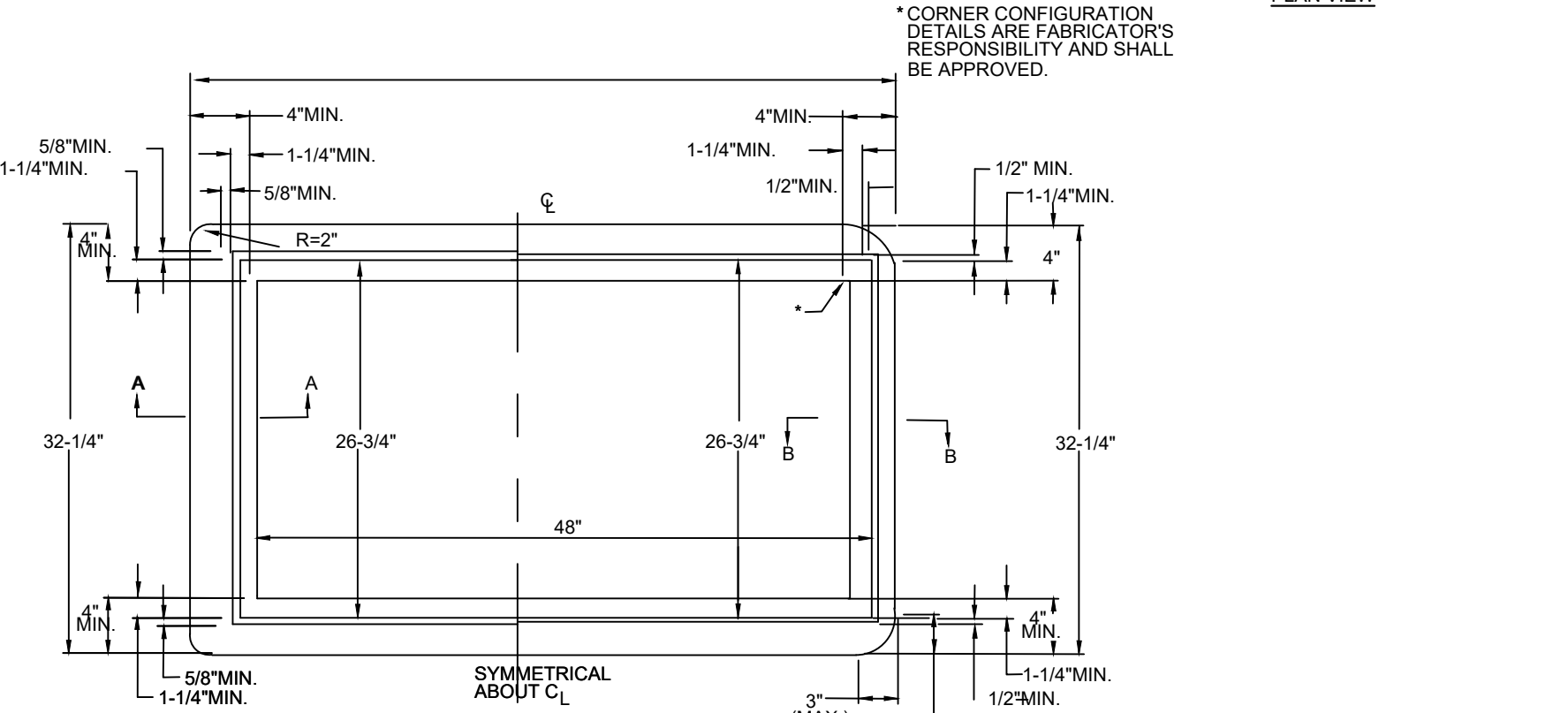


BACK ELEVATION

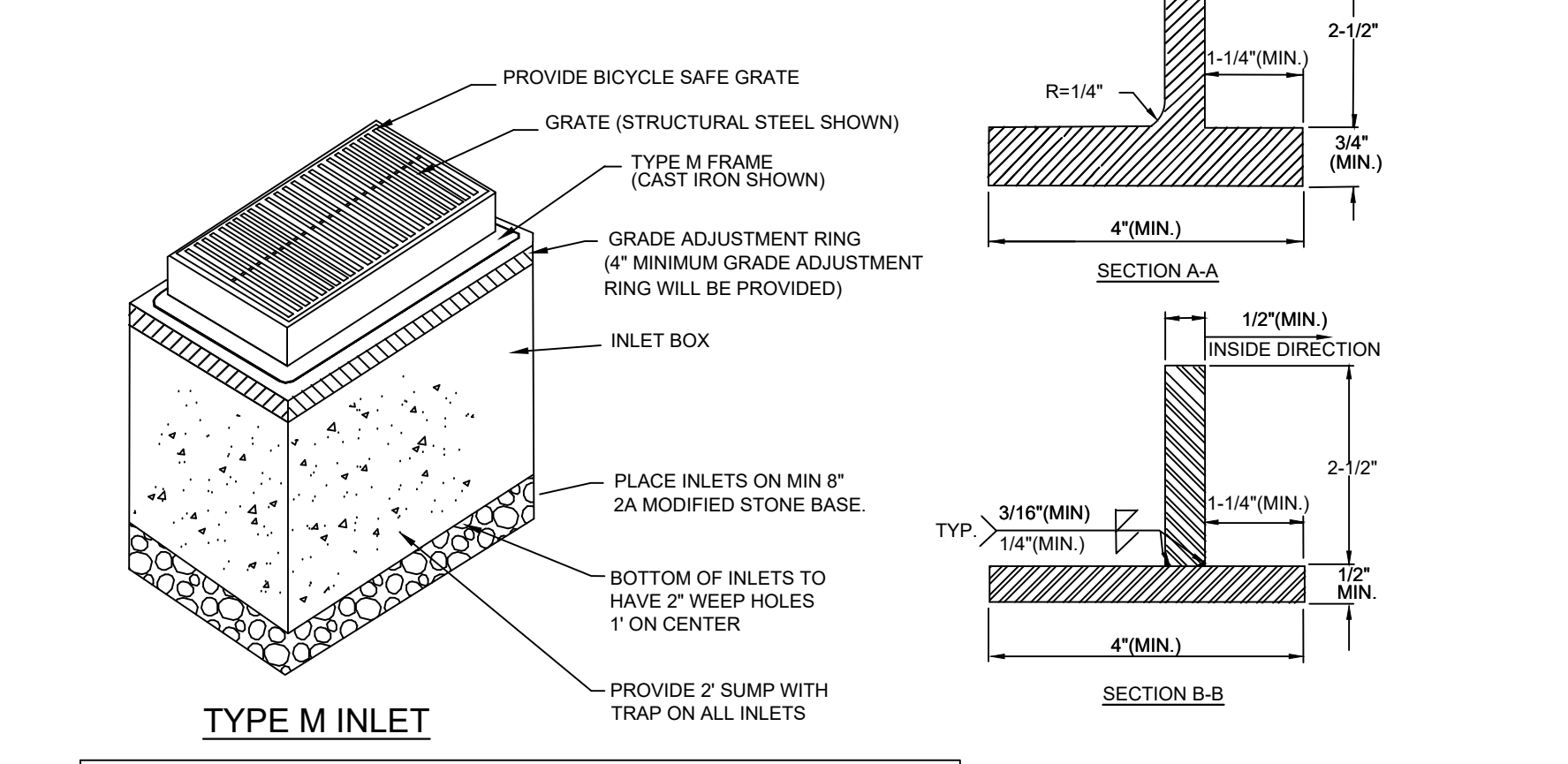
DETAIL- MAINTENANCE SHED
N.T.S.



TYPE M TOP UNIT

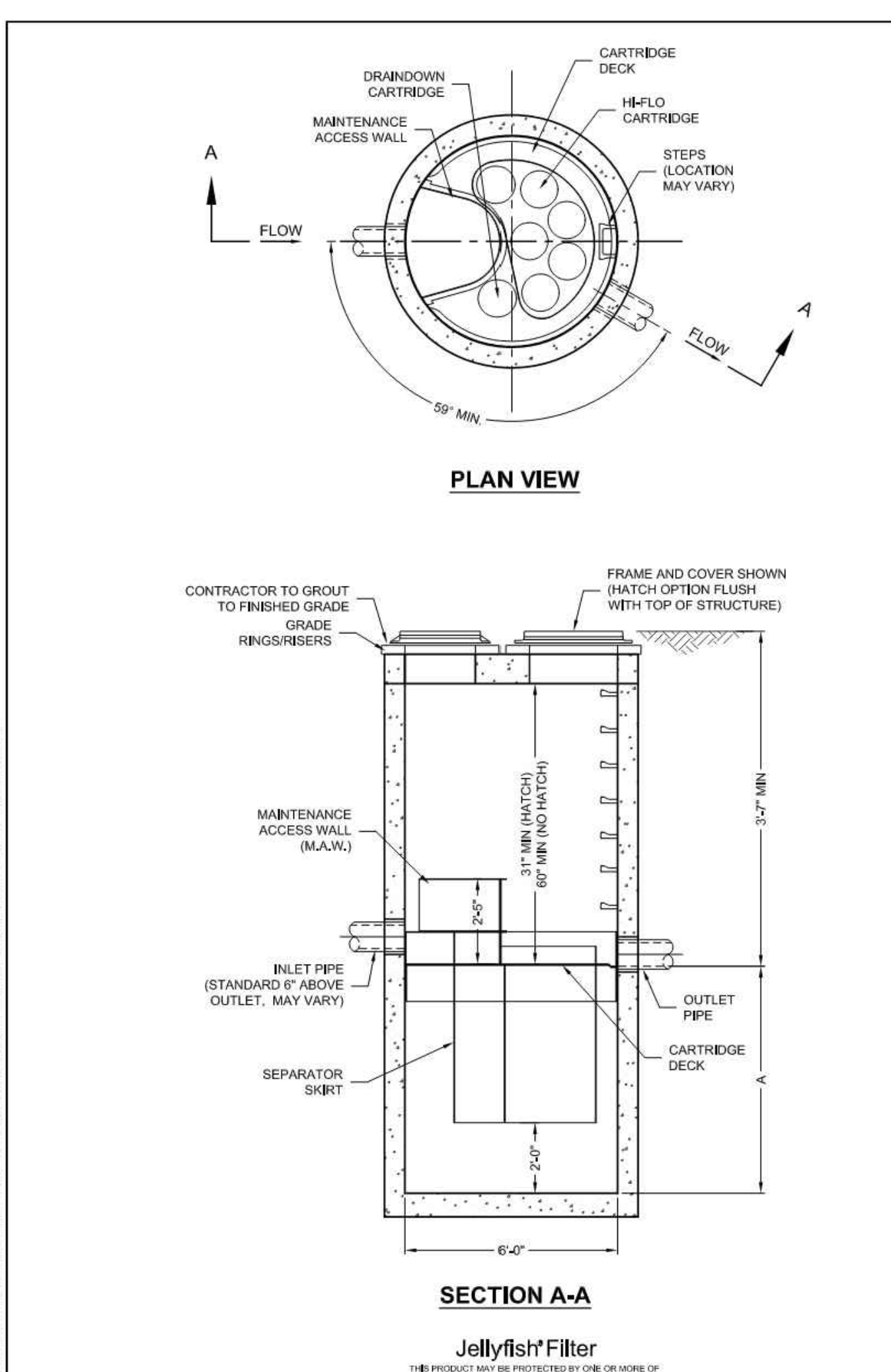


TYPE M FRAME



TYPE M INLET

DETAIL- TYPE M INLET
N.T.S.



SECTION A-A

JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. 87% MAXIMUM JELLYFISH TREATMENT CAPACITY IS 1.16 CFS. IF THE SITE CONDITIONS EXCEED 1.16 CFS AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION	48"	40"	27"	10"
CARTRIDGE DEPTH	48"	34"	42"	30"
OUTLET INVERT TO STRUCTURE INVERT (ft)	0.18 / 0.09	0.19 / 0.065	0.29 / 0.045	0.05 / 0.025
MAX. CARTS. HIGH FLOW / DRAINDOWN	8 / 1			

SITE SPECIFIC DATA REQUIREMENTS

PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE #1	-	-	-
INLET PIPE #2	-	-	-
OUTLET PIPE	-	-	-

GENERAL NOTES:

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.contech-engineered.com
- JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET ASHTO HS20 OR PER APPLICABLE JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT. ASSUMING EARTH COVER OF 2'-0" AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET ASHTO MSK LOAD RATINGS AND BE CAST WITH THE CONTECH LOGO.
- STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND ASHTO LOAD FACTOR DESIGN METHOD.
- NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

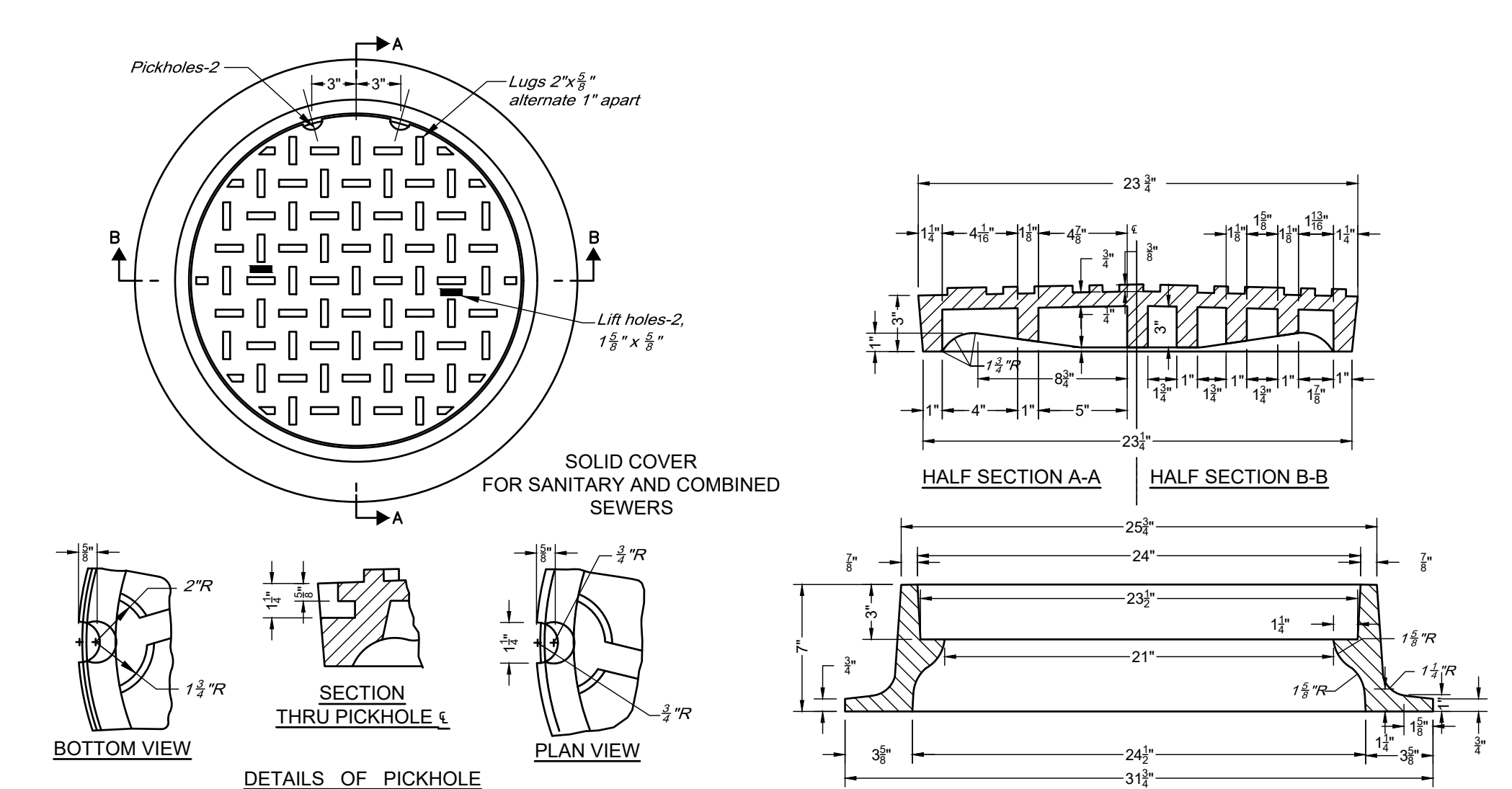
INSTALLATION NOTES:

- ANY SUBBASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT 866-746-3334.

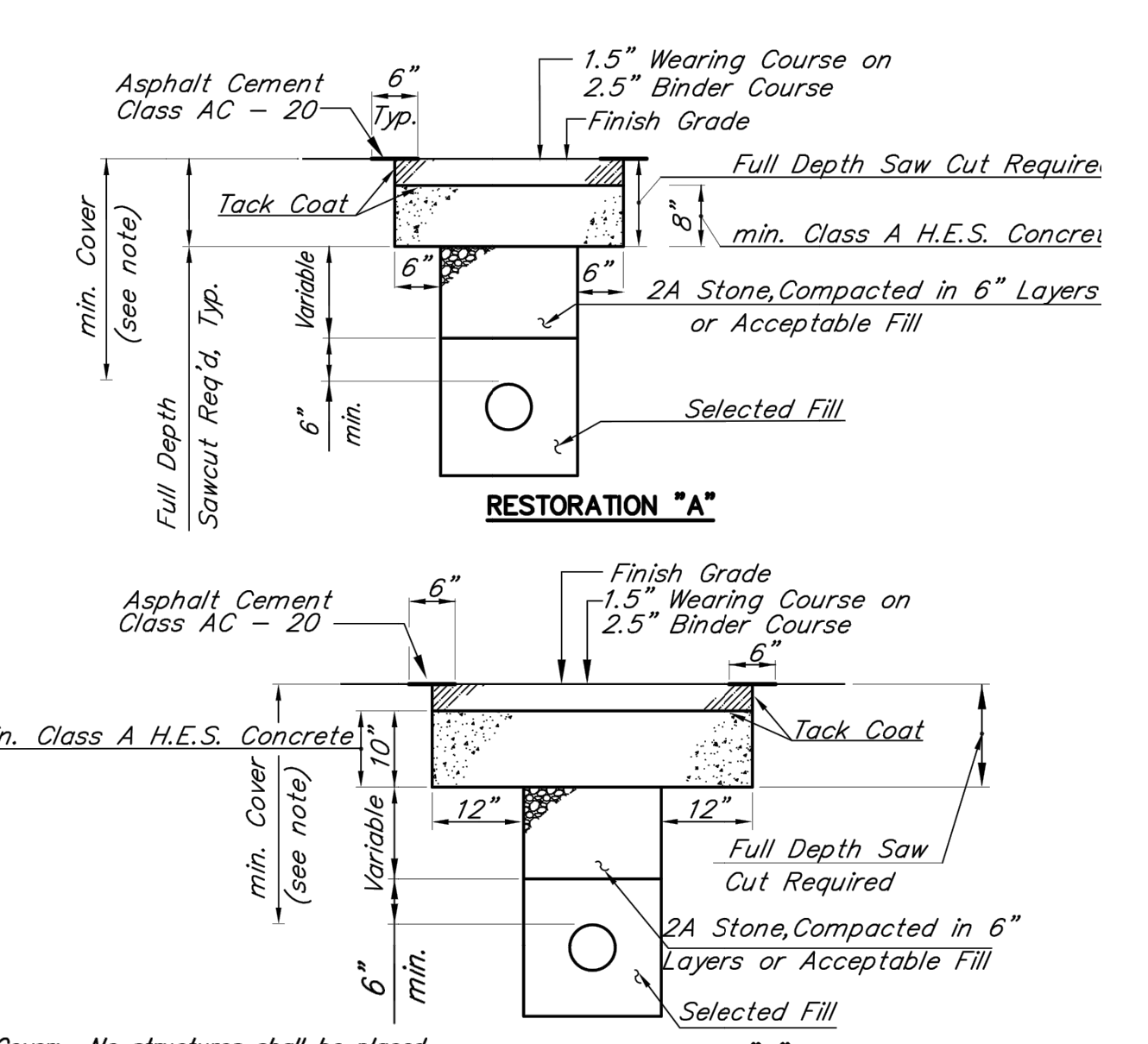
JELLYFISH JF6 STANDARD DETAIL OFFLINE CONFIGURATION

CONTECH ENGINEERED SOLUTIONS LLC
www.contech-engineered.com
9025 Center Park Dr., Suite 400, West Chester, OH 45380
937.636.1122 937.636.4700 937.636.4700 FAX

DETAIL- CONTECH JELLYFISH FILTER
N.T.S.



DETAIL- MANHOLE COVER
N.T.S.



NOTES:

- Minimum Cover: No structures shall be placed less than 24 inches below the curbside or 15 inches below the roadway.
- Replace all disturbed pavement markings with thermoplastic tape.
- Pavement Markings must be restored within 7 days of trench restoration.
- All restoration by permittee to be in accordance with the latest Streets Department standards.
- Restoration 'B' shall be used for all streets within Center City and all arterial streets outside Center City. Elsewhere, Restoration 'A' shall be used. Historic Streets shall be restored in kind.

DETAIL- TRENCH RESTORATION (ON SITE)
N.T.S.

DETAIL- TRENCH RESTORATION WITHIN RIGHT-OF-WAY
N.T.S.

REVISIONS

ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR

REALS



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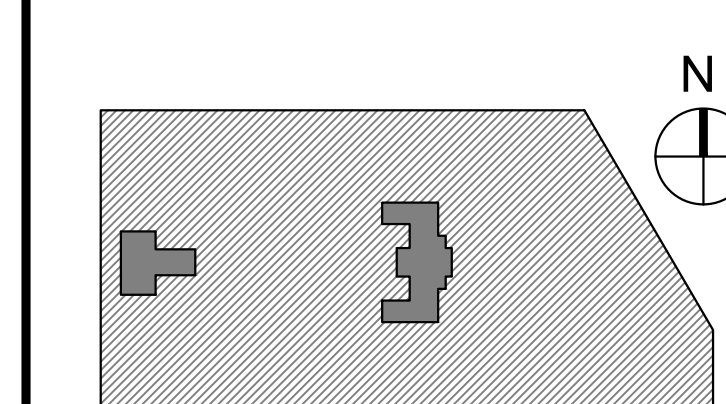
LEED CONSULTANT:
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CITY OF PHILADELPHIA
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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE

KINGSESSING RECREATION CENTER

KEY PLAN

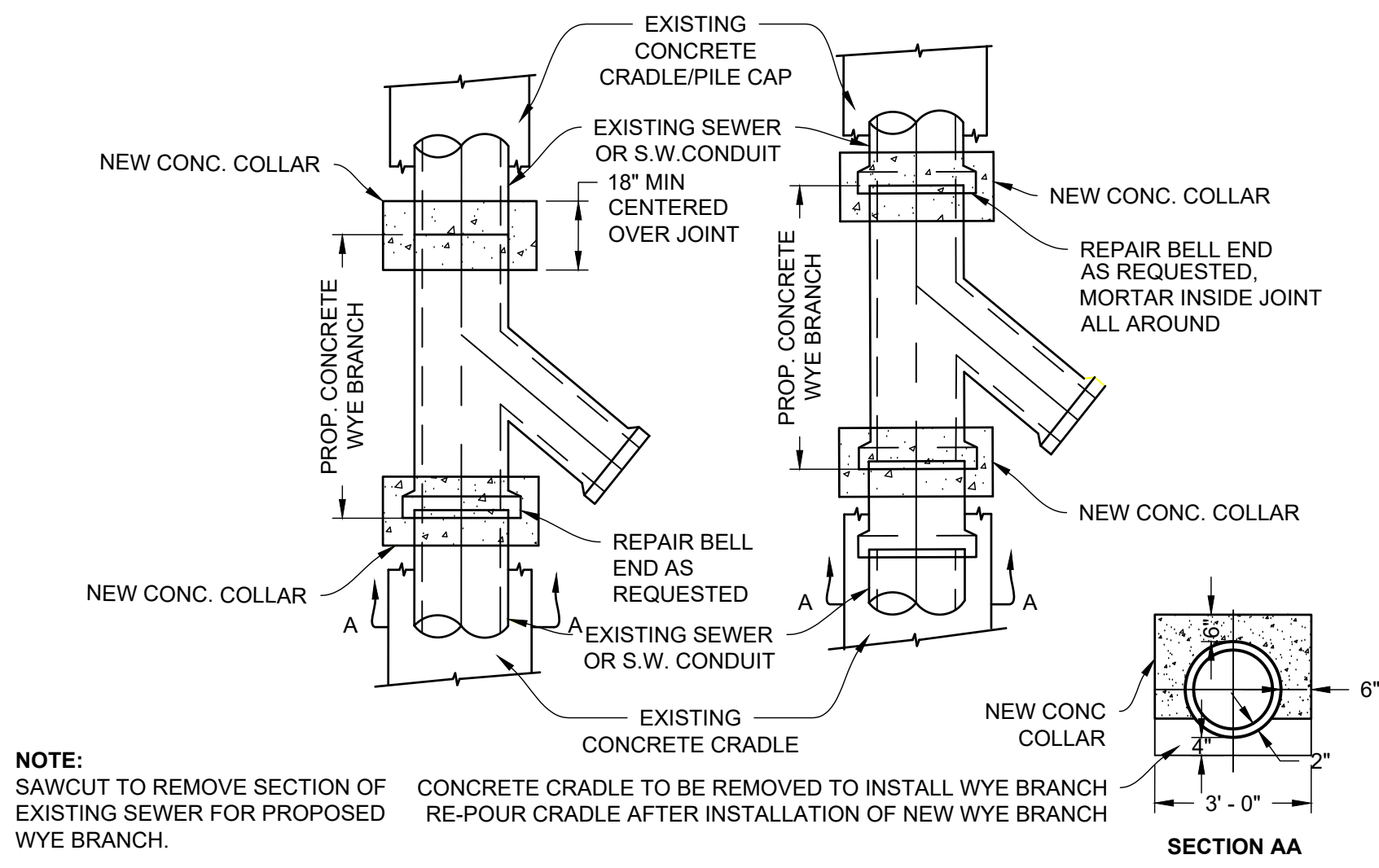


SITE DETAILS

PROJECT NO. KLMXLX21003	DRAWING NO. CS602-R.2
DATE 04/21/23	SCALE AS NOTED
DRAWN BY SDL	CHECKED BY MJM

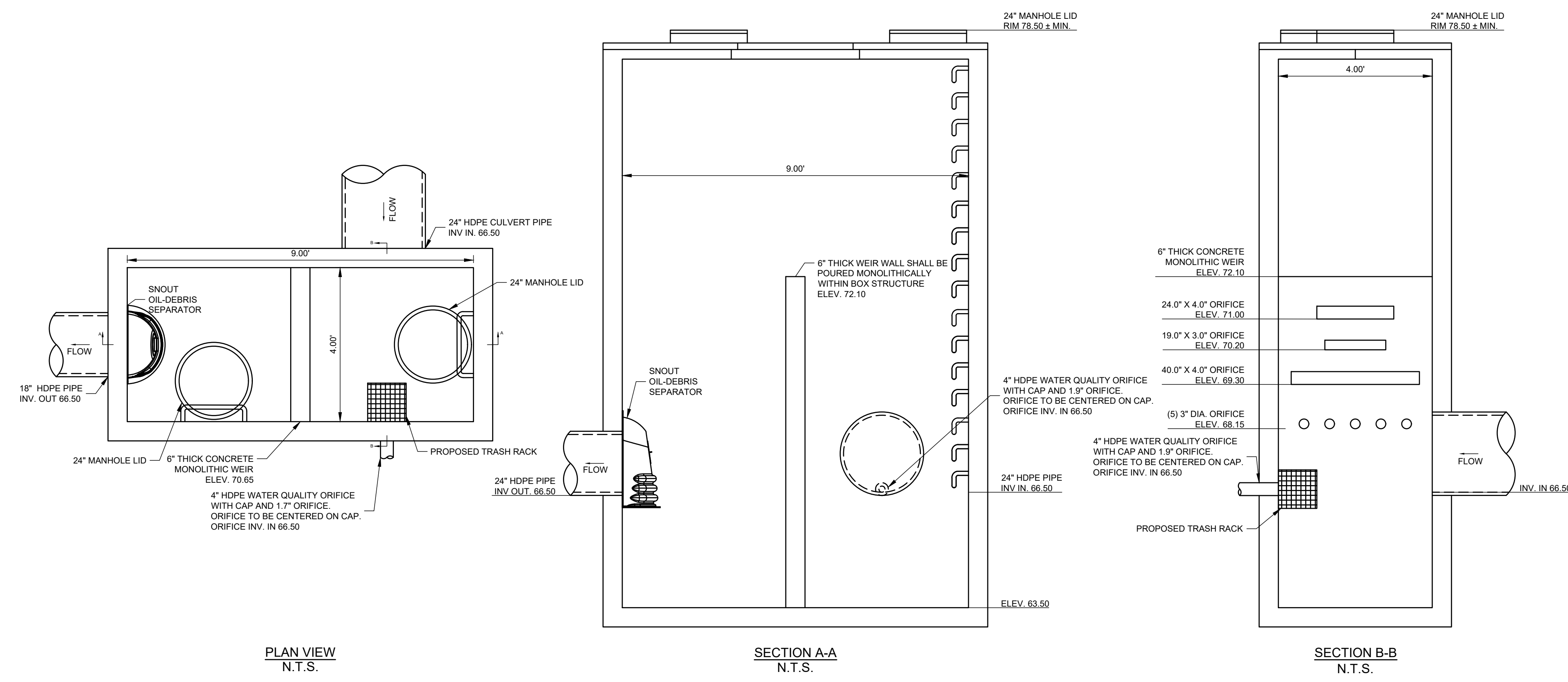
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023
NPDES PERMIT #PAC510302
PWD TRACKING #FY22-KING-6800-01

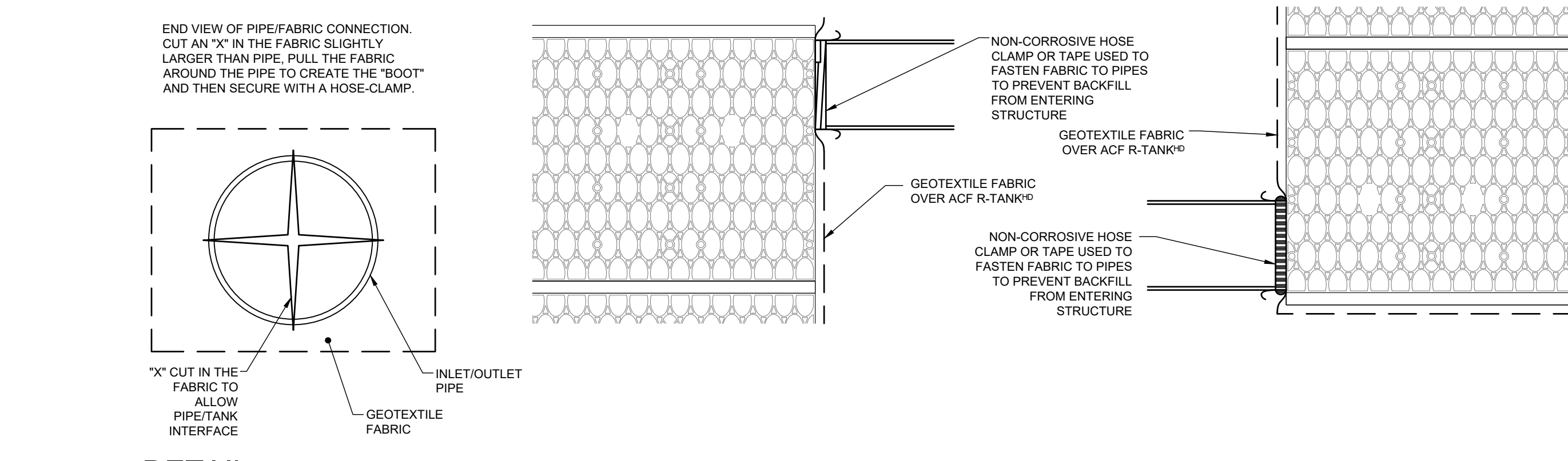


- NOTE:**
SAW-CUT TO REMOVE SECTION OF EXISTING SEWER FOR PROPOSED WYE BRANCH.
CONCRETE CRADLE TO BE REMOVED TO INSTALL WYE BRANCH RE-POUR CRADLE AFTER INSTALLATION OF NEW WYE BRANCH.
- WYE BRANCH INSTALLATION PROCEDURE:**
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING THE FLOW DURING THE CONNECTION.
 - THE CONTRACTOR IS TO OBTAIN INFORMATION ABOUT THE FLOW RATE PRIOR TO COMMENCING THE CONNECTION. THIS MAY BE OBTAINED BY OPENING A MANHOLE AND MEASURING THE FLOW (FLOW CAN VARY).
 - FOR HIGH FLOW RATE THE CONTRACTOR SHALL SUBMIT A BY-PASS METHOD FOR APPROVAL.
 - FOR LOW FLOW RATE THE CONTRACTOR MAY BE ABLE TO DIRECT THE FLOW THROUGH THE OPENED SECTION.
 - THE CONTRACTOR MUST SELECT THE PROPER SIZE WYE AND ALIGN THE INVERTS.
 - EXCAVATE SAFELY TO EXPOSE THE EXISTING SEWER PIPE WITHOUT DAMAGING IT.
 - EXCAVATE A DITCH WIDE ENOUGH TO ACCOMMODATE THE WYE AND THE CUT-OFF WALLS.
 - CONTRACTORS SHOULD PERFORM THE CONNECTION IN A SAFE MANNER AND PER OSHA REGULATIONS.
 - SHORING SHALL BE INSTALLED IN DITCHES AND TRENCHES AS PER OSHA REGULATIONS OR AS REGULATED BY PWD. VIOLATION OF THIS PROVISION WILL RESULT IN A STOP WORK ORDER AND/OR PENALTIES PRESCRIBED BY LAW. (REFER TO PHILADELPHIA PLUMBING CODE 2004 SECTION P-1503.2 SHORING).
 - FOR CONNECTIONS TO BRICK SEWER, CONSTRUCT A 2-FOOT WIDE BY 8-INCH HIGH, CONCRETE CUTOFF WALL TO THE SPRING LINE, ON BOTH SIDES OF THE WYE, 12-INCH FROM THE LOCATION TO CUT THE SEWER PIPE.
 - USE A MINIMUM OF 3,500 PSI CONCRETE FOR THE CONCRETE CUTOFF WALL.
 - ALLOW AT LEAST 24 HOURS FOR THE CONCRETE TO CURE BEFORE CUTTING THE SEWER PIPE.
 - CUT THE SEWER PIPE SO THAT THE WYE SECTION WILL FIT IN TIGHTLY.
 - PREVENT ANY DEBRIS FROM FLOWING INTO THE SEWER.
 - CLEAN THE BOTTOM OF THE OPENED AREA FROM LOOSE AND SOFT SOIL IF NO CRADLE, AND PLACE STONE IN THE MIDDLE LEAVING 12 INCH BELOW THE JOINTS FOR CONCRETE COLLAR.
 - INSERT THE WYE SECTION IN PLACE IMMEDIATELY. SEAL THE JOINTS AND CONSTRUCT A 24-INCH CONCRETE COLLAR AROUND BOTH JOINTS.
 - USE A MINIMUM OF 3,500 PSI CONCRETE COLLAR, 12 INCH DEEP AND EXTENDING 24 INCH WIDE AROUND THE JOINT.
 - ALLOW AT LEAST 24 HOURS FOR THE CONCRETE TO CURE BEFORE BACKFILLING.
 - ANY OTHER PIPELINE EXPOSED AND UNDERMINED DURING THIS OPERATION MUST BE SUPPORTED IMMEDIATELY AND BACKFILLED WITH CONTROLLED LOW STRENGTH MATERIAL (CLSM) AFTER THE COMPLETION OF THE CONNECTION.

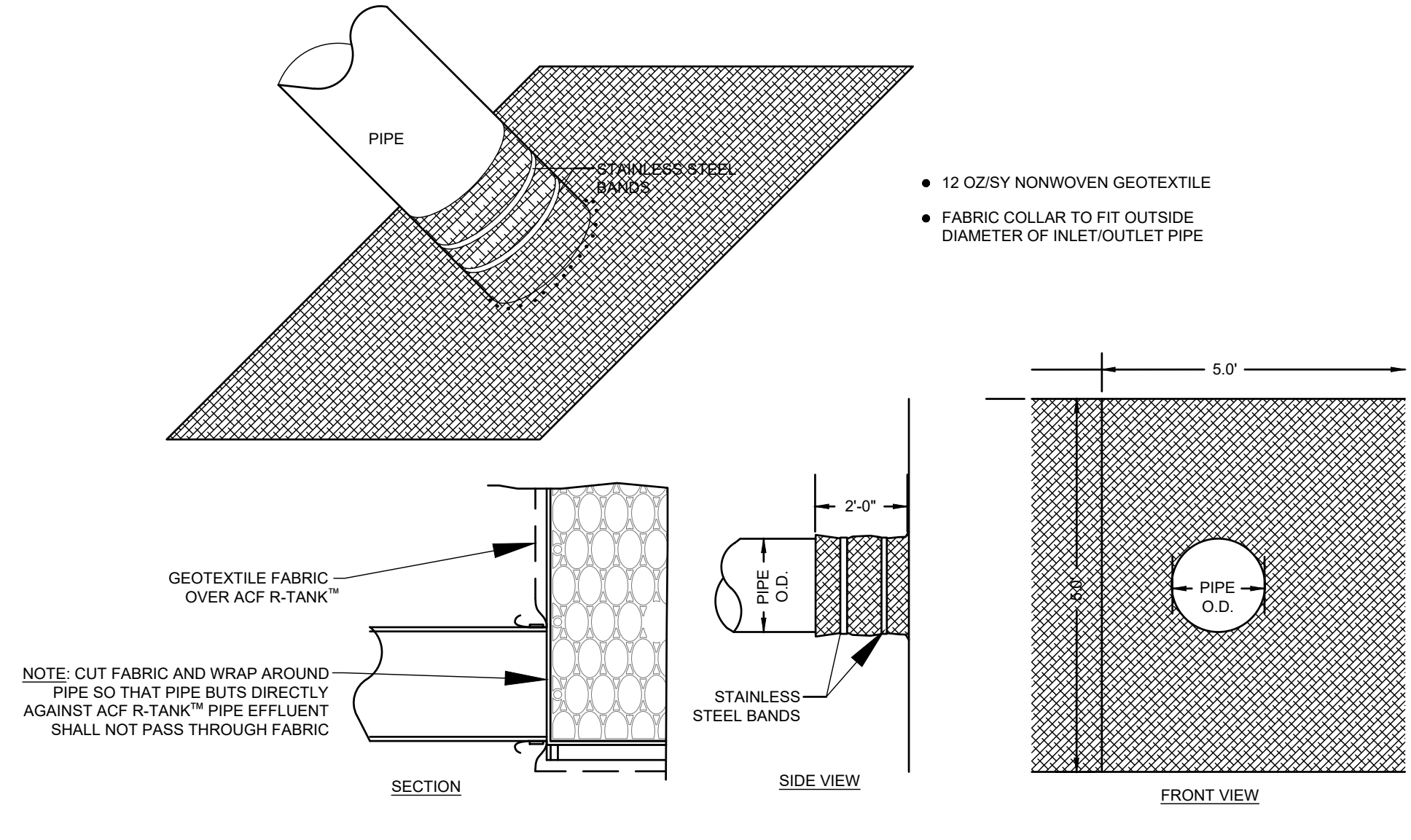
DETAIL- WYE CONNECTION
N.T.S.



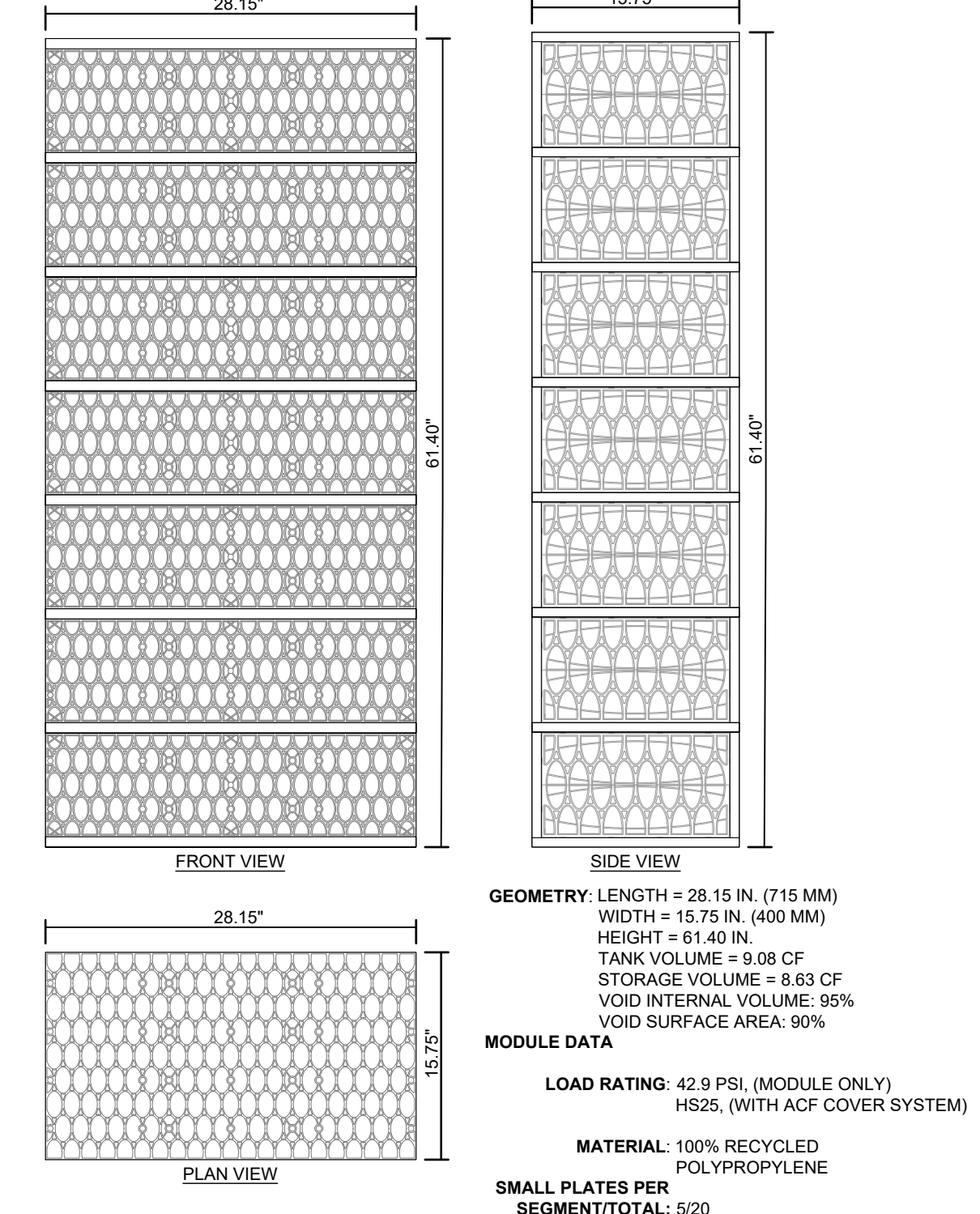
DETAIL- UNDERGROUND BASIN - OUTLET CONTROL STRUCTURE
1" = 2'



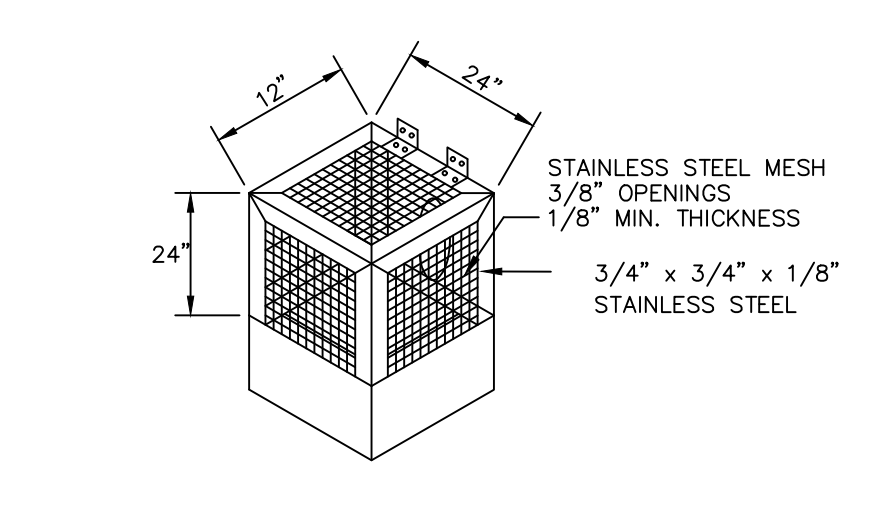
DETAIL- R-TANK INLET/OUTLET
N.T.S.



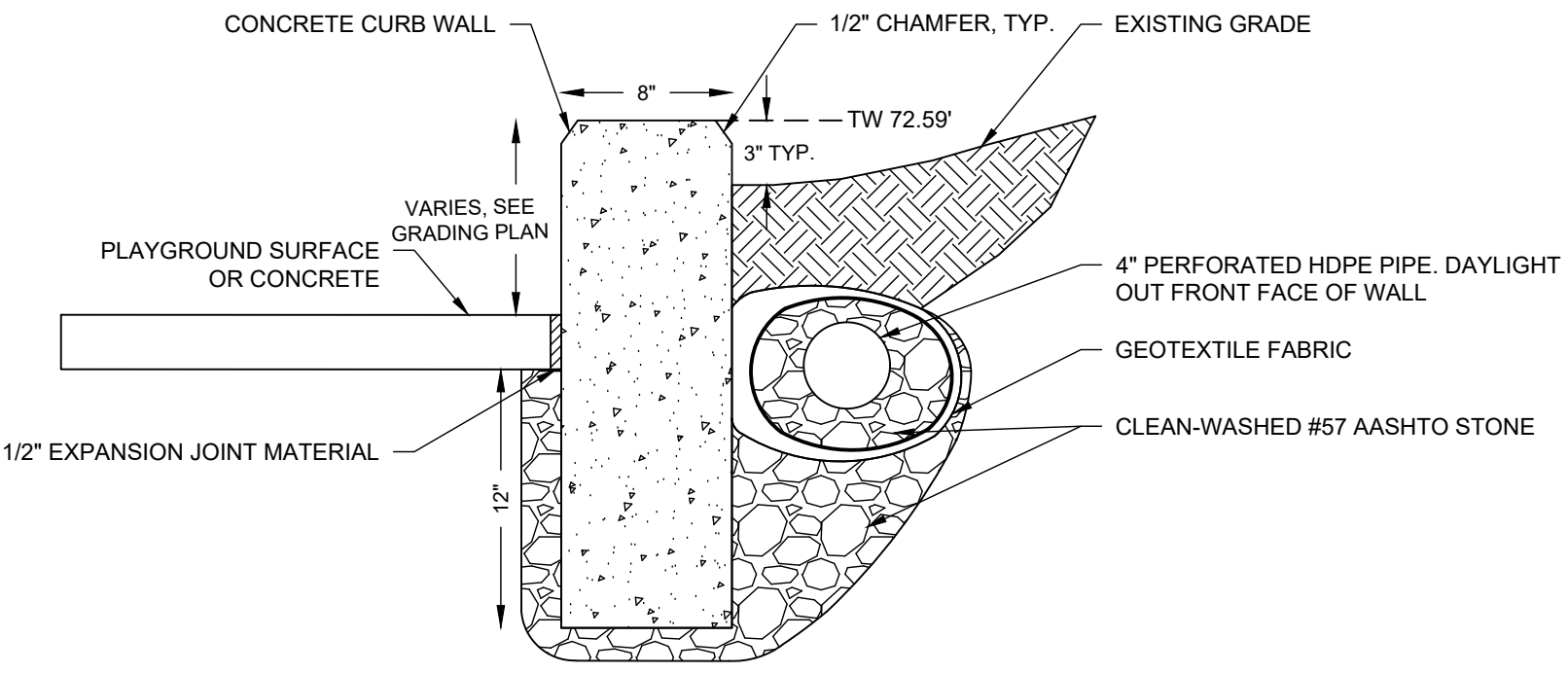
DETAIL- R-TANK PIPE BOOT
N.T.S.



DETAIL- RTANK SD 7 MODULE
N.T.S.



DETAIL- ORIFICE PROTECTION
N.T.S.



DETAIL- CONCRETE CURB WALL AT PLAYGROUND
N.T.S.

REVISIONS		
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REVIEWED BY:
PROJECT COORDINATOR:
REALS:



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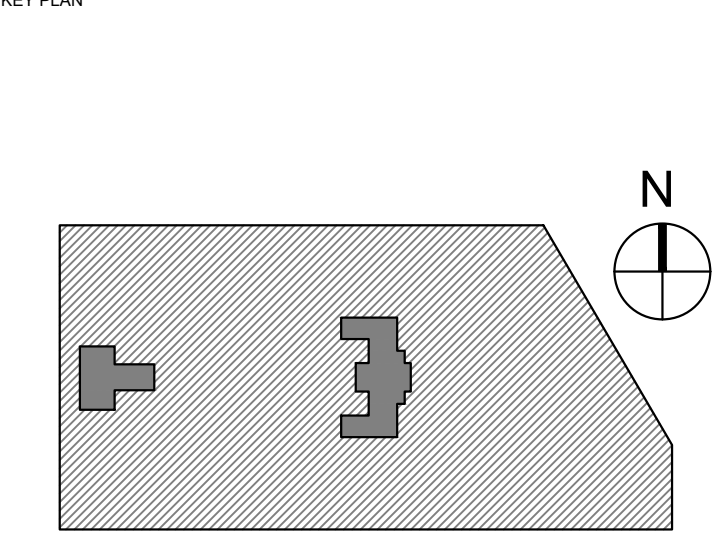
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PROJECT TITLE
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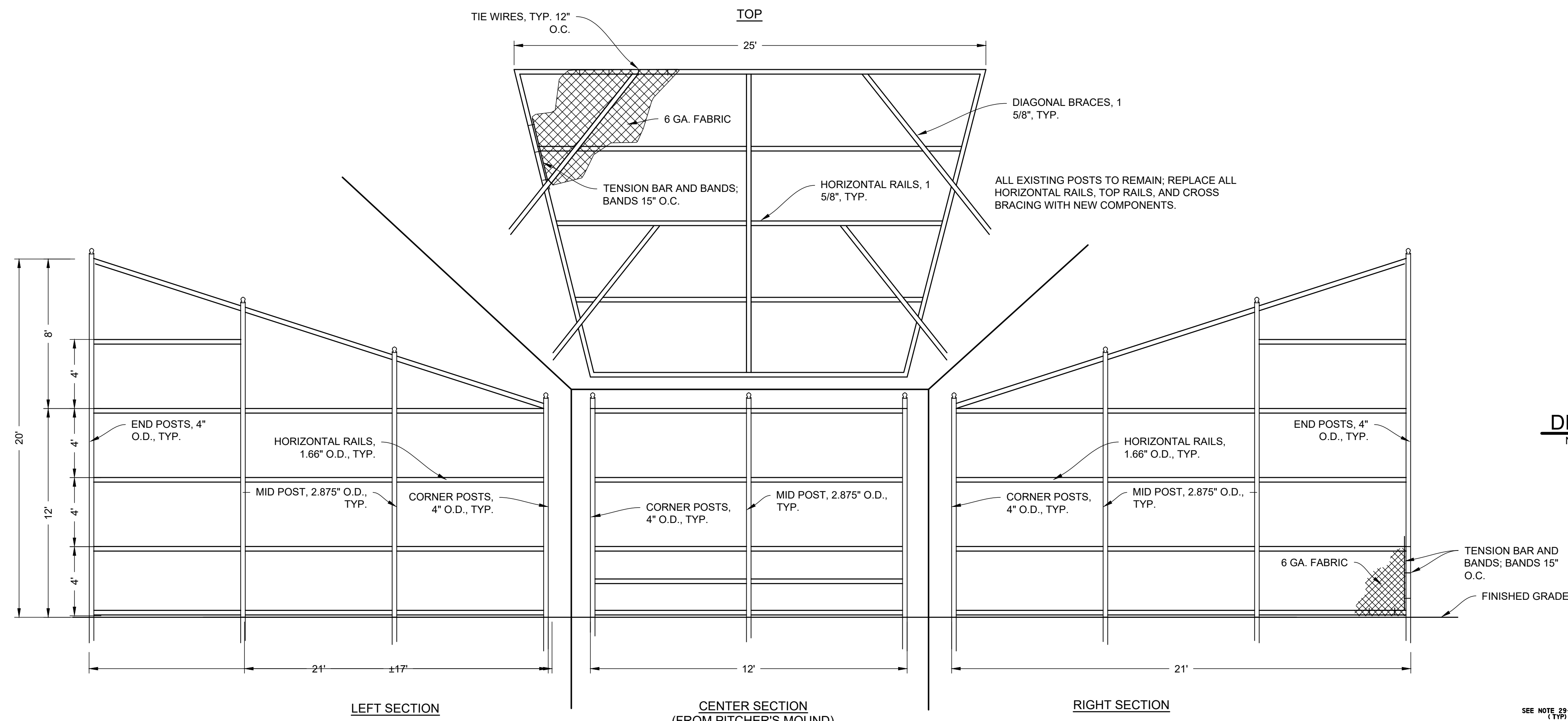


DRAWING TITLE
SITE DETAILS

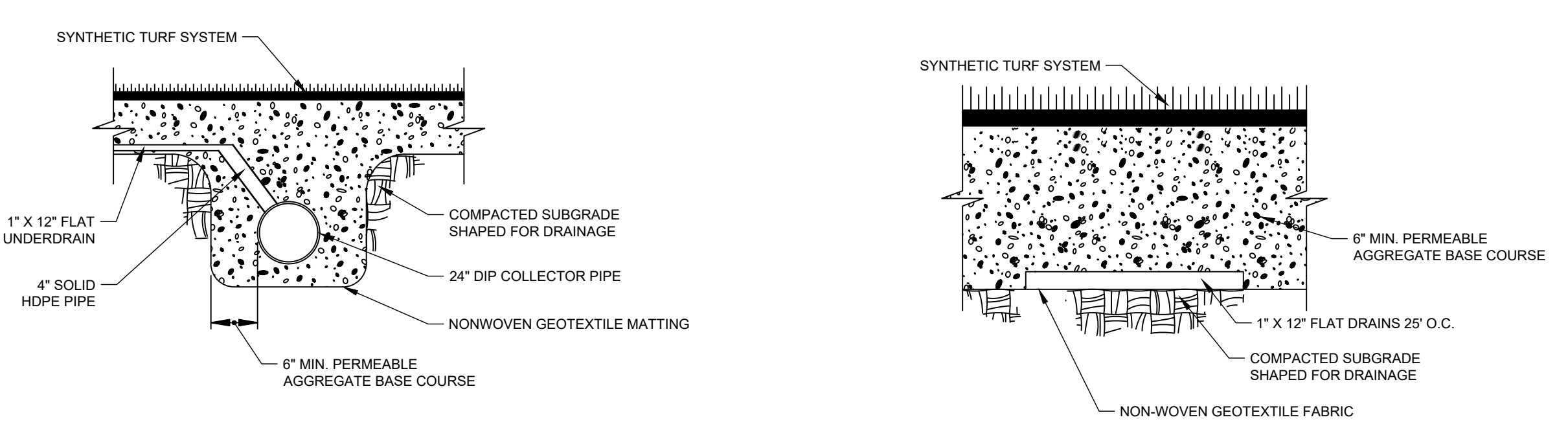
PROJECT NO. KLMLX21003	DRAWING NO. CS603-R.2
DATE 04/21/23	SCALE AS NOTED
DRAWN BY SDJ	CHECKED BY MJM

PACKAGE 2 - IFB
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06/02/2023
NPDES PERMIT #PAC510302
PWD TRACKING #FY22-KING-6800-01

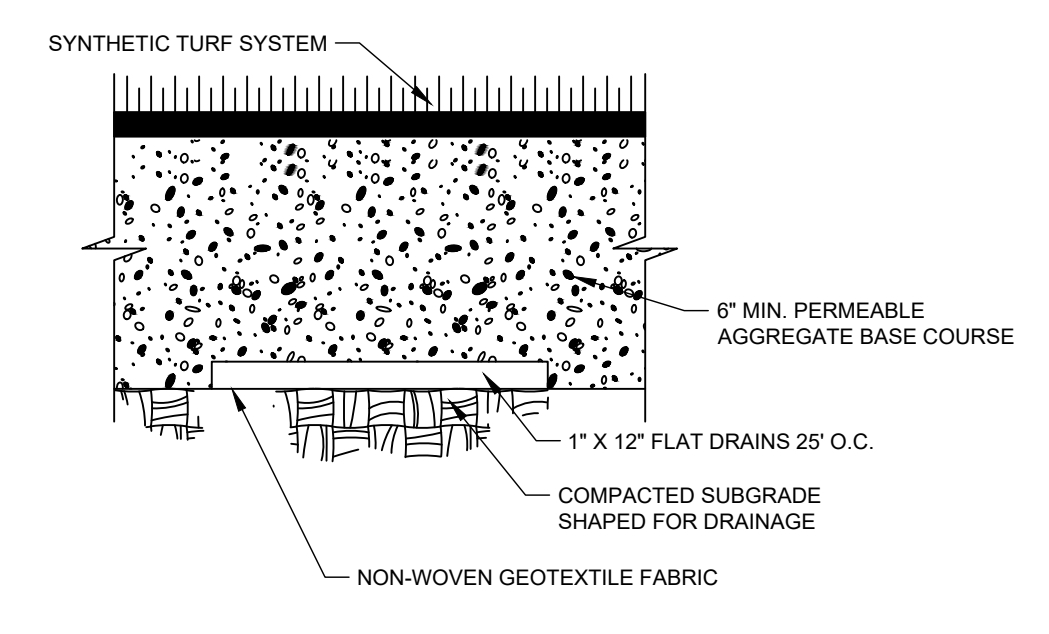
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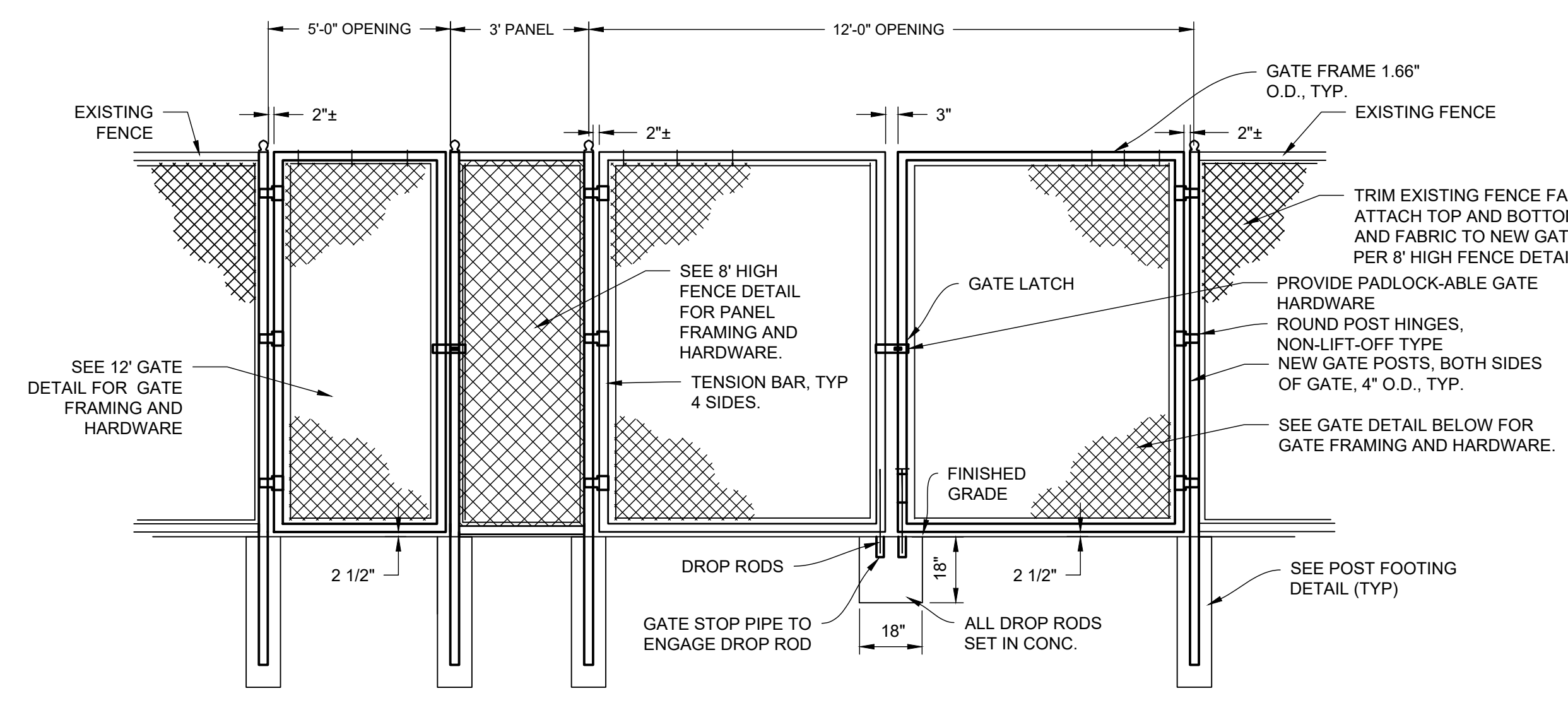
DETAIL- CHAIN LINK BACKSTOP FENCE
N.T.S.



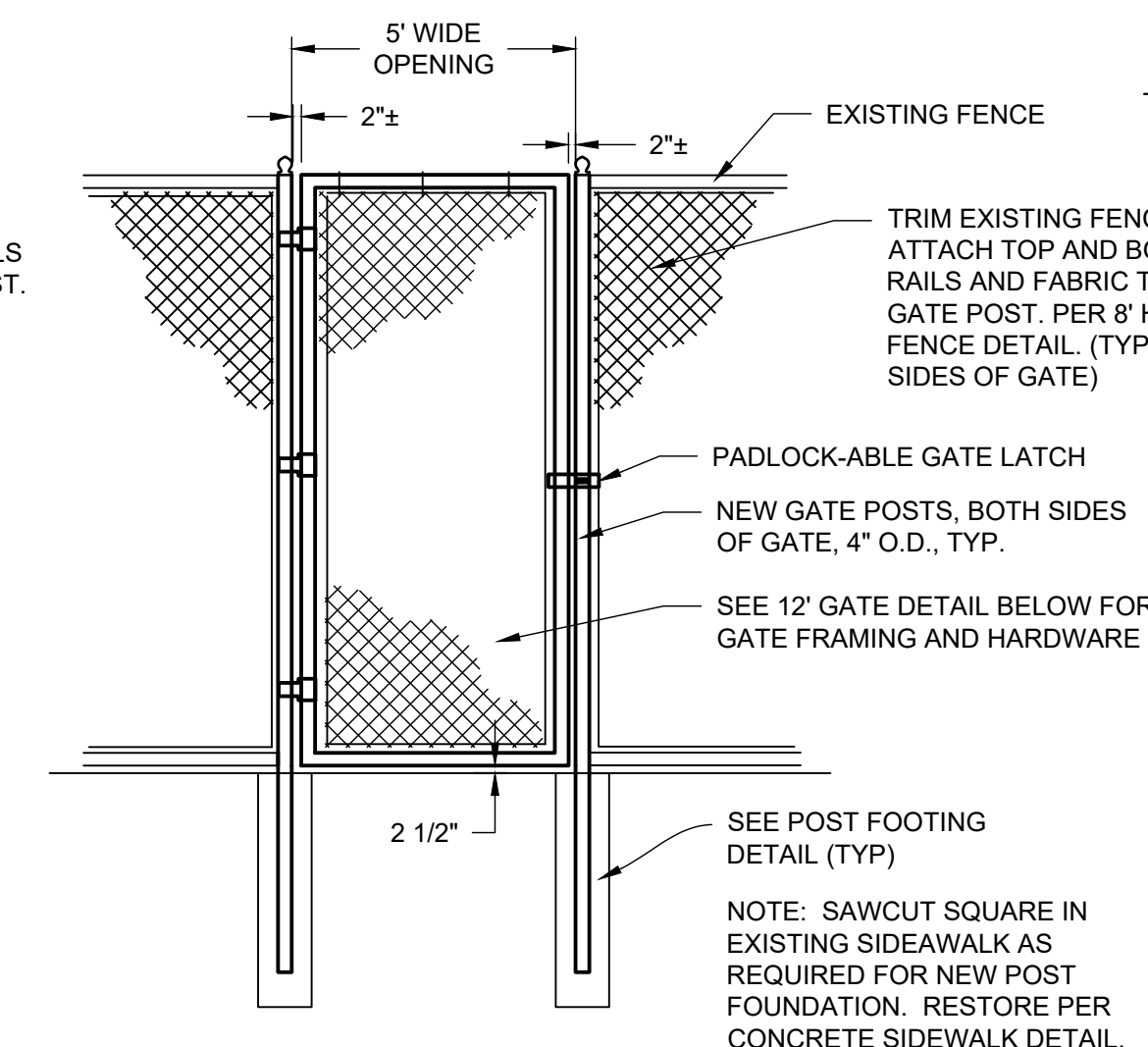
DETAIL- SYNTHETIC TURF FIELD COLLECTOR DRAIN
N.T.S.



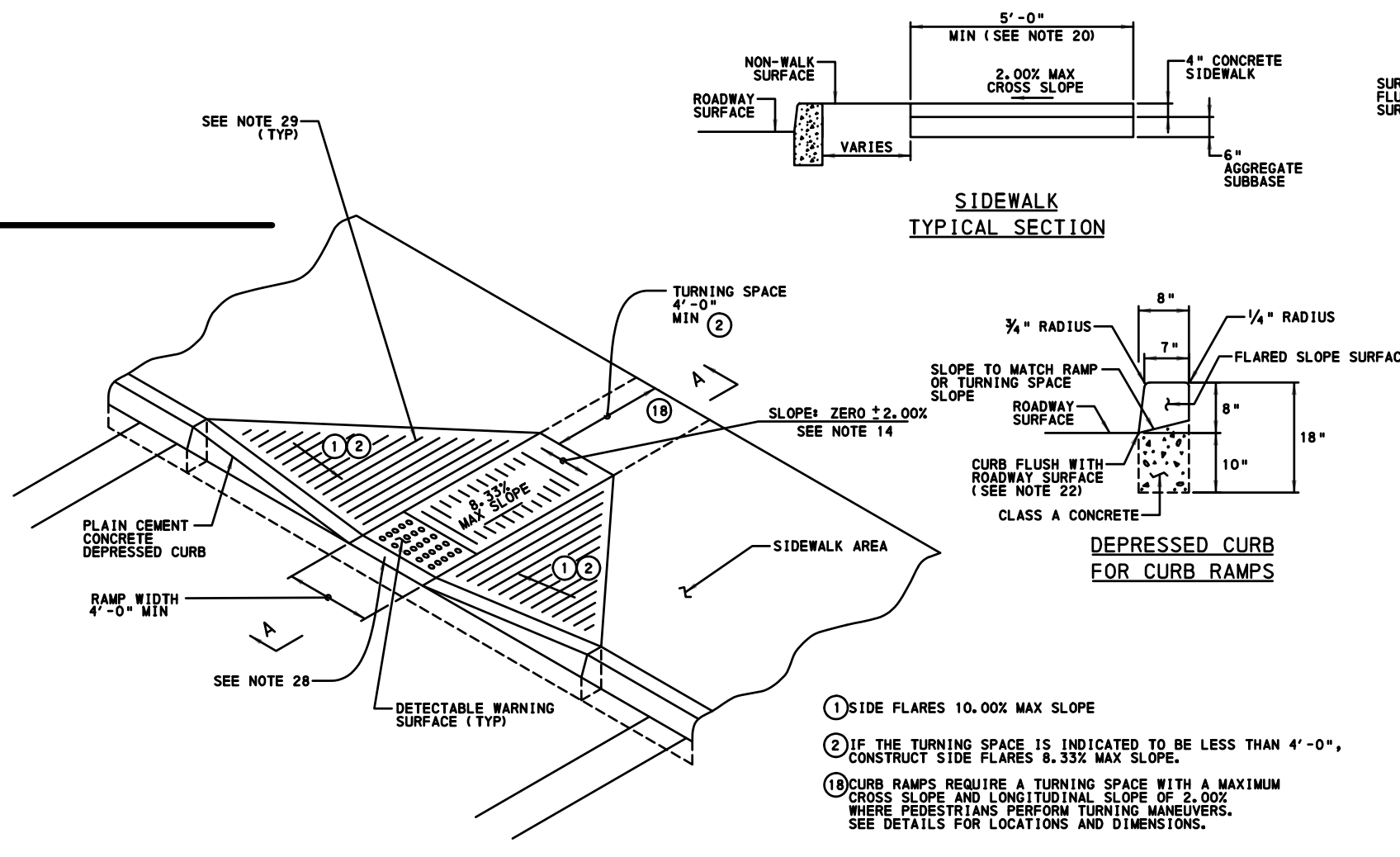
DETAIL- SYNTHETIC TURF FIELD FLAT UNDER DRAIN
N.T.S.



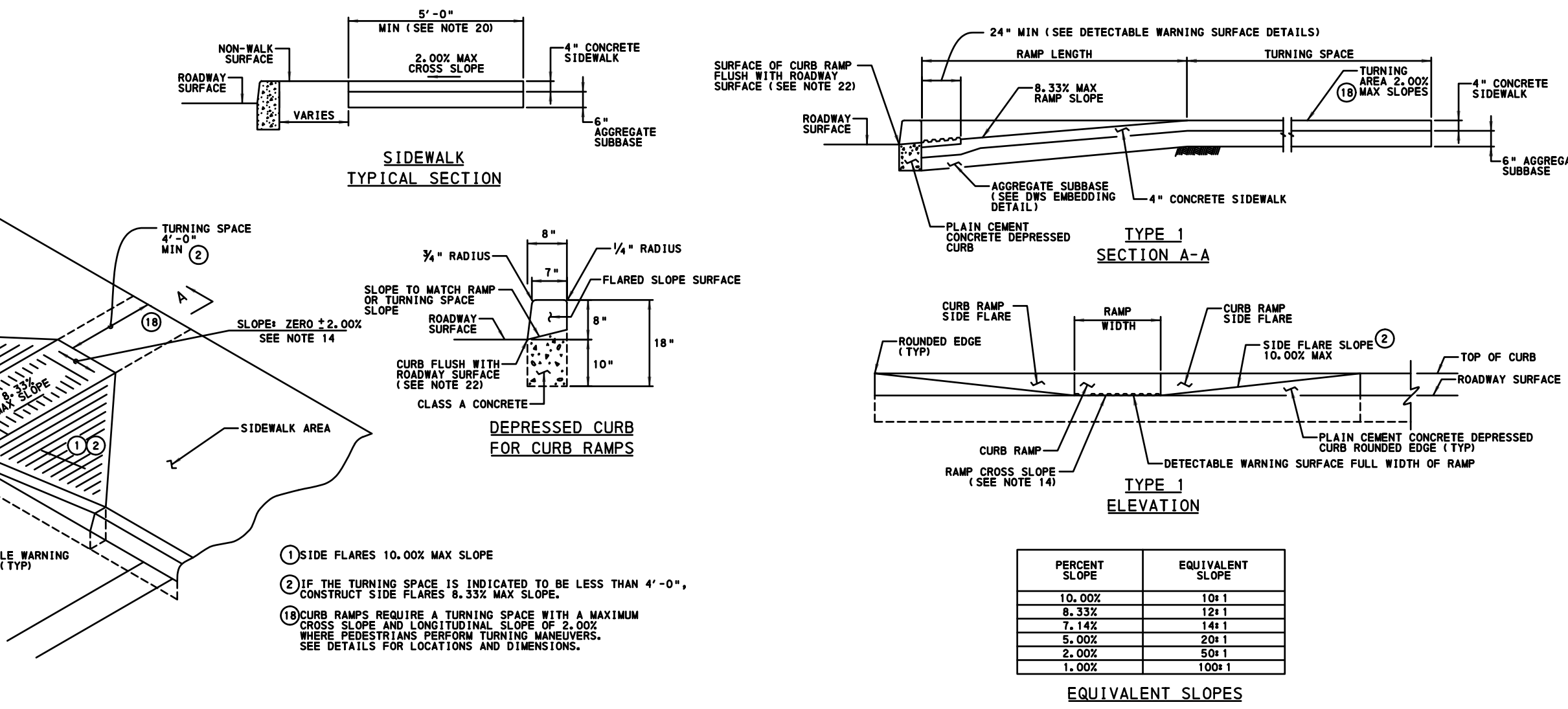
DETAIL- 12' WIDE VEHICLE GATE & 5' WIDE PEDESTRIAN GATE
N.T.S.



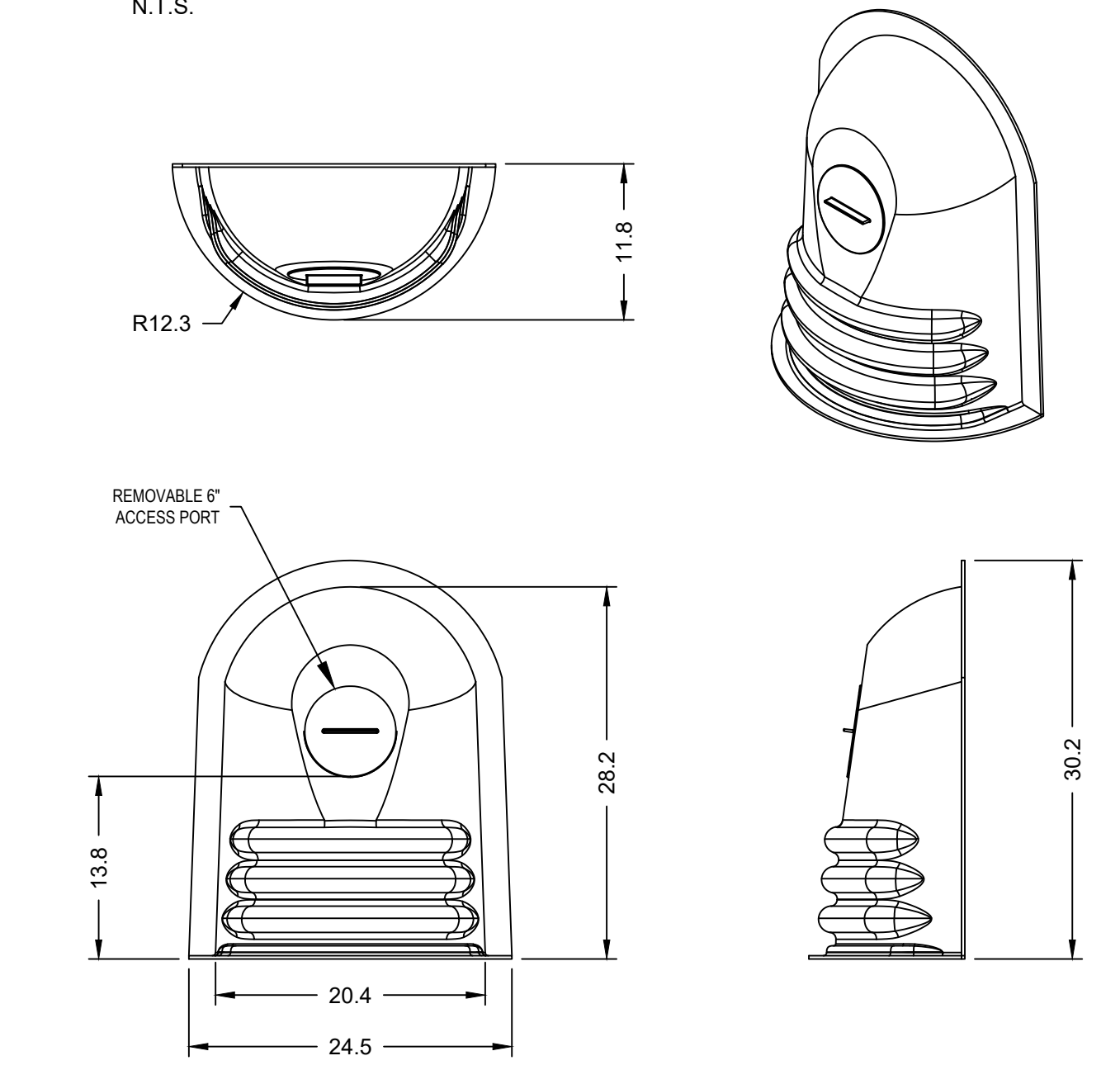
DETAIL- SINGLE GATE
N.T.S.



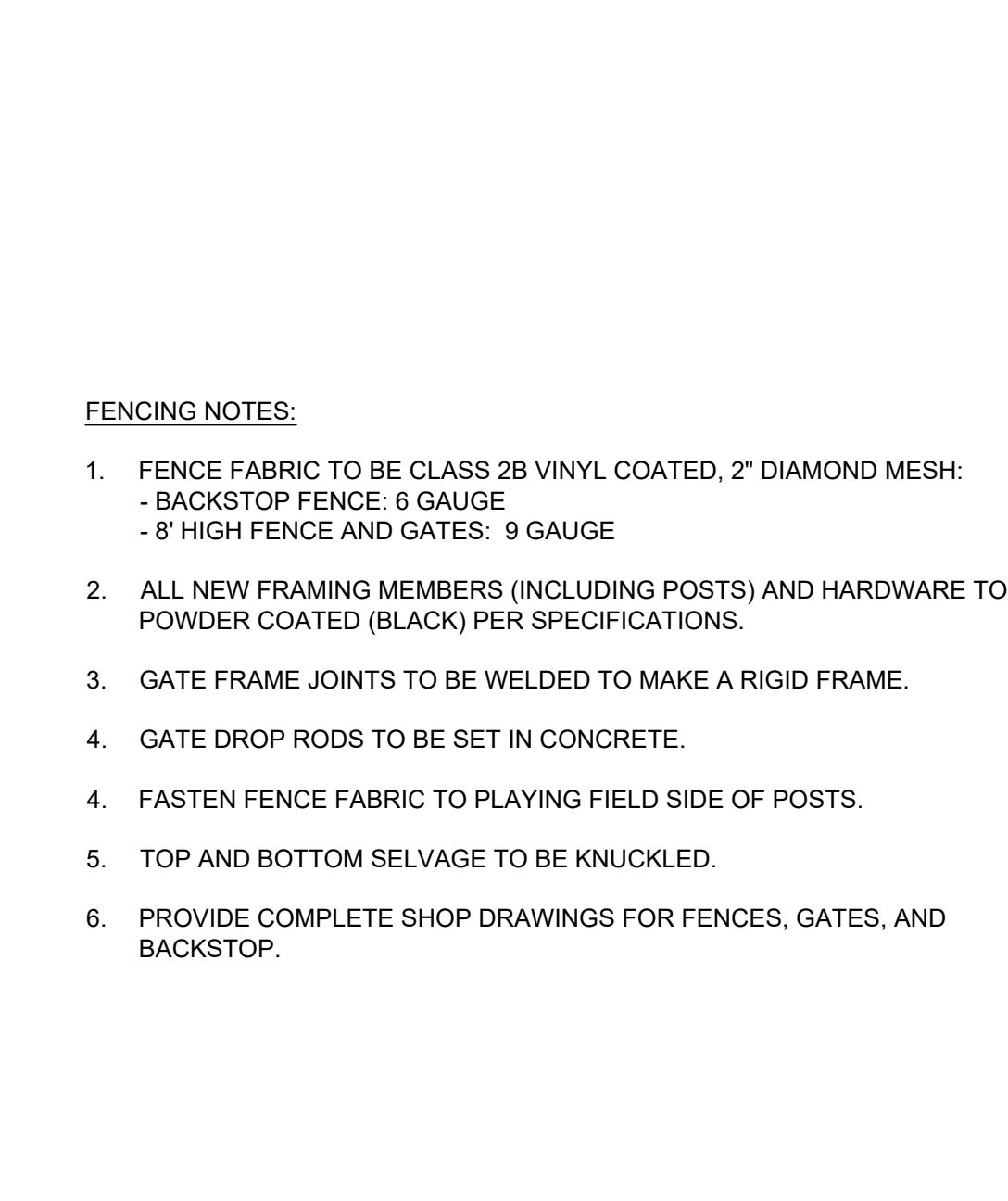
DETAIL- TYPE 1 CURB RAMP
N.T.S.



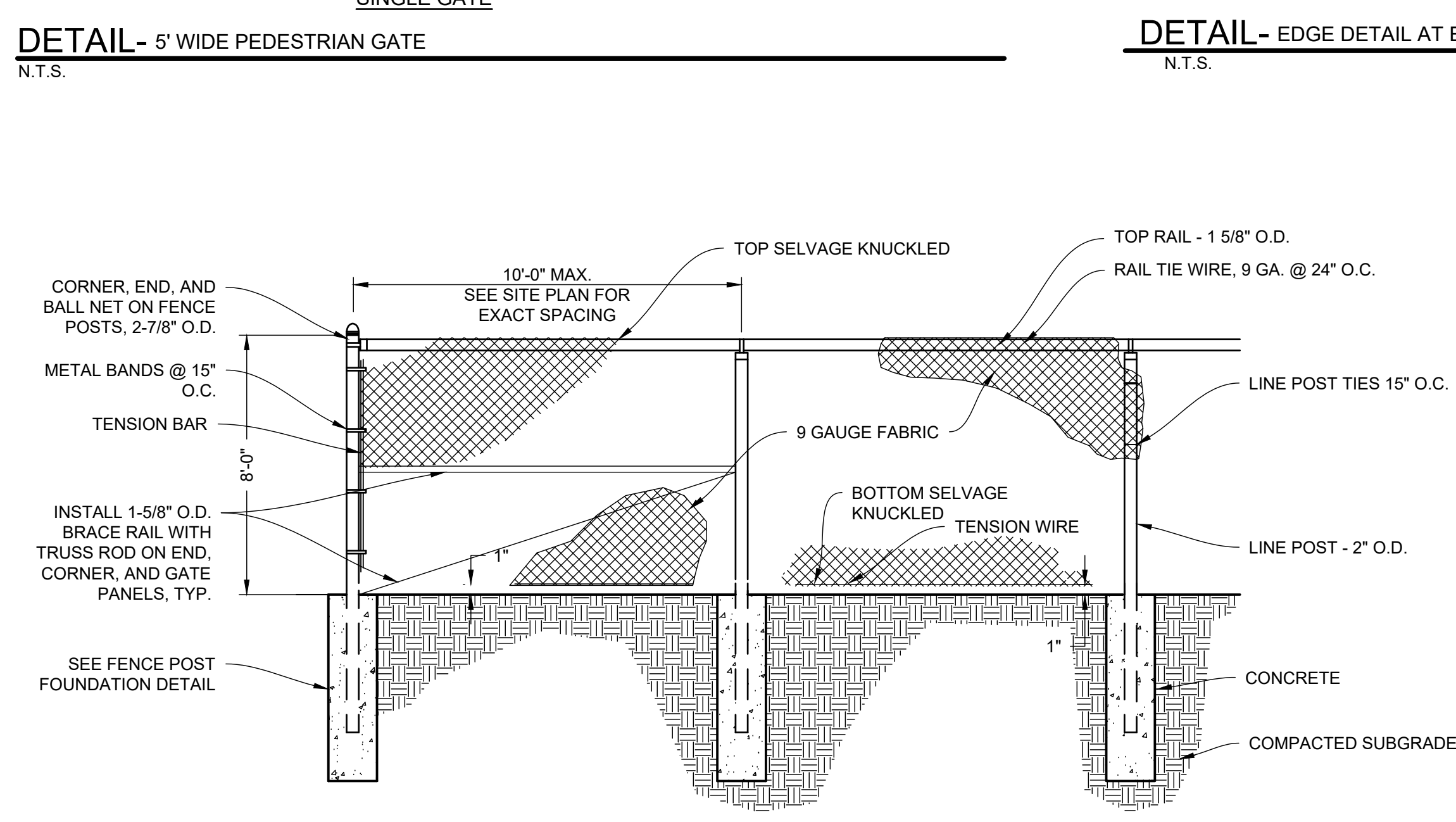
DETAIL- EDGE DETAIL AT EXISTING PAVING WALLS
N.T.S.



DETAIL- 18\"/>



DETAIL- CHAIN LINK FENCE
N.T.S.



DETAIL- 5' WIDE PEDESTRIAN GATE
N.T.S.



DETAIL- 5' WIDE PEDESTRIAN GATE
N.T.S.

REVISIONS		
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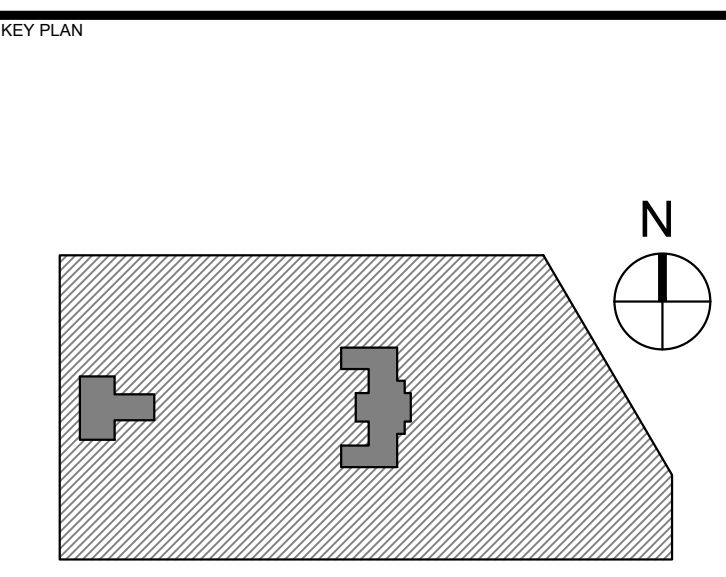
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PROJECT TITLE
KINGSESSING RECREATION CENTER



DRAWING TITLE
SITE DETAILS

PROJECT NO. KLMLX21003	DRAWING NO. CS604-R.2
DATE 04/21/23	SCALE AS NOTED
DRAWN BY SDL	CHECKED BY MJM

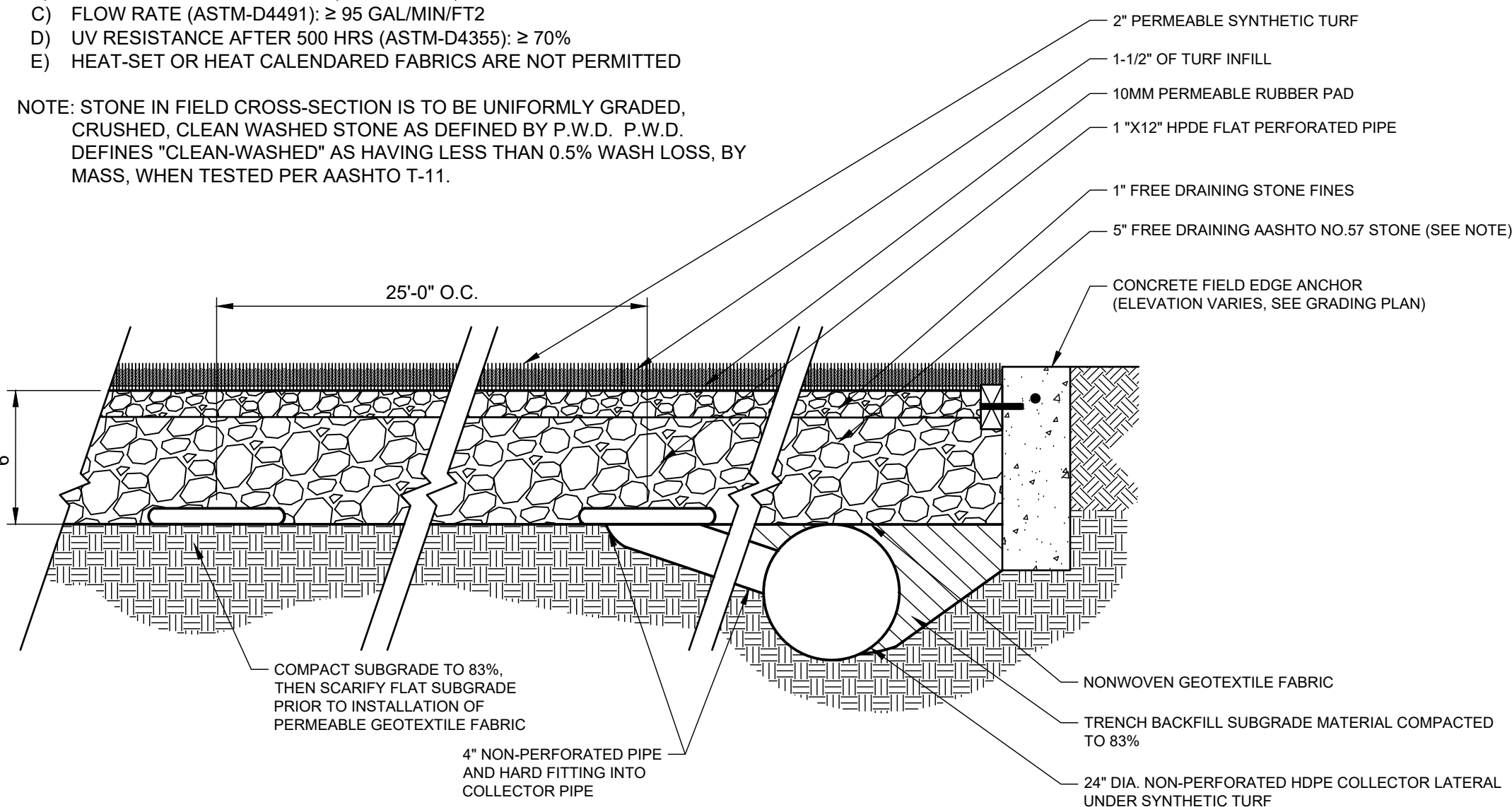
PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023
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PWD TRACKING #FY22-KING-6800-01

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NOTE: GEOTEXTILE IS TO CONSIST OF POLYPROPYLENE FIBERS AND TO MEET THE FOLLOWING SPECIFICATIONS:

- A) GRAB TENSILE STRENGTH (ASTM-D4632): ≥ 120 LBS
- B) MULLEN BURST STRENGTH (ASTM-D3786): ≥ 225 PSI
- C) FLOW RATE (ASTM-D4491): ≥ 95 GAL/MIN/FT²
- D) UV RESISTANCE AFTER 500 HRS (ASTM-D4355): ≥ 70%
- E) HEAT-SET OR HEAT CALENDARED FABRICS ARE NOT PERMITTED

NOTE: STONE IN FIELD CROSS-SECTION IS TO BE UNIFORMLY GRADED, CRUSHED, CLEAN WASHED STONE AS DEFINED BY P.W.D. P.W.D. DEFINES "CLEAN-WASHED" AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER AASHTO T-11.

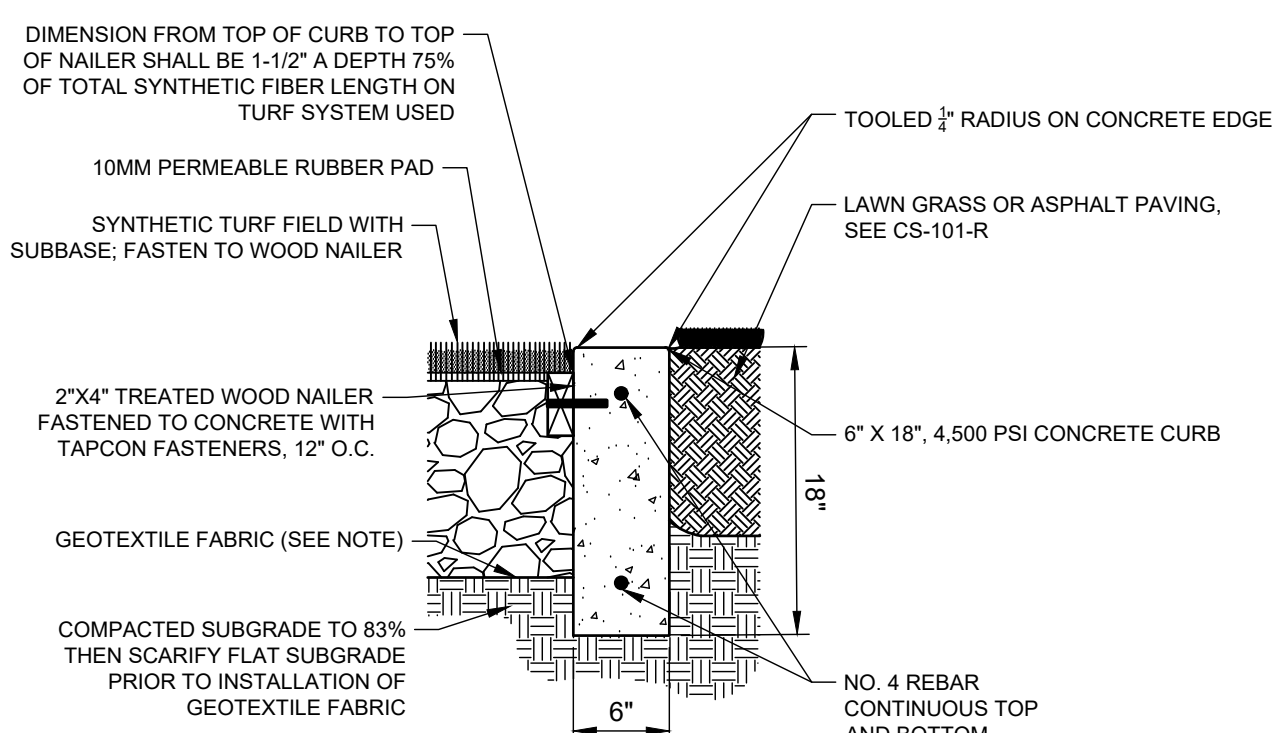


DETAIL- SYNTHETIC FIELD UNDERDRAINAGE

N.T.S.

DETAIL- CLEANOUT PORTAL IN SYNTHETIC TURF

N.T.S.



DETAIL- CONCRETE FIELD EDGE ANCHOR

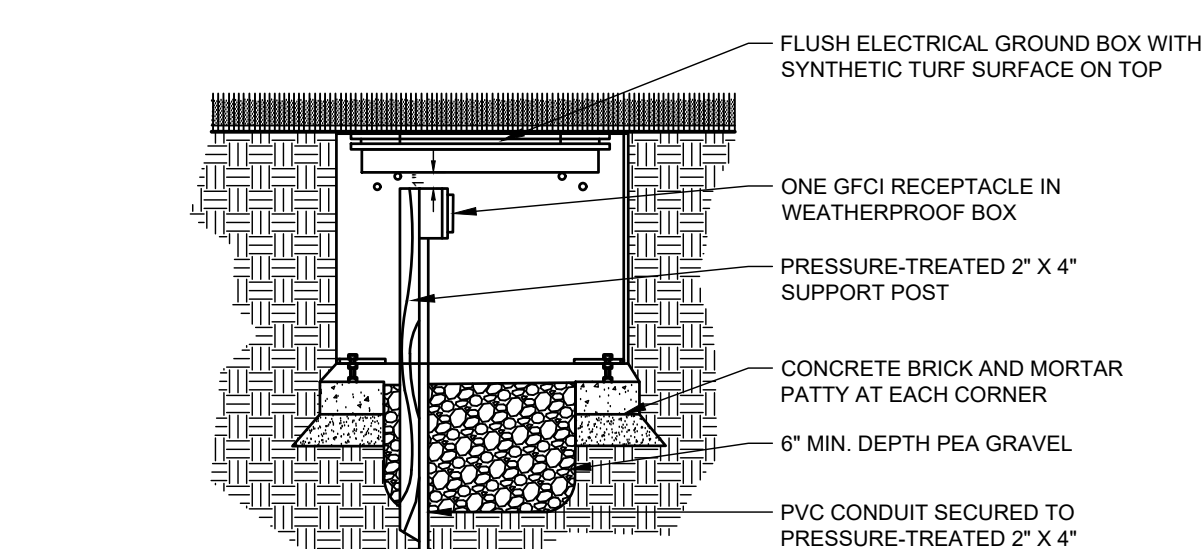
N.T.S.

NOTE: ALL TREATED WOOD TO BE NON-CCA. TOP OF TURF INFILL TO BE FLUSH WITH TOP OF CONCRETE CURB. EXPANSION JOINTS TO BE INSTALLED AT INTERVALS NOT TO EXCEED 160" - SAWCUT CONTROL JOINTS SHALL OCCUR EVERY 20".

