



CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

MAYOR - CHERELLE L. PARKER

COMMISSIONER - DEPARTMENT OF PARKS & RECREATION - SUSAN SLAWSON

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

PROJECT NO. 16315E-03-02

4800 WAYNE AVENUE,
PHILADELPHIA, PA 19144



CONSTRUCTION DOCUMENTS

SMPARCHITECTS
1600 Walnut Street, 2nd Floor
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215 985 4410

LANDSCAPE ARCHITECT:
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915 Spring Garden Street, Suite 403
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215 790 0727

CIVIL ENGINEER:
KS ENGINEERS
530 Walnut Street, Suite 460
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215 925 0425

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
100 E Lancaster Avenue, Suite 203
Wayne, PA 19087
610 688 2566

MEP ENGINEER:
ARORA ENGINEERS
61 Wilmington-West Chester Pike
Chadds Ford, PA 19317
610 459 7900

ROOFING CONSULTANT:
STEVE McLAUGHLIN ROOFING CONSULTANT
210 Garden Avenue
Somerdale, NJ 08083
856 287 2424

LOCATION PLAN



ALTERNATES:

- WAYNE AVENUE SIDEWALK**
BASE SCOPE: EXISTING TO REMAIN
ADD ALTERNATE: DEMOLISH EXISTING CONCRETE PAVING. ADD NEW CONCRETE PAVING. REFER TO LANDSCAPE DRAWINGS. CLEAN AND JET EXISTING INLET AT BASKETBALL COURTS.
- BASKETBALL COURTS**
BASE SCOPE: EXISTING TO REMAIN
ADD ALTERNATE: MILL EXG ASPHALT PAVING AND OVERLAY WITH NEW ASPHALT TOPPING, PROVIDE NEW COURT MARKING. REFER TO LANDSCAPE DRAWINGS.
- COMPUTER ROOM 102 AND GAMING ROOM 103 MILLWORK**
BASE SCOPE: DEMOLISH EXISTING MILLWORK AND EQUIPMENT PER DRAWINGS. PROVIDE NEW COUNTERTOP, CASEWORK, AND SHELVE AS DOCUMENTED.
DEDUCT ALTERNATE: DEMOLISH EXISTING MILLWORK AND EQUIPMENT PER DRAWINGS. FINISH ALL WALL, CEILING, AND FLOOR PER SPECIFICATIONS.

DRAWING LIST

GENERAL	
CS	COVER SHEET
ARCHITECTURAL	
A0.1	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS
A0.2	BUILDING CODE INFORMATION
CIVIL	
C1.00	EXISTING SITE PLAN & INLET CLEANING PLAN
C1.01	SIDEWALK SITE PLAN
C1.02	SIDEWALK GRADING PLAN
C1.03	UTILITY PLAN
C5.00	SIDEWALK CONSTRUCTION DETAILS
CE1.01	EROSION AND SEDIMENT CONTROL PLAN
CE5.01	EROSION AND SEDIMENT CONTROL DETAILS
CE7.01	EROSION AND SEDIMENT CONTROL NOTES

LANDSCAPE

L1.0	DEMOLITION AND PROTECTION PLAN
L2.0	MATERIALS PLAN
L2.1	MATERIALS PLAN
L3.0	LAYOUT PLAN
L3.1	LAYOUT PLAN
L3.2	LAYOUT PLAN PLAY & SPRAY EQUIPMENT
L3.3	LAYOUT PLAN - JOINTING & SAFETY SURFACE
L4.0	GRADING PLAN
L5.0	PLANTING PLAN
L6.0	SITE DETAILS
L6.1	SITE DETAILS
L6.2	SITE DETAILS
L6.3	SITE DETAILS
L6.4	SITE DETAILS
L6.5	SITE DETAILS
L6.6	PLANTING DETAILS

ARCHITECTURAL

D2.0	BASEMENT DEMOLITION PLAN
D2.1	FIRST FLOOR DEMOLITION PLAN
D2.2	ROOF DEMOLITION PLAN
D3.0	DEMOLITION ELEVATIONS
D3.1	DEMOLITION ELEVATIONS
A2.0	BASEMENT PLAN
A2.1	FLOOR PLAN, EXTERIOR & INTERIOR WALL TYPES
A2.2	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS & DETAIL
A3.1	EXTERIOR ELEVATIONS

A3.2	BUILDING SECTIONS & ROOF TYPES
A4.0	ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS
A5.0	INTERIOR ELEVATIONS
A5.1	CASEWORK DETAILS
A6.0	REFLECTED CEILING PLANS
A8.0	ROOF DETAILS
A8.1	BREEZEWAY ENLARGED PLAN & DETAILS
A9.0	DOOR SCHEDULE, TYPES & DETAILS
A9.1	WINDOW TYPES & DETAILS
A9.2	FINISH PLANS & SCHEDULE, SIGNAGE
A10.0	INTERIOR DETAILS

STRUCTURAL

S1.0	STRUCTURAL DETAILS
S1.1	GENERAL NOTES

MECHANICAL

M-001	MECHANICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
MD-101	MECHANICAL DEMOLITION BASEMENT PLAN
MD-102	MECHANICAL DEMOLITION FIRST FLOOR PLAN
MD-103	MECHANICAL DEMOLITION ROOF PLAN
M-101	MECHANICAL BASEMENT PLAN
M-102	MECHANICAL FIRST FLOOR PLAN
M-103	MECHANICAL ROOF PLAN
M-500	MECHANICAL DETAILS
M-600	MECHANICAL SCHEDULES
M-601	MECHANICAL SCHEDULES

ELECTRICAL

E-001	ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
ED-101	ELECTRICAL DEMOLITION BASEMENT POWER PLAN
ED-102	ELECTRICAL DEMOLITION FIRST FLOOR POWER AND SECURITY PLAN
ED-201	ELECTRICAL DEMOLITION BASEMENT LIGHTING PLAN
ED-202	ELECTRICAL DEMOLITION FIRST FLOOR LIGHTING PLAN
E-101	ELECTRICAL POWER BASEMENT PLAN
E-102	ELECTRICAL POWER AND SECURITY FIRST FLOOR PLAN
E-201	ELECTRICAL LIGHTING BASEMENT PLAN
E-202	ELECTRICAL LIGHTING FIRST FLOOR PLAN
E-501	ELECTRICAL SINGLE LINE DIAGRAM DEMOLITION
E-502	ELECTRICAL SINGLE LINE DIAGRAM NEW WORK
E-601	ELECTRICAL LUMINAIRE SCHEDULE
E-602	ELECTRICAL PANELBOARD SCHEDULES

E-701 ELECTRICAL DETAILS

PLUMBING	
P-001	PLUMBING, GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
PD-101	PLUMBING DEMOLITION BASEMENT PLAN
PD-102	PLUMBING DEMOLITION FIRST FLOOR PLAN
PD-103	PLUMBING DEMOLITION ROOF PLAN
P-100	PLUMBING SITE PLAN
P-101	PLUMBING BASEMENT PLAN
P-102	PLUMBING FIRST FLOOR PLAN
P-103	PLUMBING ROOF PLAN
P-300	PLUMBING ENLARGED PLANS
P-400	PLUMBING RISER DIAGRAMS
P-500	PLUMBING DETAILS
P-501	PLUMBING DETAILS
P-600	PLUMBING SCHEDULES

FIRE PROTECTION

FA-001	FIRE ALARM GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
FAD-101	FIRE ALARM DEMOLITION BASEMENT PLAN
FAD-102	FIRE ALARM DEMOLITION FIRST FLOOR PLAN
FA-101	FIRE ALARM BASEMENT PLAN
FA-102	FIRE ALARM FIRST FLOOR PLAN
FA-500	FIRE ALARM DETAILS
FA-501	FIRE ALARM DETAILS
FA-502	FIRE ALARM DETAILS, SCHEDULES AND RISER DIAGRAM

PROJECT APPROVED

COMMISSIONER/PARKS AND RECREATION

DEPUTY COMMISSIONER/CAPITAL PROJECTS

PROJECT DIRECTOR

SEALS



CITY OF PHILADELPHIA

DEPARTMENT OF PARKS AND RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
JS/SCR

CHECKED BY
SCR

DRAWING NO.

CS-1

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.
- THE CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROVIDE A SKETCH OF THE CONDITION.
- (RESERVED)
- THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS WITH ALL TRADES PRIOR TO INSTALLATION.
- DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING NIC, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL SLEEVEING WORK, UNO, COORDINATE LOCATION AND SIZE OF ALL OPENINGS, INTERIOR AND/OR EXTERIOR WITH ALL TRADES PRIOR TO INSTALLATION.

GENERAL RENOVATION NOTES:

- PERFORM DISASSEMBLY AND REMOVALS IN A CONTROLLED MANNER; WITHOUT UNNECESSARY CUTS; WITHOUT DAMAGE TO THE SITE, STRUCTURE OR FEATURES; WITHOUT DAMAGE TO THE MATERIALS OR CONSTRUCTION TO REMAIN.
- PROMPTLY RESTORE, REPLACE, OR REINSTALL ANY ITEMS DEMOLISHED WHERE NOT SCHEDULED TO BE DEMOLISHED, OR DAMAGED BY ANY DEMOLITION/CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER. SECURE A/E APPROVAL PRIOR TO CONDUCTING REMEDIAL WORK.
- REPRESENTATIVE DETAILS, PROFILES, AND DIMENSIONS NOTED ARE APPROXIMATE. FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, AND ASSEMBLIES PRIOR TO PREPARING SHOP DRAWINGS.
- ALL EXISTING OPENINGS AND PENETRATIONS THAT ARE ABANDONED SHALL BE PATCHED AND REPAIRED. ALL PATCH AND REPAIR WORK SHALL BE PERFORMED USING MATERIALS THAT MATCH THE EXISTING ADJACENT CONSTRUCTION IN LIKE AND KIND. WHERE PATCHING IS REQUIRED IN MASONRY PARTITIONS, MASONRY SHALL BE TOOTHED IN TO MATCH.