NOTE: NON-WOVEN GEOTEXTILE IS TO CONSIST OF POLYPROPYLENE FIBERS AND TO MEET THE FOLLOWING SPECIFICATIONS:

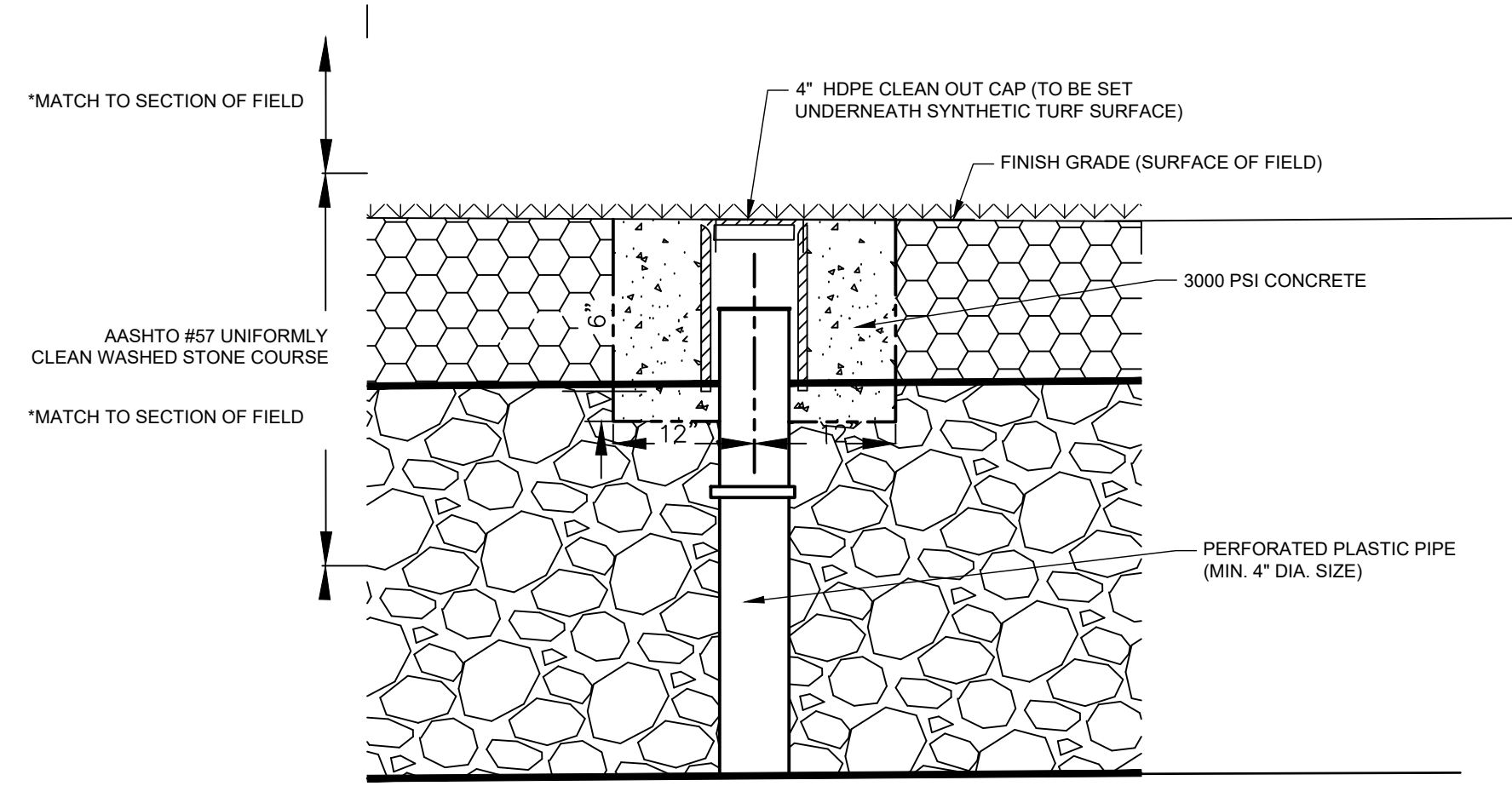
- A) GRAB TENSILE STRENGTH (ASTM-D4632): ≥ 120 LBS
- B) MULLEN BURST STRENGTH (ASTM-D3786): ≥ 225 PSI
- C) FLOW RATE (ASTM-D4491): ≥ 95 GAL/MIN/FT²
- D) UV RESISTANCE AFTER 500 HRS (ASTM-D4355): ≥ 70%
- E) HEAT-SET OR HEAT CALENDARED FABRICS ARE NOT PERMITTED

NOTE: STONE IN FIELD CROSS-SECTION IS TO BE UNIFORMLY GRADED, CRUSHED, CLEAN WASHED STONE AS DEFINED BY P.W.D. P.W.D. DEFINES "CLEAN-WASHED" AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER AASHTO T-11.



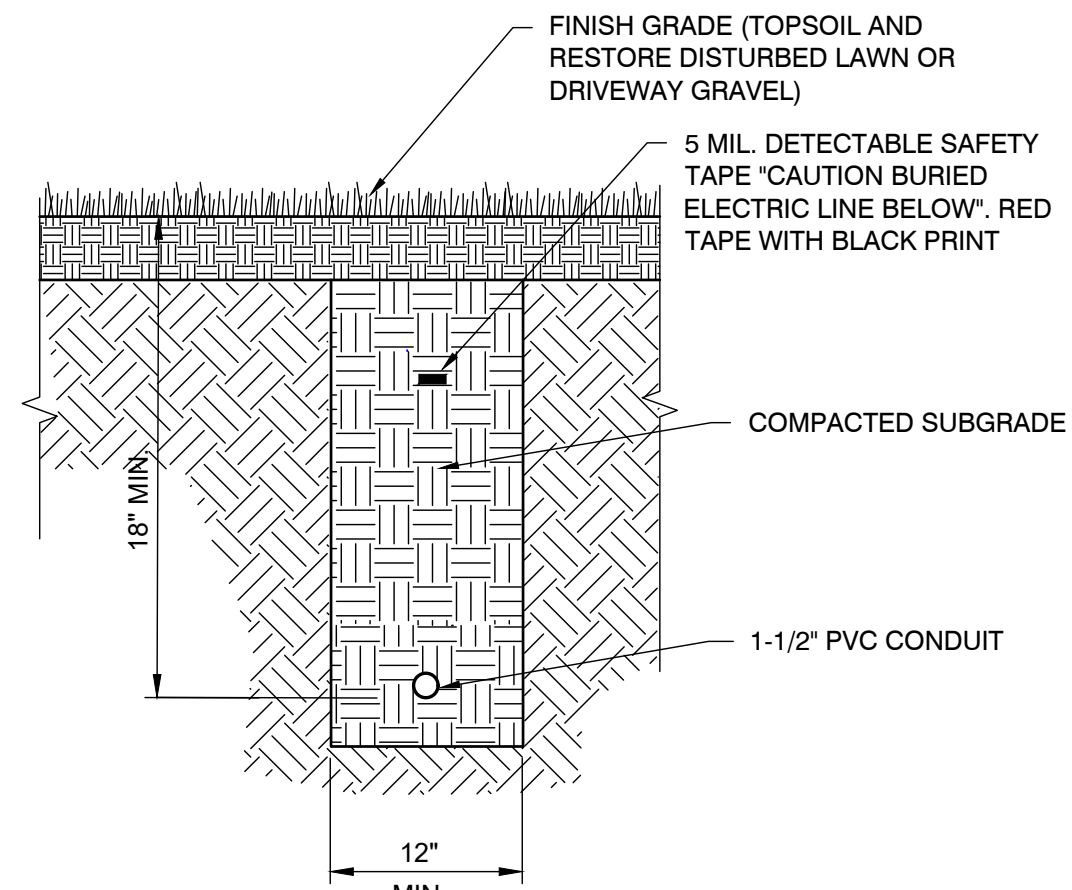
DETAIL- OUTDOOR GROUND BOX RECEPTACLE

N.T.S.



DETAIL- OBSERVATION WELL IN SYNTHETIC TURF

N.T.S.



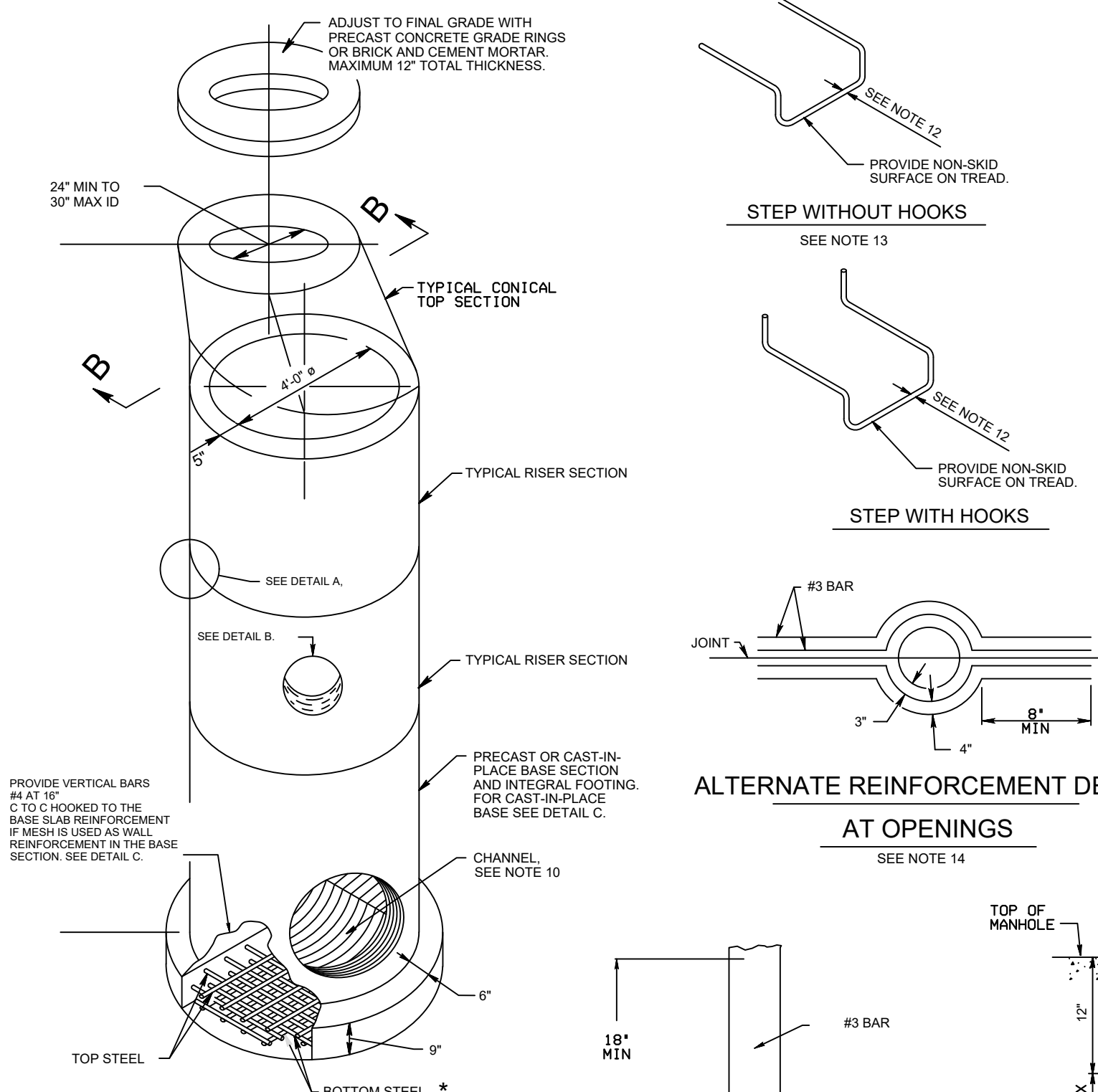
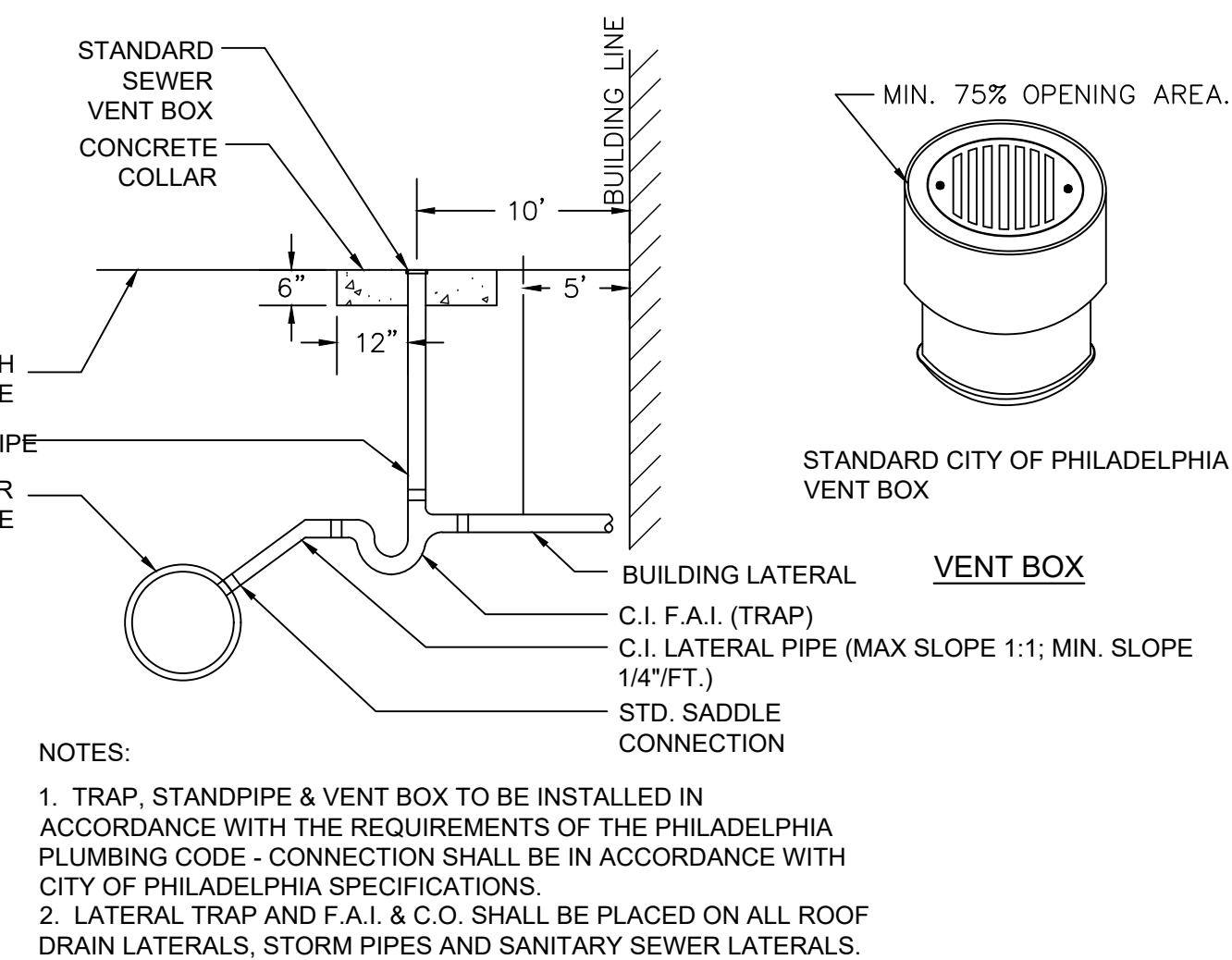
DETAIL- ELECTRICAL CONDUIT

N.T.S.

- ELECTRICAL CONDUIT NOTES:
- PROVIDE 1-1/2" PVC CONDUIT, MINIMUM 18" BELOW GRADE.
 - REFER TO MEP PLANS FOR ELECTRICAL CONNECTION AT EXISTING AND RELOCATED BUILDINGS.
 - PROVIDE APPROPRIATE UNDERGROUND WARNING TAPE.
 - AFTER INSTALLATION, PROVIDE ENGINEER AND CITY AS-BUILT DRAWINGS INDICATING EXACT LOCATION, VERTICAL AND HORIZONTAL, OF CONDUIT.

DETAIL- LATERAL TRAP, FAI, AND CLEANOUT

N.T.S.



DETAIL- PRECAST STORM MANHOLE

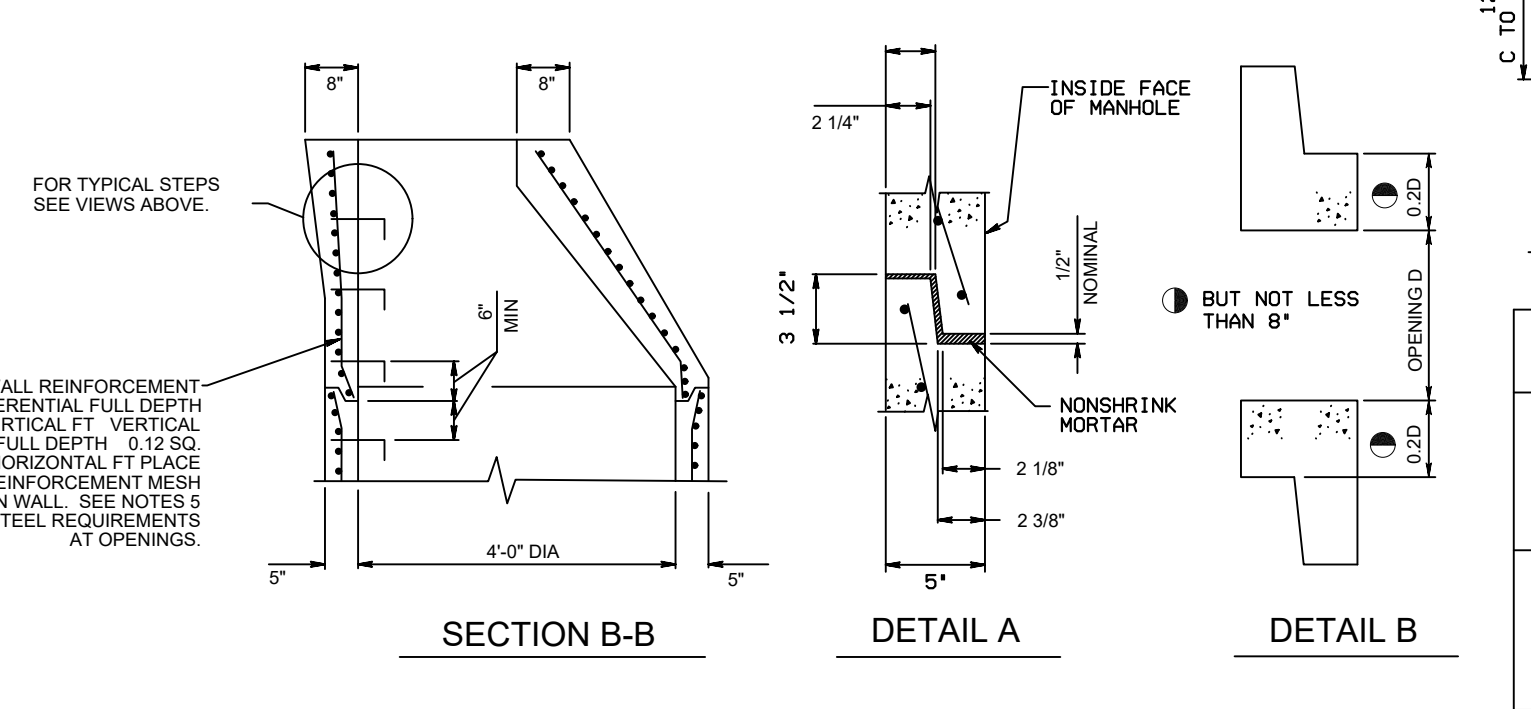
N.T.S.

PRECAST MANHOLE NOTES

- PRECAST MANHOLES MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 714, MAY BE SUBSTITUTED FOR THE STANDARD CAST-IN-PLACE MANHOLE, FOR DEVIATION OR MODIFICATION OF THE STANDARDS, SUBMIT SHOP DRAWINGS FOR APPROVAL.
- FOR CONSTRUCTION REQUIREMENTS SEE PUBLICATION 408, SECTION 714.
- SHOW PERMISSIBLE LOCATION OF PIPES ON SHOP DRAWING.
- FOR RISERS OR BASE SECTIONS WITH OPENINGS, PROVIDE A MINIMUM HEIGHT OF SECTION 80 AS TO PROVIDE AN UNCUIT WALL EQUAL OPENING AND THE CLOSEST JOINT BETWEEN RISERS - SEE DETAIL B.
- FOR PRECAST RISER OR BASE SECTIONS WITH ONE OPENING LOCATED AT DEPTHS TO 60" PROVIDE CIRCUMFERENTIAL REINFORCEMENT IN ACCORDANCE WITH SECTION B-4. FOR SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT DEPTH OF 10' AND LESS, PROVIDE CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.16 SQ. IN. VERTICAL FT. FOR THE HEIGHT OF RISER OR BASE SECTION. FOR RISERS OR BASE SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT A DEPTH GREATER THAN 10', BUT LESS THAN OR EQUAL TO 25', PROVIDE CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.44 SQ. IN. VERTICAL FT. FOR THE HEIGHT OF THE RISER OR BASE SECTION.
- FOR RISERS OR BASE SECTIONS WITH TWO OR MORE OPENINGS, LOCATED AT DEPTHS GREATER THAN 25', USE A 10" THICK WALL RISER OR BASE SECTION WITH CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.22 IN. VERTICAL FT. EACH FACE.
- MARK RISERS OR BASE SECTIONS WITH HOLES CLEARLY WITH MAXIMUM ALLOWABLE DEPTH.
- PROVIDE ADDITIONAL REINFORCEMENT BARS AROUND OPENINGS AS SHOWN ON REINFORCEMENT DETAILS AT OPENINGS.
- SHOW CHANNEL DETAILS IN PRECAST MANHOLE ON SHOP DRAWINGS.
- PROVIDE MANHOLE STEPS MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 805.2(a). ALTERNATE CONFIGURATIONS AND DIMENSIONS, AS APPROVED BY THE ENGINEER, MAY BE USED.
- PROVIDE MINIMUM 1" SECTION DIMENSION FOR METAL STEPS. PROVIDE MINIMUM 3/4" SECTION DIMENSION FOR NON-DETERMINATING MATERIAL STEPS.
- MECHANICAL ANCHOR REQUIRED FOR INSTALLATION OF STEPS WITHOUT HOOKS.
- THE ALTERNATE OPENING REINFORCEMENT DETAIL IS NOT DESIRABLE BY DESIGN. USE IT TO MEET EXISTING PIPE ELEVATIONS.

NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.

PRECAST MANHOLE HEIGHT	TOP STEEL REQUIREMENTS	BOTTOM STEEL REQUIREMENTS
0'-0" TO 3'-0"	NO. 4 BARS AT 6" C TO C OR 0.27 SQ. W/F W/ 6" MAXIMUM SPACING	NO. 4 BARS AT 12" C TO C OR 0.27 SQ. W/F W/ 6" MAXIMUM SPACING
> 3'-0" TO 6'-0"	NO. 5 BARS AT 6" C TO C OR 0.56 SQ. W/F W/ 6" MAXIMUM SPACING	NO. 4 BARS AT 6" C TO C OR 0.27 SQ. W/F W/ 6" MAXIMUM SPACING



WYE BRANCH INSTALLATION PROCEDURE:

- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING THE FLOW DURING THE CONNECTION.
- THE CONTRACTOR IS TO OBTAIN INFORMATION ABOUT THE FLOW RATE PRIOR TO COMMENCING THE CONNECTION. THIS MAY BE OBTAINED BY OPENING A MANHOLE AND MEASURING THE FLOW (FLOW CAN VARY).
- FOR HIGH FLOW RATE THE CONTRACTOR SHALL SUBMIT A BY-PASS METHOD FOR APPROVAL.
- FOR LOW FLOW RATE THE CONTRACTOR MAY BE ABLE TO DIRECT THE FLOW THROUGH THE OPENED SECTION.
- THE CONTRACTOR MUST SELECT THE PROPER SIZE WYE AND ALIGN THE INVERTS.
- EXCAVATE SAFELY TO EXPOSE THE EXISTING SEWER PIPE WITHOUT DAMAGING IT.
- EXCAVATE A DITCH WIDE ENOUGH TO ACCOMMODATE THE WYE AND THE CUT-OFF WALLS.
- CONTRACTORS SHOULD PERFORM THE CONNECTION IN A SAFE MANNER AND PER OSHA REGULATIONS.
- SHORING SHALL BE INSTALLED IN DITCHES AND TRENCHES AS PER OSHA REGULATIONS OR AS REGULATED BY P.W.D. VIOLATION OF THIS PROVISION WILL RESULT IN A STOP WORK ORDER AND/OR PENALTIES PRESCRIBED BY LAW. (REFER TO PHILADELPHIA PLUMBING CODE 2004 SECTION P-1503.2 SHORING).
- FOR CONNECTIONS TO BRICK SEWER, CONSTRUCT A 2-FOOT WIDE BY 8-INCH HIGH, CONCRETE CUTOFF WALL TO THE SPRING LINE, ON BOTH SIDES OF THE WYE, 12-INCH FROM THE LOCATION TO CUT THE SEWER PIPE.
- USE A MINIMUM OF 3000 PSI CONCRETE FOR THE CONCRETE CUT-OFF WALL.
- ALLOW AT LEAST 24 HOURS FOR THE CONCRETE TO HARDEN BEFORE CUTTING THE SEWER PIPE.
- CUT THE SEWER PIPE SO THAT THE WYE SECTION WILL FIT IN TIGHTLY.
- PREVENT ANY DEBRIS FROM FLOWING INTO THE SEWER.
- CLEAN THE BOTTOM OF THE OPENED AREA FROM LOOSE AND SOFT SOIL IF NO CRADLE, AND PLACE STONE IN THE MIDDLE LEAVING 12 INCH BELOW THE JOINTS FOR CONCRETE COLLAR.
- INSERT THE WYE SECTION IN PLACE IMMEDIATELY, SEAL THE JOINTS AND CONSTRUCT A 24-INCH CONCRETE COLLAR AROUND BOTH JOINTS.
- USE A MINIMUM OF 3000 PSI CONCRETE, 12 INCH DEEP AND EXTENDING 24 INCH WIDE AROUND THE JOINT.
- ALLOW AT LEAST 24 HOURS FOR THE CONCRETE TO HARDEN BEFORE BACKFILLING.
- ANY OTHER PIPELINE EXPOSED AND UNDERMINED DURING THIS OPERATION MUST BE SUPPORTED IMMEDIATELY AND BACKFILLED WITH CONTROLLED LOW STRENGTH MATERIAL (CLSM) AFTER THE COMPLETION OF THE CONNECTION.

DETAIL- WYE CONNECTION

N.T.S.

REVISIONS

ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



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PROJECT COORDINATOR

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CITY OF PHILADELPHIA

DEPARTMENT OF PUBLIC PROPERTY

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

KINGSESSING RECREATION CENTER

KEY PLAN

DRAWING TITLE

SITE DETAILS

PROJECT NO.

KLMLX21003

DATE

04/21/23

SCALE

AS NOTED

DRAWN BY

SDL

CHECKED BY

MJM

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

NPDES PERMIT #PAC510302
PWD TRACKING #FY22-KING-6800-01

DRAWING NO.
CS605-R.2

REVISIONS

ISSUE	DATE	DESCRIPTION
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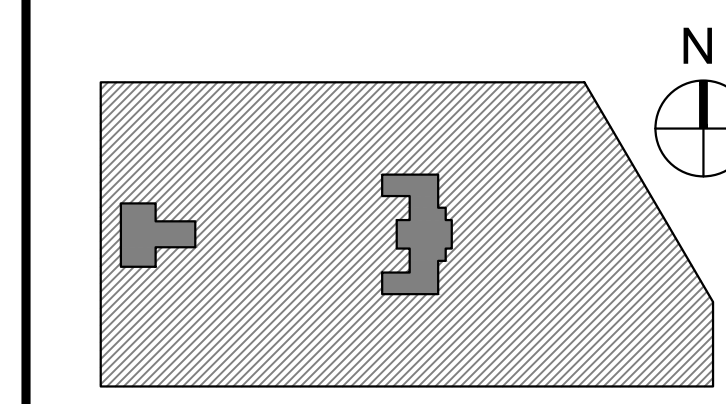
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER

KEY PLAN

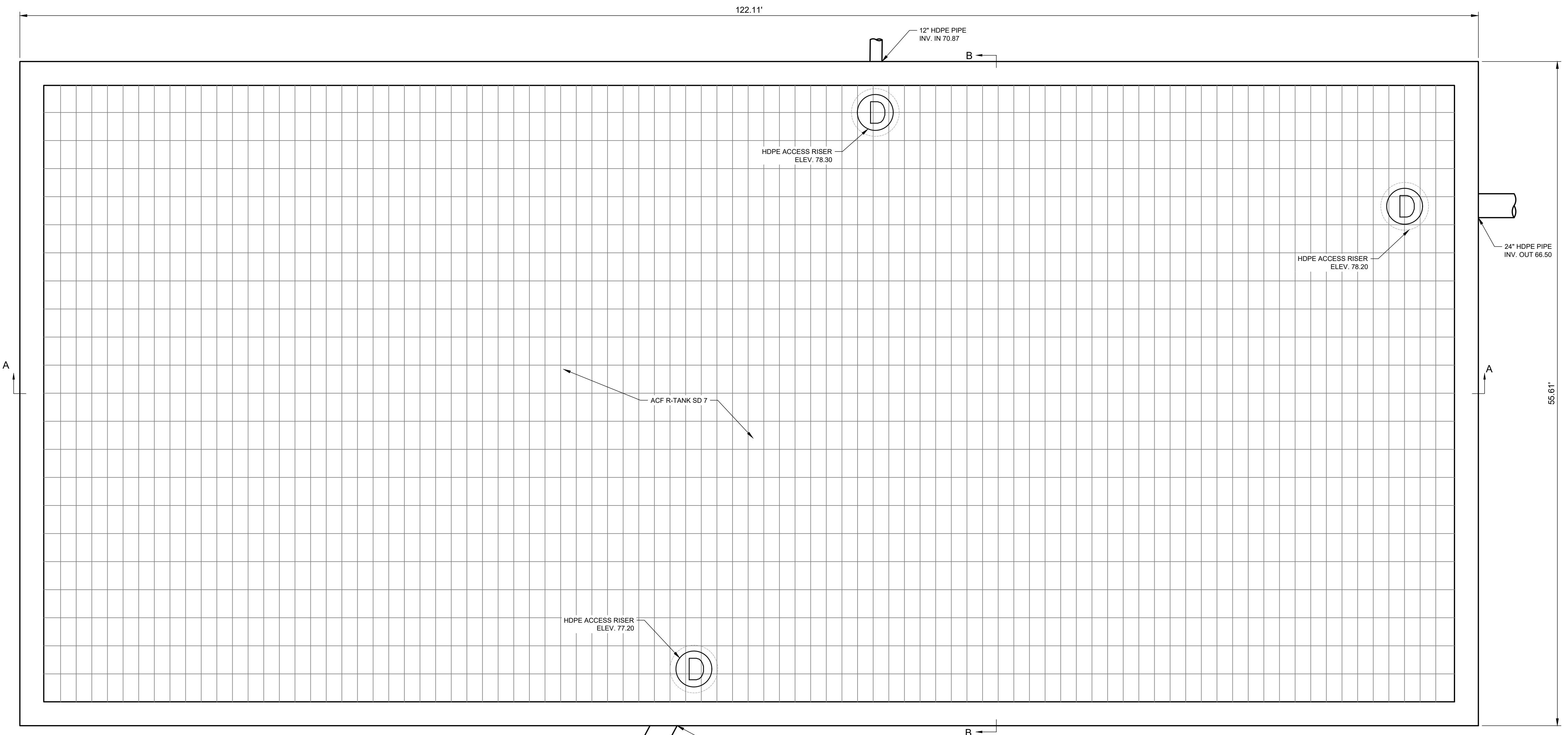


SITE DETAILS

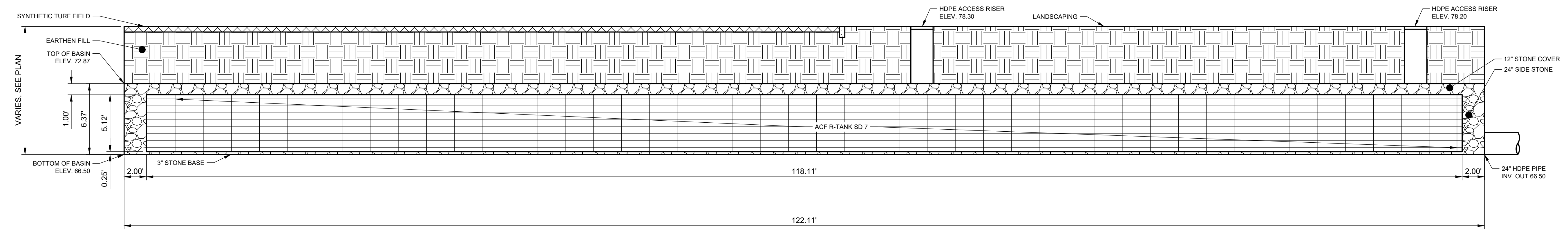
PROJECT NO. **KLMLX21003** DRAWING NO. **CS606-R.2**

DATE **04/21/23**
SCALE **AS NOTED**
DRAWN BY **SDL**
CHECKED BY **MJM**

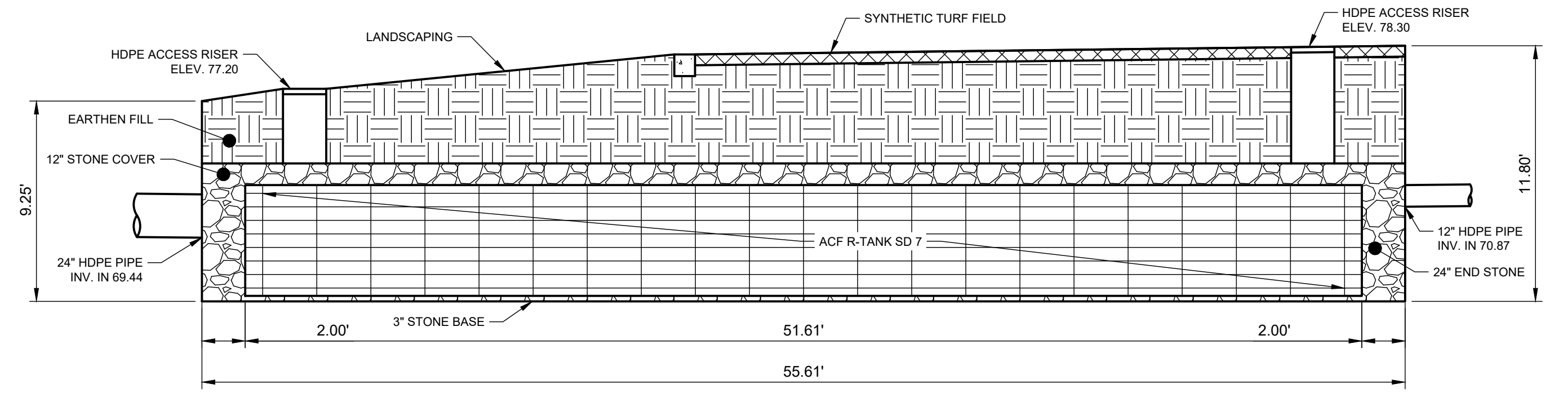
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PLAN VIEW
N.T.S.

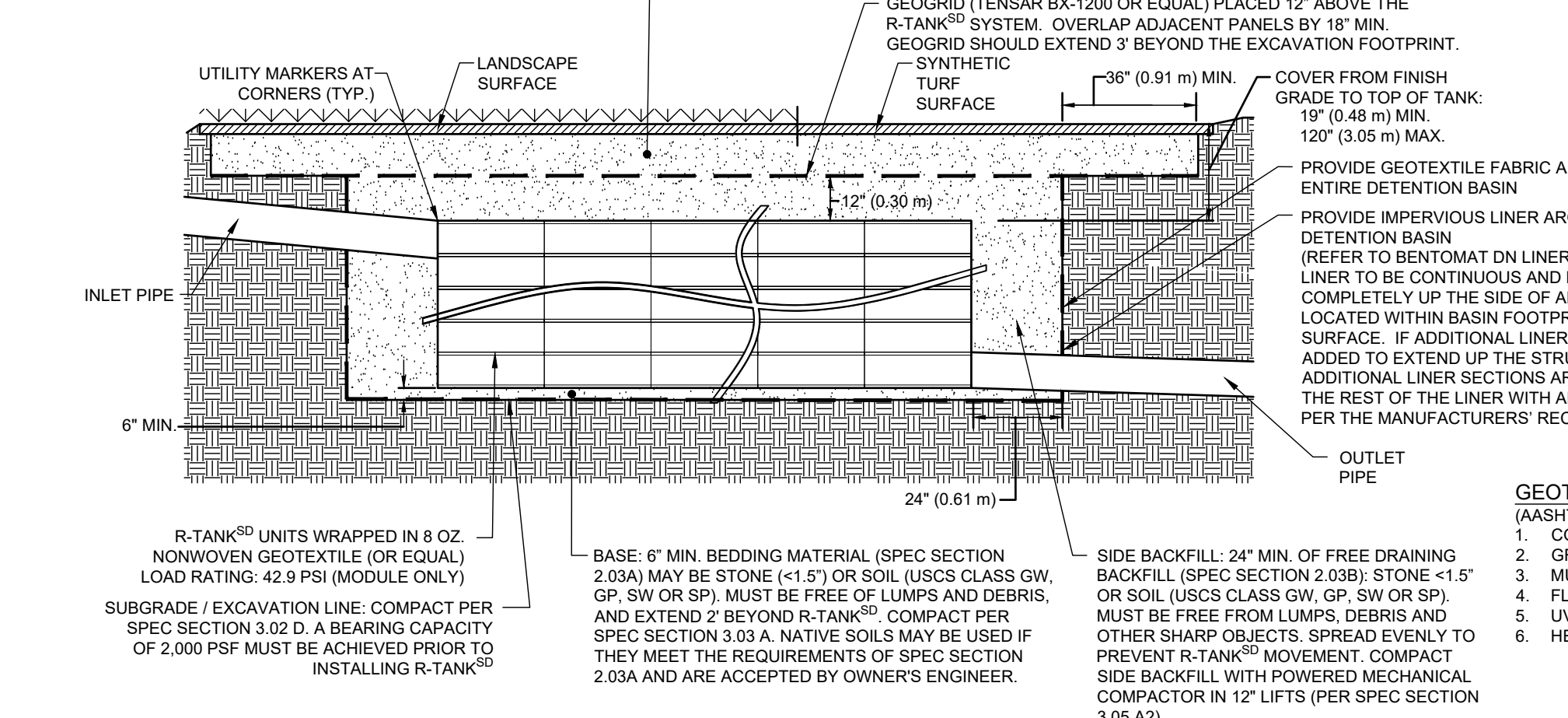


SECTION A-A
N.T.S.



SECTION B-B
N.T.S.

- TOTAL COVER: 15\"/>
 - FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK[®] MODULE SHEET.
 - INSTALLATIONS PER THIS DETAIL MEET GUIDELINES OF HL-93 LOADING PER THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, CUSTOMARY U.S. UNITS, 7TH EDITION, 2014 WITH 2015 AND 2016 INTERIM REVISIONS.
 - PRE-TREATMENT STRUCTURES NOT SHOWN.
 - FOR INFILTRATION APPLICATIONS, GEOTEXTILE ENVELOPING R-TANK SHALL BE ACF M200 (PER SPEC SECTION 2.02A) AND BASE SHALL BE 4\"/>



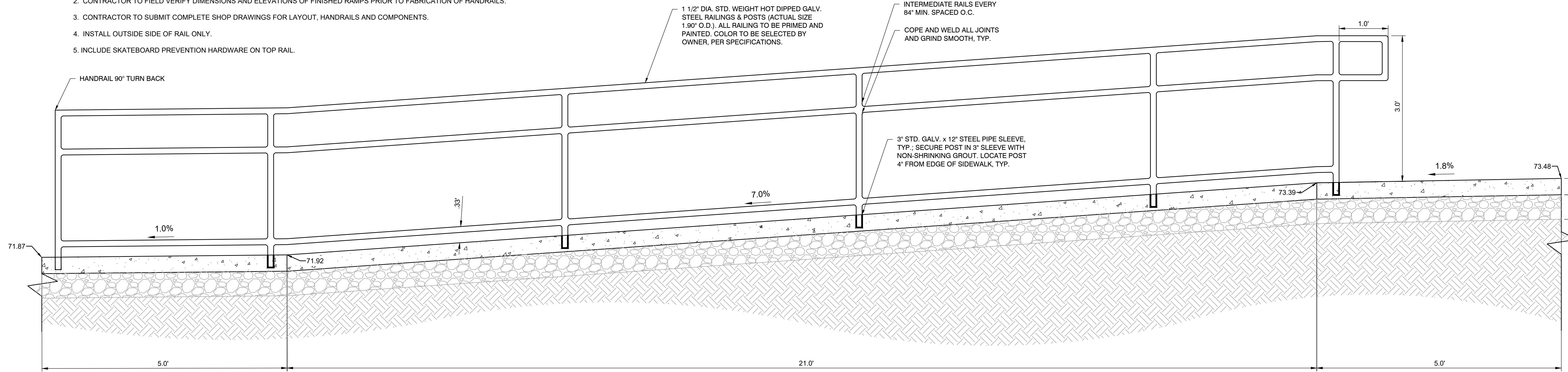
DETAIL- R-TANK SD HS-25 LOADING - SECTION VIEW
N.T.S.

DETAIL- UNDERGROUND BASIN
N.T.S.

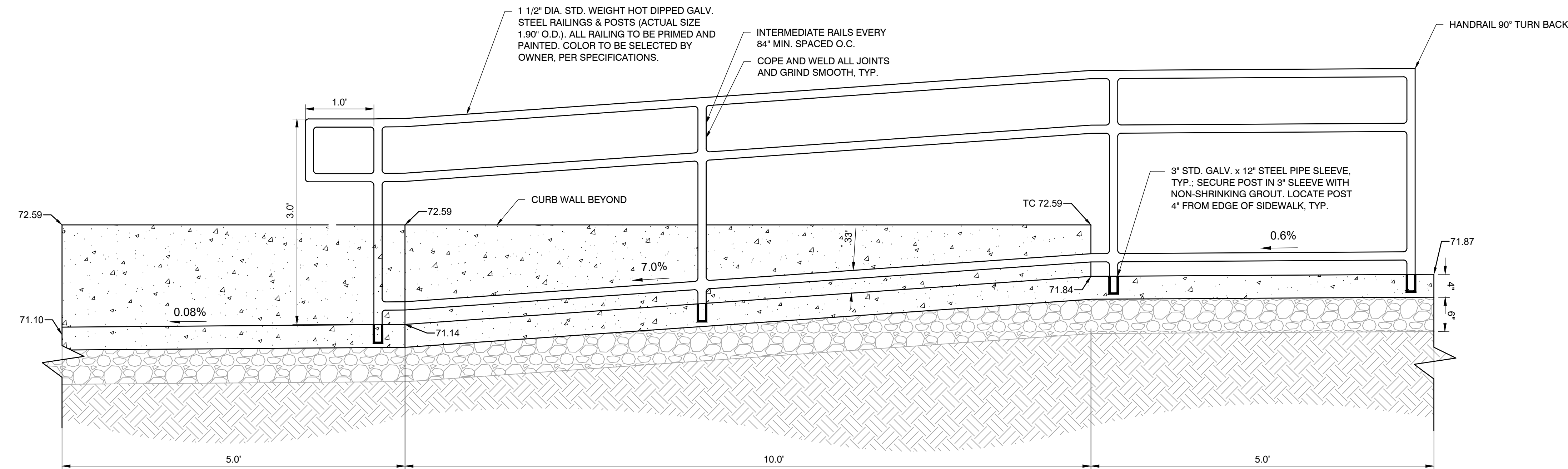
PACKAGE 2 - IFB
NOT FOR CONSTRUCTION NPDES PERMIT #PAC510302
06/02/2023 PWD TRACKING #FY22-KING-6800-01

HANDRAIL NOTES:

1. ALL HANDRAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED, PRIMED AND PAINTED. COLOR TO BE DETERMINED BY OWNER, PER SPECIFICATIONS.
2. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND ELEVATIONS OF FINISHED RAMPS PRIOR TO FABRICATION OF HANDRAILS.
3. CONTRACTOR TO SUBMIT COMPLETE SHOP DRAWINGS FOR LAYOUT, HANDRAILS AND COMPONENTS.
4. INSTALL OUTSIDE SIDE OF RAIL ONLY.
5. INCLUDE SKATEBOARD PREVENTION HARDWARE ON TOP RAIL.



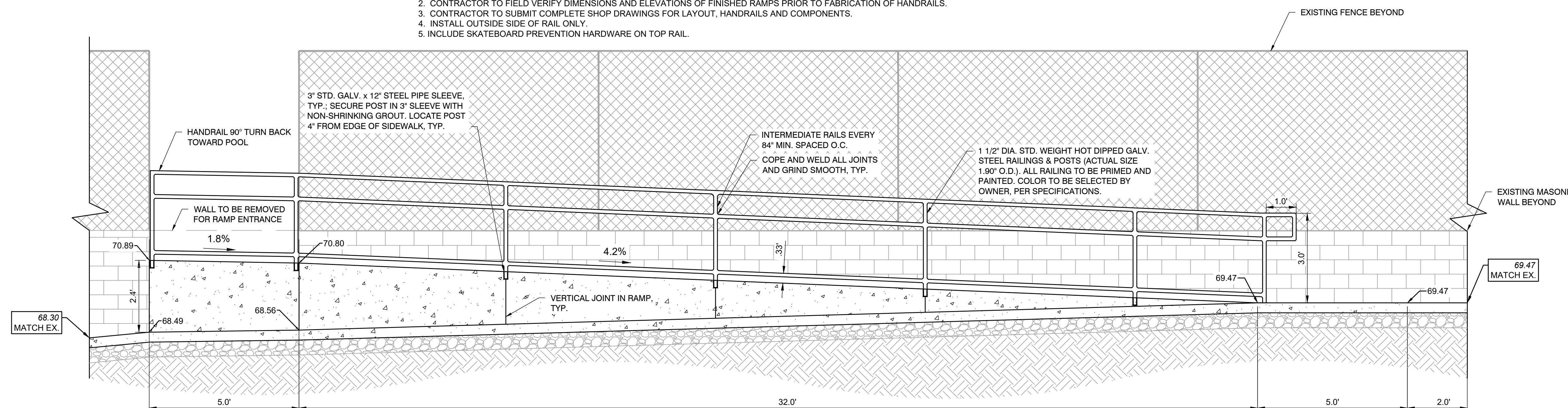
DETAIL- PLAYGROUND RAMP AND RAILING
1"=1'



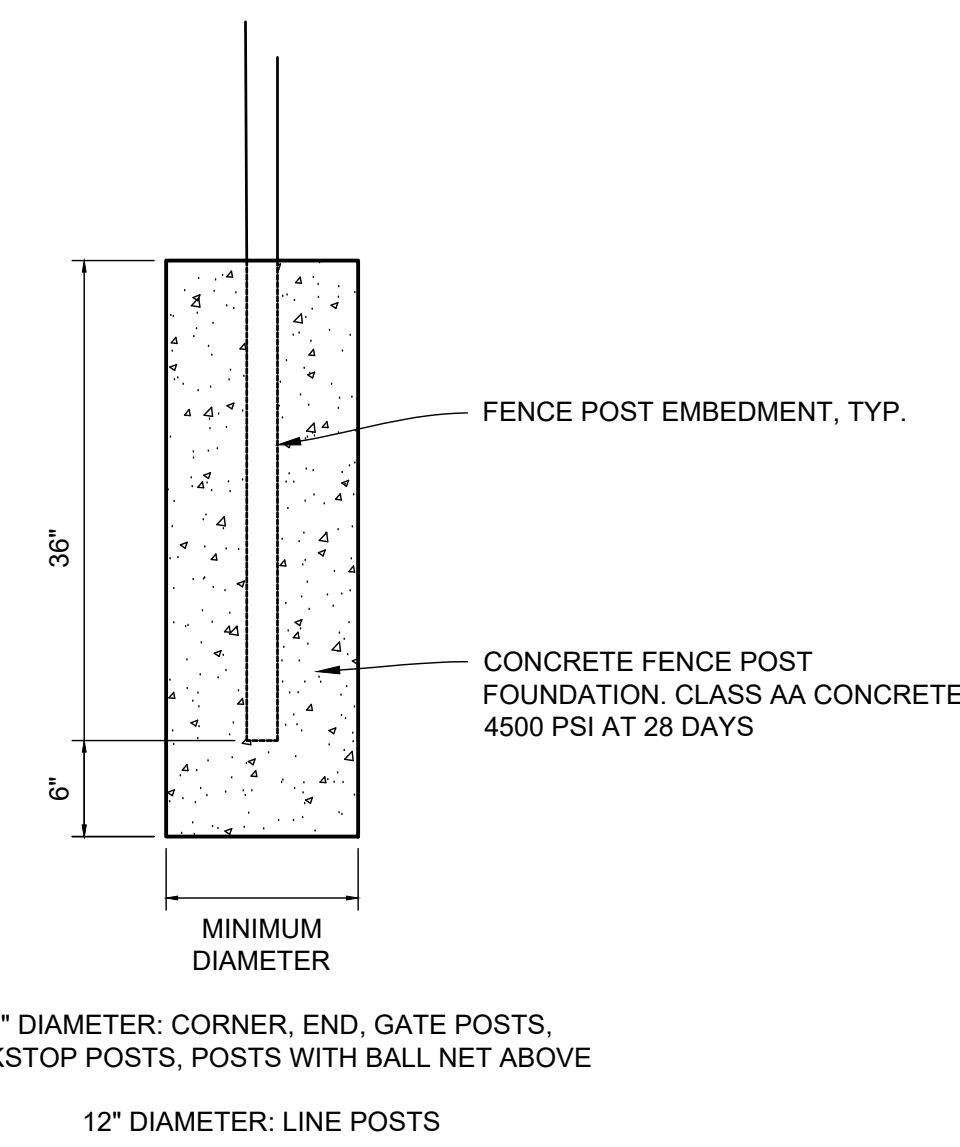
DETAIL- PLAYGROUND RAMP AND RAILING
1"=1'

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3. CONTRACTOR TO SUBMIT COMPLETE SHOP DRAWINGS FOR LAYOUT, HANDRAILS AND COMPONENTS.
4. INSTALL OUTSIDE SIDE OF RAIL ONLY.
5. INCLUDE SKATEBOARD PREVENTION HARDWARE ON TOP RAIL.



DETAIL- POOL DECK RAMP AND RAILING
1"=2'



DETAIL- FENCE POST FOUNDATION
N.T.S.

REVISIONS

ISSUE	DATE	DESCRIPTION
	06/02/23	ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR

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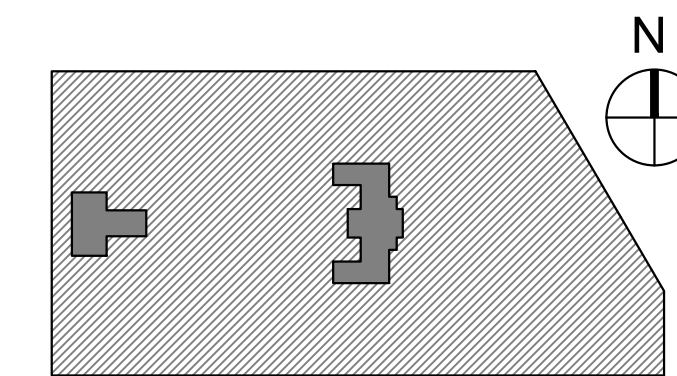
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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
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11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER

KEY PLAN



DRAWING TITLE
SITE DETAILS

PROJECT NO.
KLMLX21003

DATE
04/21/23

SCALE
AS NOTED

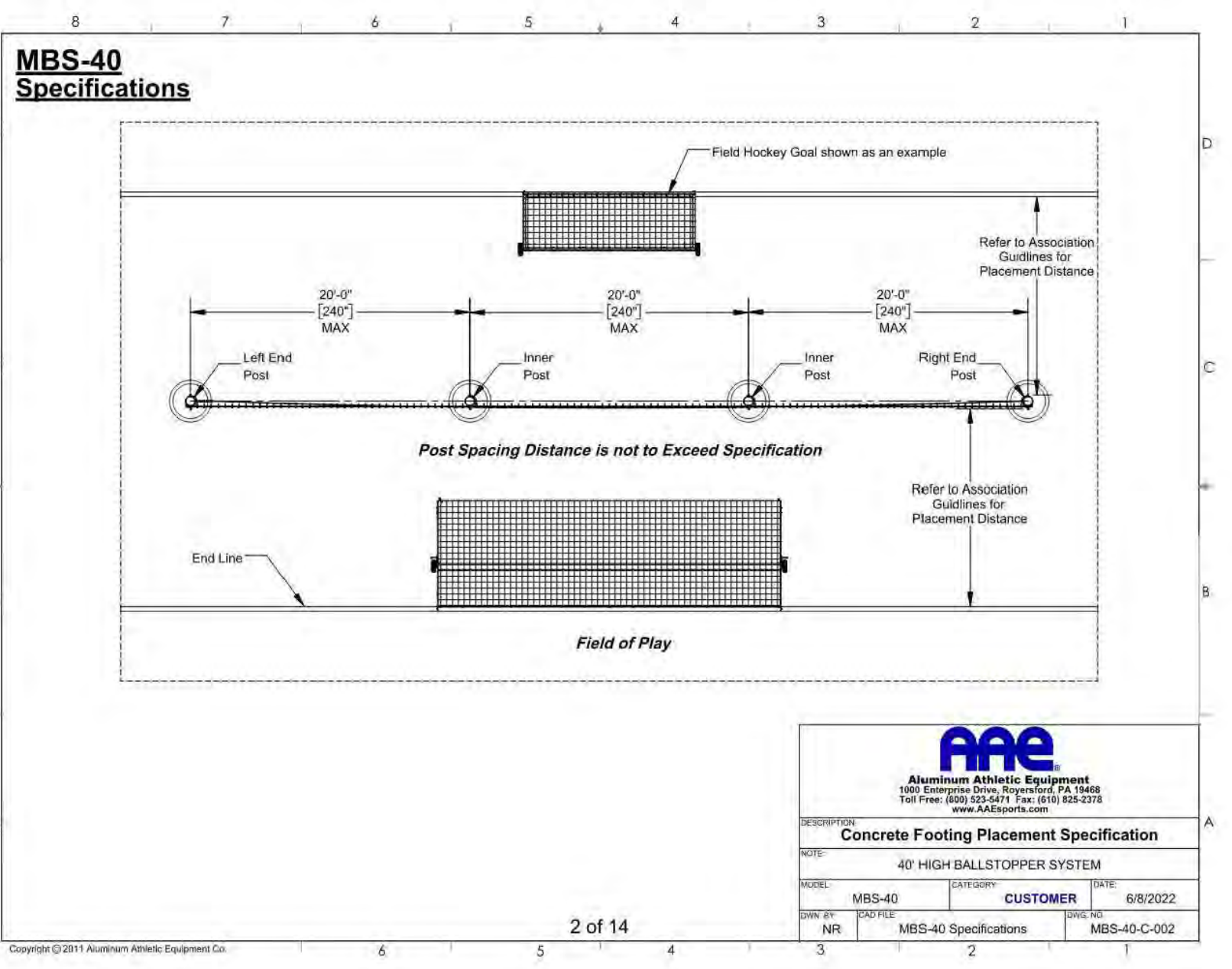
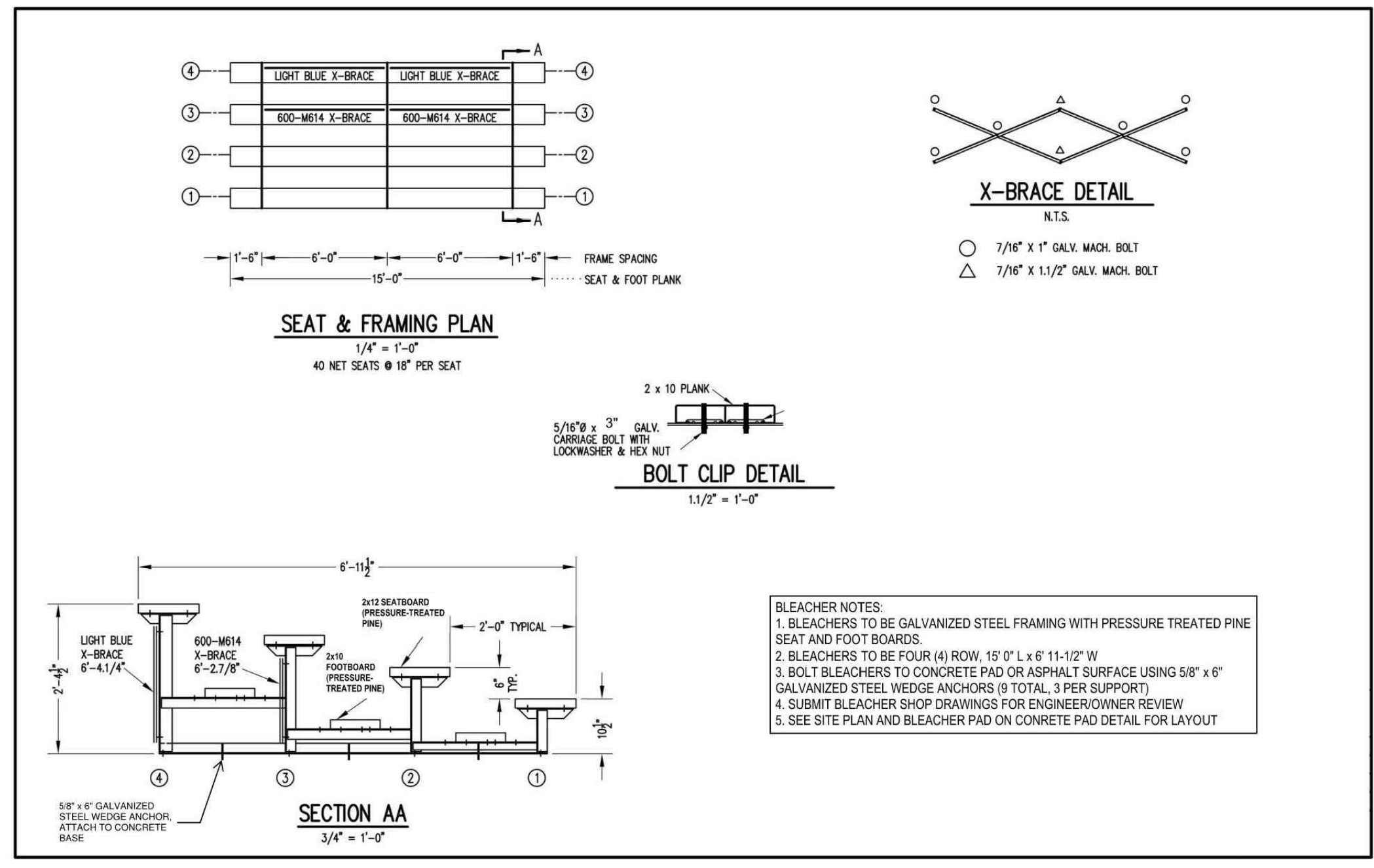
DRAWN BY
SDL

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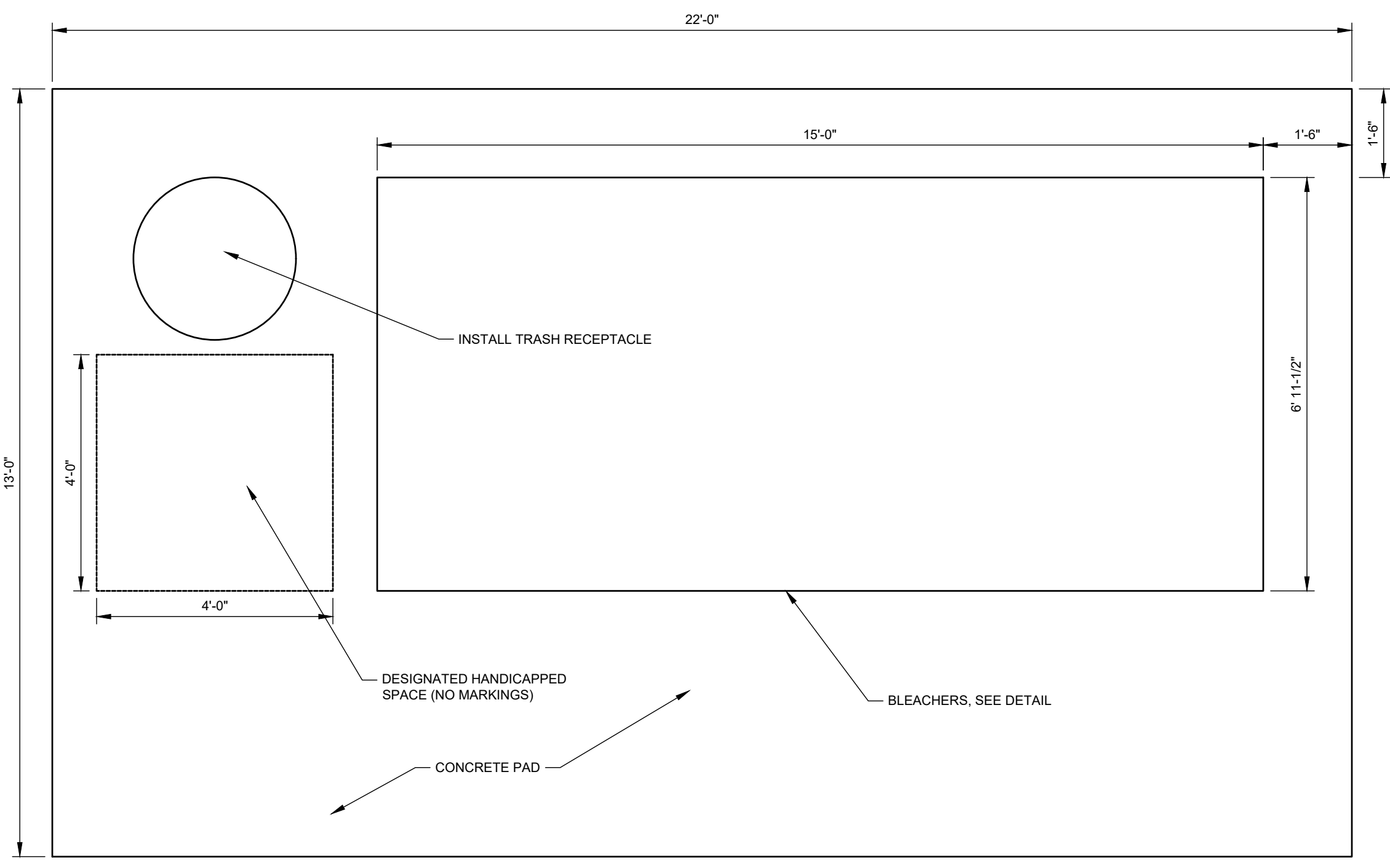
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PACKAGE 2 - IFB
NOT FOR CONSTRUCTION NPDES PERMIT #PAC510302
06/02/2023 PWD TRACKING #FY22-KING-6800-01

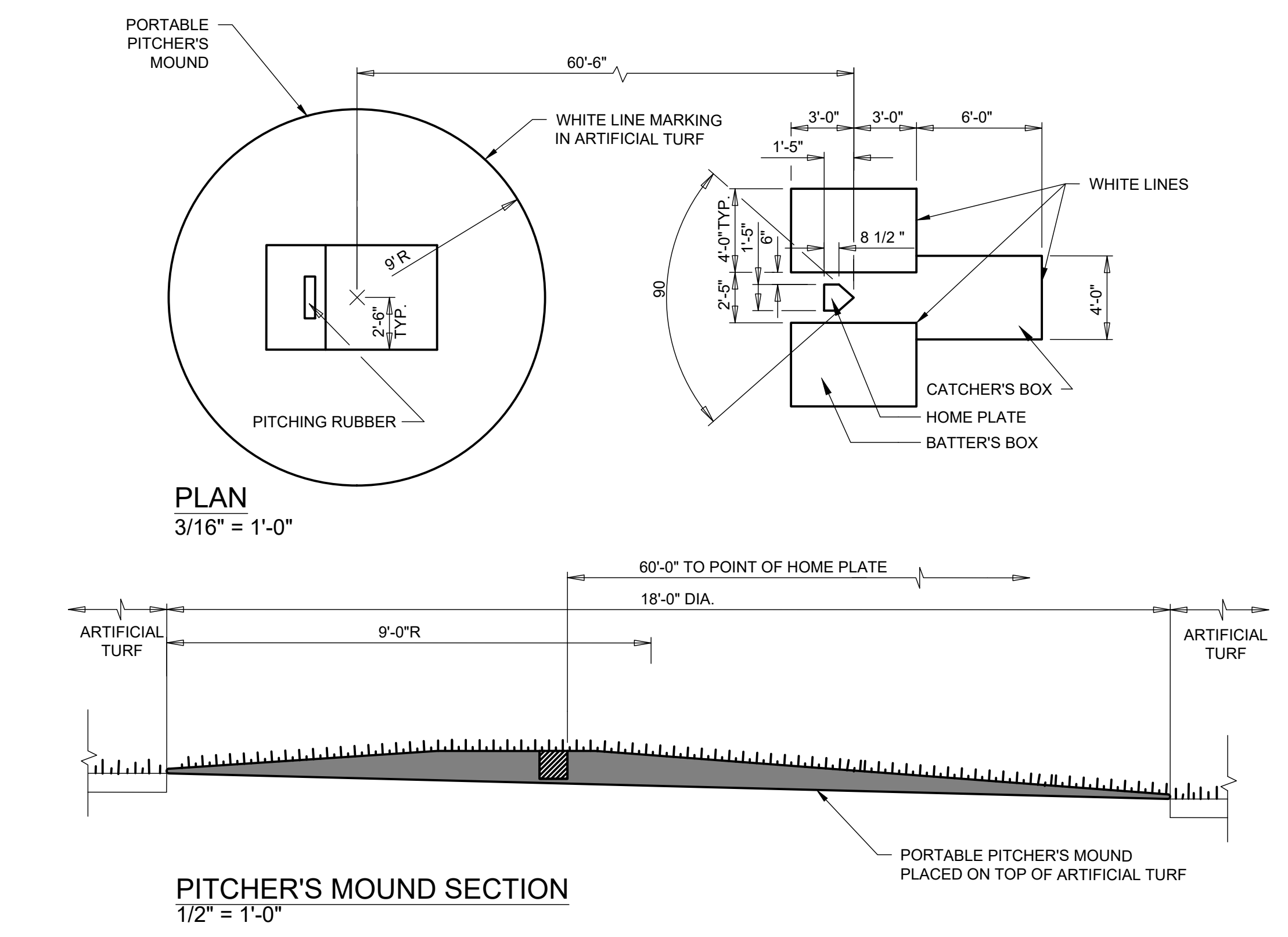
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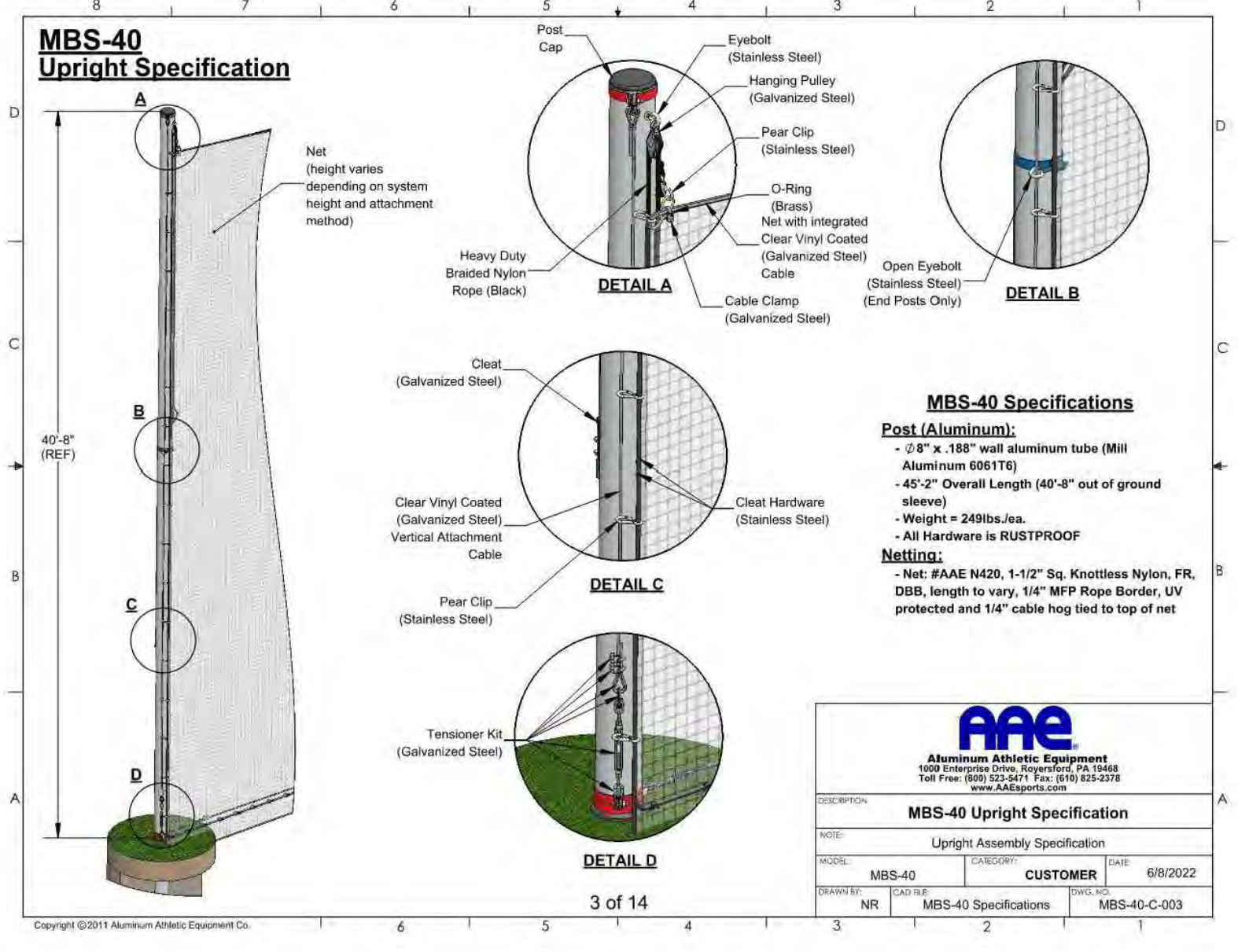
DETAIL- 4 ROW SPECTATOR BLEACHERS
N.T.S.



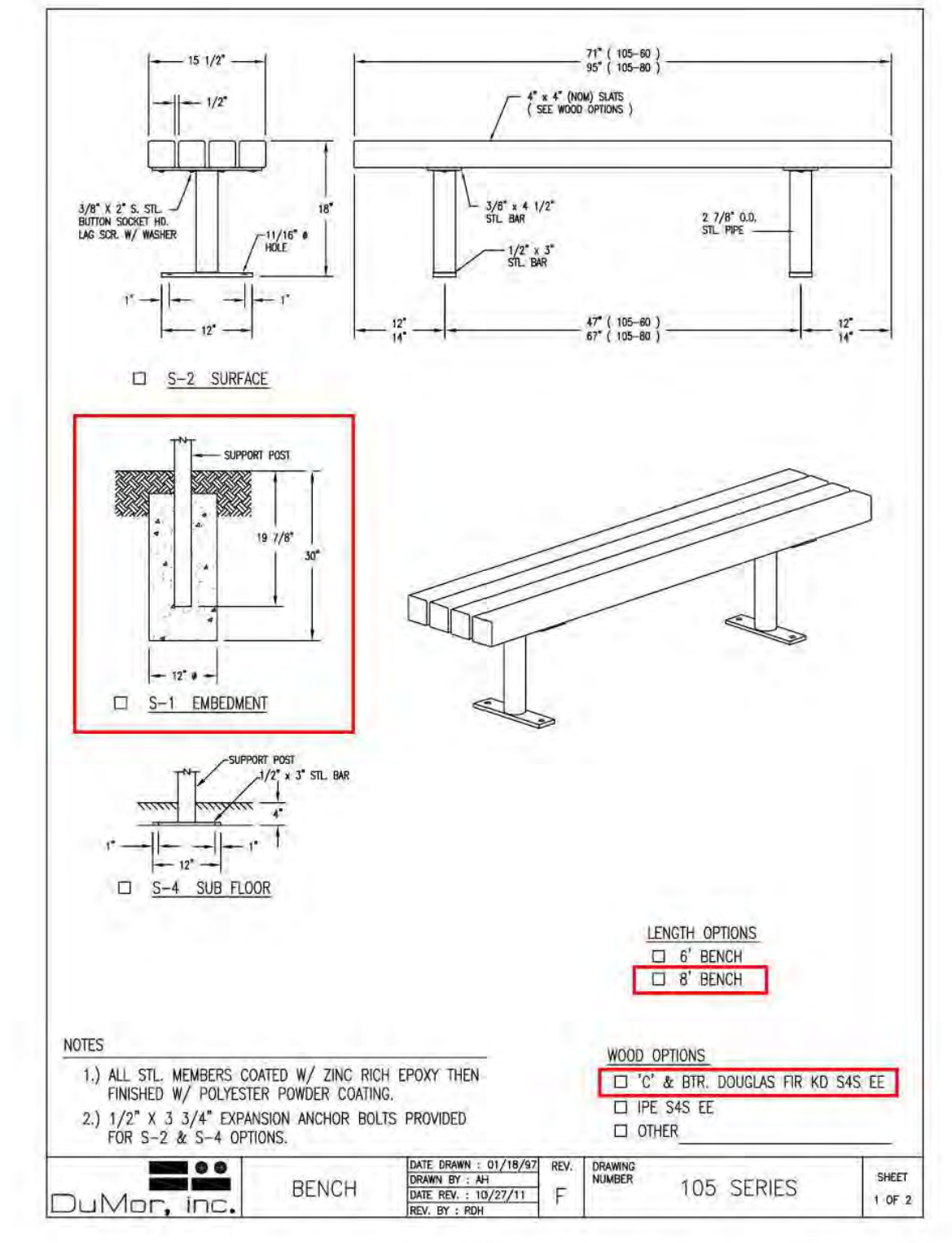
DETAIL- CONCRETE BLEACHER PAD LAYOUT
N.T.S.



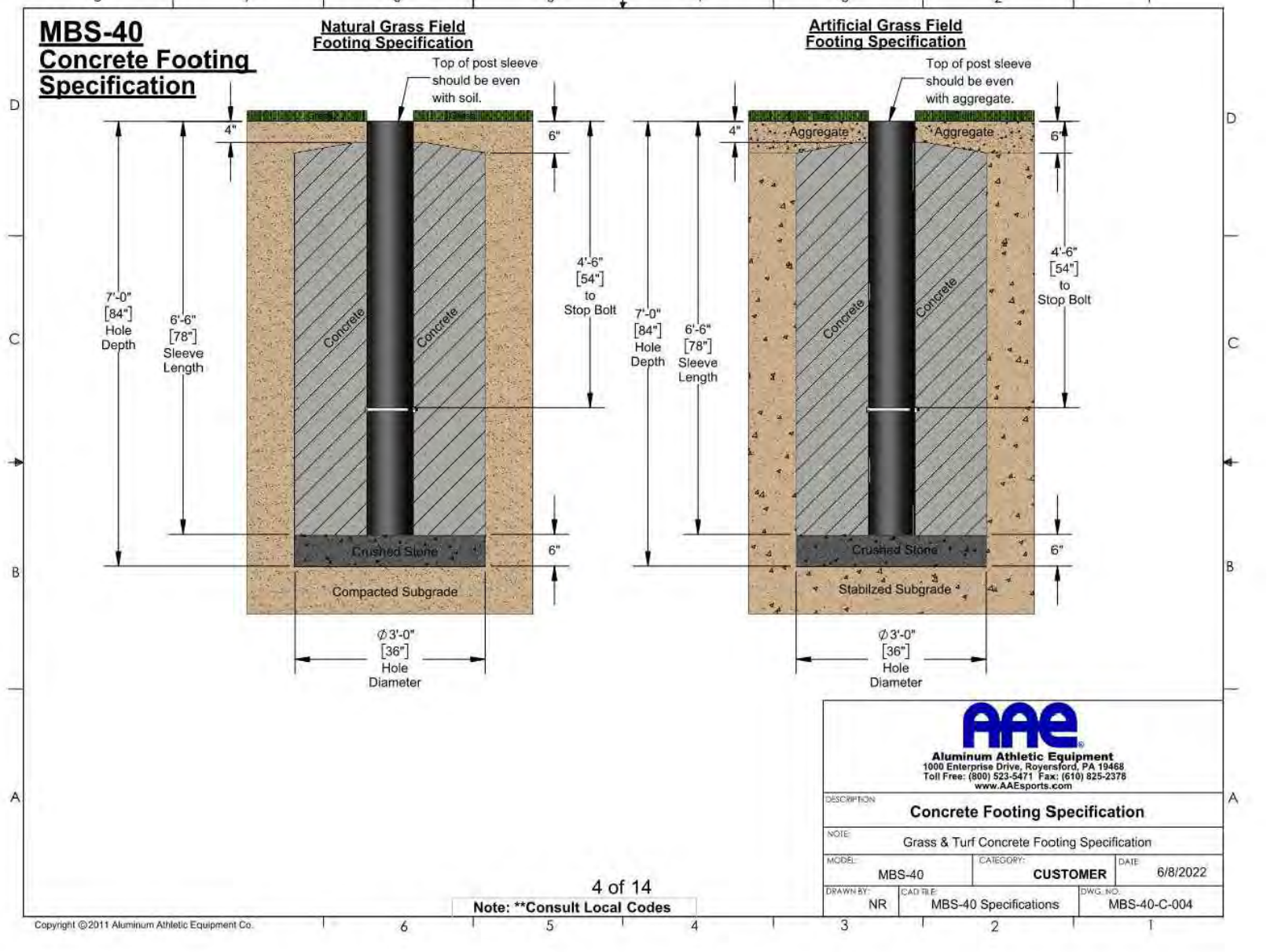
DETAIL- MOVABLE PITCHER'S MOUND / HOME PLATE
N.T.S.



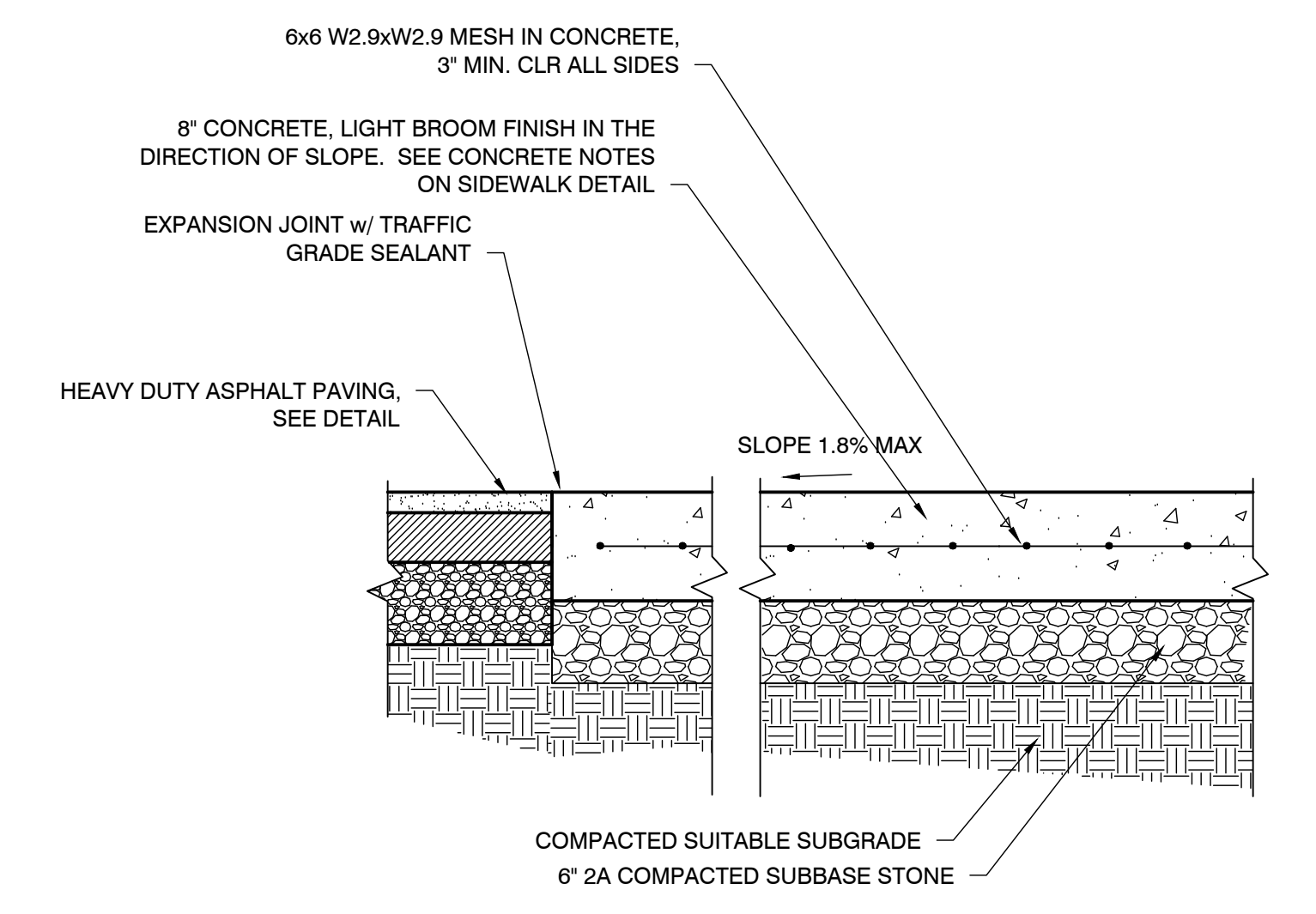
DETAIL- 40' HIGH BALLSTOPPER NET
N.T.S.



DETAIL- PLAYERS' BENCHES
N.T.S.



DETAIL- TRANSITION FROM ASPHALT TO CONCRETE PAVING
N.T.S.



REVISIONS		
ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



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PROJECT COORDINATOR:
SCALE:



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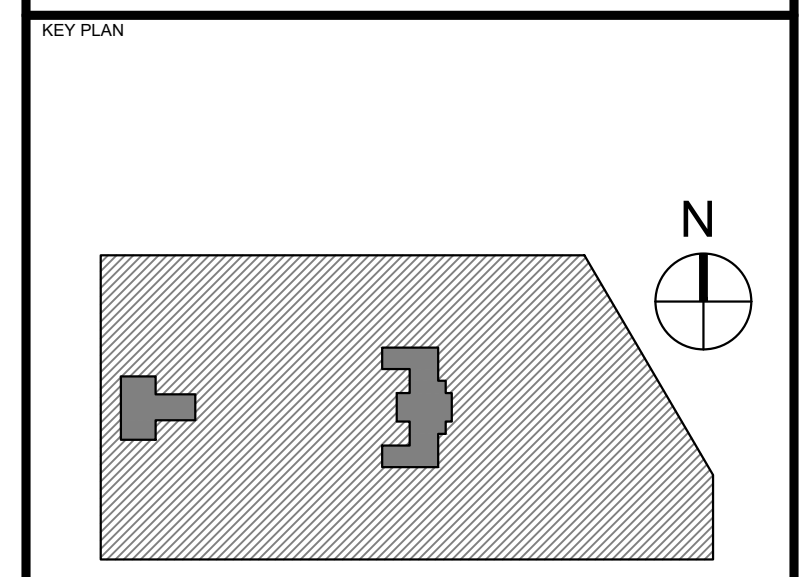
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PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER



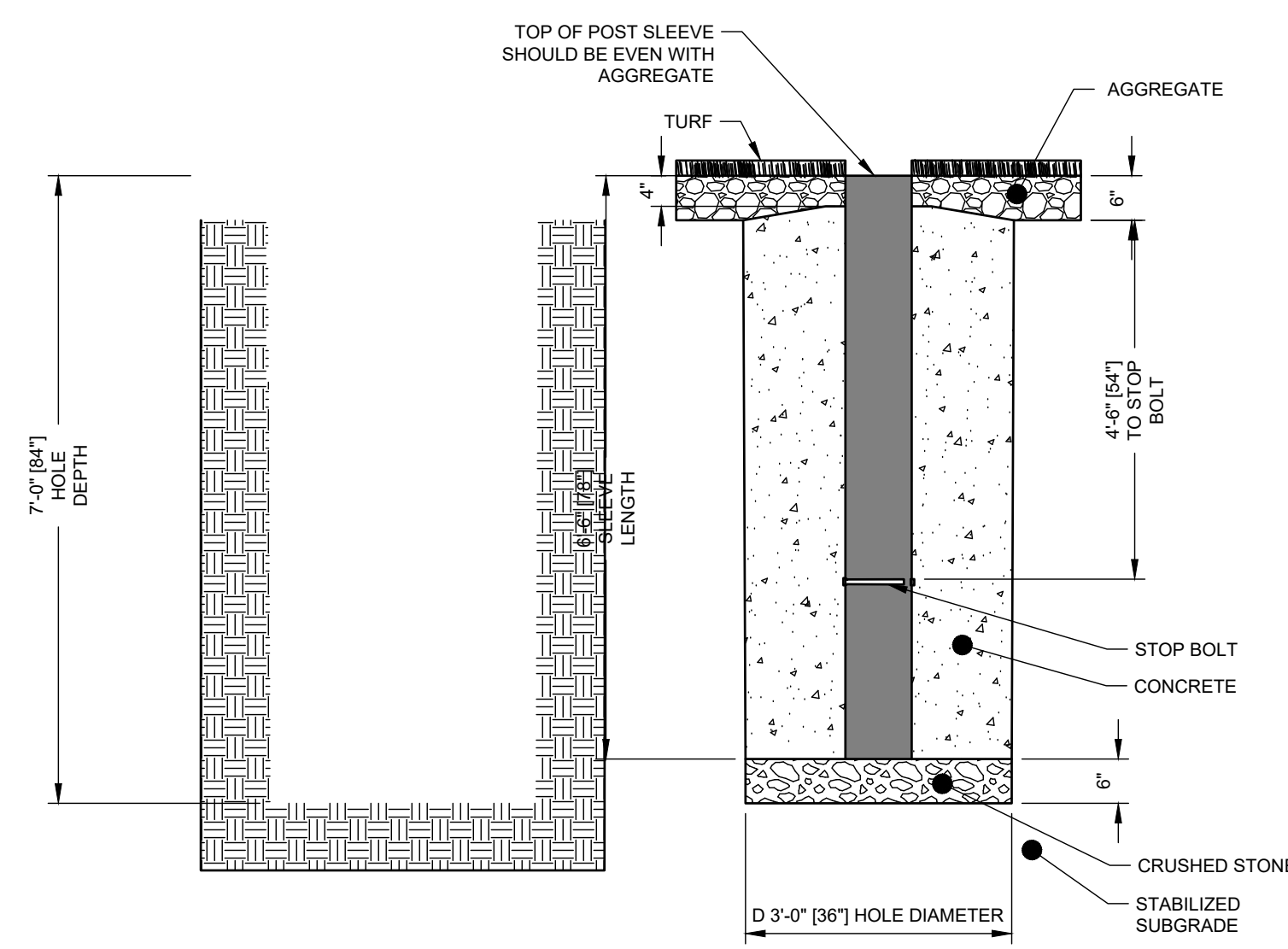
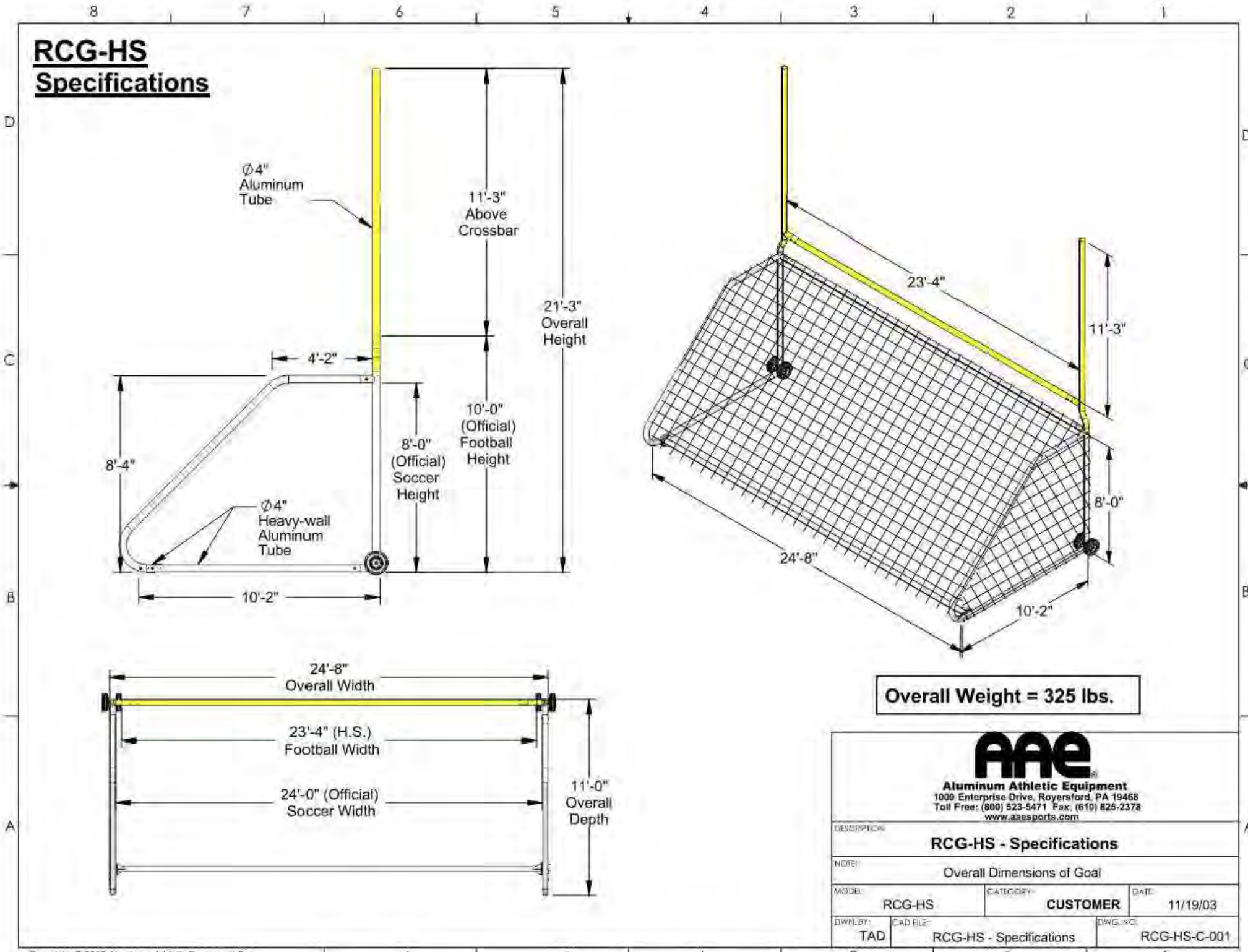
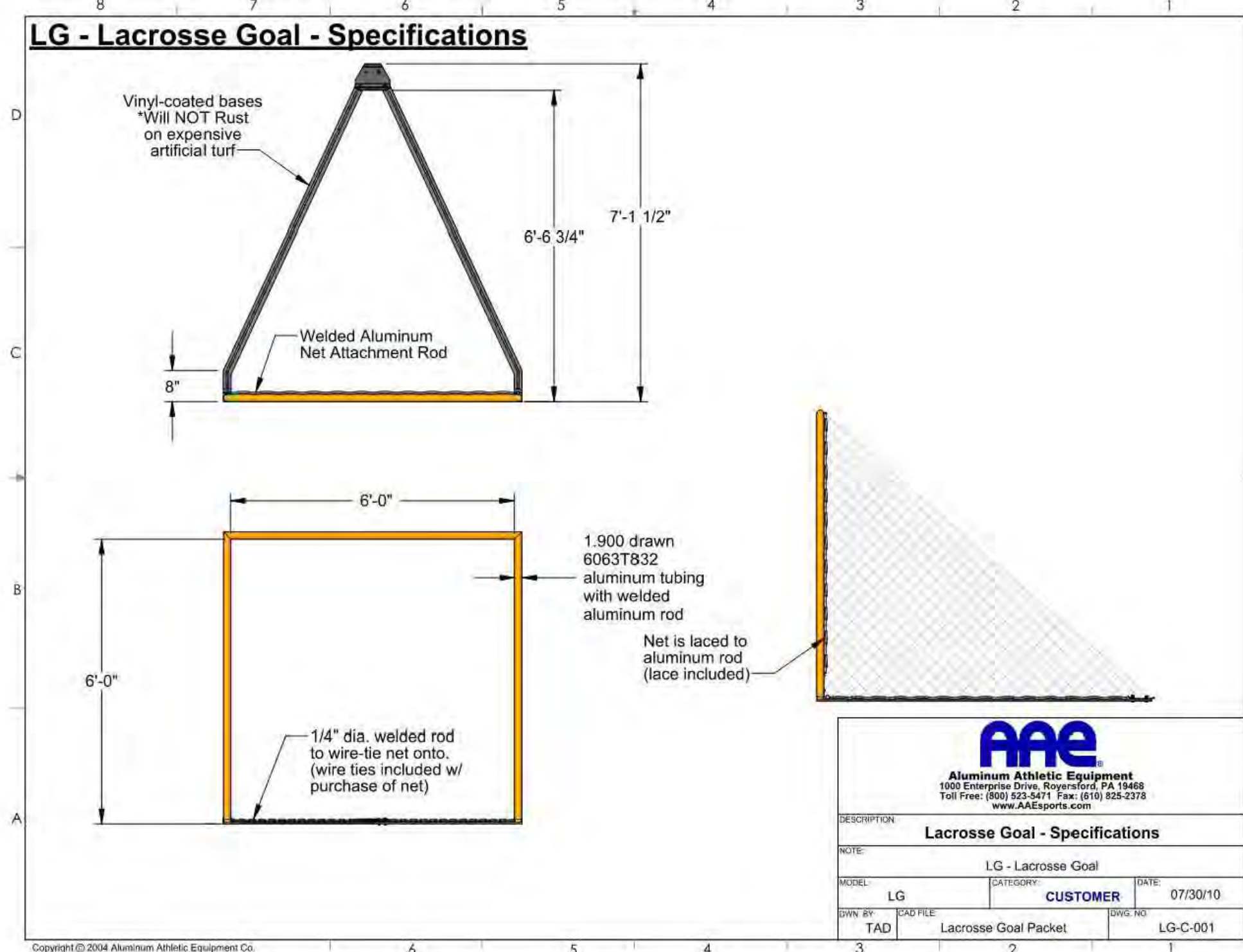
DETAIL- SITE DETAILS

PROJECT NO. KLMXLX21003	DRAWING NO. CS608-R.2
DATE 04/21/23	SCALE AS NOTED
DRAWN BY SDL	CHECKED BY MJM

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

NPDES PERMIT #PAC510302
PWD TRACKING #FY22-KING-6800-01

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



DETAIL- LACROSS GOAL DETAIL
N.T.S

DETAIL- COMBINATION FOOTBALL/SOCCER GOAL
N.T.S

DETAIL- 40' HEIGHT BALL CONTROL NET CONCRETE FOOTING DETAIL
N.T.S

REVISIONS		
ISSUE	DATE	DESCRIPTION
	06/02/23	ISSUE FOR BID



REVIEWED BY:
PROJECT COORDINATOR:
REAS:



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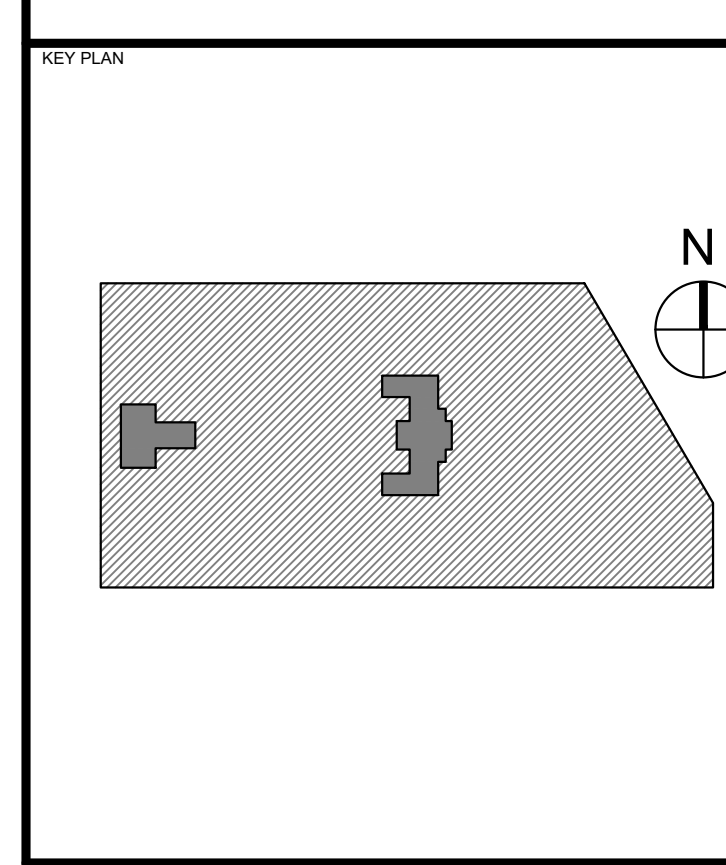
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PROJECT TITLE
KINGSESSING RECREATION CENTER



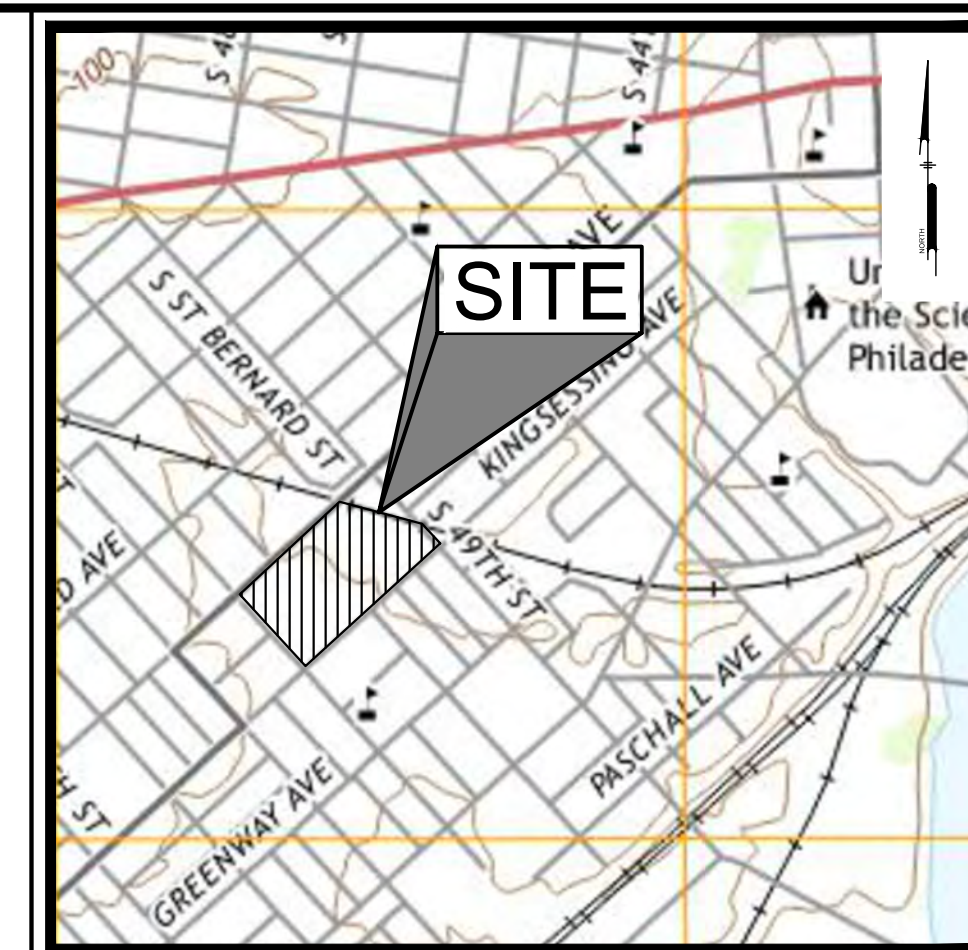
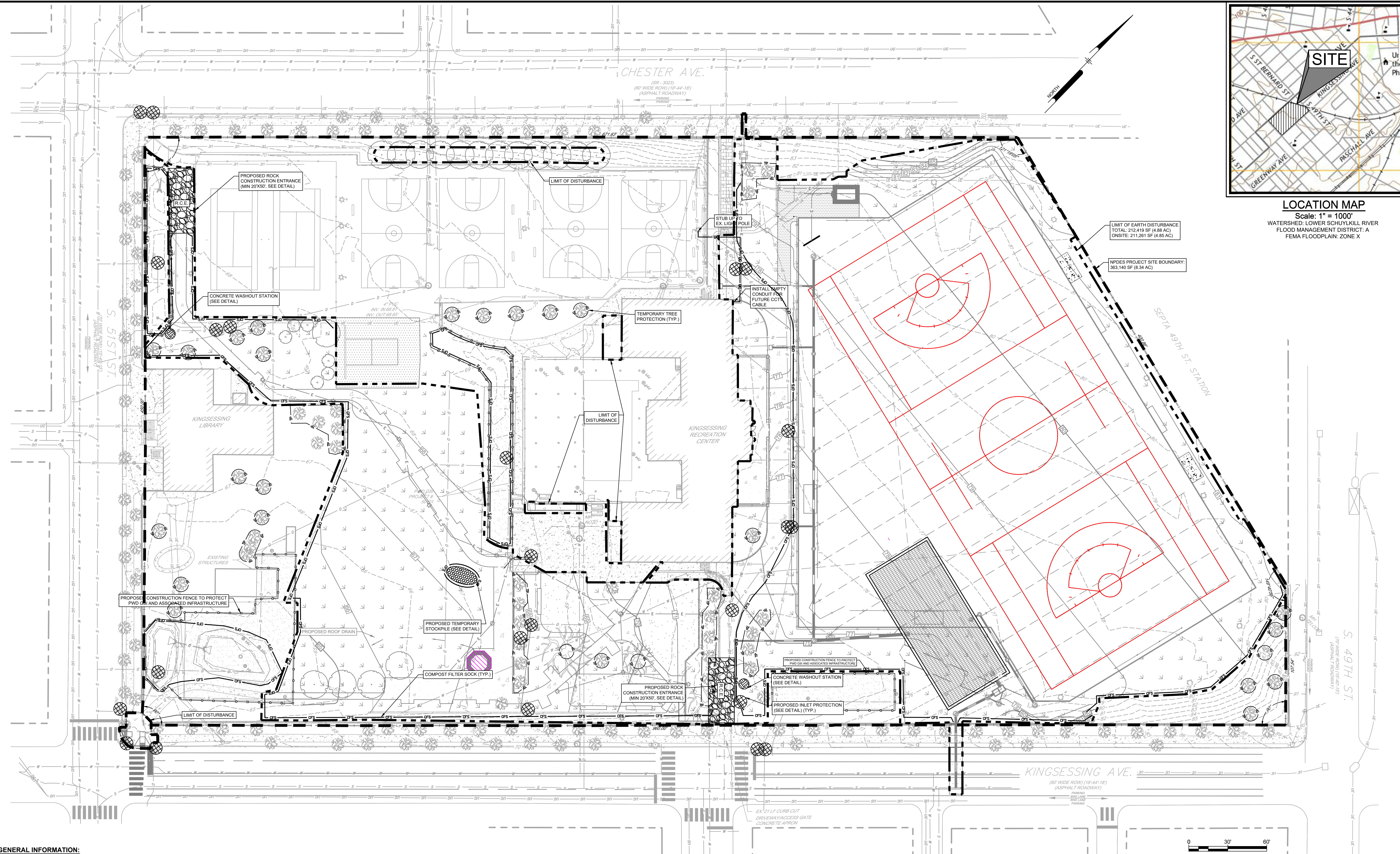
DRAWING TITLE
SITE DETAILS

PROJECT NO. KLMLX21003	DRAWING NO. CS609-R.2
DATE 04/21/23	SCALE AS NOTED
DRAWN BY SDL	CHECKED BY MJM

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

NPDES PERMIT #PAC510302
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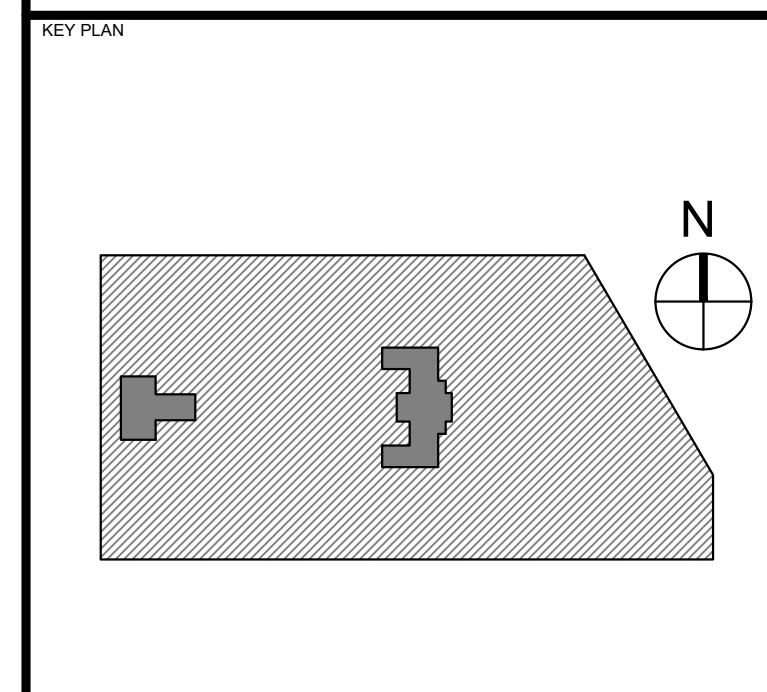
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PROJECT TITLE
KINGSESSING RECREATION CENTER



DRAWING TITLE
EROSION & SEDIMENTATION CONTROL PLAN

PROJECT NO. KLMXLX21003	DRAWING NO. CS801-R.2
DATE 04/21/23	SCALE 1" = 30'
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GENERAL INFORMATION:

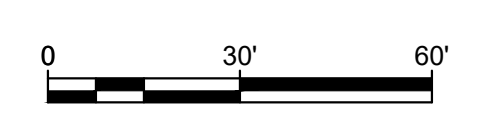
SITE:
4801 KINGSESSING AVE
PHILADELPHIA, PA 19143
OPA#783249500

CLIENT:
CITY OF PHILADELPHIA
PARKS AND RECREATION
1515 ARCH STREET, 10TH FLOOR
PHILADELPHIA, PA 19102

ENGINEER:
PENNONI ASSOCIATES
1900 MARKET STREET, SUITE 300
PHILADELPHIA, PA 19103

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN BY AMERICAN ENGINEERS GROUP, LLC ENTITLED "KINGSESSING RECREATION CENTER TOPOGRAPHIC SURVEY", SHEET NO. 1, DATED 03/12/2021.