DIMENSIONING:

- FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK.
- INTERIOR DIMENSIONS ARE TO FINISH FACE OF WALL OR NOMINAL THICKNESS MASONRY THICKNESS UNLESS NOTED OTHERWISE. REFER TO PARTITION TYPES AND PLAN DETAILS FOR MORE INFORMATION.
- EXTERIOR DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
- OPENING DIMENSIONS IN BRICK/CMU/PLASTER PARTITIONS ARE TO NOMINAL MASONRY OPENING.
- ALL FINISH FLOOR HEIGHTS ARE TO BE VERIFIED IN FIELD. CONTRACTOR TO COORDINATE THE ALIGNMENT OF EXISTING AND NEW FINISH FLOOR HEIGHTS.

GENERAL PRESERVATION NOTES:

- THE PROJECT INVOLVES THE RENOVATION OF HISTORIC STRUCTURES AND SHALL BE TREATED RESPECTFULLY. EXISTING BUILDING ELEMENTS SHALL BE CAREFULLY HANDLED AND PROTECTED. NO EXISTING MATERIAL OR ELEMENT SHALL BE REMOVED OR ALTERED UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS OR DIRECTED BY THE ARCHITECT.
- PRESERVATION OF THE HISTORIC STRUCTURE: THE WORK CONSISTS OF RESTORATION OF AN HISTORIC STRUCTURE LISTED ON THE LOCAL REGISTER OF HISTORIC PLACES. EXERCISE EXTREME CARE IN ALL ASPECTS OF THE WORK TO CONSERVE, PRESERVE, AND PROTECT THE EXISTING STRUCTURE. DO NOT USE METHODS WHICH WILL RESULT IN UNNECESSARY LOSS OF DETAIL OR MATERIAL FROM THE EXISTING STRUCTURE. IF IN DOUBT, CONTACT THE A/E FOR ASSISTANCE.
- THE WORK SHALL BE COMPLETED IN COMPLIANCE WITH THE UNITED STATES SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES (REVISED 1995). STRICT COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS IS REQUIRED TO ASSURE COMPLIANCE OF THE WORK WITH THESE STANDARDS.
- STRUCTURAL STABILITY AND SAFETY: DO NOT SECURE SCAFFOLDING, PLATFORMS, LADDERS, MATERIALS OR EQUIPMENT TO THE EXISTING STRUCTURE PRIOR TO REVIEW BY THE A/E.
- CONCEALED CONDITIONS: BECAUSE EVIDENCE IS CONCEALED BY EXTANT EXTERIOR SURFACES, QUESTIONS MAY REMAIN WITH REGARD TO THE ORIGINAL CONSTRUCTION OF THE BUILDING. THE A/E AND OWNER WILL OBSERVE CURRENTLY CONCEALED SURFACES AFTER THEY HAVE BEEN REVEALED BY SELECTIVE DEMOLITION. THE CONTRACTOR SHALL PLAN AND PROVIDE FOR TIMELY NOTIFICATION TO THE A/E AND OWNER WHEN MANDATORY OBSERVATION AREAS ARE UNCOVERED SO THAT WORK IS NOT DELAYED. DO NOT PROCEED WITH WORK UNTIL A/E AND OWNER OBSERVATION HAS BEEN PERFORMED AND FURTHER WORK HAS BEEN RELEASED BY THE A/E AND OWNER.
- FIRE HAZARDS AND FIRE PREVENTIONS: SMOKE WITHIN, ON OR NEAR THE STRUCTURE IS NOT PERMITTED. BURNING, CUTTING, WELDING, BRAZING, OR OPEN FLAMES WITHIN, OR ON, THE STRUCTURE IS NOT PERMITTED UNLESS NOTED OTHERWISE. POST AND MAINTAIN A FIRE-WATCH DURING SOLDERING WORK. MAINTAIN THE FIRE WATCH FOR A MINIMUM OF THREE HOURS AFTER CESSATION OF SOLDERING. DO NOT PERMIT STORAGE OF MATERIALS OR WASTE IN THE BUILDING. IMMEDIATELY REMOVE ALL WASTE FROM THE BUILDING AT THE END OF EACH WORK DAY. DO NOT STORE FLAMMABLE MATERIALS IN OR NEAR THE STRUCTURE.
- MAINTAIN A PROGRAM OF FIRE PREVENTION FOR DEMOLITION AND CONSTRUCTION OPERATIONS FOR THE DURATION OF WORK, INCLUDING APPROPRIATE FIRE EXTINGUISHERS IN COMPLIANCE WITH NFPA 241. PROVIDE FOR NOTIFICATION TO THE FIRE DEPARTMENT IN THE EVENT OF FIRE. MAINTAIN CLEAR ACCESS ON ROADS AND AROUND THE STRUCTURE AT ALL TIMES.
- EXISTING CONDITIONS AND LAYOUT: DATA ON EXISTING CONDITIONS INDICATED IN THE DRAWINGS. SPECIFICATIONS ARE AS EXACT AS COULD BE SECURED BUT THEIR ABSOLUTE ACCURACY IS NOT GUARANTEED. THE EXACT LOCATIONS, DISTANCES, LEVELS AND OTHER CONDITIONS WILL BE GOVERNED BY ACTUAL CONSTRUCTION (VISIBLE OR CONCEALED) AND THE EXACT LOCATION OF EXISTING FEATURES. THE DRAWINGS AND DETAILS ARE TO BE USED FOR GUIDANCE IN SUCH REGARD.
- DETRIMENTAL (UNFORESEEN) CONDITIONS: EXAMINE THE AREAS AND CONDITIONS UNDER WHICH THIS WORK WILL BE PERFORMED. NOTIFY HE A/E IF UNSOUND OR UNSAFE CONDITIONS ARE ENCOUNTERED/EXPOSED AND OBTAIN A/E DIRECTION. CORRECT CONDITIONS IN A TIMELY MANNER. DO NOT PROCEED UNTIL UNSOUND OR UNSAFE CONDITIONS ARE CORRECTED.
- MOCKUPS OF THE WORK: CONSTRUCT MOCKUPS AND SECURE ACCEPTANCE OF MOCKUPS FROM THE A/E AND OWNER PRIOR TO PROCEEDING WITH PORTIONS OF THE WORK, AS DESCRIBED IN THE SPECIFICATIONS. DO NOT PROCEED ITH THE WORK IN OTHER AREAS UNTIL THE MOCKUPS HAVE BEEN ACCEPTED. SELECTED MOCKUPS MAY BE INCORPORATED INTO THE FINAL WORK ONLY AFTER APPROVAL BY A/E AND OWNER.
- OBSERVATIONS OF THE WORK: THE CONSTRUCTION DOCUMENTS DESCRIBE POINTS DURING THE WORK AT WHICH THE OBSERVATION OF THE A/E AND OWNER IS REQUIRED BEFORE WORK MAY PROCEED. PLAN AND PROVIDE FOR THE TIMELY NOTIFICATION TO THE A/E AND OWNER WHEN MANDATORY OBSERVATION POINTS WILL BE REACHED SO THAT WORK IS NOT DELAYED. DO NOT PROCEED WITH WORK UNTIL OBSERVATION IS COMPLETE AND FURTHER WORK HAS BEEN RELEASED BY THE A/E AND OWNER.

ABBREVIATIONS:

A A/E AB ABV ACT ADJ AFF AGG ALCW AL(ALUM) ALSF ALW ANOD AP APPROX ARCH	ARCHITECT/ENGINEER ANCHOR BOLT ABOVE ACOUSTIC CEILING TILE ADJACENT/ADJUSTABLE ABOVE FINISH FLOOR AGGREGATE ALUMINUM CURTAINWALL ALUMINUM ALUMINUM STOREFRONT ALUMINUM WINDOW ANODIZED ACCESS PANEL APPROXIMATE ARCHITECTURAL	F FA FCB FCU FD FEC FF FFE FIN FLG FLR FND F.O. FP FT FTG FTR	FIRE ALARM FIBER CEMENT BOARD FAN COIL UNIT FLOOR DRAIN FIRE EXTINGUISHER CABINET FACTORY FINISH FINISHED FLOOR ELEVATION FINISHED FLASHING FLOOR(ING) FOUNDATION FACE OF FILLER PANEL FOOT (FEET) FOOTING FIN TUBE RADIATOR	P PAC PERF PLAM PLAS PNL PNLG PNT POL PROJ P.T. PT PTN PLYWOOD PV	PRECAST ARCHITECTURAL CONCRETE PERFORATED PLASTIC LAMINATE PLASTER PANEL PANELING PAINT(ED) POLISHED PROJECTION PRESSURE TREATED PORCELAIN TILE PARTITION PLYWOOD PIPE VENT
B B&B BCAB BD BLDG BLKG BLW B.O. BC BM BRK BTW	BOARD AND BATTEN BASE CABINET BOARD BUILDING BLOCKING BELOW BOTTOM OF BROADLOOM CARPET BEAM BRICK BETWEEN	G GA GALV GF GLAZ GWB	GAUGE GALVANIZED GROUND FACE GLAZED, GLAZING, GLASS GLASS REINFORCED GYPSUM GYPSUM WALLBOARD	R RA RAD RB RBT RCP RD REF REQ'D REV RSF RT RM R.O. RTF RWC	RETURN AIR RADIUS RUBBER BASE RUBBER STAIR TREAD REFLECTED CEILING PLAN ROOF DRAIN REFER, REFERENCE REQUIRED REVISION, REVISE(D) RESILIENT FLOORING RESILIENT TILE FLOORING ROOM ROUGH OPENING RESILIENT RUBBER TILE FLOORING RAINWATER CONDUCTOR
C CAB CB CERT CFMF CJ CL CLG CLR CMU COL COMP CONC CONT COORD COR CPT CT CUH CW	CABINET CEMENTBOARD CERTIFIED COLD FORMED METAL FRAMING CONSTRUCTION/CONTROL JOINT CENTERLINE CEILING CLEAR/ CLEARANCE CONCRETE MASONRY UNIT COLUMN COMPOSITE CONCRETE CONTINUOUS COORDINATE CORRUGATED CARPET TILE CERAMIC TILE CABINET UNIT HEATER CURTAINWALL	H HDPE HM HOR HR HRWD HSS HT HVAC HWH	HIGH DENSITY POLYETHYLENE HOLLOW METAL HORIZONTAL HOUR HARDWOOD HOLLOW STEEL SECTION HEIGHT HEAVING/VENTILATION/AIR CONDITIONING HOT WATER HEATER	S S SA SAU SBC SBO SFI SGT SIM SIP SL SOG SSTL STD STL STN STRUCTURAL SUSP	SOUTH SUPPLY AIR SELF ADHERING UNDERLAYMENT SINK BASE CABINET SUPPLIED BY OTHERS SPRAY FOAM INSULATION STRUCTURAL GLAZED TILE SIMILAR STRUCTURAL INSULATED PANEL SLOPED/SLOPE SLAB ON GRADE STAINLESS STEEL STANDARD STEEL STAINED STRUCTURAL SUSPENDED
D DEMO DIA DIM DN DR DS DTL DWG(S)	DEMOLISH/DEMOLITION DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DETAIL DRAWING(S)	I IGU INCL INFO INSUL INT	INSULATED GLAZING UNIT INCLUDING/INCLUDED INFORMATION INSULATED, INSULATION INTERIOR	T TER TF THK TLT TPTN T.O. TYP T&G	TERRAZZO TRANSPARENT FINISH THICKNESS TOILET TOILET PARTITION TOP OF TYPICAL TONGUE AND GROOVE
E E EA EJ EL ELEC ELEV EMER EP EPX EQ EQPM ES ETR EWC EXP EXG EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ELECTRICAL PANEL EPOXY EQUAL EQUIPMENT EXPOSED STRUCTURE EXISTING TO REMAIN ELECTRIC WATER COOLER EXPOSED EXISTING EXTERIOR	M MAS MAS DIM MATL MAX MDF MECH MFR MGP MIN M.O. MR MTD MTL MULL	MASONRY MASONRY DIMENSION MATERIAL MAXIMUM MEDIUM DENSITY FIBERBOARD MECHANICAL MANUFACTURER MARINE GRADE PLYWOOD MINIMUM MASONRY OPENING MOISTURE RESISTANT MOUNTED METAL MULLION	U UNO	UNLESS NOTED OTHERWISE
N N NAT NIC NOM NTS	NORTH NOT APPLICABLE NATURAL NOT IN CONTRACT NOMINAL NOT TO SCALE	O OC OFE OH OPP OPG OSB OTLN	ON CENTER OWNER FURNISHED EQUIPMENT OPPOSITE HAND OPPOSITE OPENING ORIENTED STRAND BOARD OUTLINE	V VAR VERT VEST VIF VTR	VARIES/VARIOUS VERTICAL VESTIBULE VERIFY IN FIELD VENT THROUGH ROOF
W W W/O WB WC WCAB WD WDP WF WIN WOM WSCOT	WEST WITH WITHOUT WALL BASE WATER CLOSET WALL CABINET WOOD WOOD PANEL WIDE FLANGE WINDOW WALK OFF MAT WAINSCOT	X XPS	EXTRUDED POLYSTYRENE		

MATERIAL SYMBOLS:

EARTH	STONE	CONCRETE	PLASTER, GWB, GROUT
CMU	BRICK	SLATE	CUT STONE
BLOCKING	PLYWOOD (LARGE SCALE)	MEDIUM DENSITY FIBERBOARD	BATT/LOOSE FILL/INSUL
STEEL (LARGE SCALE)	STEEL (SMALL SCALE)	ALUMINUM (LARGE SCALE)	MINERAL WOOL INSULATION
FINISH CARPENTRY	ROUGH CARPENTRY	FIBER CEMENT BD	GLASS (SMALL SCALE)
RIGID INSUL (LARGE SCALE)	RIGID INSUL (SMALL SCALE)	SPRAY APPLIED INSUL	

REFERENCE SYMBOLS:

ROOM IDENTIFICATION	ROOM NAME 101
BUILDING SECTION	DIRECTION OF BUILDING SECTION DRAWING ID NO. A01 SHEET ID NO.
DETAIL SECTION	DIRECTION OF DETAIL SECTION DRAWING ID NO. A01 SHEET ID NO.
DOOR	DOOR NUMBER 100A
REVISION	1
NORTH ARROW	
GRAPHIC SCALE	0' 3' 6' 12'

PARTITION TYPE	PARTITION NUMBER B3
DETAIL	DRAWING ID NO. LIMIT OF DETAIL AREA A01 SHEET ID NO.
ROOM ELEVATIONS	DRAWING ID NO. DIRECTION OF ROOM ELEVATION 1 A01 SHEET ID NO.
BUILDING ELEVATION	DIRECTION OF ELEVATION DRAWING ID NO. 1 A01 SHEET ID NO.

DATUM ELEVATION	1ST FLOOR EL 0'-0"
SPOT ELEVATION	EL 0'-0"
BREAKLINE	
REFERENCE GRID	1 A C
WINDOW TAG	W1
LOUVER TAG	A
KEYED NOTE	CN-1

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR	LEEANN SUEN
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SEALS	
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SMPARCHITECTS

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE	RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER
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DRAWING TITLE	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS
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PROJECT NO.	16315E-03-02	DRAWING NO.	A0.1
DATE	05/13/2025		
SCALE	AS NOTED		
DRAWN BY	JS/SCR		
CHECKED BY	SCR		

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

PROJECT INFORMATION:
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER
THE CITY OF PHILADELPHIA, DEPARTMENT OF PARKS AND RECREATION
1515 ARCH STREET, 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA, PA 19104

CODES REFERENCED:
PHILADELPHIA EXISTING BUILDING CODE (IEBC 2018)
PHILADELPHIA BUILDING CODE (IBC 2018)
PHILADELPHIA PLUMBING CODE (IPC 2018)
ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES 2017 OF PHILADELPHIA (A117.1, 2017)

CODE SUMMARY (ALL REFERENCES TO IBC 2018 UNO):

IEBC CHAPTER 6: CLASSIFICATION OF WORK
PROPOSED WORK IS **ALTERATION LEVEL 2**
TOTAL WORK AREA: 424 SQFT

IEBC CHAPTER 8: ALTERATIONS - LEVEL 2
810.1 ENERGY CONSERVATION
LEVEL 2 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT
REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS
OF IEBC.

CHAPTER 3: OCCUPANCY CLASSIFICATION & USE
NO PROPOSED CHANGES TO OCCUPANCY CLASSIFICATION & USE
ASSEMBLY GROUP A-3

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS
N/A

CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS
NO PROPOSED CHANGES TO HEIGHT OR AREA
EXISTING BUILDING AREA: 1,455 SF (BASEMENT) + 3,544 SF (1ST FLOOR) = 4,999 SF
EXISTING BUILDING HEIGHT: 1 STORY W/ PARTIAL BASEMENT

CHAPTER 6: TYPES OF CONSTRUCTION
CONSTRUCTION CLASSIFICATION: **III-B, UNSPRINKLERED**
FIRE RESISTANCE RATINGS (TABLE 601)
PRIMARY STRUCTURAL FRAME 0 HOURS
BEARING WALLS 2 HOURS
NON BEARING WALLS 0 HOURS
FLOOR CONSTRUCTION 0 HOURS
ROOF CONSTRUCTION 0 HOUR

FIRE RESISTANCE RATING REQS FOR EXT WALLS BASED ON FIRE SEPARATION DISTANCE (TABLE 602)
10'X<30' - OCCUPANCY GROUP A - 1HR

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES
705.3 BUILDINGS ON THE SAME LOT
AGGREGATE AREA OF BUILDINGS = 8,075 SQFT
(TABLE 506.2 ALLOWABLE AREA DETERMINATION)
A-3 - TYPE IIB/IIIB - NS - 9,500 SQFT (> 8,075 SQFT)
BUILDINGS SHALL BE TREATED AS ONE BUILDING