EXISTING LEGEND	PROPOSED LEGEND	EROSION AND SEDIMENT CONTROL LEGEND
--- EXISTING PROPERTY LINE (APPROXIMATE)	--- PROPOSED BUILDING	--- PROPOSED LIMIT OF DISTURBANCE
--- EXISTING RIGHT OF WAY LINE (APPROXIMATE)	--- PROPOSED DOOR	--- PROPOSED NPDES PROJECT SITE BOUNDARY
--- EXISTING BUILDING	--- PROPOSED CONCRETE PAVEMENT	--- PROPOSED ROCK CONSTRUCTION ENTRANCE
--- EXISTING CURB	--- PROPOSED ASPHALT PAVEMENT	--- PROPOSED STOCKPILE
--- EXISTING SIDEWALK	--- PROPOSED LANDSCAPED AREA	--- PROPOSED INLET PROTECTION
--- EXISTING EDGE OF MACADAM/GRAVEL	--- PROPOSED UNIT PAVERS	--- PROPOSED CONCRETE WASHOUT
--- EXISTING TRAFFIC MARKING	--- PROPOSED POROUS PLAYGROUND SAFETY SURF	--- PROPOSED TREE PROTECTION
--- EXISTING FENCE	--- PROPOSED SYNTHETIC TURF FIELD	--- PROPOSED COMPOST FILTER SOCK
--- EXISTING TREE	--- PROPOSED ADA RAMP	
--- EXISTING MAJOR CONTOUR	--- PROPOSED CURB	
--- EXISTING MINOR CONTOUR	--- PROPOSED DEPRESSED CURB	
--- EXISTING SIGN	--- PROPOSED WALL	
--- EXISTING BOLLARD	--- PROPOSED STOP BAR/PAVEMENT MARKING	
--- EXISTING UTILITY POLE	--- PROPOSED FENCE	
--- EXISTING LIGHT	--- PROPOSED SIGN	
--- EXISTING INLET	--- PROPOSED MAJOR CONTOUR	
--- EXISTING SEWER	--- PROPOSED MINOR CONTOUR	
--- EXISTING STORM SEWER	--- PROPOSED STORM INLET	
--- EXISTING WATER LINE	--- PROPOSED STORM MANHOLE	
--- EXISTING UNDERGROUND TELEPHONE LINE	--- PROPOSED STORM CLEANOUT	
--- EXISTING GAS LINE	--- PROPOSED STORM SEWER	
--- EXISTING UNDERGROUND ELECTRIC	--- PROPOSED SANITARY SEWER	
--- EXISTING OVERHEAD WIRES	--- PROPOSED WATER LINE	
--- EXISTING UTILITY STRUCTURES	--- PROPOSED FIRE LINE	
	--- PROPOSED NATURAL GAS LINE	
	--- PROPOSED CABLE/TELEPHONE LINE	
	--- PROPOSED ELECTRIC LINE	



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20212583952

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023
NPDES PERMIT #PAC510302
PWD TRACKING #FY22-KING-6800-01

PWD STANDARD EROSION AND SEDIMENTATION CONTROL NOTES:

- AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PRECAUTIONS DESCRIBED IN THIS PLAN OVER UNDESIRABLE AREAS.
- INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
- PWD IS NOT RESPONSIBLE FOR ANY CLEANUP OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEANUP OR REPAIRS NEEDED.
- INSPECTION AND MAINTENANCE OF ALL CLEARING AND SEDIMENT BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
- THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.
- THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS PURPOSE AT THE END OF EACH CONSTRUCTION DAY. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- FILTER FABRIC FENCE AND/OR COMPOST FILTER SOCK SHALL BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE/STOCK SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES SHALL BE INSTALLED AT A MAXIMUM OF 1 FEET. OBJECTS OF CONSIDERABLE MASS (E.G. CONCRETE BLOCKS, SAND BAGS, ETC.) SHALL BE USED IMMEDIATELY DOWNSLOPE OF COMPOST FILTER SOCKS PLACED ON PAVED SURFACES IN LIEU OF STAKES TO HOLD THE SOCK IN PLACE. OBJECTS TO BE PLACED AT INTERVALS PER THE COMPOST FILTER SOCK MANUFACTURER'S SPECIFICATION OR PA DEP MAXIMUM SPACING OF 10' ON CENTER. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FILTER FENCE/FILTER SOCK.
- ANY FENCE/STOCK SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 90 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND PA DEP.
- UNTIL THE SITE IS STABILIZED, ALL E&S BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMPs PRIOR TO ANY ANTICIPATED STORM EVENT. AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS, ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL REGULATIONS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES – SIX TO 12 INCHES ON COMPACTED SOILS – PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL. IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FILL MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY PWD AND PA DEP.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSION MUST OCCUR DURING THE GERMINATING SEASON.
- SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
- DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE PCSPM APPROVED BY PWD. NO CHANGE OR DEVIATION FROM THE APPROVED PCSPM IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD.
- ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT "WATER MAIN STANDARD DETAILS AND CORROSION CONTROL SPECIFICATIONS", 1985 EDITION, AND "STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS", 1985 EDITION.
- CONTACT PWD WATER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR, PHONE: 215-685-6271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED FACILITIES.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNRECYCLED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING OR STRUCTURE THAT IS MORE THAN THREE (3) STORIES, GREATER THAN 400 (FOOT) FEET TALL, OR ENCOMPASSES MORE THAN TEN THOUSAND (10,000) SQUARE FEET, COMPLETELY OR PARTIALLY DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLICATION, OR ENGAGING IN EARTHWORKS, DEFINED AS "CLEARING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND IN EXCESS OF 5,000 SQUARE FEET."

DUST CONTROL MEASURES:

- FUGITIVE DUST FROM CONSTRUCTION, DEMOLITION, AND EARTHWORKS ACTIVITIES MAY NOT BE VISIBLE AT THE POINT IT PASSES THE WORK SITE PROPERTY LINE.
- USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING / CUTTING
- APPLICATION OF WATER OR APPROVED DUST SUPPRESSANT TO A WORK SITE WITH ONGOING EXCAVATION, LAND CLEARING, DEMOLITION, OR OTHER EARTH DISTURBANCE RELATED ACTIVITIES TO SUPPRESS DUST FORMATION.
- GENERAL PROHIBITION AGAINST DRY ABRASIVE BLASTING OF EXTERIOR SURFACES OPEN TO THE OUTSIDE AIR WHEN TEMPERATURE IS ABOVE FREEZING.
- COVERING AND WETTING OF STOCKPILE EARTH, SAND, GRAVEL, AND OTHER SIMILAR CONSTRUCTION MATERIALS.
- USE OF A MATERIAL CHUTE WHEN DROPPING MATERIAL OR DEBRIS MORE THAN 20 FT OUTSIDE OF THE EXTERIOR WALLS OF A BUILDING OR STRUCTURE. MATERIALS MUST BE WETTED WHEN DROPPED, AND /OR EXIT OF CHUTE MUST BE SEALED AGAINST THE TOP OF THE RECEIVING CONTAINER / DUMPER.
- ALL TEMPORARY PERIMETER FENCING AROUND MUST HAVE A DUST CONTROL FABRIC; MUST MEASURE A MINIMUM OF 5FT IN HEIGHT FROM THE BOTTOM OF THE FENCING.
- A 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
- WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.
- VEHICLE ACCESS POINTS MUST BE EQUIPPED WITH DUST SUPPRESSION MEASURES (I.E. WHEEL WASH SYSTEMS, RUMBLE GRATES, AND/OR GRAVEL PADS).

TEMPORARY EROSION AND SEDIMENT CONTROL:

- INLET PROTECTION SHALL BE APPLIED, AS DETAILED ON THE PLAN, TO EVERY INLET WHICH HAS BEEN CONSTRUCTED TO THE ROADWAY SUBBASE ELEVATION. INLET PROTECTION MUST BE PROVIDED FOR ALL CITY OWNED INLETS LOCATED WITHIN ONE CITY BLOCK OF THE PROJECT SITE.
 - SILT FENCE/COMPOST FILTER SOCKS SHALL BE INSTALLED DOWNSLOPE OF ALL AREAS TO BE DISTURBED BEFORE ANY WORK BEGINS. SILT FENCE/COMPOST FILTER SOCKS AND ROCK FILTERS SHALL BE INSTALLED AS NEAR AS POSSIBLE TO THE LOCATIONS SHOWN ON THE PLAN. FILTER FABRIC/COMPOST FILTER SOCKS SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES AND/OR OBJECTS OF CONSIDERABLE MASS SHALL BE SPACED AT A MAXIMUM OF 6 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FILTER FENCE/FILTER SOCK.
 - STOCKPILED TOPSOIL MOUNDS SHALL BE STABILIZED BY APPLYING TEMPORARY SEED AND A PERMETER SILT FENCE/NETER SOCK SHALL BE INSTALLED AROUND EACH MOUND. TEMPORARY SEEDING SHALL BE PER PENNDOT FORM 409, SECTION 804B.
 - ALL STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AS NEAR AS POSSIBLE TO THE LOCATION SHOWN ON THE PLAN. THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON SITE. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE AT THE END OF EACH CONSTRUCTION DAY. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.
 - FREQUENT INSPECTION SHALL BE MADE ON THE FILTER FABRIC FENCE/COMPOST FILTER SOCK. DAMAGED FENCE/STOCK SHALL BE IMMEDIATELY REPLACED. SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHTS OF FENCE/STOCK. SILT FENCE/COMPOST FILTER SOCK WHICH HAS BEEN TOPPED OR UNDERMINED IS TO BE REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
- PROCEDURE FOR STABILIZATION OF SOILS FOUND OR SUSPECTED TO BE CONTAMINATED:**
- DISTURBED EARTH TO BE IMMEDIATELY STABILIZED WITH SEEDING THROUGH THE USE OF HYDROSEEDING TECHNIQUES AND HAY OR STRAW MULCHING TO CONTAIN CONTAMINATED SOILS.
 - PLASTIC LINER TO BE INSTALLED BELOW TEMPORARY TOPSOIL STOCKPILES. TOPSOIL STOCKPILE TO BE STABILIZED WITH SEEDING AND TO BE COVERED BY A TEMPORARY DAILY COVER IMMEDIATELY PER THE REQUIREMENTS OF THE PA DEP E&S GUIDELINES.
 - EXPOSED SOILS TO BE SPRINKLED WITH WATER ON A DAILY BASIS UNTIL MOIST TO PREVENT DUST GENERATION AND TRANSPORT.
 - UTILIZE APPROVED PA DEP EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL FROM LEAVING THE SITE. METHODS INCLUDE, BUT ARE NOT LIMITED TO WHEEL WASH, SILT FENCE, INLET FILTER PROTECTION, ROCK CONSTRUCTION ENTRANCE, ETC.

PWD STANDARD SEQUENCE OF CONSTRUCTION NOTES:

- AT LEAST SEVEN (7) DAYS PRIOR TO ANY EARTH DISTURBANCE, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE A PRECONSTRUCTION MEETING.
- AT LEAST THREE (3) DAYS PRIOR TO RAIN GRADING AND SUBSURFACE DETENTION BASIN INSTALLATION, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE AN INSPECTION (FOR EACH BMP).
- ALL STONE THAT MAKES UP THE (SUBSURFACE DETENTION BASIN) MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN WASHED STONE.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- THE NPDES NOTICE OF TERMINATION (N.O.T.) MUST BE SUBMITTED TO PA DEP UPON COMPLETION OF CONSTRUCTION (WHEN APPLICABLE).
- WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER" (WHEN APPLICABLE).

SEQUENCE OF CONSTRUCTION:

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE AND SHALL BE COMPLETED IN COMPLIANCE WITH PHILADELPHIA WATER DEPARTMENT AND CHAPTER 102 REGULATIONS.

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LAND OWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE FROM THE PHILADELPHIA WATER DEPARTMENT TO SCHEDULE A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST 3 WORKING DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.

BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE PHILADELPHIA WATER DEPARTMENT AND PA DEP. OF ENVIRONMENTAL PROTECTION (PADEP).

THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 et seq. AND 287.1 et seq.

THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE PHILADELPHIA WATER DEPARTMENT AND PADEP AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL PROPOSED SLOPE, ROCK, SOIL, AND BORROW AREAS ON OR OFF SITE.

- CONSTRUCTION WILL BEGIN UPON RECEIPT OF ALL REQUIRED PERMITS FROM CITY OF PHILADELPHIA AND PADEP.
- PRIOR TO PROCEEDING WITH CONSTRUCTION, CONFIRM THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES, MAINTAIN AND PROTECT ALL EXISTING UTILITIES TO REMAIN AT ALL TIMES.
- AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER".
- DISTURBANCE OF THE PROJECT SITE MUST BE KEPT TO THE ABSOLUTE MINIMUM.
- ALL SOIL MOVEMENT SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND APPLICABLE MUNICIPAL, STATE, AND FEDERAL REGULATIONS.
- EXISTING PEDESTRIAN TRAFFIC SHALL BE MAINTAINED OR PROPERLY DIRECTED AROUND THE SITE THROUGHOUT THE DURATION OF THE PROJECT.
- DELINEATE LIMITS OF DISTURBANCE AS OUTLINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS WITH ORANGE CONSTRUCTION FENCING, LINEAR UTILITY TRENCHES, AS OUTLINED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLANS. DO NOT NEED TO BE DELINEATED WITH FENCE. UTILITY TRENCHES SHALL BE BACKFILLED AT THE END OF EACH DAY AND TEMPORARILY STABILIZED. CONTRACTOR SHALL NOT PERFORM ANY OTHER WORK OUTSIDE OF THE APPROVED LIMITS OF DISTURBANCE.
- INSTALL INLET PROTECTION.
- ROCK CONSTRUCTION ENTRANCE AT THE SITE ENTRANCE AS SHOWN ON THE APPROVED PLAN. EXISTING SUBGRADE TO BE REMOVED WITHIN THE FOOTPRINT OF THE ROCK CONSTRUCTION ENTRANCE AREA FOR WHICH THE CONTRACTOR SHALL EXCAVATE ONLY ENOUGH AREA FOR WHICH ROCK CONSTRUCTION ENTRANCE CAN BE INSTALLED BY THE END OF EACH WORK DAY. CONSTRUCTION VEHICLES SHALL ENTER AND EXIT THE SITE THROUGH THE ENTRANCE. ROCK CONSTRUCTION ENTRANCE TO BE RESTORED AND SEDIMENT IS TO BE REMOVED ON A DAILY BASIS.
- INSTALL COMPOST FILTER SOCK DOWN GRADE AND ON CONTOUR OF DISTURBED AREAS PER THE APPROVED PLAN. DISTURBED AREAS SHALL BE IMMEDIATELY STABILIZED AND GRADED TO SLOPE TOWARDS THE SITE AND AWAY FROM THE ADJACENT AREAS.
- STAKE OUT AND INSTALL ORANGE CONSTRUCTION FENCE AROUND THE LIMITS OF ANY PROPOSED, OR EXISTING TO BE PROTECTED, INFILTRATION AREA (TREE TRENCHES AND RAIN GARDENS). CONTRACTOR TO MINIMIZE THE COMPACTION OF SOIL WITH THE INFILTRATION AREA. HEAVY MACHINERY IS PROHIBITED TO ENTER WITHIN THE LIMITS OF THE PROPOSED INFILTRATION AREA.
- THE STAGING AREA SHALL BE ESTABLISHED ON THE SITE AND SHALL NOT IMPDE RUNOFF FROM REACHING THE EXISTING INLETS. STAGING AREAS NOT CREATED ON EXISTING PAVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED DETAIL.
- CONCRETE WASHOUT TO BE INSTALLED ADJACENT TO THE ROCK CONSTRUCTION ENTRANCE PER THE APPROVED PLANS.
- CONTRACTOR SHALL TEMPORARILY STABILIZE THE SITE AT THE END OF EACH WORK DAY (WHENEVER POSSIBLE) AND AT THE START OF A RAINFALL EVENT. CESSATION OF EARTH DISTURBANCE ACTIVITIES FOR AT LEAST 4 DAYS REQUIRES TEMPORARY STABILIZATION.
- CONTRACTOR TO HAVE PUMPED WATER FILTER BAG ON-SITE AND AVAILABLE FOR DEWATERING OF EXCAVATED AREAS WHEN REQUIRED. FILTER BAG TO BE USED FOR UNDESIRABLE UNDISTURBED VEGETATED AREAS IN ACCORDANCE WITH THE APPROVED PLANS.
- CONTRACTOR TO BEGIN DEMOLITION OF THE REMAINING EXISTING SITE FEATURES. REMOVE VEGETATION AND CONSTRUCTION OF THE FILL. DISTURBED AREAS SHALL BE STABILIZED WHENEVER POSSIBLE AND AS REQUIRED.
- PRIOR TO BMP INSTALLATION, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE AN INSPECTION.

*INSTALL SUBSURFACE BASIN (SEE SUBSURFACE BASIN SEQUENCE OF CONSTRUCTION) AND OUTLET CONTROL STRUCTURE.

*INSTALL MEDIA FILTER WATER QUALITY DEVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

- FOLLOWING THE CONSTRUCTION OF THE SMP, THE SITE IMPROVEMENTS INCLUDING THE SYNTHETIC TURF FIELD, CONCRETE PATHWAYS, PLAYGROUND SURFACING AND LANDSCAPING SHALL BE CONSTRUCTED, ENSURING ALL SMPs AND E&S BMPs ARE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- REMOVE ROCK CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT WHEN CONCRETE WORK IS COMPLETE AND CONSTRUCTION EQUIPMENT NO LONGER NEEDS ACCESS.
- ONCE THE SITE AREA HAS ACHIEVED A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION, REMOVE TEMPORARY EROSION AND SEDIMENTATION BMPs INCLUDING ROCK CONSTRUCTION ENTRANCES AND INLET PROTECTION. ANY AREA DISTURBED DURING THE REMOVAL OF A TEMPORARY BMP SHALL BE IMMEDIATELY STABILIZED WITH SEEDING AND STRAW MULCH.
- ENSURE THAT ALL POST-CONSTRUCTION STORMWATER MANAGEMENT BMPs ARE IN PLACE AND FUNCTIONING ACCORDING TO THE APPROVED PCSPM PLANS, DETAILS, AND NARRATIVE. CONTACT THE PHILADELPHIA WATER DEPARTMENT FOR A FINAL INSPECTION AND SUBMIT RECORD DRAWINGS TO COMPLETE THE PROJECT.

25. REMOVAL AND DISPOSAL OF BITUMINOUS MATERIAL SHALL BE IN COMPLETED IN ACCORDANCE WITH DETAILS AND REGULATIONS OF THE MUNICIPALITY, PADEP, AND PENNDOT, AS APPLICABLE AND IS SUBJECT TO INSPECTION AND APPROVAL AS APPROPRIATE.

26. CONTRACTOR TO COLLECT AND REMOVE ALL TRASH/DEBRIS ON SITE.

***CRITICAL STAGE - DURING THE BMP INSTALLATION, A LICENSED PROFESSIONAL ENGINEER, REGISTERED ARCHITECT/LANDSCAPE ARCHITECT, PROFESSIONAL LAND SURVEYOR, GEOLOGIST, OR LICENSED CONTRACTOR MUST DOCUMENT THE INFORMATION AND MEASUREMENTS REQUIRED ON THE BMP CONSTRUCTION CERTIFICATION FORMS WITHIN THE CERTIFICATION PACKAGE.**

SEQUENCE OF CONSTRUCTION: SUBSURFACE BASIN

- AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION OF THE DETENTION BASIN, THE CONTRACTOR SHALL CONTACT PWD INSPECTIONS COORDINATOR (OFFICE: 215-685-6387).
- CONTRACTOR TO NOTIFY DESIGN ENGINEER 3 DAYS PRIOR TO CONSTRUCTION OF BASIN.
- EXCAVATE FOOTPRINT TO SPECIFIED ELEVATION.
- INSTALL STORMWATER BASIN, INCLUDING LOW FLOW DEVICE, AS SPECIFIED BY MANUFACTURER IN THE AREA SPECIFIED ON PLANS.
- INSTALL MEDIA FILTER WATER QUALITY DEVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CONNECT PIPES TO STORMWATER BASIN IN LOCATIONS SPECIFIED ON PLANS.
- BACKFILL TO GRADE.

SEQUENCE OF CONSTRUCTION: MEDIA FILTER

- AT LEAST 3 DAYS PRIOR TO THE INSTALLATION OF THE MEDIA FILTER, THE CONTRACTOR SHALL CONTACT PWD INSPECTIONS COORDINATOR (OFFICE: 215-685-6387).
- CONTRACTOR TO NOTIFY DESIGN ENGINEER 3 DAYS PRIOR TO INSTALLATION OF MEDIA FILTER.
- EXCAVATE FOOTPRINT TO SPECIFIED ELEVATION.
- INSTALL MEDIA FILTER WATER QUALITY DEVICE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- CONNECT PIPES TO STORMWATER BASIN IN LOCATIONS SPECIFIED ON PLANS.
- BACKFILL TO GRADE.

EROSION AND SEDIMENTATION CONTROL NOTES:

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED) AT THE REVIEWING AGENCY MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSPM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSPM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE TOPSOIL PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED, IF NECESSARY, AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE SITE GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 20 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNRECYCLED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THIS SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FR-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP. SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- VEHICLES AND EQUIPMENT MAY NEVER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS. VEHICLES AND EQUIPMENT MAY ONLY ENTER AND EXIT THE CONSTRUCTION SITE VIA A STABILIZED ROCK CONSTRUCTION ENTRANCE OR HANDS STREET.

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. THE OPERATOR WILL MAINTAIN AND MAKE AVAILABLE TO NORTHAMPTON COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS, UNLESS DIRECTED OTHERWISE BY ENGINEER.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOO, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR OTHER PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs. E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.

31. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.

32. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.

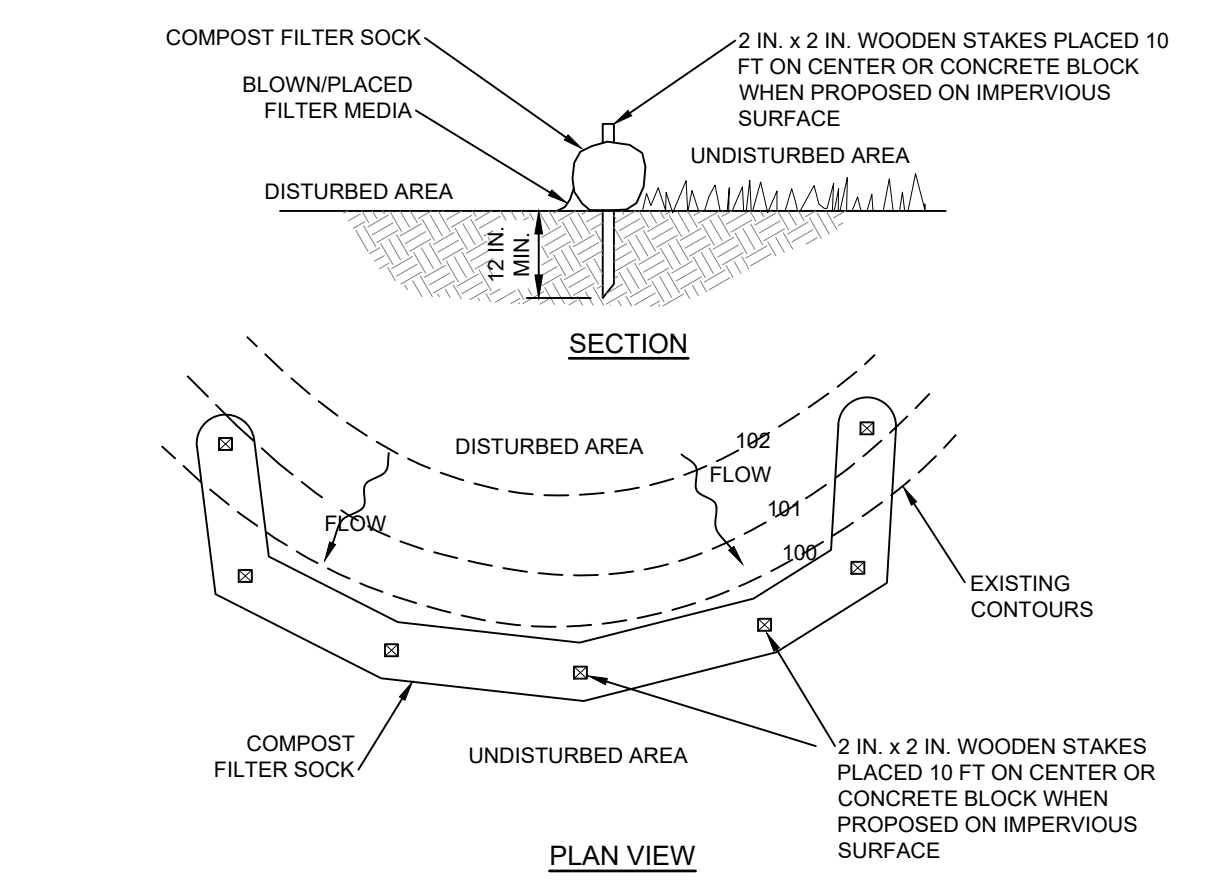
33. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 802 OF THE CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$25,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$200,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

ADDITIONAL EROSION AND SEDIMENTATION CONTROL NOTES:

- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 90 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 6A EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

EROSION AND SEDIMENTATION MAINTENANCE:

- DURING THE LIFE OF THE PROJECT, ALL EROSION AND SEDIMENTATION CONTROL DEVICES MUST BE PROPERLY MAINTAINED. MAINTENANCE SHALL INCLUDE THE INSPECTION OF EROSION CONTROL FACILITIES AFTER EACH MEASURABLE RAINFALL EVENT (0.25 INCH AND ON A WEEKLY BASIS, UNLESS MORE FREQUENT INSPECTION IS REQUIRED. IMMEDIATELY PERFORM CLEANOUT, REPAIR AND REPLACEMENT OF THE FACILITIES AS NEEDED. (REGRADING, RESEED AND MULCH WASHED OFF).
- UNTIL THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO PWD/PEP UPON REQUEST.
- WHERE BMPs ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION THE PERMITTEE OR CO-PERMITTEE NOTIFY THE PHILADELPHIA WATER DEPARTMENT OF THE FAILURE AND SHALL INCLUDE THE FOLLOWING INFORMATION:
 - THE LOCATION AND SEVERITY OF THE BMPs FAILURE AND ANY POLLUTION EVENTS.
 - ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE REOCURRENCE OF THE NON-COMPLIANCE.
 - THE TIME FRAME TO CORRECT THE NONCOMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY IF EROSION AND SEDIMENTATION BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED, AS NECESSARY, AND THEN RESEEDED. A STRAW COVER SHALL BE APPLIED TO RETAIN THE SEED ALONG WITH AN ANCHORING METHOD DESCRIBED ON THE ATTACHED MULCH ANCHORING GUIDE. UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTRIBUTED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATION STABILIZATION SPECIFICATIONS.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- INLET FILTER BAGS SHALL BE CLEANED OUT OR REPLACED WHEN BAG IS HALF FULL.
- SEDIMENT SHALL BE REMOVED FROM COMPOST FILTER SOCKS WHEN REACHING ONE HALF THE HEIGHT OF THE SOCK, IF USED.
- THE CONTRACTOR SHALL INSPECT ALL ROCK CONSTRUCTION ENTRANCES ON A DAILY BASIS AND SHALL ENSURE THAT SEDIMENT IS NOT BEING TRACKED ONTO PUBLIC STREETS. SEDIMENT THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE COLLECTED AND RETURNED TO THE SITE OR OTHERWISE PROPERLY REMOVED BY A STREET SWEEPER.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

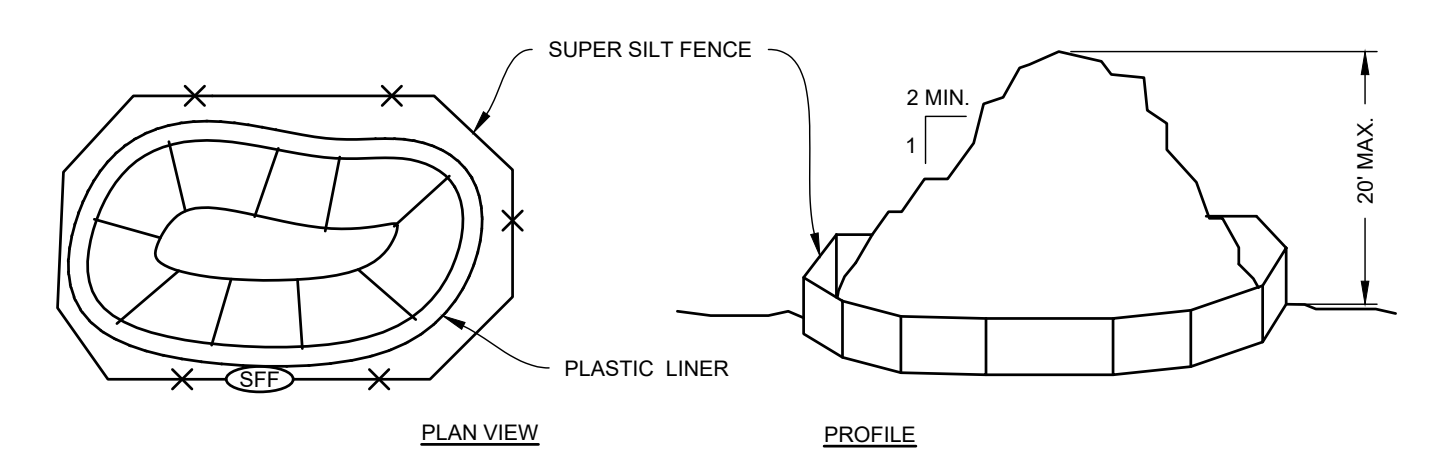
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

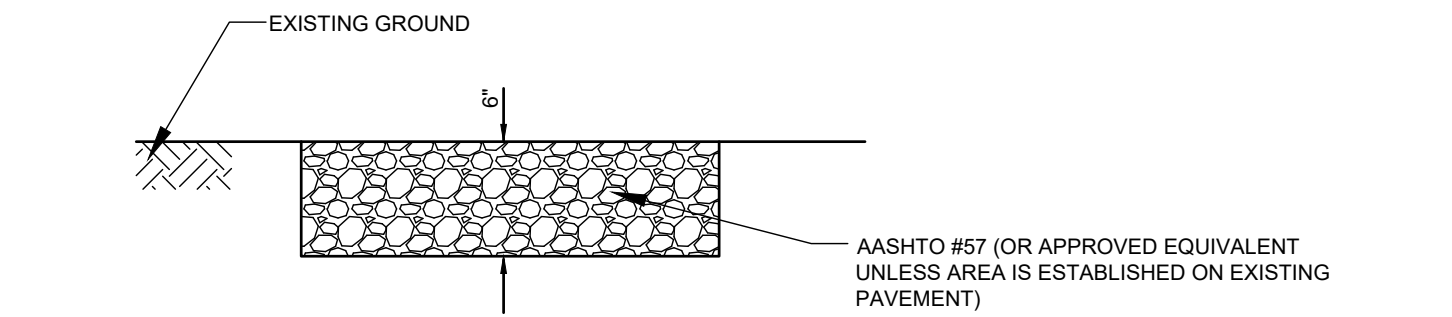
DETAIL - COMPOST FILTER SOCK
N.T.S.



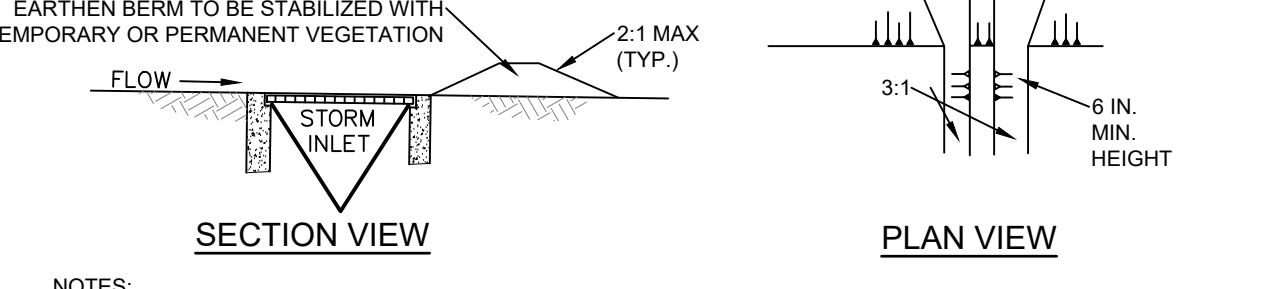
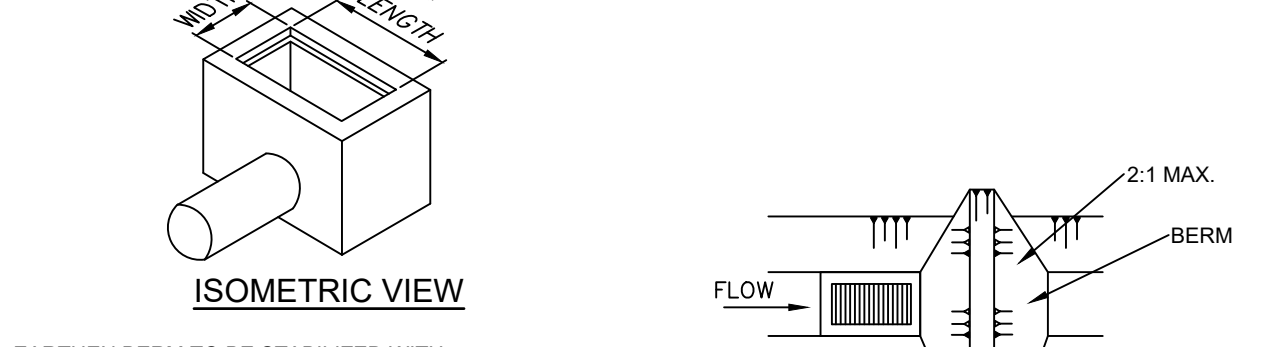
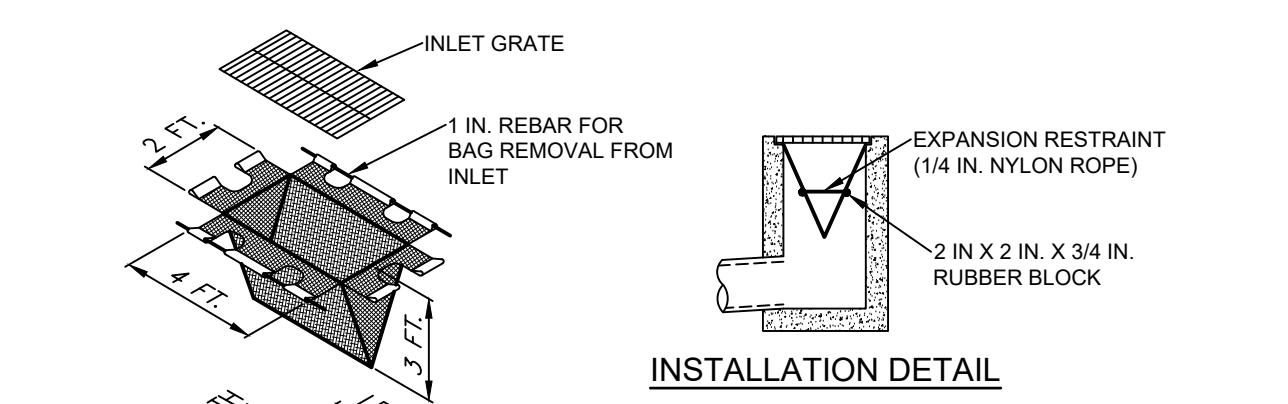
NOTES:

- SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF ALL STOCKPILES.
- IMMEDIATELY APPLY TEMPORARY SEEDING TO ALL STOCKPILES WHICH WILL REMAIN IN PLACE 30 DAYS OR MORE. TEMPORARY SEEDING SHALL BE PER PENNDOT FORM 409, SECTION 804(B).
- PLASTIC LINER TO BE INSTALLED BELOW TEMPORARY TOPSOIL STOCKPILES FOR SOILS FOUND OR SUSPECTED TO BE CONTAMINATED.

DETAIL - TEMPORARY TOPSOIL STOCKPILE
N.T.S.



DETAIL - STAGING AREA
N.T.S.



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

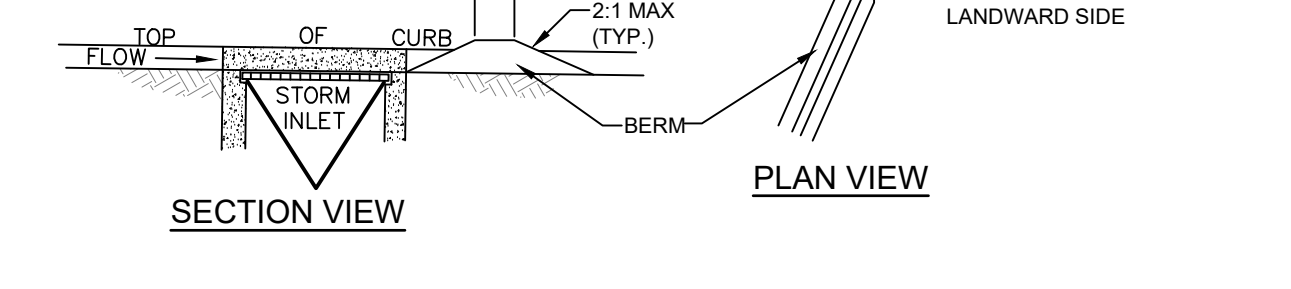
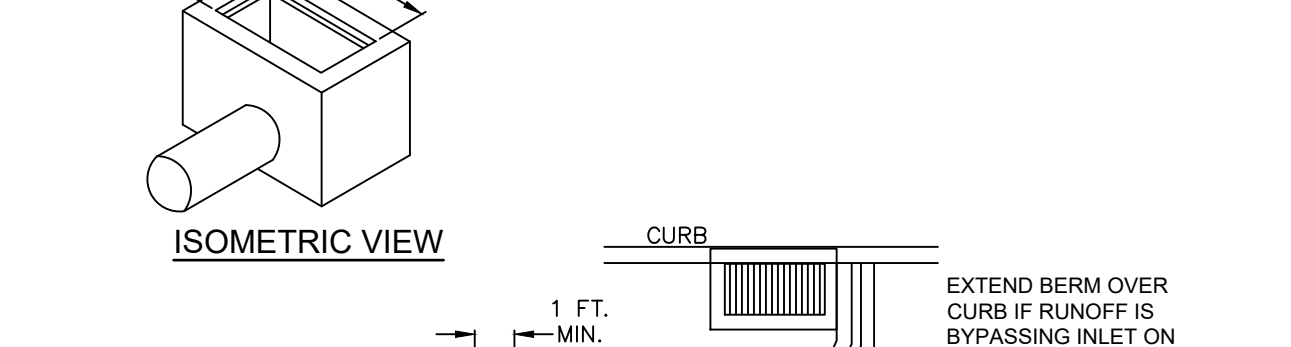
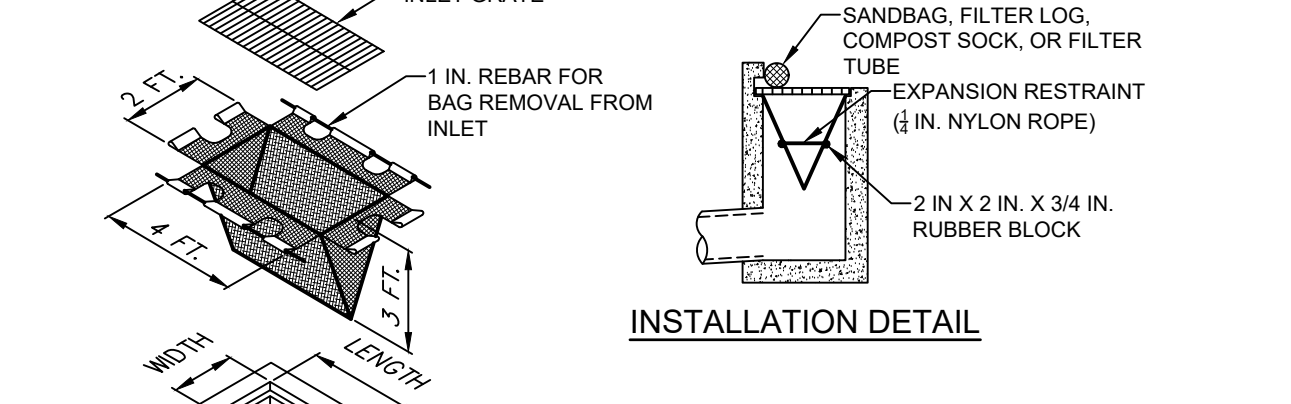
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

DETAIL - FILTER BAG INLET PROTECTION - TYPE M INLET
N.T.S.



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

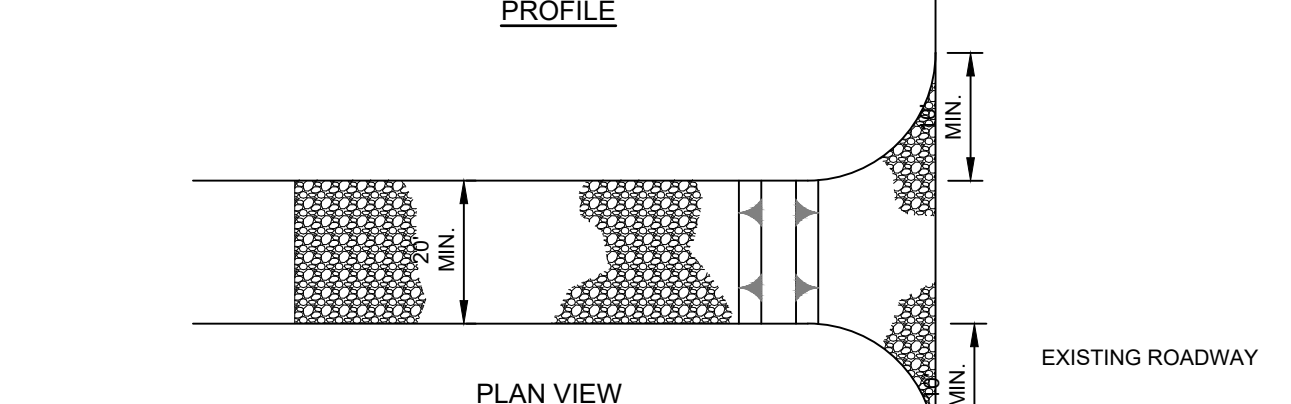
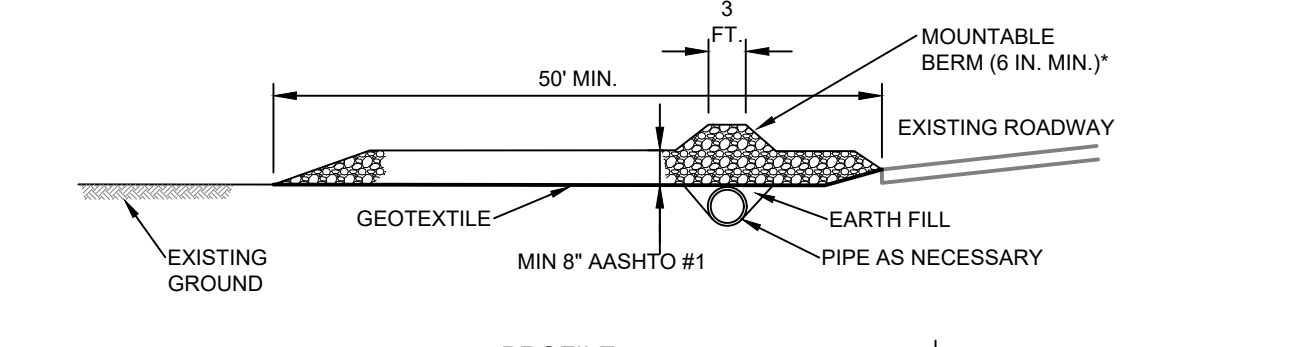
ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

DETAIL - FILTER BAG INLET PROTECTIO - TYPE C INLET
N.T.S.



NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

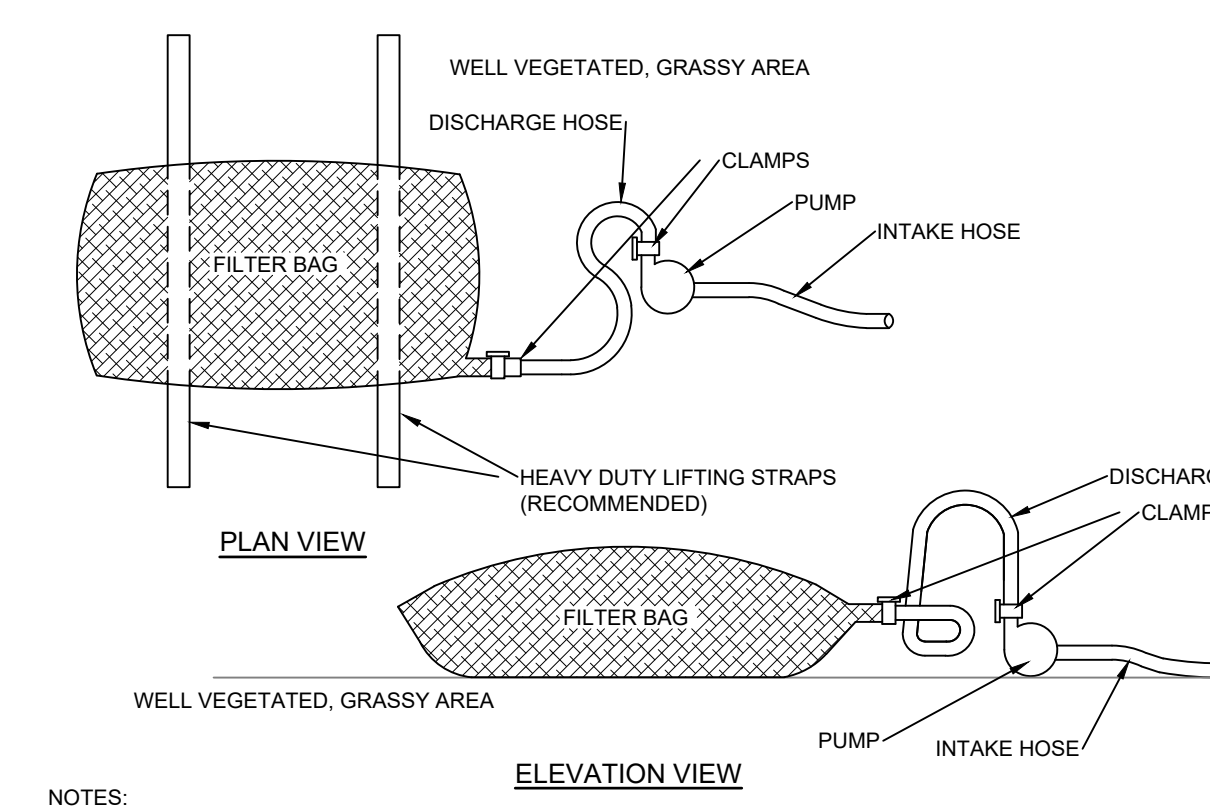
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

GEOTEXTILE FOR ROCK CONSTRUCTION ENTRANCE TO MEET THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTION 735, CLASS 4. TYPE A GEOTEXTILE.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

DETAIL - ROCK CONSTRUCTION ENTRANCE
N.T.S.



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED 2" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WELD WIDTH STRENGTH	ASTM D-4884	60 LBS/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLER BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
ACS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL, UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

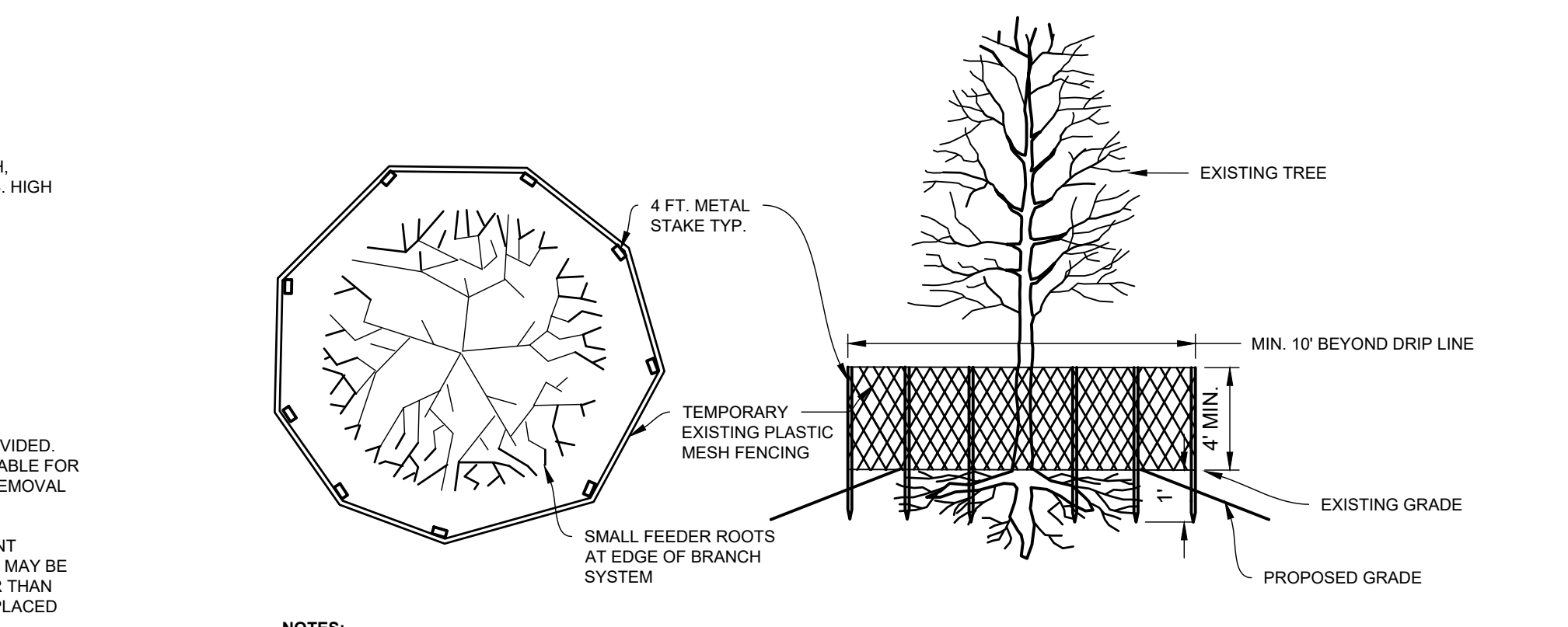
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HO OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE. WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 700 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

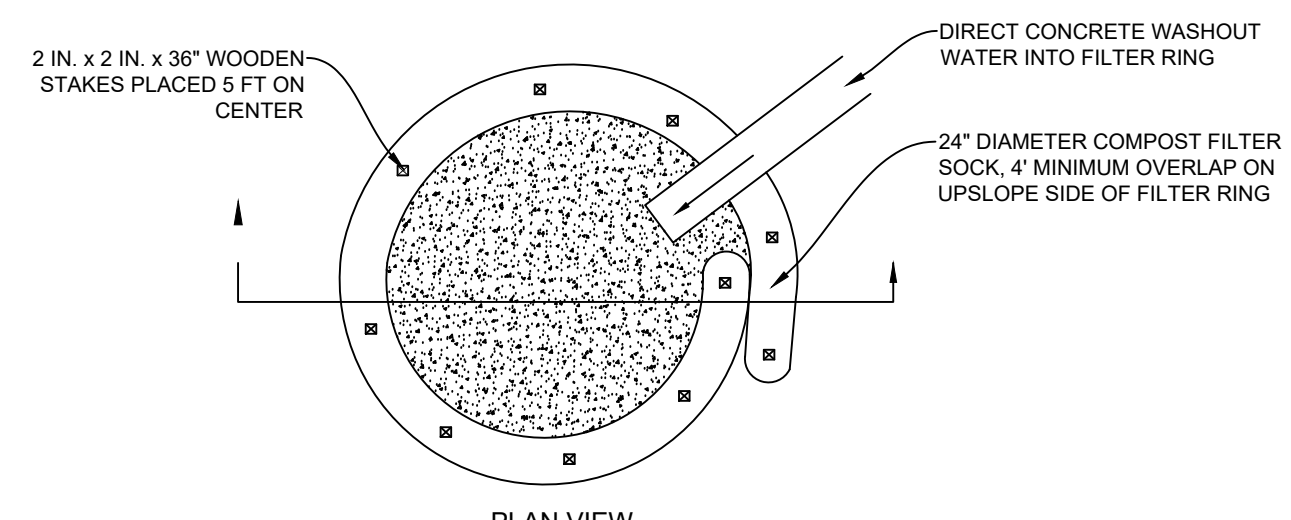
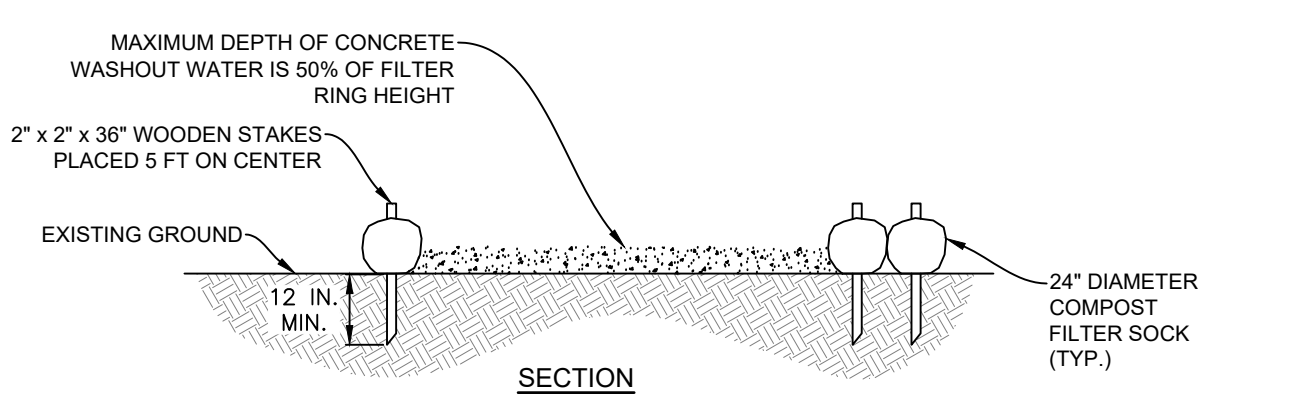
DETAIL - PUMPED WATER FILTER BAG
N.T.S.



NOTES:

- THOSE TREES WHICH ARE WITHIN TWENTY-FIVE (25) FEET OF ANY PROPOSED EXCAVATION OR GRADING OPERATION, OR IN ANY OTHER LOCATION DETERMINED APPROPRIATE BY THE ENGINEER, SHALL BE PROTECTED BY INSTALLING AND MAINTAINING A FENCE AT THE DRIP LINE.
- NO BOARDS OR OTHER MATERIAL SHALL BE NAILED TO TREES DURING CONSTRUCTION.
- HEAVY EQUIPMENT OPERATORS SHALL AVOID DAMAGING EXISTING TREE TRUNKS 3 FEET FROM TREE TRUNKS.
- TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING CONSTRUCTION SHALL BE PROTECTED FROM FURTHER DAMAGE BY BEING TREATED IMMEDIATELY.
- TREE LIMBS DAMAGED DURING CONSTRUCTION SHALL BE PROPERLY PRUNED AND TREATED IMMEDIATELY.
- THE OPERATION OF HEAVY EQUIPMENT OVER ROOT SYSTEMS OF SUCH TREES SHALL BE MINIMIZED IN ORDER TO PREVENT SOIL COMPACTION.
- DAMAGED TREES SHALL BE FERTILIZED TO AID IN THEIR RECOVERY.
- CONSTRUCTION DEBRIS SHALL NOT BE DISPOSED OF NEAR OR AROUND TREES.

DETAIL - TREE PROTECTION FENCE
N.T.S.



DETAIL - CONCRETE WASHOUT
N.T.S.

NOTES:

A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

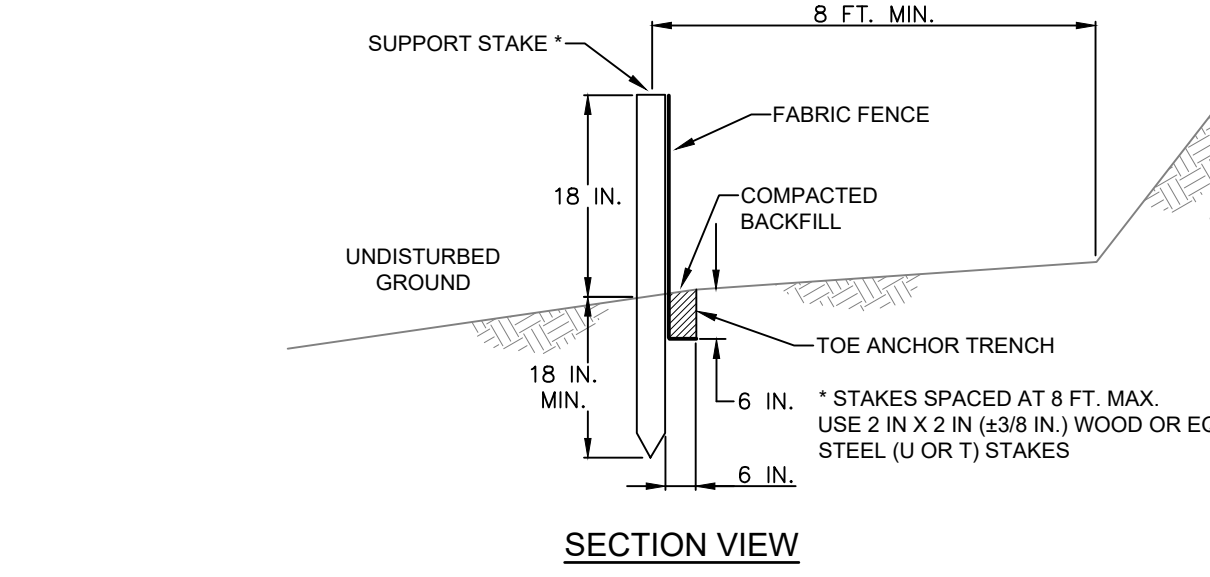
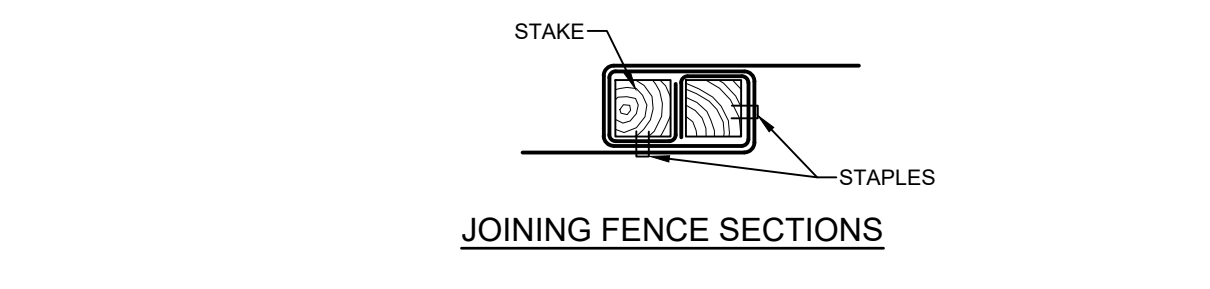
INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.

COMPOST SOCKS SHALL BE STAKED IN THE MANNER RECOMMENDED BY THE MANUFACTURER AROUND THE PERIMETER OF THE GEOMEMBRANE SO AS TO FORM A RING WITH THE ENDS OF THE SOCK LOCATED AT THE UPSLOPE CORNER.

CARE SHALL BE TAKEN TO ENSURE CONTINUOUS CONTACT OF THE SOCK WITH THE GEOMEMBRANE AT ALL LOCATIONS.

18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER FILTER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

MAINTENANCE: ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. ACCUMULATED MATERIALS SHALL BE REMOVED WHEN THEY REACH 50% CAPACITY. GEOMEMBRANE SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.



NOTES:

FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.

FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.

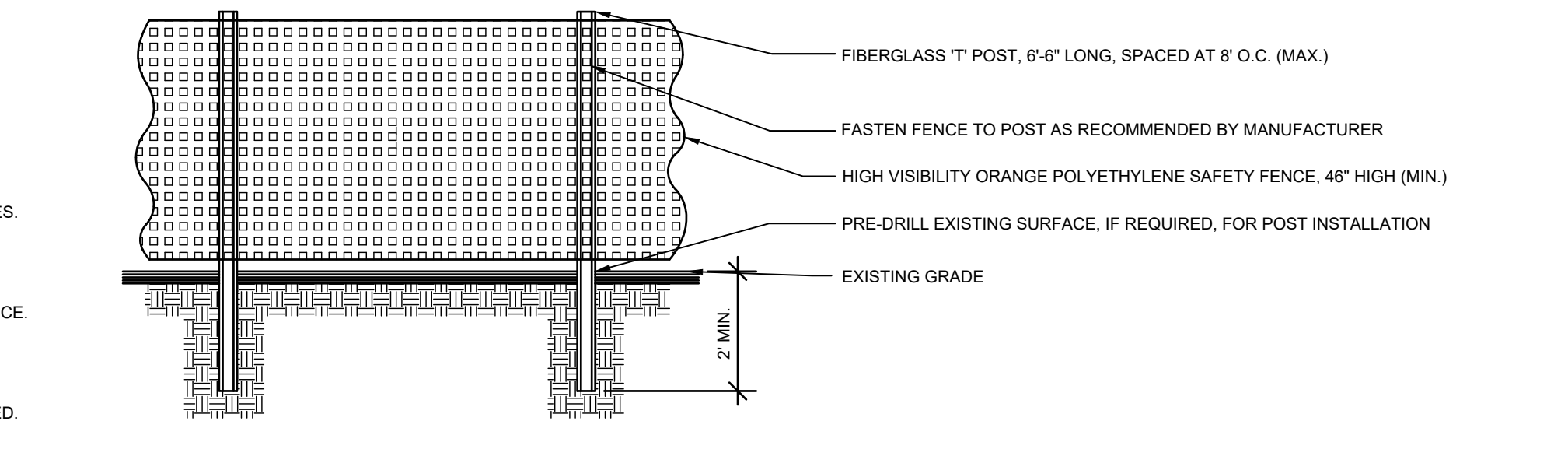
SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-6).

FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

DETAIL - SILT FENCE
N.T.S.



DETAIL - CONSTRUCTION FENCE
N.T.S.

REVISIONS

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REVIEWED BY:

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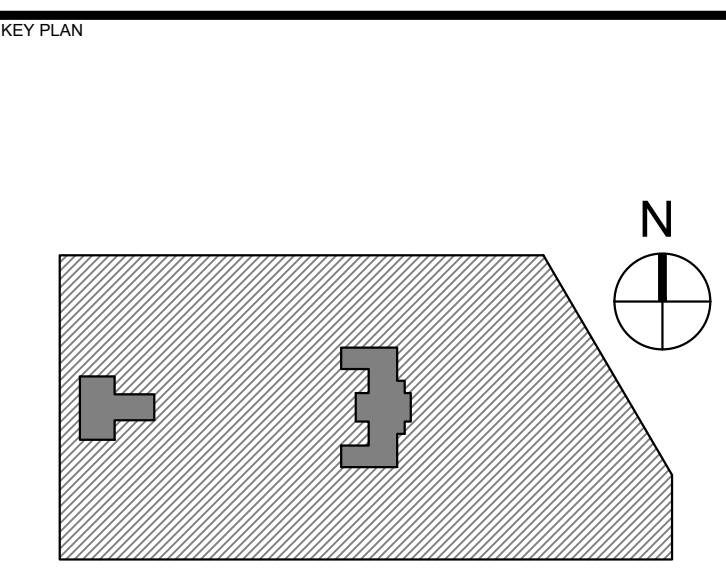
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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE:
KINGSESSING RECREATION CENTER



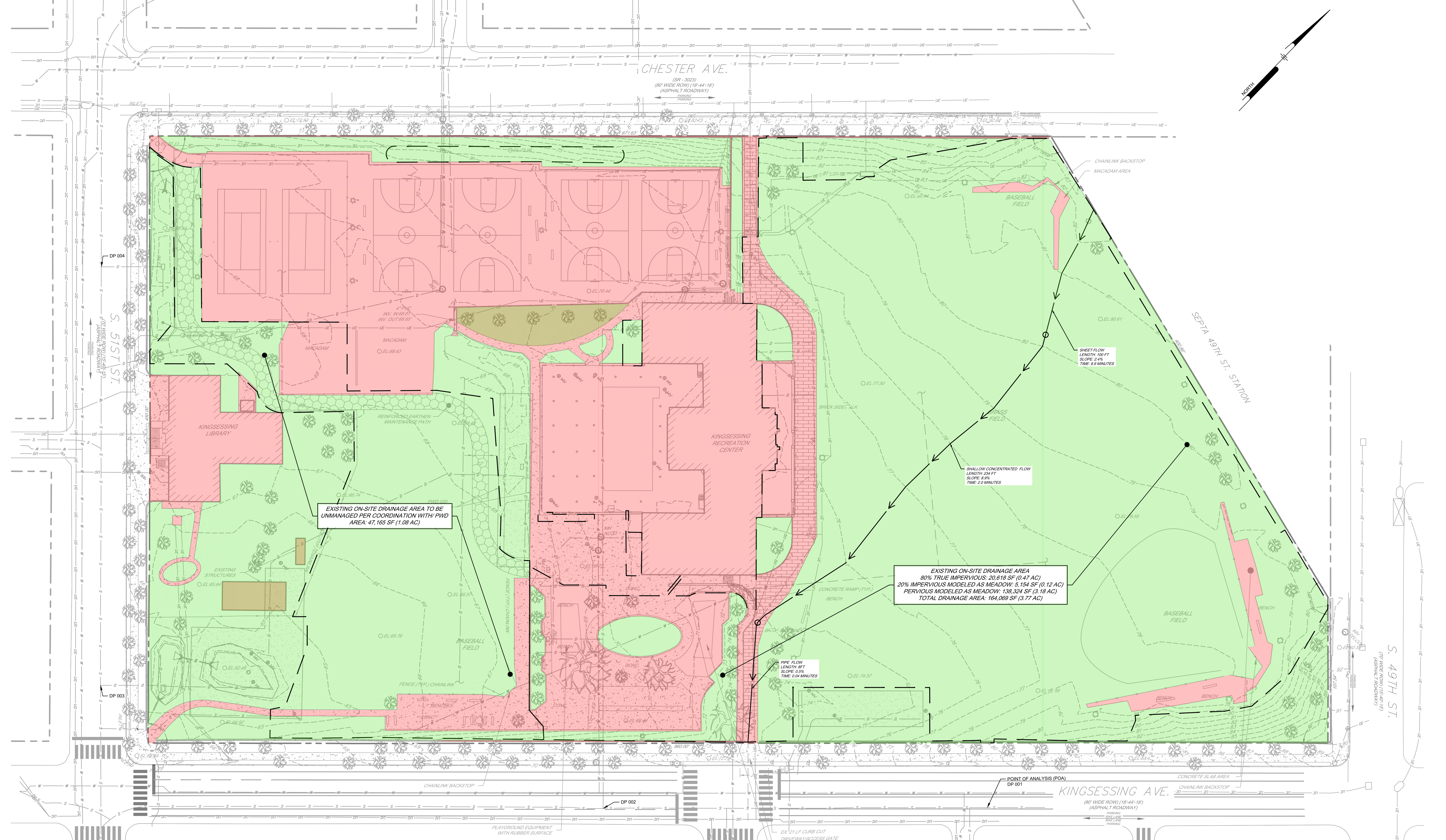
EROSION & SEDIMENTATION CONTROL DETAILS

PROJECT NO. KLMLX21003	DRAWING NO. CS852-R.2
DATE 04/21/23	
SCALE	
DRAWN BY SDL	
CHECKED BY MJM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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ISSUE	DATE	DESCRIPTION
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PROJECT COORDINATOR:
REALS:



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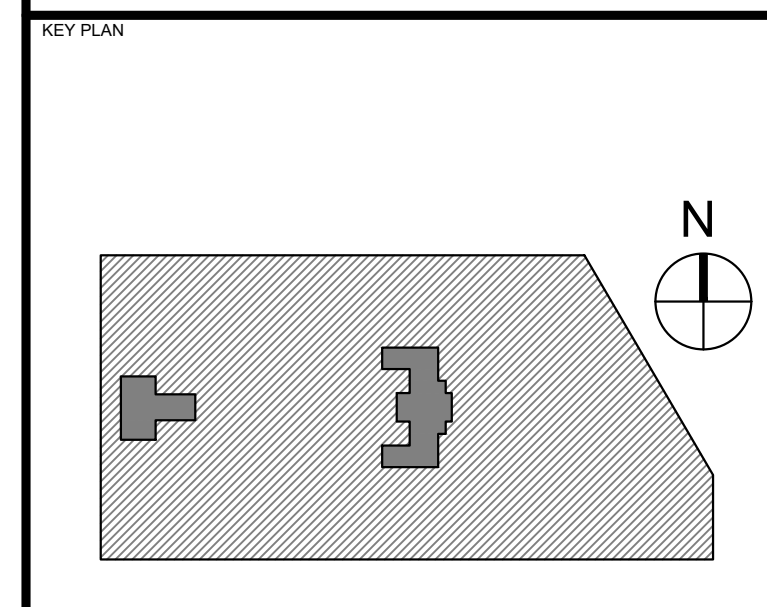
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER



DRAWING TITLE
PRE-CONSTRUCTION DRAINAGE AREA MAP

PROJECT NO. KLMLX21003	DRAWING NO. CS900-R.2
DATE 04/21/23	SCALE 1" = 30'
DRAWN BY SDI	CHECKED BY MJM

GENERAL INFORMATION:

SITE:
4801 KINGSESSING AVE
PHILADELPHIA, PA 19143
OPA#783249500

CLIENT:
CITY OF PHILADELPHIA
PARKS AND RECREATION
1515 ARCH STREET, 10TH FLOOR
PHILADELPHIA, PA 19102

ENGINEER:
PENNONI ASSOCIATES
1900 MARKET STREET, SUITE 300
PHILADELPHIA, PA 19103

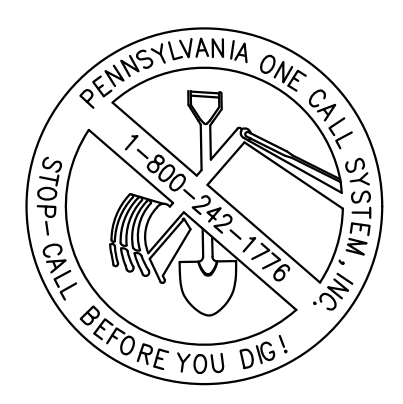
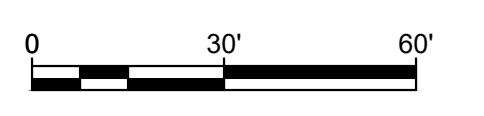
REFERENCES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN BY AMERICAN ENGINEERS GROUP, LLC ENTITLED "KINGSESSING RECREATION CENTER TOPOGRAPHIC SURVEY", SHEET NO. 1, DATED 03/12/2021.

PRE-CONSTRUCTION DRAINAGE AREA (ON-SITE)			
	AREA (SF)	AREA (AC)	CN
PRE-IMPERVIOUS (80% OF TRUE IMPERVIOUS)	20,618	0.47	98
PRE-MEADOW (20% OF TRUE IMPERVIOUS MODELED AS MEADOW)	5,154	0.12	58
GRASS (MODELED AS MEADOW)	138,203	3.17	58
TOTAL	163,975	3.76	

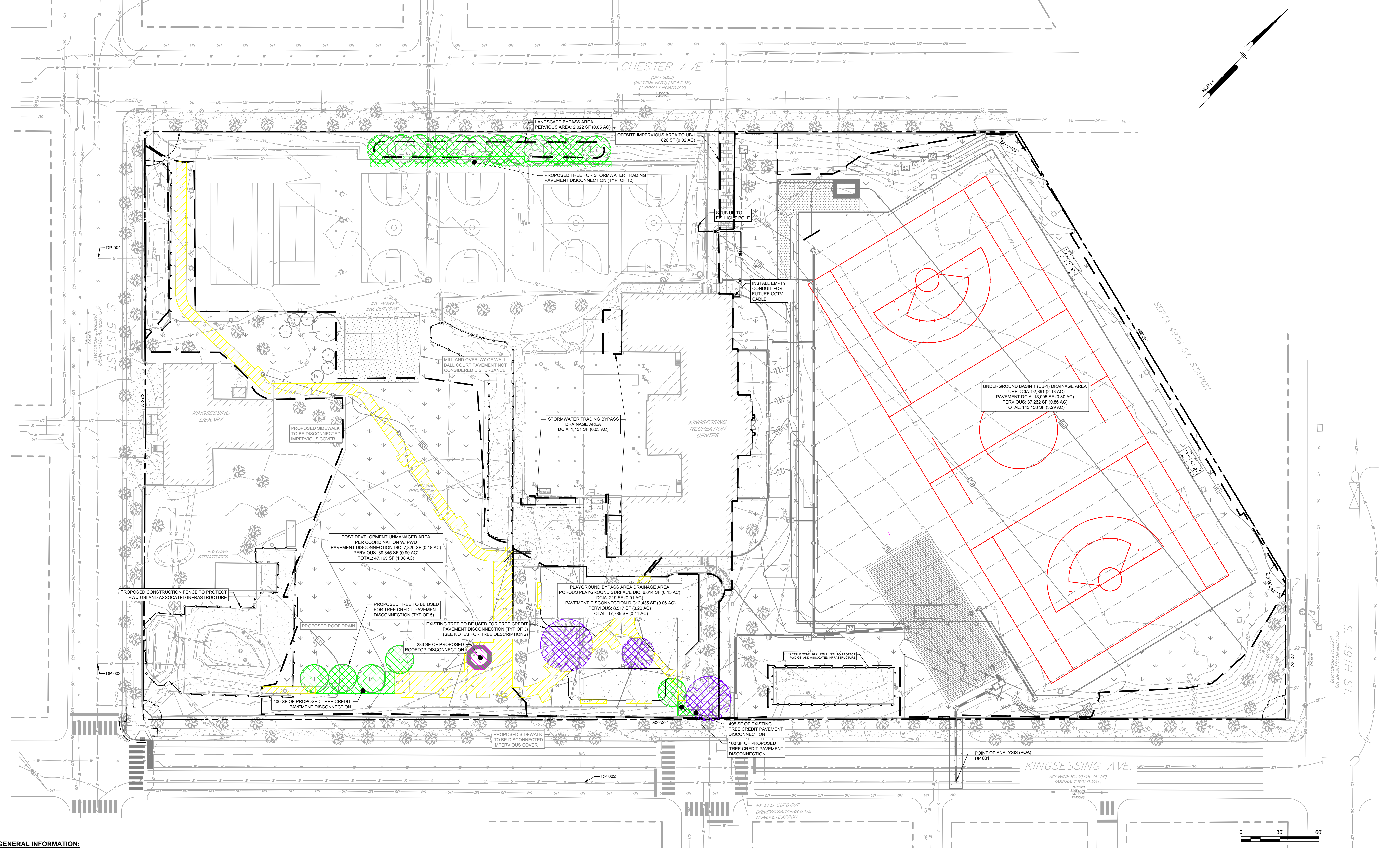
EXISTING LEGEND

- EXISTING PROPERTY LINE (APPROXIMATE)
- EXISTING RIGHT OF WAY LINE (APPROXIMATE)
- EXISTING BUILDING
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING EDGE OF MACADAM/GRAVEL
- EXISTING TRAFFIC MARKING
- EXISTING FENCE
- EXISTING TREE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SIGN
- EXISTING BOLLARD
- EXISTING UTILITY POLE
- EXISTING LIGHT
- EXISTING INLET
- EXISTING SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING UNDERGROUND TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY STRUCTURES



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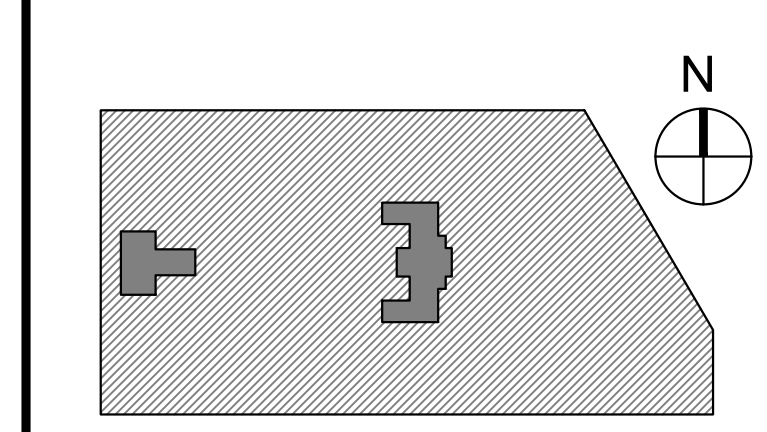
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LEED CONSULTANT:
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Philadelphia PA 19103

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE:
KINGSESSING RECREATION CENTER

KEY PLAN



DRAWING TITLE:
POST CONSTRUCTION DRAINAGE AREA MAP

PROJECT NO. KLMLX21003	DRAWING NO. CS901-R.2
DATE 04/21/23	SCALE 1" = 30'
DRAWN BY SDL	CHECKED BY MJM

GENERAL INFORMATION:

SITE:
4801 KINGSESSING AVE
PHILADELPHIA, PA 19143
OP#A783249500

CLIENT:
CITY OF PHILADELPHIA
PARKS AND RECREATION
1515 ARCH STREET, 10TH FLOOR
PHILADELPHIA, PA 19102

ENGINEER:
PENNONI ASSOCIATES
1900 MARKET STREET, SUITE 300
PHILADELPHIA, PA 19103

REFERENCES:
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A PLAN BY AMERICAN ENGINEERS GROUP, LLC ENTITLED "KINGSESSING RECREATION CENTER TOPOGRAPHIC SURVEY", SHEET NO. 1, DATED 03/12/2021.

	AREA (SF)	AREA (AC)	CN
PERVIOUS	37,843	0.86	61
SYNTHETIC TURF DCIA	93,039	2.14	98
DCIA	12,355	0.28	98
TOTAL	143,037	3.28	

	AREA (SF)	AREA (AC)	CN
DCIA	1,131	0.03	98
TOTAL	1,131	0.03	

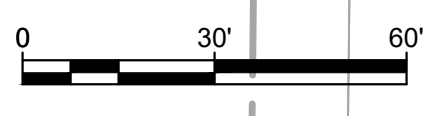
	AREA (SF)	AREA (AC)	CN
PERVIOUS	8,517	0.20	61
POROUS PLAYGROUND SURFACE (DIC)	6,614	0.15	70
DCIA	219	0.01	98
PAVEMENT DIC	2,435	0.06	98
TOTAL	17,785	0.41	

	AREA (SF)	AREA (AC)	CN
PERVIOUS	2,022	0.05	61
TOTAL	2,022	0.05	

- EXISTING LEGEND**
- EXISTING PROPERTY LINE (APPROXIMATE)
 - EXISTING RIGHT OF WAY LINE (APPROXIMATE)
 - EXISTING BUILDING
 - EXISTING CURB
 - EXISTING SIDEWALK
 - EXISTING EDGE OF MACADAM/GRAVEL
 - EXISTING TRAFFIC MARKING
 - EXISTING FENCE
 - EXISTING TREE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SIGN
 - EXISTING BOLLARD
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 - EXISTING WATER LINE
 - EXISTING UNDERGROUND TELEPHONE LINE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING OVERHEAD WIRES
 - EXISTING UTILITY STRUCTURES

- PROPOSED LEGEND**
- PROPOSED BUILDING
 - PROPOSED DOOR
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED LANDSCAPED AREA
 - PROPOSED UNIT PAVERS
 - PROPOSED POROUS PLAYGROUND SAFETY SURFACE (DIC)
 - PROPOSED SYNTHETIC TURF FIELD
 - PROPOSED ADA RAMP
 - PROPOSED CURB
 - PROPOSED DEPRESSED CURB
 - PROPOSED WALL
 - PROPOSED STOP BAR/PAVEMENT MARKING
 - PROPOSED FENCE
 - PROPOSED SIGN
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM CLEANOUT
 - PROPOSED STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED FIRE LINE
 - PROPOSED NATURAL
 - PROPOSED UNDERGROUND TELEPHONE LINE
 - PROPOSED GAS
 - PROPOSED UNDERGROUND ELECTRIC
 - PROPOSED OVERHEAD WIRE

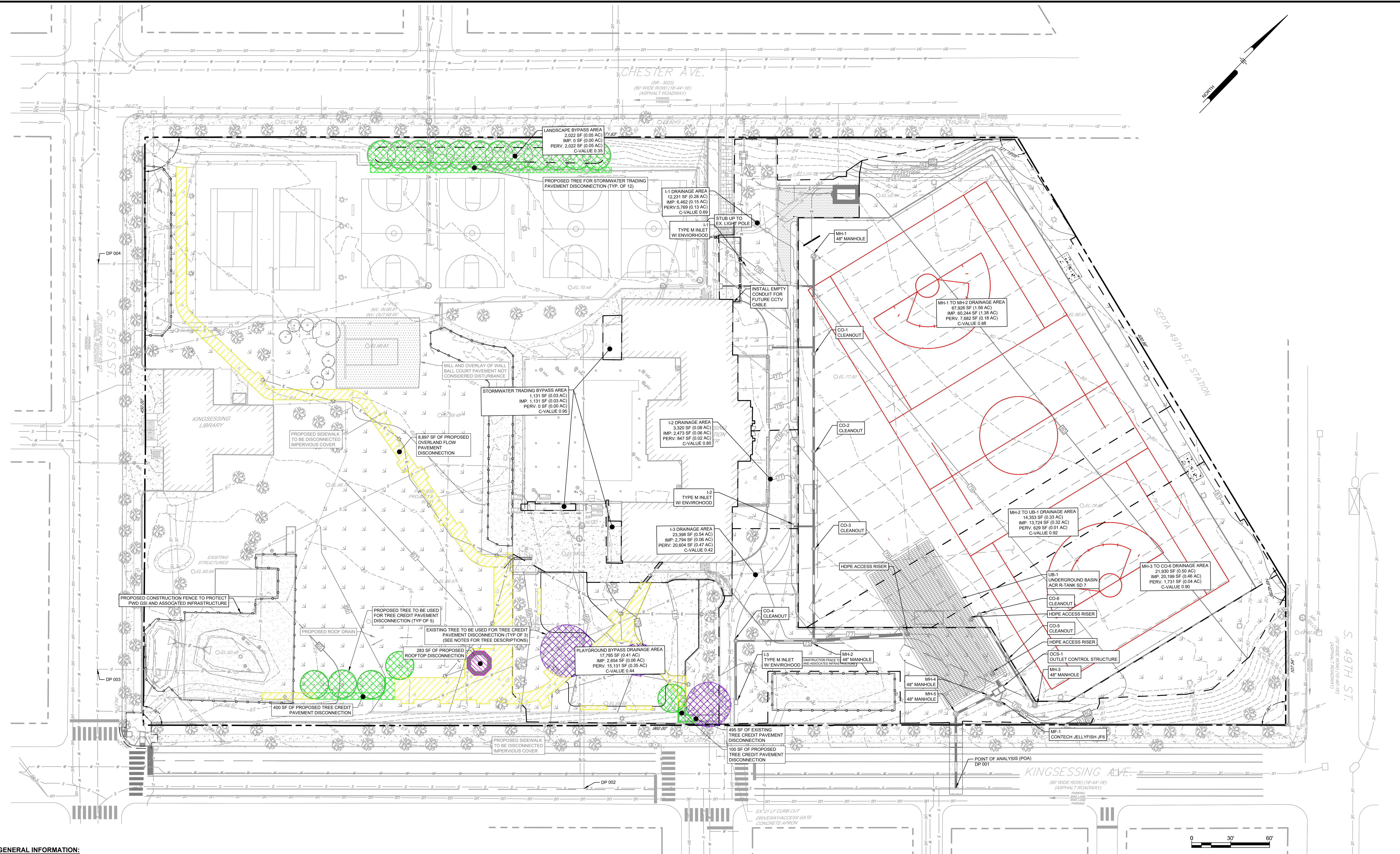
- PROPOSED DRAINAGE AREA BOUNDARY TO PWD INFRASTRUCTURE
- EXISTING TREE DISCONNECTION
- PROPOSED TREE DISCONNECTION
- PAVEMENT DISCONNECTION



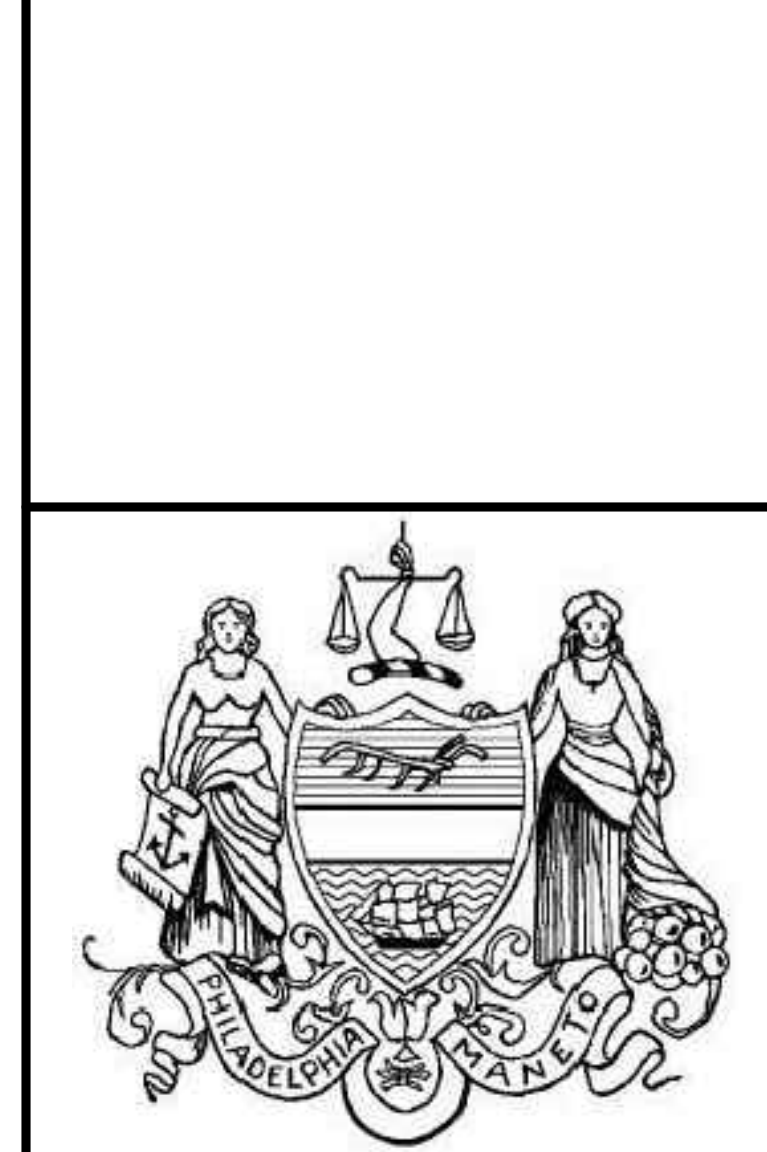
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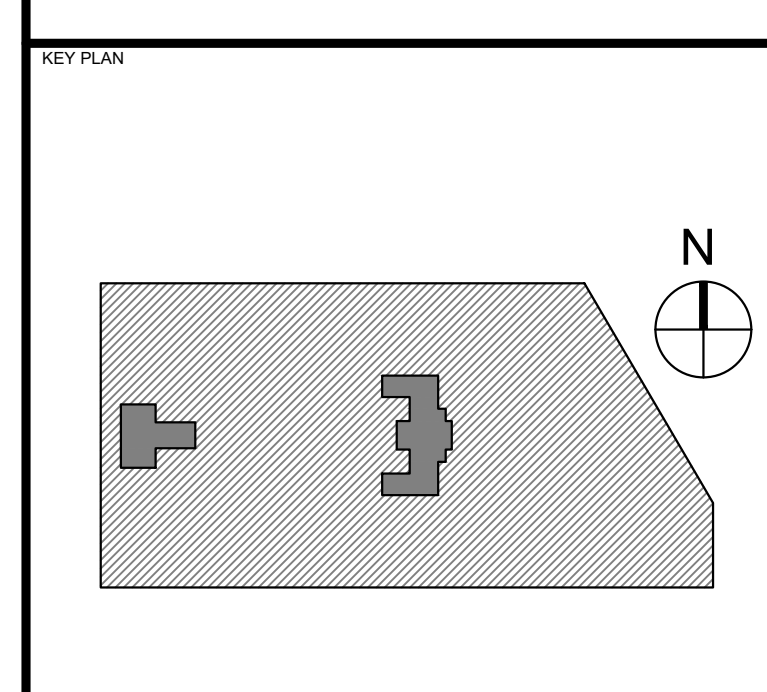
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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER



GENERAL INFORMATION:
SITE:
4801 KINGSESSING AVE
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OP#A783249500

CLIENT:
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ENGINEER:
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INLET DRAINAGE AREA SUMMARY				
DRAINAGE AREA	IMPERVIOUS AREA SF (AC.)	PERVIOUS AREA SF (AC.)	TOTAL AREA SF (AC.)	C VALUE
I-1	6,445 (0.15)	5,786 (0.13)	12,231 (0.28)	0.67
I-2	2,473 (0.06)	847 (0.02)	3,320 (0.08)	0.80
I-3	2,794 (0.06)	20,451 (0.47)	23,245 (0.53)	0.42
MH-1 TO MH-2	59,872 (1.37)	7,933 (0.18)	67,805 (1.56)	0.88
MH-2 TO UB-1	13,544 (0.31)	809 (0.02)	14,353 (0.33)	0.92
MH-3 TO CO-6	20,266 (0.47)	1,817 (0.04)	22,083 (0.51)	0.90
PLAYGROUND BYPASS	2,535 (0.06)	15,250 (0.35)	17,785 (0.41)	0.44
STORMWATER TRADING BYPASS	1,131 (0.03)	0 (0.00)	1,131 (0.03)	0.95
LANDSCAPE BYPASS	0 (0.00)	2,022 (0.05)	2,022 (0.05)	0.35
TOTAL	109,179 (2.51)	54,796 (1.26)	163,975 (3.76)	

- EXISTING LEGEND**
- EXISTING PROPERTY LINE (APPROXIMATE)
 - EXISTING RIGHT OF WAY LINE (APPROXIMATE)
 - EXISTING BUILDING
 - EXISTING CURB
 - EXISTING SIDEWALK
 - EXISTING EDGE OF MACADAM/GRAVEL
 - EXISTING TRAFFIC MARKING
 - EXISTING FENCE
 - EXISTING TREE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SIGN
 - EXISTING BOLLARD
 - EXISTING UTILITY POLE
 - EXISTING LIGHT
 - EXISTING INLET
 - EXISTING SEWER
 - EXISTING STORM SEWER
 - EXISTING WATER LINE
 - EXISTING UNDERGROUND TELEPHONE LINE
 - EXISTING GAS LINE
 - EXISTING UNDERGROUND ELECTRIC
 - EXISTING OVERHEAD WIRES
 - EXISTING UTILITY STRUCTURES

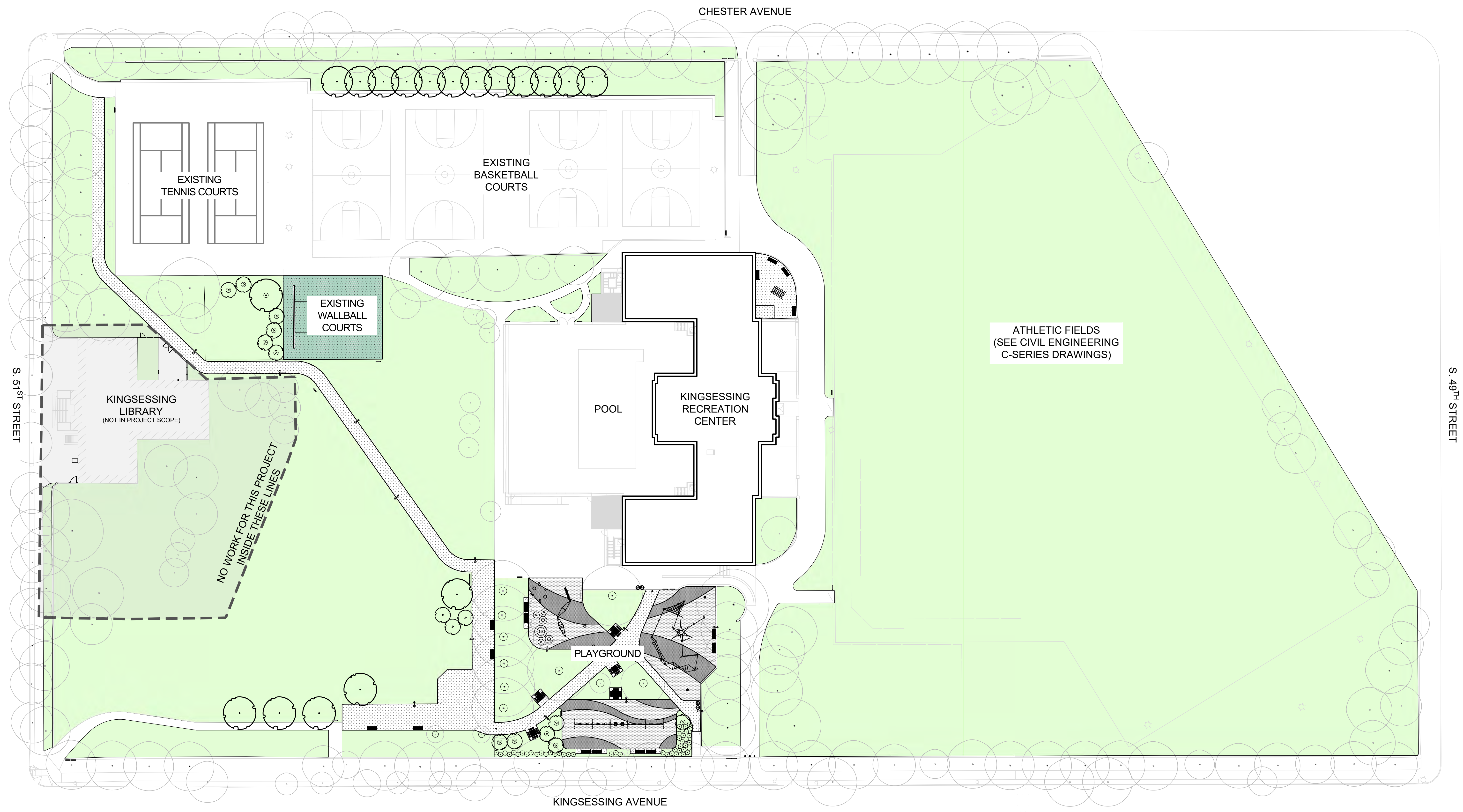
- PROPOSED LEGEND**
- PROPOSED BUILDING
 - PROPOSED DOOR
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED LANDSCAPED AREA
 - PROPOSED UNIT PAVERS
 - PROPOSED POROUS PLAYGROUND SAFETY SURFACE (DIC)
 - PROPOSED SYNTHETIC TURF FIELD
 - PROPOSED ADA RAMP
 - PROPOSED CURB
 - PROPOSED DEPRESSED CURB
 - PROPOSED WALL
 - PROPOSED STOP BAR/PAVEMENT MARKING
 - PROPOSED FENCE
 - PROPOSED SIGN
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE
 - PROPOSED STORM CLEANOUT
 - PROPOSED STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED WATER LINE
 - PROPOSED FIRE LINE
 - PROPOSED NATURAL GAS LINE
 - PROPOSED CABLE/TELEPHONE LINE
 - PROPOSED ELECTRIC LINE

- INLET DRAINAGE AREA BOUNDARY TO PWD INFRASTRUCTURE
- EXISTING TREE DISCONNECTION
- PROPOSED TREE DISCONNECTION
- PAVEMENT DISCONNECTION

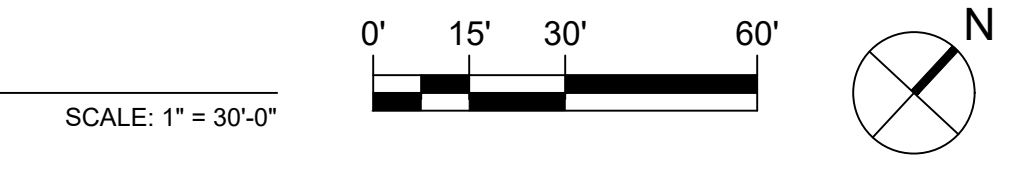
CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-242-1776
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC. SERIAL NUMBER(S): 20212583952

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023
NPDES PERMIT #PAC510302
PWD TRACKING #FY22-KING-6800-01

DRAWING TITLE	
INLET DRAINAGE AREA MAP	
PROJECT NO. KLMXLX21003	DRAWING NO. CS902-R.2
DATE 04/21/23	SCALE 1" = 30'
DRAWN BY SDL	CHECKED BY MJM
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	



1 SITE IMPROVEMENTS OVERVIEW PLAN



GENERAL NOTES AND BASE SCOPE SITE IMPROVEMENTS FOR L-SERIES DRAWINGS:

- SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
- SITE IMPROVEMENTS SHOWN ON THIS DRAWING AND NOT DELINEATED AS ALTERNATE SCOPE, SHALL BE CONSIDERED BASE SCOPE.
- KINGSESSING LIBRARY PROJECT IS NOT INCLUDED IN THIS PROJECT SCOPE. SEE PLAN FOR PROJECT LIMITS.
- SALT DESIGN STUDIO / LANDSCAPE (L-SERIES) SCOPE INCLUDES THE FOLLOWING:
 - SITE PAVEMENTS (CONCRETE, ASPHALT, POURED-IN-PLACE SAFETY SURFACING),
 - COLOR PAVEMENT COATINGS,
 - CONCRETE CURBING,
 - SITE FURNISHINGS, INCLUDING BENCHES, TABLES, BIKE RACKS, RECEPTACLES, AND PPR STANDARD SIGNAGE,
 - LAYOUT OF SITE LIGHTING, IN COORDINATION WITH MEP ENGINEER,
 - PLAYGROUND EQUIPMENT,
 - PLANTING.

IMPORTANT NOTE: SITE IMPROVEMENT ADD ALTERNATES CAN BE FOUND IN L-800-R.2 DRAWING SERIES.

STAMP AREA

REVISIONS

ISSUE	DATE	DESCRIPTION
1	05/08/23	PACKAGE 2 100% CD
2	06/02/23	ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR

SEALS



KELLY MAIELLO ARCHITECTS
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Philadelphia, PA 19102
www.kmarchitects.com

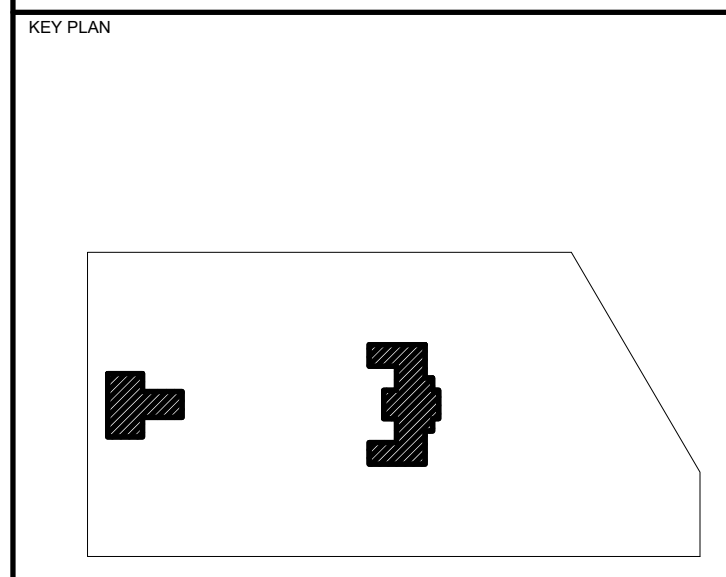
LANDSCAPE ARCHITECT:
SALT DESIGN STUDIO
161 Leverington Avenue, Suite 1005
Philadelphia, PA 19127
www.saltdesignstudio.com

M.E.P./F.P./SITE CIVIL ENGINEERS:
Pennoni Associates
1900 Market Street Suite 300
Philadelphia PA 19103
www.pennoni.com

LEED CONSULTANT:
Verde Architecture Consulting
1635 Market Street Suite 1600
Philadelphia PA 19103

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2



DRAWING TITLE
SITE IMPROVEMENTS OVERVIEW PLAN

KMA PROJECT NO: **21070** DRAWING NO: **L-100-R.2**

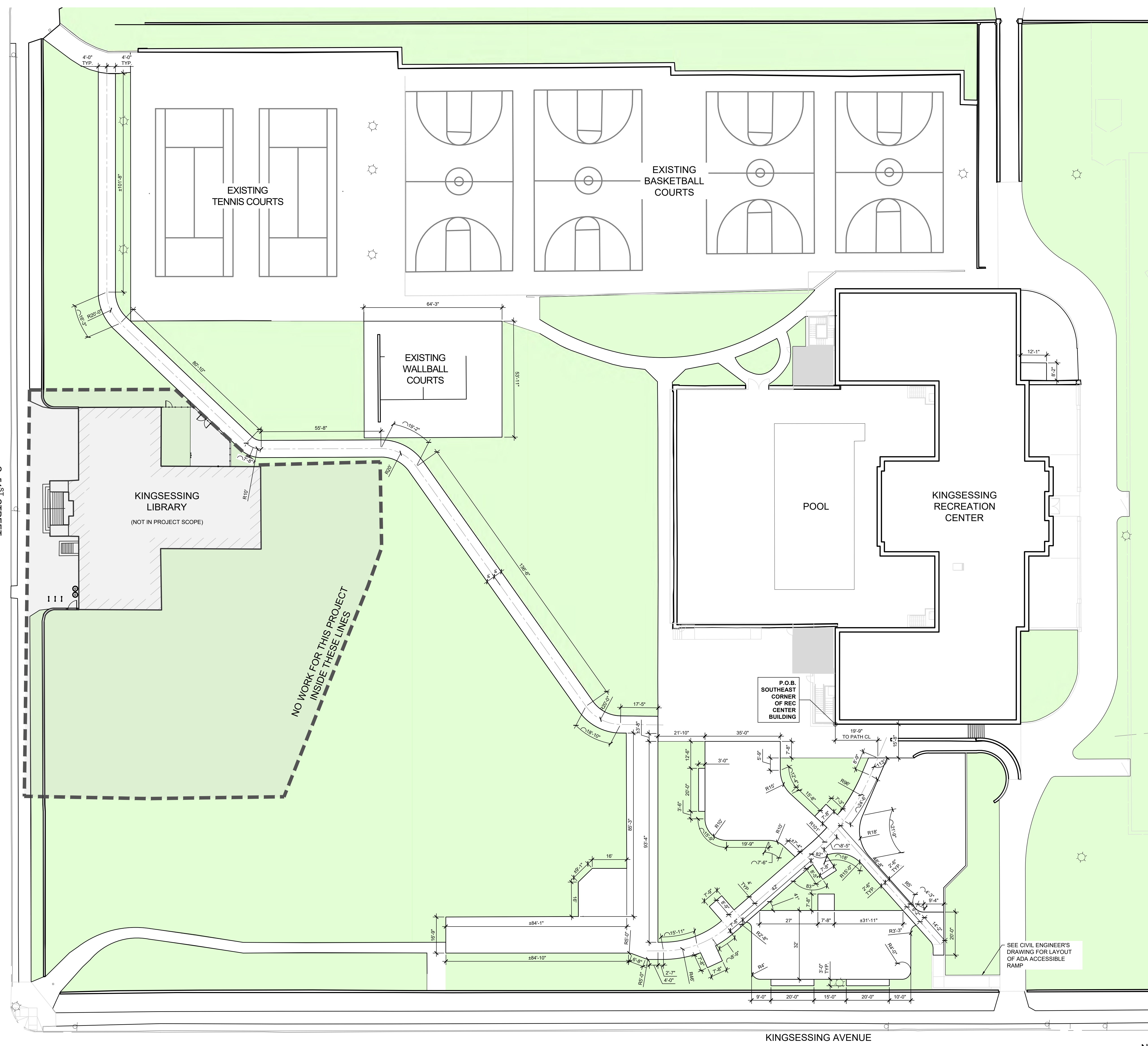
DATE: 06/02/23
SCALE: AS SHOWN

DRAWN BY:
CHK BY:

CHECKED BY:
SPS

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



- LEGEND:**
- EXTENTS OF KINGSESSING LIBRARY IMPROVEMENTS
 - PLANT BED: SEE L-106 FOR MORE INFORMATION
 - EXISTING FENCE TO REMAIN
 - PAVEMENT CENTERLINE
 - EXISTING LIGHT TO REMAIN
 - POINT OF BEGINNING (P.O.B.)

- SITE LAYOUT NOTES:**
1. SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
 2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 3. VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT.
 4. THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
 5. DO NOT SCALE DRAWINGS; CONSULT LANDSCAPE ARCHITECT FOR ANSWERS TO ALL DIMENSIONAL QUESTIONS.
 6. CONTACT UTILITY COMPANIES AS REQUIRED BY STATE AND LOCAL REGULATIONS BEFORE DIGGING TO LOCATE AND MARK EXISTING UTILITIES.
 7. COORDINATE ALL UTILITY WORK WITH THE LOCATIONS AND FINAL GRADES OF ALL OTHER WORK AS SHOWN ON THE ENGINEER'S DRAWINGS. WHERE CONFLICTS OCCUR, NOTIFY THE ENGINEER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF UTILITIES TO MAKE ADJUSTMENTS AS REQUIRED. IF NEW UTILITIES HAVE BEEN INSTALLED IN CONFLICT WITH CURBS, WALLS, PAVING, OR OTHER STRUCTURES AT DEPTHS TOO SHALLOW FOR PROPER COVER BENEATH NEW GRADES OR INCORRECT FINISHED GRADE, THEY SHALL BE ADJUSTED OR REMOVED AND REPLACED AS NECESSARY AT CONTRACTOR'S EXPENSE.
 8. CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF ALL SITE IMPROVEMENTS PRIOR TO INSTALLATION.
 9. DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, FRONT OF CURB, FACES OF WALLS, OR OBJECT CENTERLINE, UNLESS NOTED OTHERWISE.
 10. ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
 11. PROVIDE SLOPES ON PAVEMENT SURFACES AS INDICATED ON GRADING AND DRAINAGE PLAN TO ALLOW FOR POSITIVE DRAINAGE.
 - 11.1. NO PONDING SHALL BE PERMITTED ON FINISHED GRADE OF SITE PAVEMENTS. AREAS WHERE PONDING OCCURS SHALL BE REGRADED AND REPAIRED AT CONTRACTOR'S EXPENSE.
 12. SEE SHEET L-103-R.2 FOR LAYOUT OF SITE FURNISHINGS AND EQUIPMENT.
 13. SEE SHEET L-104-R.2 FOR LAYOUT OF SITE LIGHTING.

REVISIONS

ISSUE	DATE	DESCRIPTION
1	05/08/23	PACKAGE 2 100% CD
2	06/02/23	ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR

SEALS



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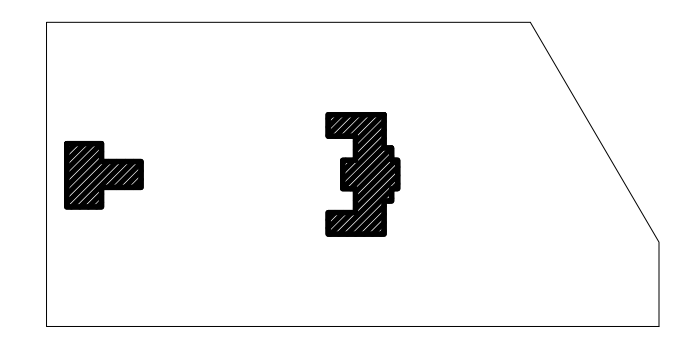
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CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
SITE LAYOUT PLAN - BASE SCOPE

KMA PROJECT NO: **21070**

DATE: 06/02/23

SCALE: AS SHOWN

DRAWN BY: [Signature]

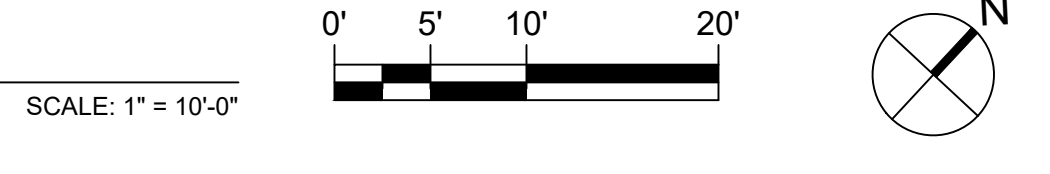
CHECKED BY: [Signature]

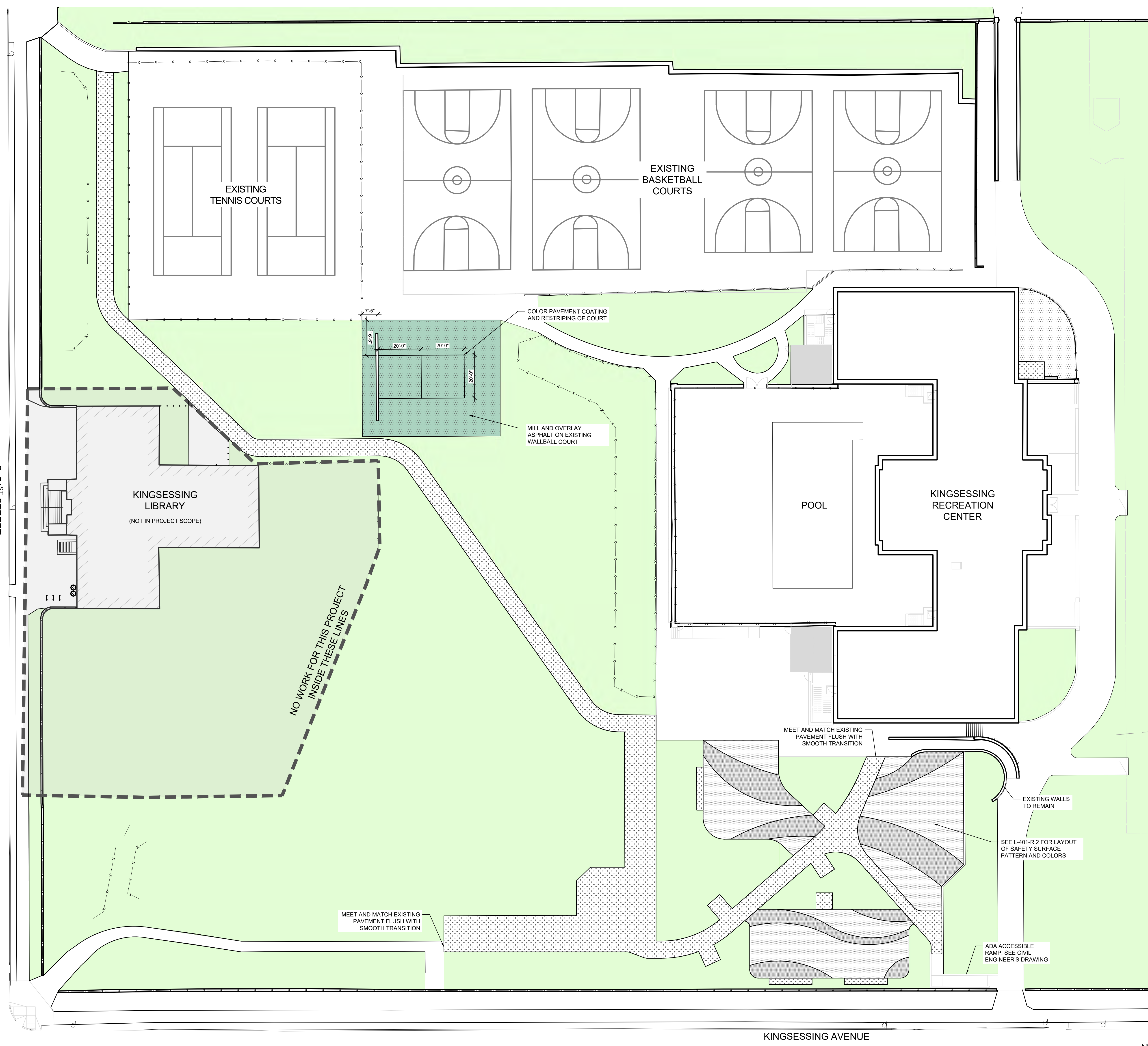
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

1 SITE LAYOUT PLAN - BASE SCOPE

STAMP AREA





- LEGEND:**
- EXTENTS OF KINGESSING LIBRARY IMPROVEMENTS
 - ASPHALT PAVEMENT
 - COLORED PAVEMENT COATING ON ASPHALT PAVEMENT: SEE SPECS
 - CONCRETE PAVEMENT
 - POURED-IN-PLACE SAFETY SURFACING COLOR 1; SEE SPECS
 - POURED-IN-PLACE SAFETY SURFACING COLOR 2; SEE SPECS
 - PLANT BED: SEE L-106-R.2 FOR MORE INFORMATION
 - EXISTING FENCE TO REMAIN

- SITE MATERIALS NOTES:**
1. SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
 2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 3. THESE CONTRACT DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
 4. EXPANSION JOINTS TO OCCUR AT 10'-0" O.C. MAX. AND WHERE CONCRETE CURBING AND PAVEMENT MEETS ALL EXISTING WALLS, PAVEMENTS, CURBS, AND OTHER SITE ELEMENTS.
 5. COORDINATE INSTALLATION OF FURNISHINGS AND EQUIPMENT FOUNDATIONS PRIOR TO INSTALLING SITE PAVEMENTS.

REVISIONS

ISSUE	DATE	DESCRIPTION
1	05/08/23	PACKAGE 2 100% CD
2	06/02/23	ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR

SEALS



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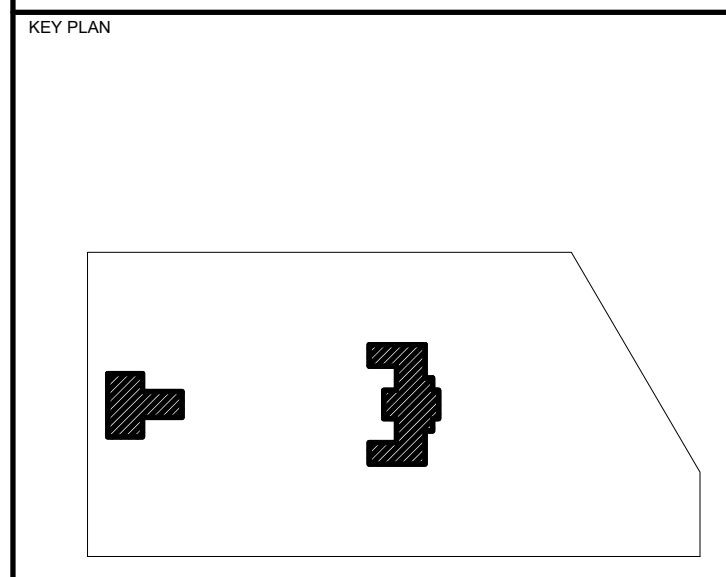
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 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

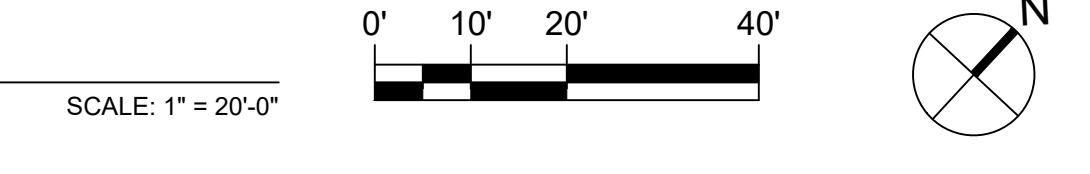


SITE MATERIALS PLAN - BASE SCOPE

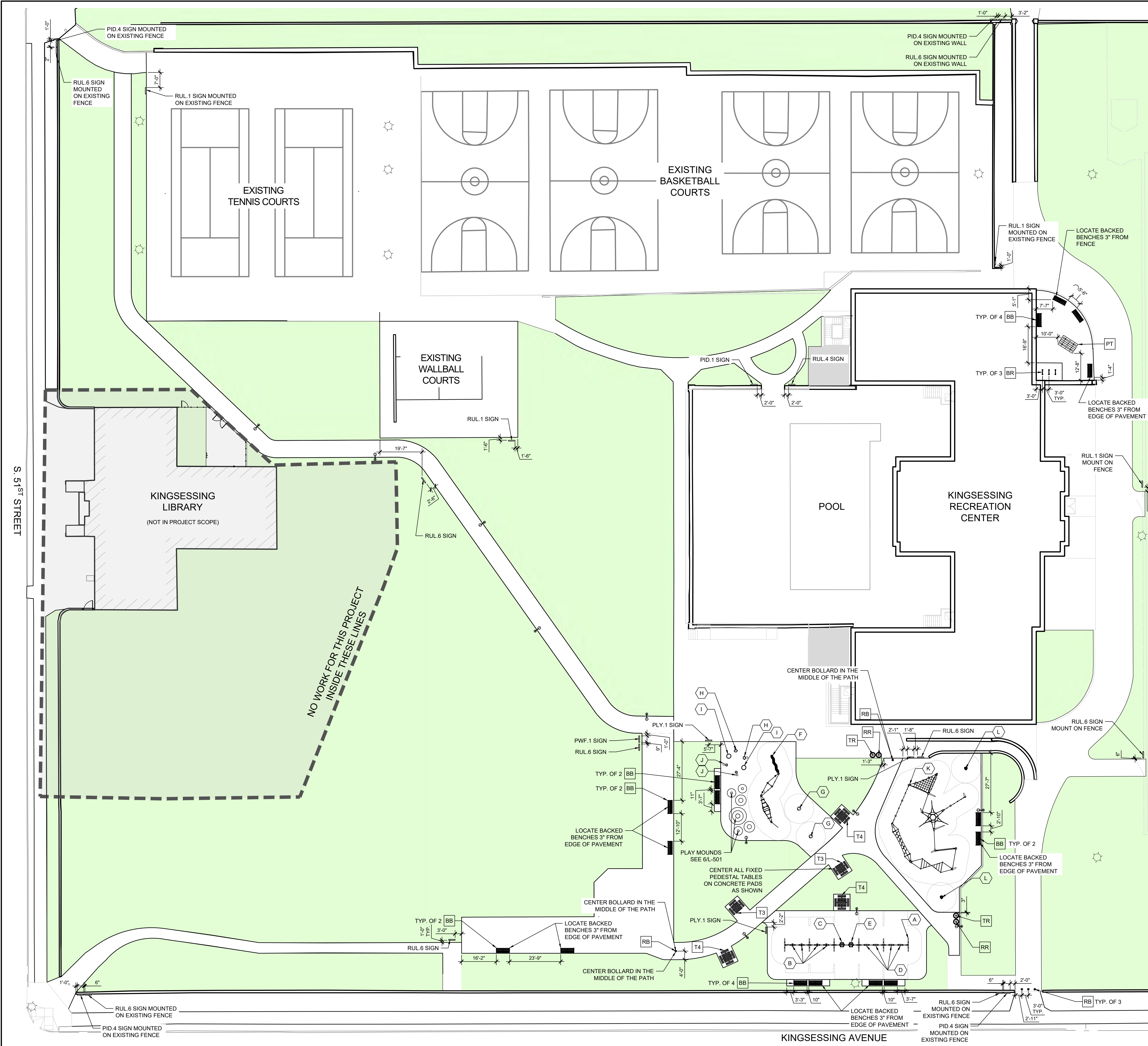
KMA PROJECT NO. 21070	DRAWING NO. L-102-R.2
DATE 06/02/23	
SCALE AS SHOWN	
DRAWN BY RBY/AF	
CHECKED BY SPS	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

1 SITE MATERIALS PLAN - BASE SCOPE

STAMP AREA



PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023



LEGEND:

- EXTENTS OF KINGESSING LIBRARY IMPROVEMENTS
- PEDESTRIAN POST LIGHT
- BACKED BENCH (BB)
- BIKE RACKS (BR)
- REMOVABLE BOLLARDS (RB)
- TRASH AND RECYCLING RECEPTACLES (TR & RR)
- FIXED PEDESTAL TABLE (T3 & T4)
- PICNIC TABLE (PT)
- PPR SIGN
- ASTM SAFETY ZONE FOR PLAY EQUIPMENT
- PLANT BED: SEE L-106-R.2 FOR MORE INFORMATION
- EXISTING FENCE TO REMAIN
- EXISTING LIGHT TO REMAIN

SITE FURNISHINGS & EQUIPMENT NOTES:

1. SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
3. THESE CONTRACT DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
4. CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF ALL SITE FURNISHINGS AND EQUIPMENT PRIOR TO INSTALLATION.
5. DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, FACES OF WALLS, EDGE OF SITE FURNISHING OR FENCE, OR CENTERLINE OF PLAY EQUIPMENT, UNLESS NOTED OTHERWISE.
6. ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
7. SEE FURNISHINGS & EQUIPMENT SCHEDULES BELOW FOR QUANTITIES, PRODUCT, AND MANUFACTURER INFORMATION.
8. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL EQUIPMENT FOUNDATIONS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL IN COORDINATION WITH EQUIPMENT MANUFACTURER PRIOR TO INSTALLATION. SHOP DRAWINGS ALSO INCLUDE PLANS SHOWING LAYOUT OF ALL EQUIPMENT FOUNDATIONS WITHIN SAFETY SURFACE AREA FOR PLAY AREA.
9. FOUNDATIONS FOR ALL FURNISHINGS AND EQUIPMENT SHALL BE LOCATED ON SITE AND REVIEWED IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. NO POURED-IN-PLACE SAFETY SURFACE SHALL BE INSTALLED UNTIL FOUNDATIONS FOR FURNISHINGS AND EQUIPMENT ARE INSTALLED.

SITE FURNISHINGS SCHEDULE - BASE SCOPE:

KEY	ITEM	QTY	PRODUCT NAME & MODEL NUMBER	MANUFACTURER	OPTIONS, FINISHES & COLORS	INSTALLATION
BB	BACKED BENCH	16	BENCH 36S, MODEL NO. 165-60D	DU MOR	6" CAST BENCH, DOUGLAS FIR SEAT, WITH CENTER AND END ARMRESTS, POWDERCOAT COLOR: BLACK	SURFACE MOUNT
BR	BIKE RACK	3	BIKE RACK 83, MODEL NO. 83-005-2	DU MOR	POWER COATED BIKE RACK, SURFACE MOUNT, POWDERCOAT COLOR: BLACK	SURFACE MOUNT
T3	FIXED PEDESTAL TABLE, 3 SEATS (ADA)	2	TABLE 76, MODEL NO. 76-43PL	DU MOR	4" SQUARE TABLE, 3 SEATS, 4 X 4 PLASTIC, PLASTIC COLOR: CEDAR, POWDERCOAT COLOR: BLACK	SURFACE MOUNT
T4	FIXED PEDESTAL TABLE, 4 SEATS	3	TABLE 76, MODEL NO. 76-44PL	DU MOR	4" SQUARE TABLE, 4 SEATS, 4X4 PLASTIC, RECYCLED PLASTIC COLOR: CEDAR, POWDERCOAT COLOR: BLACK	SURFACE MOUNT
PT	PICNIC TABLE	1	TABLE 72, MODEL NO. 72-80PL	DU MOR	8" LENGTH GALVANIZED PICNIC TABLE, RECYCLED PLASTIC COLOR: CEDAR	SURFACE MOUNT
TR	TRASH RECEPTACLE	2	RECEPTACLE 157, MODEL NO. 157-325H-BT	DU MOR	32-GALLON STEEL RECEPTACLE WITH SHIELD AND BONNET COVER WITH 10" OPENING, POWDERCOAT COLOR: BLACK	SURFACE MOUNT
RR	RECYCLING RECEPTACLE	2	RECEPTACLE 157, MODEL NO. 157-325H-BT-IC	DU MOR	32-GALLON STEEL RECEPTACLE WITH SHIELD, RECYCLE LID WITH 4" OPENING, AND BONNET COVER WITH 10" OPENING, POWDERCOAT COLOR: RECYCLE BLUE	SURFACE MOUNT
RB	REMOVABLE BOLLARD	5	BOLLARD 400, MODEL NO. 400-42/5-15L	DU MOR	42" HEIGHT, 5-1/8" GROUND SLEEVE WITH CAP, POWDERCOAT COLOR: BLACK	EMBEDDED IN CONCRETE WITH GROUND SLEEVE

PLAY EQUIPMENT SCHEDULE - BASE SCOPE:

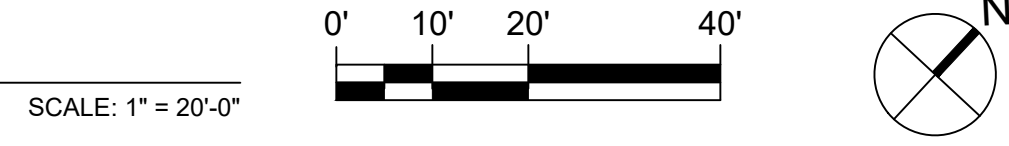
KEY	ITEM	QTY	PRODUCT NAME	PRODUCT NO.	MANUFACTURER	OPTIONS & COLORS	MAX. FALL HT.	INCLUDE																																																														
A	10 SEAT SWING FRAME	1	SWING FRAME, 10 SEAT, 8-FT. HEIGHT	KS9120	KO'VAPAN	ARTIWRAP SUSPENSIONS, LEGS, CON-VEXION & CROSSBEAM STEEL COLOR: ORANGE RAL2010	4'-8"	✓																																																														
B	SWING SEAT: BABY SWINGS	4	SWING SEAT BABY	SW990023	KO'VAPAN	STAINLESS STEEL CHAINS, A-TI WRAP MOUNT, SWING COLOR: BLACK	N/A	✓																																																														
C	SWING SEAT: ADA 2-5	1	SWING SEAT ADA 2-5	567860	KO'VAPAN	STAINLESS STEEL CHAINS, A-TI WRAP MOUNT, SWING COLOR: YELLOW	N/A	✓																																																														
D	SWING SEAT: STANDARD BELT	4	SWING SEAT, STAINLESS, 8 FT	SW990001	KO'VAPAN	STAINLESS STEEL CHAINS, A-TI WRAP MOUNT, SWING COLOR: BLACK	N/A	✓																																																														
E	SWING SEAT: ADA 5-12	1	SWING SEAT ADA 5-12	567855	KO'VAPAN	STAINLESS STEEL CHAINS, A-TI WRAP MOUNT, SWING COLOR: YELLOW	N/A </tr <tr> <td>F</td> <td>LITTLE KIDS OBSTACLE COURSE</td> <td>1</td> <td>DOUBLE ROPE TRAIL</td> <td>CDR26830</td> <td>KO'VAPAN</td> <td>COLOR: ULTRAMARINE BLUE</td> <td>6'-7"</td> <td>✓</td> </tr> <tr> <td>G</td> <td>SPINNER BOWL</td> <td>2</td> <td>SPINNER BOWL</td> <td>EE400024</td> <td>KO'VAPAN</td> <td>COLOR: ORANGE RAL2010</td> <td>2'-6"</td> <td>✓</td> </tr> <tr> <td>H</td> <td>SOBLET DRUM</td> <td>2</td> <td>RHAPSODY* SOBLET DRUM JUMBO</td> <td>228215</td> <td>LANDSCAPE STRUCTURES</td> <td>COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY</td> <td>N/A</td> <td>✓</td> </tr> <tr> <td>I</td> <td>KETTLE DRUM</td> <td>2</td> <td>RHAPSODY* KETTLE DRUM JUMBO</td> <td>228217</td> <td>LANDSCAPE STRUCTURES</td> <td>COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY</td> <td>N/A</td> <td>✓</td> </tr> <tr> <td>J</td> <td>KUNDO DRUM</td> <td>2</td> <td>RHAPSODY* KUNDO DRUM JUMBO</td> <td>228218</td> <td>LANDSCAPE STRUCTURES</td> <td>COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY</td> <td>N/A</td> <td>✓</td> </tr> <tr> <td>K</td> <td>BIG KIDS OBSTACLE COURSE</td> <td>1</td> <td>GIANT REED</td> <td>CDR104402</td> <td>KO'VAPAN</td> <td>STEEL COLOR: ORANGE RAL2010; ROPE COLOR: ULTRAMARINE BLUE RAL502; MEMBRANE COLOR(S): TIBO</td> <td>9'-0"</td> <td>✓</td> </tr> <tr> <td>L</td> <td>SPICA SPINNER</td> <td>2</td> <td>SPICA 1</td> <td>GX98014</td> <td>KO'VAPAN</td> <td>COLORS: STANDBARD</td> <td>3'-3"</td> <td>✓</td> </tr>	F	LITTLE KIDS OBSTACLE COURSE	1	DOUBLE ROPE TRAIL	CDR26830	KO'VAPAN	COLOR: ULTRAMARINE BLUE	6'-7"	✓	G	SPINNER BOWL	2	SPINNER BOWL	EE400024	KO'VAPAN	COLOR: ORANGE RAL2010	2'-6"	✓	H	SOBLET DRUM	2	RHAPSODY* SOBLET DRUM JUMBO	228215	LANDSCAPE STRUCTURES	COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY	N/A	✓	I	KETTLE DRUM	2	RHAPSODY* KETTLE DRUM JUMBO	228217	LANDSCAPE STRUCTURES	COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY	N/A	✓	J	KUNDO DRUM	2	RHAPSODY* KUNDO DRUM JUMBO	228218	LANDSCAPE STRUCTURES	COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY	N/A	✓	K	BIG KIDS OBSTACLE COURSE	1	GIANT REED	CDR104402	KO'VAPAN	STEEL COLOR: ORANGE RAL2010; ROPE COLOR: ULTRAMARINE BLUE RAL502; MEMBRANE COLOR(S): TIBO	9'-0"	✓	L	SPICA SPINNER	2	SPICA 1	GX98014	KO'VAPAN	COLORS: STANDBARD	3'-3"	✓
F	LITTLE KIDS OBSTACLE COURSE	1	DOUBLE ROPE TRAIL	CDR26830	KO'VAPAN	COLOR: ULTRAMARINE BLUE	6'-7"	✓																																																														
G	SPINNER BOWL	2	SPINNER BOWL	EE400024	KO'VAPAN	COLOR: ORANGE RAL2010	2'-6"	✓																																																														
H	SOBLET DRUM	2	RHAPSODY* SOBLET DRUM JUMBO	228215	LANDSCAPE STRUCTURES	COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY	N/A	✓																																																														
I	KETTLE DRUM	2	RHAPSODY* KETTLE DRUM JUMBO	228217	LANDSCAPE STRUCTURES	COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY	N/A	✓																																																														
J	KUNDO DRUM	2	RHAPSODY* KUNDO DRUM JUMBO	228218	LANDSCAPE STRUCTURES	COLORS: PROSHIELD R1-VISH- LIMON, RECYCLED PERVALENE - SKY	N/A	✓																																																														
K	BIG KIDS OBSTACLE COURSE	1	GIANT REED	CDR104402	KO'VAPAN	STEEL COLOR: ORANGE RAL2010; ROPE COLOR: ULTRAMARINE BLUE RAL502; MEMBRANE COLOR(S): TIBO	9'-0"	✓																																																														
L	SPICA SPINNER	2	SPICA 1	GX98014	KO'VAPAN	COLORS: STANDBARD	3'-3"	✓																																																														

SITE SIGNAGE SCHEDULE - BASE SCOPE:

SIGN NO.	PPR CODE	SIGN TYPE	SITE LOCATION	NOTES
IDENTIFICATION (ID) & INFORMATION (INFO) SIGNS				
1	PI.D.4	PARK ID & INFO	KINGESSING AVENUE SITE ENTRANCE	
2	PI.D.4	PARK ID & INFO	SITE ENTRANCE AT CORNER OF S. 51ST STREET & KINGESSING AVENUE	IDENTIFIES PARK NAME, PPR BRAND, RULES/PERMITS, HOURS/CONTACT, SECURITY, & REGULATORY INFO
3	PI.D.4	PARK ID & INFO	SITE ENTRANCE AT CORNER OF S. 51ST STREET & CHESTER AVENUE	
4	PI.D.4	PARK ID & INFO	CHESTER AVENUE SITE ENTRANCE	
5	PLY.1	PLAYGROUND ID & INFO	BIG KIDS PLAY AREA	IDENTIFIES PLAYGROUND, RULES OF USE, & EMERGENCY INFO
6	PLY.1	PLAYGROUND ID & INFO	LITTLE KIDS PLAY AREA	
7	RUL.1	COURT ID & INFO	TENNIS COURTS	
8	RUL.1	COURT ID & INFO	BASKETBALL COURTS	
9	RUL.1	FIELD ID & INFO	BASEBALL FIELD	IDENTIFIES COURT & COURT RULES, FIELD & FIELD RULES
10	RUL.1	FIELD ID & INFO	SOCCER FIELD	
11	RUL.1	COURT ID & INFO	WALLBALL COURT	
12	PI.D.1	POOL AREA ID & INFO	POOL ENTRANCE	IDENTIFIES POOL INFO
13	RUL.4	POOL AREA ID & INFO	POOL ENTRANCE	IDENTIFIES POOL AREA RULES
14	PWF.1	PARK WAYFINDING	PICNIC LAWN	PROVIDES PEDESTRIAN WAYFINDING
15	RUL.6	SINGLE MESSAGE RULE	PICNIC LAWN	NO ANIMALS
16	RUL.6	SINGLE MESSAGE RULE	PICNIC LAWN	NO ANIMALS
17	RUL.6	SINGLE MESSAGE RULE	KINGESSING AVENUE SITE ENTRANCE	NO ANIMALS
18	RUL.6	SINGLE MESSAGE RULE	SITE ENTRANCE AT CORNER OF 51ST STREET & CHESTER AVENUE	NO ANIMALS
19	RUL.6	SINGLE MESSAGE RULE	SITE ENTRANCE AT CORNER OF 51ST STREET & KINGESSING AVENUE	NO ANIMALS
20	RUL.6	SINGLE MESSAGE RULE	CHESTER AVENUE SITE ENTRANCE	NO ANIMALS
21	RUL.6	SINGLE MESSAGE RULE	MULTI-SPORTS FIELD	NO ANIMALS
22	RUL.6	SINGLE MESSAGE RULE	PLAYGROUND	NO ANIMALS

1 SITE FURNISHINGS AND EQUIPMENT PLAN - BASE SCOPE

STAMP AREA



REVISIONS

ISSUE	DATE	DESCRIPTION
1	05/08/23	PACKAGE 2 100% CD
2	06/02/23	ISSUE FOR BID



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SEALS



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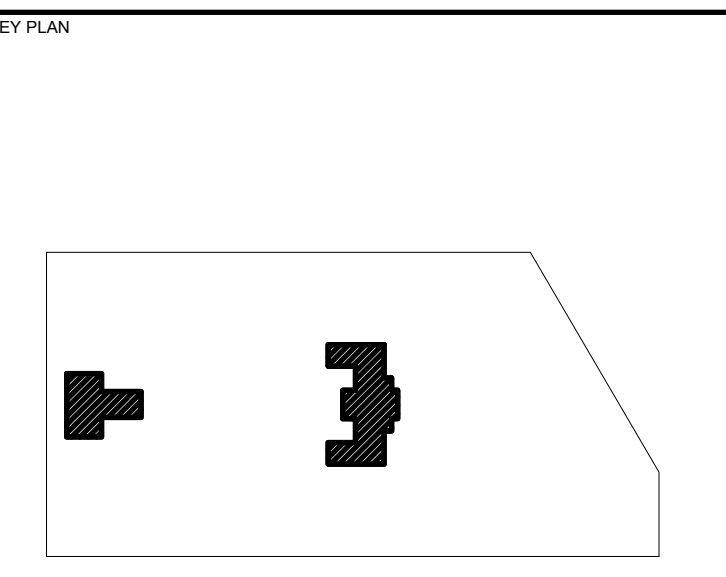
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CITY OF PHILADELPHIA
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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

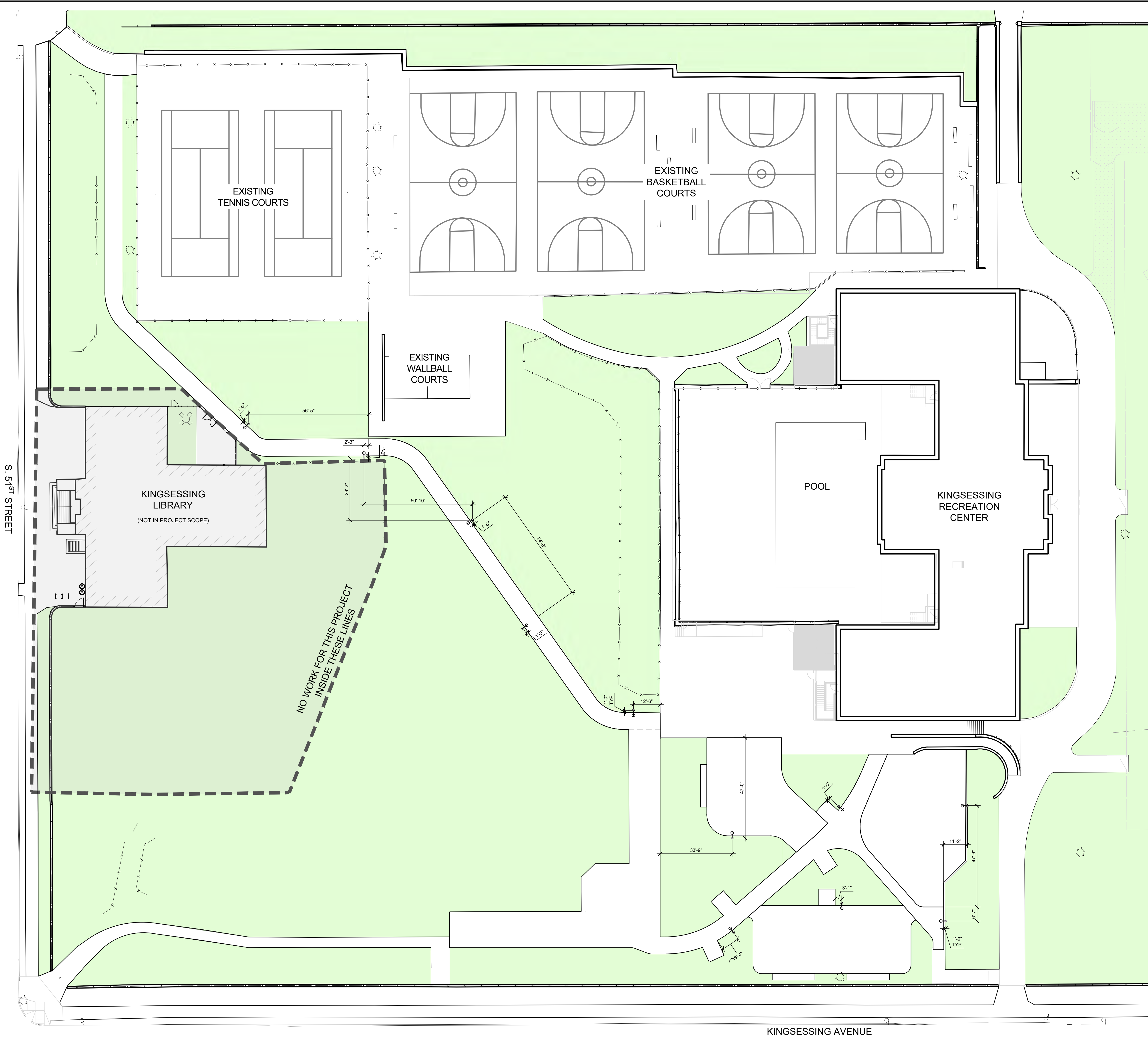


DRAWING TITLE
SITE FURNISHINGS AND EQUIPMENT PLAN - BASE SCOPE

KMA PROJECT NO: 21070 DRAWING NO: L-103-R.2

DATE: 06/02/23
SCALE: AS SHOWN
DRAWN BY: RBY/AF
CHECKED BY: SPS
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023



- LEGEND:**
- EXTENTS OF KINGESSING LIBRARY IMPROVEMENTS
 - PEDESTRIAN POST LIGHT
 - PLANT BED. SEE L-106-R.2 FOR MORE INFORMATION
 - EXISTING FENCE TO REMAIN
 - EXISTING LIGHT TO REMAIN

- SITE LIGHTING NOTES:**
1. SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
 2. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 3. THIS PLAN IS FOR LAYOUT PURPOSES ONLY. SEE MEP DRAWINGS FOR LOCATION OF ELECTRICAL LINE AND ASSOCIATED UTILITIES.
 4. UTILITIES AND BELOW GRADE STRUCTURES TO BE LOCATED PRIOR TO COMMENCEMENT OF LIGHT FIXTURE INSTALLATION.
 5. DIMENSIONS FOR LIGHT FIXTURES ARE TO CENTER OF LIGHT POLE CONCRETE PIER, UNLESS NOTED OTHERWISE.
 6. ALL CONCRETE PIERS SHALL BE SPACED EQUALLY FROM CORNERS OR EDGES OF PAVEMENT, UNLESS NOTED OTHERWISE.

REVISIONS		
ISSUE	DATE	DESCRIPTION
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2	06/02/23	ISSUE FOR BID



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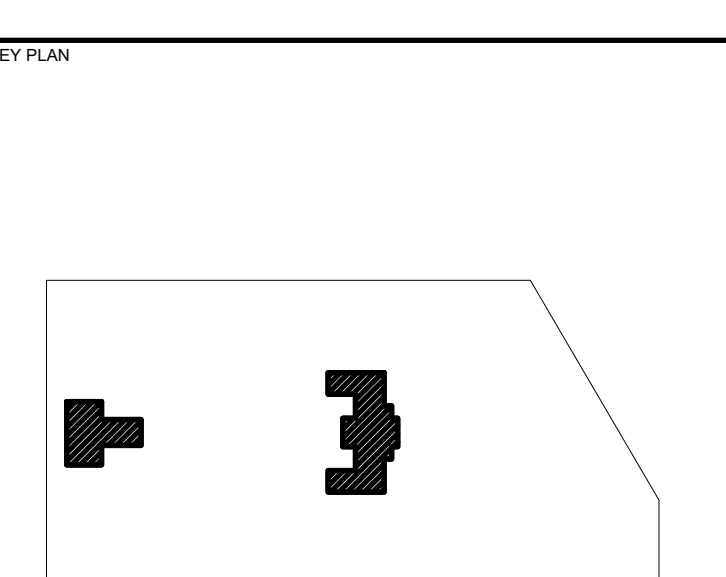
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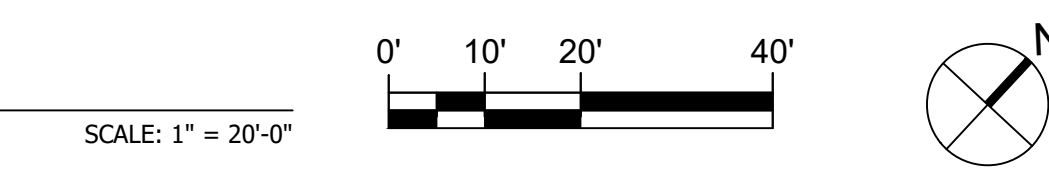
LEED CONSULTANT:
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1635 Market Street Suite 1600
Philadelphia PA 19103

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2



1 SITE LIGHTING LAYOUT PLAN - BASE SCOPE



STAMP AREA

SITE LIGHTING SCHEDULE:

ITEM	SYMBOL	QTY	LABEL	PRODUCT NAME & MODEL NUMBER	MANUFACTURER	ARRANGEMENT	LUMINAIRE / FIXTURE OPTIONS	POST OPTIONS
PEDESTRIAN SCALE POLE MOUNTED AREA LIGHT	⦿	11	PL1	DISCERA 4 GEN5, MODEL NO. DSC4L	SELUX	L1 SINGLE LONG ARM	CUTOFF OPTICS: NO LIGHT ABOVE 90 DEGREES; COLOR TEMPERATURE: 4000K; MINIMUM COLOR RENDERING INDEX: 70; MINIMUM LUMENS PER WATT: 80 LUMENS/WATT; WITH OPTIONAL DIMMING	12'-0" LENS HEIGHT; A35 ROUND STRAIGHT ALUMINUM POLE; BC5 STANDARD BASE COVER (A35)

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

DRAWING TITLE	
SITE LIGHTING LAYOUT PLAN - BASE SCOPE	
KMA PROJECT NO. 21070	DRAWING NO. L-104-R.2
DATE 06/02/23	SCALE AS SHOWN
DRAWN BY: REV. BY:	CHECKED BY: SPS
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

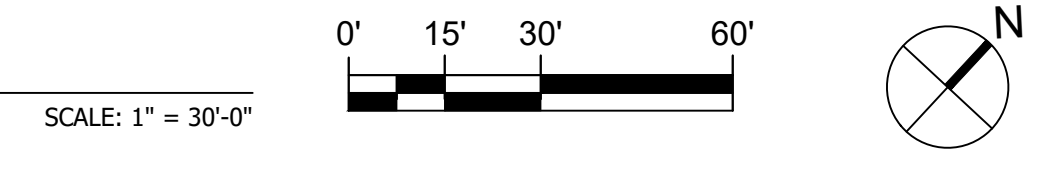


Symbol	Label	QTY	Manufacturer	Catalog	Number Lamps	Lamp Output	LLF	Input Power
○	PL1	4	Selux Corporation	DSC4L-R3W-SG350-30-XX-XX-UNV	1	3409	0.95	32
○	PL2	4	Selux Corporation	DSC4L-R1-XX-SG350-30-XX-XX-UNV	1	3257	0.95	32
○	PL3	3	Selux Corporation	DSC4L-R5R-XX-SG350-30-XX-XX-UNV	1	3624	0.95	32

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	0.2 fc	5.8 fc	0.0 fc	N/A	N/A

Note
 1. Fixtures Mounted at 12'
 2. Calculations Taken at Grade
 3. Calculations are estimations based on the information provided and may vary with actual conditions

1 SITE PHOTOMETRY PLAN - BASE SCOPE



STAMP AREA

PACKAGE 2 - IFB
 NOT FOR CONSTRUCTION
 06/02/2023

REVISIONS

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1	05/08/23	PACKAGE 2 100% CD
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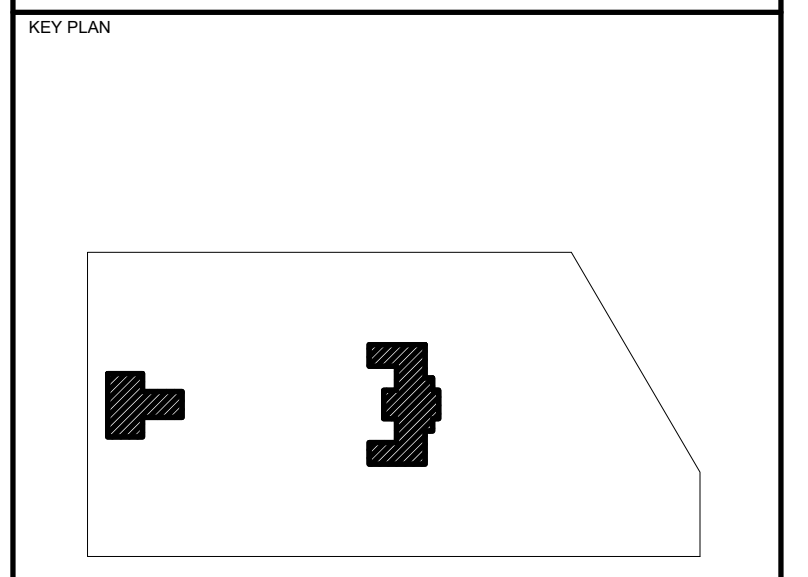
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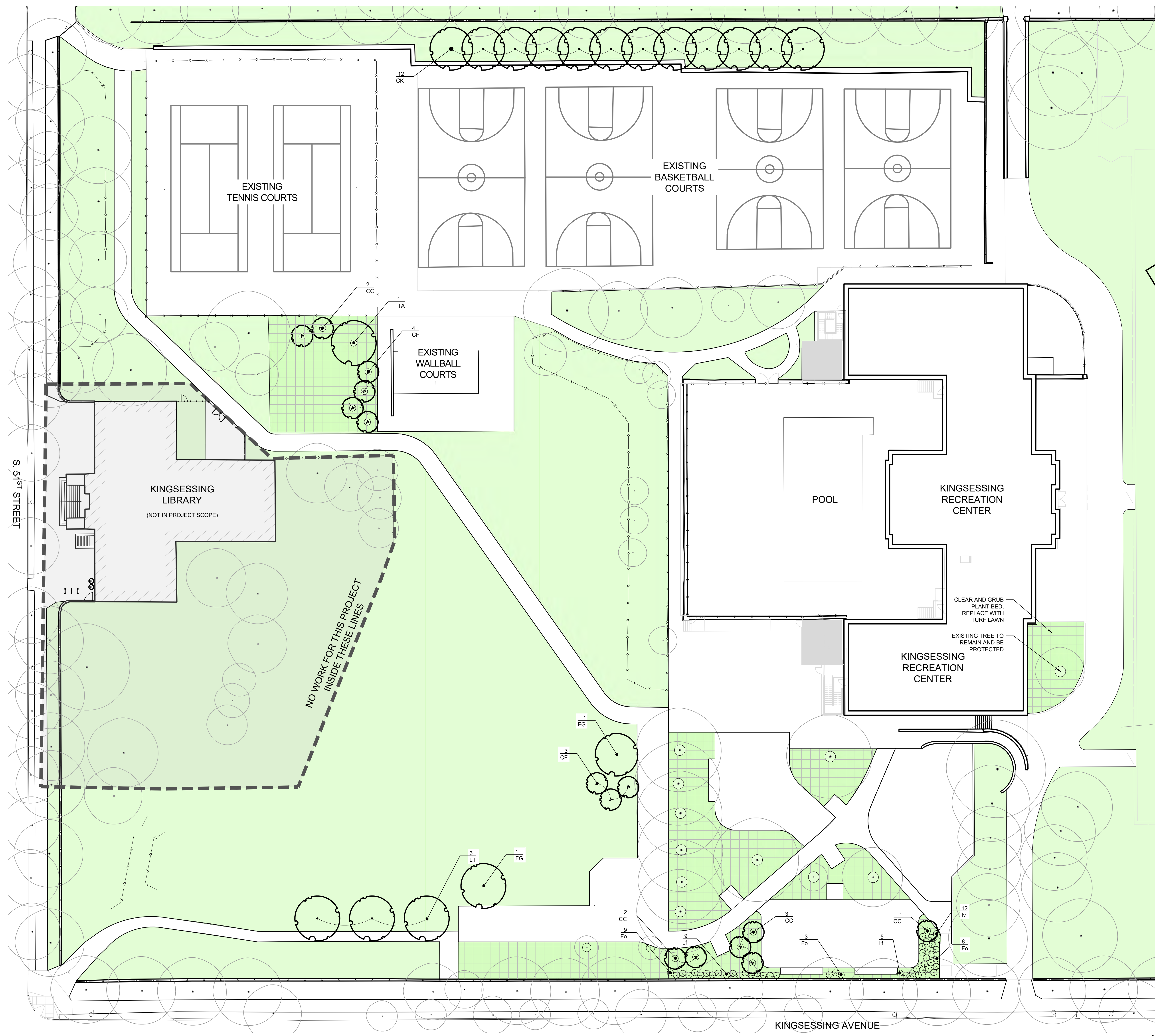
CITY OF PHILADELPHIA
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 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 KINGSESSING RECREATION
 CENTER BUILDING AND SITE
 IMPROVEMENTS - PACKAGE 2

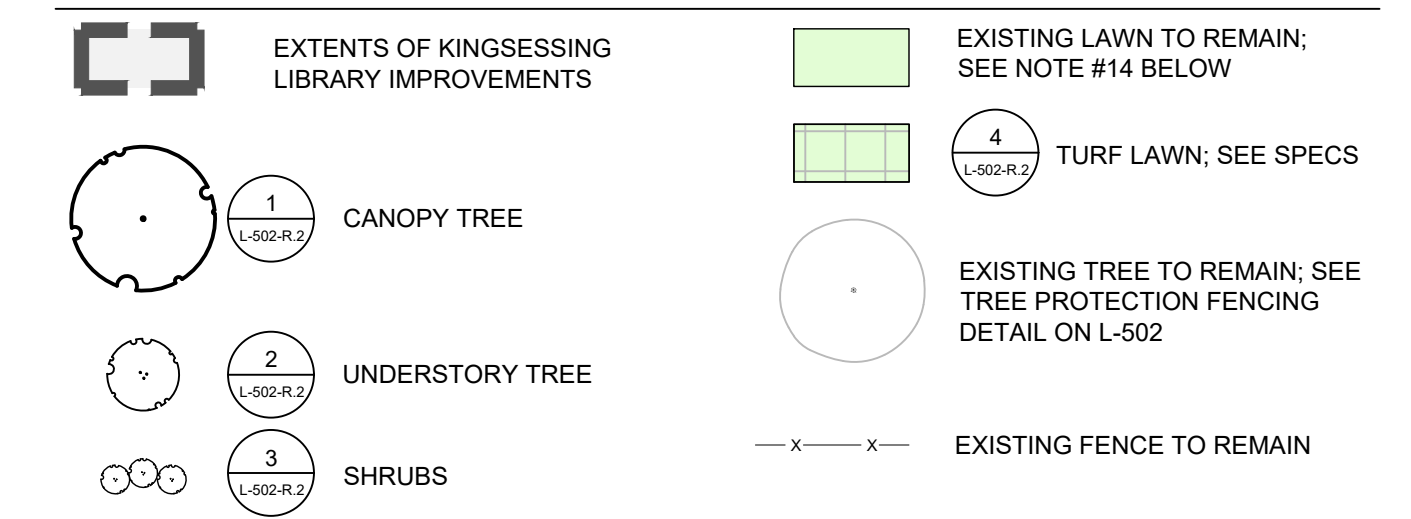


DRAWING TITLE
 SITE PHOTOMETRY PLAN -
 BASE SCOPE

KMA PROJECT NO. 21070	DRAWING NO. L-105-R.2
DATE 06/02/2023	SCALE AS SHOWN
DRAWN BY BN/CAF	CHECKED BY SPS
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	



LEGEND:



PLANTING NOTES:

- SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND SUBTERRANEAN ELEMENTS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR RELOCATION INSTRUCTIONS IF A PLANT IS LOCATED WITHIN 3'-0" OF AN UNDERGROUND UTILITY.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
- THERE WILL BE NO PLANT SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT THE APPROVAL OF LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER RETENTION IN TREE OR SHRUB PITS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SOIL LOSS AS INDICATED ON CIVIL ENGINEERING DRAWINGS.
- ALL IMPORTED PLANTING SOIL MUST BE TESTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
- SEE PLANT SCHEDULE FOR PLANT SIZES, QUANTITIES, SPECIES AND CONDITION.
- TREE AND SHRUB LOCATIONS SHALL BE STAKED OR FLAGGED IN FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING PLANT INSTALLATION.
- ALL TREES SHALL HAVE AT LEAST 2" APPROVED PLANTING SOIL AROUND ROOTBALL. ALL SHRUBS SHALL HAVE AT LEAST 18" APPROVED PLANTING SOIL AROUND ROOTBALL.
- CONTRACTOR SHALL INSTALL IRRIGATION BAGS FOR ALL NEW TREES IMMEDIATELY UPON COMPLETION OF INSTALLATION. SEE SPECIFICATIONS.
- MULCH, COMPOST AND/OR LEAF LITTER IS TO BE INSTALLED AS INDICATED ON DETAILS AND IN SPECIFICATIONS.
- TEMPORARY DRIP IRRIGATION TO BE INSTALLED AND MAINTAINED FOR ONE FULL YEAR FROM PROJECT CLOSEOUT. SUBMIT SHOP DRAWINGS OF TEMPORARY DRIP IRRIGATION LAYOUT AND INFORMATION SUBMITTALS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- TEMPORARY PLANT PROTECTION FENCING TO BE INSTALLED IMMEDIATELY UPON COMPLETION OF PLANT INSTALLATION. PROTECTION FENCING TO BE LOCATED ALONG ALL PLANT BED EDGES TO PROTECT PERENNIAL AND SHRUB PLANTINGS. SEE 01-5000-R.2 FOR DETAIL.
- ANY EXISTING TURF LAWN THAT IS DISTURBED BY EARTHWORK OR OTHER CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED PER SPECIFICATIONS.

PLANT SCHEDULE:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CANOPY TREES						
CK	12	<i>Cladostis kentuckea</i>	Yellowwood	3"-3.5" CAL.	B&B OR CONTAINER	AS SHOWN
FG	2	<i>Fagus grandifolia</i>	American Beech	3"-3.5" CAL.	B&B	AS SHOWN
LT	3	<i>Liriodendron tulipifera</i>	Tulip Poplar	3"-3.5" CAL.	B&B	AS SHOWN
TA	1	<i>Tilia americana "Redmond"</i>	American Basswood	3"-3.5" CAL.	B&B	AS SHOWN
18 TOTAL CANOPY TREES						
UNDERSTORY TREES						
CC	8	<i>Cercis canadensis</i>	Eastern Redbud	8"-10" HT.	B&B OR CONTAINER	AS SHOWN
CF	7	<i>Cornus florida "Appalachian Spring"</i>	Flowering Dogwood	8"-10" HT.	B&B OR CONTAINER	AS SHOWN
15 TOTAL UNDERSTORY TREES						
SHRUBS						
Iv	12	<i>Ilex virginica "Merlot"</i>	Dwarf Virginia Sweetspire	#3	CONTAINER	AS SHOWN
Fo	20	<i>Fothergilla gardenii "Blue Mist"</i>	Dwarf Fothergilla	#3	CONTAINER	AS SHOWN
Lf	14	<i>Leucothoe fontanesiana "Zelma" Scarlett</i>	Drooping Laurel	#3	CONTAINER	AS SHOWN
46 TOTAL SHRUBS						

REVISIONS

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PROJECT COORDINATOR

SEALS



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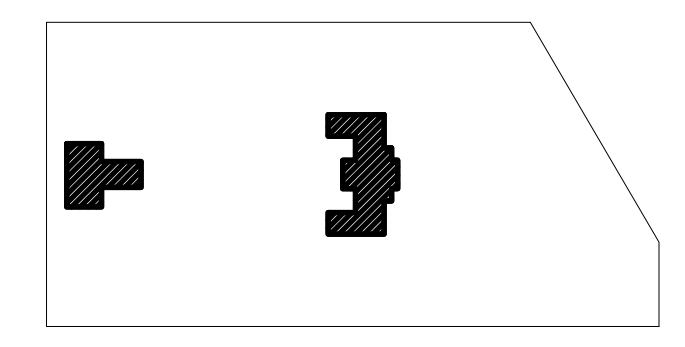
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CITY OF PHILADELPHIA
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 PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
 KINGSESSING RECREATION CENTER BUILDINGS AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
 SITE PLANTING PLAN - BASE SCOPE

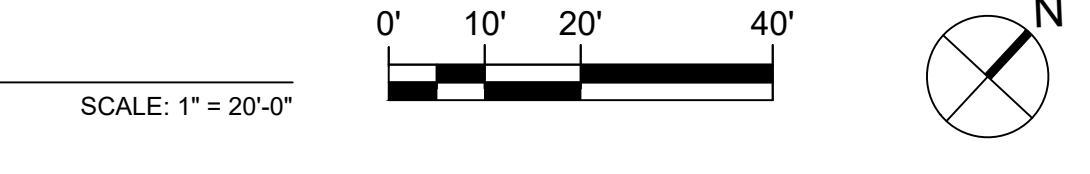
KMA PROJECT NO.
 21070

DRAWING NO.
 L-106-R.2

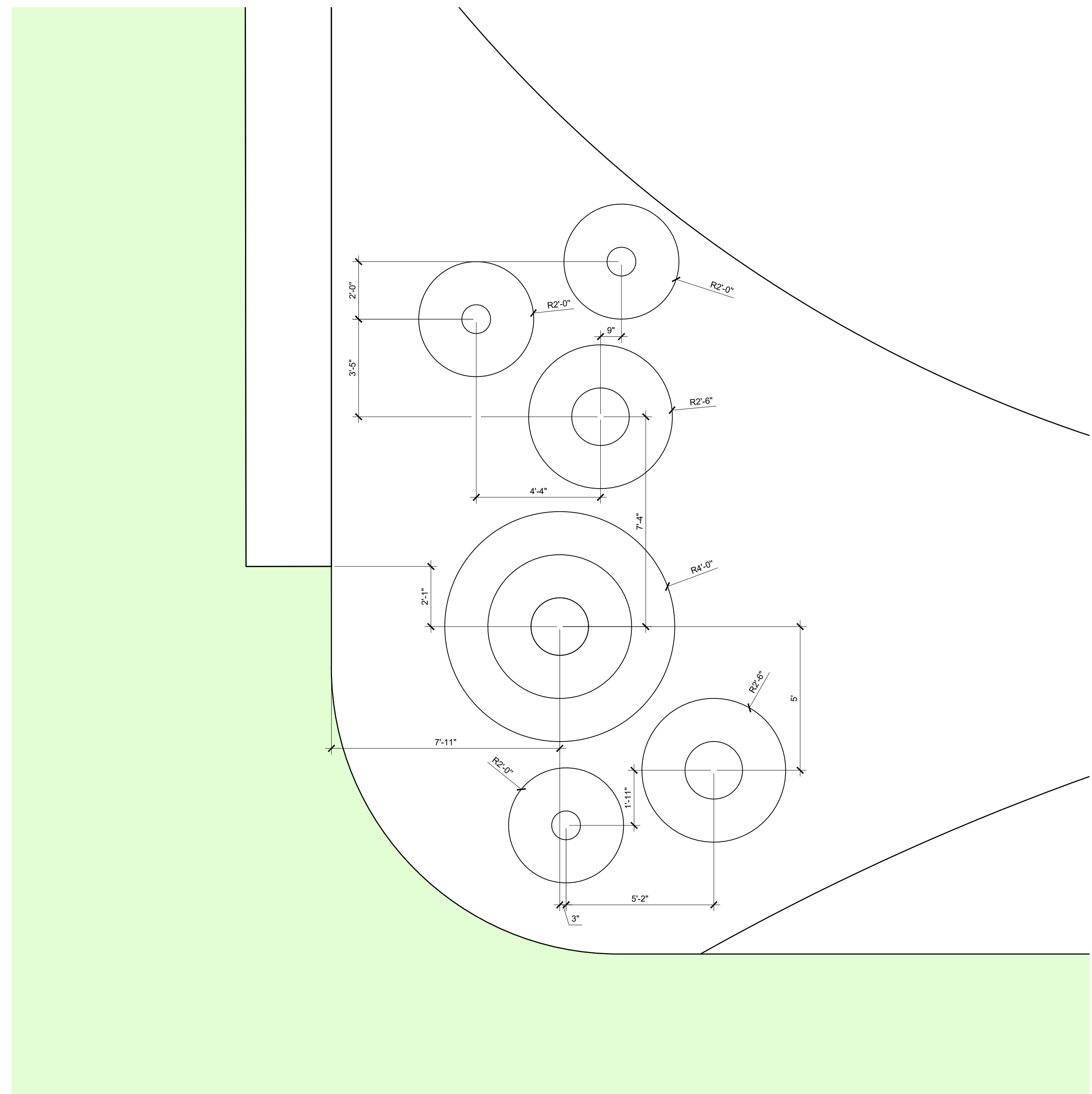
PACKAGE 2 - IFB
 NOT FOR CONSTRUCTION
 06/02/2023

1 SITE PLANTING PLAN - BASE SCOPE

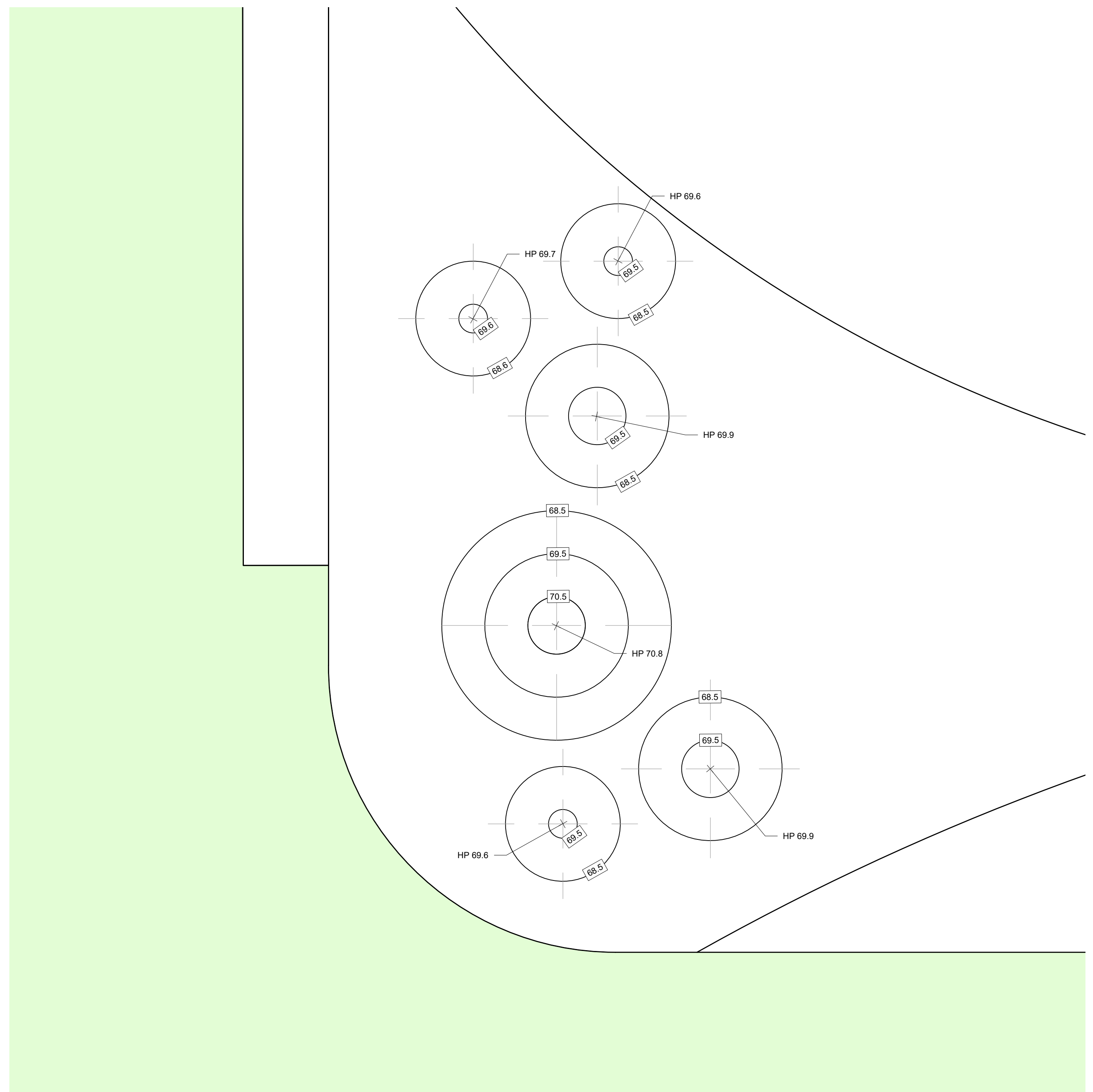
STAMP AREA



NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 PLAN ENLARGEMENT: PLAY MOUNDS LAYOUT
SCALE: 3/8" = 1'-0"

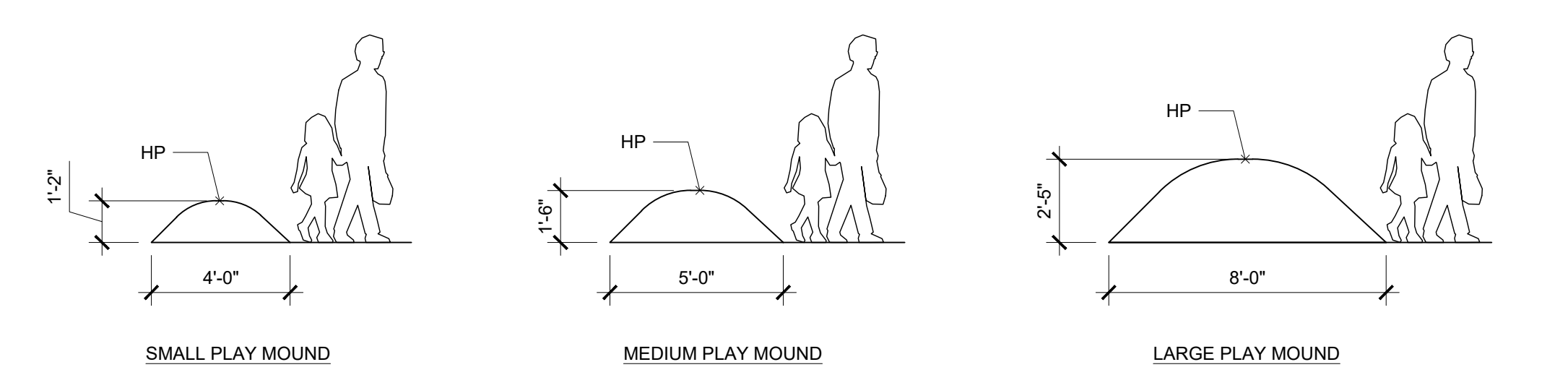


2 PLAN ENLARGEMENT: PLAY MOUNDS GRADING
SCALE: 3/8" = 1'-0"

LEGEND:

- PLANT BED; SEE L-106-R.2 FOR MORE INFORMATION
- CENTER OF SITE ELEMENT
- HIGH POINT (HP)

- LAYOUT AND GRADING NOTES:**
- SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
 - VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT.
 - THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
 - DO NOT SCALE DRAWINGS. CONSULT LANDSCAPE ARCHITECT FOR ANSWERS TO ALL DIMENSIONAL QUESTIONS.
 - CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF PAVEMENT PAINT AND SAFETY SURFACE PATTERNS PRIOR TO INSTALLATION.
 - DIMENSIONS ARE PROVIDED TO EDGES OF PLAY MOUNDS, EDGES OF PAVEMENT, FRONT OF CURBS, OR FACES OF WALLS, UNLESS NOTED OTHERWISE.
 - PROVIDE SLOPES ON PAVEMENT SURFACES AS INDICATED ON GRADING AND DRAINAGE PLAN TO ALLOW FOR POSITIVE DRAINAGE.
 - SEE SHEET L-101-R.2 FOR LAYOUT OF SITE PAVEMENTS.
 - SEE DETAIL S / L-501-R.2 FOR TYPICAL PLAY MOUND INSTALLATION DETAIL.



3 PLAY MOUNDS: TYPICAL ELEVATIONS
SCALE: 1/4" = 1'-0"

STAMP AREA

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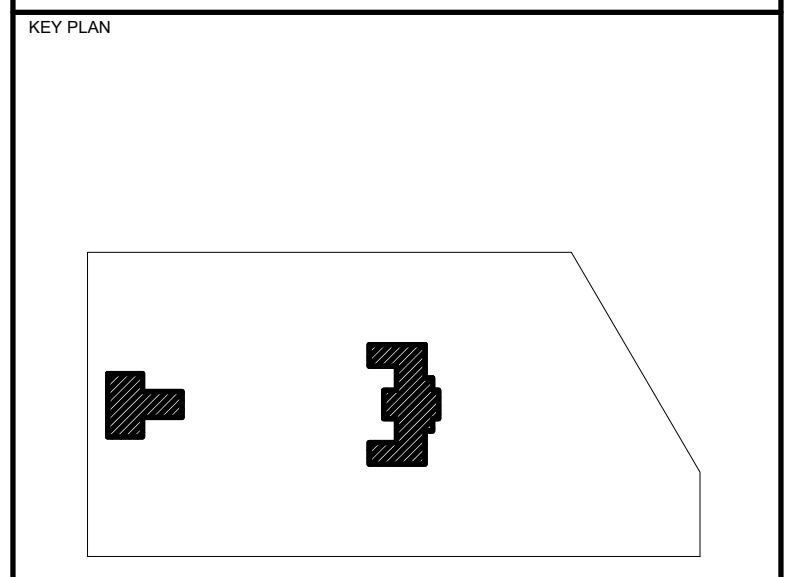
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PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2



DRAWING TITLE
PLAN ENLARGEMENT - PLAY MOUNDS

KMA PROJECT NO. 21070	DRAWING NO. L-402-R.2
DATE 06/02/23	SCALE AS SHOWN
DRAWN BY RBY/AF	CHECKED BY SPS
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

PACKAGE 2 - IFB
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06/02/2023

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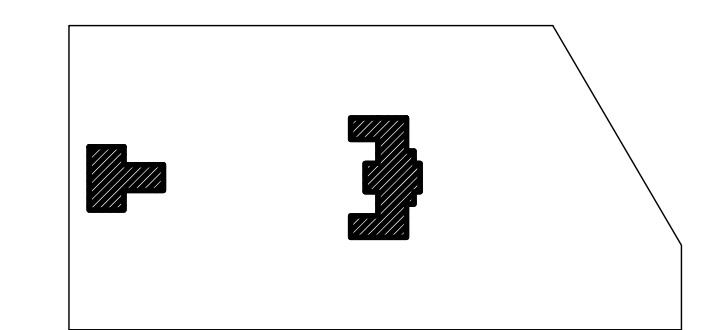
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PROJECT TITLE
**KINGSESSING RECREATION
CENTER BUILDING AND SITE
IMPROVEMENTS - PACKAGE 2**

KEY PLAN

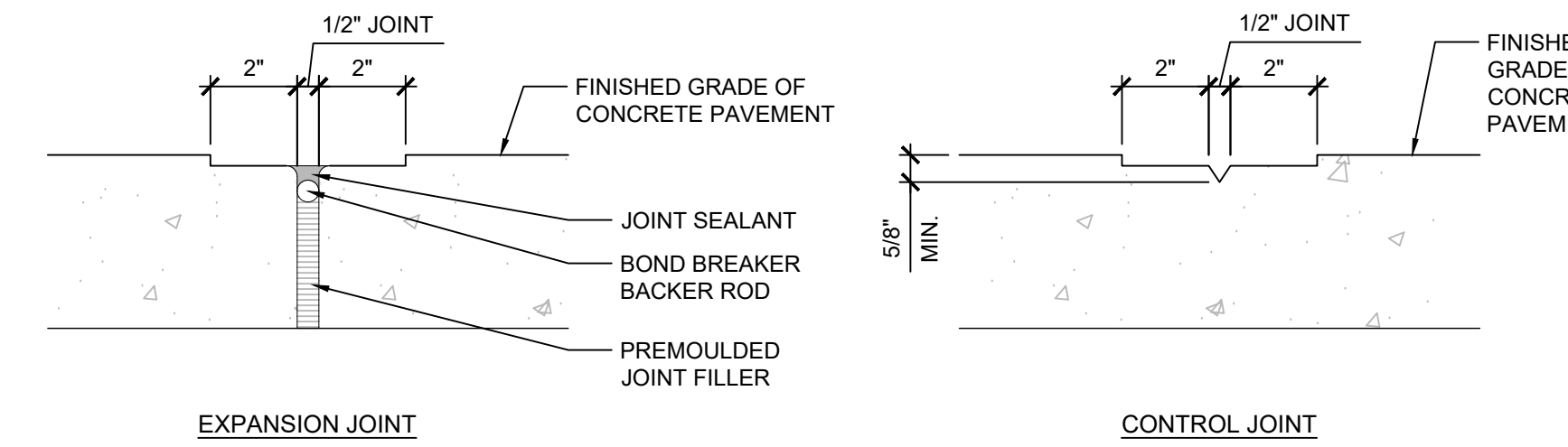


DRAWING TITLE
SITE DETAILS

TMA PROJECT NO. 21070 DATE 06/02/2023 SCALE AS SHOWN DRAWN BY BRI/AF CHECKED BY SPS	DRAWING NO. L-501-R.2
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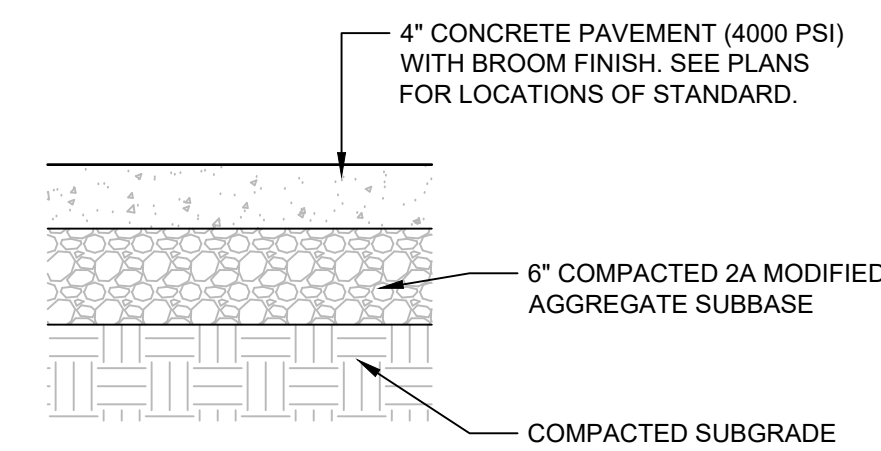
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

- NOTES:
- EXPANSION JOINTS TO OCCUR AT 10' O.C. MAX. AND WHERE CONCRETE PAVEMENT MEETS ALL CURBS, WALLS, EXISTING SITE ELEMENTS, AND WHERE SHOWN ON PLANS OR OTHER DETAILS.
 - SUBMIT PRODUCT DATA FOR JOINT FILLER AND WOVEN GEOTEXTILE TO LANDSCAPE ARCHITECT FOR APPROVAL.
 - TOOLED JOINT TO OCCUR AT EACH CONTROL JOINT AS SHOWN ON PLANS. TOOLING SHALL ALSO OCCUR AROUND ENTIRE PERIMETER OF CONCRETE PAVEMENT.



3 CONCRETE JOINTS

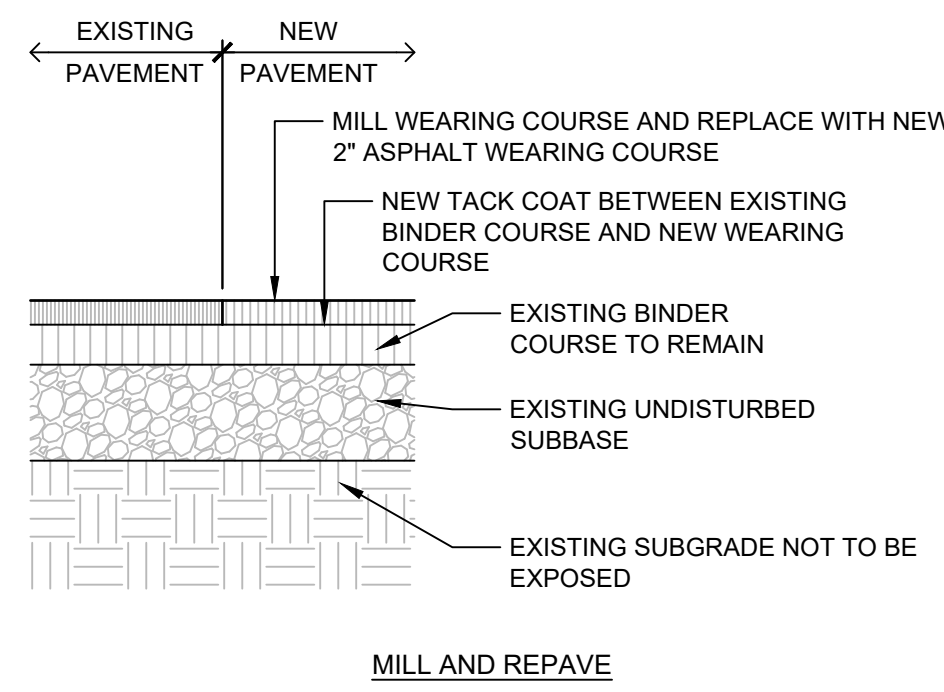
SCALE: 3" = 1'-0"



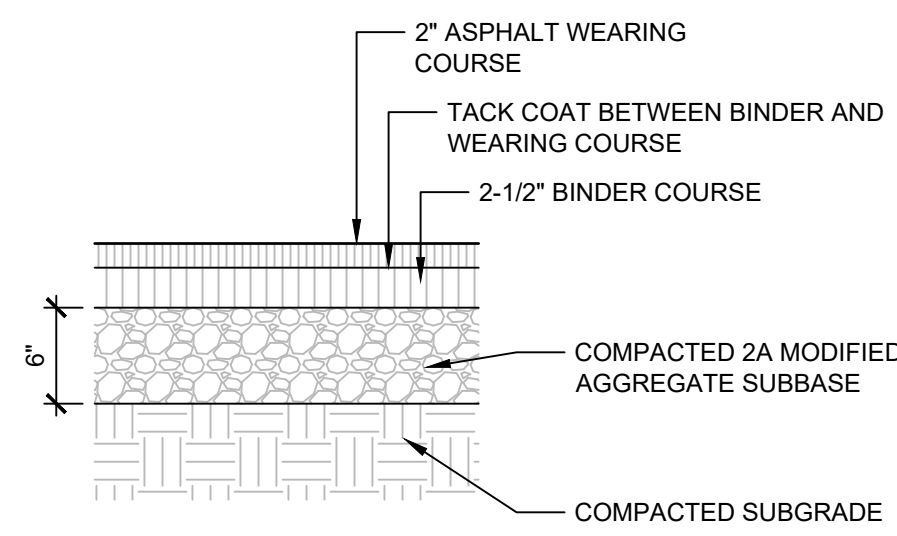
2 CONCRETE PAVEMENT - PEDESTRIAN

SCALE: 1" = 1'-0"

- NOTES:
- NEW ASPHALT PAVEMENT SHOULD MEET PENNDOT PUB 408 STANDARDS.
 - AGGREGATE SUBBASE SHALL BE COMPACTED TO 95% STANDARD PROCTOR COMPACTION, PER ASTM REQUIREMENTS.
 - SEE SHEETS L-103-R.2 TO DETERMINE AREAS TO RECEIVE NEW ASPHALT PAVEMENT AT FULL DEPTH AND AREAS TO BE MILLED AND REPAVED.
 - SEE CS-151-R.2 FOR FINISH GRADES OF ASPHALT.