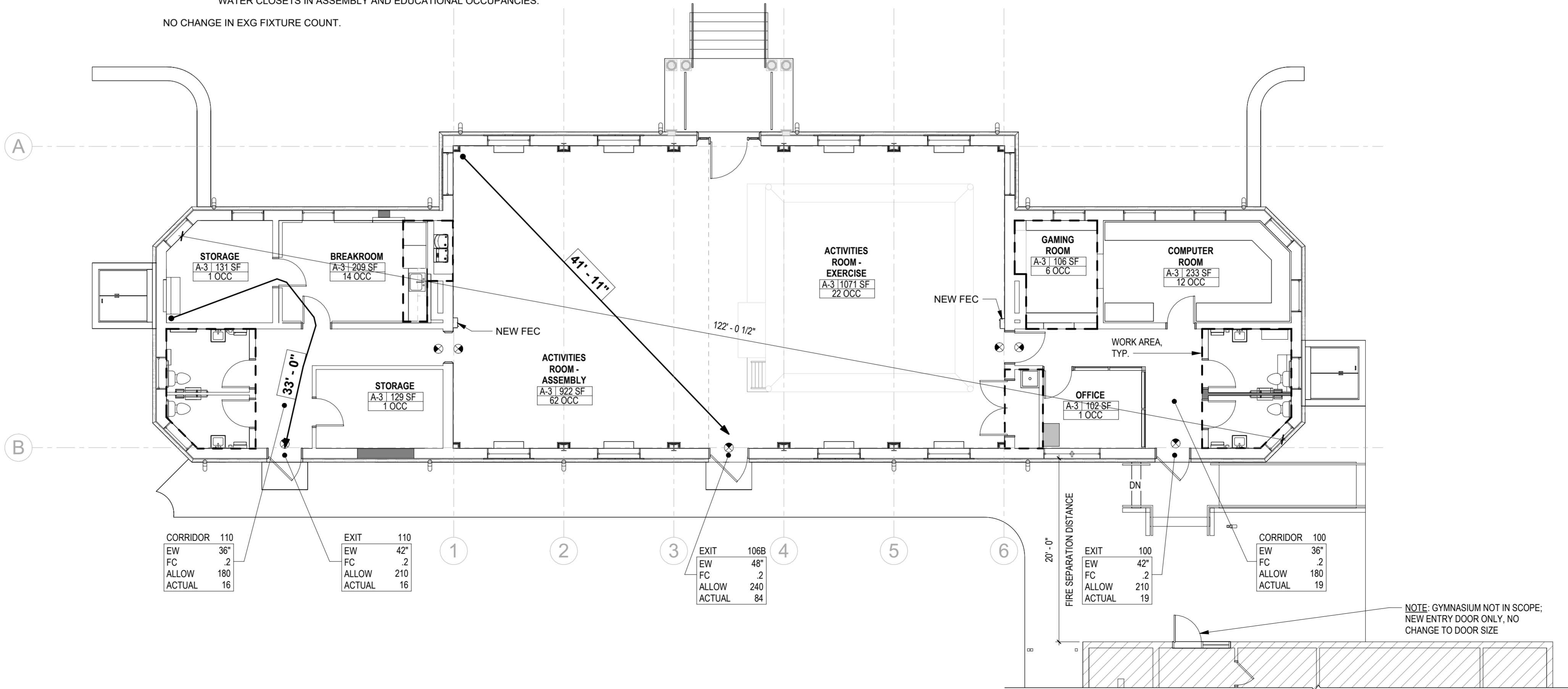
CHAPTER 8: INTERIOR FINISHES
INTERIOR WALL & CEILING FINISHES BASED ON OCCUPANCY
(TABLE 803.13, OCCUPANCY GROUP A-3 GOVERNS)
INTERIOR EXIT STAIRWAYS / EXIT PASSAGEWAYS
CORRIDORS/ENCLOSURE FOR EXIT ACCESS STAIRWAYS
ROOMS AND ENCLOSED SPACES

CHAPTER 9: FIRE PROTECTION & LIFE SAFETY SYSTEMS
906.1 PORTABLE FIRE EXTINGUISHERS ARE REQUIRED IN EXSITING GROUP A OCCUPANCY
TABLE 906.3: FIRE EXTINGUISHERS FOR CLASS A FIRE HAZARDS, LOW HAZARD OCCUPANCY
MINIMUM RATED SINGLE EXTINGUISHER = 2-A
MAXIMUM FLOOR AREA PER UNIT OF A = 3000 SF
MAXIMUM FLOOR AREA FOR EXTINGUISHER = 11,250 SF
MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER = 75 FEET

CHAPTER 10: MEANS OF EGRESS
OCCUPANT LOAD: **SEE TABLES BELOW**
EXIT AND EXIT ACCESS DOORWAY CONFIGURATION (1007)
WHERE TWO EXITS, EXIT ACCESS DOORWAYS, EXIT ACCESS STAIRWAYS OR RAMPS, OR ANY
COMBINATION THERE OF, ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS THEY SHALL BE
PLACED **A DISTANCE EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM
OVERALL DIAGONAL DIMENSION** OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A
STRAIGHT LINE BETWEEN THEM.
EXIT ACCESS DISTANCE (TABLE 1017.2)
MAX TRAVEL DISTANCE **250'** (OCCUPANCY A, UNSPRINKLERED)


IPC CHAPTER 4: FIXTURES, FAUCETS, AND FIXTURE FITTINGS
MIN NUMBER OF REQ'D PLUMBING FIXTURES
GYMNASIUMS: 1 PER 125 OCCUPANTS
P424.2 URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67 PERCENT OF THE REQUIRED
WATER CLOSETS IN ASSEMBLY AND EDUCATIONAL OCCUPANCIES.

NO CHANGE IN EXG FIXTURE COUNT.




1 LIFE SAFETY PLAN
A0.2 1/8" = 1'-0"


OCCUPANT LOAD						
OCCUPANCY CLASSIFICATION	ROOM			FUNCTION (TABLE 1004.5)	SF/ OCCUPANT	OCCUPANT LOAD
	NUMBER	NAME	AREA			
FIRST FLOOR FFE						
ASSEMBLY GROUP A-3	102	COMPUTER ROOM	233 SF	Educational - Classroom area	20 NET	12
ASSEMBLY GROUP A-3	103	GAMING ROOM	106 SF	Educational - Classroom area	20 NET	6
ASSEMBLY GROUP A-3	105	OFFICE	102 SF	Business Areas	150 GROSS	1
ASSEMBLY GROUP A-3	106	ACTIVITIES ROOM - EXERCISE	1071 SF	Exercise rooms	50 GROSS	22
ASSEMBLY GROUP A-3	106	ACTIVITIES ROOM - ASSEMBLY	922 SF	Assembly without fixed seats - Unconcentrated (tables and chairs)	15 NET	62
ASSEMBLY GROUP A-3	107	BREAKROOM	209 SF	Assembly without fixed seats - Unconcentrated (tables and chairs)	15 NET	14
ASSEMBLY GROUP A-3	108	STORAGE	131 SF	Accessory storage areas, mechanical equipment room	300 GROSS	1
ASSEMBLY GROUP A-3	111	STORAGE	129 SF	Accessory storage areas, mechanical equipment room	300 GROSS	1
TOTAL BUILDING OCCUPANT LOAD						119

CODE PLAN KEY						
DOOR / CORRIDOR / STAIR CAPACITY			OCCUPANCY		SYMBOLS	
	TYPE	MARK				
EXIT / STAIR / CORRIDOR WIDTH	EW	-				 EXIT SIGN. SEE A6 SERIES FOR EXACT LOCATION AND DIRECTION.
CODE WIDTH FACTOR	FC	0.2/0.3				
ALLOWABLE CAPACITY	ALLOW	-				
ACTUAL CAPACITY	ACTUAL	-				
RATED WALLS			TRAVEL DISTANCE TO NEAREST EXIT			
1 HOUR FIRE PARTITION (FIRE BARRIER WHERE NOTED)						

2 HOUR FIRE BARRIER						

					 FIRE EXTINGUISHER CABINET (SURFACE MOUNTED, UNO)	

OCCUPANCY CLASSIFICATION		ADMIN SUITE	SPACE NAME (IF APPLICABLE)
		B 1200SF	AREA
		8 OCC	OCCUPANT COUNT

	PATH OF TRAVEL	TRAVEL DISTANCE
---	----------------	-----------------

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
LEEANN SUEN



SMPARCHITECTS

1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

LANDSCAPE ARCHITECT:
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www.groundreconsidered.com
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KS ENGINEERS
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ROOFING CONSULTANT:
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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

BUILDING CODE INFORMATION

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
SCR

CHECKED BY
Checker

DRAWING NO.

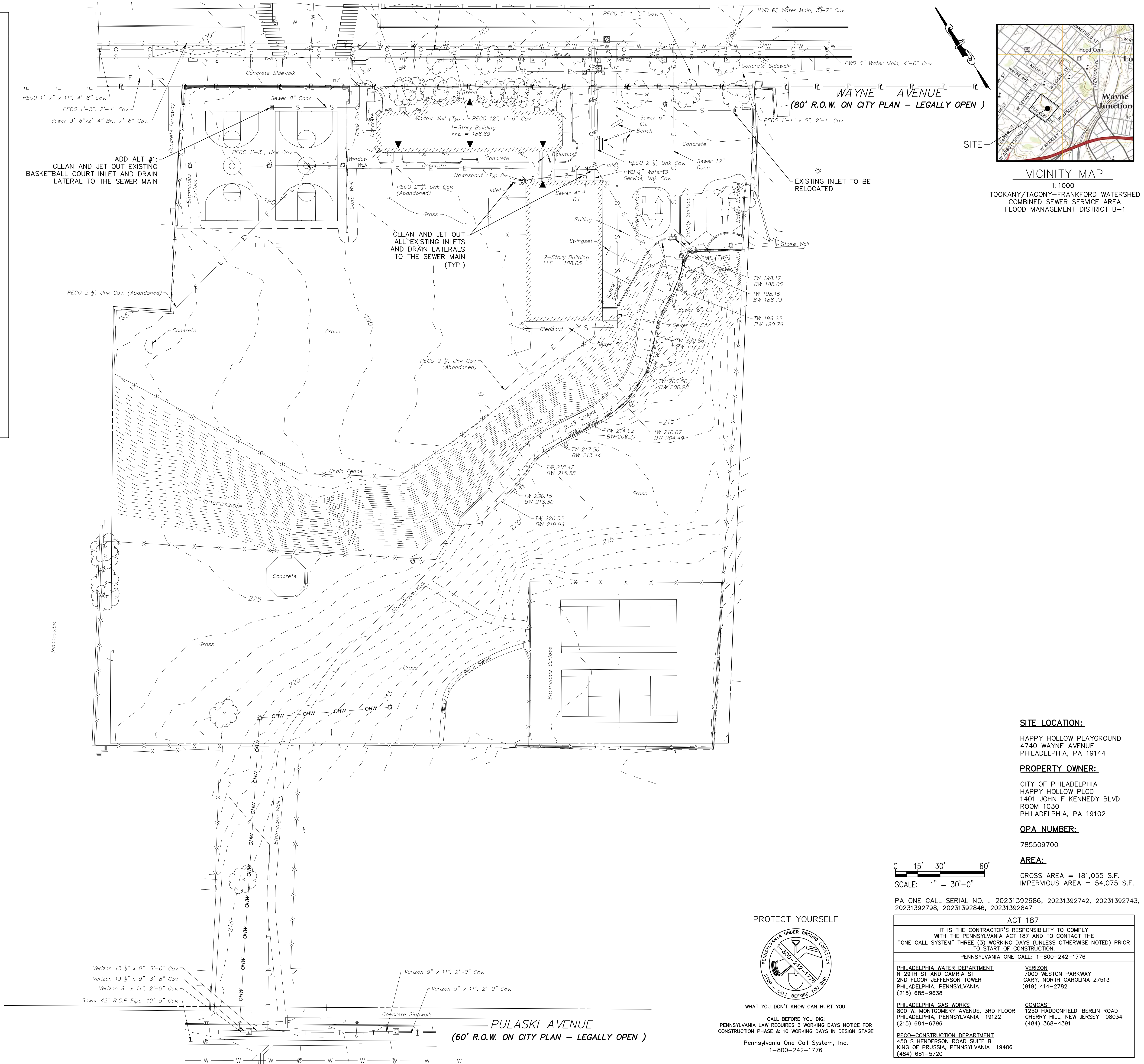
A0.2

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

EXISTING LEGEND	
	BUILDING
	CONCRETE CURB
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	GAS LINE
	POTABLE WATER
	SANITARY SEWER
	STORM SEWER
	TELECOMMUNICATION CONDUIT
	ELECTRIC CONDUIT
	FENCE
	UNKNOWN MANHOLE
	TELEPHONE MANHOLE
	SANITARY MANHOLE
	STORM MANHOLE
	STORM/SANITARY MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	WATER VALVE
	GAS VALVE
	UNKNOWN VALVE
	SEWER VENT
	FIRE HYDRANT
	UTILITY POLE/STREET LIGHT
	LIGHT POLE
	TRAFFIC LIGHT
	SIGN
	TREE
	UNDER GROUND STORAGE TANK
	CITY INLET
	GRATE INLET
	OMG INLET
	PROPERTY LINE
	EASEMENT LINE

GENERAL NOTES:

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SITE LOCATION:

HAPPY HOLLOW PLAYGROUND
4740 WAYNE AVENUE
PHILADELPHIA, PA 19144

PROPERTY OWNER:

CITY OF PHILADELPHIA
HAPPY HOLLOW PLGD
1401 JOHN F KENNEDY BLVD
ROOM 1030
PHILADELPHIA, PA 19102

OPA NUMBER:

785509700

AREA:

GROSS AREA = 181,055 S.F.
IMPERVIOUS AREA = 54,075 S.F.

PA ONE CALL SERIAL NO. : 20231392686, 20231392742, 20231392743, 20231392798, 20231392846, 20231392847

PROTECT YOURSELF

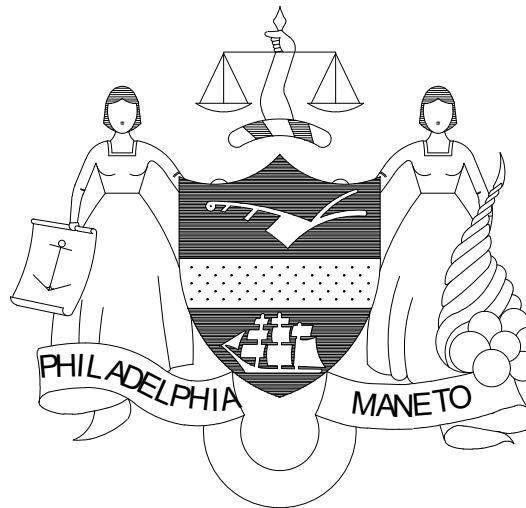


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CALL BEFORE YOU DIG!
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE
Pennsylvania One Call System, Inc.
1-800-242-1776

ACT 187	
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PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT N 29TH ST AND CAMRIA ST 2ND FLOOR JEFFERSON TOWER PHILADELPHIA, PENNSYLVANIA 19122 (215) 685-9638	VERIZON 7000 WESTON PARKWAY CARY, NORTH CAROLINA 27513 (919) 414-2782
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1250 HADDONFIELD-BERLIN ROAD CHERRY HILL, NEW JERSEY 08034 (484) 368-4391
PECO-CONSTRUCTION DEPARTMENT 450 S HENDERSON ROAD SUITE B KING OF PRUSSIA, PENNSYLVANIA 19406 (484) 681-5720	

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR	LEEANN SUEN
SEALS	 RICHARD S. BURRELL, P.E.

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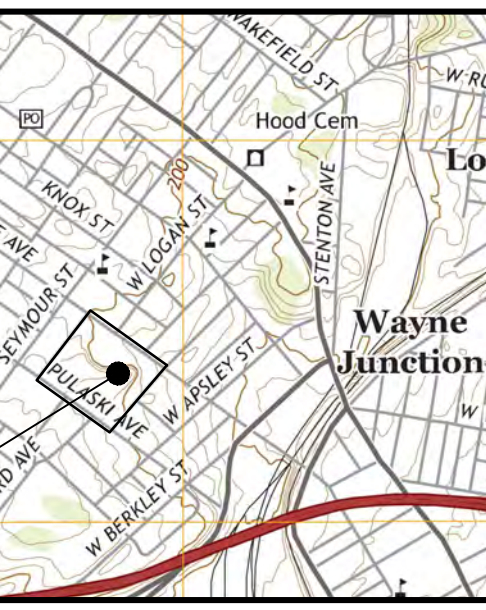
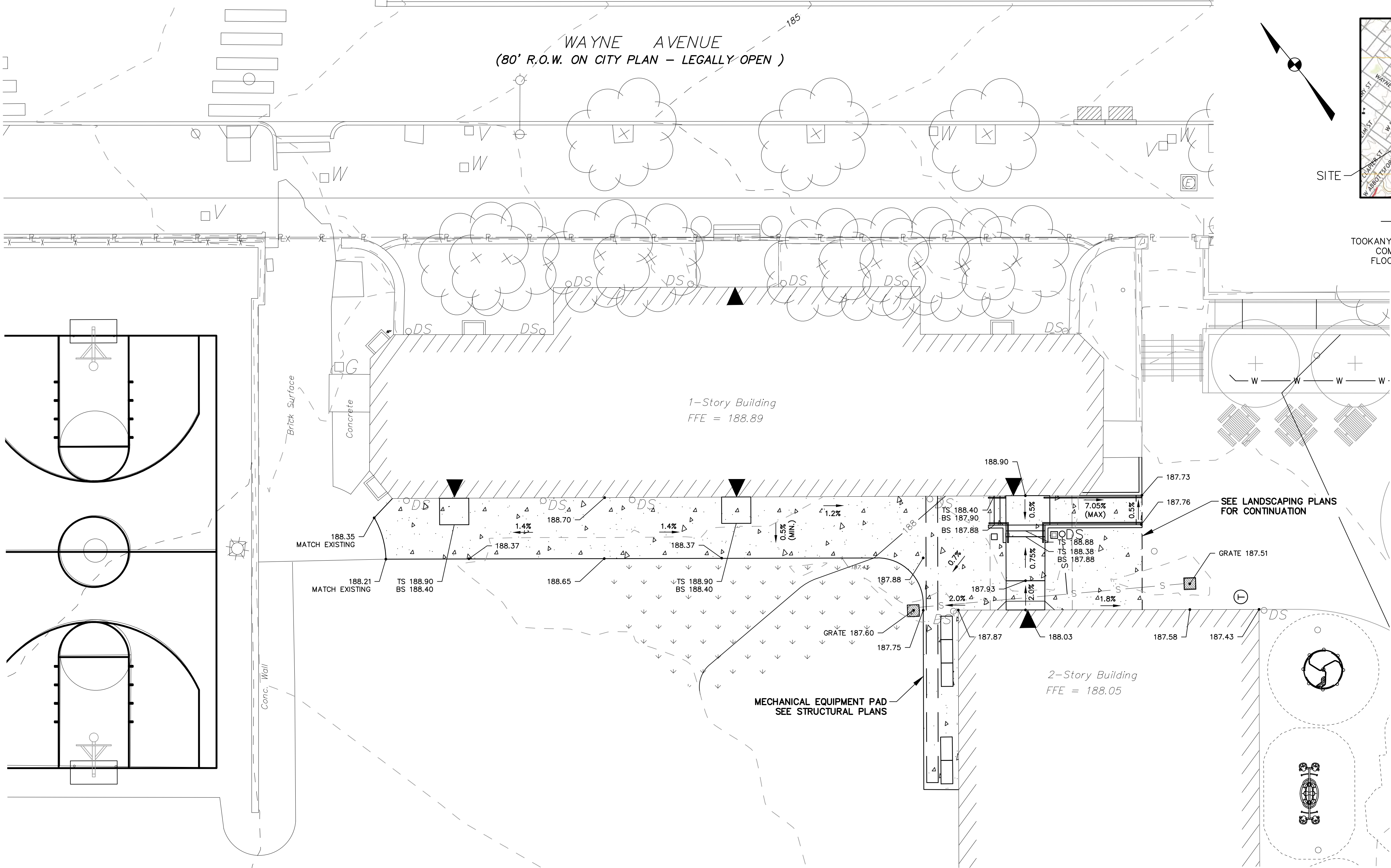
MEP ENGINEER:
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www.aroraengineers.com
610 459 7900