MILL AND REPAVE

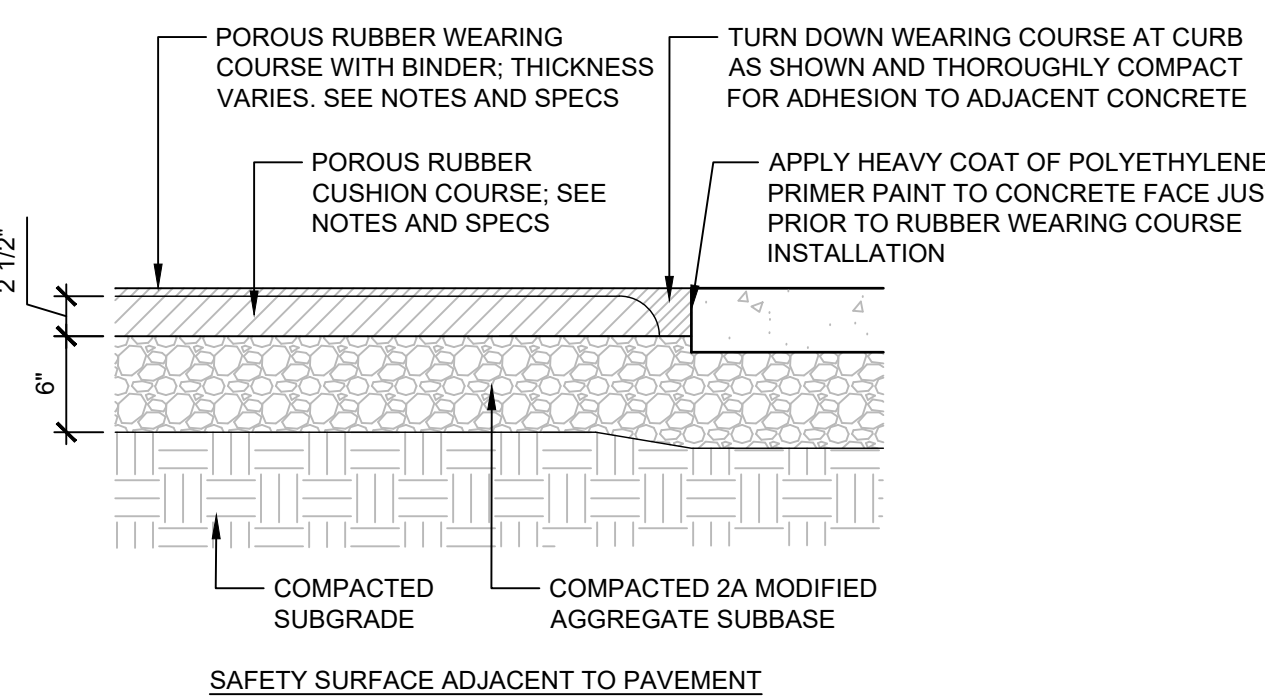


NEW ASPHALT PAVEMENT, FULL DEPTH

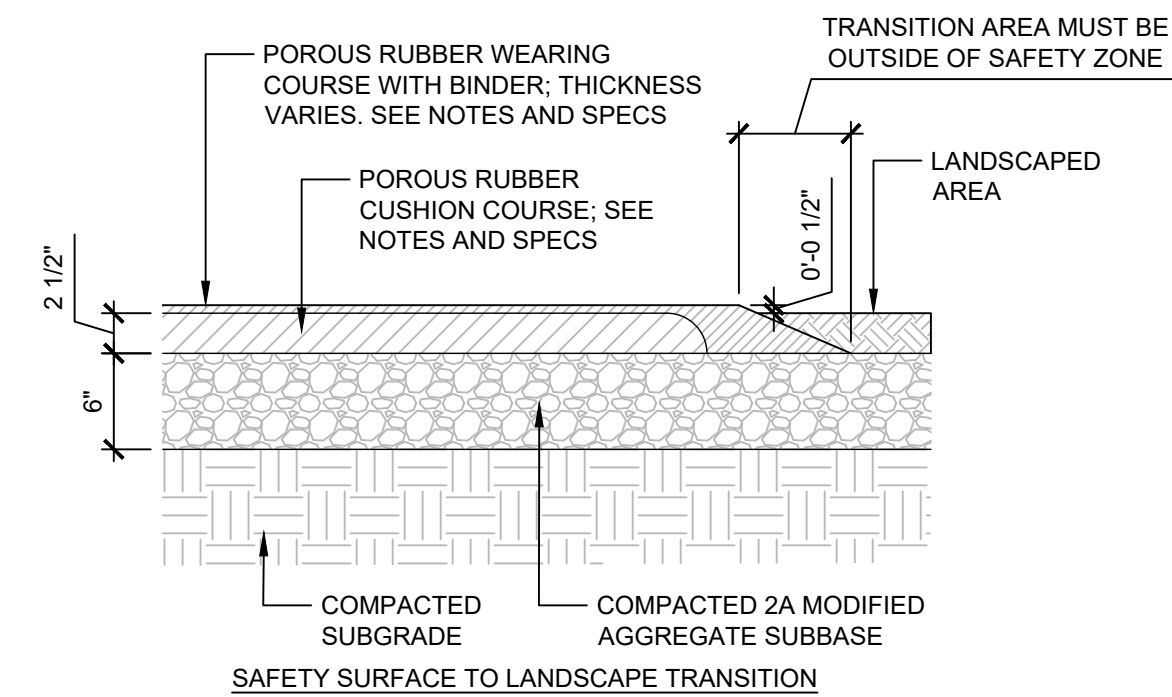
1 ASPHALT PAVEMENT

SCALE: 1" = 1'-0"

- NOTES:
- WEARING COURSE THICKNESS:
 - 1/2" STANDARD THICKNESS, MIN.
 - 3/4" THICKNESS UNDER SWINGS, END OF SLIDES, PLAY EQUIPMENT ENTRANCES AND EXITS, AND AREAS OF INCREASED FOOT TRAFFIC. SEE PLANS FOR ASTM BUFFER AND CLEARANCE ZONES. REVIEW IN FIELD WITH LANDSCAPE ARCHITECT AND REPRESENTATIVE FROM PLAY AND FITNESS EQUIPMENT MANUFACTURER.
 - CUSHION COURSE THICKNESS:
 - 2 1/2" CUSHION COURSE AS SPECIFIED MEETS OR EXCEEDS ASTM F1487-11 AND ASTM F1292-04 FOR FALL HEIGHTS AS DICTATED BY SPECIFIED PLAY AND FITNESS EQUIPMENT.
 - AGGREGATE SUBBASE SHALL BE COMPACTED TO 95% STANDARD PROCTOR COMPACTION, PER ASTM REQUIREMENTS.
 - INSTALL POURED-IN-PLACE SAFETY SURFACE PER MANUFACTURER'S INSTRUCTIONS.



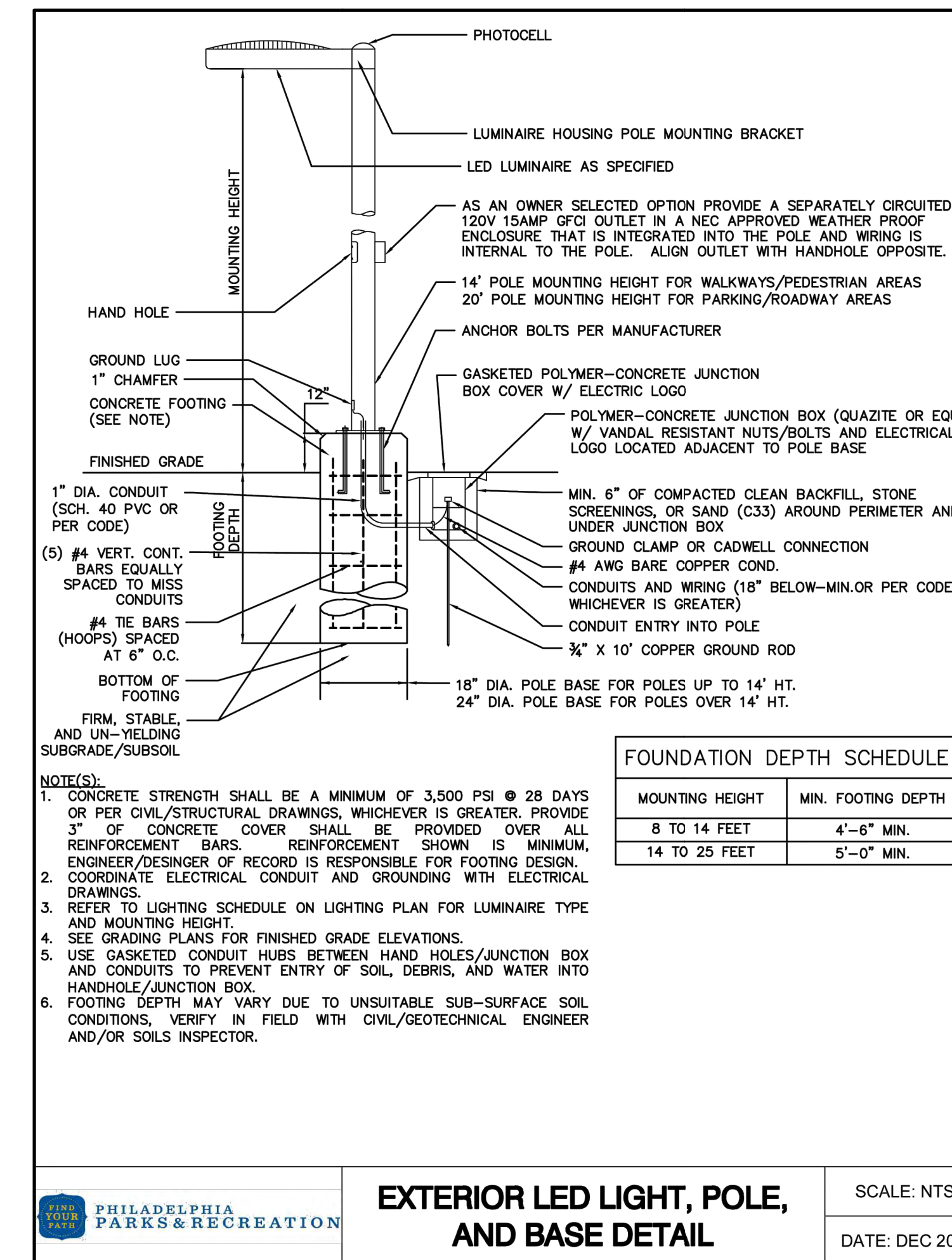
SAFETY SURFACE ADJACENT TO PAVEMENT



SAFETY SURFACE TO LANDSCAPE TRANSITION

4 POURED-IN-PLACE SAFETY SURFACE

SCALE: 1" = 1'-0"



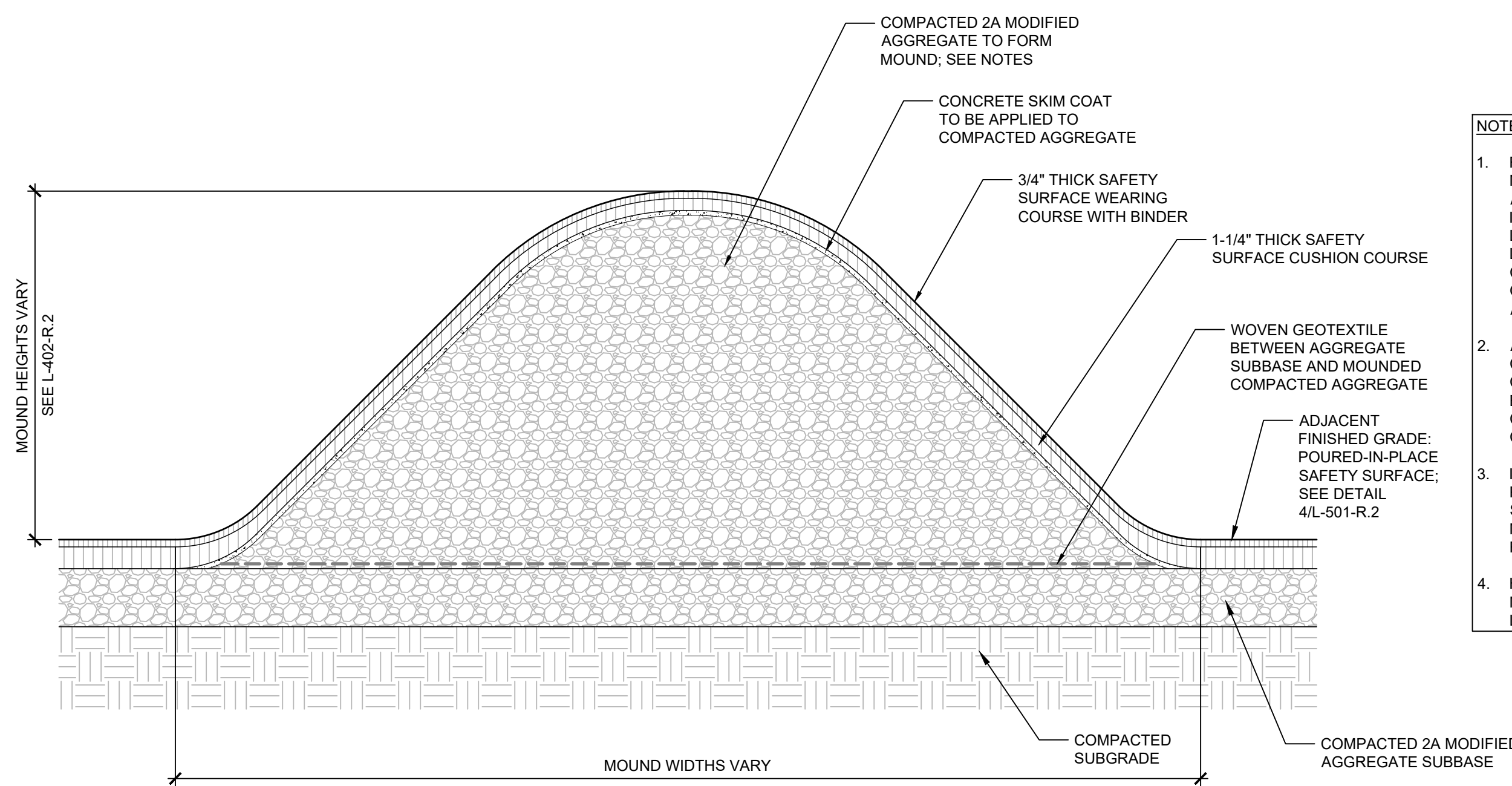
EXTERIOR LED LIGHT, POLE, AND BASE DETAIL

SCALE: NTS
DATE: DEC 2019

6 PEDESTRIAN POST LIGHT

SCALE: 1/2" = 1'-0"

- NOTES:
- FOR FORMATION OF PLAY MOUNDS, 2A MODIFIED AGGREGATE SHALL BE INSTALLED IN 6" LIFTS. LIGHTLY MOISTEN EACH LAYER TO ENSURE SOLID COMPACTION. DO NOT OVER SATURATE AGGREGATE.
 - APPLY BINDING PRIMER COAT TO TOP OF CONCRETE SKIM COAT TO ENSURE SAFETY SURFACE COURSES ADHERE TO CONCRETE.
 - INSTALL POURED-IN-PLACE SAFETY SURFACE PER MANUFACTURER'S RECOMMENDATIONS.
 - HEIGHTS AND WIDTHS OF MOUNDS VARY; SEE PLAN L-402-R.2.



5 PLAY MOUND - TYPICAL

SCALE: 1" = 1'-0"

STAMP AREA

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

REVISIONS		
ISSUE	DATE	DESCRIPTION
1	05/08/23	PACKAGE 2 100% CD
2	06/02/23	ISSUE FOR BID



REVIEWED BY: _____

PROJECT COORDINATOR: _____

SEALS: _____



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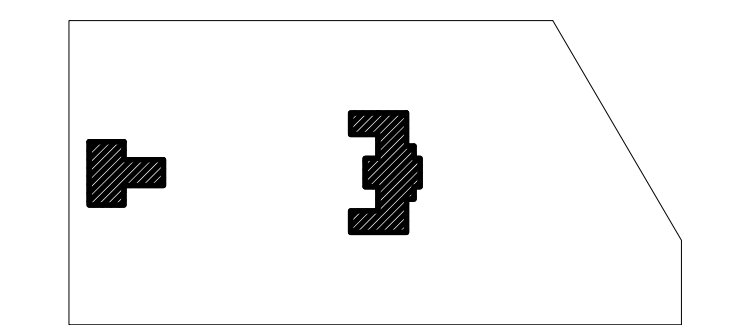
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**KINGSESSING RECREATION
CENTER BUILDING AND SITE
IMPROVEMENTS - PACKAGE 2**

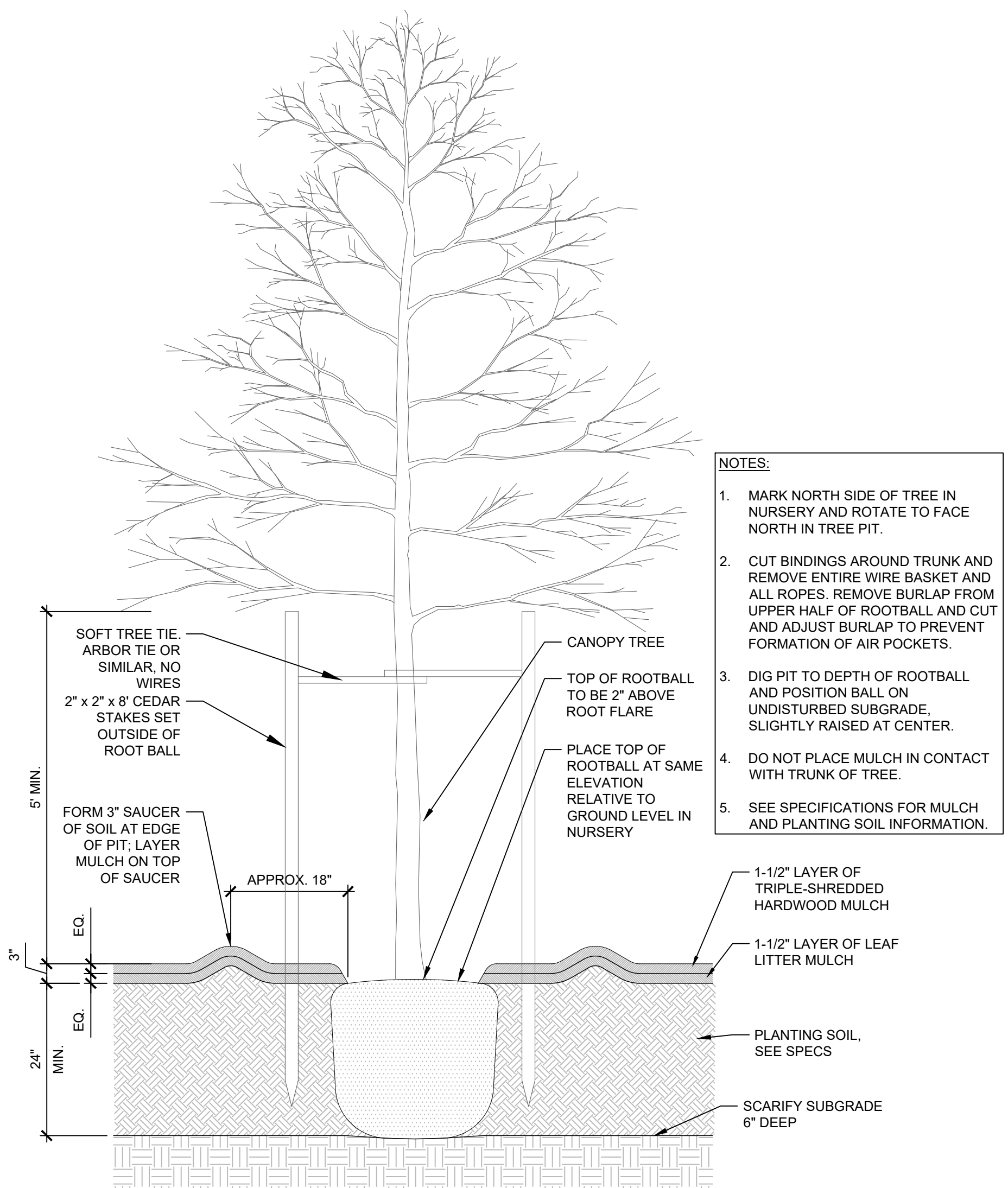
KEY PLAN



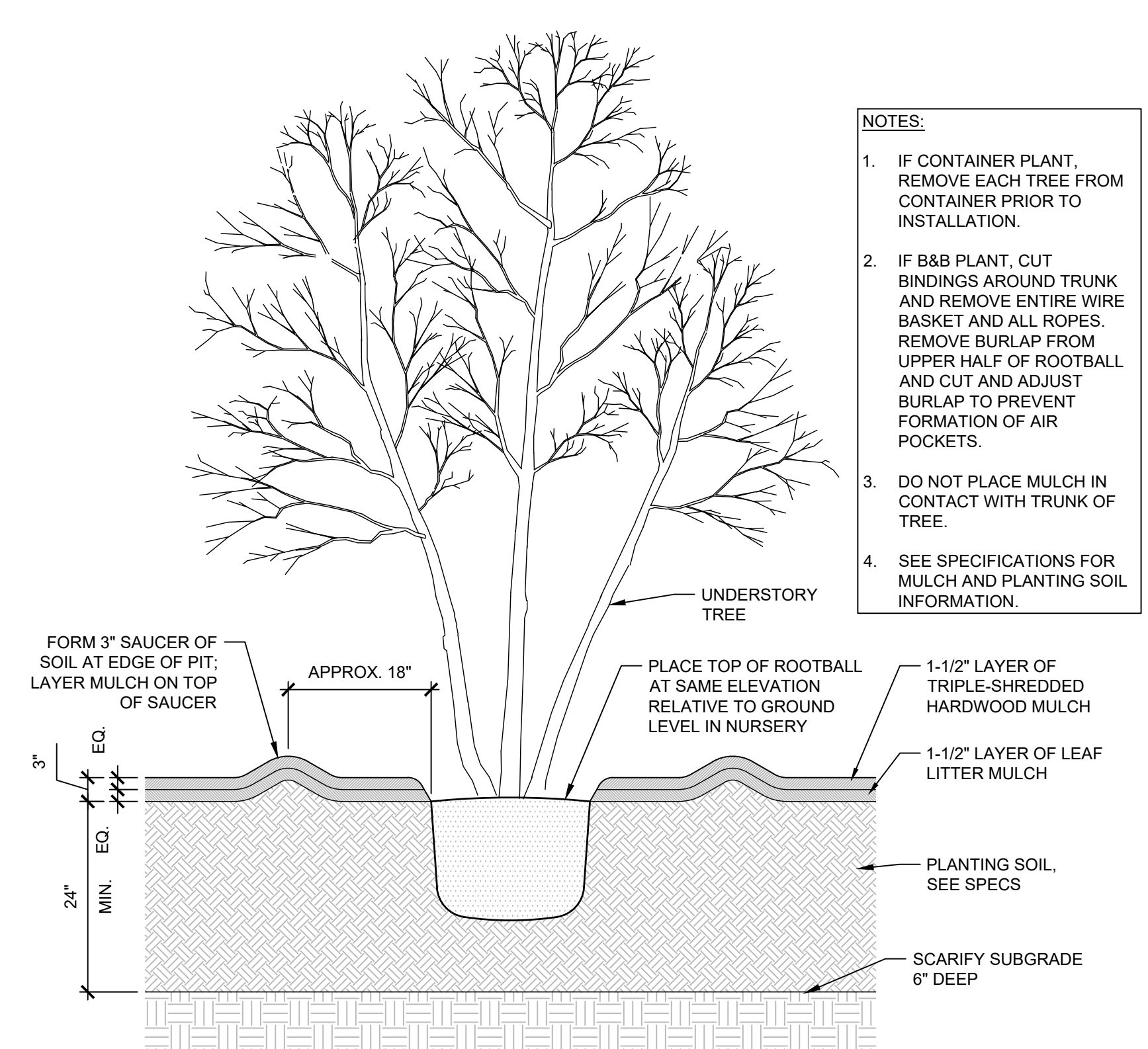
DRAWING TITLE
PLANTING DETAILS

MAIN PROJECT NO. 21070 DATE 06/02/2023 SCALE AS SHOWN DRAWN BY RSU/AF CHECKED BY SPS	DRAWING NO. L-502-R.2
--	---------------------------------

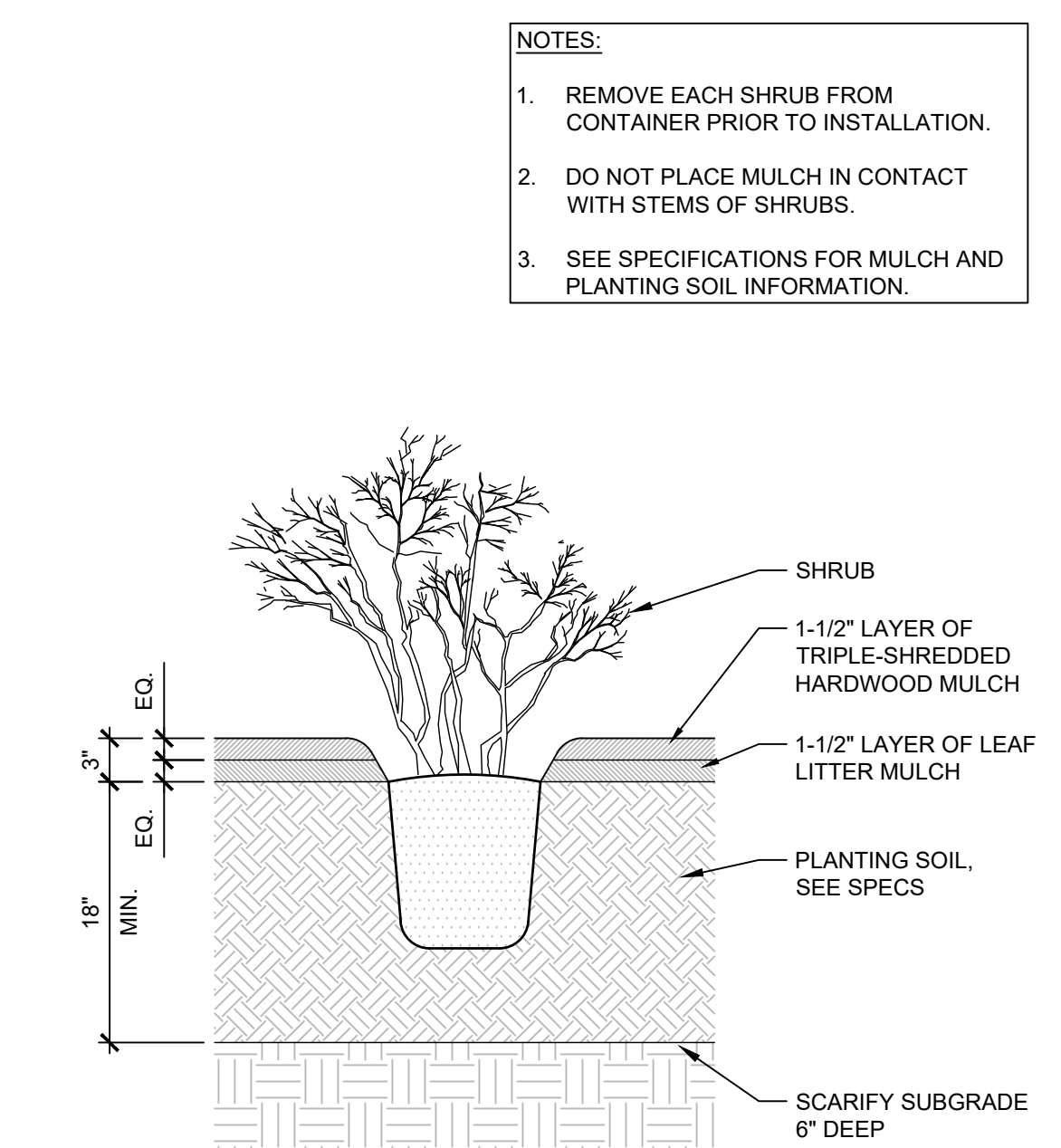
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



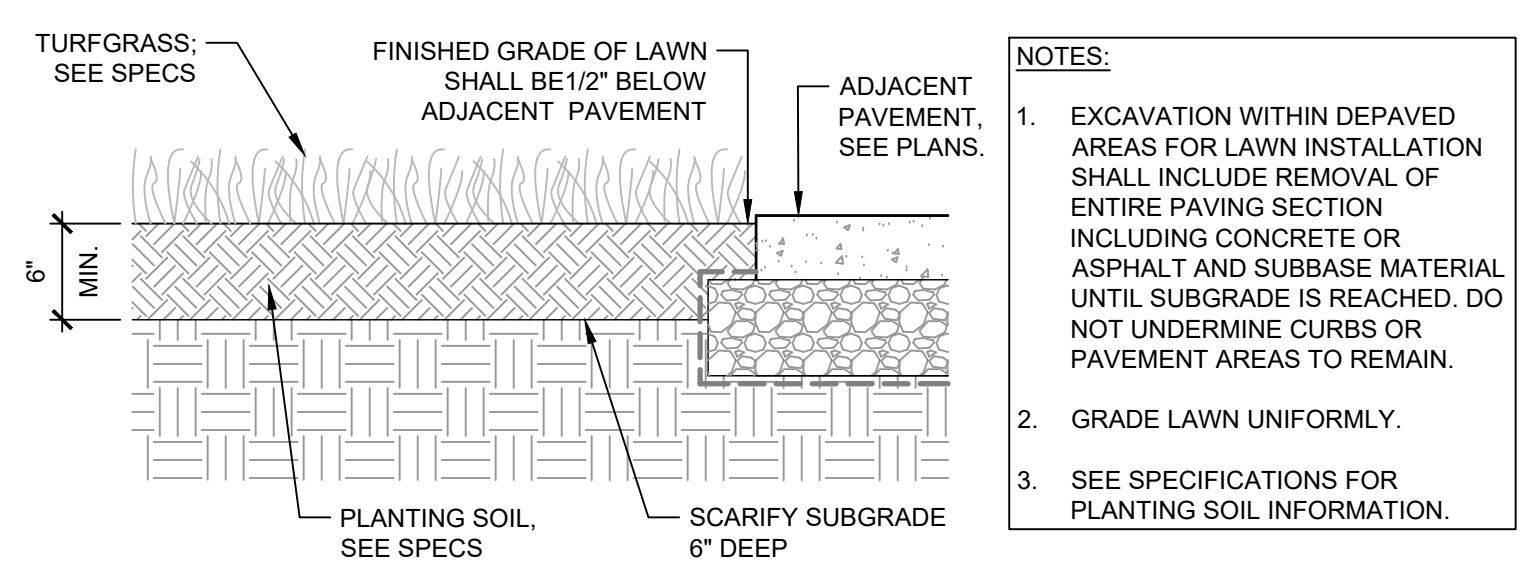
1 CANOPY TREE SCALE: 3/4" = 1'-0"



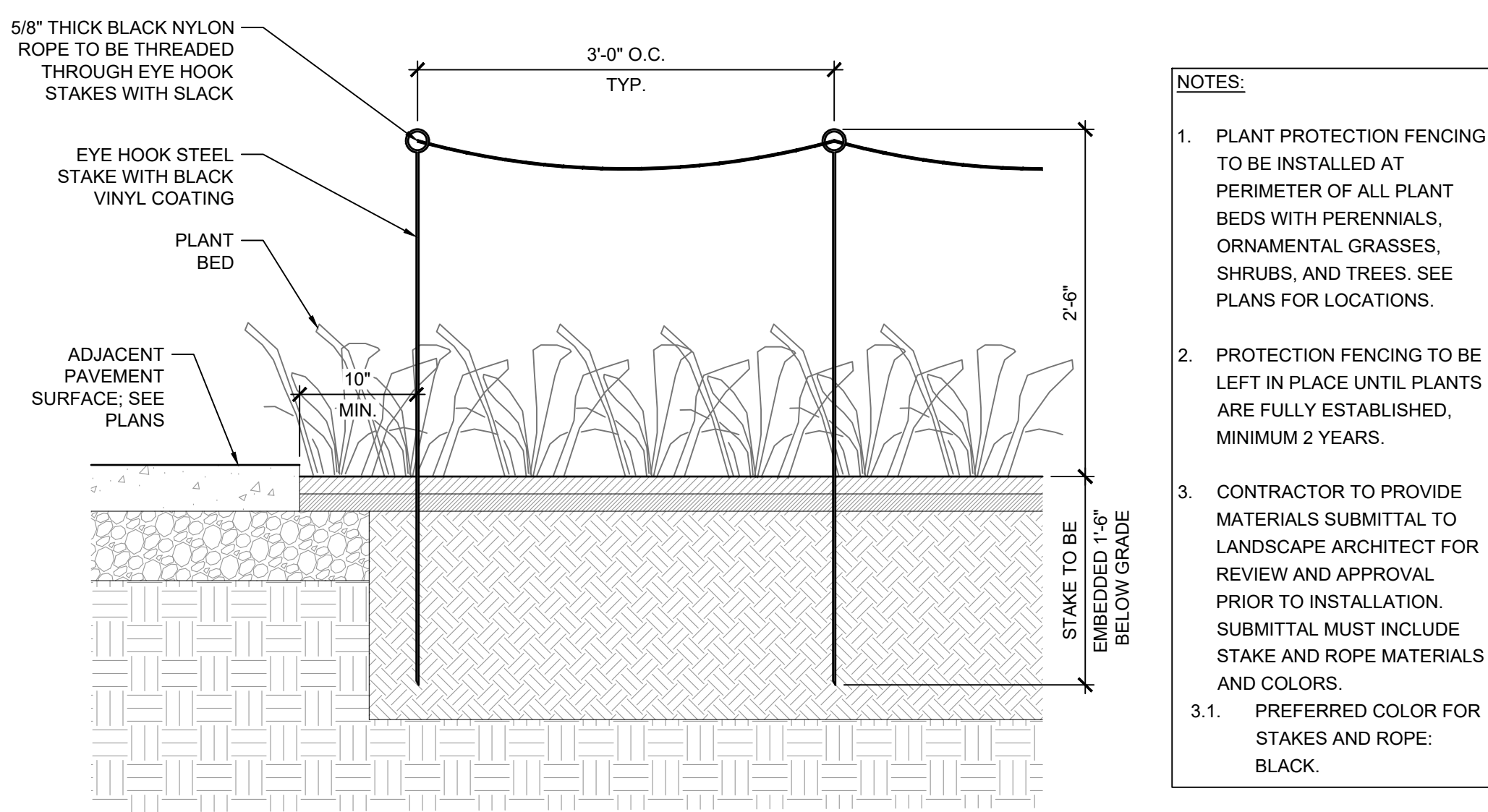
2 UNDERSTORY TREE SCALE: 3/4" = 1'-0"



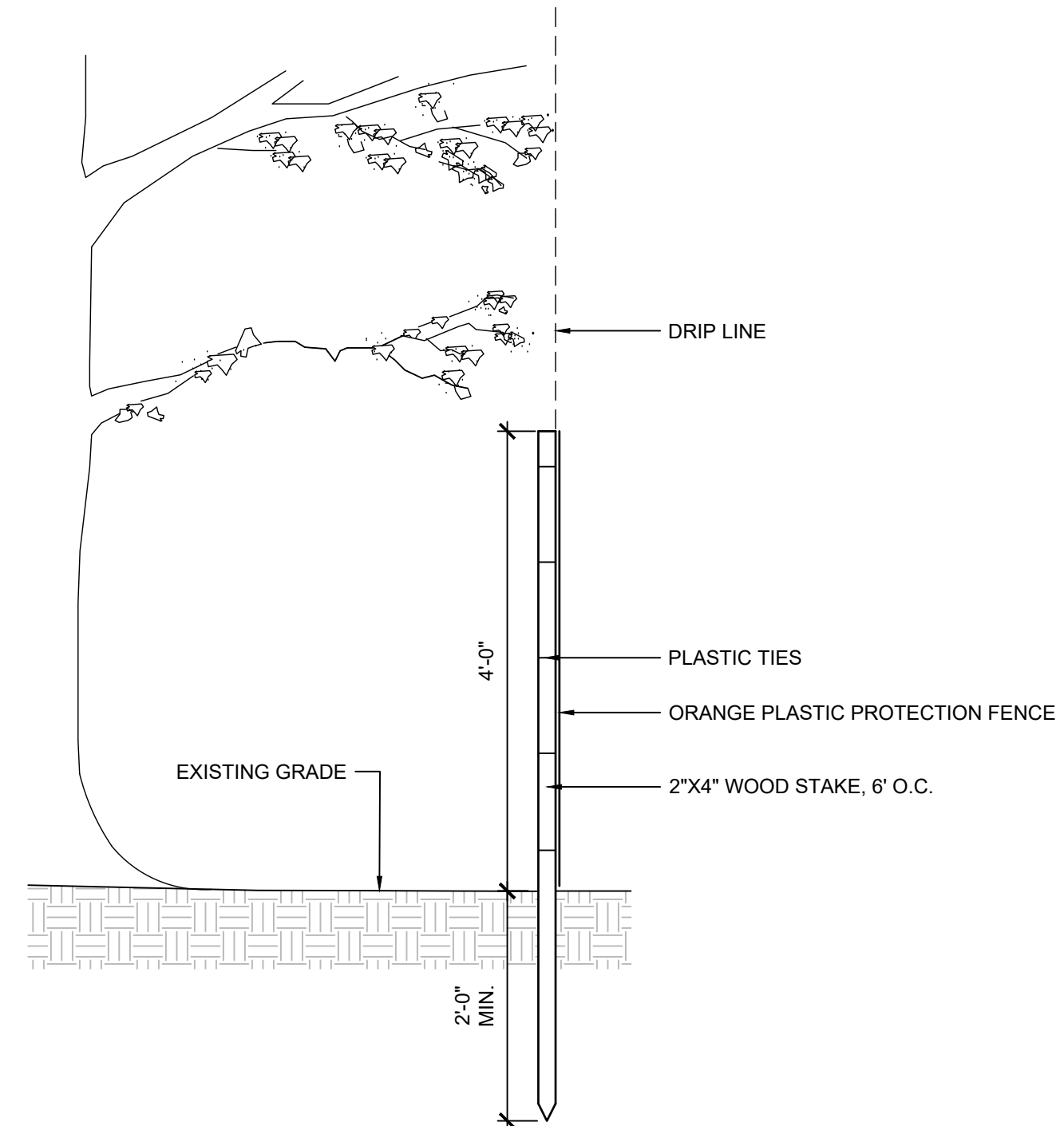
3 SHRUB SCALE: 1" = 1'-0"



4 TURF LAWN SCALE: 1" = 1'-0"



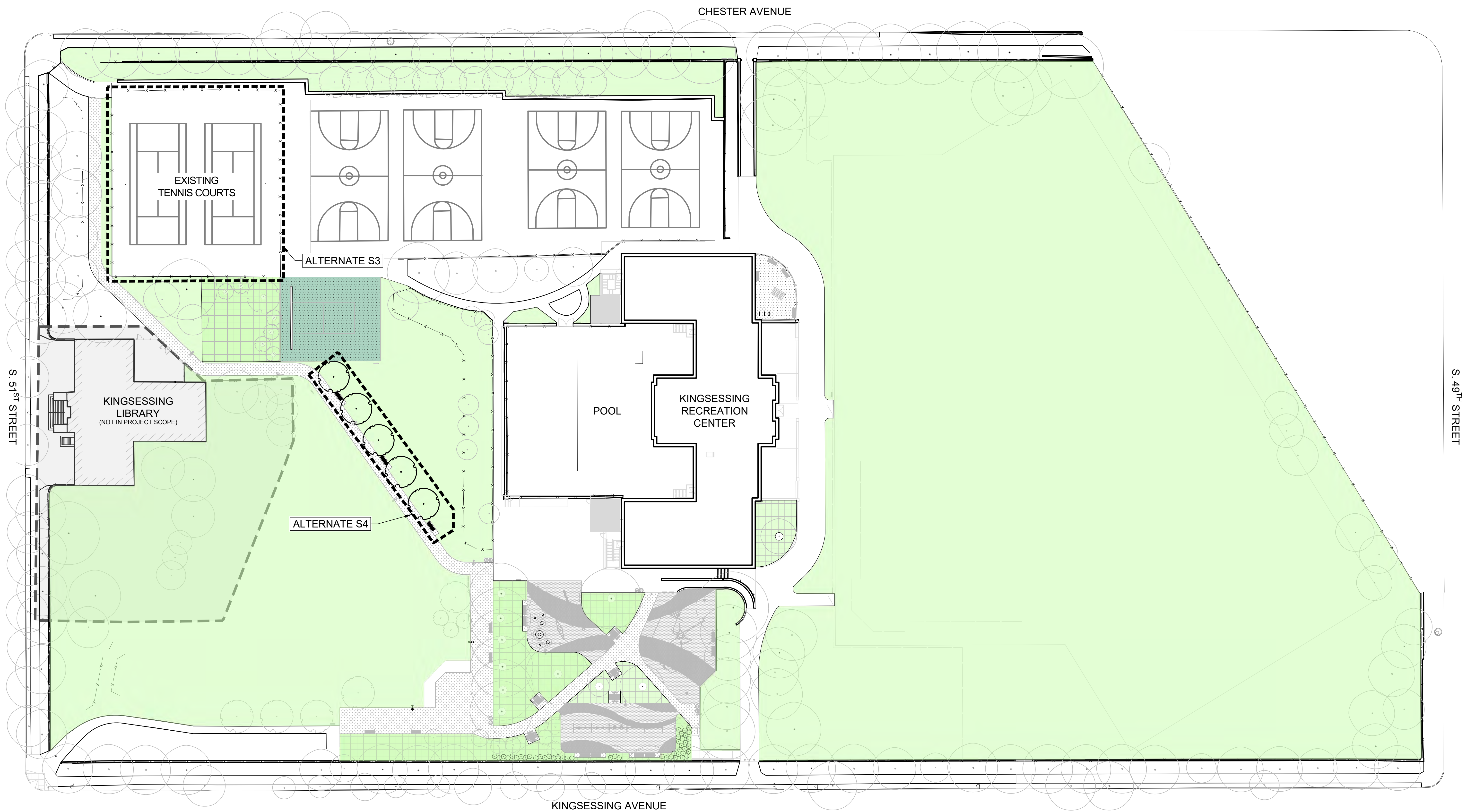
5 TEMPORARY PLANT PROTECTION FENCE SCALE: 1" = 1'-0"



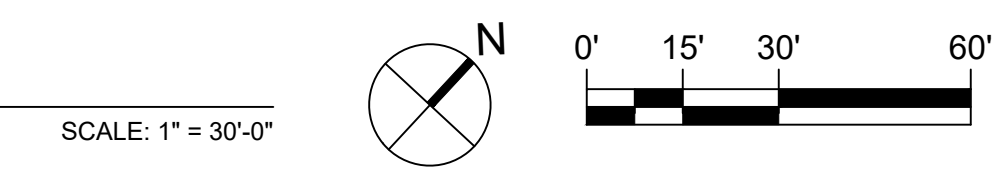
6 EXISTING TREE PROTECTION FENCE SCALE: 3/4" = 1'-0"

STAMP AREA

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023



1 SITE ADD ALTERNATES OVERVIEW PLAN



GENERAL NOTES:

1. SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC TO SALT DESIGN STUDIO ON MAY 10, 2021.
2. THE L-800 SERIES DRAWINGS DOCUMENT A SERIES OF ADD ALTERNATES FOR SITE IMPROVEMENTS. EACH ADD ALTERNATE TO BE PRICED/BID SEPARATELY FOR EVALUATION BY OWNER. OWNER TO SELECT INDIVIDUAL OR GROUPS OF SITE ADD ALTERNATES TO BE INSTALLED IN ADDITION TO SITE IMPROVEMENTS BASE SCOPE AS DESCRIBED ON PREVIOUS L-SERIES DRAWINGS.
3. SITE ADD ALTERNATES TO BE COORDINATED WITH CIVIL ENGINEERING SCOPE AND M.E.P. ENGINEERING SCOPE, AS NEEDED.
4. IF FURTHER CLARIFICATION IS NEEDED FOR SITE ADD ALTERNATES NOTED IN L-800 SERIES DRAWINGS, CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT.

SITE ADD ALTERNATES SCOPE OF WORK:

1. ADD ALTERNATE S3: TENNIS COURTS, SEE L-801 FOR MORE INFORMATION.
2. ADD ALTERNATE S4: DIAGONAL WALK, SEE L-802 FOR MORE INFORMATION.

STAMP AREA

REVISIONS

ISSUE	DATE	DESCRIPTION
1	05/08/23	PACKAGE 2 100% CD
2	06/02/23	ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR

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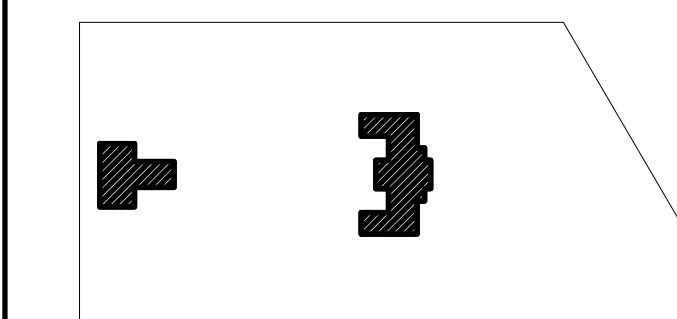
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PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE
KINGSSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
SITE ADD ALTERNATES OVERVIEW PLAN

KMA PROJECT NO. **21070** DRAWING NO. **L-800-R.2**

DATE: 06/02/23
SCALE: AS SHOWN
DRAWN BY:
REV. BY:
CHECKED BY:
SPS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

REVISIONS

ISSUE	DATE	DESCRIPTION
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2	06/02/23	ISSUE FOR BID



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PROJECT COORDINATOR

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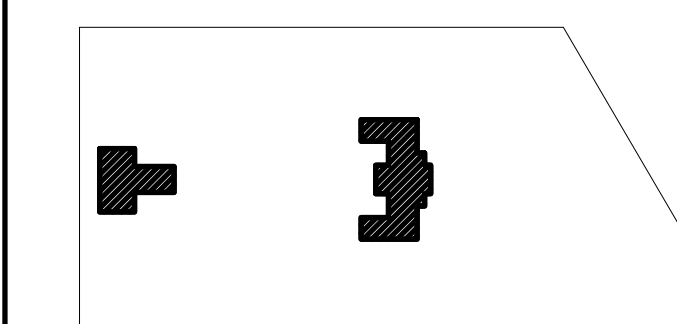
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PROJECT TITLE
**KINGSESSING RECREATION
CENTER BUILDING AND SITE
IMPROVEMENTS - PACKAGE 2**

KEY PLAN

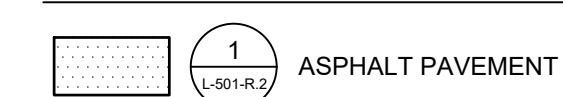


DRAWING TITLE
**SITE ADD ALTERNATE S3
- TENNIS COURTS**

KMA PROJECT NO. 21070	DRAWING NO. L-801-R.2
DATE 06/02/23	
SCALE AS SHOWN	
DRAWN BY BNV/AF	
CHECKED BY SPS	

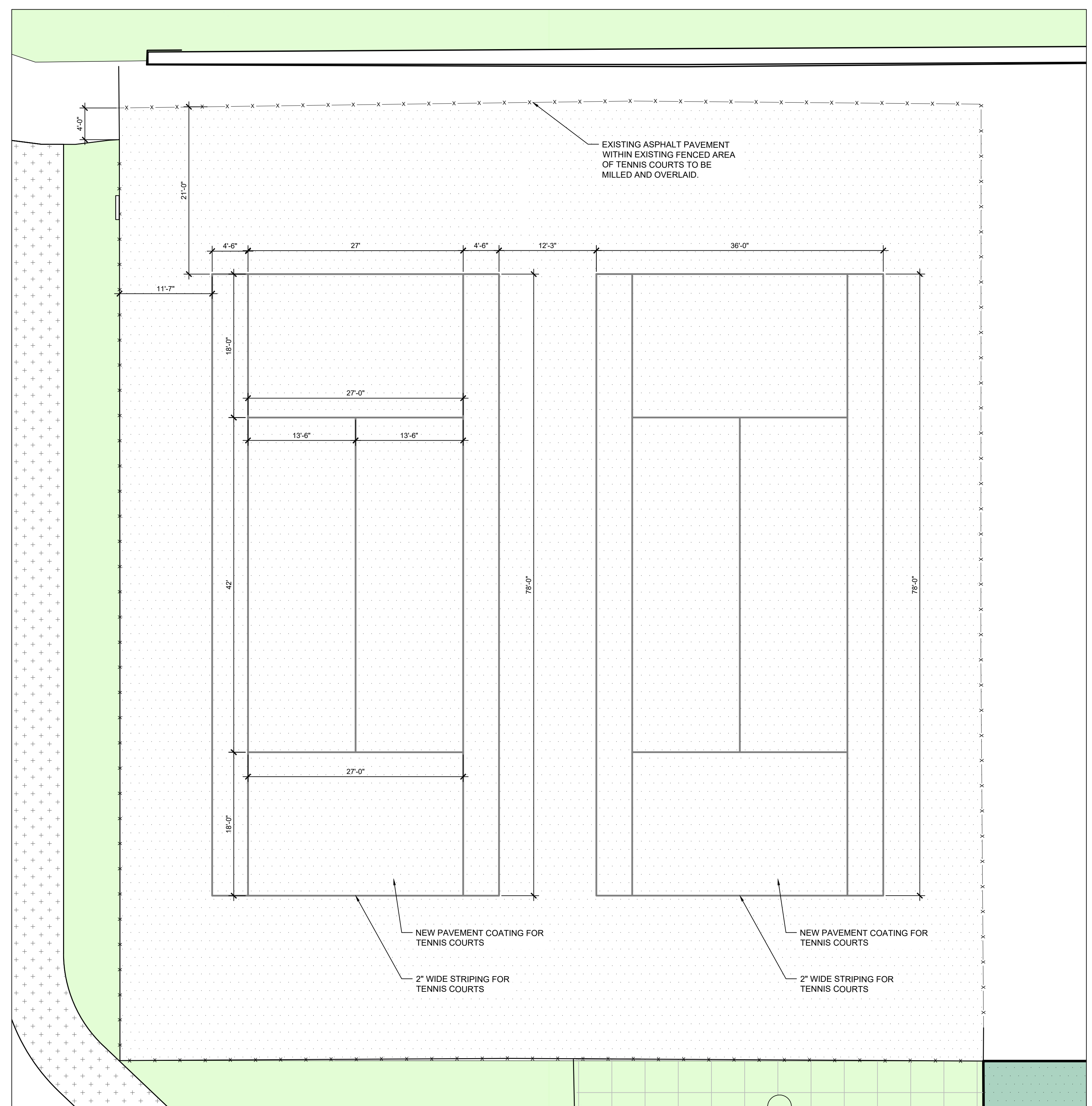
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

LEGEND:



SITE LAYOUT & MATERIALS NOTES:

- SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC. TO SALT DESIGN STUDIO ON MAY 10, 2021.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
- VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS; CONSULT LANDSCAPE ARCHITECT FOR ANSWERS TO ALL DIMENSIONAL QUESTIONS.
- CONTACT UTILITY COMPANIES AS REQUIRED BY STATE AND LOCAL REGULATIONS BEFORE DIGGING TO LOCATE AND MARK EXISTING UTILITIES.
- COORDINATE ALL UTILITY WORK WITH THE LOCATIONS AND FINAL GRADES OF ALL OTHER WORK AS SHOWN ON THE ENGINEER'S DRAWINGS. WHERE CONFLICTS OCCUR, NOTIFY THE ENGINEER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF UTILITIES TO MAKE ADJUSTMENTS AS REQUIRED. IF NEW UTILITIES HAVE BEEN INSTALLED IN CONFLICT WITH CURBS, WALLS, PAVING, OR OTHER STRUCTURES AT DEPTHS TOO SHALLOW FOR PROPER COVER BENEATH NEW GRADES OR INCORRECT FINISHED GRADE, THEY SHALL BE ADJUSTED OR REMOVED AND REPLACED AS NECESSARY AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF ALL SITE IMPROVEMENTS PRIOR TO INSTALLATION.
- DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, FRONT OF CURB, FACES OF WALLS, OR OBJECT CENTERLINE, UNLESS NOTED OTHERWISE.
- ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
- PROVIDE SLOPES ON PAVEMENT SURFACES AS INDICATED ON GRADING AND DRAINAGE PLAN TO ALLOW FOR POSITIVE DRAINAGE.
- NO PONDING SHALL BE PERMITTED ON FINISHED GRADE OF SITE PAVEMENTS. AREAS WHERE PONDING OCCURS SHALL BE REGRADED AND REPAIRED AT CONTRACTOR'S EXPENSE.
- COORDINATE INSTALLATION OF FURNISHINGS AND EQUIPMENT FOUNDATIONS PRIOR TO INSTALLING SITE PAVEMENTS.



1 SITE ADD ALTERNATE S3: TENNIS COURT MATERIALS & STRIPING LAYOUT PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTE:
SITE ADD ALTERNATE S3 IS RENOVATION OF EXISTING TENNIS COURTS.
REFERENCE CIVIL DRAWING CS021-R.2 FOR EXISTING CONDITIONS PLAN.

STAMP AREA

PACKAGE 2 - IFB
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06/02/2023

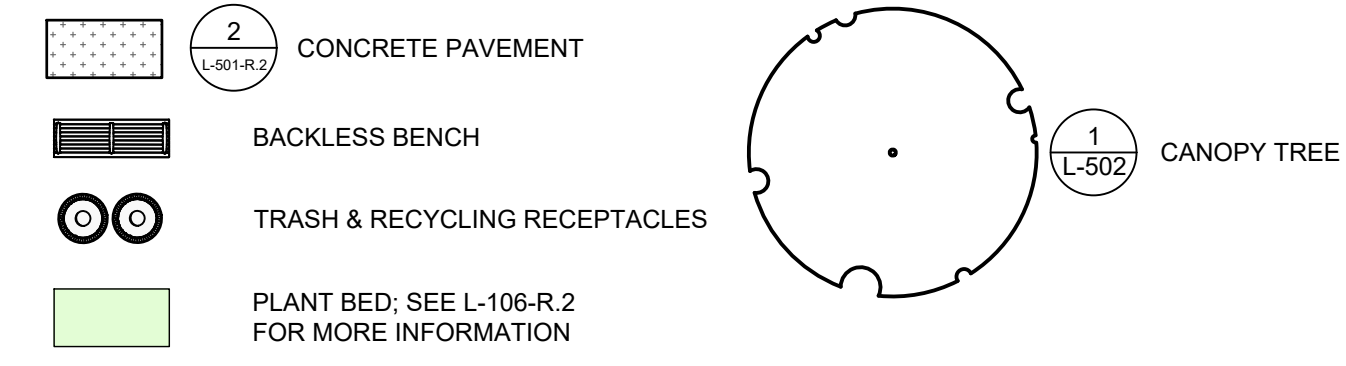
SITE ADD ALTERNATE S4 - SITE FURNISHINGS SCHEDULE:

KEY	ITEM	QTY	PRODUCT NAME & MODEL NUMBER	MANUFACTURER	OPTIONS, FINISHES & COLORS	INSTALLATION
BB	BACKED BENCH	3	BENCH 165, MODEL NO. 165-60D	DU MOR	6' CAST BENCH, DOUGLAS FIR SEAT; WITH CENTER AND END ARMRESTS; POWDERCOAT COLOR: TBD	SURFACE MOUNT
TR	TRASH RECEPTACLE	1	RECEPTACLE 157, MODEL NO. 157-325H-BT	DU MOR	32-GALLON STEEL RECEPTACLE WITH SHIELD AND BONNET COVER WITH 10" OPENING; POWERCOAT COLOR: TBD	SURFACE MOUNT
RR	RECYCLING RECEPTACLE	1	RECEPTACLE 157, MODEL NO. 157-325H-BT-RC	DU MOR	32-GALLON STEEL RECEPTACLE WITH SHIELD, RECYCLE LID WITH 4" OPENING, AND BONNET COVER WITH 10" OPENING; POWERCOAT COLOR: RECYCLE BLUE	SURFACE MOUNT

SITE ADD ALTERNATE S4 - PLANT SCHEDULE:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
CANOPY TREES						
LT	5	<i>Liriodendron tulipifera</i>	Tulip Poplar	2"-2.5" CAL.	B&B	AS SHOWN
5		TOTAL CANOPY TREES				

LEGEND:



SITE LAYOUT & MATERIALS NOTES:

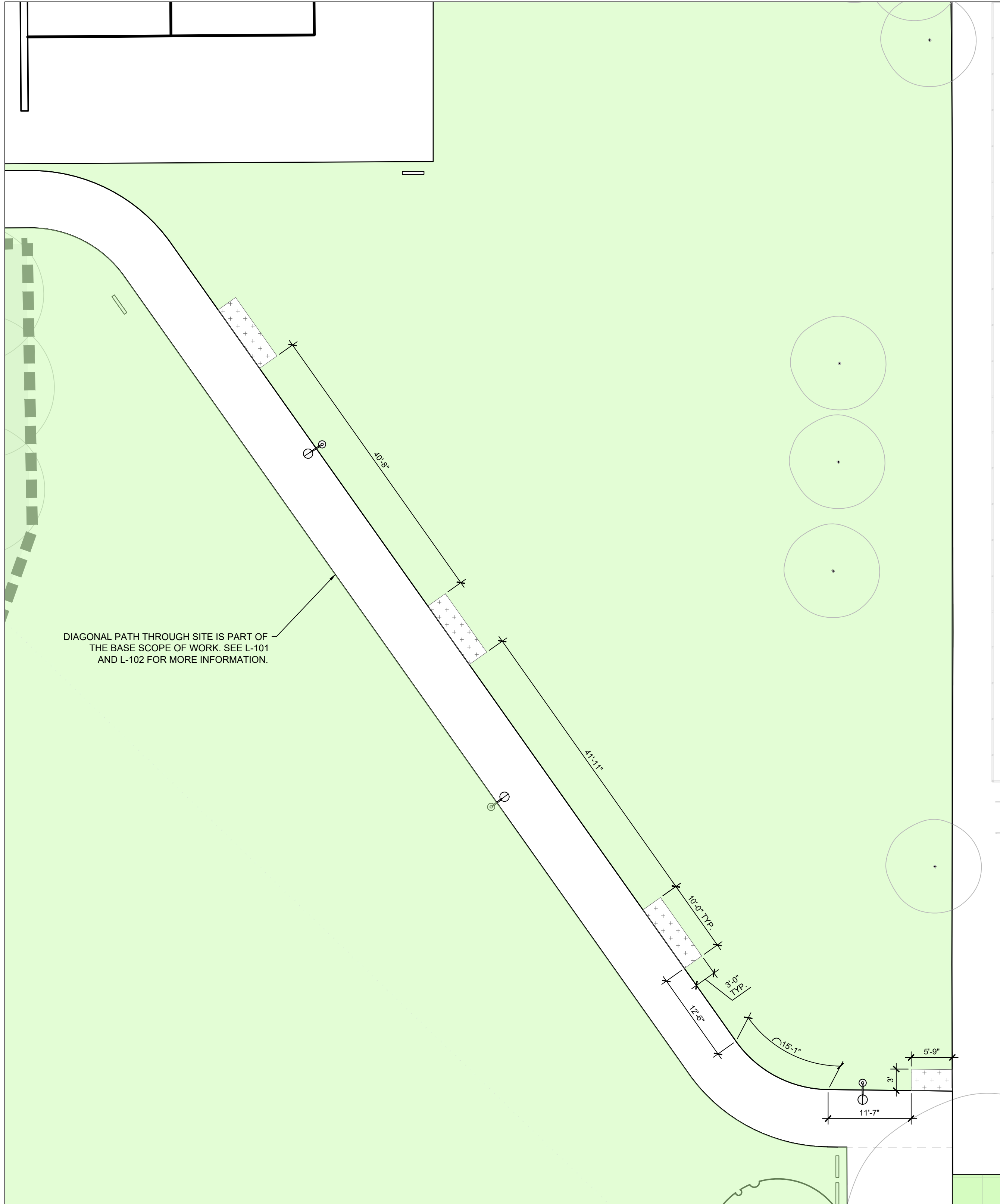
- SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC. TO SALT DESIGN STUDIO ON MAY 10, 2021.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
- VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT DISCREPANCIES TO LANDSCAPE ARCHITECT.
- THESE CONSTRUCTION DOCUMENTS MAKE NO REPRESENTATIONS AS TO THE MEANS AND METHODS OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS; CONSULT LANDSCAPE ARCHITECT FOR ANSWERS TO ALL DIMENSIONAL QUESTIONS.
- CONTACT UTILITY COMPANIES AS REQUIRED BY STATE AND LOCAL REGULATIONS BEFORE DIGGING TO LOCATE AND MARK EXISTING UTILITIES.
- COORDINATE ALL UTILITY WORK WITH THE LOCATIONS AND FINAL GRADES OF ALL OTHER WORK AS SHOWN ON THE ENGINEER'S DRAWINGS. WHERE CONFLICTS OCCUR, NOTIFY THE ENGINEER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF UTILITIES TO MAKE ADJUSTMENTS AS REQUIRED. IF NEW UTILITIES HAVE BEEN INSTALLED IN CONFLICT WITH CURBS, WALLS, PAVING, OR OTHER STRUCTURES AT DEPTHS TOO SHALLOW FOR PROPER COVER BENEATH NEW GRADES OR INCORRECT FINISHED GRADE, THEY SHALL BE ADJUSTED OR REMOVED AND REPLACED AS NECESSARY AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF ALL SITE IMPROVEMENTS PRIOR TO INSTALLATION.
- DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, FRONT OF CURB, FACES OF WALLS, OR OBJECT CENTERLINE, UNLESS NOTED OTHERWISE.
- ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
- PROVIDE SLOPES ON PAVEMENT SURFACES AS INDICATED ON GRADING AND DRAINAGE PLAN TO ALLOW FOR POSITIVE DRAINAGE.
 - NO PONDING SHALL BE PERMITTED ON FINISHED GRADE OF SITE PAVEMENTS. AREAS WHERE PONDING OCCURS SHALL BE REGRADED AND REPAIRED AT CONTRACTOR'S EXPENSE.
- COORDINATE INSTALLATION OF FURNISHINGS AND EQUIPMENT FOUNDATIONS PRIOR TO INSTALLING SITE PAVEMENTS.

GENERAL PLANTING NOTES:

- SITE SURVEY DATA WAS PROVIDED BY AMERICAN ENGINEERS GROUP, LLC. TO SALT DESIGN STUDIO ON MAY 10, 2021.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND SUBTERRANEAN ELEMENTS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR RELOCATION INSTRUCTIONS IF A PLANT IS LOCATED WITHIN 3'-0" OF AN UNDERGROUND UTILITY.
- CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCING AND MEASURES AS INDICATED ON ENGINEER'S PLANS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
- ALL EXISTING GRASS AND ROOTS OF REMOVED VEGETATION SHALL BE COMPLETELY REMOVED FROM SITE PRIOR TO INSTALLATION OF NEW PLANTS.
- THERE WILL BE NO PLANT SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT THE APPROVAL OF LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER RETENTION IN TREE OR SHRUB PITS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO PREVENT SOIL LOSS AS INDICATED ON ENGINEER'S PLANS.
- ALL IMPORTED PLANTING SOIL MUST BE TESTED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. SEE SPECIFICATIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS, AND TREE AND SHRUB LOCATIONS IN FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO STARTING PLANT INSTALLATION.
- ALL TREES AND SHRUBS SHALL HAVE AT LEAST 24" APPROVED PLANTING SOIL AROUND ROOTBALL.
- CONTRACTOR SHALL INSTALL IRRIGATION BAGS FOR ALL NEW CANOPY AND UNDERSTORY TREES IMMEDIATELY UPON COMPLETION OF INSTALLATION. SEE SPECIFICATIONS.
- MULCH, COMPOST AND/OR LEAF LITTER IS TO BE INSTALLED AS INDICATED ON DETAILS AND IN SPECIFICATIONS.

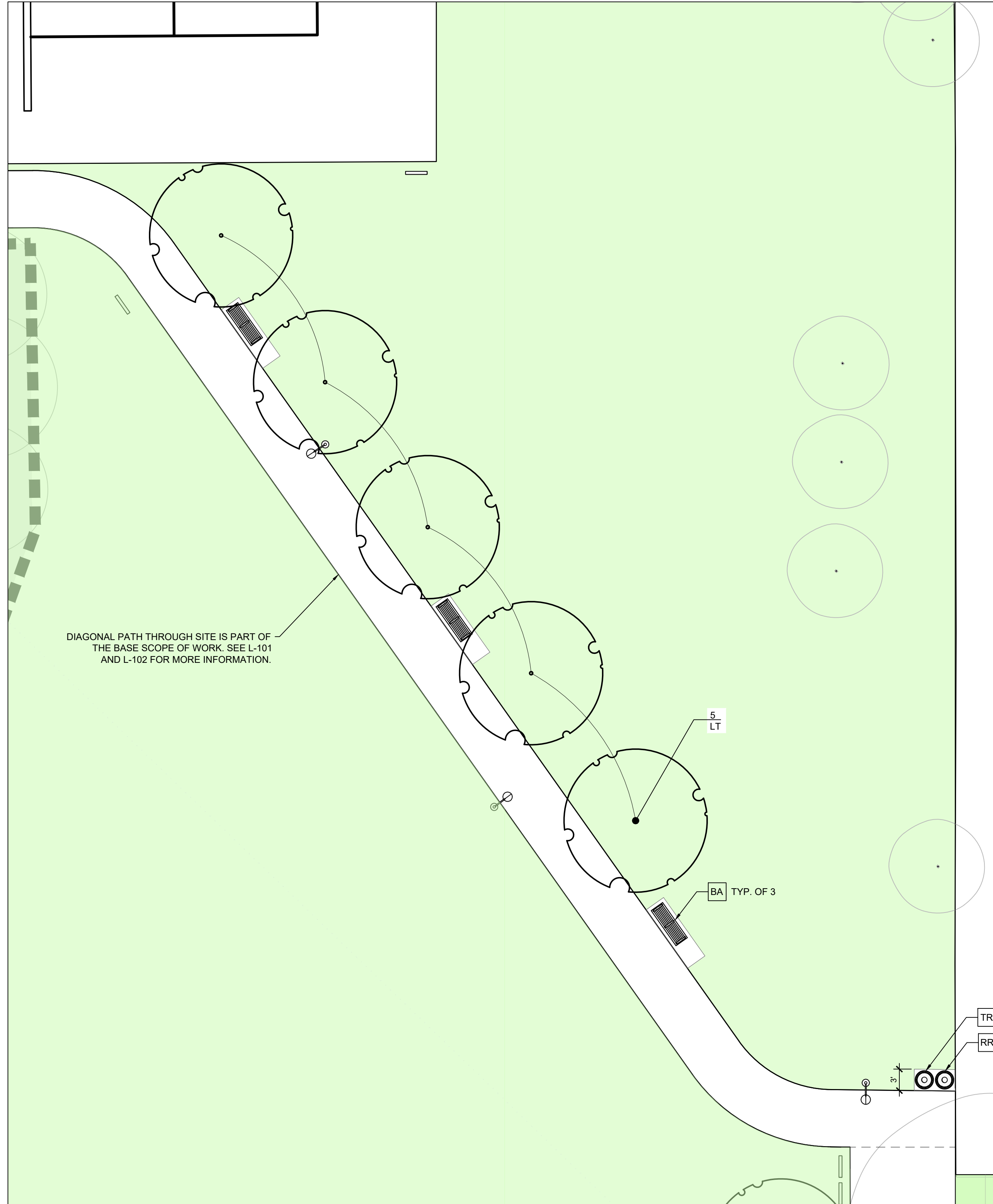
SITE FURNISHINGS NOTES:

- CONTRACTOR TO OBTAIN THE LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT OF ALL SITE FURNISHINGS AND EQUIPMENT PRIOR TO INSTALLATION.
- DIMENSIONS ARE PROVIDED TO EDGE OF PAVEMENT, FACES OF WALLS, EDGE OF SITE FURNISHING OR FENCE, OR CENTERLINE OF PLAY EQUIPMENT, UNLESS NOTED OTHERWISE.
- ELEMENTS SHALL BE PARALLEL OR PERPENDICULAR, UNLESS NOTED OTHERWISE.
- SEE SITE FURNISHINGS SCHEDULE FOR QUANTITIES, PRODUCT, AND MANUFACTURER INFORMATION.
- FOUNDATIONS FOR ALL FURNISHINGS SHALL BE LOCATED ON SITE AND REVIEWED IN FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.



1 SITE ADD ALTERNATE S4: DIAGONAL PATH AMENITIES LAYOUT & MATERIALS PLAN
SCALE: 1" = 10'-0"

GENERAL NOTE:
• SITE ADD ALTERNATE S4 IS ADDITION OF BENCH PADS, BENCHES, AND SHADE TREES.



2 SITE ADD ALTERNATE S4: DIAGONAL PATH AMENITIES FURNISHINGS & PLANTING PLAN
SCALE: 1" = 10'-0"

REVISIONS

ISSUE	DATE	DESCRIPTION
1	05/08/23	PACKAGE 2 100% CD
2	06/02/23	ISSUE FOR BID



REVIEWED BY:
PROJECT COORDINATOR

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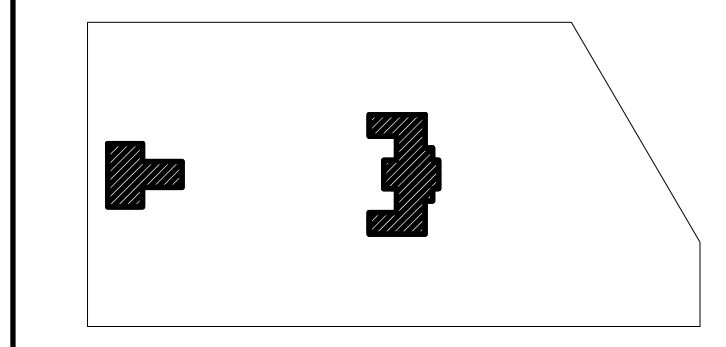
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PROJECT TITLE
KINGESSING RECREATION
CENTER BUILDINGS AND SITE
IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
SITE ADD ALTERNATE S4 -
DIAGONAL PATH AMENITIES

KMA PROJECT NO. 21070	DRAWING NO. L-802-R.2
DATE 06/02/2023	
SCALE AS SHOWN	
DRAWN BY: RBY/AF	
CHECKED BY: SPS	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

PACKAGE 2 - IFB
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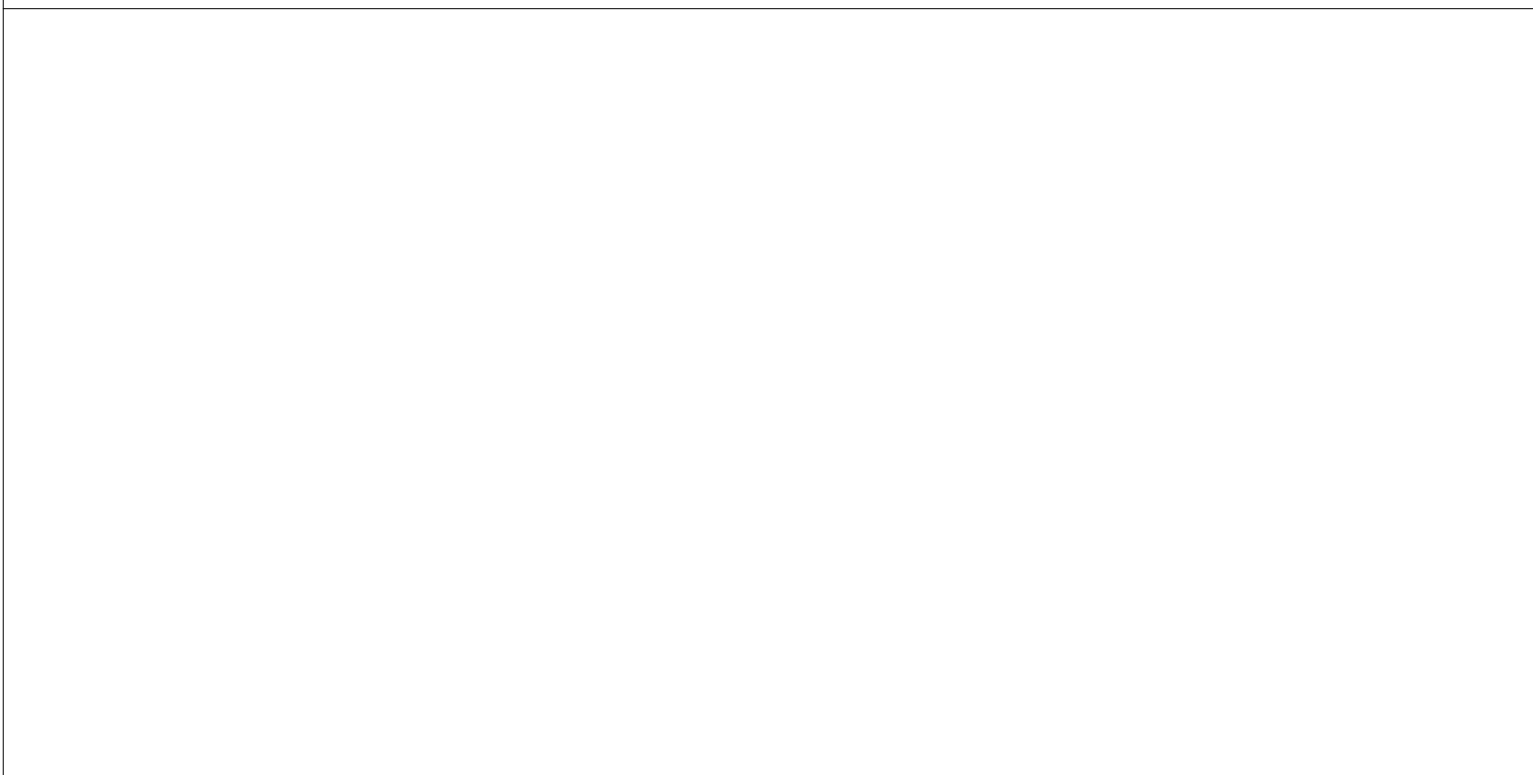
STAMP AREA

GENERAL STRUCTURAL AND CONSTRUCTION NOTES

- 1.0 GENERAL
- ALL WORK SHALL CONFORM TO THE "2018 INTERNATIONAL BUILDING CODE" AND TO ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
 - ALL CODES AND STANDARDS REFERENCED IN THESE NOTES, INCLUDING SPECIFICATIONS REFERENCED WITHIN AND FEDERAL, STATE, AND LOCAL REGULATIONS APPLY TO THE DESIGN, CONSTRUCTION, DEMOLITION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST ADOPTED EDITIONS OF THE CODES AND STANDARDS.
 - IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, SPECIFICATIONS, AND DETAILS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
 - WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED, AND PROVIDED AT NO ADDITIONAL COST. MINOR DETAILS OR INCIDENTAL ITEMS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR A PROPER AND COMPLETE INSTALLATION SHALL BE INCLUDED IN THE WORK.
 - JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL PROVIDE FOR DEWATERING AS REQUIRED DURING EXCAVATION AND CONSTRUCTION. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - THE CONTRACTOR SHALL COORDINATE OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS, AND DEPRESSIONS SHOWN ON THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE WEIGHT OF SUPERIMPOSED DEAD LOADS RESULTING FROM MEP EQUIPMENT INSTALLED IN THE FIELD DOES NOT EXCEED THE ALLOWABLE MEP LOADS DESIGNATED ON THE LOAD MAPS AND PLANS. THE CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER IF THE WEIGHT OF MEP EQUIPMENT EXCEEDS THAT SHOWN ON THE LOAD MAPS AND PLANS AND PROVIDE REINFORCING AS NECESSARY AT HIS OWN EXPENSE.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY AND DRYWALL NON-LOAD BEARING PARTITIONS. PROVIDE SLIP CONNECTIONS THAT ALLOW VERTICAL MOVEMENT AT THE HEADS OF ALL SUCH PARTITIONS. CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE TOP OF THE WALLS LATERALLY FOR THE CODE-REQUIRED LATERAL LOAD.
 - ALL COSTS OF INVESTIGATION, REDESIGN AND/OR RE-INSTALLATION DUE TO CONTRACTOR IMPROPER INSTALLATION OF STRUCTURAL ELEMENTS OR OTHER ITEMS NOT IN CONFORMANCE WITH THE CONTRACT DOCUMENTS SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, ARCHITECTURAL AND MECHANICAL DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ARCHITECT PRIOR TO PERFORMING THE WORK.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION OF ANY STRUCTURAL COMPONENT.
 - THE CONTRACTOR SHALL VERIFY AND/OR ESTABLISH ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. FAILURE TO NOTIFY ARCHITECT/ENGINEER OF UNSATISFACTORY CONDITIONS CONSTITUTES ACCEPTANCE OF UNSATISFACTORY CONDITIONS.
 - IF THE EXISTING FIELD CONDITIONS DO NOT PERMIT THE INSTALLATION OF THE WORK IN ACCORDANCE WITH THE DETAILS SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY AND PROVIDE A SKETCH OF THE CONDITION WITH HIS PROPOSED MODIFICATION OF THE DETAILS GIVEN ON THE CONTRACT DOCUMENTS. DO NOT COMMENCE WORK UNTIL CONDITION IS RESOLVED AND MODIFICATION IS APPROVED BY THE ARCHITECT.
 - WHERE ALTERATIONS INVOLVE THE EXISTING SUPPORTING STRUCTURE, THE CONTRACTOR SHALL PROVIDE SHORING AND PROTECTION REQUIRED TO ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING STRUCTURE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING, AND SHORING, ETC.
 - CONTRACTOR TO PROVIDE SHEETING, BRACING, AND UNDERPINNING AS NECESSARY TO PREVENT ANY LATERAL OR VERTICAL MOVEMENTS OF EXISTING BUILDINGS, STREETS, AND ANY EXISTING UTILITY LINES.
 - IN NO CASE SHALL HEAVY EQUIPMENT BE PERMITTED CLOSER THAN 8'-0" FROM ANY FOUNDATION WALL. IF IT IS NECESSARY TO OPERATE SUCH EQUIPMENT CLOSER THAN 8'-0" TO THE WALL, THE CONTRACTOR SHALL BE THE SOLE RESPONSIBLE PARTY AND, AT HIS OWN EXPENSE, SHALL PROVIDE ADEQUATE SUPPORTS OR BRACE THE WALL TO WITHSTAND THE ADDITIONAL LOADS SUPERIMPOSED FROM SUCH EQUIPMENT.
 - NO BLASTING SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL.
 - SHOP DRAWINGS FOR ALL STRUCTURAL MATERIALS TO BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO THE START OF FABRICATION OR COMMENCEMENT OF WORK. REVIEW PERIOD SHALL BE A MINIMUM OF TWO (2) WEEKS.
 - REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RESUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
 - SHOP DRAWINGS SHALL BEAR THE CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THE CONTRACTOR HAS VERIFIED ALL CONSTRUCTION CRITERIA, MATERIALS, AND SIMILAR DATA AND HAS CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION, AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.
 - THE SHOP DRAWINGS SHALL INCLUDE DIMENSIONED FLOOR AND ROOF EDGES, OPENINGS AND SLEEVES AT ALL FLOOR LEVELS.
 - THE DRAWINGS HAVE BEEN PRODUCED ENTIRELY ON PENNONI CADD SYSTEM. ANY OTHER LETTERING, LINES OR SYMBOLS, OTHER THAN PROFESSIONAL STAMPS AND SIGNATURES, HAVE BEEN MADE WITHOUT THE ARCHITECT'S KNOWLEDGE.
 - THE STRUCTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL STRUCTURAL FEATURES, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL DIMENSIONS.
 - INSPECTION IS REQUIRED OF ALL CONSTRUCTION DELINEATED ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS. THE OWNER (CONTRACTOR) SHALL EMPLOY A TESTING/INSPECTION AGENCY WHICH SHALL PROVIDE PERSONNEL WITH THE FOLLOWING MINIMUM QUALIFICATIONS:
 - CERTIFIED BY INSTITUTE OF CERTIFIED ENGINEERING TECHNICIANS, OR OTHER RECOGNIZED COMPARABLE ORGANIZATION, AND
 - FOR INSPECTION, SAMPLING, TESTING CONCRETE AND MASONRY: ACI CERTIFIED CONCRETE FIELD-TESTING TECHNICIAN, GRADE I AND CONSTRUCTION INSPECTOR, LEVEL I.
 - FOR STRUCTURAL STEEL INSPECTION: AWS CERTIFIED WELDING INSPECTOR.
 - SUBMIT PERIODIC REPORTS WITHIN ONE BUSINESS DAY AFTER RECEIPT BY THE CONTRACTOR TO ARCHITECT/ENGINEER, DURING CONSTRUCTION OF EACH OFFICIAL DRAWING. SUBMIT FINAL INSPECTION REPORT SUMMARY FOR EACH DIVISION OF WORK, CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER, THAT INSPECTIONS WERE PERFORMED AND THAT WORK WAS PERFORMED IN ACCORDANCE WITH CONTRACT DOCUMENTS.
 - THE OWNER SHALL ENGAGE A TESTING AGENCY TO PROVIDE TESTING SERVICES AS INDICATED IN EACH SECTION OF THESE GENERAL NOTES.
 - ALL MATERIALS SHALL BE STORED TO PROTECT THEM FROM EXPOSURE TO THE ELEMENTS.

- 2.0 EARTHWORK
- ENGINEERED (CONTROLLED COMPACTED) FILL WITHIN THE BUILDING AREA SHALL BE CONSTRUCTED PRIOR TO FOOTING EXCAVATION. SEE SPECIFICATIONS FOR REQUIREMENTS OF CONTROLLED COMPACTED FILL.
 - EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS, STREETS, AND UTILITY LINES. VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE AROUND UTILITIES AS REQUIRED.
 - SEE THE SPECIFICATIONS FOR EXCAVATION, BACKFILL AND PREPARATION OF THE FOUNDATION AND SLAB-ON-GRADE SUBGRADE, INCLUDING COMPACTION REQUIREMENTS.
 - SATISFACTORY FILL MATERIALS ARE THOSE COMPLYING WITH ASTM D2487, GROUPS GW, GP, GM, SM, SW, AND SP. ON SITE BORROW MATERIAL SHALL BE TESTED TO DETERMINE SUITABILITY FOR USE AS FILL MATERIAL.
 - COMPACT SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DENSITY OF MODIFIED PROCTOR (ASTM D1557):
 - UNDER BUILDING FOUNDATIONS - 98%
 - UNDER BUILDING SLABS, STEPS, PAVEMENTS - 95%
 - REMOVE EXISTING VEGETATION, TOPSOIL, AND UNSATISFACTORY SOIL MATERIALS. PROOF ROLL SUBGRADE TO OBTAIN UNIFORMLY DENSIFIED SUBSTRATA PRIOR TO PLACING FILL MATERIAL EVENLY IN 8" THICK (MAXIMUM) LAYERS AND COMPACTING TO REQUIRED DENSITY.
 - THE OWNER SHALL RETAIN THE SERVICES OF A PROFESSIONAL GEOTECHNICAL ENGINEER, SUBJECT TO THE APPROVAL OF THE ARCHITECT, TO PERFORM SOIL TESTING AND INSPECTION. THE ENGINEER SHALL INSPECT THE SUBGRADE TO VERIFY BEARING LEVELS AND ENSURE THAT THE SAFE BEARING CAPACITY MEETS OR EXCEEDS THE DESIGN VALUE INDICATED BELOW. REPORTS SHALL BE SUBMITTED TO THE ARCHITECT OUTLINING THE WORK PERFORMED AND TEST RESULTS.
 - BACKFILL SHALL BE BROUGHT UP SIMULTANEOUSLY ON EACH SIDE OF WALLS AND GRADE BEAMS, WITH A GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.

STAMP AREA



- 3.0 FOUNDATIONS
- FOUNDATIONS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING CAPACITY AND FOOTING ELEVATIONS ESTABLISHED BASED UPON ADJACENT BUILDING INFORMATION, KNOWN INFORMATION FROM ADJACENT SITES, AND SIMILAR SOIL CONDITIONS IN THE PROJECT VICINITY. A NEW SUBSURFACE INVESTIGATION REPORT, WITH FOUNDATION RECOMMENDATIONS, HAS NOT BEEN PROVIDED BY THE OWNER FOR THIS PROJECT AT THIS TIME. THE SOIL INFORMATION AND BEARING CAPACITY SHALL BE VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION. FOOTINGS SHALL BEAR ON UNDISTURBED STRATUM OR ENGINEERED FILL WITH A MINIMUM BEARING CAPACITY OF 2,000 PSF.
 - PRIOR TO FOOTING CONCRETE PLACEMENT, THE FOOTING SUBGRADE SHALL BE APPROVED BY THE INSPECTING GEOTECHNICAL ENGINEER. IF CONDITIONS PROVE TO BE UNACCEPTABLE, ELEVATIONS SHOWN, FOOTING BOTTOMS SHALL BE LOWERED TO ACCEPTABLE SUBGRADE MATERIAL. FILL OVER-EXCAVATION WITH LEAN CONCRETE (2,500 PSI).
 - THE BOTTOM OF EXTERIOR FOUNDATIONS SHALL BE A MINIMUM OF 3 FEET BELOW FINISHED GRADE, OR AS REQUIRED BY LOCAL BUILDING CODES.
 - THE BEARING ELEVATIONS OF NEW FOOTINGS ADJACENT TO EXISTING FOOTINGS ARE TO MATCH THE ADJACENT EXISTING FOOTING BEARING ELEVATIONS UNLESS INDICATED OTHERWISE ON PLANS.
 - SLABS ON GRADE SHALL BEAR ON MECHANICALLY COMPACTED SOIL CAPABLE OF SUPPORTING 150 PSF. DRAINAGE FILL UNDER SLABS SHALL BE COMPACTED GRAVEL OR CRUSHED STONE.
 - CONCRETE FOR FOUNDATIONS SHALL BE POURED ON THE SAME DAY THE SUBGRADE IS APPROVED BY THE GEOTECHNICAL ENGINEER.
 - UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL.
 - PROVIDE A CONTINUOUS WATERSTOP AT ALL HORIZONTAL AND VERTICAL CONSTRUCTION JOINTS IN THE ELEVATOR PIT AND ALL OTHER PIT WALLS.
 - THE CONTRACTOR SHALL OBSERVE WATER CONDITIONS AT THE SITE AND TAKE THE NECESSARY PRECAUTIONS TO ENSURE THAT THE FOUNDATION EXCAVATIONS REMAIN DRY DURING CONSTRUCTION. ANY SHEETING OR SHORING REQUIRED FOR DEWATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- 4.0 SHEETING AND SHORING
- SHEETING, SHORING, AND ASSOCIATED EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH OSHA GUIDELINES.
 - STRUCTURAL STEEL SOLDIER PILES AND RELATED MISCELLANEOUS FRAMING SHALL HAVE A MINIMUM YIELD STRESS OF 36,000 PSI. WELDING ELECTRODES SHALL BE E70.
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

- 5.0 DEMOLITION NOTES
- REMOVAL AS DESCRIBED HEREIN SHALL BE ACCOMPLISHED WITHOUT STORING ON THE FLOOR EXCESSIVE QUANTITIES OF ANY MATERIALS, RUBBISH, DIRT, DEBRIS, OR WASTE OF ANY SORT RESULTING FROM THE REMOVAL OPERATIONS ON THE FLOOR.
 - ALL DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE DAILY.
 - THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MAINTAIN FREE PROTECTED ACCESS OF ALL TENANTS, SERVICE PERSONNEL, AND THE PUBLIC THROUGH THE AREAS INVOLVED.
 - THE CONTRACTOR SHALL REMOVE ALL PIPE SLEEVES PROJECTING THROUGH SLAB, PATCH ALL PENETRATIONS, HOLES, ETC.
 - ALL PIPES AND CONDUITS IN WALLS THAT ARE TO BE DEMOLISHED ARE TO BE REMOVED AND/OR RELOCATED AS REQUIRED.
 - CONTRACTOR SHALL REVIEW WITH ARCHITECT'S ENGINEER ANY AND ALL ITEMS OF DEMOLITION NOT IMPLIED OR SPECIFIED ON DRAWINGS OR SPECIFICATIONS AND TO INCLUDE SUCH COSTS IN BID UNLESS OTHERWISE ADVISED.
 - PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES AND PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE INTERIOR DEMOLITION AND RELATED WORK AS DESCRIBED AND SPECIFIED HEREIN, AND AS MAY BE REASONABLY IMPLIED AS NECESSARY TO COMPLETE WORK IN ALL RESPECTS. JOBSITE INSPECTION MUST BE CONDUCTED TO EXAMINE EXISTING CONDITIONS, TO DETERMINE NATURE AND SCOPE OF WORK OR ANY DIFFICULTIES THAT MIGHT ARISE AT TIME OF WORK. IN ADDITION, EXAMINE ALL WORK THAT IS INTENDED TO REMAIN AS PART OF THE COMPLETED PROJECT AND REPORT ALL UNSATISFACTORY CONDITIONS TO ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK. EXERCISE EXTREME CARE DURING DEMOLITION SO AS NOT TO DAMAGE CONSTRUCTION AND OTHER STRUCTURES THAT ARE INTENDED TO REMAIN. ANYTHING DAMAGED AT WORK IS TO BE REPAIRED AND/OR REPLACED TO MATCH EXISTING CONSTRUCTION AT CONTRACTOR'S EXPENSE.
 - REFER TO DRAWINGS FOR EXISTING ITEMS/ SYSTEMS TO REMAIN.
 - CONTRACTOR TO PROVIDE STOP BARRIER FOR PROTECTION OF EXISTING AREAS TO REMAIN AS REQUIRED.
 - WHEN DEMOLITION TAKES PLACE, SHOULD ANY WORK AFFECT THE INTEGRITY OF THE STRUCTURE, WORK MUST STOP IMMEDIATELY, AND ARCHITECT/ENGINEER NOTIFIED. UNDER NO CIRCUMSTANCES SHALL REINFORCING OF ANY KIND BE DAMAGED, CUT OR BROKEN.
 - THE GENERAL CONTRACTOR SHALL PROVIDE SUFFICIENT FRAMING FOR ALL WALL OPENINGS FOR DUCTWORK, RETURN AIR OPENINGS, ACCESS PANELS AND GRILLE OPENINGS ABOVE AND BELOW HUNG CEILINGS. THESE ARE TO BE COORDINATED WITH H.V.A.C. CONTRACTOR'S MECHANICAL CONTRACTOR'S SHOP DRAWINGS. ALL SPACES SHALL BE PROPERLY SEALED FOR SOUNDPROOFING AND VIBRATION.
 - PRIOR TO DEMOLITION OF LOAD BEARING MEMBERS, SUPPORTED MEMBERS SHALL BE SHORED.

SURVEY REQUIREMENTS

- BY BIDDING ON THIS PROJECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE SURVEY REQUIREMENTS AS SHOWN ON THE CONTRACT DOCUMENTS.
- A BID SUBMISSION THAT DOES NOT INCLUDE THE REQUIRED DELEGATED DESIGN SHALL RESULT IN THE REJECTION OF ANY AND ALL CONSTRUCTION PHASE SUBMISSIONS, RFIS AND SHOP DRAWINGS.
- ALL SURVEY WORK MUST BE PERFORMED PRIOR TO THE DEVELOPMENT OF THE SHOP DRAWINGS.
- MODIFICATIONS TO THE CONTRACT DOCUMENTS MAY BE REQUIRED, IF THE EXISTING STRUCTURE IS NOT IN CONFORMANCE WITH THE EXISTING DRAWINGS.
- REFER TO INDIVIDUAL SHEETS "SURVEY NOTES" FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING TO DISCUSS REQUIREMENTS WITH ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- EXISTING DRAWINGS FOR THE ORIGINAL BUILDING ARE NOT AVAILABLE. ALL EXISTING CONDITION MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO DEVELOPING AND SUBMITTING SHOP DRAWINGS. REPORT ANY DISCREPANCIES OR CONFLICTS TO THE ARCHITECT AND STRUCTURAL ENGINEER.

DELEGATED DESIGN / DEFERRED SUBMITTALS

- ALL DESIGN REQUIREMENTS, LOADING, PERFORMANCE CRITERIA, SUBMISSION STANDARDS AND ANY OTHER APPLICABLE INFORMATION IS LOCATED IN THE GENERAL NOTES, DESIGN DATA, PLANS, SECTIONS, DETAILS AND SPECIFICATIONS (CONSTRUCTION DOCUMENTS) FOR THE DELEGATED DESIGN OF THE COMPONENTS NOTED. BY BIDDING ON THIS PROJECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE DESIGN OF THE COMPONENTS DELEGATED BY THESE CONTRACT DOCUMENTS AND ACCEPTS THAT THERE IS ADEQUATE INFORMATION SHOWN ON THE CONTRACT DOCUMENTS TO PERFORM THE DELEGATED DESIGN.
- A BID SUBMISSION THAT DOES NOT INCLUDE THE REQUIRED DELEGATED DESIGN SHALL RESULT IN THE REJECTION OF ANY AND ALL CONSTRUCTION PHASE SUBMISSIONS, RFIS AND SHOP DRAWINGS.
- THE ARCHITECTURAL AND STRUCTURAL DRAWINGS MAY SHOW DETAILS FOR DELEGATED DESIGN COMPONENTS, INCLUDING MINIMUM OR MAXIMUM ASSEMBLY REQUIREMENTS (I.E. DEPTH, GAGE, LENGTH, SPAN OR SPACING), OR SUGGESTED ATTACHMENT METHODS. THESE DETAILS AND INFORMATION ARE INTENDED TO BE SCHEMATIC IN NATURE, AND ARE NOT INTENDED TO BE USED FOR BID QUANTITIES. THE CONTRACTOR SHALL MAKE ALLOWANCES IN THEIR BID TO ACCOMMODATE THE COST OF THE ACTUAL ASSEMBLIES AFTER DELEGATED DESIGN IS COMPLETE.
- THE DESIGN OF DELEGATED COMPONENTS IS THE RESPONSIBILITY OF THE CONTRACTOR'S ENGINEER, WHO MUST BE REGISTERED IN THE PROJECT'S JURISDICTION. ALL SUBMITTALS SHALL BEAR THIS ENGINEER'S SEAL AND SIGNATURE. THE ENGINEER MUST BE QUALIFIED TO DESIGN THE DESIGNATED ASSEMBLY AND MUST BE ABLE TO DEMONSTRATE PRIOR EXPERIENCE WITH THE DESIGN OF THE ASSEMBLY. REVIEW SHALL BE FOR GENERAL CONFORMANCE WITH THE PROJECT REQUIREMENTS AS INDICATED ON THE DRAWINGS AND IN THE GENERAL NOTES.
- THE CONTRACTOR SHALL SUBMIT, FOR REVIEW, DRAWINGS AND CALCULATIONS FOR ALL PERFORMANCE ASSEMBLIES LISTED BELOW.
- DELEGATED DESIGNS SHALL ALSO BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION AS DEFERRED SUBMITTALS AS PART OF THE PERMIT APPROVAL PROCESS.