ROOFING CONSULTANT:
STEPHEN MCLAUGHLIN ROOFING CONSULTANT
stevemclaughlin.biz
856 287 2424

CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION	
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA	
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER	
DRAWING TITLE EXISTING SITE PLAN AND INLET CLEANING PLAN	
PROJECT NO. 16315E-03-02	DRAWING NO. C1.00
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY YLS	
CHECKED BY NLC	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	

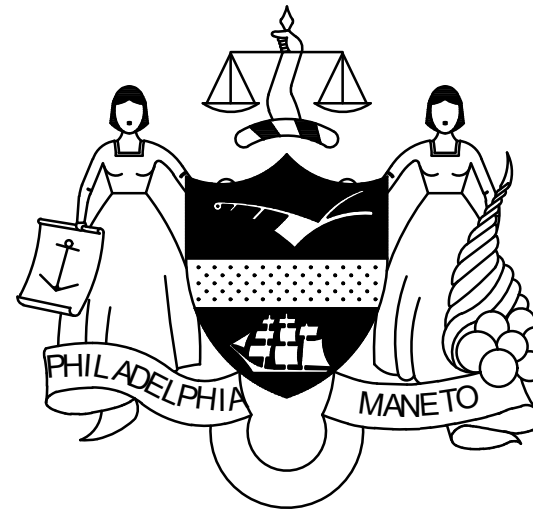
EXISTING LEGEND	
	BUILDING
	CONCRETE CURB
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	GAS LINE
	POTABLE WATER
	SANITARY SEWER
	STORM SEWER
	TELECOMMUNICATION CONDUIT
	ELECTRIC CONDUIT
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	CITY INLET
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PROPOSED LEGEND	
	LIMIT OF DISTURBANCE
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	PROPOSED FENCE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER LINE
	PROPOSED FIRE SERVICE LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED ELECTRICAL CONDUIT
	PROPOSED FLOW ARROW
	PROPOSED CONCRETE SIDEWALK
	PROPOSED GRASS
	PROPOSED PERVIOUS PLANTING
	SAFETY VIDEOPOLE



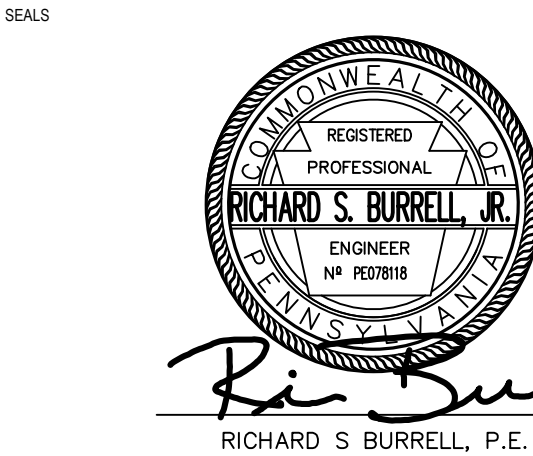
VICINITY MAP
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TOOKANY/TACONY-FRANKFORD WATERSHED
COMBINED SEWER SERVICE AREA
FLOOD MANAGEMENT DISTRICT B-1

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

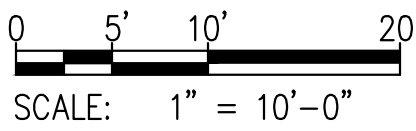
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE	
SIDEWALK GRADING PLAN	
PROJECT NO. 16315E-03-02	DRAWING NO. C1.02
DATE 05/13/2025	C1.02
SCALE AS NOTED	
DRAWN BY YLS	
CHECKED BY NLC	FILED
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

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SITE LOCATION:

HAPPY HOLLOW PLAYGROUND
4740 WAYNE AVENUE
PHILADELPHIA, PA 19144

PROPERTY OWNER:

CITY OF PHILADELPHIA
HAPPY HOLLOW PLCD
1401 JOHN F KENNEDY BLVD
ROOM 1030
PHILADELPHIA, PA 19102

OPA NUMBER:

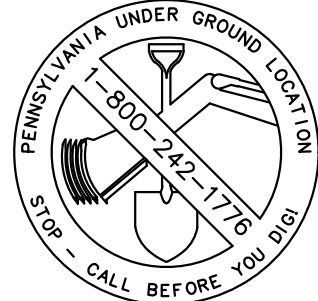
785509700

AREA:

GROSS AREA = 181,055 S.F.
IMPERVIOUS AREA = 54,075 S.F.

PA ONE CALL SERIAL NO. : 20231392686, 20231392742, 20231392743, 20231392798, 20231392846, 20231392847

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PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2nd FLOOR PHILADELPHIA, PENNSYLVANIA 19107 (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

EXISTING LEGEND	
	BUILDING
	CONCRETE CURB
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	GAS LINE
	POTABLE WATER
	SANITARY SEWER
	STORM SEWER
	TELECOMMUNICATION CONDUIT
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	SIGN
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	UNDER GROUND STORAGE TANK
	CITY INLET
	GRATE INLET
	OMG INLET
	PROPERTY LINE
	EASEMENT LINE

PROPOSED LEGEND

	LOD		LIMIT OF DISTURBANCE
	100		MAJOR CONTOUR LINE
			MINOR CONTOUR LINE
	X X X X		PROPOSED FENCE
	D D D		PROPOSED STORM SEWER LINE
	W W W		PROPOSED WATER LINE
	F		PROPOSED FIRE SERVICE LINE
	S S S S		PROPOSED SANITARY SEWER LINE
	E		PROPOSED ELECTRICAL CONDUIT
			PROPOSED FLOW ARROW
			PROPOSED CONCRETE SIDEWALK
			PROPOSED GRASS
			PROPOSED PERVIOUS PLANTING
			SAFETY SURFACE

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7. PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.

1. SITE WILL BE MANAGED BY THE CITY OF PHILADELPHIA DEPARTMENT OF PARKS AND RECREATION.
2. THERE WILL BE NO PROPOSED UTILITY EASEMENTS FOR WATER OR SEWER.
3. THERE WILL BE NO PROPOSED CRANE FOOTING LOCATION.
4. CONSTRUCTION ENTRANCE WILL BE AT PROPOSED DRIVEWAY AND THROUGH THE ROCK CONSTRUCTION ENTRANCE SHOWN ON THE PLAN.
5. LOCATION OF SOIL STOCKPILE IS SHOWN ON THE PLAN.
6. DEVELOPER/ OWNER WILL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND OR REUSE OF WATER AND SEWER TRENCHES, ABANDONMENT AND OR WATER DISCONTINUANCE MUST BE PROVIDED UPON REQUEST.
7. METER SIZE MUST MATCH THE SIZE OF THE CONNECTION PIPE.
8. PWD HAS THE RIGHT TO APPROVE OR DENY LOCATIONS OF METERS. CRAWL SPACES ARE NOT CONSIDERED AN ACCESSIBLE SPACE.
9. AS PER PWD REGULATIONS (07/01/22) - 401.38 - ALL METERS LOCATED INSIDE A PROPERTY SHALL BE SET AS CLOSE AS POSSIBLE WHERE THE WATER SERVICE PIPE ENTERS THE PROPERTY.

1. EXISTING PLAYGROUND WITH ONE, ONE-STORY BUILDING AND ONE, TWO-STORY BUILDING. ACTIVE RECREATION USE.
2. VACANT PORTION OF LOT, NO PROPOSED DEMOLITION.

1. TOTAL SITE SQUARE FOOTAGE : 181,055 SF.
2. TOTAL ON-SITE EARTH DISTURBANCE : 14,552 SF.
3. PWD STORMWATER TRACKING NO.: FY24-HAPP-7780-01

LIST OF UTILITY CONNECTIONS					
I.D.	UTILITY TYPE	SIZE	MATERIAL	CONNECTION TYPE	PWD UTILITY
W1	DOMESTIC WATER	1"	DI	TEE VIA WET TAP	6" C.I. WATER MAIN
S2	STORM SEWER	8"	CP	WYE CONNECTION	36" CIRCULAR BRICK
S2	STORM SEWER	6"	CI	WYE CONNECTION	36" CIRCULAR BRICK
S3	STORM SEWER	12"	CP	WYE CONNECTION	36" CIRCULAR BRICK

[illegible]

HAPPY HOLLOW PLAYGROUND
4740 WAYNE AVENUE
PHILADELPHIA, PA 19144

CITY OF PHILADELPHIA
HAPPY HOLLOW PLGD
1401 JOHN F KENNEDY BLVD
ROOM 1030
PHILADELPHIA, PA 19102

785509700

GROSS AREA = 181,055 S.F.
IMPERVIOUS AREA = 54,075 S.F.

592686, 20231392742, 2023139274
2847

ACT 187


IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY
WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE
"ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR
TO START OF CONSTRUCTION.

PENNSYLVANIA ONE CALL: 1-800-244-1776

<u>PHILADELPHIA WATER DEPARTMENT</u>	<u>VERIZON</u>
N 29TH ST AND CAMBRIA ST	7000 WESTON PARKWAY
2ND FLOOR JEFFERSON TOWER	CARY, NORTH CAROLINA 27513
PHILADELPHIA, PENNSYLVANIA	(919) 414-2782
(215) 685-9638	
<u>PHILADELPHIA GAS WORKS</u>	<u>COMCAST</u>
800 W. MONTGOMERY AVENUE, 3RD FLOOR	1250 HADDONFIELD-BERLIN ROAD
PHILADELPHIA, PENNSYLVANIA 19122	CHEERY HILL, NEW JERSEY 08034
(215) 684-6786	(484) 368-4391
<u>PECO-CONSTRUCTION DEPARTMENT</u>	
450 S HENDERSON ROAD SUITE B	
B KING OF PRUSSIA, PENNSYLVANIA 19406	
(484) 681-5720	

[illegible]

LEEANN SUEN



RICHARD S. BURRELL, P.E.