- DELEGATED DESIGNS/DEFERRED SUBMITTALS:
- THE MEP CONTRACTOR SHALL PROVIDE PRE-FABRICATED METAL OR WOOD ROOF CURBS, INCLUDING ANCHORAGE, BELOW ROOF TOP EQUIPMENT, WHERE EQUIPMENT SITS ON STEEL DUNNAGE. ALL ATTACHMENTS BETWEEN THE EQUIPMENT AND THE DUNNAGE SHALL BE PROVIDED BY THE MEP CONTRACTOR. ATTACHMENTS SHALL BE DESIGNED TO SUPPORT THE WEIGHT OF THE EQUIPMENT IN ADDITION TO ALL APPLICABLE LATERAL FORCES. REFER TO TYPICAL DETAILS FOR ADDITIONAL INFORMATION.
 - METAL STAIRS AND METAL RAILINGS. DESIGNS SHALL TAKE INTO ACCOUNT ALL VERTICAL AND LATERAL LOADS REQUIRED BY APPLICABLE BUILDING CODES. WHERE HEADERS OR OTHER TYPES OF STRUCTURAL MEMBERS HAVE BEEN DESIGNATED BY THE STRUCTURAL ENGINEER OF RECORD TO SUPPORT THE STAIRS, THE CONNECTIONS FROM THE STAIRS SHALL BE DESIGNED SO THAT NO ECCENTRIC OR TORSIONAL FORCES ARE INDUCED IN THESE STRUCTURAL MEMBERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING HARDWARE AS REQUIRED BY THE STAIR DESIGN.
 - BRACING, SHEETING, SHORING, ETC., REQUIRED TO INSURE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDINGS OR NEW CONSTRUCTION, SIDEWALKS, UTILITIES, ETC., SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER ENGAGED BY THE CONTRACTOR. CONTRACTOR TO PROVIDE TEMPORARY SUPPORT OF EXPOSED UTILITIES WITHIN EXCAVATED AREAS. DETAILED SIGNED AND SEALED SHOP DRAWINGS SHALL BE PREPARED INDICATING ALL WORK TO BE PERFORMED. SUBMIT THE SHOP DRAWINGS IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS.
 - FIELD FORM METAL FRAMING; SEE "FIELD FORM METAL FRAMING" SECTION.
 - DEMOLITION SITE SAFETY: THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR RETAINING THE SERVICES OF A LICENSED PROFESSIONAL STRUCTURAL ENGINEER TO REVIEW THE CONTRACTOR'S SITE SAFETY DEMOLITION PLAN. THE ENGINEER WILL ALSO ACT AS THE PROJECT SUPERVISOR IN CHARGE OF DEMOLITION SPECIAL INSTRUCTIONS.
 - STRU. DESIGN FOR CATWALK. DESIGN SHALL TAKE INTO ACCOUNT ALL VERTICAL AND LATERAL LOADS REQUIRED BY APPLICABLE BUILDING CODES. THE CONNECTIONS TO THE STRUCTURE SHALL BE DESIGNED SO THAT NO ECCENTRIC OR TORSIONAL FORCES ARE INDUCED INTO THE EXISTING STRUCTURAL MEMBERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING HARDWARE AS REQUIRED BY THE STRUT DESIGN.

- 7.0 CAST-IN-PLACE CONCRETE
- CONCRETE SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI-318), AND CONSTRUCTED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE.
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE 28-DAY STRENGTH OF 4,000 PSI. AIR ENTRAINMENT 4% TO 6% IN ALL EXPOSED CONCRETE WORK. MAXIMUM WATER/CEMENT RATIO OF 0.45.
 - REINFORCING STEEL: ASTM A615 GRADE 60.
 - EPOXY COATED REINFORCING STEEL: ASTM A775.
 - WELDED WIRE REINFORCEMENT: (WWR) ASTM A-185.
 - LEVELING GROUT SHALL BE NON-SHRINK, NON-METALLIC TYPE. FACTORY PRE-MIXED GROUT IN ACCORDANCE WITH CE-CRD-C321 OR ASTM C109, WITH A MINIMUM COMPRESSIVE 28-DAY STRENGTH OF 5,000 PSI.
 - REINFORCING STEEL CLEAR COVER SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

REINFORCING STEEL IN CONCRETE CAST AGAINST SOIL	3"
REINFORCING STEEL IN CONCRETE EXPOSED TO SOIL OR WEATHER	1 1/2"
#5 BARS AND SMALLER	1 1/2"
#6 BARS AND LARGER	2"
SLAB AND WALL REINFORCING NOT EXPOSED TO SOIL OR WEATHER	3/4"
BEAM STRIPPUS, COLUMN TIES, AND HORIZONTAL REINFORCING IN SHEAR WALLS	1 1/2"

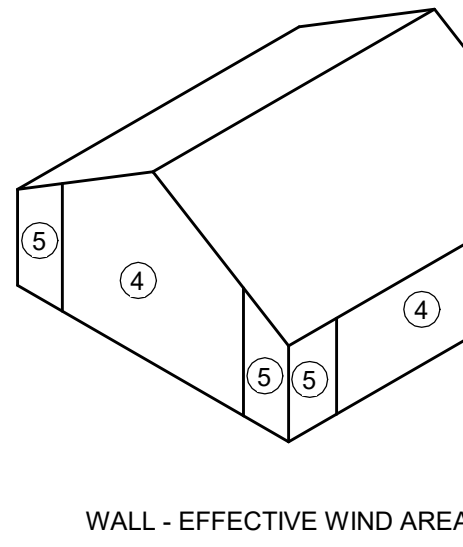
NOTE: TOLERANCE FOR CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 117

- SUBMIT TO ARCHITECT/ENGINEER REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL AND MIX DESIGNS FOR REVIEW PRIOR TO PLACING ANY CONCRETE.
 - REINFORCING STEEL PLACING DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF ACI 314-92, "DETAILS AND DETAILING OF CONCRETE REINFORCING". THE PLACING DRAWINGS SHALL SHOW ALL INFORMATION NECESSARY TO FABRICATE AND PLACE THE REINFORCING STEEL.
 - THE SPACING OF ALL REINFORCING STEEL MUST BE COMPUTED BY THE REINFORCING STEEL DETAILER AND MUST BE INDICATED ON THE PLACING DRAWINGS. EXTENT ARROWS MUST BE USED TO CLEARLY INDICATE THE LOCATIONS WHERE GROUPS OF REINFORCING BARS ARE TO BE INSTALLED.
 - A LIST OF ALL APPLICABLE REINFORCING STEEL PLACING TOLERANCES SHALL BE INDICATED ON ALL REINFORCING STEEL PLACING DRAWINGS. PLACING DRAWINGS THAT DO NOT SHOW SUFFICIENT INFORMATION NEEDED TO PLACE THE REINFORCING STEEL WILL BE REJECTED.
- ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS, STRIPPUS OR CHAIRS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS.
- LAP WELDED WIRE REINFORCEMENT TWO (2) FULL WIRE SPACES AT SPLICES AND WIRE TOGETHER PROVIDE PLASTIC TIPS TO BOLTERS AND CHAIRS AT ALL LOCATIONS WHERE THE CONCRETE SURFACE IS IN CONTACT WITH THE BOLTERS OR CHAIRS IS EXPOSED.
- PLACING OF CONCRETE SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE INSPECTION AGENCY.
- BONDING AGENT SHALL BE USED WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE. EPOXY ADHESIVE SHALL BE USED WHERE DOWELS ARE TO BE INSTALLED INTO EXISTING CONCRETE.
- SUBMIT MANUFACTURER INFORMATION FOR ENGINEER REVIEW.
- NO SLEEVE SHALL BE PLACED THROUGH ANY CONCRETE ELEMENT UNLESS SHOWN ON THE APPROVED SHOP DRAWINGS OR SPECIFICALLY AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL SLOTS, PIPE SLEEVES, ETC. AS REQUIRED FOR MECHANICAL TRADES BEFORE CONCRETE IS PLACED.
- PIPES OR CONDUITS PLACED IN SLABS SHALL NOT HAVE AN OUTSIDE DIAMETER LARGER THAN 1/3 THE SLAB THICKNESS AND SHALL NOT BE SPACED CLOSER THAN 3 DIAMETERS ON CENTER. ALUMINUM CONDUITS SHALL NOT BE PLACED IN CONCRETE. NO CONDUITS SHALL BE PLACED IN EXTERIOR SLABS OR SLABS SUBJECTED TO FLUIDS.
- PRIOR TO PLACING CONCRETE, THE CONTRACTOR SHALL SUBMIT FOR REVIEW BY THE STRUCTURAL ENGINEER, A CONCRETE POUR SCHEDULE SHOWING LOCATION OF ALL PROPOSED CONSTRUCTION JOINTS AND WATERSTOPS.
- PRIOR TO CONCRETE PLACEMENT, THE CONTRACTOR SHALL SUBMIT TO THE STRUCTURAL ENGINEER FOR REVIEW, CONCRETE MIX DESIGNS PREPARED IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS INDICATED IN THE GENERAL NOTES.
- CONCRETE SHALL NOT BE PUMPED THROUGH ALUMINUM PIPES AND SHALL NOT BE PLACED IN CONTACT WITH ALUMINUM FORMS, MIXING DRUMS, BUGGIES, CHUTES, CONVEYORS OR OTHER EQUIPMENT MADE OF ALUMINUM.
- ALL INSERTS AND SLEEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE. DRILLED OR POWDER DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF THE STRUCTURAL ENGINEER THAT THE FASTENERS WILL NOT SPALL THE CONCRETE AND HAVE THE SAME CAPACITY AS CAST-IN-PLACE INSERTS.
- WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. HOLES SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS. CHAMFER ALL EXPOSED CONCRETE CORNERS UNLESS NOTED OTHERWISE ON ARCHITECTURAL DRAWINGS.
- THE CONCRETE SLABS SHALL BE FINISHED FLAT AND LEVEL WITHIN TOLERANCE, TO THE ELEVATION INDICATED ON THE DRAWINGS.
- CONSTRUCTION JOINTS FOR MILD-REINFORCED CONCRETE SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF SPAN. PROPOSED CONSTRUCTION JOINT LOCATIONS SHALL BE SHOWN ON REINFORCING STEEL SHOP DRAWINGS. ANY STOP IN CONCRETE WORK MUST BE MADE WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS OTHERWISE SHOWN. ALL REINFORCING IS TO BE CONTINUOUS THROUGH JOINTS.
- EARLY DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE MOST CURED OR PROTECTED USING A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMS ARE REMOVED. IF MEMBRANE CURING AGENT IS USED, EXERCISE CARE NOT TO DAMAGE COATING.
- COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306. HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-305R.
- THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT, AND FREEZING TEMPERATURES.
- PREPARE CONCRETE TEST CYLINDERS FROM EACH DAY'S POUR. CYLINDERS SHALL BE PROPERLY CURED AND STORED. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172.
- RETAIN LABORATORY TO PROVIDE TESTING SERVICE. SLUMP PER ASTM 143 AIR CONTENT PER ASTM C231 OR C173. CYLINDER TESTS PER ASTM C31 AND C33. ONE SET OF SIX (6) CYLINDERS FOR EACH 50 CUBIC YARDS FOR EACH MIX USED. REPORTS OF ALL TESTS TO BE SUBMITTED TO THE ARCHITECT.

LATERAL LOAD DESIGN		
2018 PHILADELPHIA BUILDING CODE / ASCE 7-16		
WIND		
DESCRIPTION	SYMBOL	VALUE
BASIC WIND SPEED (3 SEC. GUST)	V	130 mph
OCCUPANCY CATEGORY	--	III
WIND EXPOSURE CATEGORY	--	B
INTERNAL PRESSURE COEFFICIENT	GC _{pi}	±0.18
COMPONENTS AND CLADDING	SEE TABLE FOR C&C SERVICE LEVEL PRESSURES	
SEISMIC		
DESCRIPTION	SYMBOL	VALUE
IMPORTANCE FACTOR	I _w	1.25
OCCUPANCY CATEGORY	--	III
MAPPED SPECTRAL RESPONSE SHORT PERIOD ACCELERATION	S _s	0.20g
MAPPED SPECTRAL RESPONSE 1-SECOND ACCELERATION	S ₁	0.06g
LONG-PERIOD TRANSITION PERIOD	T _l	6s
SITE CLASSIFICATION	--	D
DESIGN SPECTRAL RESPONSE SHORT PERIOD ACCELERATION	S _{0s}	0.213g
DESIGN SPECTRAL RESPONSE 1-SECOND ACCELERATION	S ₀₁	0.096g
SEISMIC DESIGN CATEGORY	S _{0c}	B

FLOOR DESIGN LOADS	
DESCRIPTION	VALUE
FIRST FLOOR INFILL (BELOW STAIR) DEAD LOAD	15 PSF
FIRST FLOOR INFILL (BELOW STAIR) LIVE LOAD	80 PSF
LINTEL BELOW FIRST/SECOND FLR FRAMING - DEAD LOAD	15 PSF
LINTEL BELOW FIRST/SECOND FLR FRAMING - LIVE LOAD	100 PSF
LINTEL BELOW ATTIC FRAMING - DEAD LOAD	10 PSF
LINTEL BELOW ATTIC FRAMING - LIVE LOAD	20 PSF

COMPONENT AND CLADDING (ULT) WIND PRESSURE (psf)					
WALL PRESSURE					
ZONE 1609.6.2 (2)	Effective Wind Area (sf)	WALL NEG.	ROOF POS.	ROOF - EFFECTIVE WIND AREA	
				3	2
1	10	-51	18		
	20	-43	18	2	1
	50	-33	18		
	100	-25	18		
2	10	-56	18		
	20	-50	18	3	2
	50	-42	18		
	100	-36	18		
3	10	-69	18		
	20	-61	18		
	50	-51	18		
	100	-43	18		
ZONE 1609.6.2 (2)	20	-32	29		
	50	-30	27		
	100	-28	26		
	200	-27	23		
4	20	-38	29		
	50	-34	27		
	100	-32	26		
	200	-29	23		



REVISIONS

ISSUE	DATE	DESCRIPTION
	06/02/23	ISSUE FOR BID



REVIEWED BY:
PROJECT COORDINATOR

SEALS



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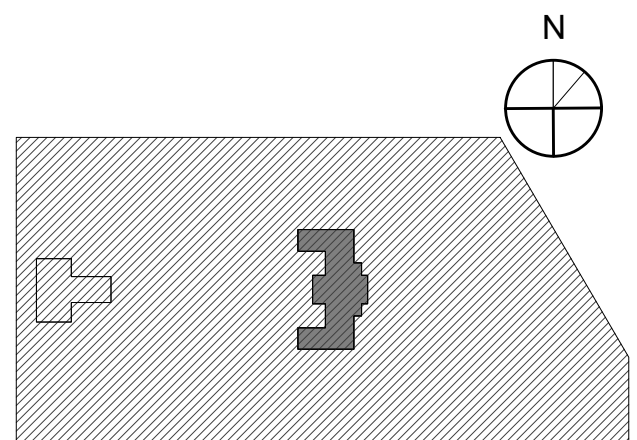
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CITY OF PHILADELPHIA
REBUILD / PHILADELPHIA PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA
KINGSSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



PENNONI ASSOCIATES INC.
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ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE THE PROPERTY OF PENNONI ASSOCIATES AND ARE TO BE RETURNED TO PENNONI ASSOCIATES UPON COMPLETION OF THE PROJECT. ANY REUSE WITHOUT WRITTEN PERMISSION FROM PENNONI ASSOCIATES IS PROHIBITED. PENNONI ASSOCIATES ASSUMES NO LIABILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. PENNONI ASSOCIATES WILL BE AT OWNERS RISK AND WITHOUT LIABILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. PENNONI ASSOCIATES WILL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. PENNONI ASSOCIATES WILL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT. PENNONI ASSOCIATES WILL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/23

DRAWING TITLE
STRUCTURAL GENERAL NOTES

PROJECT NO. 21070
DRAWING NO. S001-R.2

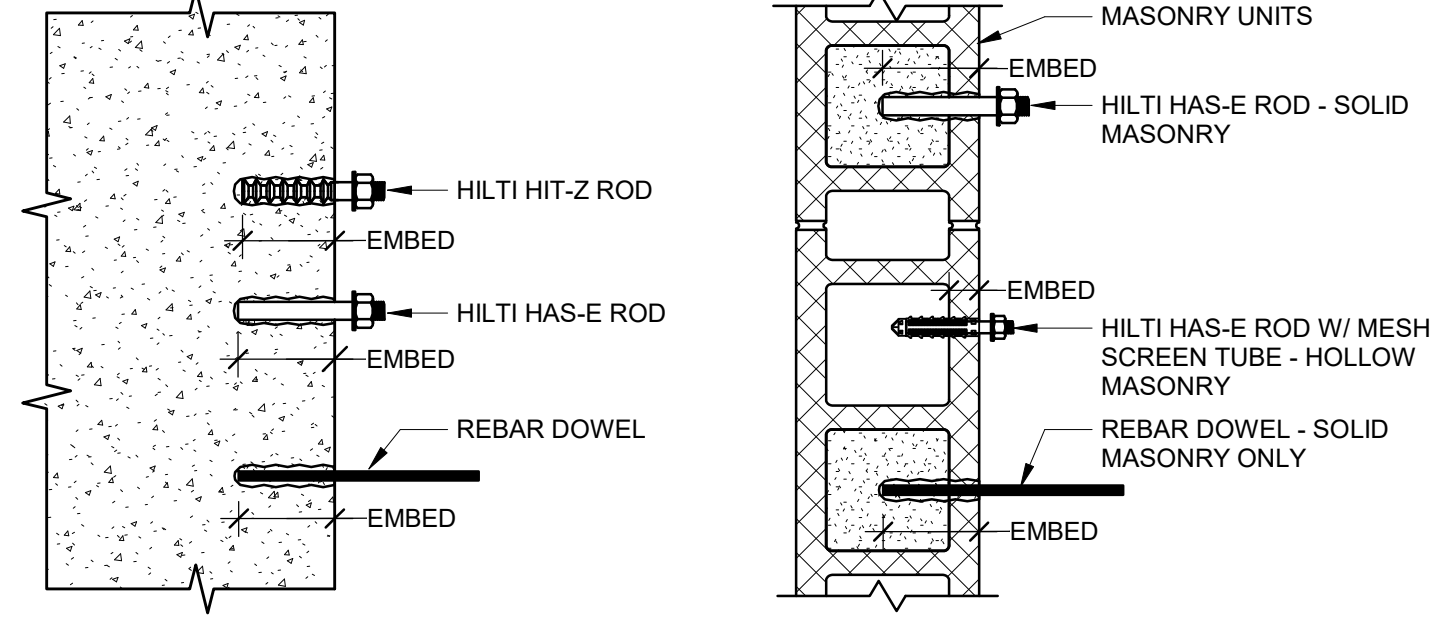
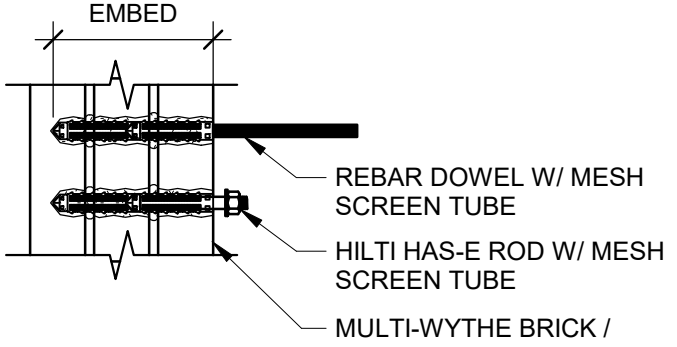
DATE 05/09/2023
SCALE 1/2" = 1'-0"
DRAWN BY W20
CHECKED BY PBU
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

12.0 MASONRY

- MASONRY HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530/ASCE 5), EXCEPT WHERE OTHERWISE MODIFIED BY THESE GENERAL NOTES AND SPECIFICATIONS.
- MORTAR SHALL CONFORM TO ASTM C270, TYPE M OR S. ALL PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I. LIME SHALL CONFORM TO ASTM C207 AND MASONRY CEMENT SHALL CONFORM TO ASTM C91.
- GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. SLUMP OF GROUT SHALL BE 10 TO 10 INCHES AND THE MAXIMUM AGGREGATE SIZE SHALL BE 3/8" (AGGREGATE GRADED TO PRODUCE FINE GROUT IN CONFORMANCE WITH ASTM C476 AND C404).
- SOLID AND HOLLOW LOAD BEARING UNITS PER ASTM C90, TYPE N-1, AS REQUIRED TO PROVIDE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF MASONRY, FM = 1900 PSI, UNLESS NOTED OTHERWISE.
- FULL BED AND HEAD JOINTS SHALL BE PROVIDED.
- HORIZONTAL JOINT REINFORCING: ASTM A62, 3-GAGE TRUSS-TYPE, GALVANIZED.
- DEFORMED BAR REINFORCEMENT SHALL CONFORM TO ASTM A615, GRADE 60 AND SHALL BE FULL HEIGHT OF WALLS UNLESS OTHERWISE NOTED. PROVIDE BAR SPACERS AND POSITIONERS AS REQUIRED TO PROPERLY LOCATE AND STABILIZE REINFORCING DURING GROUTING OPERATIONS. GROUT ALL REINFORCED CELLS SOLID WITH GROUT.
- BUILD AND TEST MASONRY PRISMS DURING CONSTRUCTION TO VERIFY FM FOR EACH CLASS OF MASONRY CONSTRUCTION. PRISM TESTS SHALL BE IN ACCORDANCE WITH ASTM E447, METHOD B. HOLLOW CONCRETE UNITS BELOW GRADE AND SLAB ON GRADE SHALL BE NORMAL WEIGHT AND HAVE ALL CELLS GROUTED SOLID.
- PROVIDE AND INSTALL TEMPORARY BRACING REQUIRED INSURING STABILITY OF ALL WALLS DURING CONSTRUCTION AND UNTIL ERECTION OF ATTACHED STRUCTURAL FRAMING IS COMPLETED.
- PROVIDE GALVANIZED HORIZONTAL JOINT REINFORCEMENT IN ALL WALLS AND PARTITIONS AT 16" O.C. UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE ONE (1) PIECE PREFABRICATED UNITS AT 9" O.C. AT ALL WALL CORNERS AND INTERSECTIONS.
- LAP SPLICES FOR DEFORMED REINFORCING BARS USED IN MASONRY CONSTRUCTION SHALL BE 50 BAR DIAMETERS.
- SUBMIT GROUT MIX DESIGN AND MASONRY UNIT CERTIFICATIONS TO THE ARCHITECT FOR REVIEW. GROUT PLACEMENT SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY THE INSPECTION AGENCY.
- FILL ALL CELLS IN TOP TWO COURSES BELOW FINISHED FLOOR, CMU LINTELS, BOND BEAMS, AND BEAM BEARINGS AND CELLS WITH REINFORCEMENT FULL HEIGHT SOLID WITH GROUT.
- ALLOW GROUT IN REINFORCED CMU WALLS TO CURE A MINIMUM OF 48 HOURS BEFORE IMPOSING CONCENTRATED OR OTHER LOADS FROM ABOVE.
- PROVIDE MASONRY ANCHORS SET ON COURSING AND ATTACHED TO ALL BEAMS AT 32" O.C. HORIZONTAL. COLUMNS AT 24" O.C. VERTICAL. PARTITIONS AND WALLS AT 16" O.C. AT ALL BEAMS, COLUMNS, PARTITIONS AND WALLS ABUTTING OR EMBEDDED IN MASONRY UNLESS NOTED OTHERWISE ON ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- PROVIDE BOND BEAMS WITH TWO (2) #4 HORIZONTAL REINFORCEMENT CONTINUOUS IN ALL MASONRY WALLS AT EACH FRAMING LEVEL. PROVIDE A MINIMUM OF TWO (2) #4 BARS AT THE ENDS OF ALL WALLS AND ON EACH SIDE OF EACH OPENING.
- ALL PIERS AND PARTITIONS SHALL BE BONDED OR ANCHORED TO ADJACENT MASONRY WALLS. PROVIDE TIES TO ADJACENT FLOOR AND ROOF CONSTRUCTION IN ACCORDANCE WITH DETAILS ON DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE ADEQUATE TO ACCEPT DOORFRAMES, LOUVERS, ETC. AS SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS. NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO Lintel INSTALLATION.
- NO OPENINGS SHALL BE PLACED ABOVE ANY Lintel WITHIN A HEIGHT LESS THAN OR EQUAL TO THE WIDTH OF THE CLEAR OPENING BELOW THE Lintel, UNLESS SPECIFICALLY SHOWN OR APPROVED BY THE STRUCTURAL ENGINEER.
- ALL MASONRY WORK TO BE EXECUTED IN COLD WEATHER SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS FOR COLD WEATHER CONSTRUCTION FOUND IN THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5-05) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-1.05/ASCE 6-05) WITH THE FOLLOWING ADDITIONS: FOR ALL CONDITIONS WHEN TEMPERATURES FALL BELOW 40 DEGREES F, THE TEMPERATURE OF THE NEWLY LAID MASONRY OR NEWLY GROUTED MASONRY SHALL BE MAINTAINED ABOVE 32 DEGREES F FOR A MINIMUM OF 24 HOURS USING THE METHODS DESCRIBED IN ACI 530.1.
- THE TESTING AND INSPECTION AGENCY SHALL MONITOR THE PROPORTIONING, MIXING, AND CONSISTENCY OF MORTAR AND GROUT; THE PLACEMENT OF MORTAR, GROUT, AND MASONRY UNITS; AND THE PLACEMENT OF REINFORCING STEEL FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PREPARE ONE (1) SET OF PRISMS FOR TESTING AT SEVEN (7) DAYS AND ONE (1) SET FOR TESTING AT 28 DAYS. TESTS ARE TO BE CONDUCTED BY THE INSPECTION AND TESTING AGENCY FOR EACH 5,000 SQUARE FEET OF WALL INSTALLED, BUT NOT LESS THAN TWO (2) TESTS. ALL WALL SECTIONS AND PIERS LESS THAN TWO SQUARE FEET IN CROSS-SECTIONAL AREA SHALL BE FULLY GROUTED. PROVIDE VERTICAL MASONRY CONTROL JOINTS AT MAXIMUM 25'-0" ON CENTER UNLESS DETAILED ON ARCHITECTURAL DRAWINGS, COORDINATE LOCATIONS WITH ARCHITECT.

11.0 CONCRETE & MASONRY ANCHORAGE

- CAST-IN-PLACE CONCRETE ANCHORS**
- ALL HEADED CONCRETE ANCHORS SHALL BE MANUFACTURED FROM MATERIAL WHICH CONFORMS TO ASTM A108 CARBON STEEL.
 - ALL WELDS SHALL BE MADE IN ACCORDANCE WITH THE STRUCTURAL WELDING CODE, ANSII/A1.1, LATEST EDITION AND WITH THE RECOMMENDATIONS OF THE STEEL MANUFACTURER.
 - THE SPACING, MINIMUM EMBEDMENT, AND INSTALLATION OF THE ANCHORS SHALL BE IN ACCORDANCE WITH ACI 318 AND THE MANUFACTURER'S RECOMMENDED PROCEDURES.
 - STUD ANCHORS SHALL CONFORM TO ASTM A108 AND THE NUTS SHALL CONFORM TO ASTM A563.
- CAST-IN-PLACE MASONRY ANCHORS**
- ALL CAST-IN-PLACE HEADED AND BENT BAR ANCHOR BOLTS INSTALLED IN MASONRY UNITS SHALL BE IN ACCORDANCE WITH TMS402/ACI308 & TMS602/ACI301, LATEST EDITION.
 - HEADED AND BENT BAR ANCHOR BOLTS SHALL BE EMBEDDED IN GROUT. ANCHOR BOLTS OF 1/4-INCH DIAMETER OR LESS ARE PERMITTED TO BE PLACED IN GROUT OR MORTAR BED JOINTS THAT ARE AT LEAST 1/2-INCH THICK.
 - ANCHOR BOLTS PLACED IN THE TOP OF GROUTED CELLS AND BOND BEAMS SHALL MAINTAIN A CLEAR DISTANCE BETWEEN THE BOLT AND THE FACE OF THE MASONRY UNIT OF AT LEAST 1/4-INCH WHEN USING FINE GROUT, AND 1/2-INCH WHEN USING COARSE GROUT.
 - ANCHOR BOLTS PLACED IN DRILLED HOLES IN THE FACE SHELLS OF A HOLLOW MASONRY UNITS SHALL BE PERMITTED TO CONTACT THE MASONRY UNIT WHERE THE BOLT PASSES THROUGH THE FACE SHELL, BUT THE PORTION OF THE BOLT THAT IS WITHIN THE GROUTED CELL SHALL BE POSITIONED TO MAINTAIN A CLEAR DISTANCE BETWEEN THE HEAD OR BENT LEG OF EACH BOLT AND THE MASONRY UNIT OF AT LEAST 1/4-INCH WHEN USING FINE GROUT, 1/2-INCH WHEN USING COARSE GROUT.
 - PLACE ANCHOR BOLTS WITH A CLEAR DISTANCE BETWEEN PARALLEL ANCHOR BOLTS NOT LESS THAN THE NOMINAL DIAMETER OF THE ANCHOR BOLT, NOR LESS THAN 1-INCH.
 - VENEER ANCHORS SHALL INCLUDE CORRUGATED SHEET-METAL ANCHORS, SHEET-METAL ANCHORS, AND WIRE ANCHORS INSTALLED AS FOLLOWS:
 - EMBED ANCHORS IN MORTAR JOINTS AND EXTEND INTO VENEER A MINIMUM OF 1-1/2 INCH, WITH AT LEAST 5/8-INCH MORTAR COVER TO THE OUTSIDE FACE.
 - INSTALL ADJUSTABLE TWO-PIECE ANCHORS IN ACCORDANCE WITH TMS602/ACI301, ARTICLE 3.4.C.
 - PROVIDE AT LEAST ONE (1) ADJUSTABLE TWO-PIECE ANCHOR, ANCHOR OF WIRE SIZE W 1.7, OR 22 GAUGE CORRUGATED SHEET METAL ANCHOR, 18" BY 7" FT. OF WALL AREA. PROVIDE AT LEAST ONE (1) ANCHOR OF OTHER TYPE FOR EACH 3.5 FT. OF WALL AREA.
 - SPACE ANCHORS AT A MAXIMUM OF 32-INCH O.C. HORIZONTALLY AND 24-INCH O.C. VERTICALLY. NOT TO EXCEED REQUIREMENTS OF NOTE 6D ABOVE.
 - PROVIDE ADDITIONAL ANCHORS AROUND OPENINGS LARGER THAN 16-INCH IN EITHER DIRECTION. SPACE ANCHORS AROUND PERIMETER OF OPENING AT A MAXIMUM OF 3-FEET O.C. AND WITHIN 12-INCH OF THE OPENING.
- POST-INSTALLED ANCHORS**
- ALL POST-INSTALLED AND SPECIALTY ANCHORS, INSTALLATION, AND INSPECTIONS SHALL BE IN ACCORDANCE WITH ALL GOVERNING LOCAL MUNICIPAL REGULATIONS, ACI 318, IBC, RELEVANT ICC-ESR REPORTS AND ALL ANCHORS SHALL BE PREQUALIFIED PER ACI 305 TESTING.
 - ALL MECHANICAL AND EPOXY POST INSTALLED ANCHORS (IN CONCRETE OR MASONRY) ARE TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTION (MPI) AS INCLUDED IN THE ANCHOR PACKAGING AND THE APPLICABLE ICC-ESR REPORT INCLUDING, BUT NOT LIMITED TO, DRILL BIT TYPE AND SIZE, PROPER CLEANING AND HOLE PREPARATION, GROUTING EMBEDMENT DEPTHS, CONCRETE TEMPERATURE RANGES, CONCRETE AGE, MOISTURE CONDITION, ETC.
 - ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY Hilti OR SUCH OTHER METHOD AS APPROVED BY THE EOR. SUBSTITUTION REQUEST FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE EOR PRIOR TO USE. THE CONTRACTOR SHALL PROVIDE SIGNED AND SEALED CALCULATIONS, FROM A PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION, DEMONSTRATING THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC ESR SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE FOR SEISMIC USES, LOAD RESISTANCE, INSTALLATION CATEGORY AND AVAILABILITY OF COMPREHENSIVE INSTALLATION INSTRUCTIONS. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE.
 - ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTION (MPI) AS INCLUDED IN THE ANCHOR PACKAGING AND THE APPLICABLE ICC-ESR REPORT, INCLUDING, BUT NOT LIMITED TO, DRILL BIT TYPE AND SIZE, PROPER CLEANING AND HOLE PREPARATION, GROUTING EMBEDMENT DEPTHS, CONCRETE TEMPERATURE RANGES, CONCRETE AGE, MOISTURE CONDITION, ETC.
 - EXISTING REINFORCING BARS IN THE CONCRETE OR MASONRY MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS INDICATED ON THE STRUCTURAL DRAWINGS. UNLESS NOTED OTHERWISE, THE REINFORCING BARS SHALL NOT BE CUT. THE CONTRACTOR SHALL REVIEW THE EXISTING STRUCTURAL DRAWINGS (IF AVAILABLE) AND SHALL TAKE STEPS TO LOCATE THE POSITION OF THE REINFORCING BARS AT THE LOCATIONS OF THE CONCRETE ANCHORS USING NON-DESTRUCTIVE TESTING (FERROSCAN, GPR, XRAY, OR OTHER APPROVED METHOD).
 - DRILL AND GROUT/EPOXY REINFORCING BAR DOWELS AS SHOWN ON THE PLANS, DETAILS AND AS APPROVED. UNLESS NOTED OTHERWISE, EMBED BARS AS REQUIRED TO DEVELOP THE FULL TENSION CAPACITY OF THE BARS.
 - EXCEPT WHERE INDICATED ON THE DRAWINGS, THE FOLLOWING POST-INSTALLED ANCHORS ARE APPROVED AS PROVIDED BY HILTI, INC. SUBSTITUTION OF THESE ANCHORS AND/OR USE OF ANY OTHER SPECIALTY ANCHORS SHALL BE SUBMITTED TO THE EOR FOR APPROVAL.



CONCRETE ANCHORS MASONRY ANCHORS

- NOTES:**
- DRILL & EPOXY ANCHORS IN ACCORDANCE WITH THE MPI.
 - UTILIZE HILTI HIT-HY 200 IN CRACKED AND UNCRACKED CONCRETE CONSTRUCTION UNLESS NOTED OTHERWISE ON PLANS AND DETAILS. HILTI RE-500 V3 IS AN ACCEPTABLE SUBSTITUTION.
 - UTILIZE HILTI HIT-HY 270 IN MASONRY AND MULTI-WYTHE CONSTRUCTION. PROVIDE APPROPRIATELY SIZED SCREEN TUBES IN HOLLOW AND MULTI-WYTHE MASONRY CONSTRUCTION ONLY.
 - REFER TO PLANS AND DETAILS FOR QUANTITY, ANCHOR TYPE, DIAMETER, AND MINIMUM EMBEDMENT DEPTH.
 - REFER TO THE MPI FOR INFORMATION NOT PROVIDED, INCLUDING BUT NOT LIMITED TO, MINIMUM EDGE DISTANCE, MINIMUM ANCHOR SPACING, CLEANING PROCEDURES, AND INSTALLATION TORQUE REQUIREMENTS BASED ON THE SELECTED ANCHOR TYPE, DIAMETER, APPLICABLE ESI SERIES AND CONSTRUCTION TYPE.

SUBSTRATE	MECHANICAL ANCHORS	
	ANCHOR TYPE	APPROVED SPECIFIED ANCHOR
CRACKED & UNCRACKED CONCRETE	SCREW ANCHOR	HILTI KWIK HUS E2 AND EZ-1 PER ICC ESR-3027
		HILTI KWIK BOLT-TZ PER ICC ESR-1917
	EXPANSION ANCHOR	HILTI KWIK BOLT 3 PER ICC ESR-2302 (UNCRACKED CONCRETE ONLY)
		HILTI HDA UNDERCUT ANCHORS PER ICC ESR-1546 HILTI HSL-3 PER ICC ESR-1545
SOLID GROUTED MASONRY	EXPANSION ANCHOR	HILTI KWIK BOLT 3 PER ICC ESR-1395
SUBSTRATE	ADHESIVE ANCHORS	
	APPROVED SPECIFIED ADHESIVE & ANCHOR	
CRACKED & UNCRACKED CONCRETE	HILTI HIT-HY 200 SAFE SET SYSTEM WITH HAS-E ROD, HIT-Z ROD, OR REBAR PER ICC ESR-3187	
	HILTI HIT-HY 500 V3 SAFE SET SYSTEM WITH HAS-E ROD, HIT-Z ROD, OR REBAR PER ICC ESR-3814	
MASONRY	HILTI HIT-HY 270 MASONRY ADHESIVE ANCHORING SYSTEM WITH HAS-E ROD OR REBAR PER ICC ESR-4143	

- EPOXY CARTRIDGES SHALL UTILIZE THE CORRECT MIXING NOZZLE AS SUPPLIED BY THE MANUFACTURER. THE CONTRACTOR SHALL NOT RE-USE, MODIFY (CUT) OR REMOVE THE MIXING INSERT FROM THE MIXING NOZZLE.
- THE CONTRACTOR SHALL UTILIZE APPROPRIATELY SIZED MESH SCREEN TUBES IN HOLLOW AND MULTI-WYTHE BRICK AND MASONRY APPLICATIONS.
- ALL EPOXY ANCHORS THAT ARE TO BE INSTALLED HORIZONTALLY OR UPWARDLY INCLINED (OVERHEAD) ARE TO BE INSTALLED UTILIZING THE HILTI "PISTON-PLUG" ACCESSORY, REGARDLESS OF THE EPOXY MANUFACTURER OR MODEL. USING AN EXTENSION TUBE AND RETAINING CAP IS NOT AN ACCEPTABLE METHOD AND SHALL BE REJECTED BY THE INSPECTOR.
- ALL ANCHORS, WHETHER IN CONTACT WITH OR WITHOUT CORROSION PROTECTIONS, UNLESS NOTED OTHERWISE:
 - INTERIOR USE, NON-CORROSIVE CONDITION - ZINC COATED PER ASTM B633
 - EXPOSED WEATHER OR IN CONTACT WITH PT LUMBER OR CORROSIVE INDUCING ELEMENTS - MECHANICALLY DEPOSITED ZINC COATING PER ASTM B695 OR HOT-DIP GALVANIZED (HDG) PER ASTM A153
 - EXTERIOR USE, CORROSIVE ENVIRONMENTS - STAINLESS STEEL AISI 316
- ALL ADHESIVE ANCHORS INSTALLED HORIZONTALLY OR UPWARDLY INCLINED (OVERHEAD) TO SUPPORT SUSTAINED TENSION LOADS SHALL BE PERFORMED BY CERTIFIED PERSONNEL. CERTIFICATION SHALL INCLUDE WRITTEN AND PERFORMANCE TESTS IN ACCORDANCE WITH THE ACI/CRS ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM, OR AN APPROVED EQUIVALENT. THE CONTRACTOR SHALL SUBMIT CERTIFICATES FOR RECORD PRIOR TO INSTALLATION OF ANCHORS. THE ACCEPTABILITY OF CERTIFICATION OTHER THAN ACI/CRS ADHESIVE ANCHOR INSTALLER CERTIFICATION SHALL BE THE RESPONSIBILITY OF THE EOR.
- THE ANCHOR MANUFACTURER SHALL MAKE A REPRESENTATIVE AVAILABLE TO PROVIDE ON-SITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED ON THE STRUCTURAL DRAWINGS. TRAINING SHALL BE AT THE CONTRACTOR'S REQUEST AND AT NO ADDITIONAL CHARGE TO THE CONTRACTOR OR OWNER. THE ANCHOR MANUFACTURER'S REPRESENTATIVE SHALL BE PRESENT DURING THE INITIAL INSTALLATION OF EACH TYPE OF ANCHOR TO REVIEW AND APPROVE THE CONTRACTOR'S INSTALLATION PROCEDURES.
- THE OWNER'S TESTING AGENCY SHALL OBSERVE THE INITIAL INSTALLATION OF EACH ANCHOR TYPE AND DURING CONSTRUCTION AT INTERVALS IN ACCORDANCE WITH THE IBC CH 17 AND ACI 318. ADHESIVE ANCHORS INSTALLED HORIZONTALLY OR VERTICALLY INCLINED (OVERHEAD) TO SUPPORT SUSTAINED TENSION LOADS SHALL BE CONTINUOUSLY OBSERVED BY THE SPECIAL INSPECTOR. THE SPECIAL INSPECTOR SHALL PROVIDE WRITTEN REPORTS TO THE EOR AND BUILDING OFFICIAL THAT INDICATE THAT THE MATERIALS USED AND THE INSTALLATION PROCEDURES USED CONFORM WITH THE APPROVED DOCUMENTS AND THE MPI. THE REPORTS SHALL INCLUDE DESCRIPTIONS OF THE MATERIALS AND PROCEDURES USED, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - ANCHOR INSTALLATION ENVIRONMENT (DRY OR SATURATED CONCRETE, CONCRETE TEMPERATURE RANGE)
 - DESCRIPTION OF THE DRILLING METHOD
 - DESCRIPTION OF THE MIXING PROCEDURE FOR THE SELECTED ANCHOR TYPE
 - DESCRIPTION OF THE SELECTED ANCHOR TYPE AND SIZE RANGE (THREADED ROD OR REINFORCING BAR)

STRUCTURAL STEEL

SHAPE	SPECIFICATION
WIDE FLANGE SHAPES:	ASTM A992 OR A572, GRADE 50.
STRUCTURAL SHAPES AND PLATES:	ASTM A36, A572 OR A992.
STEEL PIPE:	ASTM A53, GRADE B.
STEEL TUBING (SQUARE, RECT. OR ROUND):	ASTM A500, GRADE C.
GALVANIZED STRUCTURAL STEEL:	
STRUCTURAL SHAPES AND RODS BOLTS, FASTENERS AND HARDWARE	ASTM A123, ASTM A153.
STAINLESS STEEL (Fy = 40 KSI):	
STRUCTURAL BARS, ROUNDS AND HOT ROLLED SHAPES	ASTM A276.
HIGH STRENGTH BOLTING MATERIAL	ASTM A193, ASTM A194.
ANCHOR RODS	ASTM F1554, GRADE 36, UNLESS NOTED OTHERWISE.
BOLTED CONNECTION	ASTM A325 HIGH STRENGTH BOLTS 3/4" MINIMUM WELD SIZE SHALL BE 3/16" UNLESS NOTED OTHERWISE
WELDING ELECTRODES (MINIMUM WELD SIZE SHALL BE 3/16" UNLESS NOTED OTHERWISE)	ET0XX (FOR MANUAL ARC WELDING)

- CONNECTIONS:
 - ALL BOLTED CONNECTIONS SHALL BE WITH ASTM A325 HIGH STRENGTH BOLTS 3/4" MINIMUM DIAMETER, UNLESS NOTED OTHERWISE. ALL BOLTS SHALL BE INSTALLED SNUG TIGHT UNLESS NOTED OTHERWISE IN CONTRACT DOCUMENTS OR AISC.
 - ALL CONNECTIONS SHALL BE SYMMETRICAL ABOUT THE AXIS OF THE MEMBER CONNECTED. PROVIDE ONLY ONE GRADE OF BOLT FOR EACH BOLT DIAMETER TO BE USED IN THE CONNECTIONS. DO NOT MIX GRADE OF BOLTS.
 - ALL CONNECTIONS SHALL BE FRAMED BEAM CONNECTIONS DESIGNED IN ACCORDANCE WITH THE AISC MANUAL FOR THE REACTIONS SHOWN ON PLAN, BUT NOT LESS THAN 12 KIIPS. PROVIDE CONNECTIONS FULL DEPTH OF SUPPORTING BEAM, UNLESS OTHERWISE APPROVED. MINIMUM TWO (2) BOLTS PER CONNECTION.
 - PROVIDE SIGNED AND SEALED CALCULATIONS FOR ALL CONNECTION DESIGNS NOT INDICATED ON THE DRAWINGS. THE FABRICATOR IS RESPONSIBLE FOR THE SELECTION, DESIGN, AND DETAILING OF ALL CONNECTIONS NOT FULLY DETAILED IN THE CONTRACT DOCUMENTS. TYPICAL CONNECTION DETAILS HAVE BEEN INDICATED ON THE DRAWINGS FOR DESIGN INTENT ONLY. THE FABRICATOR SHALL HAVE A REGISTERED PROFESSIONAL ENGINEER LICENSED IN PROJECT'S JURISDICTION PREPARE AND/OR REVIEW THE CONNECTION DESIGN PRIOR TO SUBMITTING THE SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL. THE INITIAL SHOP DRAWINGS SUBMITTAL SHALL INCLUDE PROPOSED CONNECTION DETAILS AND JOB STANDARDS. CALCULATIONS SHALL SHOW THE CONNECTION DESIGN FOR ALL CONNECTIONS. SHOP DRAWINGS SHALL DIRECTLY REFERENCE CONNECTION DETAILS ON SUBMITTAL.
- CUTS, HOLES, CORING, ETC. REQUIRED FOR OTHER TRADES OR FIELD CONDITIONS SHALL BE SHOWN ON THE SHOP DRAWINGS AND MADE IN THE SHOP. CUTTING OR BURNING OF MAIN STRUCTURAL MEMBERS IN THE FIELD WILL NOT BE PERMITTED.
- SUBMIT SHOP DRAWINGS FOR FABRICATION AND ERECTION OF STRUCTURAL STEEL. CLEARLY INDICATE COORDINATED DIMENSIONS OF MECHANICAL UNIT AND ROOF PENETRATION SIZES. SHOP AND ERECTION DRAWINGS MUST SHOW ALL SHOP/FLOOR AND FIELD WELDS. INITIAL SHOP DRAWING SUBMITTAL SHALL INCLUDE PROPOSED CONNECTION DETAILS AND JOB STANDARDS. PROVIDE SIGNED AND SEALED CALCULATIONS FOR ALL CONNECTION DESIGNS NOT INDICATED ON THE DRAWINGS. CALCULATIONS SHALL SHOW DESIGN CAPACITIES FOR ALL CONNECTIONS.
- STEEL MEMBERS SHOWN ON PLAN SHALL BE EQUALLY SPACED UNLESS NOTED OTHERWISE.
- CAMBER INDICATED ON THESE DRAWINGS IS THE REQUIRED CAMBER AFTER FINAL ERECTION AND INCLUDES ALL MILL TOLERANCES.
- THE GENERAL CONTRACTOR AND STEEL ERECTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY FABRICATION OR ERECTION ERRORS OR DEVIATIONS AND RECEIVE WRITTEN APPROVAL BEFORE ANY FIELD CORRECTIONS ARE MADE.
- WELDS TO THE EXISTING MILL WILL NOT BE ALLOWED AND THE CONTRACTOR SHALL ANTICIPATE USING FIELD BOLTED CONNECTIONS TO THE EXISTING STEEL.
- ALL STEEL SHALL BE PAINTED WITH SHOP STANDARD PRIMER UNLESS NOTED OTHERWISE.
- STEEL ANGLES AND PLATES ALONG WITH BOLTS AND WASHERS, IN DIRECT CONTACT WITH EXTERIOR FINISH MASONRY, AND ALL EXTERIOR EXPOSED STRUCTURAL STEEL, SHALL BE HOT-DIPPED GALVANIZED.
- ALL EXTERIOR EXPOSED STRUCTURAL STEEL SHALL BE HOT-DIPPED GALVANIZED PER ASTM A123.
- SPANDRELS AND COLUMNS ADJACENT TO MASONRY SHALL HAVE ADJUSTABLE MASONRY TIES.
- EXISTING FRAMING REQUIRING WELDING SHALL BE THOROUGHLY CLEANED TO ENSURE PROPER WELDING. PROVIDE TEMPORARY SHORING WHEN WELDING TO EXISTING STEEL.
- FIELD WELDED SURFACES WITHIN FOUR (4) INCHES OF WELD SHALL BE CLEANED AND GROUND SMOOTH. AFTER WELDING COAT THE EXPOSED AREA WITH APPROPRIATE PRIMER/PAINTS AS SPECIFIED.
- FIELD WELDED EXPOSED GALVANIZED SURFACES WITHIN FOUR (4) INCHES OF WELD SHALL BE CLEANED AND GROUND SMOOTH. AFTER WELDING COAT THE EXPOSED AREA WITH GALVANIZING REPAIR PAINT. GALVANIZING REPAIR PAINT SHALL BE A HIGH ZINC DUST CONTENT PAINT COMPLYING WITH FEDERAL SPECIFICATIONS DOD-P-21035A OR SSPC-PAINT-20, COLD GALVANIZING COMPOUND BY ZRC PRODUCTS CO. OR EQUAL.
- VISUALLY INSPECT ALL FILLET WELDS. 10% OF ALL FIELD FILLET WELDS IN PRIMARY CONNECTIONS AND MULTI-PASS WELDS SHALL BE TESTED BY THE MAGNETIC PARTICLE METHOD, COMPLYING WITH E109, PERFORMED ON THE ROOT PASS AND ON THE FINISHED WELD.
- 100% OF FULL PENETRATION WELDS SHALL HAVE ULTRASONIC INSPECTION, COMPLYING WITH ASTM E164.
- 100% OF WELDS IN BEAM AND COLUMN MOMENT CONNECTIONS SHALL HAVE ULTRASONIC INSPECTION, COMPLYING WITH ASTM E164.
- FIELD TEST BOLTED CONNECTIONS AND SHEAR STUDS IN ACCORDANCE WITH AISC.
- DELETE PAINT ON ALL STEEL TO RECEIVE SPRAYED-ON FIREPROOFINGS OR CONCRETE ENCASEMENT.
- ALL STEEL SHALL BE THOROUGHLY CLEANED BY POWER TOOL CLEANING PRIOR TO PAINTING. ALL ARCHITECTURALLY EXPOSED STRUCTURAL STEEL SHALL BE CLEANED WITH COMMERCIAL BLAST CLEANING.
- ALL DISSIMILAR METALS SHALL BE TREATED OR PROPERLY SEPARATED TO PREVENT GALVANIC AND/OR CORROSIVE EFFECTS.

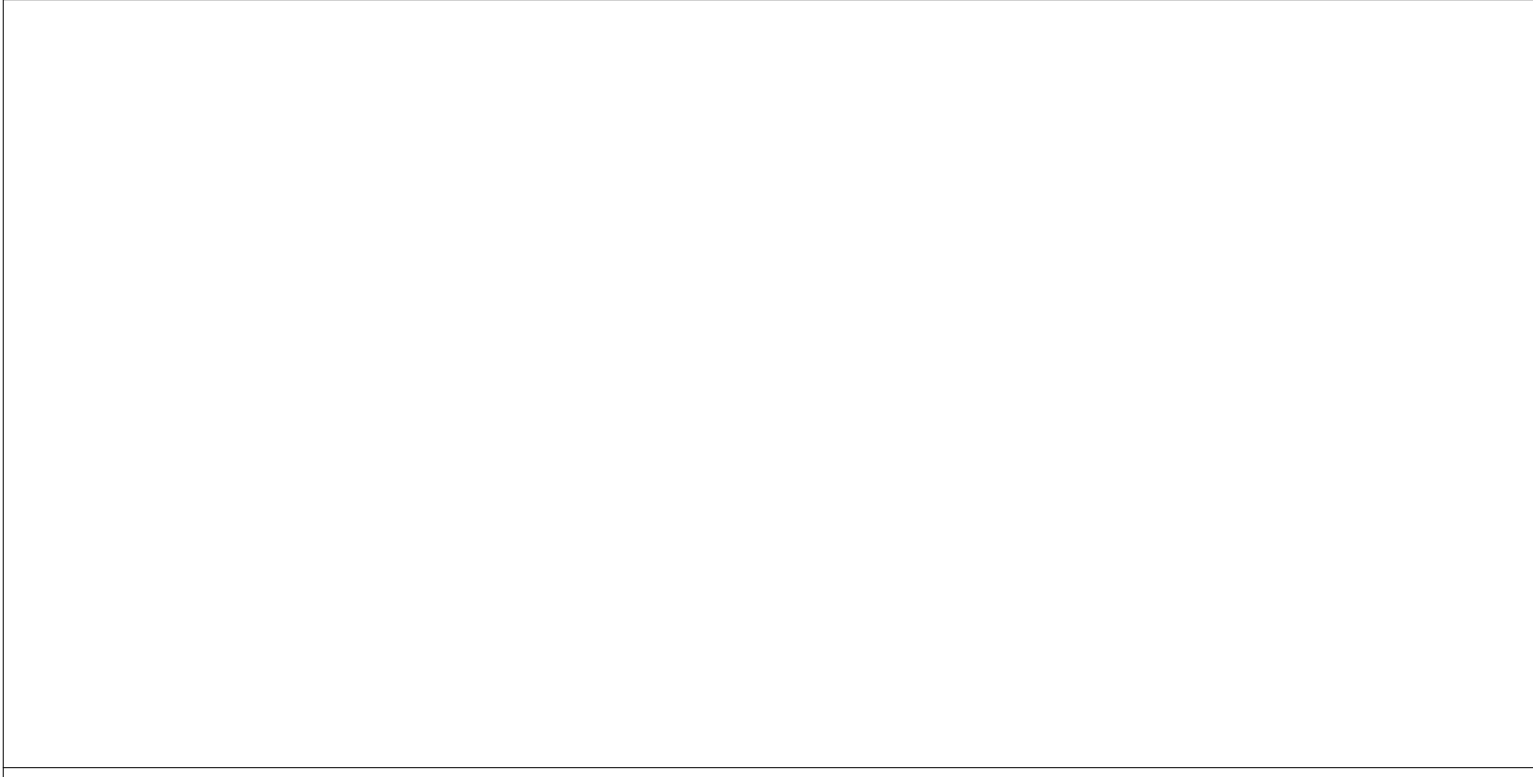
17.0 COLD FORM METAL FRAMING

- LIGHT GAGE METAL FRAMING SHALL BE DESIGNED AND DETAILED ACCORDING WITH "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS - 2007 EDITION", AMERICAN IRON AND STEEL INSTITUTE.
- ALL STUD AND/OR JOIST FRAMING MEMBERS SHALL BE OF THE TYPE, SIZE, AND GAGE AS REQUIRED BY DESIGN. SIZE AND GAGE SHALL NOT BE LESS THAN SHOWN ON DRAWINGS.
- LIGHT GAGE METAL FRAMING CHARACTERISTICS ARE BASED ON PRODUCTS MANUFACTURED BY (MARINO WARE, A DIVISION OF WARE INDUSTRIES, INC.) MEMBERS BY OTHER MANUFACTURERS MAY BE SUPPLIED PROVIDED LOAD CARRYING CAPACITY BASED ON MANUFACTURER'S STANDARD LOAD TABLES, AND DETAILING CHARACTERISTICS EQUAL OR EXCEED THOSE OF MATERIALS SPECIFIED AND IF APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.
- ALL GALVANIZED STUDS, JOISTS, TRACK, BRIDGING, AND ACCESSORIES, 12, 14, AND 16 GAGE, SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO THE REQUIREMENTS OF ASTM A563, GRADE 53, WITH A MINIMUM YIELD OF 50,000 PSI.
- ALL GALVANIZED STUDS, JOISTS, TRACK, BRIDGING AND ACCESSORIES, 18 AND 20 GAGE, SHALL BE FORMED FROM STEEL THAT CORRESPONDS TO THE REQUIREMENTS OF ASTM A563, GRADE 53, WITH A MINIMUM YIELD OF 33,000 PSI.
- ALL STUDS, JOIST, AND ACCESSORIES, SHALL BE FORMED FROM STEEL HAVING A G60 GALVANIZED COATING IN CONFORMANCE WITH ASTM C655.
- PRIOR TO PREFABRICATION OF FRAMING, THE CONTRACTOR SHALL SUBMIT SIGNED AND SEALED FABRICATION AND ERECTION DRAWINGS TO THE ARCHITECT FOR REVIEW. INCLUDE WITH THE DRAWINGS CROSS SECTIONS, PLANS AND/OR ELEVATIONS DEPICTING COMPONENT TYPES AND LOCATIONS FOR EACH UNIQUE FRAMING APPLICATION, CONNECTION DETAILS DEPICTING FASTENER TYPE, AND QUANTITY. SUBMIT SIGNED AND SEALED CALCULATIONS PREPARED BY AN ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION.
- FRAMING COMPONENTS MAY BE PREASSEMBLED INTO PANELS PRIOR TO ERECTING. PREFABRICATED PANELS SHALL BE SQUARE WITH COMPONENTS ATTACHED IN A MANNER AS TO PREVENT RACKING AND TO MINIMIZE DISTORTION WHILE LIFTING AND TRANSPORTING.
- CUTTING OF STEEL FRAMING SHALL BE BY SAW, SHEAR OR PLASMA CUTTING EQUIPMENT ONLY.
- TEMPORARY BRACING SHALL BE PROVIDED UNTIL ERECTION IS COMPLETE AND ALL ATTACHED ADJACENT FRAMING IS COMPLETE.
- INSULATION SHALL BE PLACED IN COMPONENTS INACCESSIBLE TO THE INSULATION CONTRACTOR AFTER THEIR INSTALLATION.
- SPLICES IN AXIALLY LOADED STUDS ARE NOT PERMITTED.
- WHERE SPLICING OF TRACK IS NECESSARY BETWEEN STUD SPACING, A PIECE OF STUD SHALL BE PLACED BETWEEN ADJACENT TRACKS AND FASTENED BY WELDS OR SCREWS TO EACH SIDE OF THE TRACK, EACH END.
- STUDS SHALL BE PLUMBED, ALIGNED, AND SECURELY ATTACHED TO THE FLANGES OR ENDS OF BOTH UPPER AND LOWER TRACKS.
- AXIALLY LOADED STUDS SHALL BE INSTALLED IN A MANNER WHICH WILL ASSURE THAT ENDS OF THE STUDS ARE POSITIONED AGAINST THE INSIDE TRACK WEB, PRIOR TO STUD AND TRACK ATTACHMENT. STUDS SHALL BE SQUARELY CUT AND POSITIVELY CLAMPED AND POSITIONED UNTIL PROPERLY FASTENED.
- WALL STUD BRIDGING SHALL BE ATTACHED IN A MANNER TO PREVENT STUD ROTATION. BRIDGING, OF THE TYPE AND SPACING SHOWN ON THE CONTRACT OR SHOP DRAWINGS SHALL BE INSTALLED PRIOR TO LOADING. BRIDGING SPACING SHALL BE AS REQUIRED BY DESIGN, BUT SHALL NOT EXCEED 5'-0" ON CENTER.
- PROVISION FOR STRUCTURE VERTICAL MOVEMENT SHALL BE PROVIDED WHERE INDICATED ON THE PLANS USING VERTICAL SLIDE CLIPS OR OTHER MEANS. FRAME BOTH SIDES OF EXPANSION JOINTS WITH SEPARATE STUDS. DO NOT BRIDGE THE EXPANSION JOINTS WITH STUD SYSTEM COMPONENTS. FRAMING WALL OPENINGS SHALL BE PROVIDED WITH STUDS AND BRACING AS SHOWN ON THE PLANS AND SHOP DRAWINGS. PROVIDE ADDITIONAL JACK AND KING STUDS AS REQUIRED AT ALL OPENINGS WHICH EXCEED 24 INCHES.
- JOISTS SHALL BE LOCATED DIRECTLY OVER BEARING STUDS OR A LOAD DISTRIBUTION MEMBER TO BE PROVIDED AT THE TOP TRACK.
- CONNECTIONS SHALL BE BY WELDING, RIVETING, BOLTING OR OTHER APPROVED FASTENING DEVICES OR METHODS PROVIDING POSITIVE ATTACHMENT AND RESISTANCE TO LOOSENING. FASTENERS SHALL BE OF COMPATIBLE MATERIAL.
- WELDED CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH AWS SPECIFICATION FOR WELDING SHEET STEEL. IN STRUCTURES, D1.3.
- CONTRACTOR SHALL REFER TO INSTALLATION INSTRUCTIONS PUBLISHED BY THE SCREW MANUFACTURER AND ASTM C564 FOR MINIMUM SPACING AND EDGE DISTANCES REQUIREMENTS AND TORQUE REQUIREMENTS.

18.0 STRUCTURAL WOOD

- DESIGN, FABRICATION, AND CONSTRUCTION OF WOOD FRAMING SHALL CONFORM WITH THE FOLLOWING CODES AND STANDARDS:
 - NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION", 2005 EDITION, (WITH SUPPLEMENT), AMERICAN FOREST AND PAPER ASSOCIATION.
 - "TIMBER CONSTRUCTION MANUAL", FOURTH EDITION, AS ADOPTED BY THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, INCLUDING THE "CODE OF STANDARD PRACTICE", AITC 103.
- BASE DESIGN VALUES FOR ROOF/FLOOR JOIST FRAMING: DOUG-FIR NO. 1 AND NO. 2 (FB = 850 PSI, FV = 180 PSI, E = 1,800,000 PSI) MINIMUM.
- BASE DESIGN VALUE FOR WOOD STUDS AND BRACING: DOUG FIR STUD MINIMUM COMPRESSION PARALLEL TO GRAIN FC = 850 PSI, MINIMUM TENSION PARALLEL TO GRAIN, FT = 400 PSI, MINIMUM COMPRESSION PERPENDICULAR TO GRAIN, 625 PSI.
- ALL PLYWOOD SHEATHING SHALL COMPLY WITH APA. PLYWOOD SHALL MEET C-D INTERIOR APA, STRUCTURAL I AND II C-D INTERIOR APA, OR STRUCTURAL I AND II C-C EXTERIOR APA. ATTACHMENT TO BE IN ACCORDANCE WITH IBC REQUIREMENTS. ALL PLYWOOD TO HAVE EXTERIOR GLUE.
 - ROOF SHEATHING SHALL BE APA RATED SHEATHING, 1/2" THICK, 4220.
 - FLOOR SHEATHING SHALL BE APA RATED STURD-FLOOR, 3/4" THICK, 4824.
 - WALL SHEATHING SHALL BE APA RATED SHEATHING 1/2" THICK, 32/16.
- PROVIDE NAILING PATTERN IN COMPLIANCE WITH IBC RECOMMENDED FASTENING SCHEDULE WHEN JOINING TWO OR MORE FRAMING MEMBERS.
- PROVIDE DOUBLE LAYER PLYWOOD UNDER ALL CERAMIC TILE FLOORS.
- BASE DESIGN VALUE FOR ALL OTHER STRUCTURAL WOOD FRAMING: MINIMUM EXTREME FIBER IN BENDING, FB = 850 PSI; MINIMUM HORIZONTAL SHEAR, FV = 180 PSI; MINIMUM COMPRESSION PARALLEL TO GRAIN, FC = 1,400 PSI.
- HANGER CONNECTIONS FOR JOISTS, BEAMS, AND MANUFACTURED WOOD FRAMING SHALL BE STRONG-TIE CONNECTORS BY SIMPSON.
- SEE INTERNATIONAL BUILDING CODE FOR MINIMUM BRACING AND FASTENING REQUIREMENTS.
- MEMBERS SHALL BE SET WITH CROWN UP AND HAVE A MINIMUM OF 3" BEARING.
- PROVIDE ADDITIONAL JOIST UNDER PARALLEL NON-LOADING BEARING PARTITIONS THAT RUN MORE THAN 1/3 THE SPAN OF THE JOIST.
- SPLICE DOUBLE SOLE PLATES DIRECTLY OVER STUD. STAGGER SPLICE OF EACH PLATE.
- ALL JOISTS AND RAFTERS SHALL BE RIGIDLY BRIDGED AT INTERVALS NOT EXCEEDING 8'-0".
- ALL BOLTS AND LAG BOLTS SHALL BE FITTED WITH GALVANIZED, MALLEABLE IRON OR STEEL PLATE WASHERS.
- ALL WOOD MEMBERS EXPOSED TO EXTERIOR TO BE PRESURE TREATED.
- PROVIDE FASTENERS, ANCHORS AND CONNECTORS WITH ADEQUATE CORROSION PROTECTION WHERE IN CONTACT WITH TREATED WOOD. PROVIDE MINIMUM ZMAX COATING WHERE SIMPSON CONNECTORS ARE USED IN CONTACT WITH TREATED WOOD.

STAMP AREA



REVISIONS

ISSUE	DATE	DESCRIPTION
	06/02/23	ISSUE FOR BID



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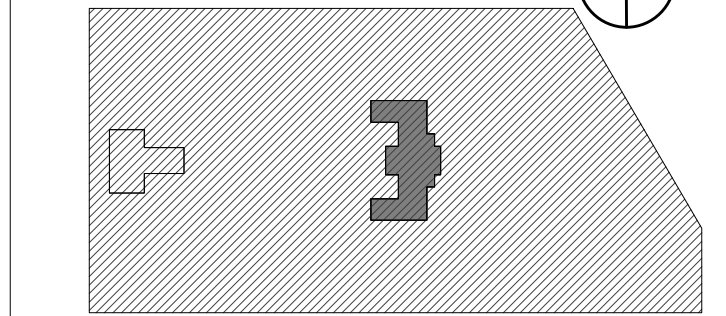
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CITY OF PHILADELPHIA
REBUILD / PHILADELPHIA PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

KINGSESSING RECREATION
CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

PROJECT TITLE

KEY PLAN



PROJECT NO.	DRAWING NO.
21070	
DATE	05/09/2023
SCALE	As Indicated
DRAWN BY:	WZD
CHECKED BY:	PHU
NOTE:	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



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STRUCTURAL GENERAL NOTES

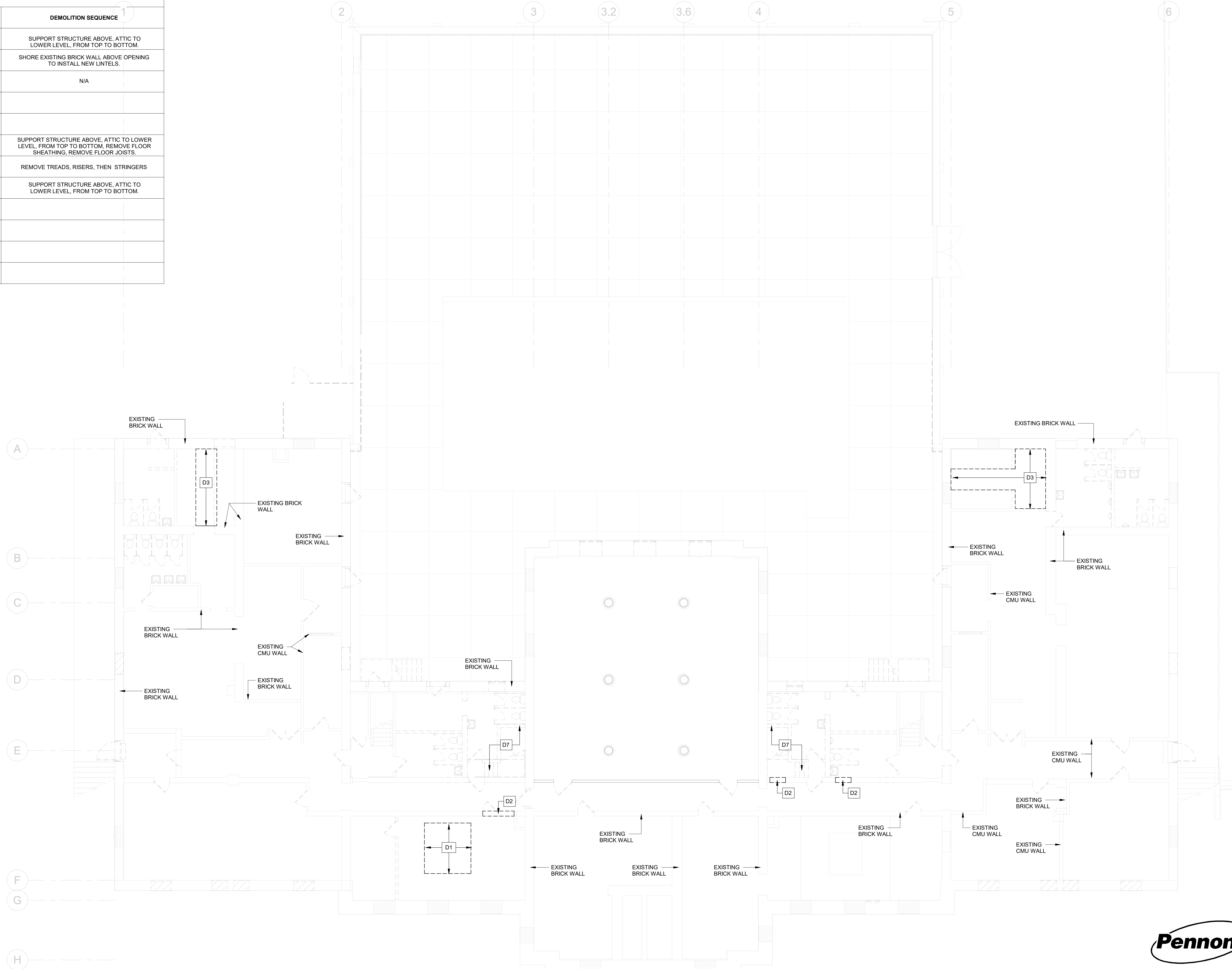
PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/23

DEMOLITION NOTES

MARK	DEMOLITION NOTES	DEMOLITION SEQUENCE
D1	DEMO EXISTING SLAB ON GRADE FOR NEW ELEVATOR PIT.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D2	DEMO EXISTING LOAD BEARING WALL AND DOOR FOR NEW OPENING.	SHORE EXISTING BRICK WALL ABOVE OPENING TO INSTALL NEW LINTELS.
D3	REMOVE EXISTING RAISED CONCRETE FLOOR TO 1" BELOW EXISTING FLOOR SLAB. INTENTIONALLY ROUGHEN.	N/A
D4	NOT USED	
D5	NOT USED	
D6	DEMO EXISTING FLOOR FRAMING FOR NEW ELEVATOR. SHORE EXISTING REMAINING FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL. FROM TOP TO BOTTOM, REMOVE FLOOR SHEATHING, REMOVE FLOOR JOISTS.
D7	DEMO EXISTING INTERIOR STAIR.	REMOVE TREADS, RISERS, THEN STRINGERS
D8	DEMO PORTION OF WOOD BEARING WALL ABOVE FLOOR SHOWN. SHORE EXISTING FLOOR FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D9	NOT USED	
D10	NOT USED	
D11	NOT USED	
D12	NOT USED	

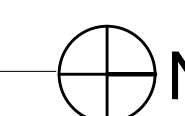


DEMO NOTE - D3



STAMP AREA

1 LOWER LEVEL DEMO PLAN
1/8" = 1'-0"



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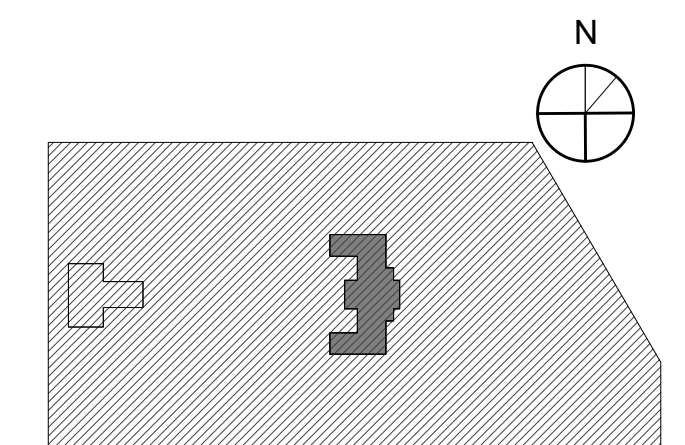
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PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
DEMOLITION PLAN - LOWER LEVEL

PROJECT NO.
21070

DATE
05/09/2023

SCALE
As indicated

DRAWN BY:
W20

CHECKED BY:
PM

DRAWING NO.

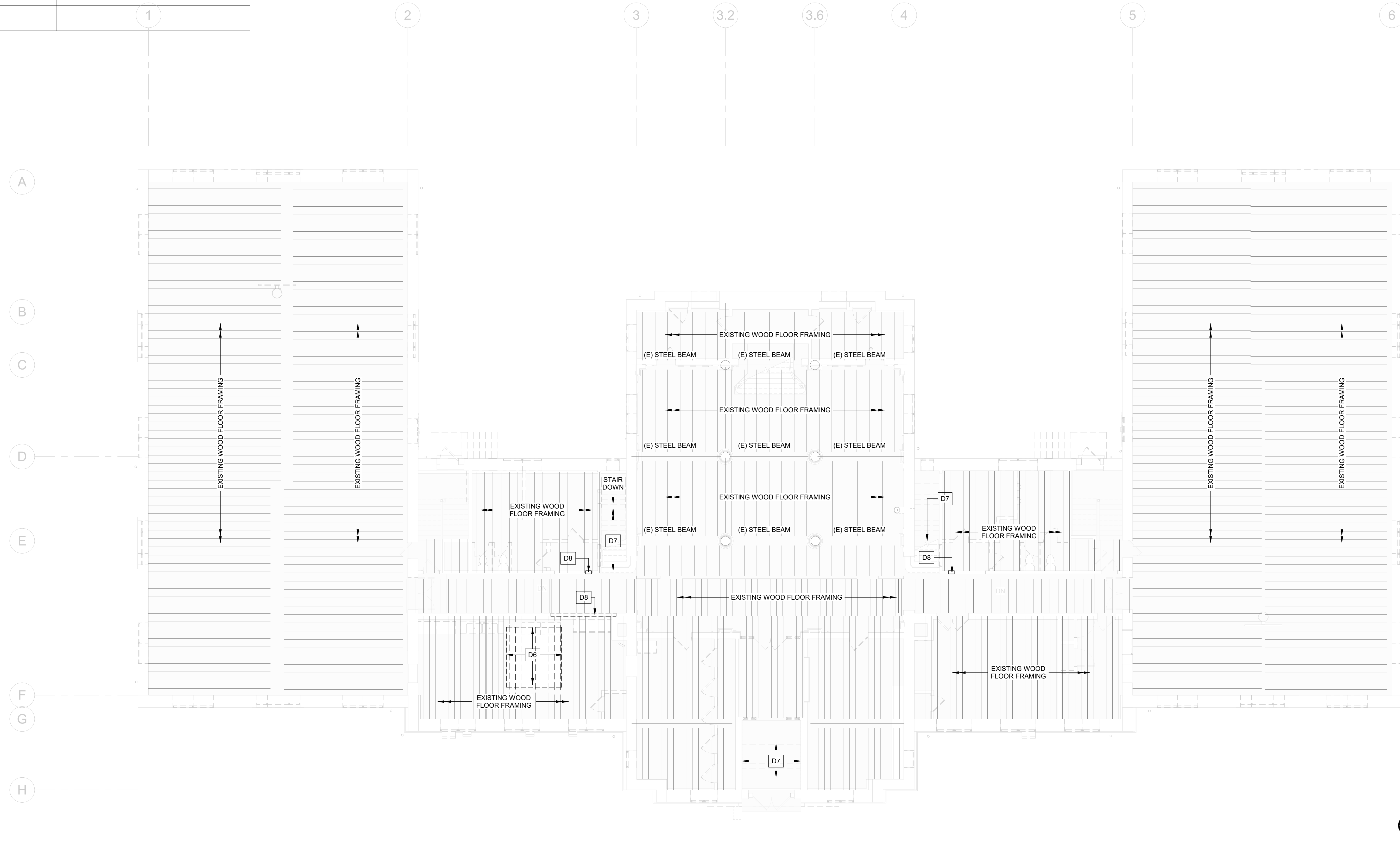
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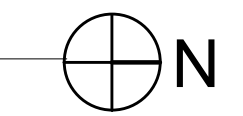
DEMOLITION NOTES

MARK	DEMOLITION NOTES	DEMOLITION SEQUENCE
D1	DEMO EXISTING SLAB ON GRADE FOR NEW ELEVATOR PIT.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D2	DEMO EXISTING LOAD BEARING WALL AND DOOR FOR NEW OPENING.	SHORE EXISTING BRICK WALL ABOVE OPENING TO INSTALL NEW LINTELS.
D3	REMOVE EXISTING RAISED CONCRETE FLOOR TO 1" BELOW EXISTING FLOOR SLAB. INTENTIONALLY ROUGHEN.	N/A
D4	NOT USED	
D5	NOT USED	
D6	DEMO EXISTING FLOOR FRAMING FOR NEW ELEVATOR. SHORE EXISTING REMAINING FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM, REMOVE FLOOR SHEATHING, REMOVE FLOOR JOISTS.
D7	DEMO EXISTING INTERIOR STAIR.	REMOVE TREADS, RISERS, THEN STRINGERS
D8	DEMO PORTION OF WOOD BEARING WALL ABOVE FLOOR SHOWN. SHORE EXISTING FLOOR FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D9	NOT USED	
D10	NOT USED	
D11	NOT USED	
D12	NOT USED	



STAMP AREA

1 FIRST FLOOR DEMO
1/8" = 1'-0"



REVISIONS

ISSUE	DATE	DESCRIPTION
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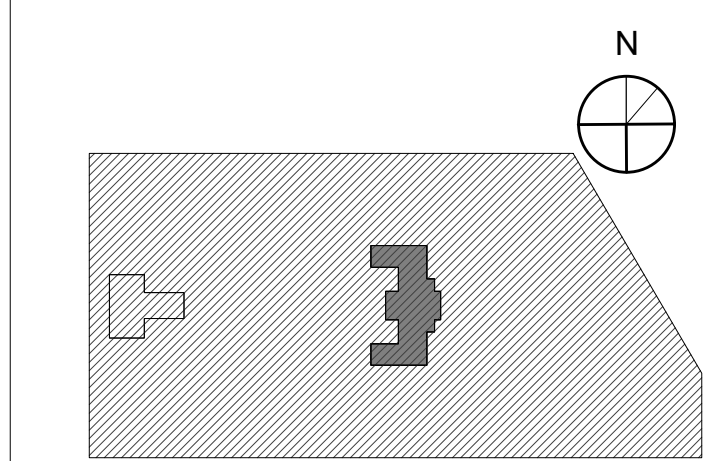
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PROJECT TITLE
KINGSSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



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DRAWING TITLE
DEMOLITION PLAN - FIRST FLOOR

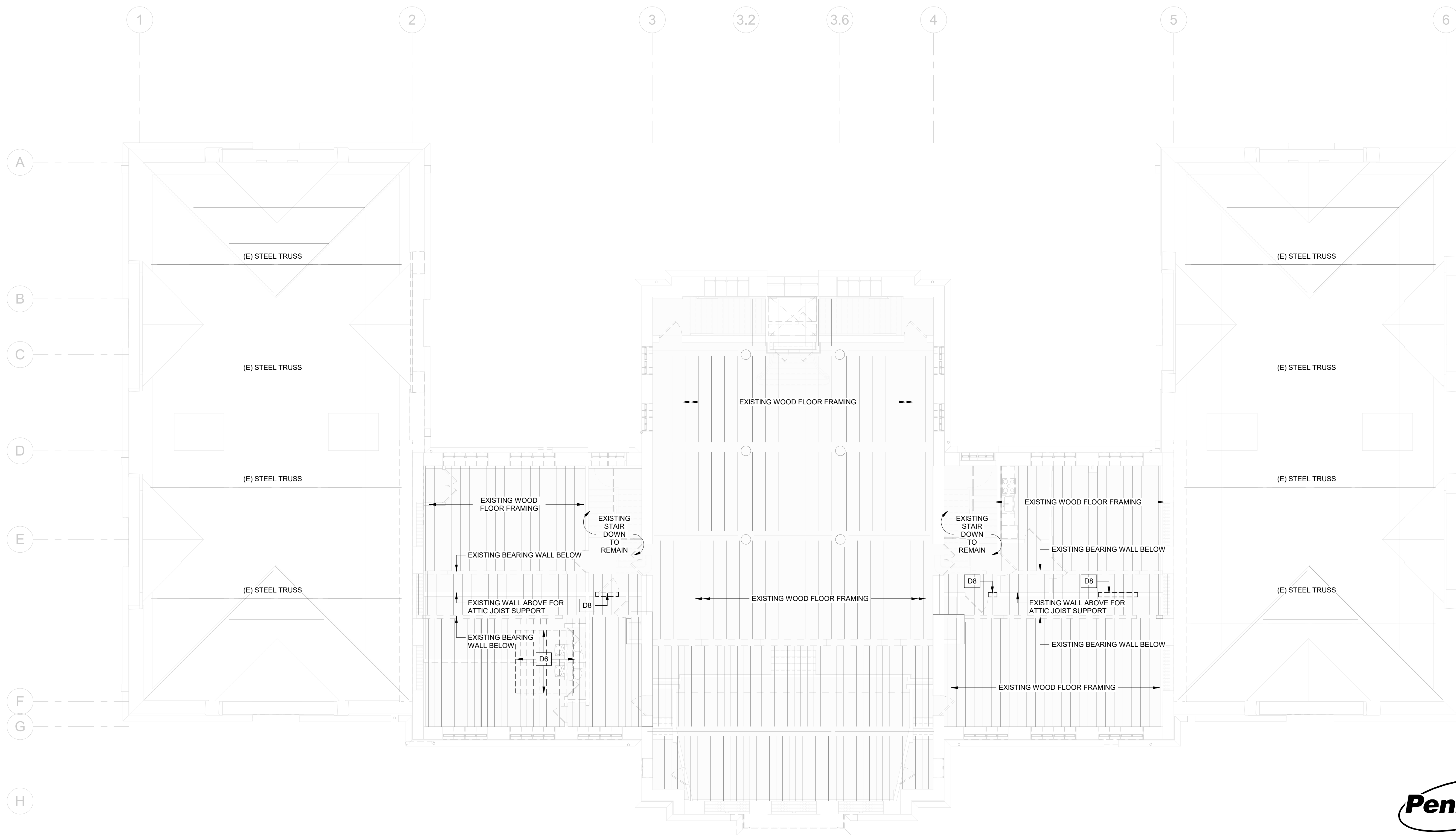
PROJECT NO.	DRAWING NO.
21070	
DATE: 05/09/2023	SD-102-R.2
SCALE: As indicated	
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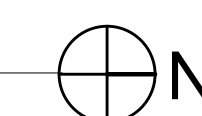
DEMOLITION NOTES

MARK	DEMOLITION NOTES	DEMOLITION SEQUENCE
D1	DEMO EXISTING SLAB ON GRADE FOR NEW ELEVATOR PIT.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D2	DEMO EXISTING LOAD BEARING WALL AND DOOR FOR NEW OPENING.	SHORE EXISTING BRICK WALL ABOVE OPENING TO INSTALL NEW LINTELS.
D3	REMOVE EXISTING RAISED CONCRETE FLOOR TO 1" BELOW EXISTING FLOOR SLAB. INTENTIONALLY ROUGHEN.	N/A
D4	NOT USED	
D5	NOT USED	
D6	DEMO EXISTING FLOOR FRAMING FOR NEW ELEVATOR. SHORE EXISTING REMAINING FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM, REMOVE FLOOR SHEATHING, REMOVE FLOOR JOISTS.
D7	DEMO EXISTING INTERIOR STAIR.	REMOVE TREADS, RISERS, THEN STRINGERS
D8	DEMO PORTION OF WOOD BEARING WALL ABOVE FLOOR SHOWN. SHORE EXISTING FLOOR FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D9	NOT USED	
D10	NOT USED	
D11	NOT USED	
D12	NOT USED	



STAMP AREA

1 SECOND FLOOR DEMO PLAN
1/8" = 1'-0"



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06/02/23 ISSUE FOR BID



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PROJECT COORDINATOR

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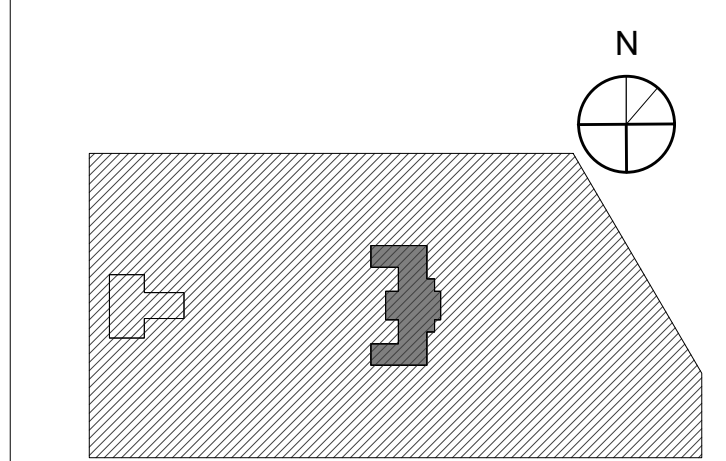
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11TH FLOOR, ONE PARKWAY BUILDING

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



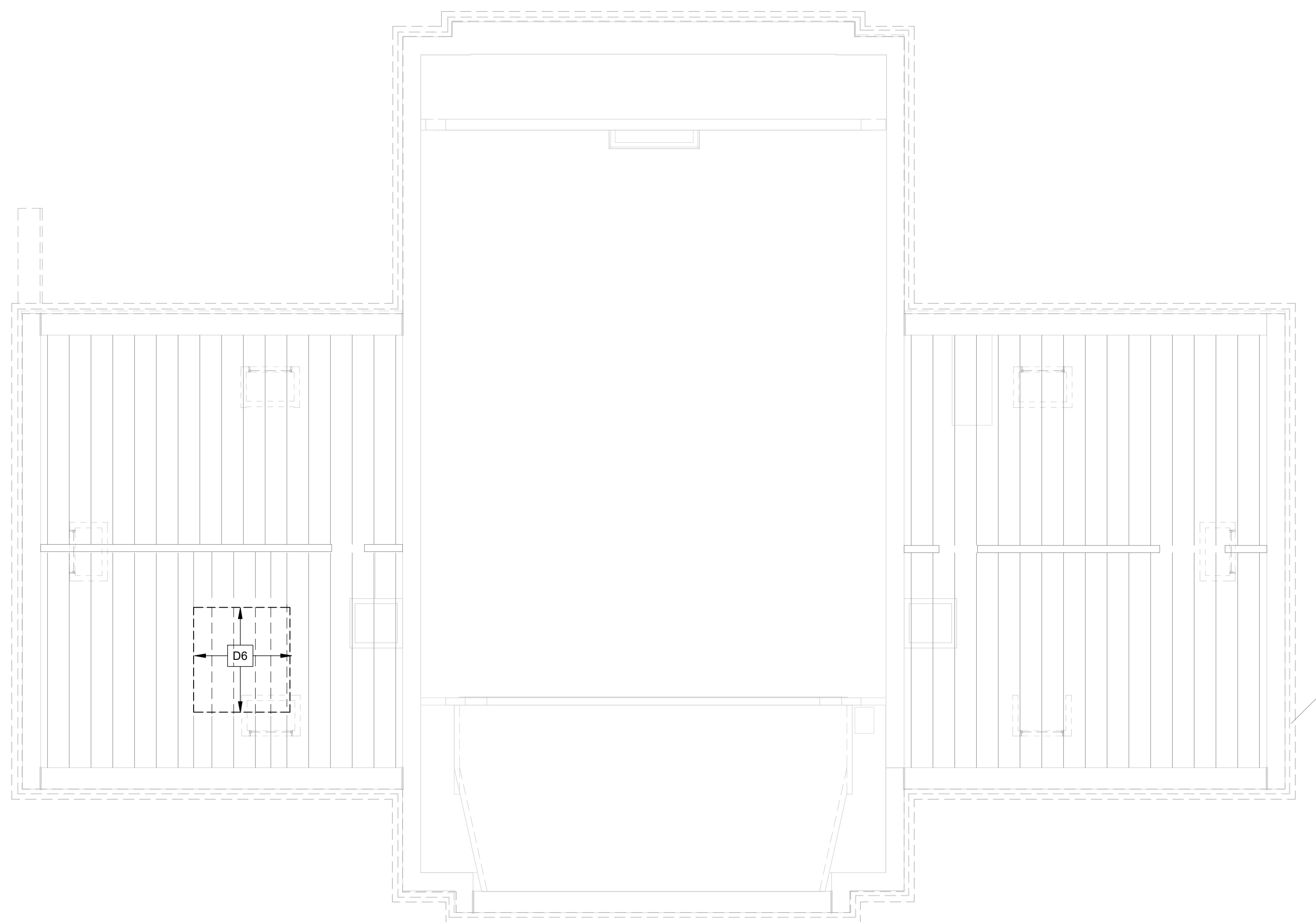
DRAWING TITLE
DEMOLITION PLAN - SECOND FLOOR

PROJECT NO. 21070	DRAWING NO.
DATE 05/09/2023	SD-103-R.2
SCALE As indicated	
DRAWN BY: WZD	
CHECKED BY: PMU	
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PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/23

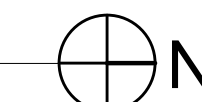
DEMOLITION NOTES

MARK	DEMOLITION NOTES	DEMOLITION SEQUENCE
D1	DEMO EXISTING SLAB ON GRADE FOR NEW ELEVATOR PIT.	SUPPORT STRUCTURE ABOVE. ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D2	DEMO EXISTING LOAD BEARING WALL AND DOOR FOR NEW OPENING.	SHORE EXISTING BRICK WALL ABOVE OPENING TO INSTALL NEW LINTELS.
D3	REMOVE EXISTING RAISED CONCRETE FLOOR TO 1" BELOW EXISTING FLOOR SLAB. INTENTIONALLY ROUGHEN.	N/A
D4	NOT USED	
D5	NOT USED	
D6	DEMO EXISTING FLOOR FRAMING FOR NEW ELEVATOR. SHORE EXISTING REMAINING FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE. ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM. REMOVE FLOOR SHEATHING, REMOVE FLOOR JOISTS.
D7	DEMO EXISTING INTERIOR STAIR.	REMOVE TREADS, RISERS, THEN STRINGERS
D8	DEMO PORTION OF WOOD BEARING WALL ABOVE FLOOR SHOWN. SHORE EXISTING FLOOR FRAMING, AS REQ'D.	SUPPORT STRUCTURE ABOVE, ATTIC TO LOWER LEVEL, FROM TOP TO BOTTOM.
D9	NOT USED	
D10	NOT USED	
D11	NOT USED	
D12	NOT USED	



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PROJECT COORDINATOR

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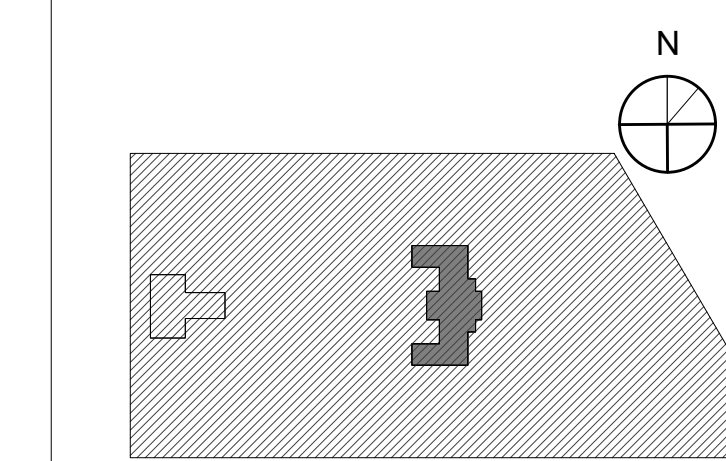
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 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
DEMOLITION PLAN - ATTIC

PROJECT NO.	DRAWING NO.
21070	SD-104-R.2
DATE: 05/09/2023	
SCALE: As indicated	
DRAWN BY: WZD	
CHECKED BY: RM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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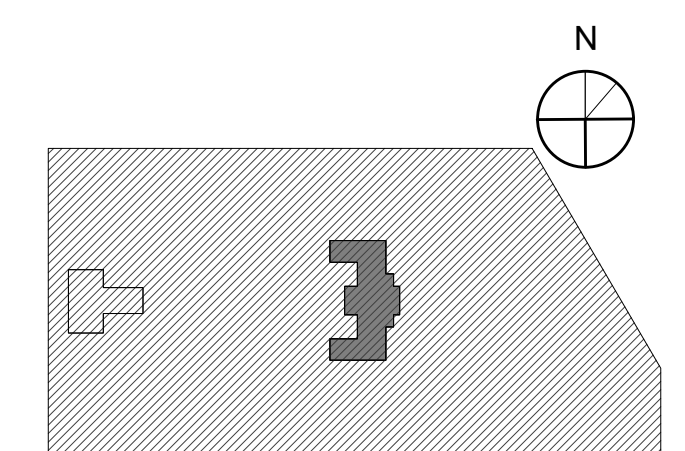
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PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



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DRAWING TITLE
LOWER LEVEL FRAMING PLAN

PROJECT NO. 21070 DRAWING NO.

DATE 05/09/2023 **S101-R.2**

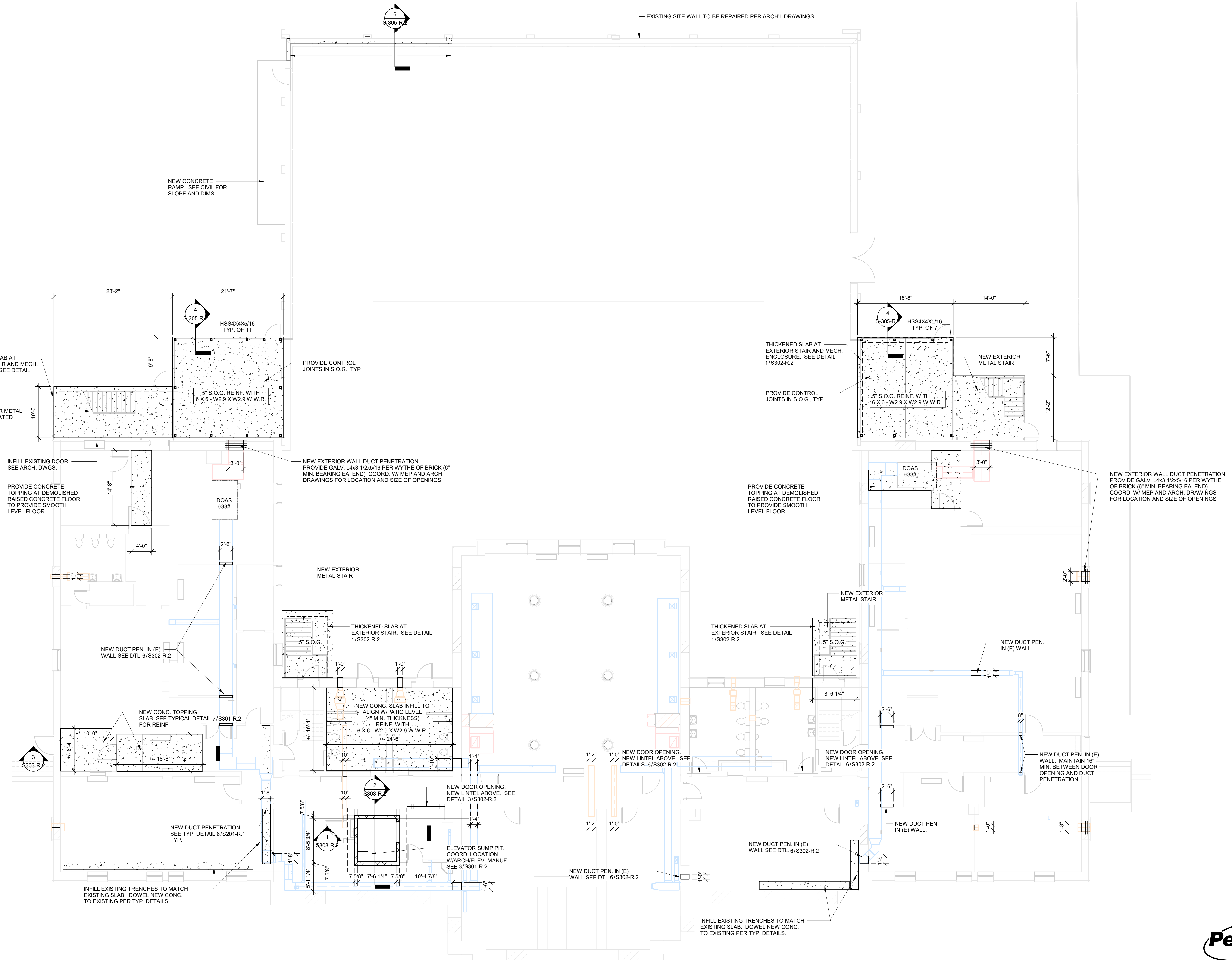
SCALE As indicated

DRAWN BY: W20

CHECKED BY: PBU

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

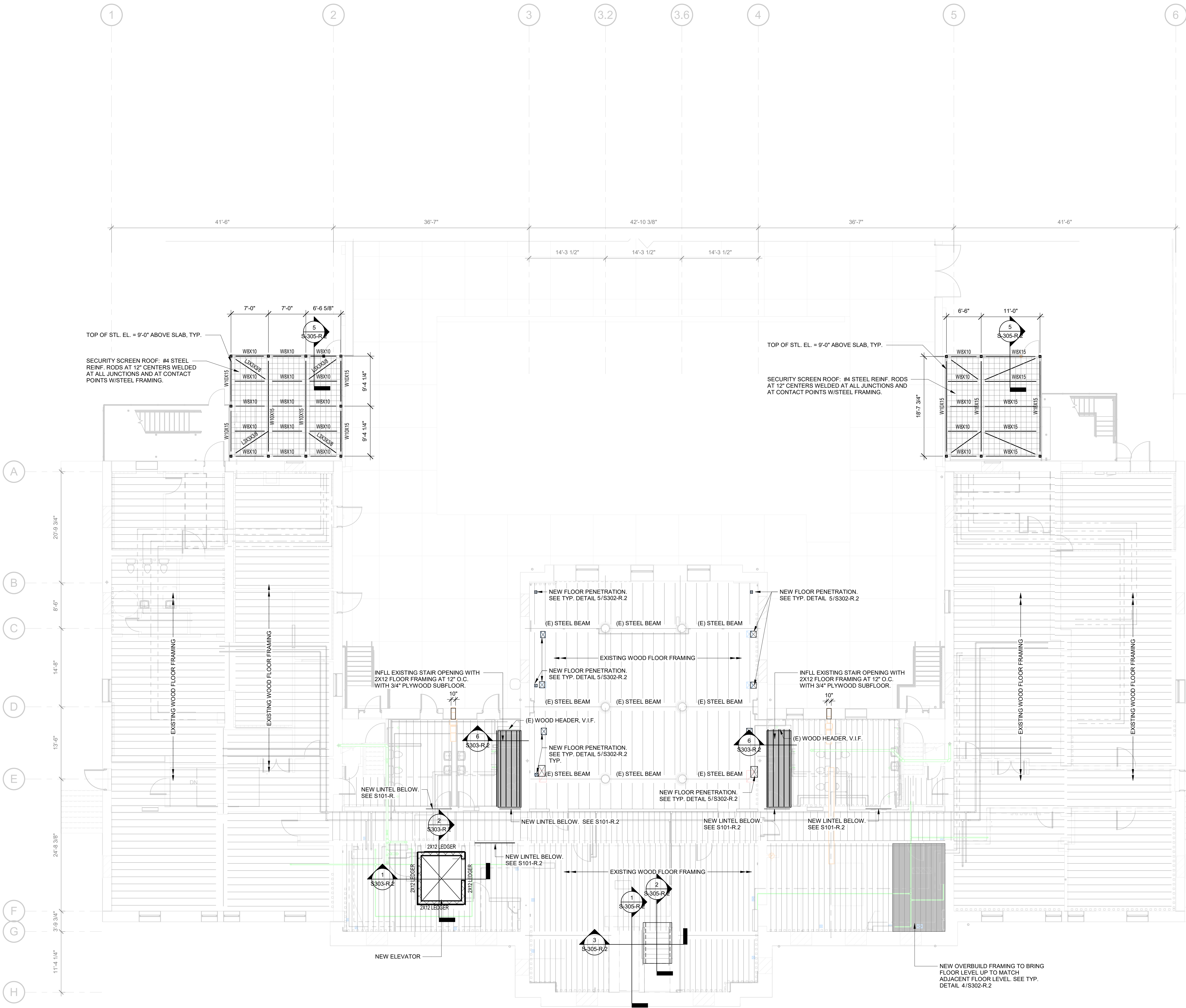
**PACKAGE 2 - IFB
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06/02/23**



STAMP AREA

1 LOWER LEVEL/FOUNDATION PLAN
1/8" = 1'-0"

- PLAN NOTES:**
- DATUM ELEVATION (0'-0") IS TOP OF EXISTING FIRST FLOOR SLAB.
 - ALL EXISTING DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
 - GC TO COORDINATE FINAL DIMENSIONS WITH MANUFACTURER OR SUBCONTRACTOR.
 - SEE GENERAL STRUCTURAL NOTES FOR WORK INVOLVING MODIFICATION OF THE EXISTING STRUCTURE.
 - GRAY SHADED AREAS INDICATES WORK NOT IN CONTRACT.