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Philadelphia, Pennsylvania 19103
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215 790 0727

CIVIL ENGINEER.
KS ENGINEERS
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215 925 0425

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
arstructural.com
610 688 2566

MEP ENGINEER:
ARORA ENGINEERS
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610 459 7900

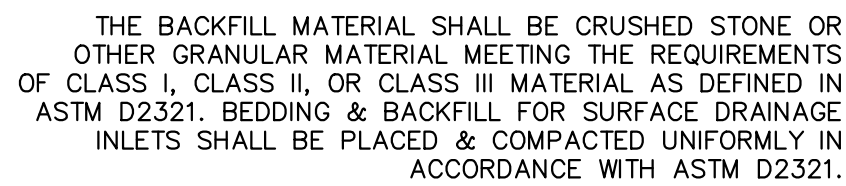
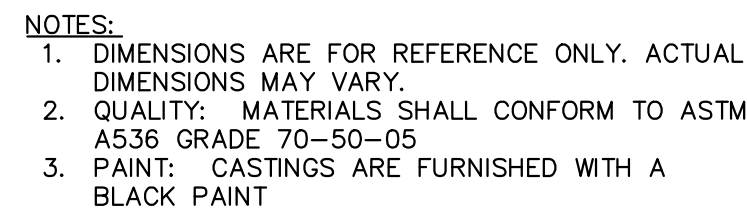
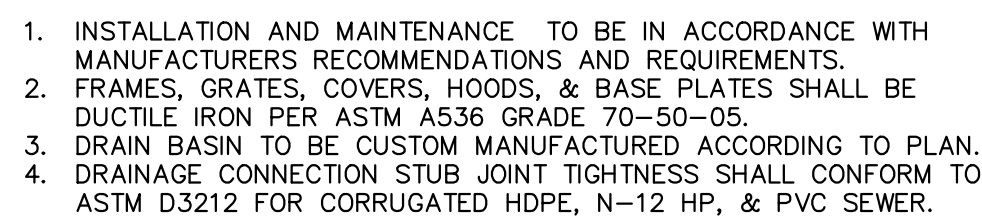
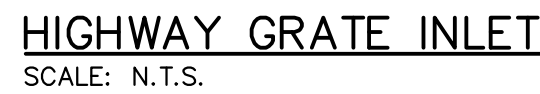
ROOFING CONSULTANT:
STEPHEN McLAUGHLIN ROOFING CONSULTANT
stevemclaughlin.biz
856 287 2424

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

DRAWING TITLE	
UTILITY PLAN	
PROJECT NO.	DRAWING NO.
16315E-03-02	C1.03
DATE	
05/13/2025	
SCALE	
AS NOTED	
DRAWN BY	
YLS	
CHECKED BY	P.L.
NLC	
NOTE:	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

0 10' 20' 40'

SCALE: 1" = 20'-0"



SEALS

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
RICHARD S. BURRELL, JR.
ENGINEER
No. PE03701818

Ric Burrell
RICHARD S BURRELL, P.E.

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TREE REPLACEMENT REQUIREMENTS

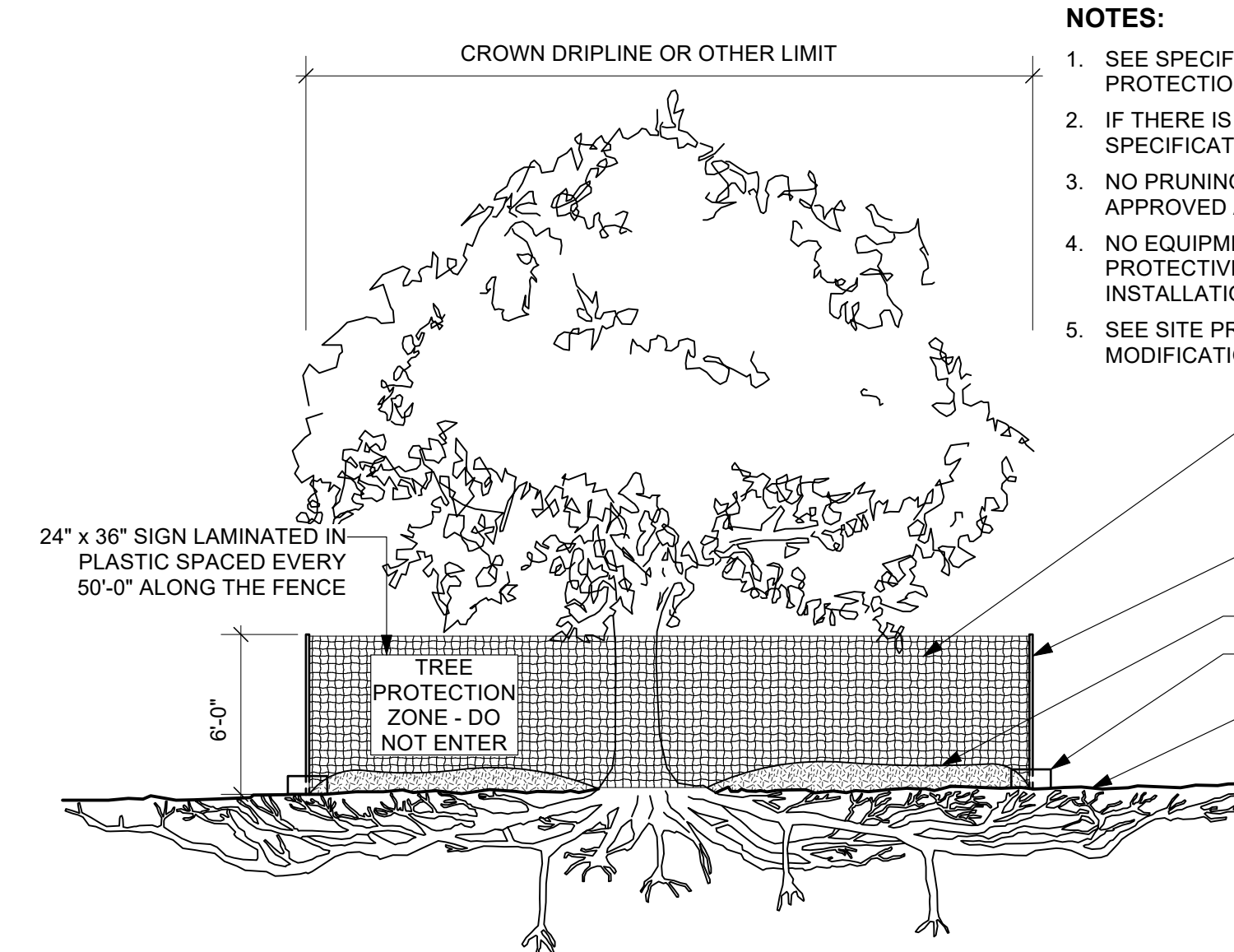
§14-705(1)(g)	TREE REPLACEMENT REQUIREMENTS	QTY.	CALIPER (IN.)
1	EXISTING NON-HERITAGE TREES TO BE REMOVED	-	-
2	EXISTING TREES TO BE REMOVED - NOT INCLUDED, SEE NOTES	7	99
3	EXISTING HERITAGE TREES TO BE REMOVED	-	-
4	TOTAL TREE REPLACEMENT REQUIREMENT (#1 + #3)	-	-
5	TOTAL PROPOSED REPLACEMENT TREES (SEE L5.0)	10	25
6	CAL. INCHES REMAINING (PAY FEE IN-LIEU) (#4 - #5)	-	-

TREE REPLACEMENT NOTES

- 7 EXISTING TREES TO BE REMOVED ARE DEEMED BY ARBORIST TO BE DEAD, DAMAGED, DISEASED, AN INVASIVE SPECIES, OR A THREAT TO LIFE OR PROPERTY IN ACCORDANCE WITH 14-705 (1)(g)(.2) AND THEREFORE EXCLUDED FROM TREE REPLACEMENT REQUIREMENTS.
- IN ACCORDANCE WITH PHILADELPHIA ZONING ORDINANCE SECTION 14-705 (1)(g); EACH REPLACEMENT TREE SHALL BE MINIMUM 2.5" DBH AT PLANTING. SEE TREE SCHEDULE ON L002 FOR REQUIRED PLANTING SIZES.
- IN ACCORDANCE WITH PHILADELPHIA ZONING ORDINANCE SECTION 14-705(1)(g)(.3) ANY TREES REQUIRED BY § 14-705(1)(d), § 14-705(1)(e), or § 14-803(5) SHALL BE COUNTED TOWARDS THE TOTAL REPLACEMENT REQUIREMENTS.
- PER PHILADELPHIA ZONING ORDINANCE SECTION 14-705 (c) (.9), FOR EACH DBH INCH OF TREE WAIVED FROM THE TREE REPLACEMENT REQUIREMENTS, AN IN-LIEU FEE IS REQUIRED AS FOLLOWS:
UP TO 75 DBH INCHES PER ACRE = \$400 PER INCH
GREATER THAN 75 AND LESS THAN 250 DBH INCHES PER ACRE = \$200 PER INCH
GREATER THAN 250 DBH INCHES PER ACRE = \$50 PER INCH
- MULTI-STEM TREES NOTED AT 6'-8" HT. IN PROPOSED PLANTING SCHEDULE (REFER TO L5.0) ARE ASSUMED TO BE THE EQUIVALENT OF 2.5" CAL. FOR REPLACEMENT VALUE.