STAMP AREA

1 FIRST FLOOR
1/8" = 1'-0"

PLAN NOTES:

- DATUM ELEVATION (0'-0") IS TOP OF EXISTING FIRST FLOOR SLAB.
- ALL EXISTING DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- GO TO COORDINATE FINAL DIMENSIONS WITH MANUFACTURER OR SUBCONTRACTOR.
- SEE GENERAL STRUCTURAL NOTES FOR WORK INVOLVING MODIFICATION OF THE EXISTING STRUCTURE.
- GRAY SHADED AREAS INDICATES WORK NOT IN CONTRACT.

REVISIONS

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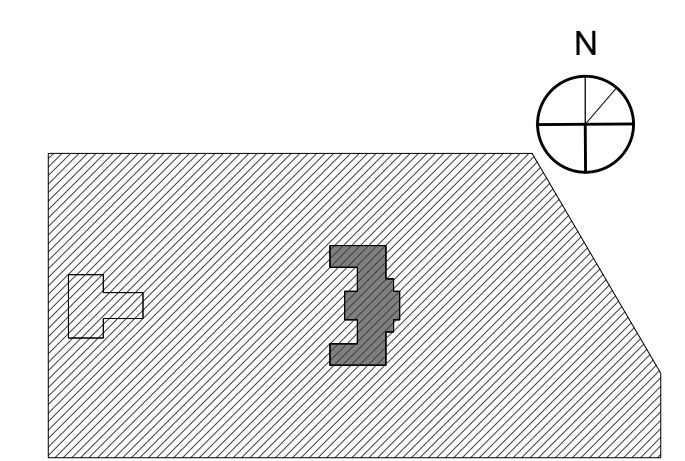
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PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



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DRAWING TITLE
FIRST FLOOR FRAMING PLAN

PROJECT NO. 21070 DRAWING NO. S102-R.2

DATE 05/09/2023 SCALE As indicated

DRAWN BY: W20 CHECKED BY: P10

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

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NOT FOR CONSTRUCTION
06/02/23**

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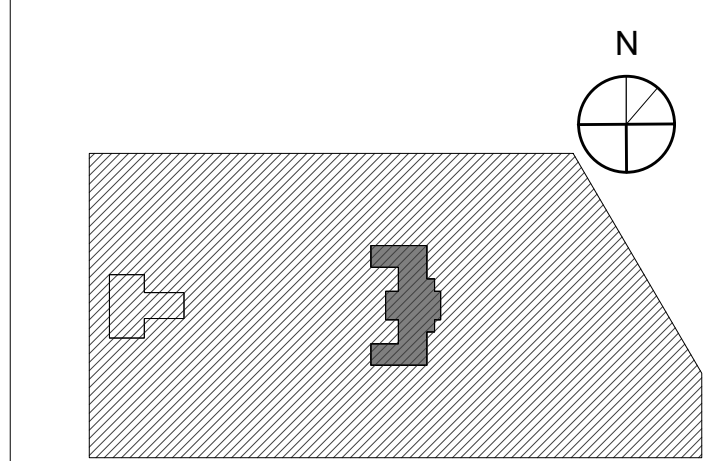
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



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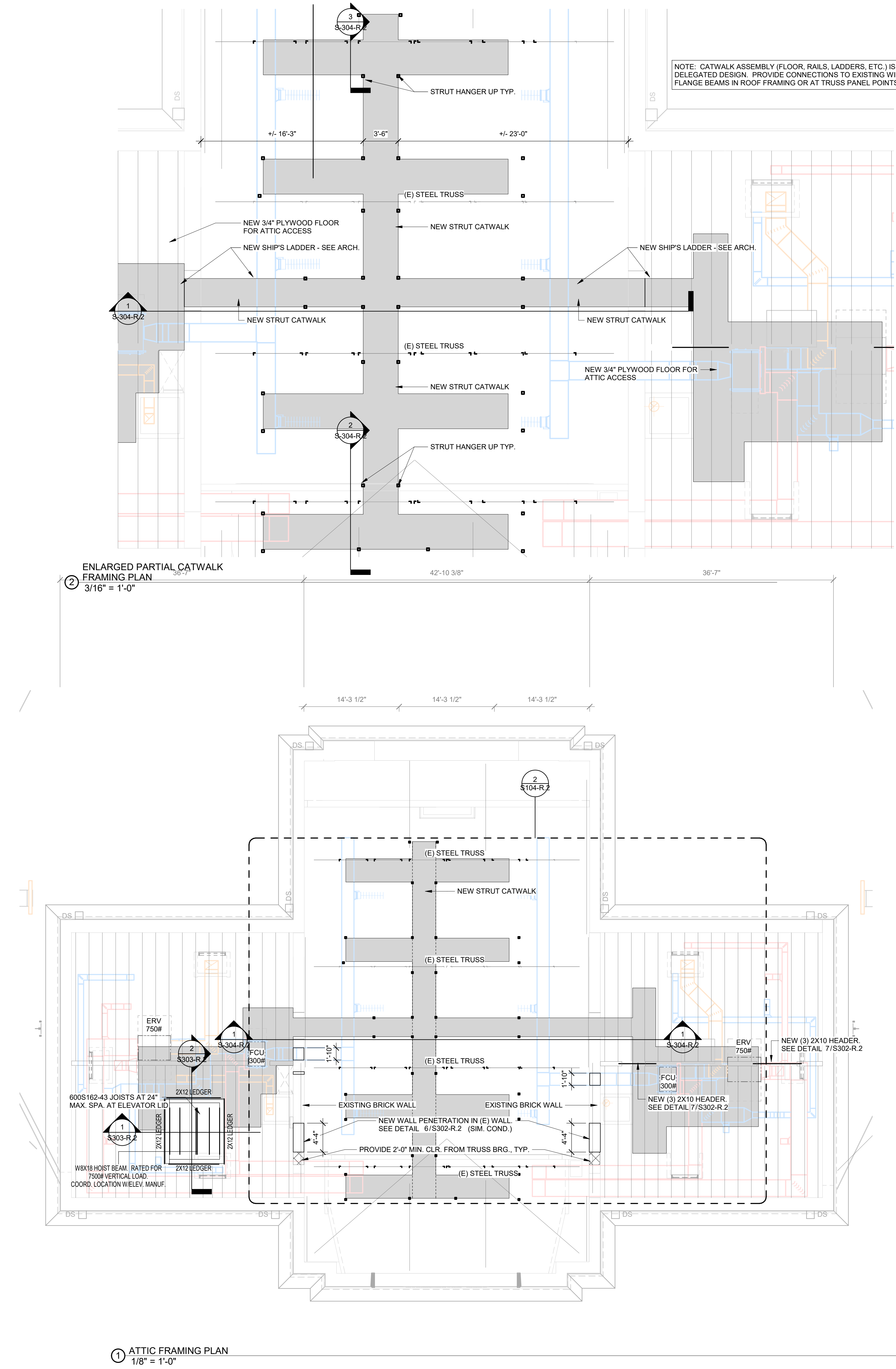
DRAWING TITLE
ATTIC FRAMING PLAN

PROJECT NO. 21070 DRAWING NO. S104-R.2

DATE 05/09/2023 SCALE As indicated

DRAWN BY: W20 CHECKED BY: Checker

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



NOTE: CATWALK ASSEMBLY (FLOOR, RAILS, LADDERS, ETC.) IS A DELEGATED DESIGN. PROVIDE CONNECTIONS TO EXISTING WIDE FLANGE BEAMS IN ROOF FRAMING OR AT TRUSS PANEL POINTS.

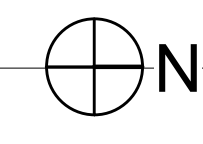
ENLARGED PARTIAL CATWALK FRAMING PLAN
3/16" = 1'-0"

ATTIC FRAMING PLAN
1/8" = 1'-0"

PLAN NOTES:

- DATUM ELEVATION (0'-0") IS TOP OF EXISTING FIRST FLOOR SLAB.
- ALL EXISTING DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
- GC TO COORDINATE FINAL DIMENSIONS WITH MANUFACTURER OR SUBCONTRACTOR.
- SEE GENERAL STRUCTURAL NOTES FOR WORK INVOLVING MODIFICATION OF THE EXISTING STRUCTURE.
- GRAY SHADED AREAS INDICATES WORK NOT IN CONTRACT.

STAMP AREA



PACKAGE 2 - IFB
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06/02/23

REVISIONS

ISSUE	DATE	DESCRIPTION
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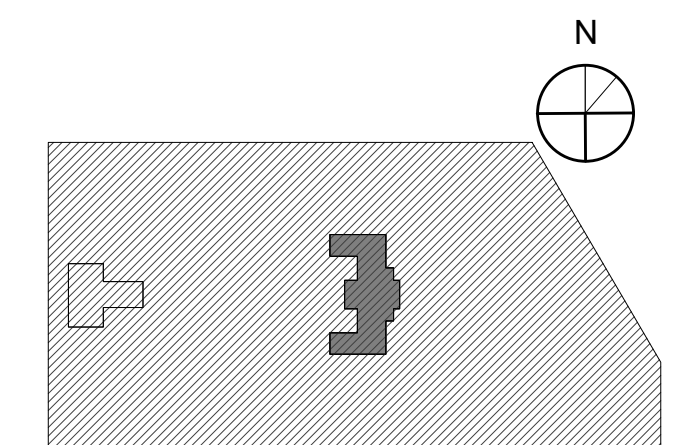
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

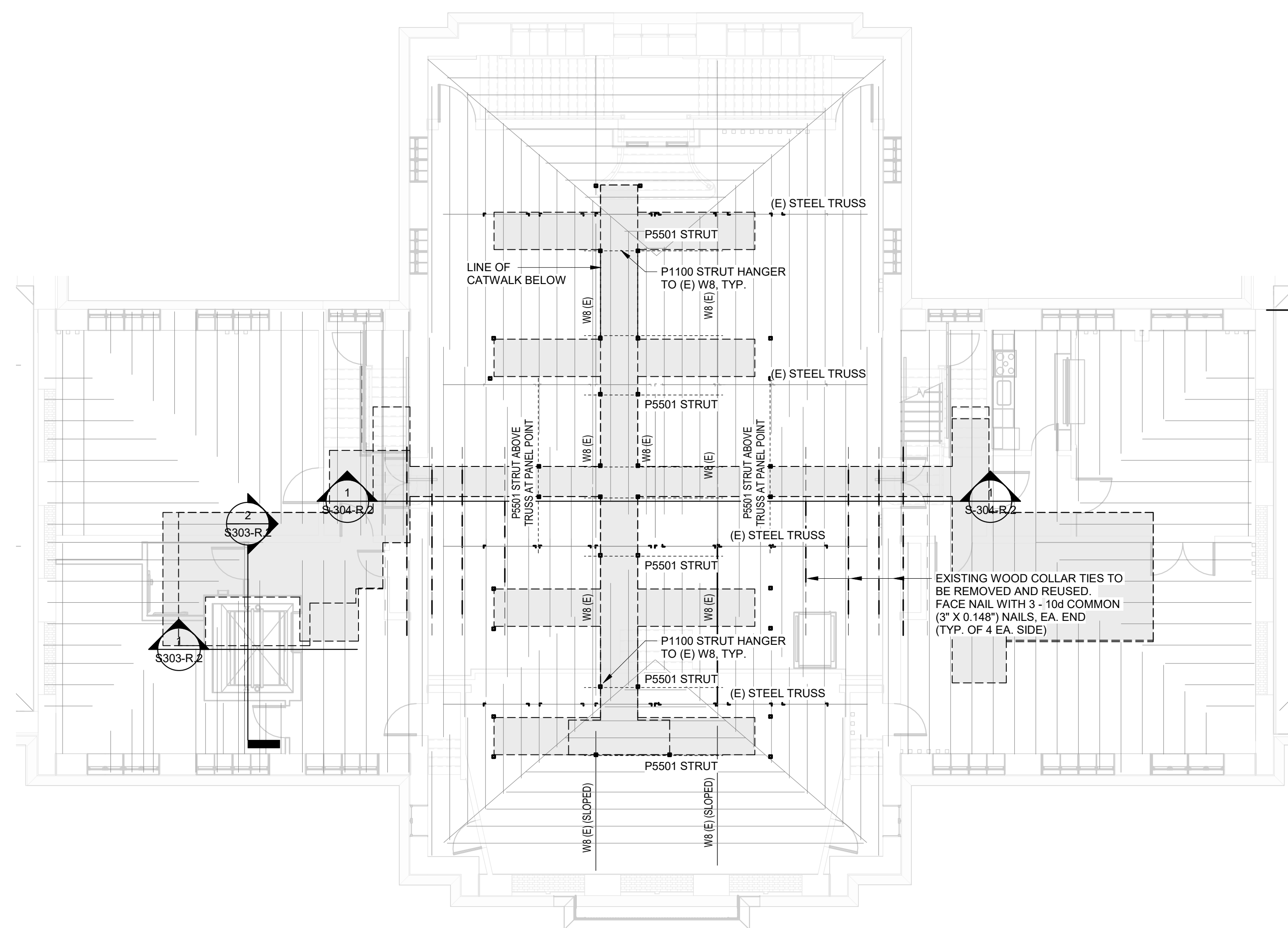
KEY PLAN



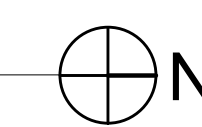
DRAWING TITLE
ROOF FRAMING PLAN

PROJECT NO.	DRAWING NO.
21070	S105-R.2
DATE: 05/09/2023	
SCALE: As indicated	
DRAWN BY: W20	
CHECKED BY: PBU	

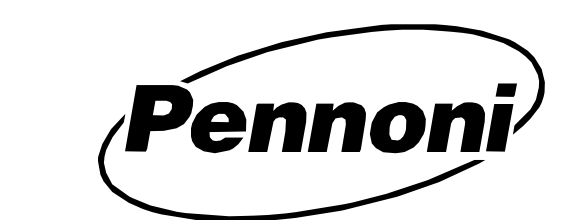
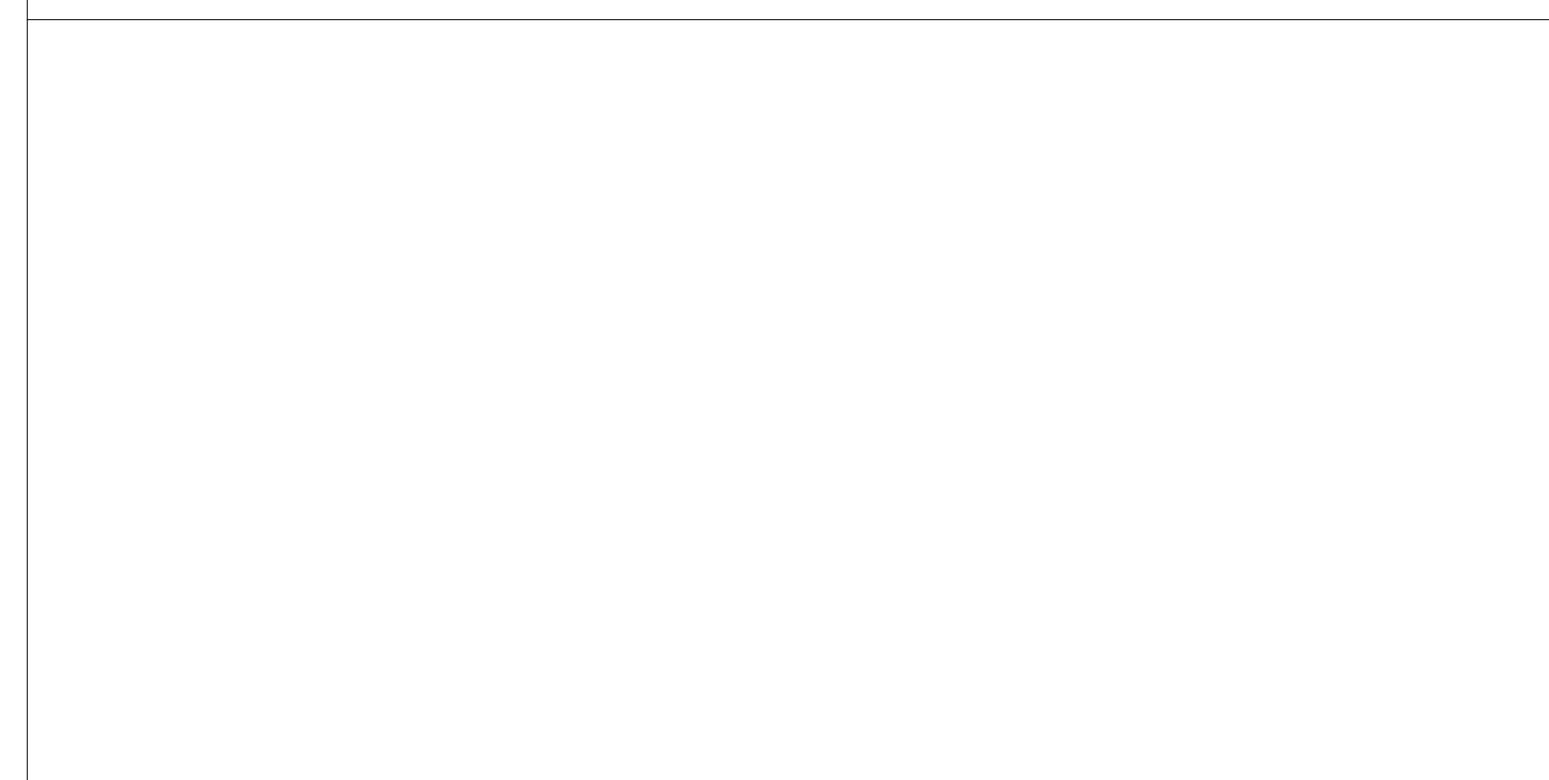
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1 ROOF FRAMING PLAN
1/8" = 1'-0"



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PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/23

REVISIONS

ISSUE	DATE	DESCRIPTION
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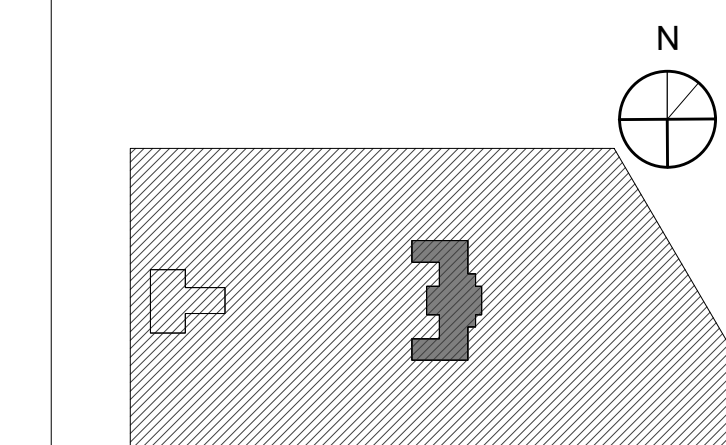
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PHILADELPHIA PENNSYLVANIA

KINGSSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

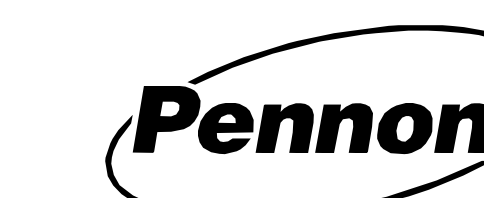
PROJECT TITLE

KEY PLAN



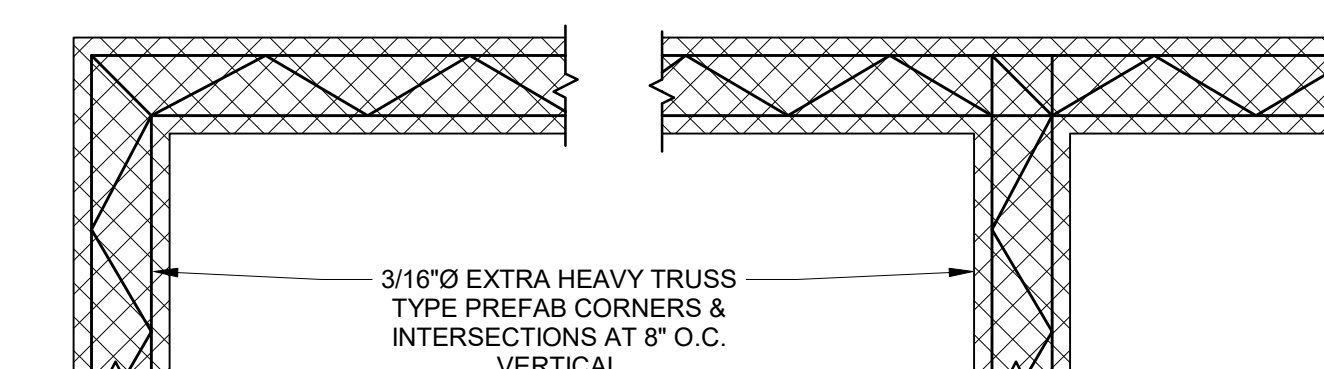
DRAWING TITLE
TYPICAL DETAILS

PROJECT NO. 21070	DRAWING NO.
DATE 05/09/2023	S301-R.2
SCALE As indicated	
DRAWN BY W20	
CHECKED BY PBU	
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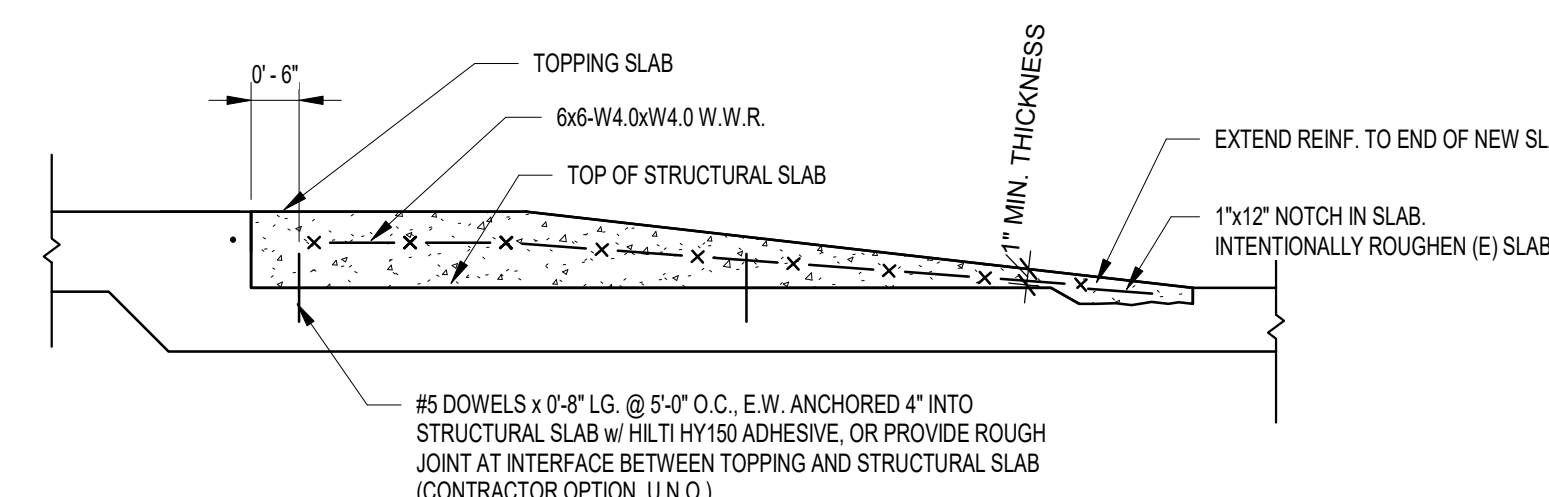


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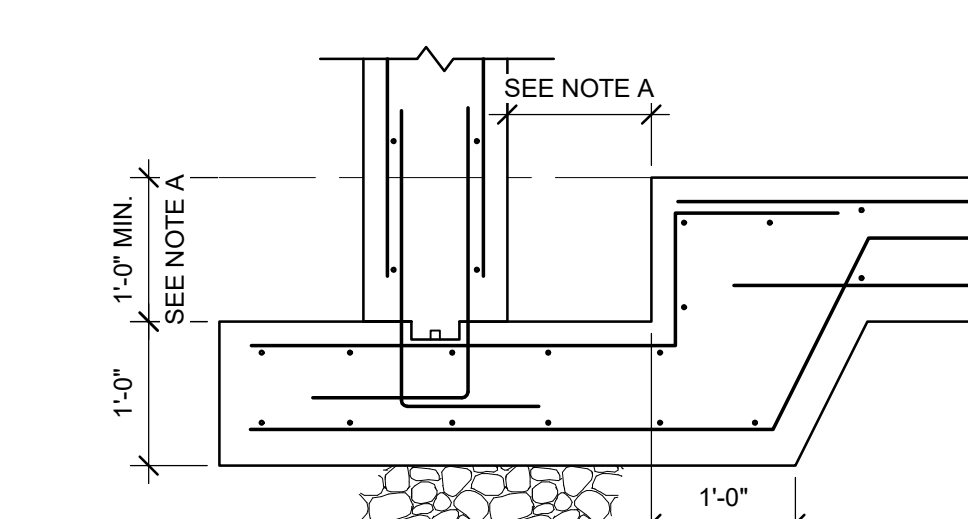
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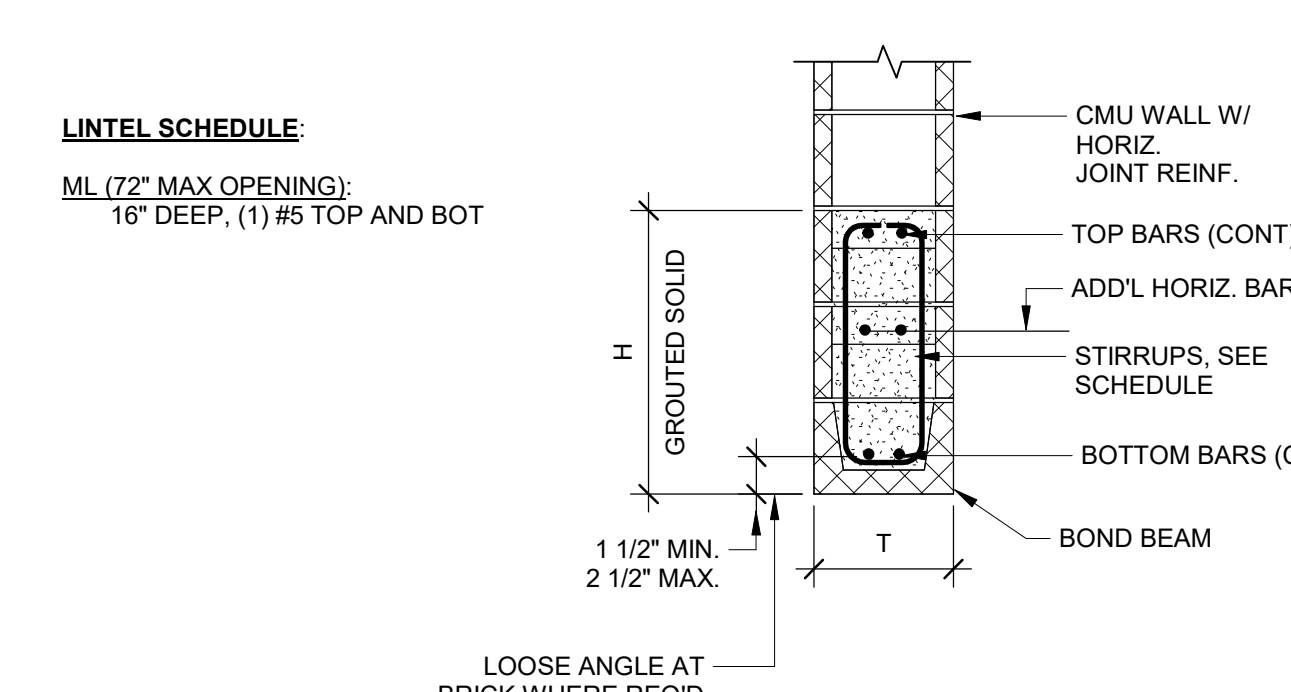
6 MASONRY WALL HORIZONTAL JOINT REINFORCEMENT
3/4" = 1'-0"



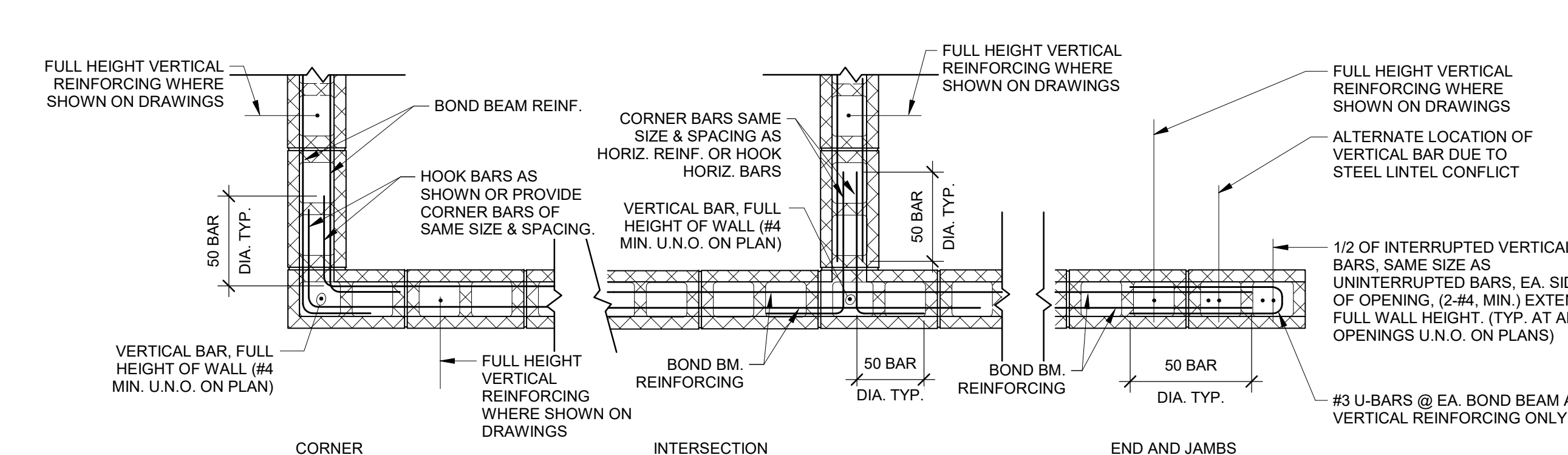
7 TOPPING SLAB
1/2" = 1'-0"



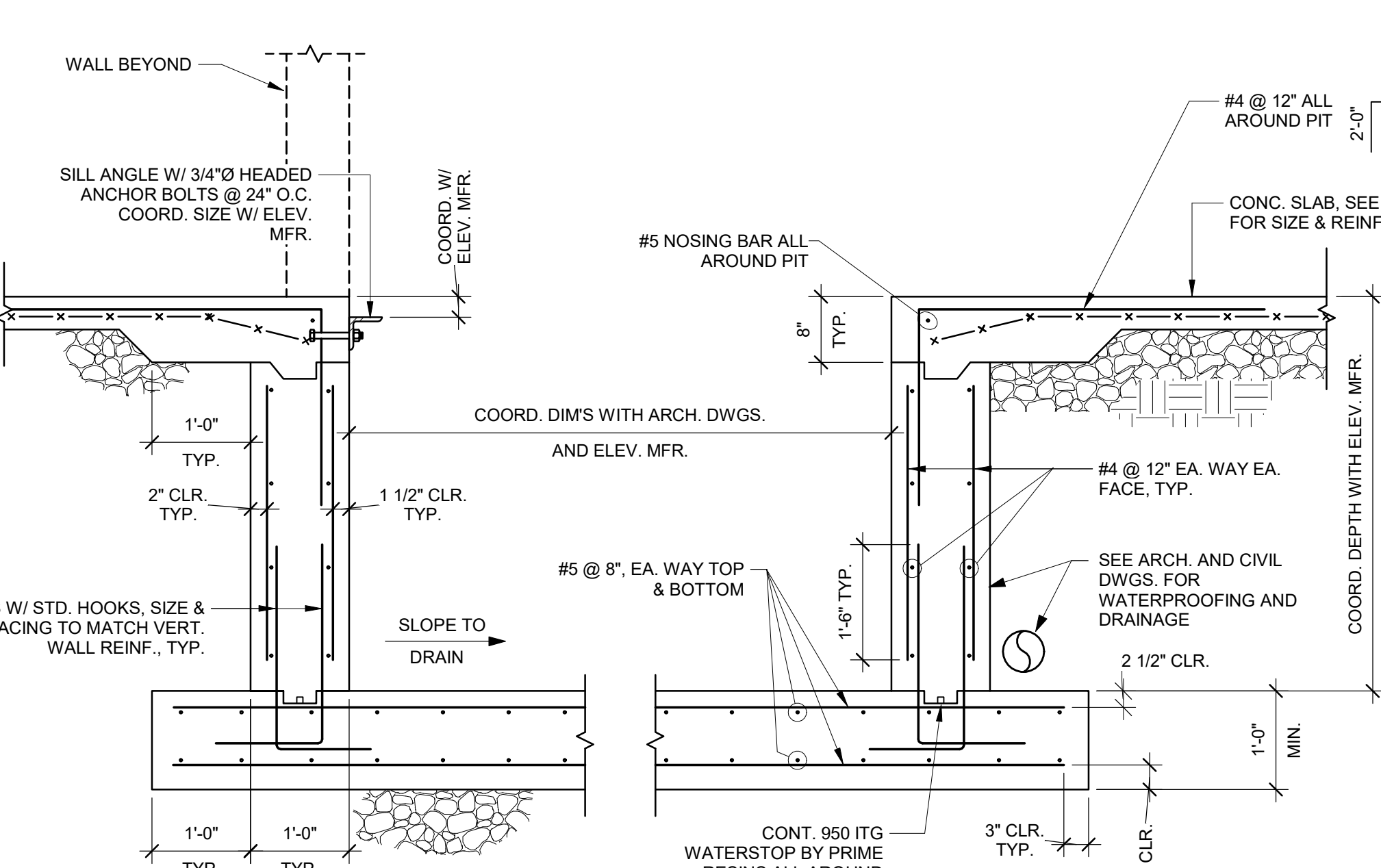
3 ELEVATOR SUMP PIT
3/4" = 1'-0"



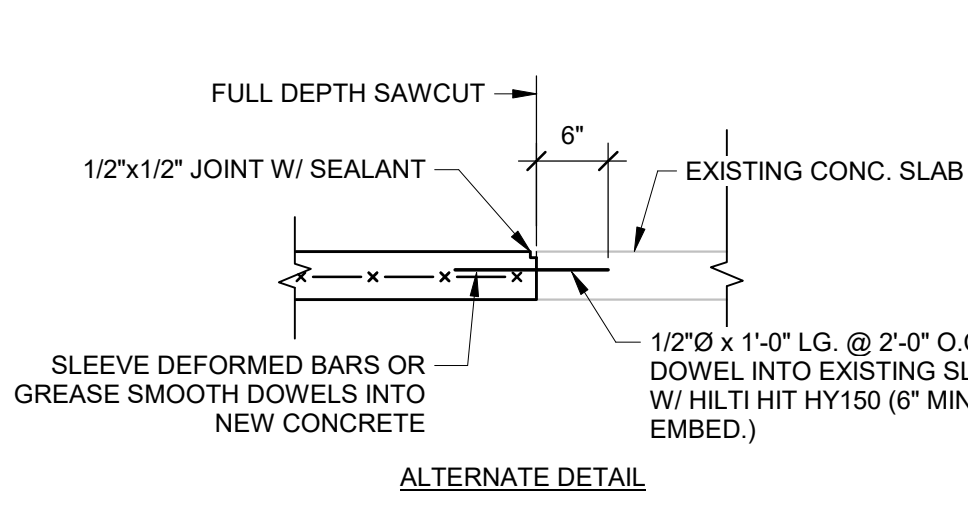
4 TYPICAL MASONRY WALL LINTEL
3/4" = 1'-0"



5 MASONRY WALL BOND BEAM REINFORCING
3/4" = 1'-0"



1 CONCRETE SINGLE ELEVATOR PIT DETAIL
3/4" = 1'-0"



2 NEW EXISTING SLAB JOINT
3/4" = 1'-0"

EXISTING SLAB REMOVAL & REPLACEMENT NOTES
EXISTING CONCRETE SLABS ON GRADE SHALL BE SAWCUT AND REMOVED TO INSTALL NEW UTILITIES AND/OR FOUNDATIONS. REFER TO DRAWINGS OF THE VARIOUS TRADES FOR LOCATIONS. SLAB CUTTING SHALL RESULT IN A MAXIMUM SLOPE OF 1:1 FROM THE BOTTOM OF THE EXCAVATION TO THE EDGE OF THE REMAINING EXISTING SLAB. THE EXTENT OF SLAB REMOVAL MUST BE DETERMINED BY THE CONTRACTOR BASED UPON THE DEPTHS AND SIZES OF EXCAVATIONS. IN ANY LOCATION WHERE SLAB CUTTING RESULTS IN STRIPS OF EXISTING REMAINING SLABS LESS THAN 10 FEET WIDE, REMOVE THE SLAB BETWEEN THE ADJACENT CUTS. DO NOT CUT INTO OR DAMAGE ANY LOAD BEARING CONCRETE FOUNDATION.

AFTER INSTALLATION OF UTILITIES AND/OR FOUNDATIONS, BACKFILL AND COMPACT WITH APPROVED, ENGINEERED FILL OR WITH "CONTROLLED LOW STRENGTH MATERIAL (CLSM). CLSM SHALL HAVE A COMPRESSIVE STRENGTH OF A MINIMUM OF 50 - 120 PSI.

DRILL AND EPOXY GROUT #4 x 1'-0" LG. REBAR AT MID-HEIGHT OF EXISTING SLAB. SPACE AT 2'-0" O.C. MAXIMUM AND EMBED 6 INCHES INTO EXISTING ADJACENT SLABS.

INSTALL NEW CONCRETE SLAB ON GRADE (THICKNESS TO MATCH EXISTING OR AS NOTED ON PLANS, (4" MIN.)), REINFORCED WITH 6x6 W2.0xW2.0 WWR OVER 6" CRUSHED STONE. PROVIDE JOINTS IN SLABS PER TYPICAL DETAILS.

STAMP AREA

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/23

REVISIONS

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06/02/23 ISSUE FOR BID



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PROJECT COORDINATOR

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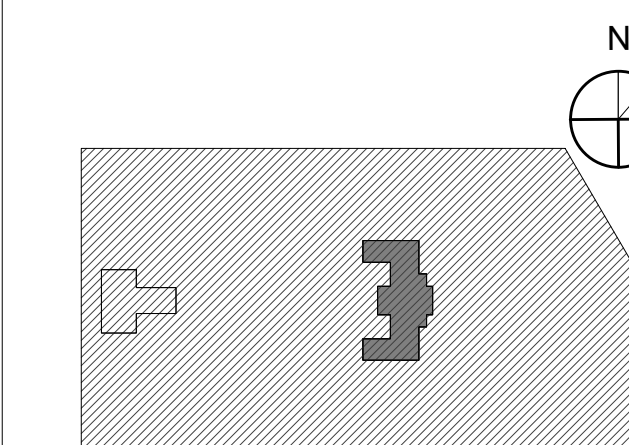
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LEED CONSULTANT:
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CITY OF PHILADELPHIA
REBUILD / PHILADELPHIA PARKS AND RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

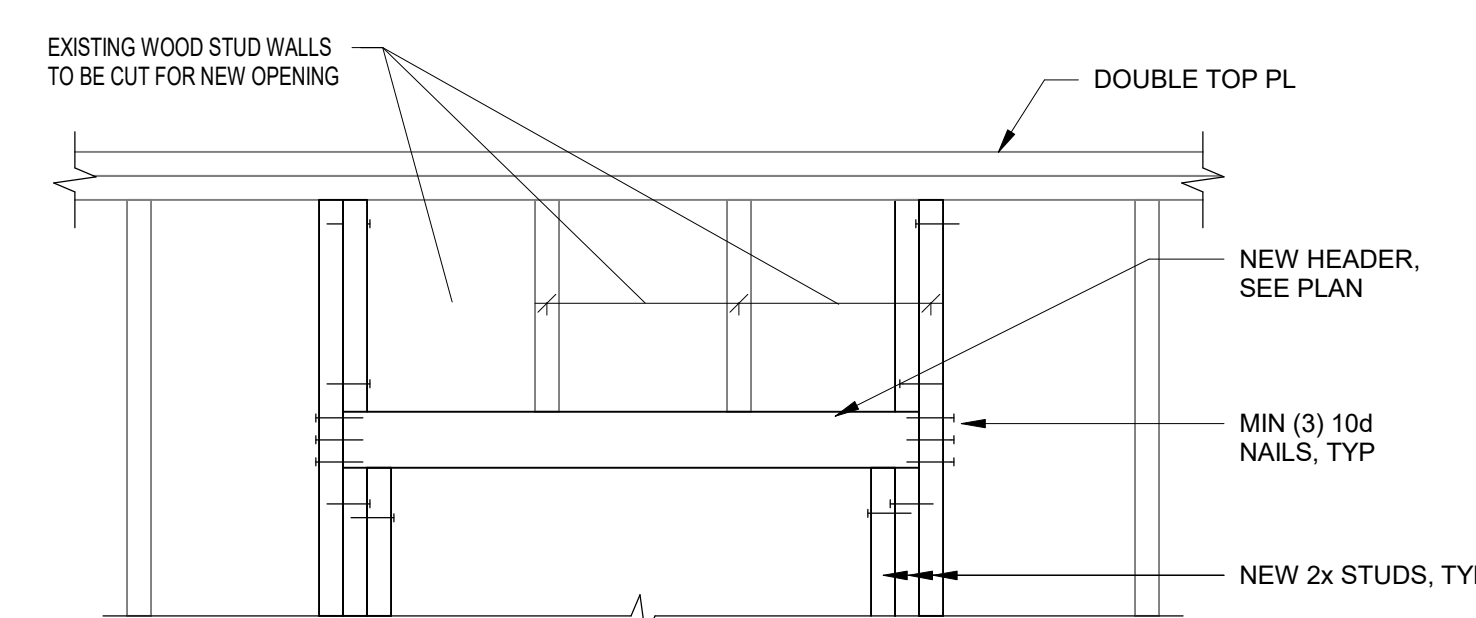
KEY PLAN



PENNONI ASSOCIATES INC.
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7 TYPICAL INTERIOR HEADER DETAIL IN EXISTING WALL
1" = 1'-0"

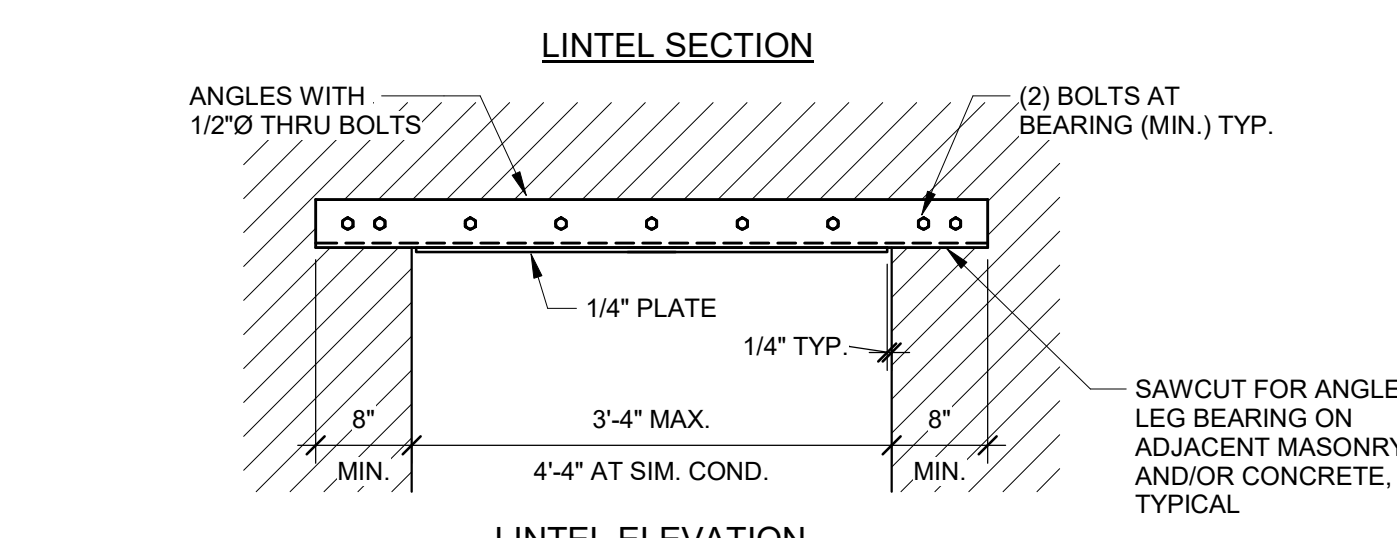
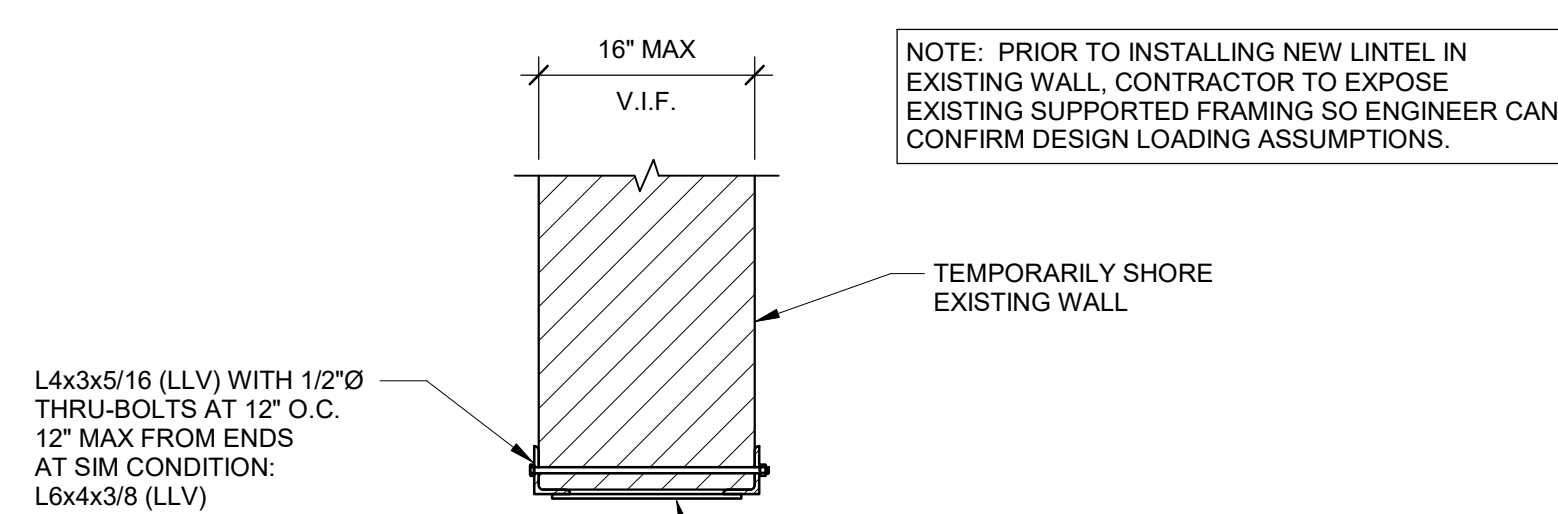
MISCELLANEOUS BOND OR PRECAST MASONRY LINTEL SCHEDULE			
WALL THICKNESS	MASONRY OPENING UP TO 6'-0"	MASONRY OPENING 6'-1" TO 8'-0"	MASONRY OPENING 8'-1" TO 10'-0"
6" WALL	6"x8" CONCRETE WITH (1) - #5 TOP AND BOTTOM		
8" WALL	8"x8" CONCRETE WITH (2) - #4 TOP AND BOTTOM OR 8"x8" BOND BEAM WITH (1) - #5 TOP AND BOTTOM	8"x8" CONCRETE WITH (2) - #4 TOP AND BOTTOM OR 8"x16" BOND BEAM WITH (1) - #6 TOP AND BOTTOM	8"x12" CONCRETE WITH (2) - #5 TOP AND BOTTOM OR 8"x16" BOND BEAM WITH (2) - #5 TOP AND BOTTOM

NOTE:
1. PROVIDE MINIMUM 8" BEARING ON BRICK, SOLID OR GROUTED SOLID CONCRETE BLOCK.
2. REFER TO ARCH AND MECH DRAWINGS FOR LOCATION AND SIZE OF FOR NON-BEARING MASONRY WALL.

MISCELLANEOUS STEEL ANGLE MASONRY WALL LINTEL SCHEDULE			
WALL THICKNESS	MASONRY OPENING UP TO 4'-0"	MASONRY OPENING 4'-1" TO 6'-0"	MASONRY OPENING 6'-1" TO 8'-0"
6" WALL	JL 3 1/2x2 1/2x5/16	JL 3 1/2x2 1/2x5/16	JL 3 1/2x2 1/2x3/8
8" WALL	JL 3 1/2x3 1/2x5/16	JL 4x3 1/2x5/16	JL 6x3 1/2x3/8
12" WALL OR GREATER	L 3 1/2x3 1/2x5/16 PER 4" WIDTH OF WALL	L 4x3 1/2x5/16 PER 4" WIDTH OF WALL	L 6x3 1/2x3/8 PER 4" WIDTH OF WALL

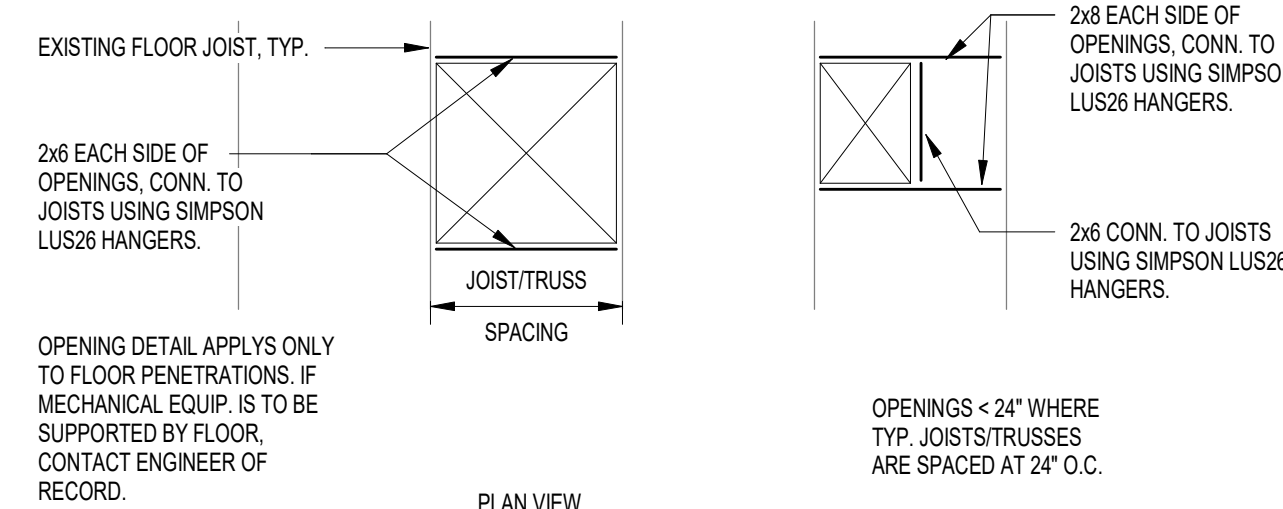
NOTES:
1. REFER TO ARCH AND MECH DRAWINGS FOR LOCATION AND SIZE OF OPENINGS FOR NON-BEARING MASONRY WALLS.
2. PROVIDE MINIMUM 6" BEARING ON BRICK, SOLID OR GROUTED SOLID CONCRETE BLOCK, BUT NOT LESS THAN 1" OF BEARING PER FOOT OF SPAN.
3. ALL ANGLES LONG LEG VERTICAL.

3 TYPICAL DETAIL MISCELLANEOUS BOND OR PRECAST MASONRY LINTEL SCHEDULE
1/2" = 1'-0"

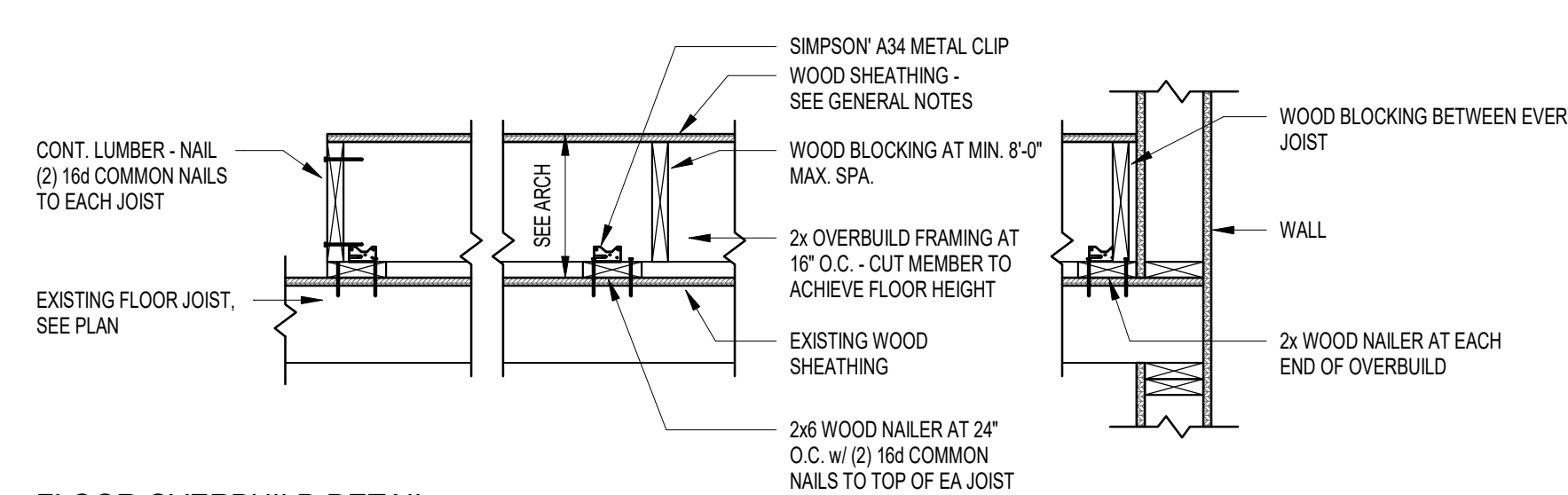


CONSTRUCTION SEQUENCE:
1. SAWCUT KERF AT MORTAR JOINT ONE SIDE OF WALL.
2. INSERT HORIZONTAL LEG OF ANGLE.
3. SAWCUT KERF AT MORTAR JOINT ON OPPOSITE SIDE OF WALL.
4. INSERT HORIZONTAL LEG OF SECOND ANGLE.
5. INSTALL THRU BOLTS.
6. DEMO WALL BELOW.
7. INSTALL COVER PLATE.

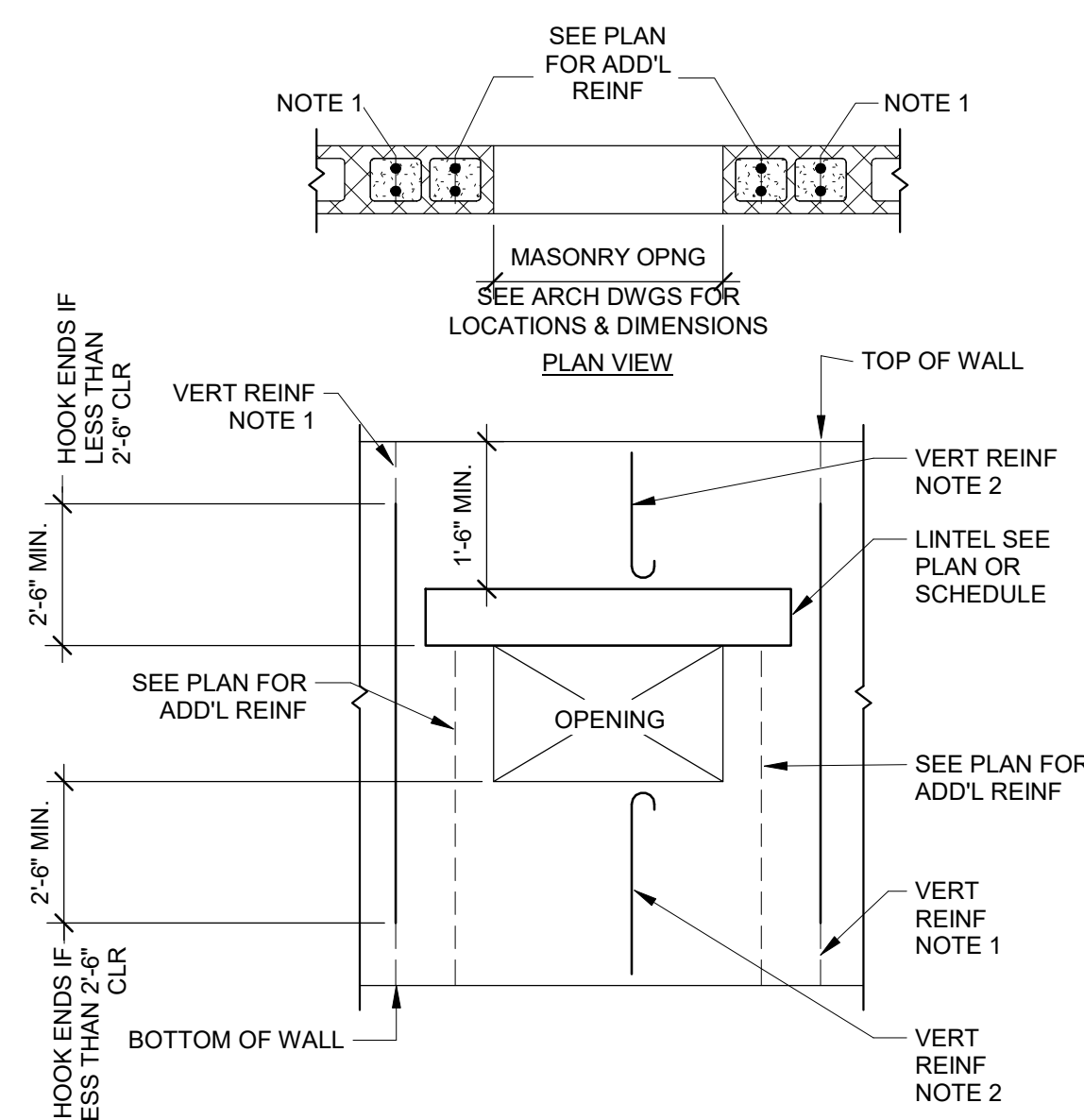
6 TYPICAL NEW OPENING IN EXISTING MASONRY WALL DETAIL
3/4" = 1'-0"



5 TYPICAL FRAMING AT FLOOR OPENINGS
3/4" = 1'-0"

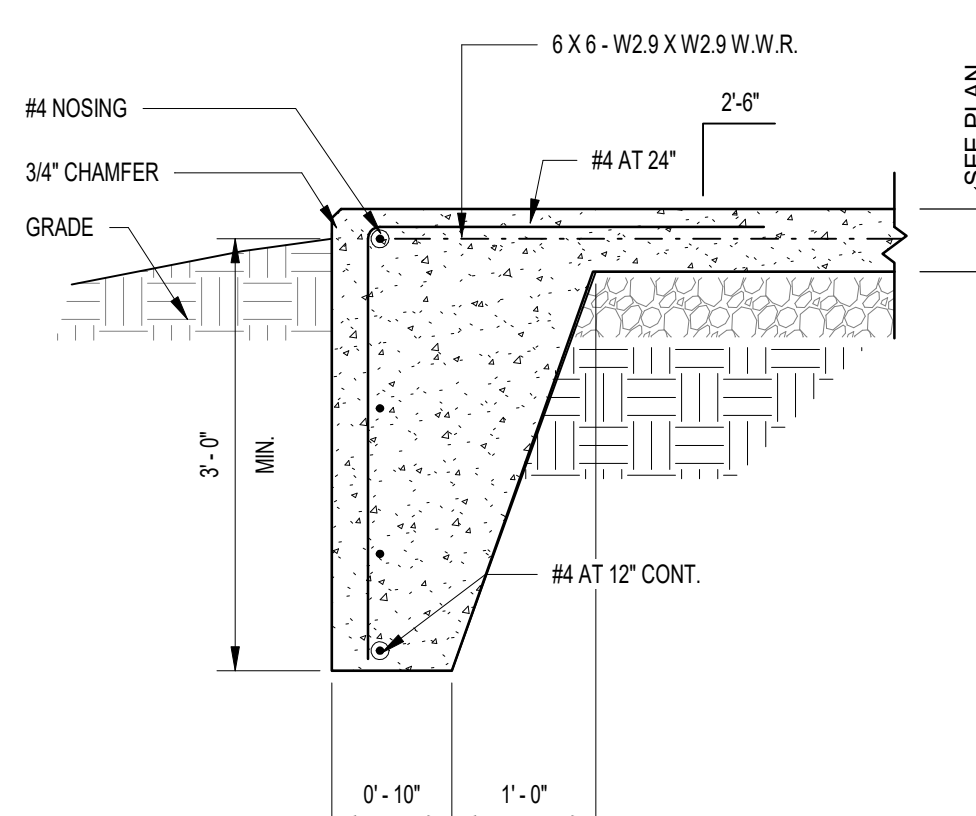


4 FLOOR OVERBUILD DETAIL
3/4" = 1'-0"



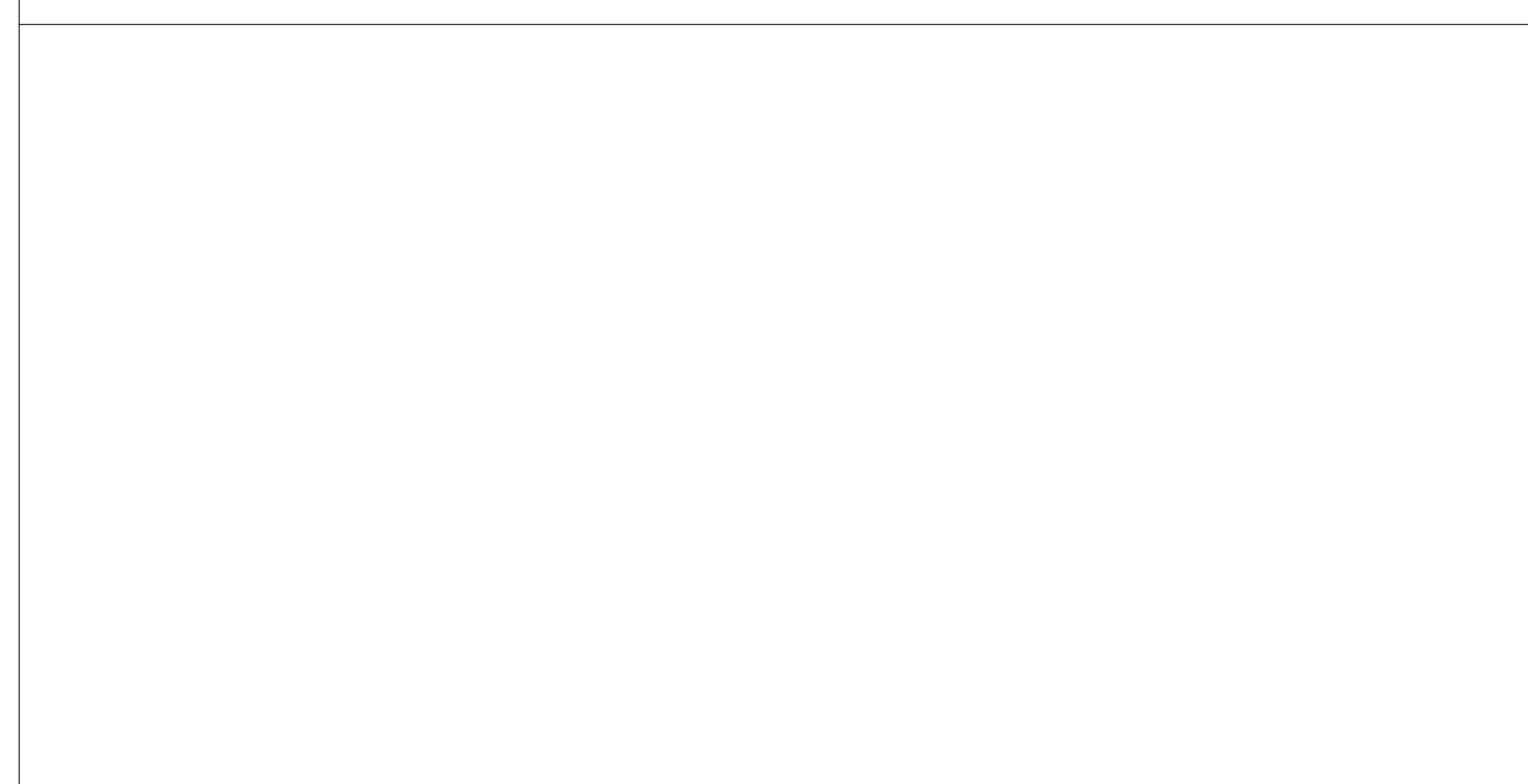
NOTES:
1. REINFORCED WALL: ALL INTERRUPTED VERT. BARS SHALL BE COMPENSATED FOR BY ADDITIONAL BARS ON EACH SIDE OF OPENING FULL HEIGHT OF WALL. TOTAL AREA OF ADD'L BARS SHALL EQUAL AREA OF INTERRUPTED BARS. PROVIDE MIN (2)#5 EACH SIDE OF OPENING.
2. REINFORCED WALL: SIZE & SPACING OF REINF INDICATED ON PLAN. PROVIDE HOOKED ENDS ON ALL DISCONTINUOUS BARS.

2 MASONRY WALL OPENING
1/2" = 1'-0"



1 DOWN-TURNED SLAB DETAIL
3/4" = 1'-0"

STAMP AREA



PROJECT NO. 21070	DRAWING NO. S302-R.2
DATE 05/09/2023	SCALE As indicated
DRAWN BY W20	CHECKED BY PNU
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

REVISIONS

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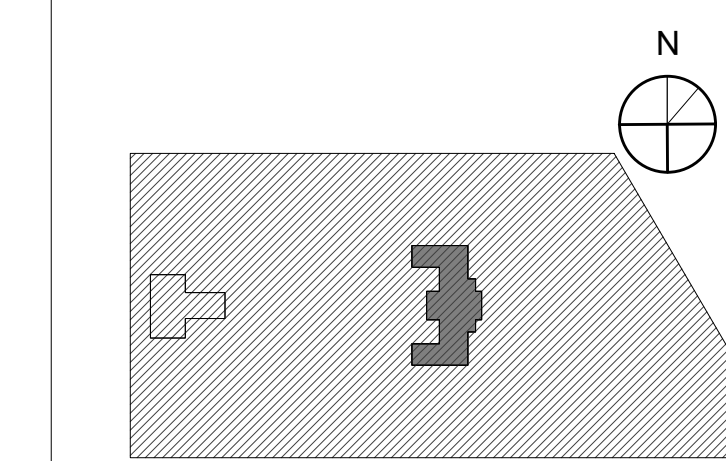
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11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

KINGSSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN

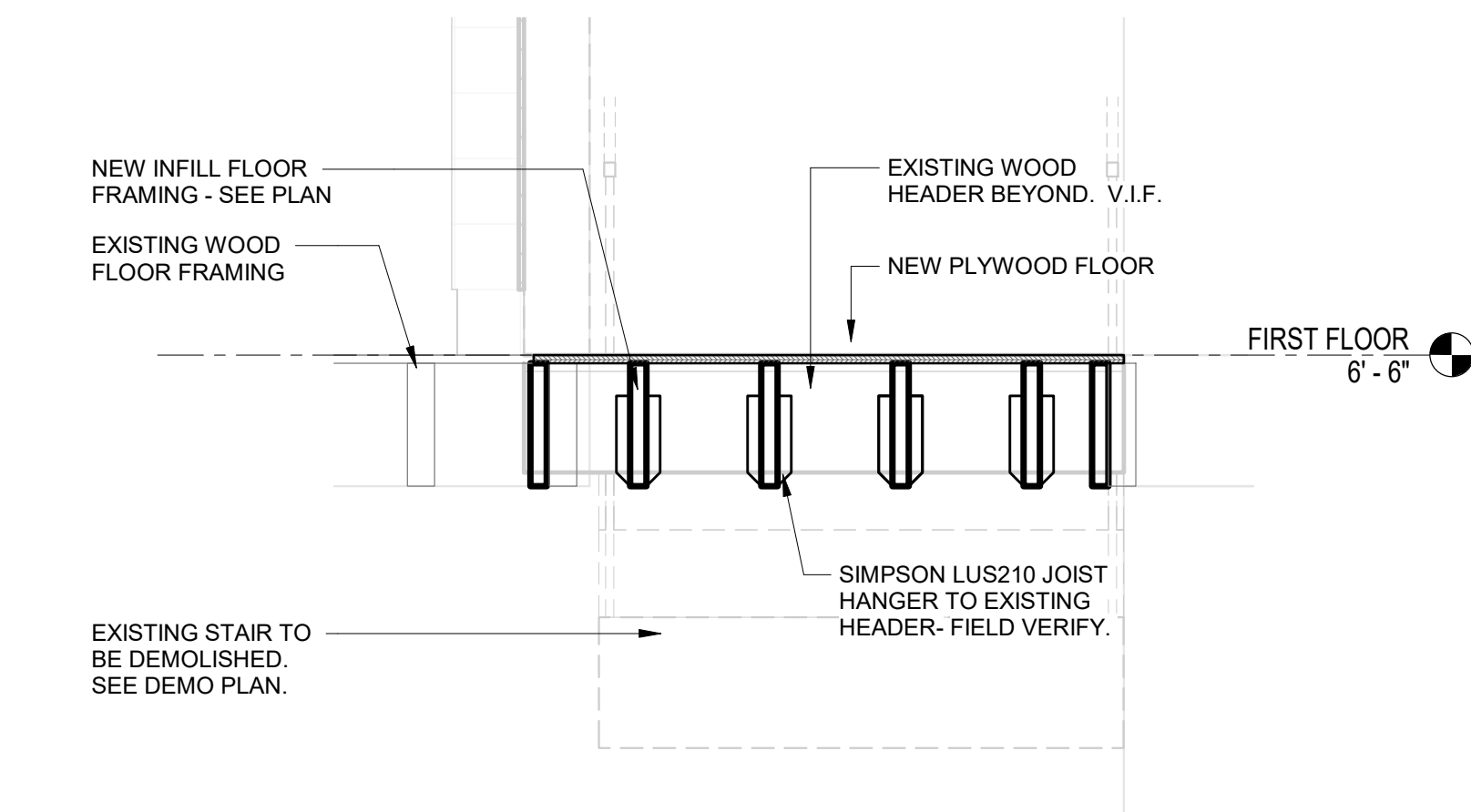
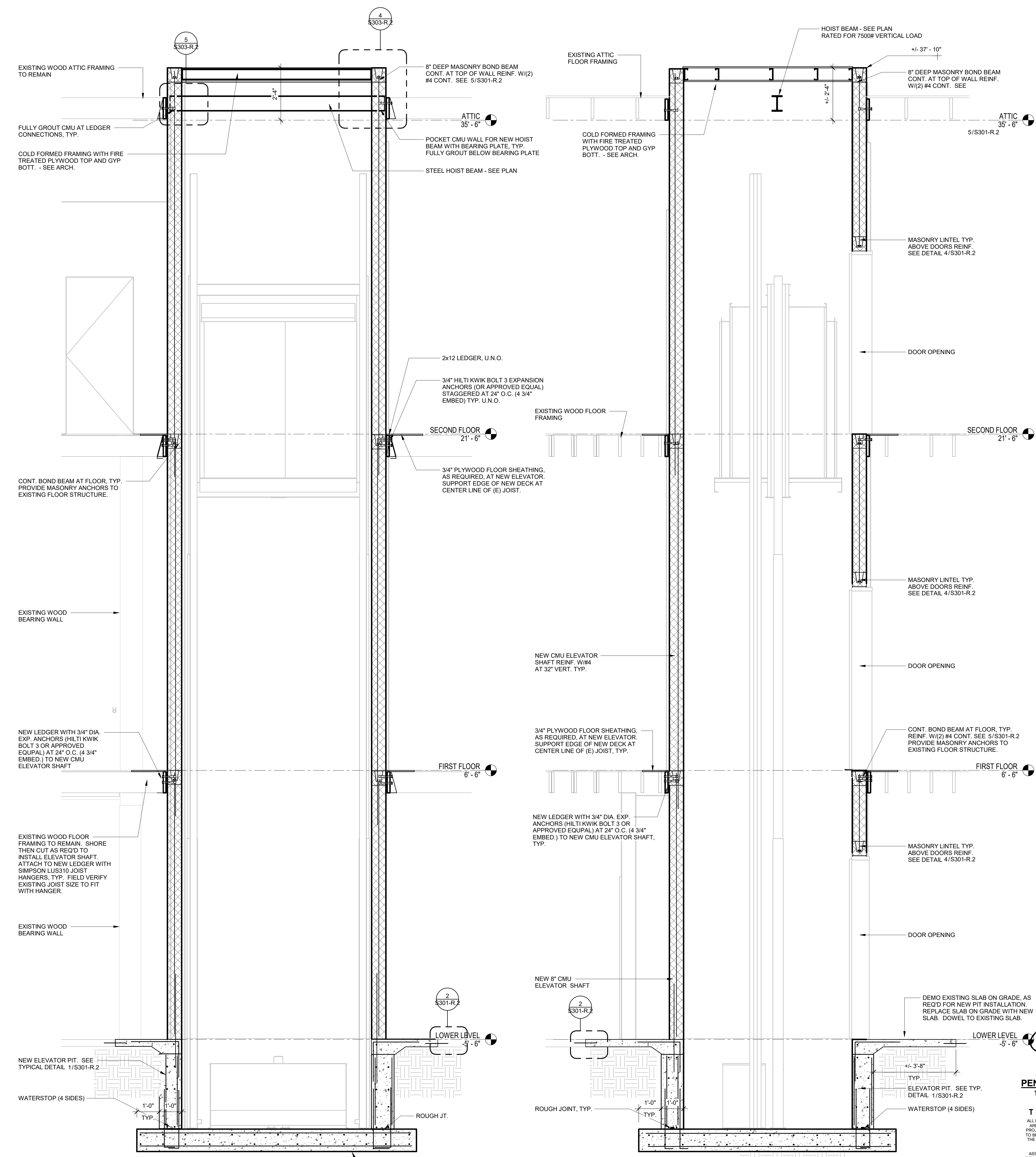


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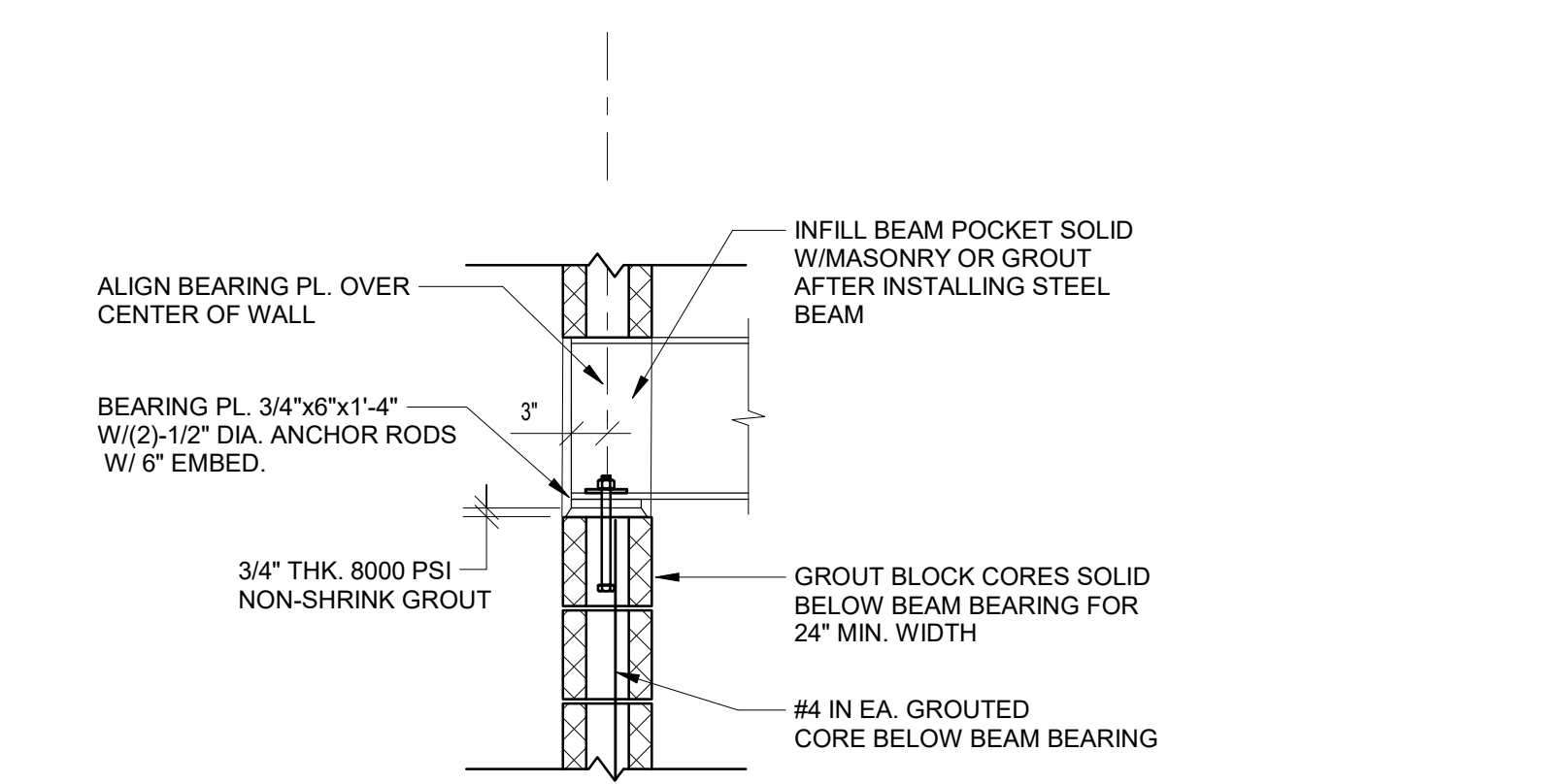
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PROJECT NO.	DRAWING NO.
21070	S303-R.2
DATE: 05/09/2023	SCALE: As indicated
DRAWN BY: WZD	CHECKED BY: PHU

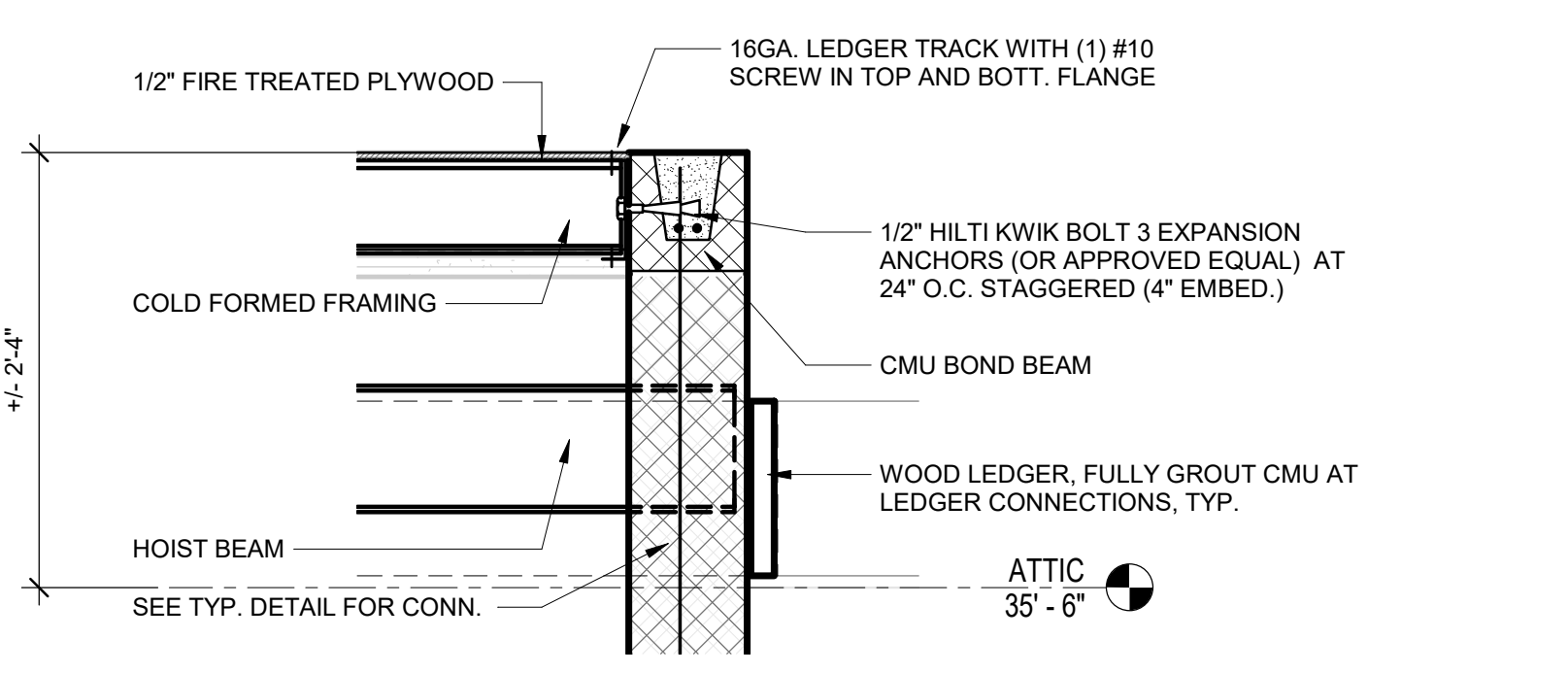
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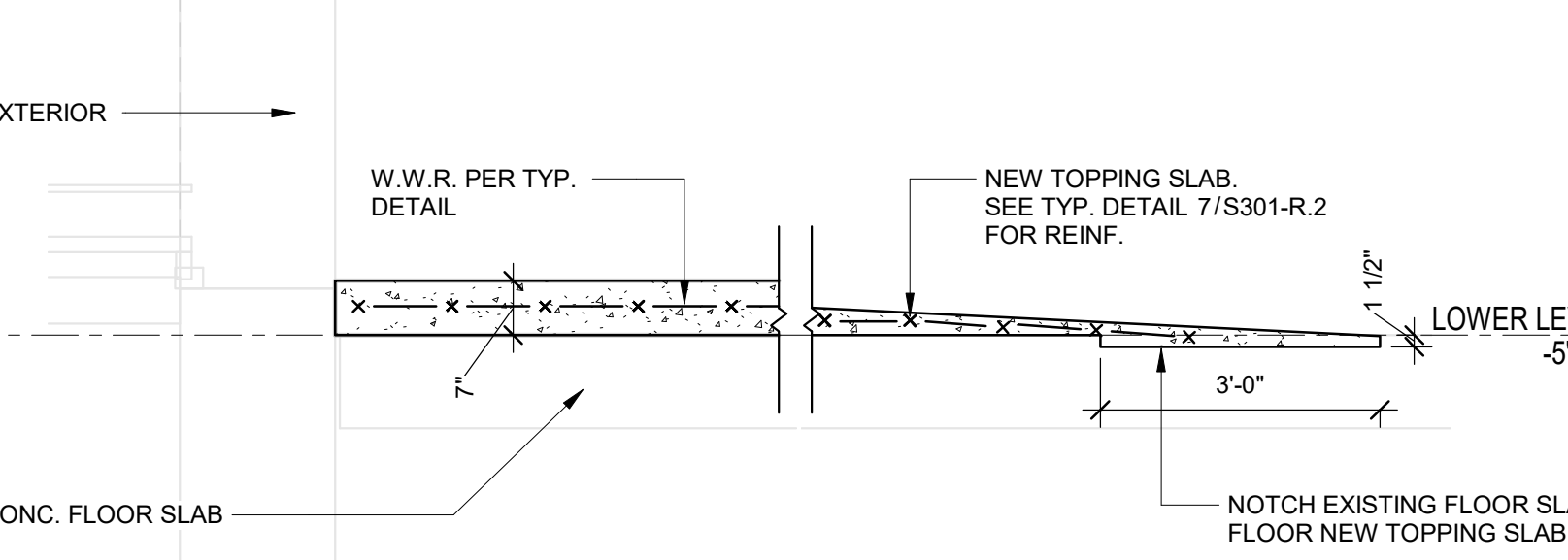
6 SECTION AT FLOOR INFILL
3/4" = 1'-0"



5 HOIST BEAM BEARING PERPENDICULAR TO MASONRY WALL
3/4" = 1'-0"



4 SECTION AT ELEVATOR SHAFT CEILING
1" = 1'-0"



3 SECTION
1/2" = 1'-0"

2 SECTION AT ELEVATOR
1/2" = 1'-0"

1 SECTION AT ELEVATOR
1/2" = 1'-0"

STAMP AREA

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/23

REVISIONS

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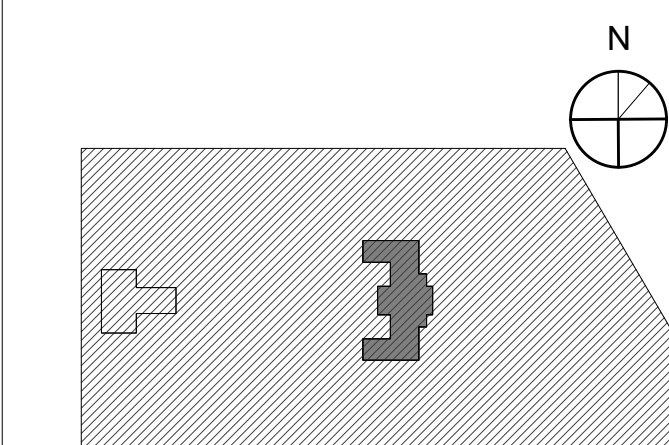
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11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

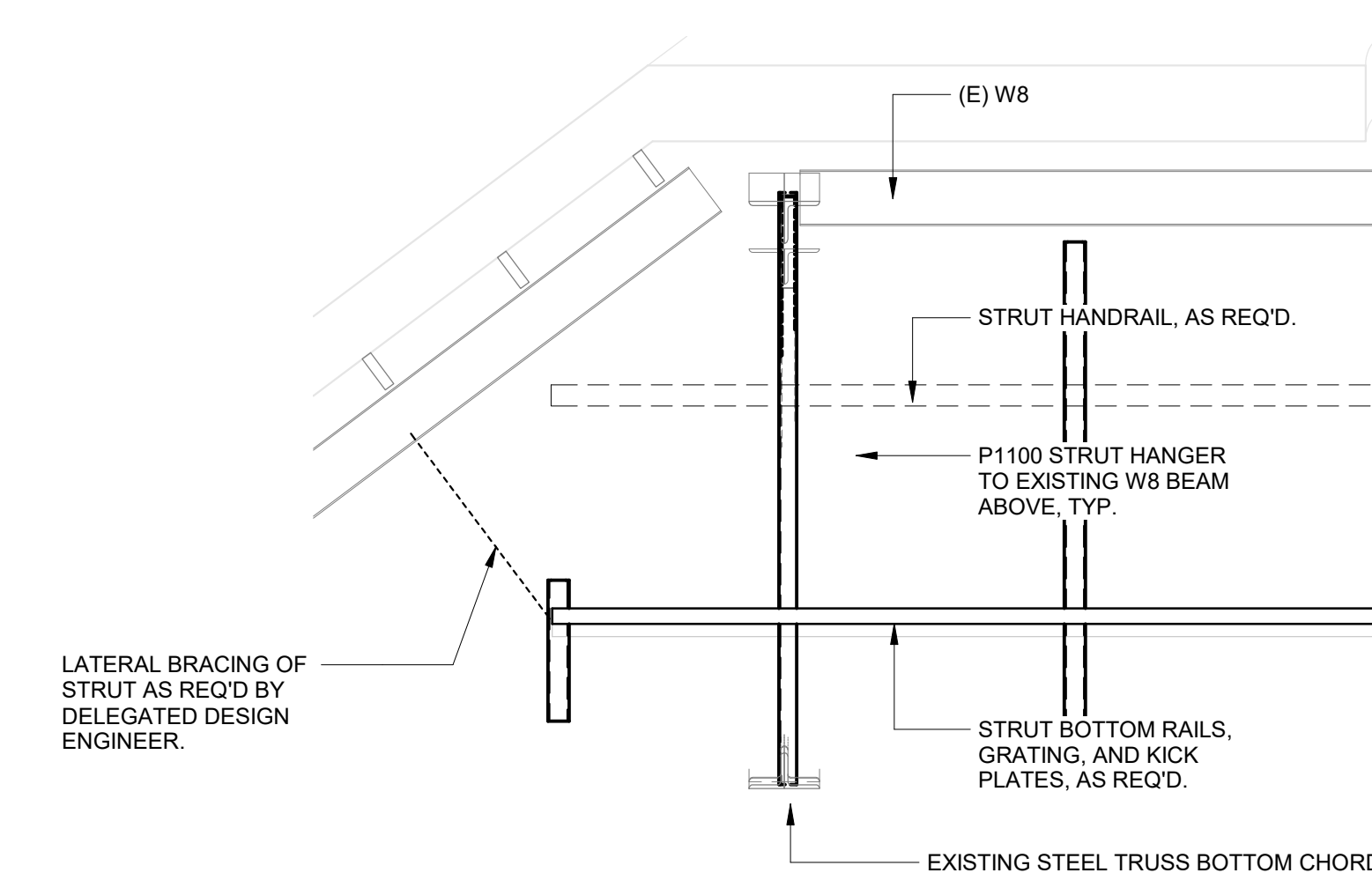
KEY PLAN



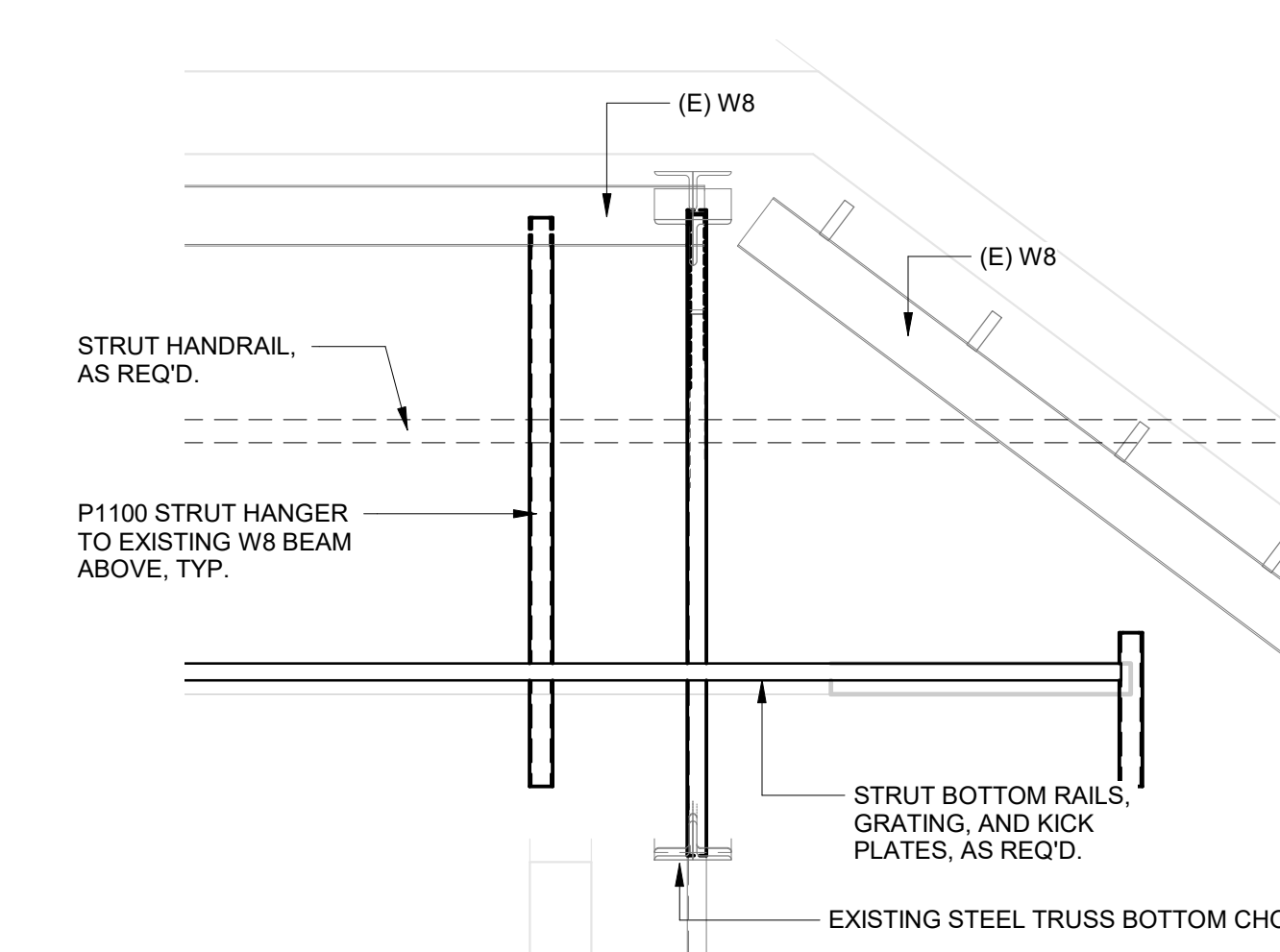
SECTIONS

PROJECT NO. 21070	DRAWING NO. S-304-R.2
DATE 05/09/2023	
SCALE As indicated	
DRAWN BY: W20	
CHECKED BY: PM	

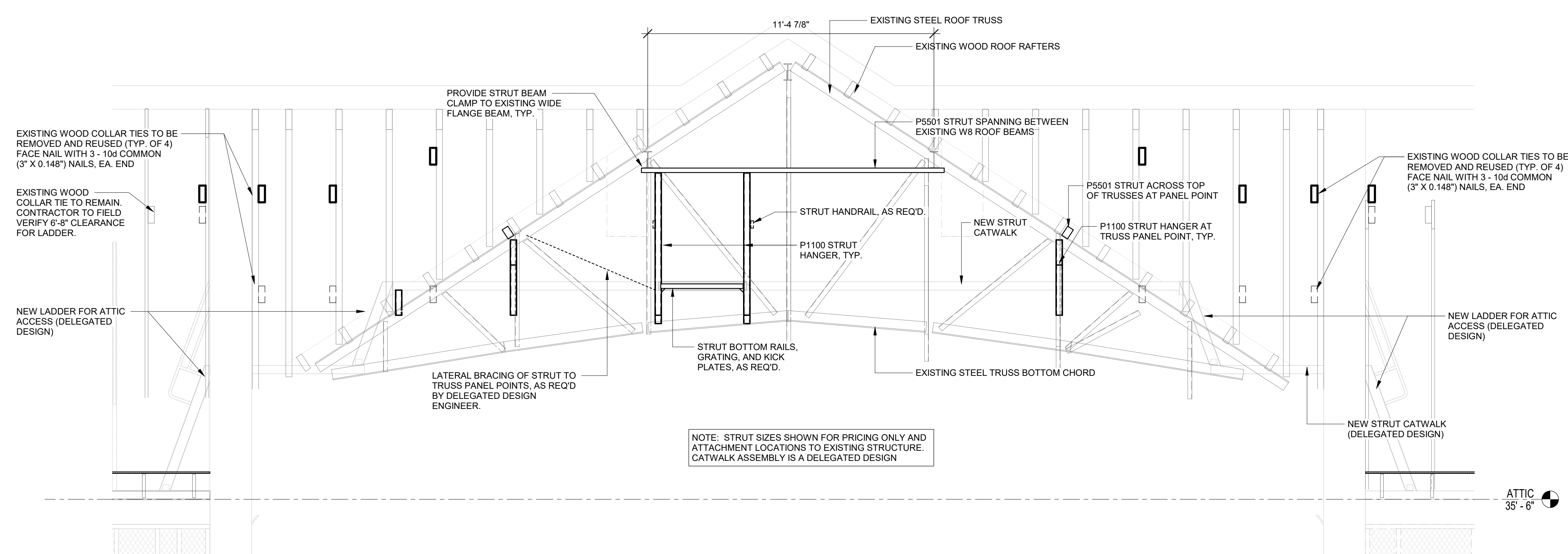
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3 SECTION
1/2" = 1'-0"



2 SECTION
1/2" = 1'-0"



1 SECTION AT ATTIC CATWALK
3/8" = 1'-0"

STAMP AREA

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/23

REVISIONS

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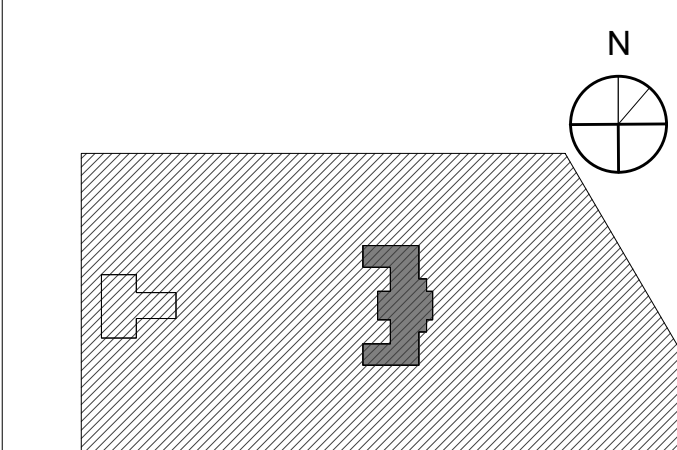
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KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



SECTIONS

PROJECT NO. 21070

DATE 05/09/2023

SCALE As indicated

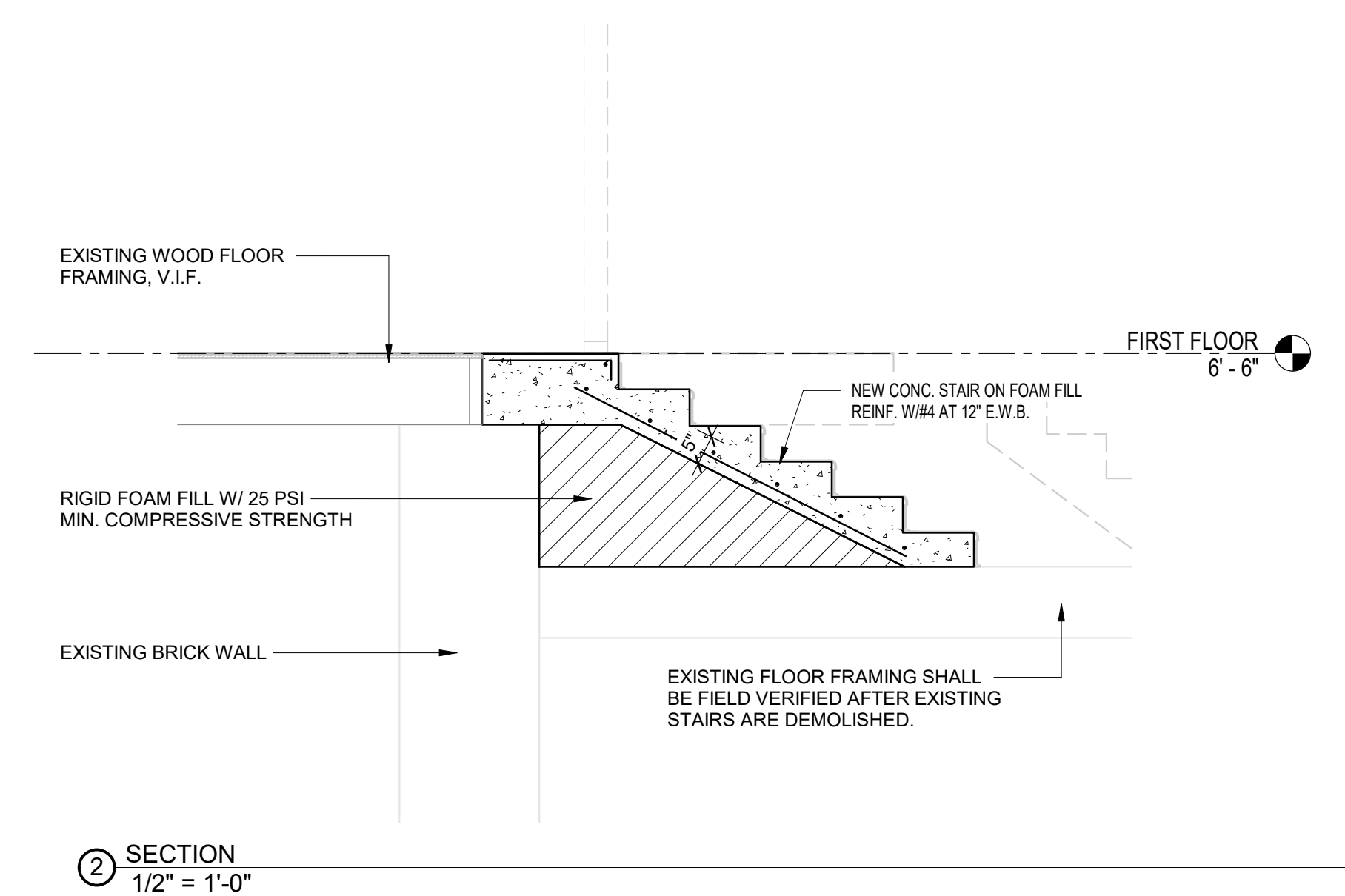
DRAWN BY: W20

CHECKED BY: RM

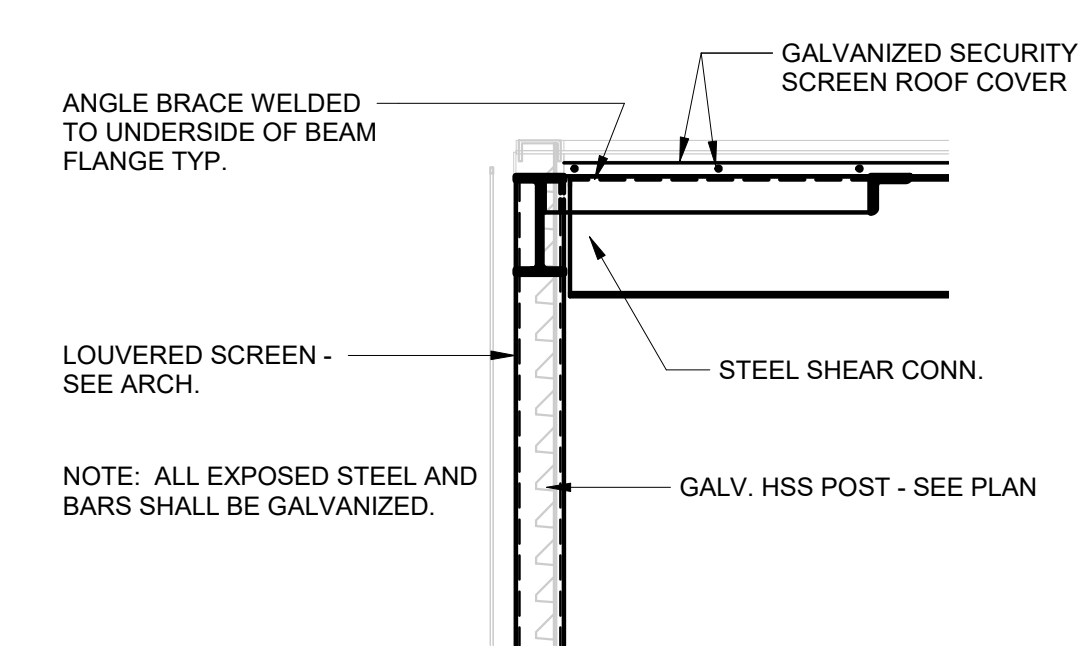
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DRAWING NO. S-305-R.2

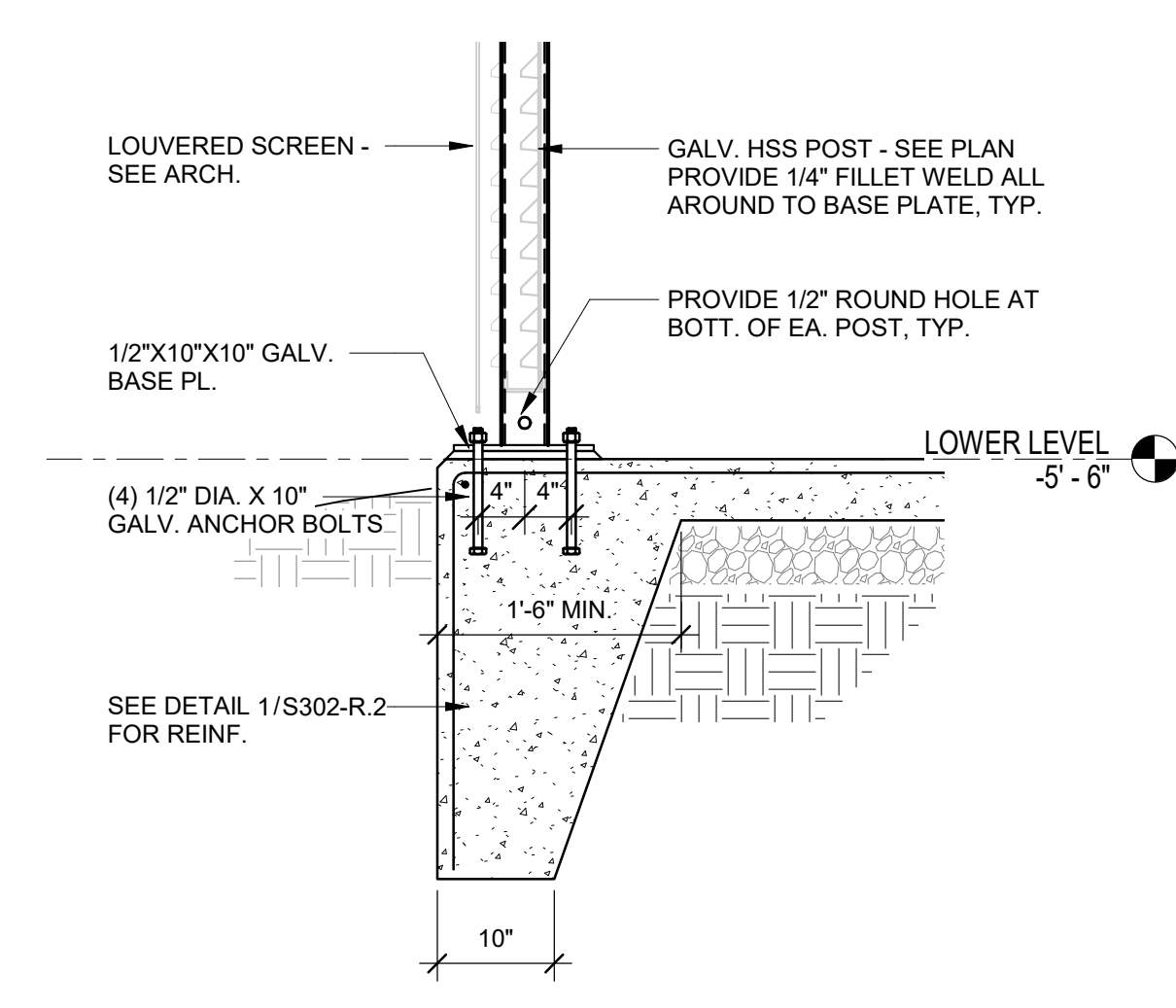
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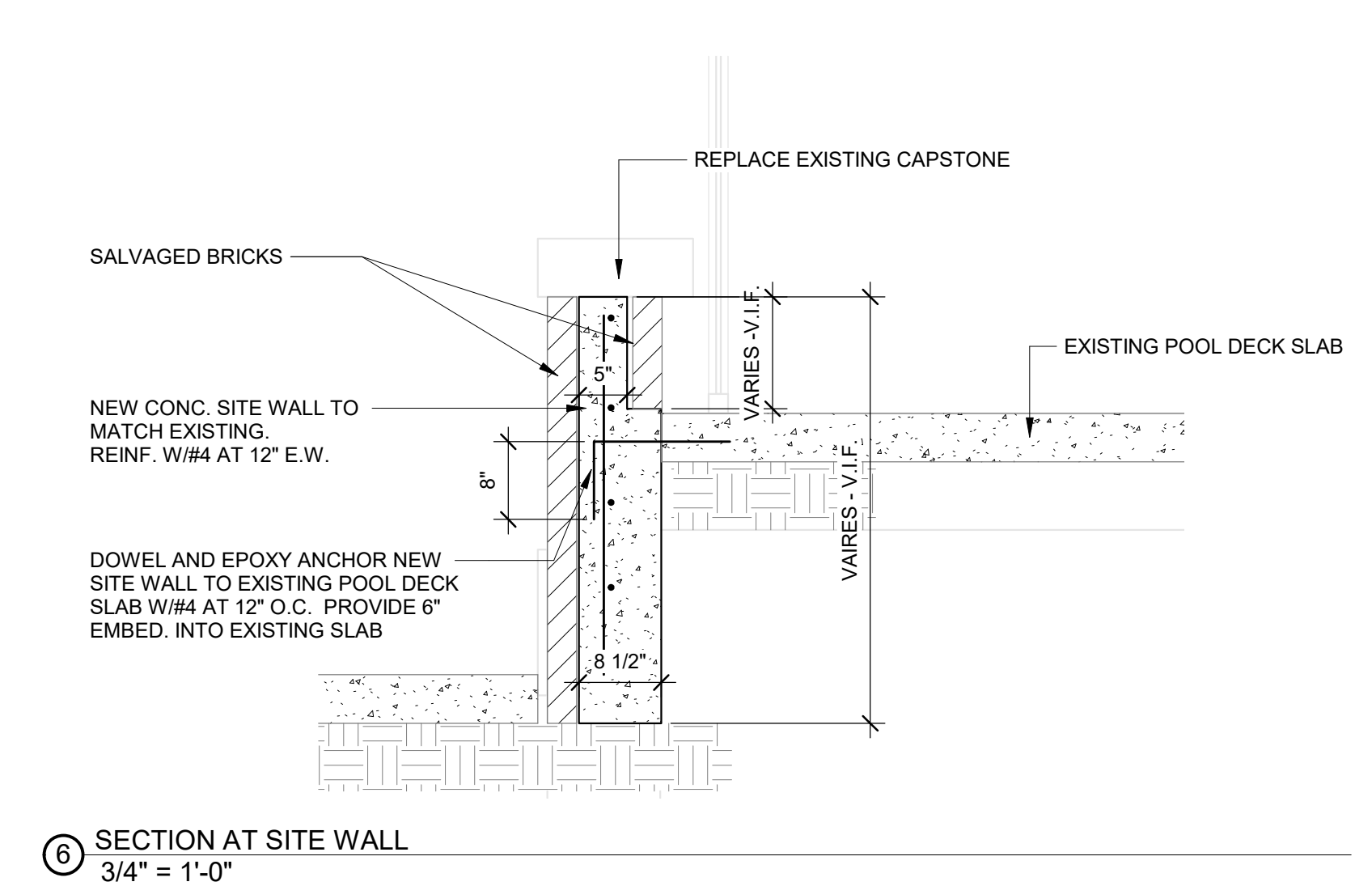
2 SECTION
1/2" = 1'-0"



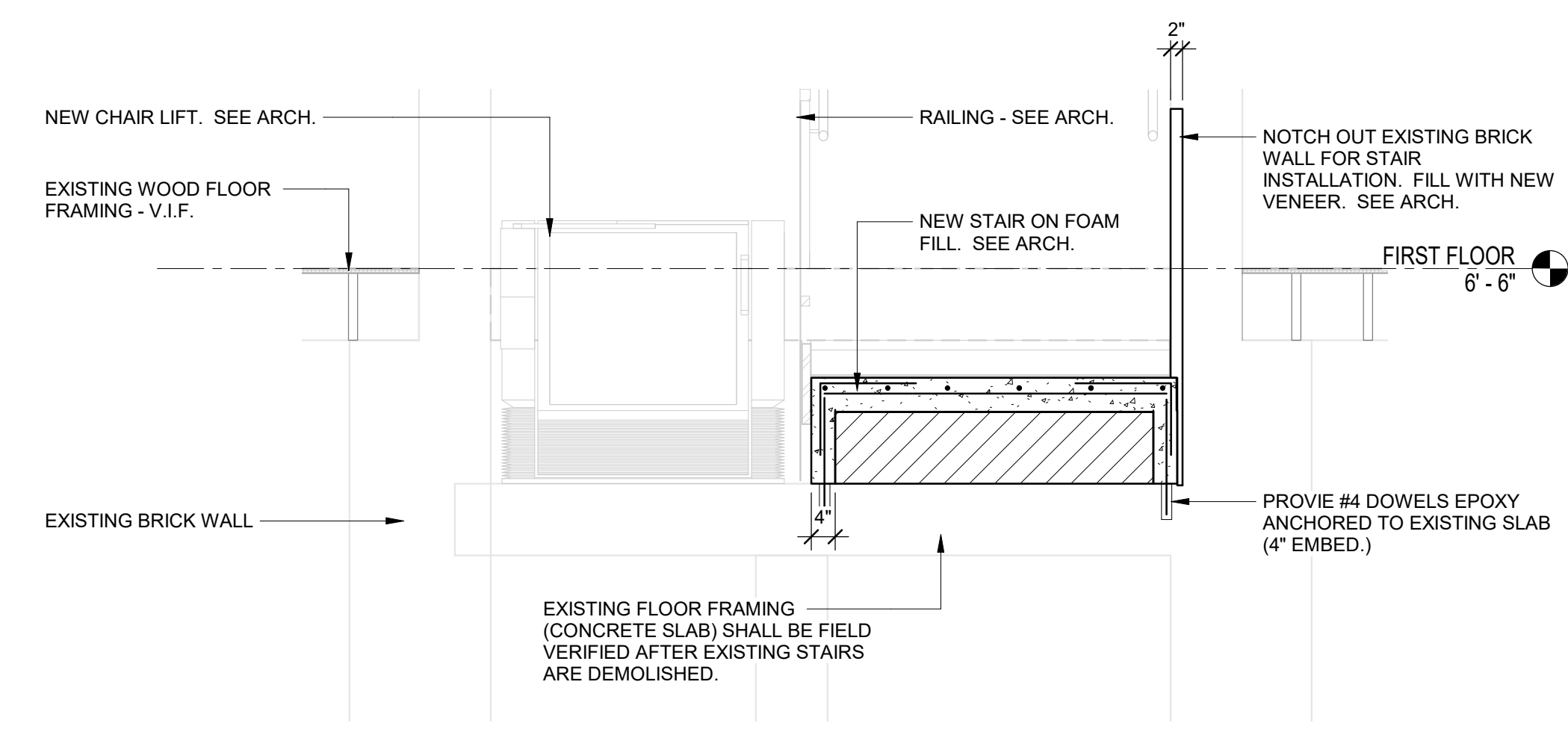
5 SECTION
3/4" = 1'-0"



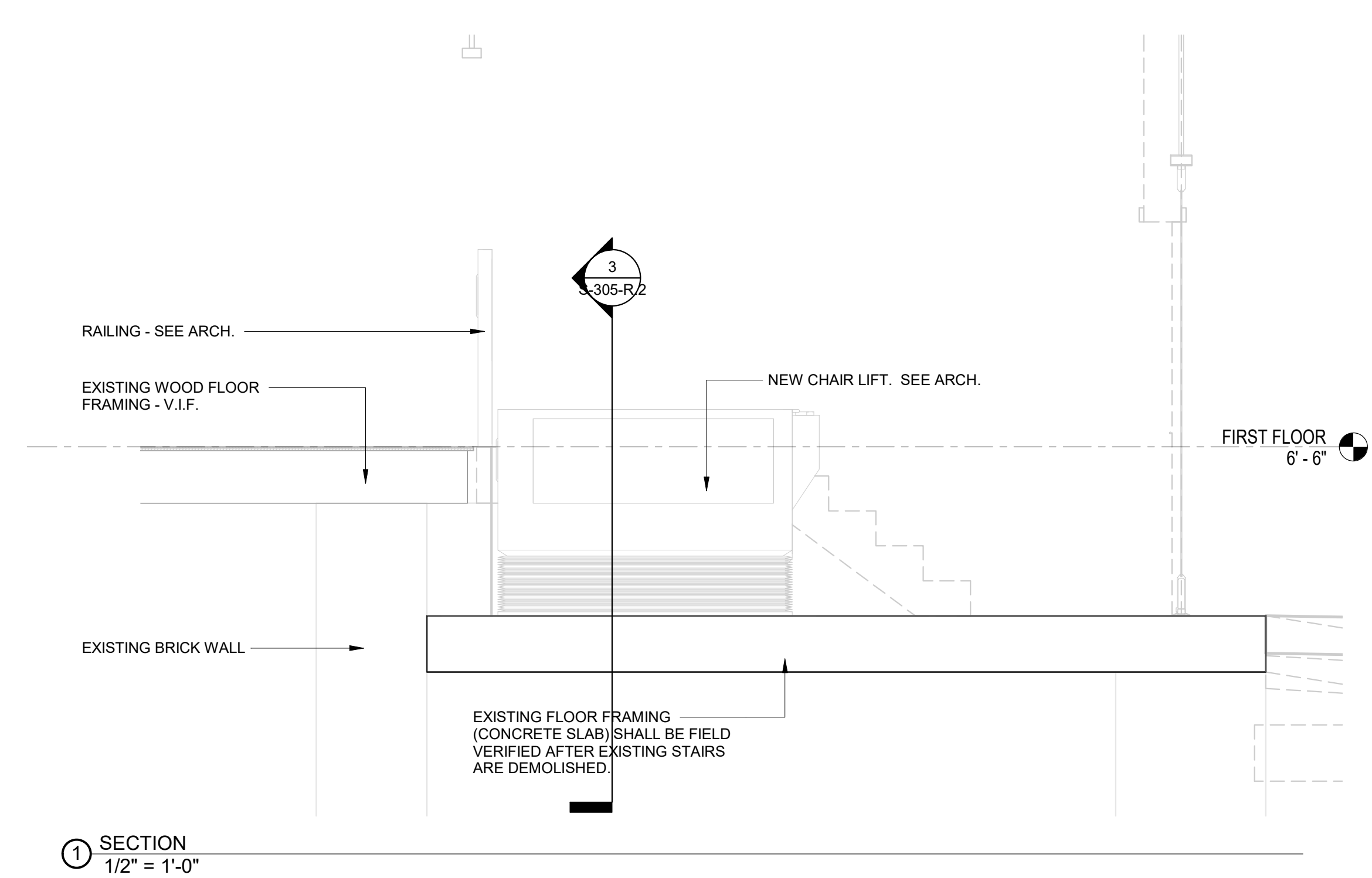
4 SECTION
3/4" = 1'-0"



6 SECTION AT SITE WALL
3/4" = 1'-0"



3 SECTION
1/2" = 1'-0"



1 SECTION
1/2" = 1'-0"

STAMP AREA

GENERAL NOTES:

- COORDINATE MECHANICAL WORK WITH OTHER TRADES. PROVIDE COORDINATED SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- REFER TO PACKAGE 1 FOR EXTERIOR DEMOLITION SCOPE OF WORK.

DEMOLITION NOTES

- DISCONNECT AND REMOVE EXISTING BOILER IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, BOILER, CONTROLS, VALVES, STEAM TRAPS, PIPING, WIRING AND CONDENSATE RECOVERY AND BOILER FEED SYSTEM.
- DISCONNECT AND REMOVE EXISTING EXHAUST FAN IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, FAN, DUCTWORK, LOUVERS, SUPPORTS, AND WIRING.
- DISCONNECT AND REMOVE EXISTING STEAM RADIATOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, STEAM TRAPS, AND PIPING.
- DISCONNECT AND REMOVE EXISTING CONVECTOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, AND PIPING.
- DISCONNECT AND REMOVE EXISTING UNIT HEATER IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, WIRING, AND PIPING.
- DISCONNECT AND REMOVE EXISTING OUTSIDE AIR INTAKE FAN IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, FAN, DUCTWORK, LOUVERS, SUPPORTS, AND WIRING.
- DISCONNECT AND REMOVE EXISTING THERMOSTAT

REVISIONS

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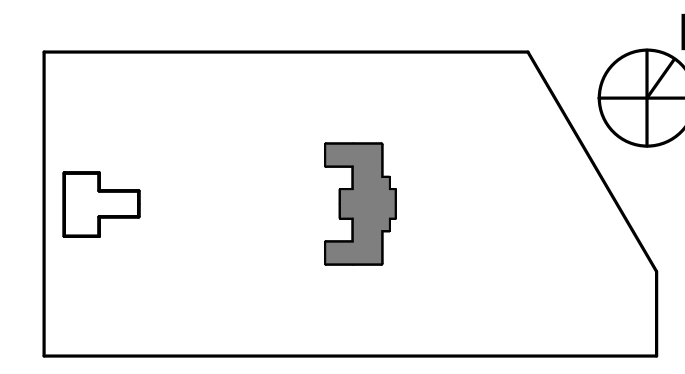
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5TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
MECHANICAL DEMOLITION - LOWER LEVEL BASE SCOPE

PROJECT NO. KMLX21003 **DRAWING NO.**

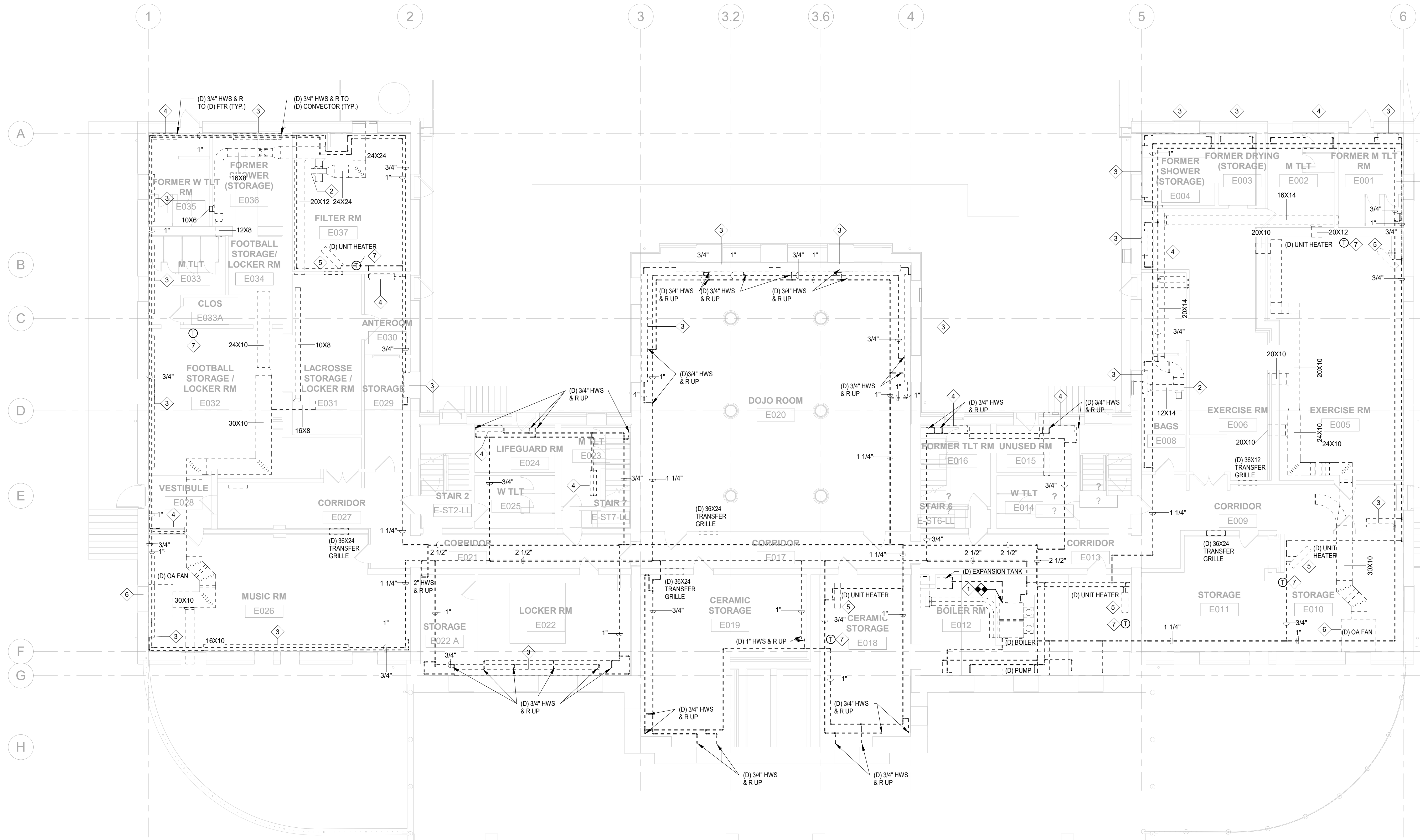
DATE 04/21/2023 **M100-R.2**

SCALE AS NOTED

DRAWN BY: MMA

CHECKED BY: RHC

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 MECHANICAL DEMOLITION - REC CENTER LOWER LEVEL - BASE SCOPE
1/100-R.2 1/8\"/>

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

GENERAL NOTES:

- COORDINATE MECHANICAL WORK WITH OTHER TRADES. PROVIDE COORDINATED SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- THIS SHEET IS FOR PRELIMINARY PRICING ONLY. FULL ENGINEERING IS REQUIRED TO PROVIDE CONSTRUCTION DOCUMENTS FOR THIS CONCEPT SHOULD REBUILD ACCEPT.

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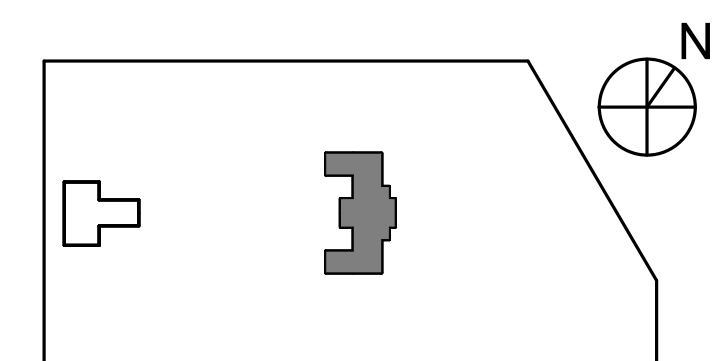
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CITY OF PHILADELPHIA
REBUILD / PHILADELPHIA PARKS AND RECREATION
1515 ARCH STREET
5TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

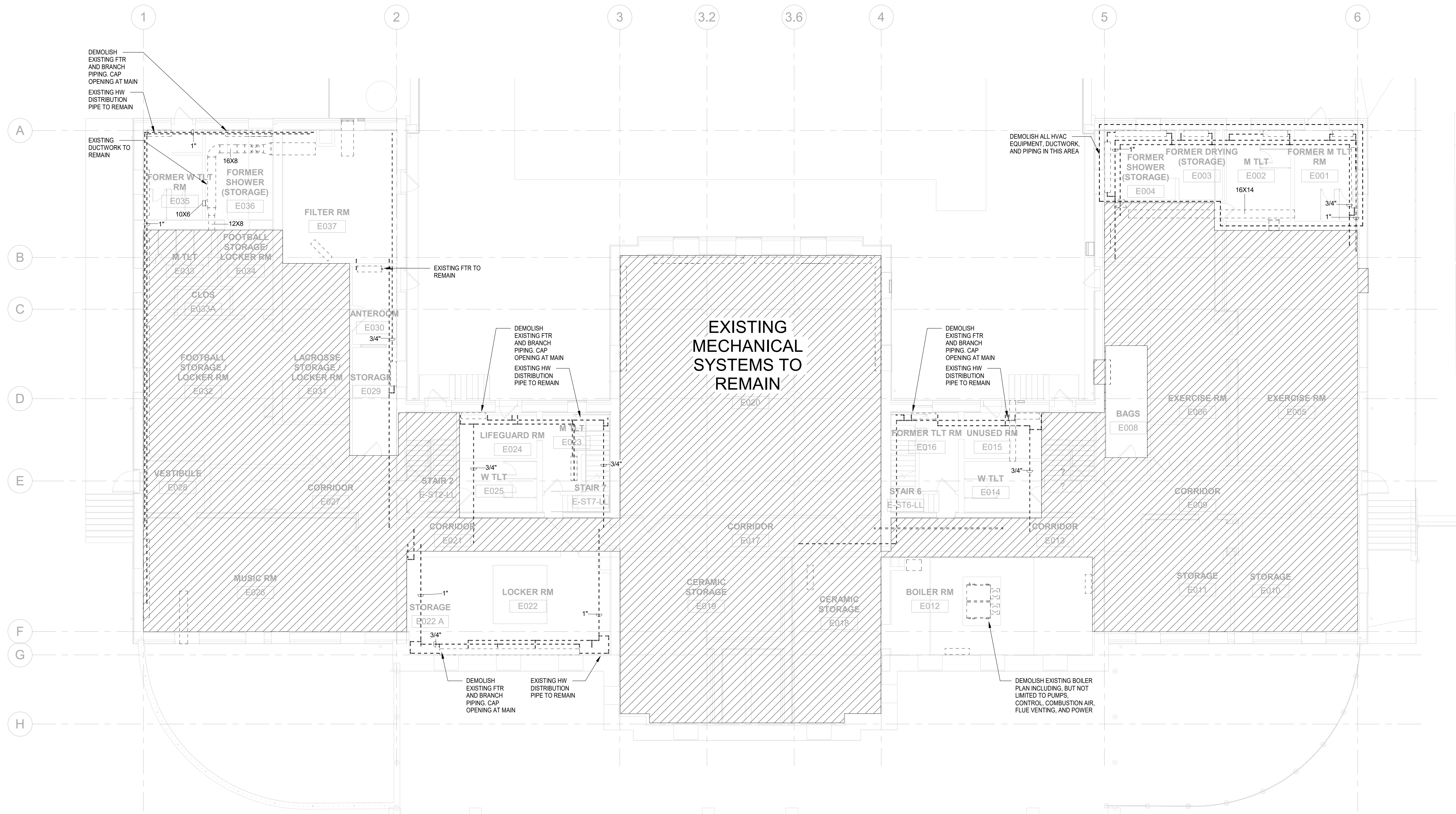
KEY PLAN



DRAWING TITLE
MECHANICAL DEMOLITION - LOWER LEVEL DEDUCT ALT.

PROJECT NO. KMLX21003	DRAWING NO. M100B-R.2
DATE 04/21/2023	SCALE AS NOTED
DRAWN BY: MMA	CHECKED BY: RHC

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 MECHANICAL DEMOLITION - REC CENTER LOWER LEVEL - ALTERNATE R-3 DEDUCT
M100B-R.2 1/8" = 1'-0"

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

GENERAL NOTES:

- COORDINATE MECHANICAL WORK WITH OTHER TRADES. PROVIDE COORDINATED SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- DISCONNECT AND REMOVE ALL AIR-SIDE HVAC EQUIPMENT.

DEMOLITION NOTES

- DISCONNECT AND REMOVE EXISTING STEAM RADIATOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, STEAM TRAPS, AND PIPING.
- DISCONNECT AND REMOVE EXISTING UNIT HEATER IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, WIRING, AND PIPING.
- DISCONNECT AND REMOVE EXISTING CONVECTOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, AND PIPING.
- DISCONNECT AND REMOVE EXISTING CABINET UNIT HEATER IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, AND PIPING.
- DISCONNECT AND REMOVE EXISTING WINDOW AIR CONDITIONING UNIT IN ITS ENTIRETY.
- DISCONNECT AND REMOVE EXISTING THERMOSTAT.

REVISIONS

ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



REVIEWED BY:
PROJECT COORDINATOR:
SEALS:



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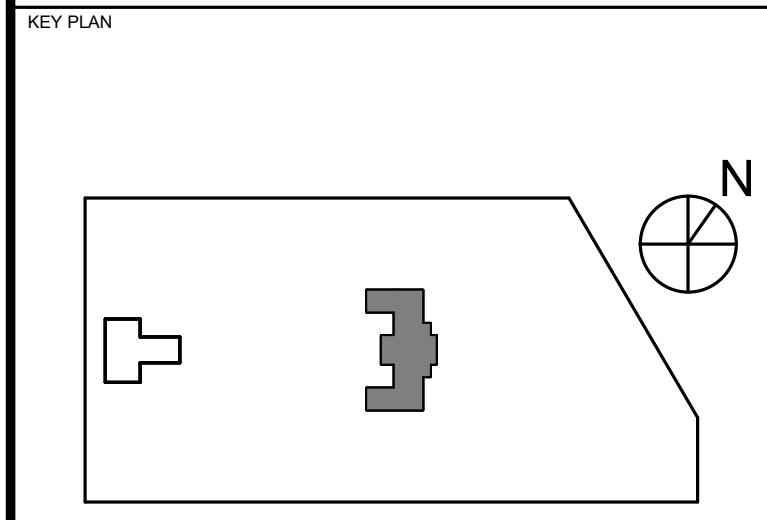
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1515 ARCH STREET
5TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

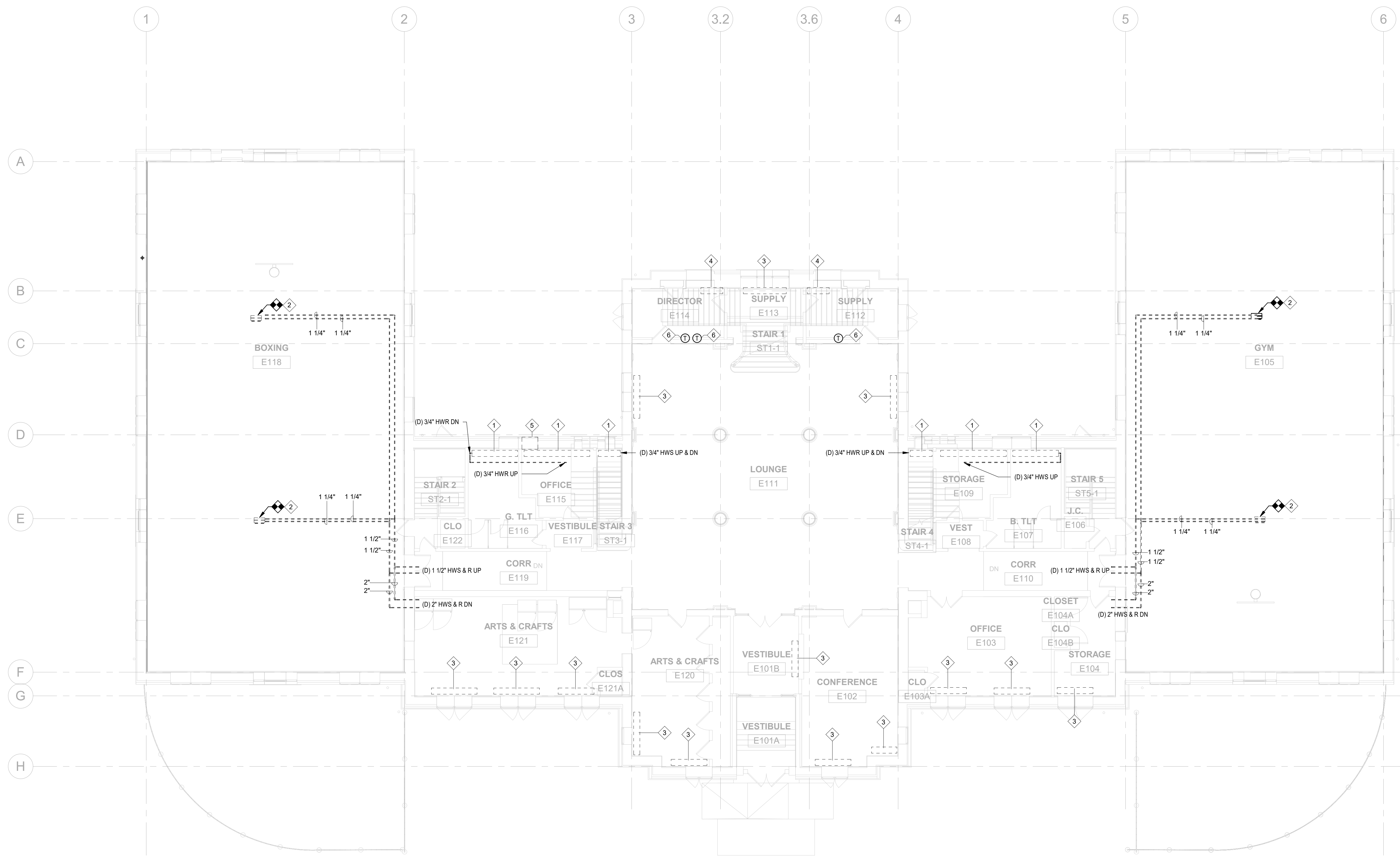
KINGSSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2



MECHANICAL DEMOLITION - FIRST FLOOR

PROJECT NO. KMLX21003	DRAWING NO. M101-R.2
DATE 04/21/2023	
SCALE AS NOTED	
DRAWN BY: MMA	
CHECKED BY: RHC	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



1 MECHANICAL DEMOLITION - REC CENTER FIRST FLOOR
M101-R.2 1/8" = 1'-0"

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

GENERAL NOTES:

- COORDINATE MECHANICAL WORK WITH OTHER TRADES. PROVIDE COORDINATED SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
- PHASE CONSTRUCTION TO MAINTAIN FACILITY OPERATIONS.
- DISCONNECT AND REMOVE ALL AIR-SIDE HVAC EQUIPMENT.
- MAINTAIN EXISTING HEATING HOT WATER PIPE DISTRIBUTION AND BASEBOARD RADIATORS.

DEMOLITION NOTES

- DISCONNECT AND REMOVE EXISTING CONNECTOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, AND PIPING.
- DISCONNECT AND REMOVE EXISTING STEAM RADIATOR IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, STEAM TRAPS, AND PIPING.
- DISCONNECT AND REMOVE EXISTING CABINET UNIT HEATER IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, COIL, SUPPORTS, CONTROLS, VALVES, AND PIPING.
- DISCONNECT AND REMOVE EXISTING EXHAUST FAN IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO, FAN, DUCTWORK, LOUVERS, SUPPORTS, AND WIRING.

REVISIONS

ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR

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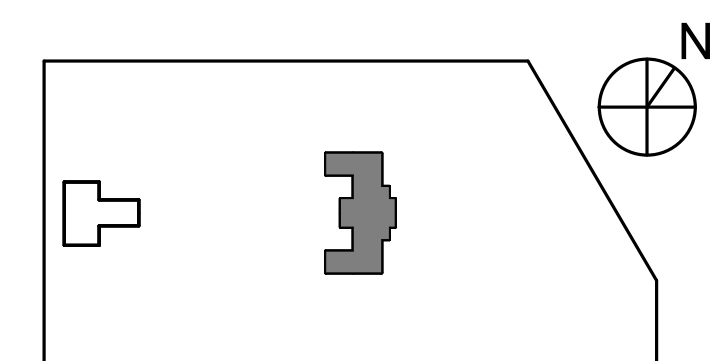
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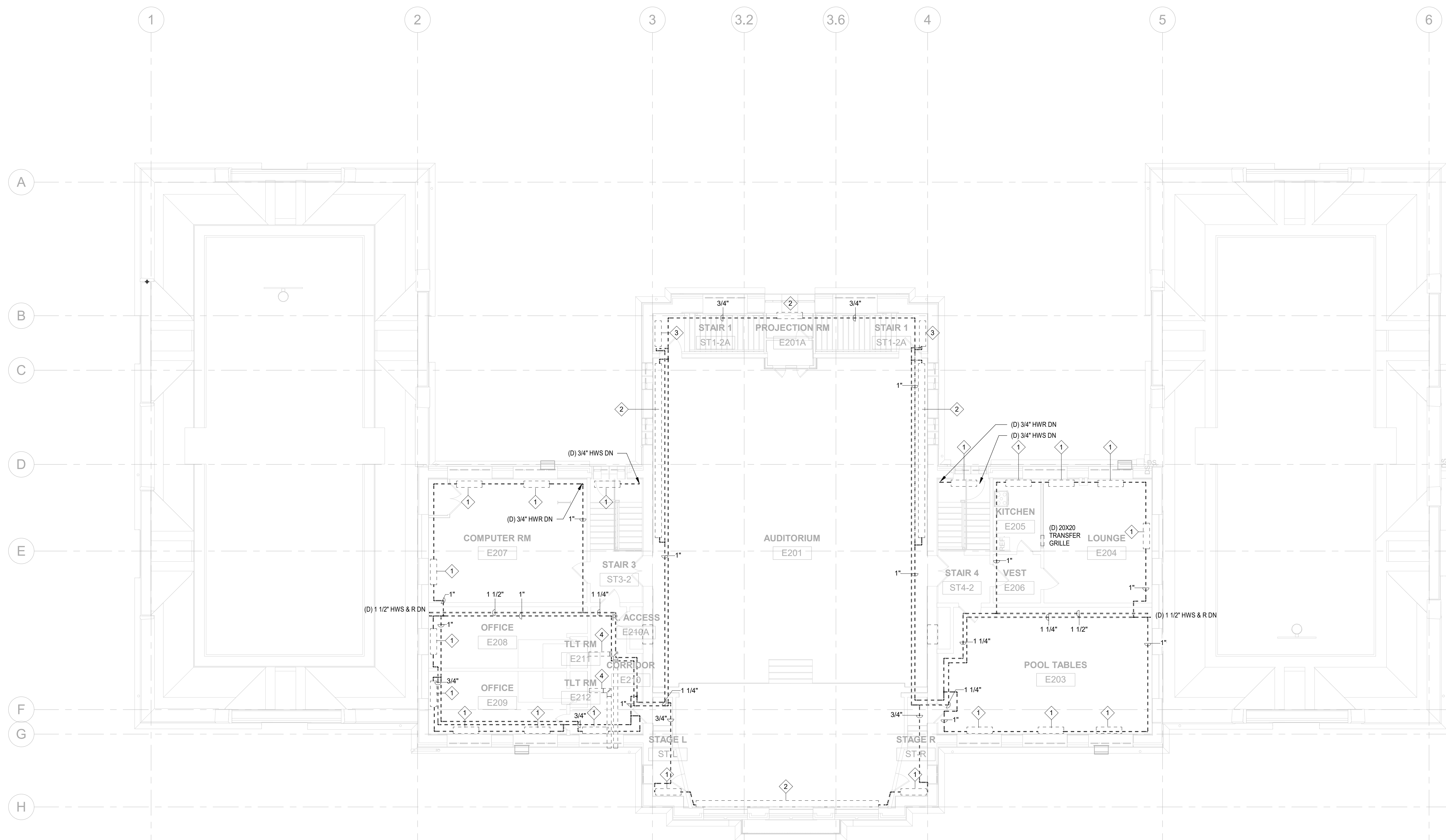
PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
MECHANICAL DEMOLITION - SECOND FLOOR

PROJECT NO. KMLX21003	DRAWING NO. M102-R.2
DATE 04/21/2023	
SCALE AS NOTED	
DRAWN BY: MMA	
CHECKED BY: RHC	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	



1 MECHANICAL DEMOLITION - REC CENTER SECOND FLOOR
M102-R.2 1/8" = 1'-0"

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

GENERAL NOTES:

- COORDINATE MECHANICAL WORK WITH OTHER TRADES. PROVIDE COORDINATED SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
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REVISIONS

ISSUE	DATE	DESCRIPTION
	06/02/23	ISSUE FOR BID



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PROJECT COORDINATOR

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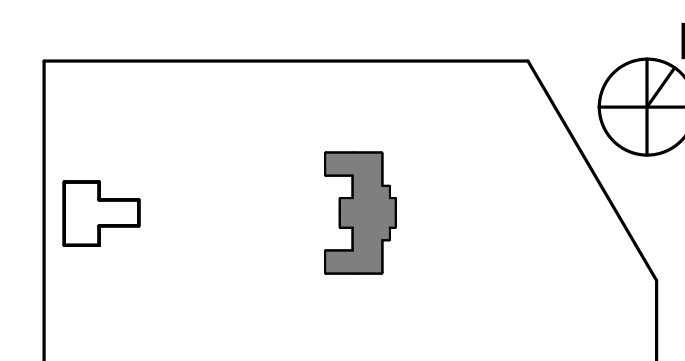
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PROJECT TITLE
KINGSSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

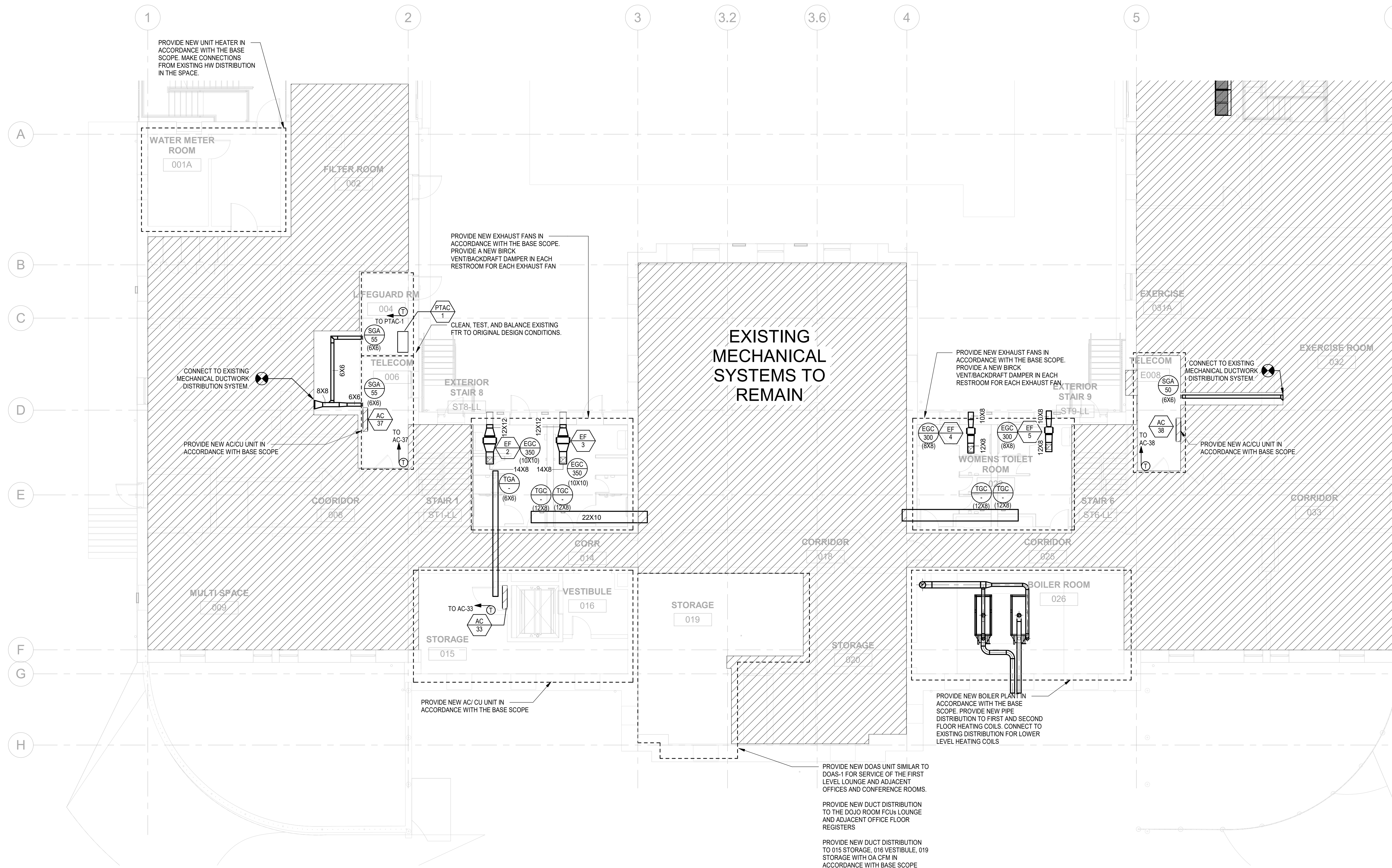
KEY PLAN



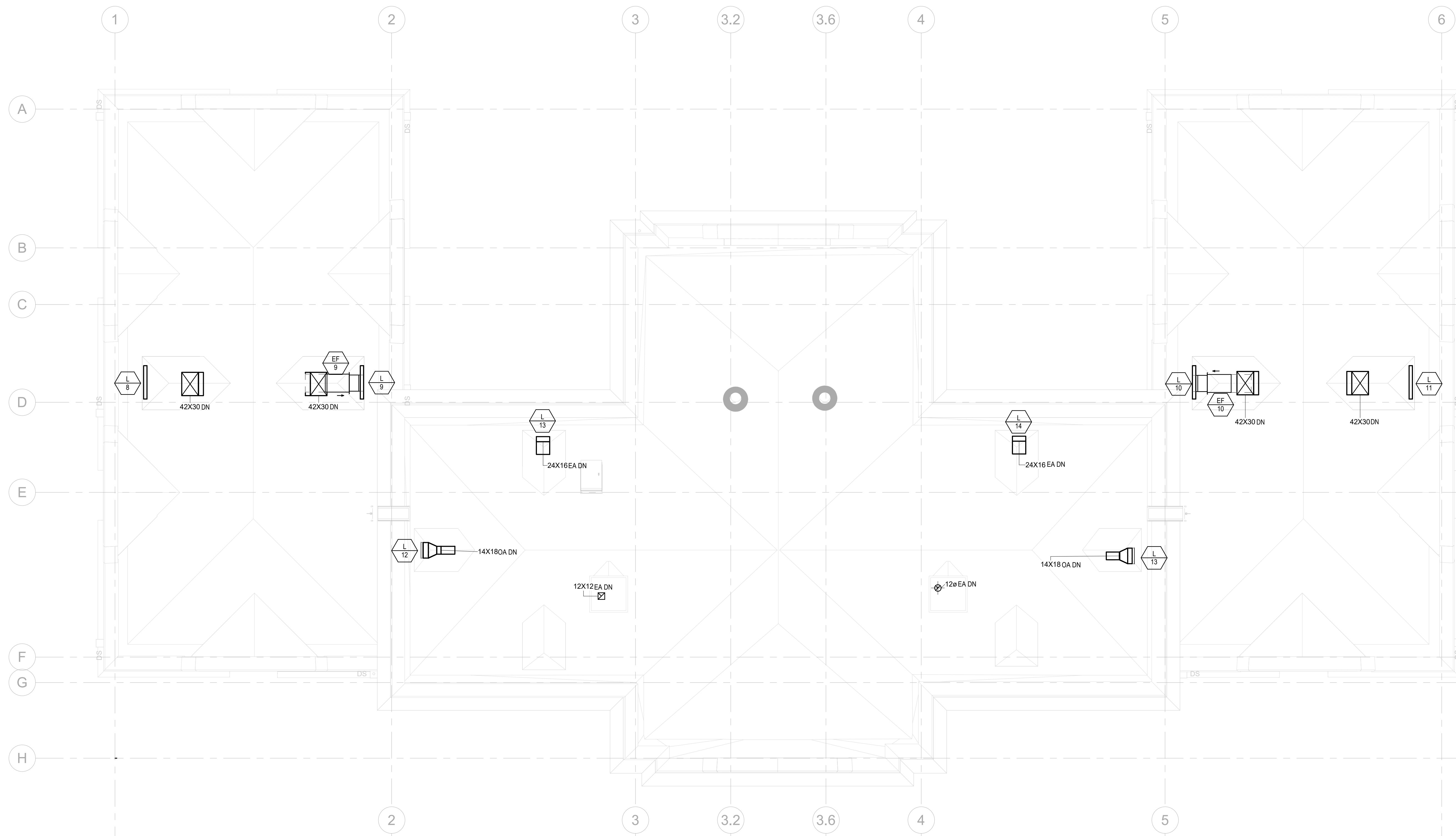
DRAWING TITLE
MECHANICAL PROPOSED DUCTWORK - LOWER LEVEL DEDUCT ALT.

PROJECT NO.	DRAWING NO.
KMLX21003	M200B-R.2
DATE: 04/21/2023	SCALE: AS NOTED
DRAWN BY: MMA	CHECKED BY: RHC
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

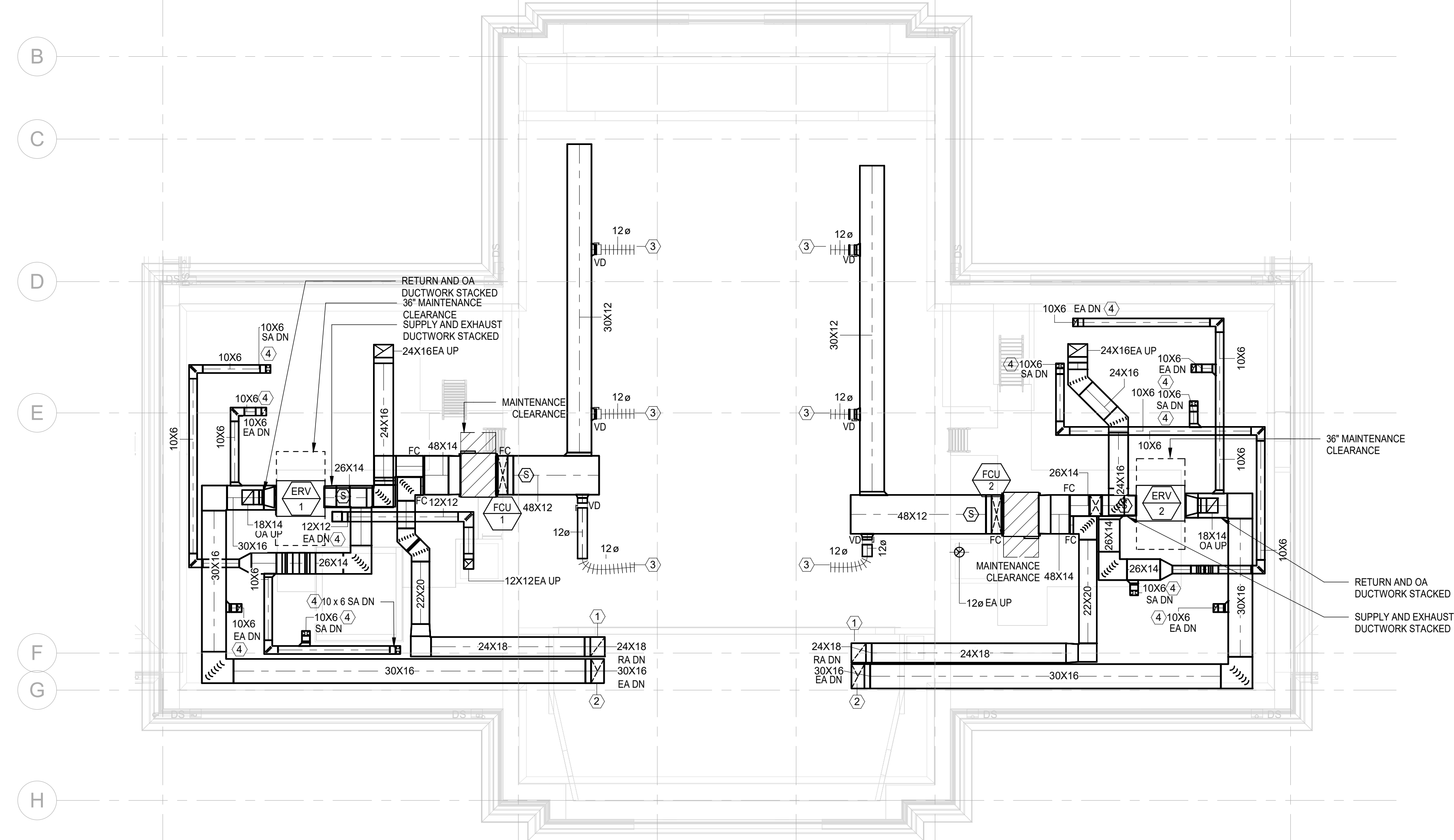
PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023



1 MECHANICAL PROPOSED DUCTWORK - REC CENTER LOWER LEVEL- ALTERNATE R-3 DEDUCT
M200B-R.2 1/8" = 1'-0"



1 MECHANICAL PROPOSED DUCTWORK - REC CENTER ROOF
#203-R.2 1/8" = 1'-0"



2 MECHANICAL PROPOSED DUCTWORK - REC CENTER ATTIC
#203-R.2 1/8" = 1'-0"

GENERAL NOTES:

- REFER TO M001 FOR MECHANICAL NOTES, LEGENDS, AND ABBREVIATIONS.
- COORDINATE MECHANICAL WORK WITH OTHER TRADES.
- PROVIDE COORDINATED SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK. SHOP DRAWINGS SHALL CAPTURE ALL STRUCTURAL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ELEMENTS OF THE AREA.
- PHASE CONSTRUCTION TO MAINTAIN FACILITY OPERATIONS. COORDINATE WITH OTHER TRADES AND BUILDING.
- PROVIDE 1-1/2HR RATED COMBINATION FIRE/SMOKE DAMPERS WITH ACCESS DOOR AT ALL SHAFT WALL AND FLOOR PENETRATIONS.
- EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND SHALL MAINTAIN ALL CLEARANCES (INSTALLATION AND MAINTENANCE) AS NOTED WITHIN THE WRITTEN INSTRUCTIONS.
- BALANCE ALL OUTSIDE AIR CONNECTIONS TO FCU/AC UNIT IN ACCORDANCE WITH AIR FLOWS ON EQUIPMENT SCHEDULE.
- PROVIDE NEC 3'-0" CLEARANCE IN FRONT OF EACH HVAC UNIT CONTROLLERS.
- WHERE LOCATED ABOVE INACCESSIBLE CEILINGS, PROVIDE ACCESS DOORS TO DUCT VOLUME DAMPER ACTUATORS.
- WHERE LOCATED ABOVE INACCESSIBLE CEILINGS, PROVIDE ACCESS DOORS TO DUCT VOLUME DAMPER ACTUATORS. NONI MECHANICAL TEAM FOR REVIEW AND APPROVAL.
- PROVIDE VOLUME DAMPER ON ALL BRANCH DUCTWORK TO AIR DEVICES. DAMPER SHALL BE IMMEDIATELY AFTER BRANCH TAKE-OFF.

NEW WORK NOTES

- DUCTWORK PENETRATES ATTIC SLAB AND RETURNS FROM 206 STAGE BELOW.
- DUCTWORK PENETRATES ATTIC SLAB AND EXHAUSTS FROM 206 STAGE BELOW.
- DUCTS PENETRATE ATTIC SLAB AND SUPPLY 205 AUDITORIUM BELOW.
- DUCTWORK PENETRATES ATTIC SLAB AND CONNECTS TO DISTRIBUTION DEVICE ON SHOWN ON SECOND FLOOR.

REVISIONS

ISSUE	DATE	DESCRIPTION
	06/02/23	ISSUE FOR BID



REVIEWED BY:

PROJECT COORDINATOR:

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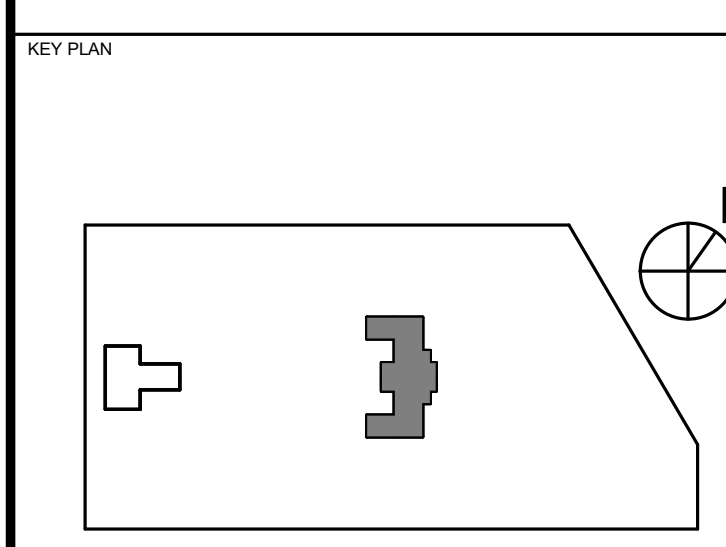
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2



DRAWING TITLE
MECHANICAL PROPOSED DUCTWORK - ATTIC/ROOF

PROJECT NO. KMLX21003 DRAWING NO.

DATE 04/21/2023 **M203-R.2**

SCALE AS NOTED

DRAWN BY: MMA
CHECKED BY: RHC

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

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REVISIONS

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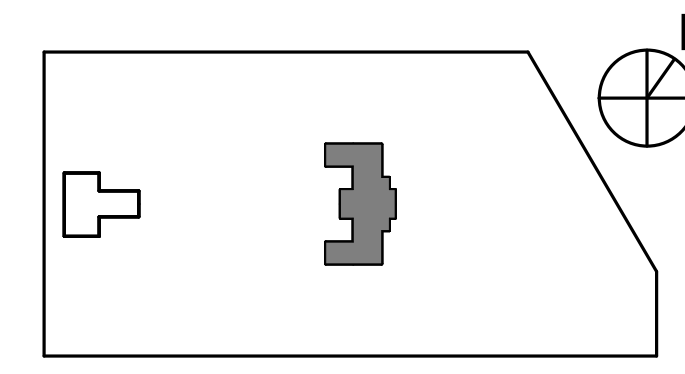
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KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

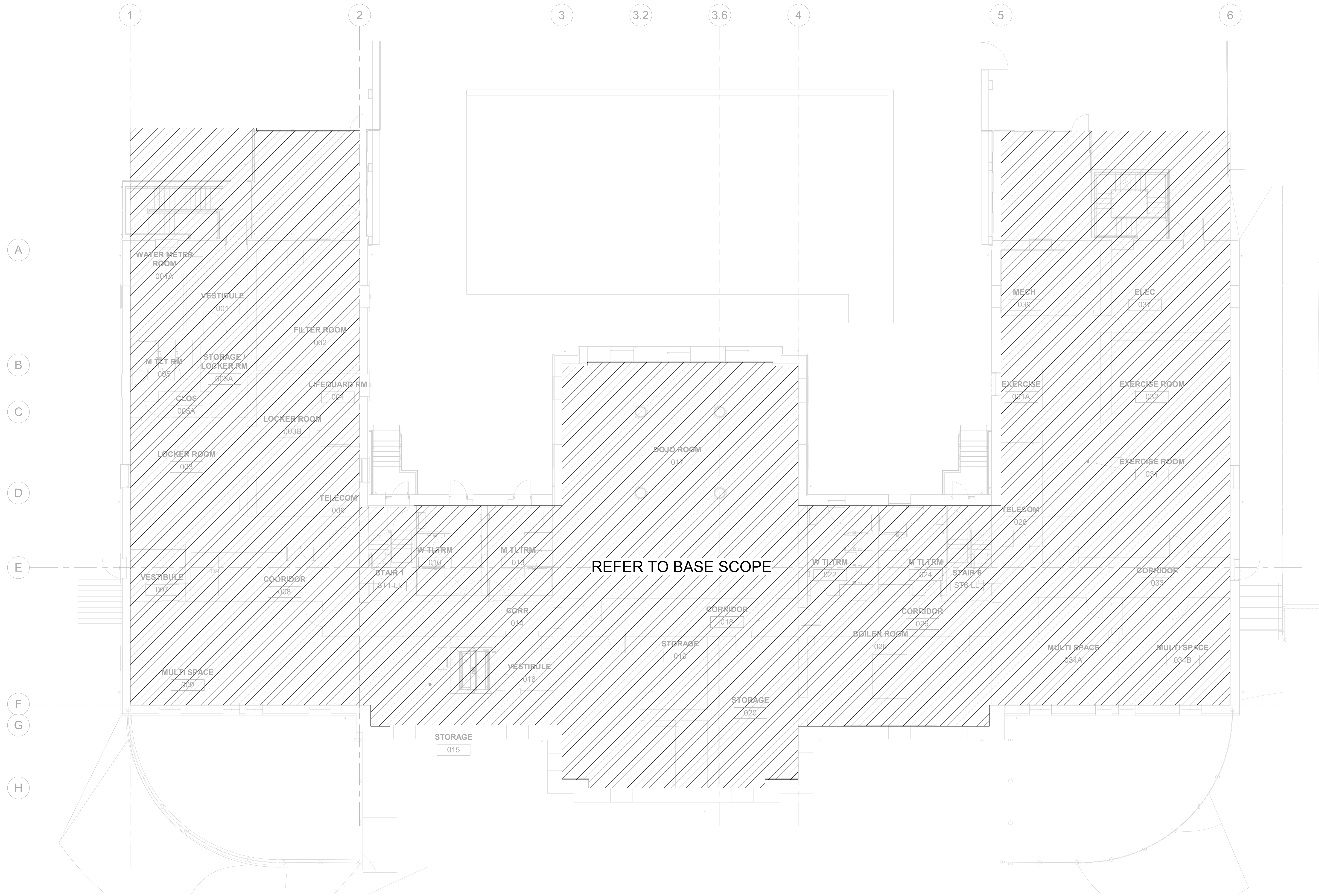
KEY PLAN



MECHANICAL PROPOSED PIPING - LOWER LEVEL - ADD ALT.

PROJECT NO.	KMLX21003	DRAWING NO.	M300C-R.2
DATE	04/21/2023		
SCALE	AS NOTED		
DRAWN BY:	MMA		
CHECKED BY:	RHC		

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

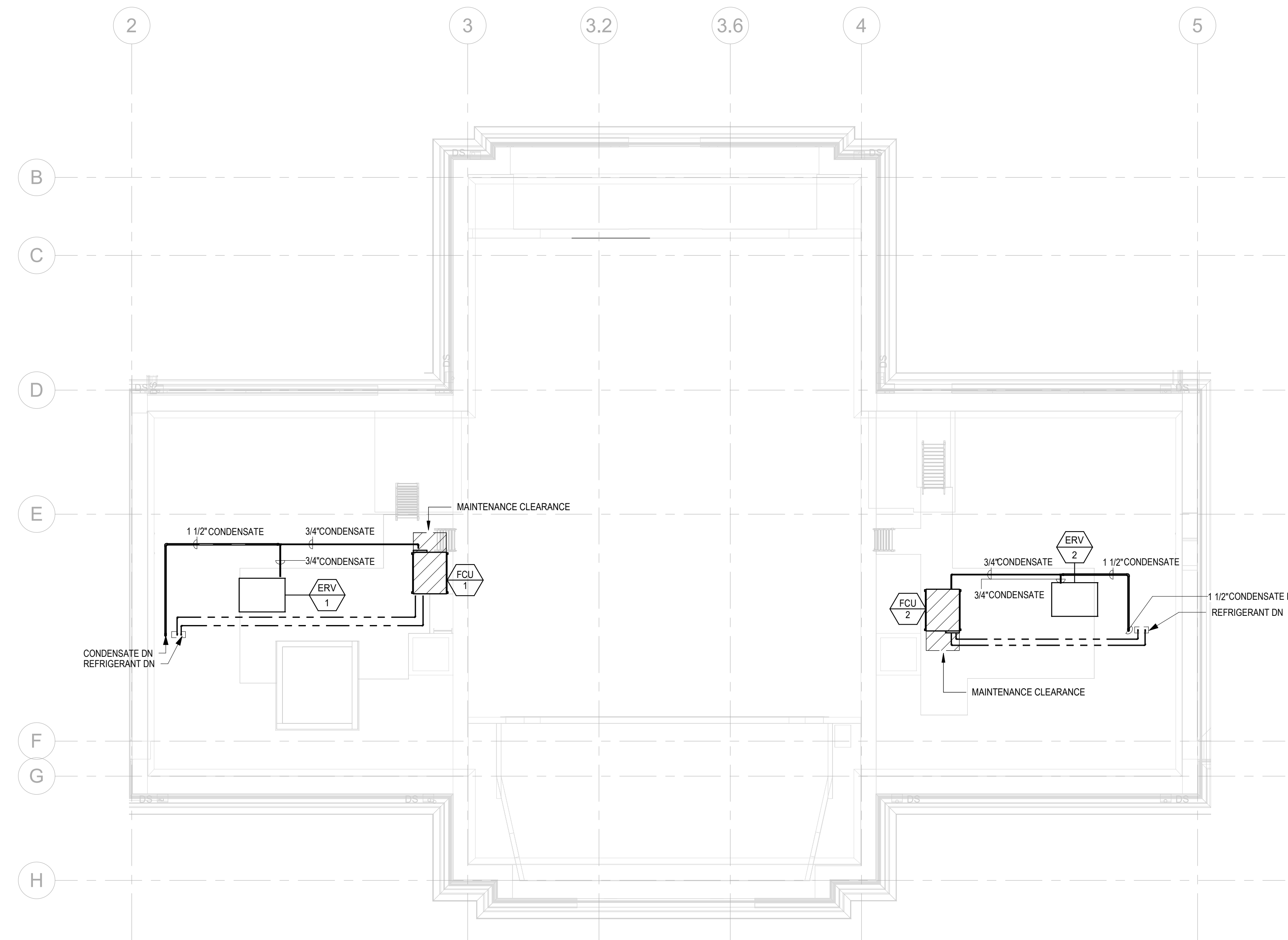


1 MECHANICAL PROPOSED PIPING - REC CENTER LOWER LEVEL - ADD ALTERNATE
M300C-R.2 1/8" = 1'-0"

PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023

GENERAL NOTES:

- REFER TO M001 FOR MECHANICAL NOTES, LEGENDS, AND ABBREVIATIONS.
- COORDINATE MECHANICAL WORK WITH OTHER TRADES.
- PROVIDE COORDINATED SHOP DRAWINGS PRIOR TO COMMENCEMENT OF WORK. SHOP DRAWINGS SHALL CAPTURE ALL STRUCTURAL, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ELEMENTS OF THE AREA.
- PHASE CONSTRUCTION TO MAINTAIN FACILITY OPERATIONS. COORDINATE WITH OTHER TRADES AND BUILDING.
- PROVIDE 1-1/2HR RATED COMBINATION FIRE/SMOKE DAMPERS WITH ACCESS DOOR AT ALL SHAFT WALL AND FLOOR PENETRATIONS.
- EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND SHALL MAINTAIN ALL CLEARANCES (INSTALLATION AND MAINTENANCE) AS NOTED WITHIN THE WRITTEN INSTRUCTIONS.
- BALANCE ALL OUTSIDE AIR CONNECTIONS TO FCU/AC UNIT IN ACCORDANCE WITH AIR FLOWS ON EQUIPMENT SCHEDULE.
- PROVIDE NEC 3'-0" CLEARANCE IN FRONT OF EACH HVAC UNIT CONTROLLERS.
- WHERE LOCATED ABOVE INACCESSIBLE CEILINGS, PROVIDE ACCESS DOORS TO DUCT VOLUME DAMPER ACTUATORS.
- WHERE LOCATED ABOVE INACCESSIBLE CEILINGS, PROVIDE ACCESS DOORS TO DUCT VOLUME DAMPER ACTUATORS. NONI MECHANICAL TEAM FOR REVIEW AND APPROVAL.
- PROVIDE VOLUME DAMPER ON ALL BRANCH DUCTWORK TO AIR DEVICES. DAMPER SHALL BE IMMEDIATELY AFTER BRANCH TAKE-OFF.



1 MECHANICAL PROPOSED PIPING - REC CENTER ATTIC
M303-R.2 1/8" = 1'-0"

REVISIONS

ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



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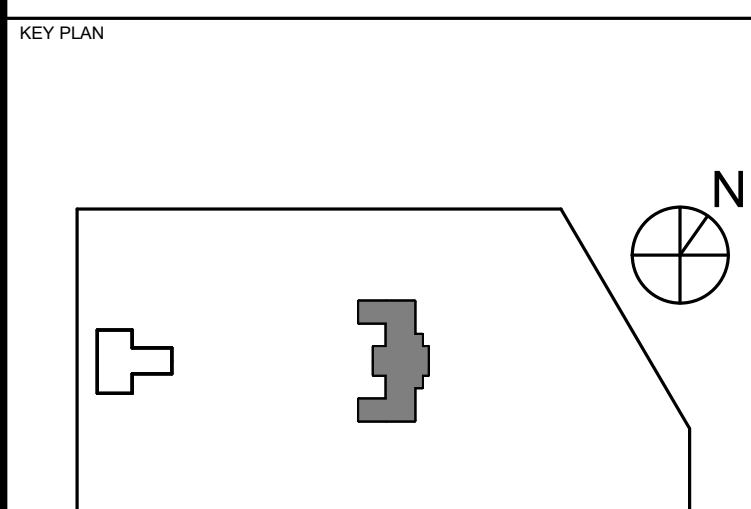
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PROJECT TITLE
KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

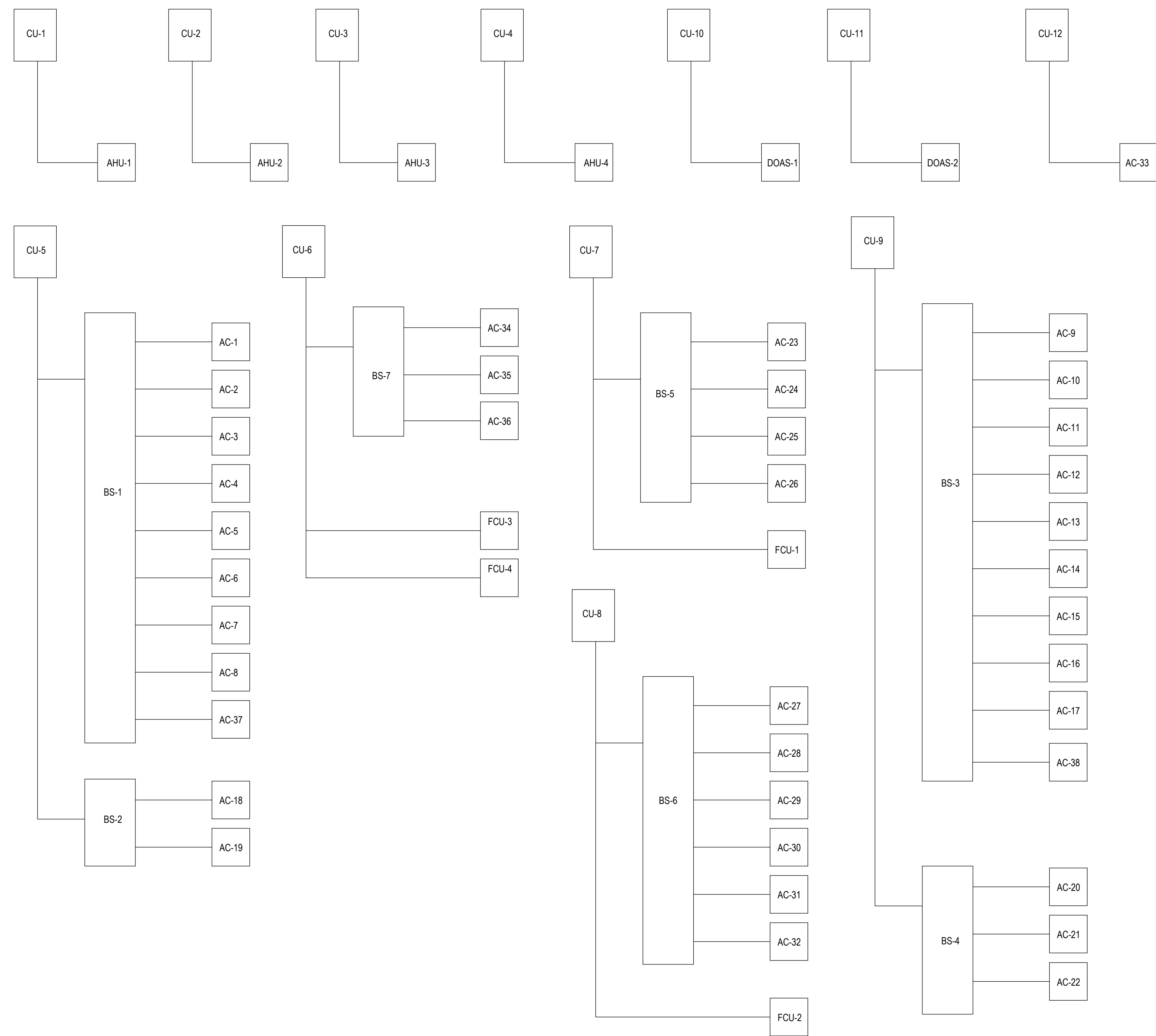


DRAWING TITLE
MECHANICAL PROPOSED PIPING - ATTIC

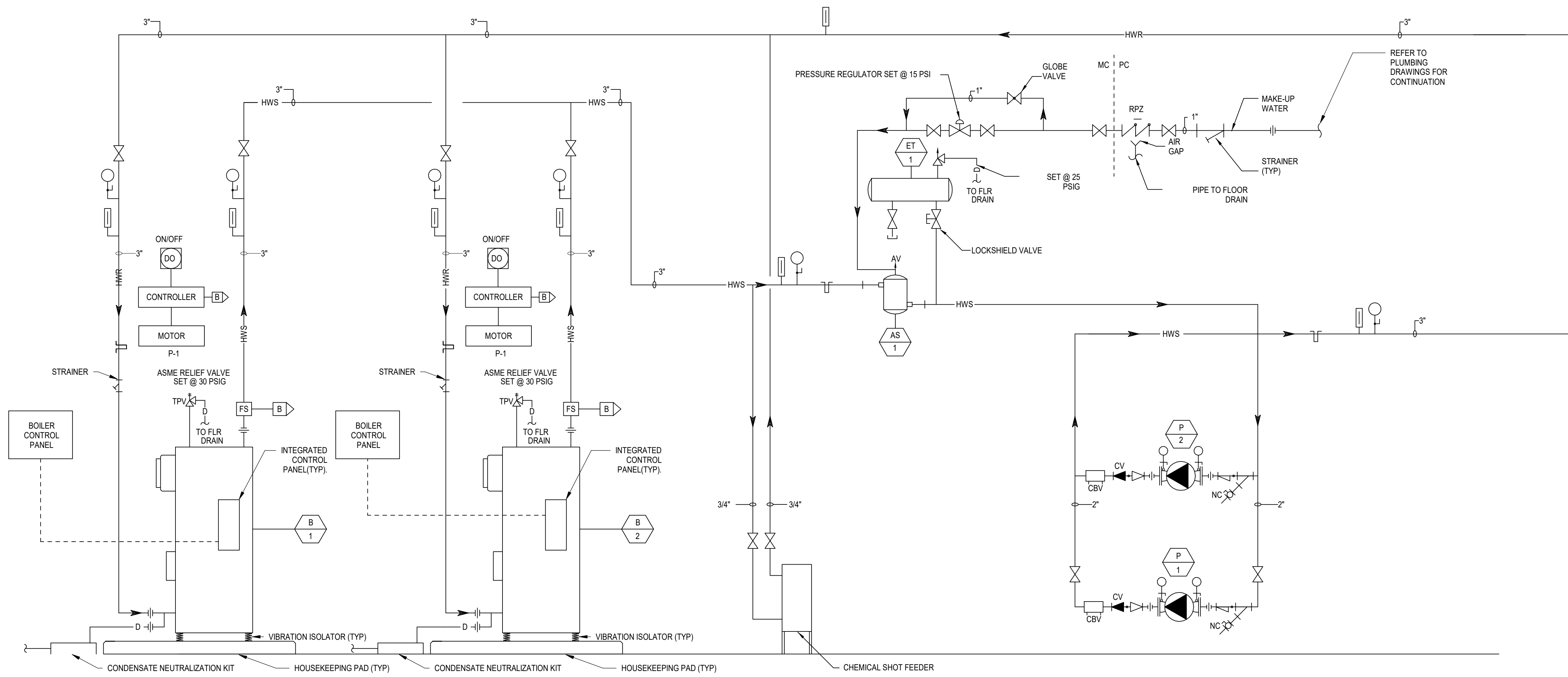
PROJECT NO. KMLX21003	DRAWING NO. M303-R.2
DATE 04/21/2023	
SCALE AS NOTED	
DRAWN BY: JLC	
CHECKED BY: RHG	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

**PACKAGE 2 - IFB
NOT FOR CONSTRUCTION
06/02/2023**



1 ACCU PIPING DIAGRAM
 M501-R.2 1/8" = 1'-0"



NOTES:
 1. BOILER DIAGRAM FOR REFERENCE ONLY. PROVIDE INTEGRATION FROM THE EXISTING BOILER DDC CONTROL PANEL TO THE NEW BMS SYSTEM.

2 HOT WATER FLOW DIAGRAM 1
 M501-R.2 1/2" = 1'-0"

REVISIONS

ISSUE	DATE	DESCRIPTION
06/02/23		ISSUE FOR BID



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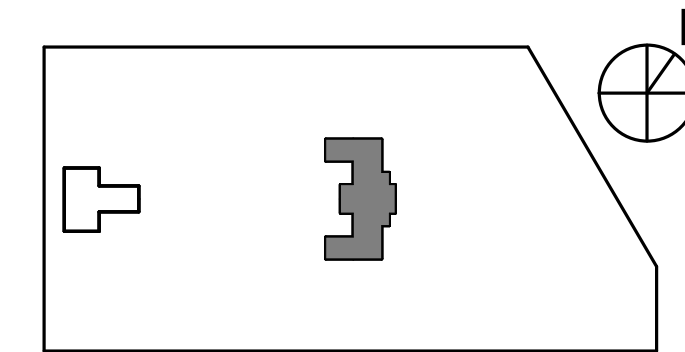
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PROJECT TITLE
 KINGSESSING RECREATION CENTER BUILDING AND SITE IMPROVEMENTS - PACKAGE 2

KEY PLAN



DRAWING TITLE
 MECHANICAL DIAGRAMS

PROJECT NO.

DRAWING NO.

KMLX21003

DATE

M501-R.2

SCALE

AS NOTED

DRAWN BY:

JLC

CHECKED BY:

RHG

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

PACKAGE 2 - IFB
 NOT FOR CONSTRUCTION
 06/02/2023

AIR HANDLING UNIT

UNIT NO.	LOCATION	SERVICE	SYSTEM TYPE	SUPPLY FAN DATA				COILING COIL PERFORMANCE(DX)										HEATING COIL (HOT WATER)										ELECTRICAL				FILTER				OPER UNIT WEIGHT (LBS.)	BASIS OF DESIGN - MANUFACTURER & MODEL NO.	REMARKS		
				SUPPLY CFM	MIN. OA CFM	E.S.P. (in. W.G.)	MAX. T.S.P. (in. W.G.)	BHP (HP)	MHP (HP)	EAT 'F	LAT 'F	LAT 'F	TOTAL CAPACITY (MBH)	SENSIBLE CAPACITY (MBH)	MAX. P.D. (INWG)	MAX. FACE VEL. (FPM)	REFRIG. TYPE	CAPACITY (MBH)	EAT 'F	LAT 'F	MAX. P.D. (INWG)	MAX. FACE VEL. (FPM)	EWT 'F	LWT 'F	GPM	MAX. P.D. (FTHD)	MIN. ROWS	MIN. FPI	VPH/Hz	FLA	MCA	MOC	PRE FILTER SECTION							
																																	MERV	MAX. P.D. (in. W.G.)	MAX. FACE VEL. (FPM)				PRE	FINAL
AHU-1	BOXING	BOXING	VRV	3500	700	1.5	3.8	3.0	5	80	67	55	55	130	95	1	467	R410A	100	50	76	0.4	500	160	130	7.00	0.13	1	10	208/360	15.3	19.125	34	8	13	1.6	430	1905	DAIKIN CAH008GDGC	SEE NOTES
AHU-2	BOXING	BOXING	VRV	3500	700	1.5	3.8	3.0	5	80	67	55	55	130	95	1	467	R410A	100	50	76	0.4	500	160	130	7.00	0.13	1	10	208/360	15.3	19.125	34	8	13	1.6	430	1905	DAIKIN CAH008GDGC	SEE NOTES
AHU-3	GYM	GYM	VRV	3500	700	1.5	3.8	3.0	5	80	67	55	55	130	95	1	467	R410A	100	50	76	0.4	500	160	130	7.00	0.13	1	10	208/360	15.3	19.125	34	8	13	1.6	430	1905	DAIKIN CAH008GDGC	SEE NOTES
AHU-4	GYM	GYM	VRV	3500	700	1.5	3.8	3.0	5	80	67	55	55	130	95	1	467	R410A	100	50	76	0.4	500	160	130	7.00	0.13	1	10	208/360	15.3	19.125	34	8	13	1.6	430	1905	DAIKIN CAH008GDGC	SEE NOTES

NOTES:

- AHU CONTROLS TO BE SHIPPED TO FACTORY FOR INSTALL AND WIRED IN THE FIELD.
- UNIT CASING SHALL NOT EXCEED 1:200 DEFLECTION RATIO AND 1% LEAKAGE AT +/-8 INCH WG INTERNAL PRESSURE.
- AHUS SHALL HAVE THE FOLLOWING SECTIONS: MIXING BOX, FLAT FILTER, DX COIL SECTION, ACCESS, HW REHEAT COIL SECTION, AIRFOIL PLENUM FAN SECTION.
- PROVIDE ALL AHUS WITH RA AND OA MOTORIZED DAMPERS, INTEGRATE TO NEW BMS
- PROVIDE UNITS WITH CONDENSATE PUMP
- PROVIDE VRV INTEGRATION KIT

AIR CONDITIONING UNIT SCHEDULE

UNIT NO.	LOCATION	SERVICE	SYSTEM TYPE	TOTAL CFM	COOLING CAPACITY				HEATING CAPACITY				ELECTRICAL				FILTER			OPER UNIT WEIGHT (LBS.)	BASIS OF DESIGN - MANUFACTURER & MODEL NO.	REMARKS			
					TOTAL CAPACITY (MBH)	SENSIBLE CAPACITY (MBH)	EAT 'F	LAT 'F	CAPACITY (MBH)	EAT 'F	LAT 'F	V	PH	HZ	MCA	MOP	REFRIGERANT	PRE FILTER SELECTION							
																		MERV	MAX. P.D. (in. W.G.)				MAX. FACE VEL. (FPM)		
AC-1	003 LOCKER ROOM	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-2	003 LOCKER ROOM	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-3	003B LOCKER ROOM	-	WALL MOUNTED	260	6.4	5.616	75	63	55	55	8.7	58	85	208	1	60	0.3	15	R410A	8	0.5	500	35	FXAG07PVJU	SEE NOTES
AC-4	003B LOCKER ROOM	-	WALL MOUNTED	280	8.1	6.048	75	63	55	55	11.1	58	85	208	1	60	0.3	15	R410A	8	0.5	500	35	FXAG09PVJU	SEE NOTES
AC-5	008 COORRIDOR	-	WALL MOUNTED	260	6.4	5.616	75	63	55	55	8.7	58	85	208	1	60	0.3	15	R410A	8	0.5	500	35	FXAG07PVJU	SEE NOTES
AC-6	009 MULTI SPACE	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-7	009 MULTI SPACE	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-8	014 CORRIDOR	-	WALL MOUNTED	260	6.4	5.616	75	63	55	55	8.7	58	85	208	1	60	0.3	15	R410A	8	0.5	500	35	FXAG07PVJU	SEE NOTES
AC-9	018 CORRIDOR	-	WALL MOUNTED	280	8.1	6.048	75	63	55	55	11.1	58	85	208	1	60	0.3	15	R410A	8	0.5	500	35	FXAG09PVJU	SEE NOTES
AC-10	025 CORRIDOR	-	WALL MOUNTED	280	8.1	6.048	75	63	55	55	11.1	58	85	208	1	60	0.3	15	R410A	8	0.5	500	35	FXAG09PVJU	SEE NOTES
AC-11	031 EXERCISE ROOM	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-12	031A EXERCISE ROOM	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-13	032 EXERCISE ROOM	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-14	032 EXERCISE ROOM	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-15	033 CORRIDOR	-	WALL MOUNTED	280	8.1	6.048	75	63	55	55	11.1	58	85	208	1	60	0.3	15	R410A	8	0.5	500	35	FXAG09PVJU	SEE NOTES
AC-16	034A MULTISPACE	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-17	034B MULTISPACE	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-18	106 STAFF OFFICE	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-19	112 OFFICE	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-20	115 CONFERENCE	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-21	119 ARTS & CRAFTS	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-22	119 ARTS & CRAFTS	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-23	201 COMPUTER ROOM	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-24	201 COMPUTER ROOM	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-25	203 PRR STAFF OFFICE	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-26	203 PRR STAFF OFFICE	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-27	207 KITCHEN	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-28	209 GAME ROOM 1	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-29	209 GAME ROOM 1	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-30	209 GAME ROOM 1	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-31	210 GAME ROOM 2	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-32	210 GAME ROOM 2	-	WALL MOUNTED	500	15.4	10.8	75	63	55	55	21.0	58	85	208	1	60	0.4	15	R410A	8	0.5	500	35	FXAG18PVJU	SEE NOTES
AC-33	015 STORAGE	-	WALL MOUNTED	290	12.0	6.264	75	63	55	55	13.5	58	85	208	1	60	0.4	15	R410A	8	0.5	500	26	FXAG12PVJU	SEE NOTES
AC-34	017 DOJO ROOM	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-35	017 DOJO ROOM	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-36	017 DOJO ROOM	-	WALL MOUNTED	635	20.6	13.716	75	63	55	55	27.5	58	85	208	1	60	0.6	15	R410A	8	0.5	500	35	FXAG24PVJU	SEE NOTES
AC-37	008 TELECOM	-	WALL MOUNTED	290	12.0	6.264	75	63	55	55	13.5	58	85	208	1	60	0.4	15	R410A	8	0.5	500	26	FXAG12PVJU	SEE NOTES
AC-38	026 TELECOM	-	WALL MOUNTED	290	12.0	6.264	75	63	55	55	13.5	58	85	208	1	60	0.4	15	R410A	8	0.5	500	26	FXAG12PVJU	SEE NOTES

NOTES:

- REFRIGERANT IS R-410A. REFRIGERANT PIPING SHALL BE SIZED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
- PROVIDE UNITS w/WALL MOUNTED TEMPERATURE SENSOR.
- REFER TO MANUFACTURER'S WRITTEN INSTRUCTIONS FOR MOUNTING UNITS.
- PROVIDE ISOLATION/SERVICE VALVES ON EACH LINE SET AT EACH AC UNIT AND CONDENSING UNIT.
- PROVIDE EACH AC UNIT WITH CONDENSATE LIFT KIT SIMILAR TO ASURITY CP-M230, 1.3 GPH AT FTHD, 19W, 230V/1PH. CIRCUIT PUMP THRU THE ASSOCIATED AC UNIT.

DOAS UNIT SCHEDULE