ON-SITE LANDSCAPE AND TREE REQUIREMENTS

§14-705(1)(d)	LANDSCAPE BUFFERING REQUIREMENTS (8-FT WIDE, 1 TREE, 3 SHRUBS/ 20 LF)	QTY.	UNIT
1	BUFFER ZONE	112	LF
2	TOTAL BUFFERING SHRUBS (#1 / 20 x 3)	17	-
3	TOTAL BUFFERING TREES (#1 / 20)	6	-
§14-705(1)(e)	YARD TREE REQUIREMENTS (1 TREE/1,600SF. OPEN SPACE)	QTY.	SF
4	PROJECT AREA	23,712	SF
5	EXISTING STRUCTURE FOOTPRINT TO REMAIN	4,069	SF
6	OPEN SPACE AREA (#4 - #5)	19,463	SF
7	TOTAL YARD TREES (#6 / 1600)	12	-
8	TOTAL TREES (#3 + #7)	18	-
9	TOTAL PRESERVATION CREDITS	28	-
10	TOTAL TREES REQUIRED (#9 - #10)	0	-



NOTES:

- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
- IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
- SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.

2 TREE PROTECTION FENCE, TYP.

Scale: 1/4" = 1'-0"

DEMOLITION NOTES

- REMOVE ALL PAVEMENT AND CONSTRUCTION DEBRIS AS INDICATED ON PLAN. PAVING BASE MATERIALS MAY REMAIN IF CONSISTENT WITH SPECIFIED AGGREGATE BASE MATERIAL.
- DEMOLISH FOOTINGS AND FOUNDATIONS OF ALL SITE ELEMENTS TO BE REMOVED.
- USE CARE WHEN REMOVING TREES WITHIN CANOPIES AND ROOTZONES OF EXISTING TREES TO REMAIN. CUT STUMPS FLUSH WITH GRADE.
- REFER TO GRADING PLAN TO CONFIRM EXTENT OF MILL AND OVERLAY

PROTECTION NOTES

- USE CARE WHEN REMOVING STRUCTURES THAT ABUT EXISTING STRUCTURES TO AVOID DAMAGE TO EXISTING STRUCTURES TO REMAIN.

OVERALL TREE PRESERVATION CREDIT

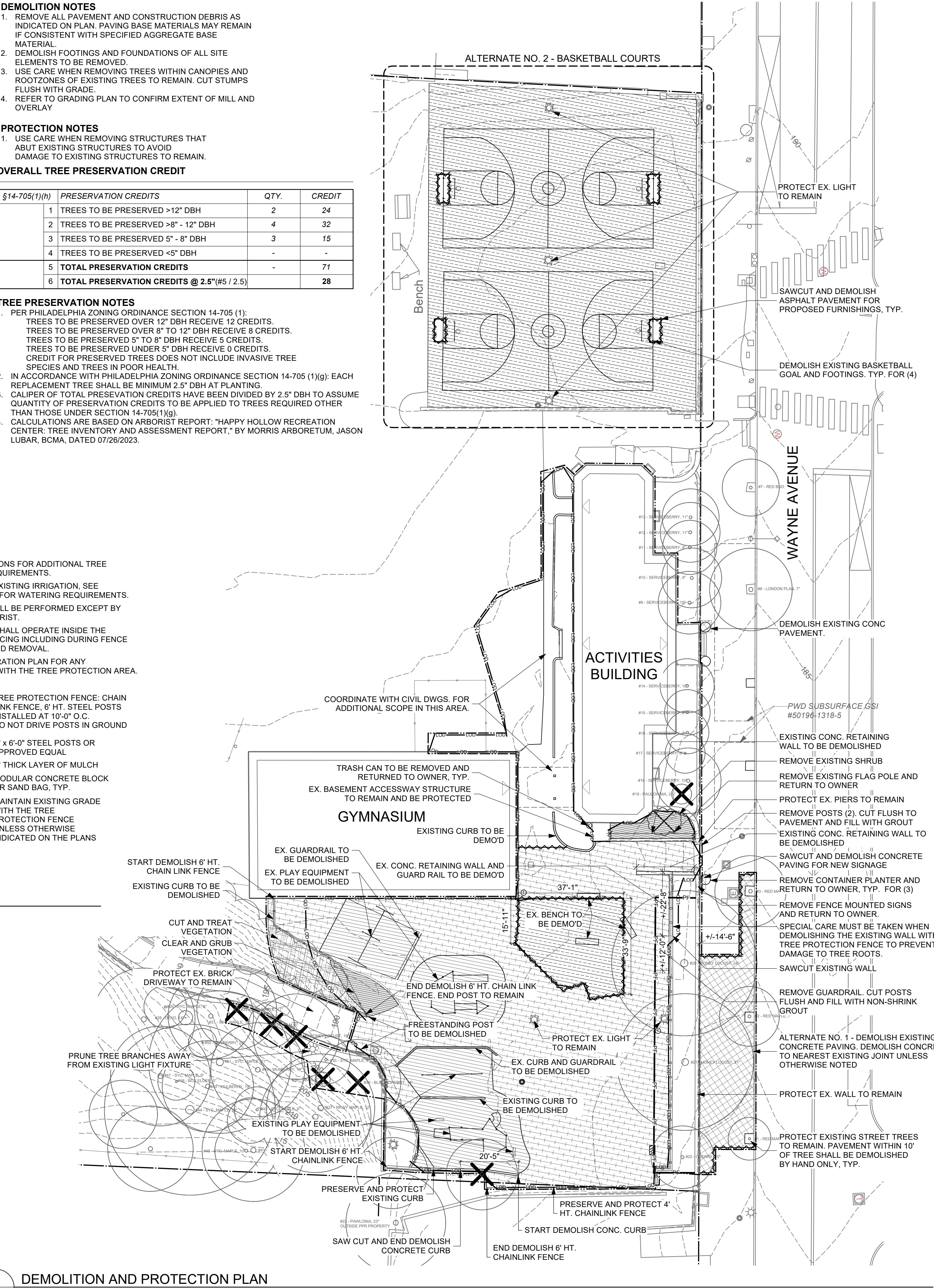
§14-705(1)(h)	PRESERVATION CREDITS	QTY.	CREDIT
1	TREES TO BE PRESERVED >12" DBH	2	24
2	TREES TO BE PRESERVED >8" - 12" DBH	4	32
3	TREES TO BE PRESERVED 5" - 8" DBH	3	15
4	TREES TO BE PRESERVED <5" DBH	-	-
5	TOTAL PRESERVATION CREDITS	-	71
6	TOTAL PRESERVATION CREDITS @ 2.5" (#5 / 2.5)	-	28

TREE PRESERVATION NOTES

- PER PHILADELPHIA ZONING ORDINANCE SECTION 14-705 (1):
TREES TO BE PRESERVED OVER 12" DBH RECEIVE 12 CREDITS.
TREES TO BE PRESERVED OVER 8" TO 12" DBH RECEIVE 8 CREDITS.
TREES TO BE PRESERVED 5" TO 8" DBH RECEIVE 5 CREDITS.
TREES TO BE PRESERVED UNDER 5" DBH RECEIVE 0 CREDITS.
CREDIT FOR PRESERVED TREES DOES NOT INCLUDE INVASIVE TREE SPECIES AND TREES IN POOR HEALTH.
- IN ACCORDANCE WITH PHILADELPHIA ZONING ORDINANCE SECTION 14-705 (1)(g): EACH REPLACEMENT TREE SHALL BE MINIMUM 2.5" DBH AT PLANTING.
- CALIPER OF TOTAL PRESERVATION CREDITS HAVE BEEN DIVIDED BY 2.5" DBH TO ASSUME QUANTITY OF PRESERVATION CREDITS TO BE APPLIED TO TREES REQUIRED OTHER THAN THOSE UNDER SECTION 14-705(1)(g).
- CALCULATIONS ARE BASED ON ARBORIST REPORT: "HAPPY HOLLOW RECREATION CENTER: TREE INVENTORY AND ASSESSMENT REPORT," BY MORRIS ARBORETUM, JASON LUBAR, BCMA, DATED 07/26/2023.

1 DEMOLITION AND PROTECTION PLAN

Scale: 1" = 20'-0"



DEMOLITION LEGEND

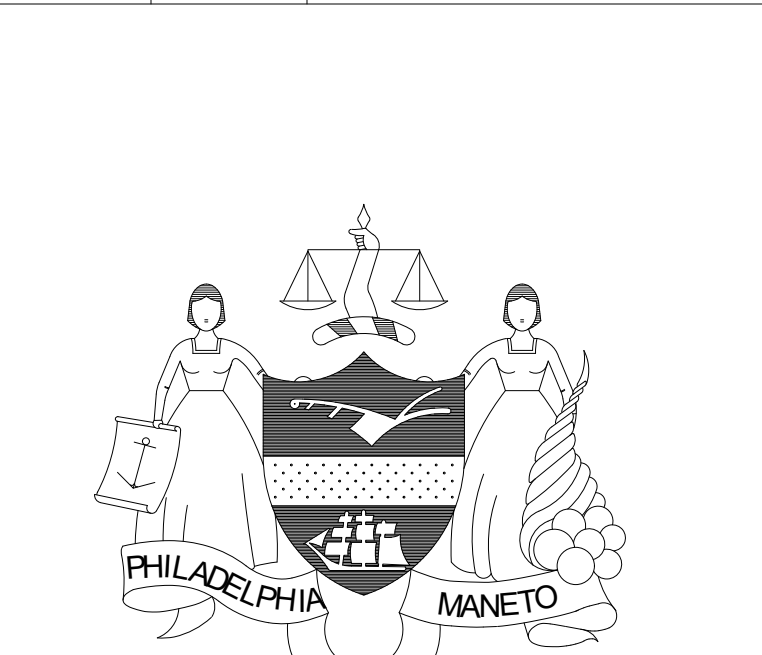
- PROPERTY LINE
- PROJECT LIMIT LINE
- LIMIT OF DISTURBANCE
- TREE PROTECTION FENCE, REFER TO 4/L6.5
- SAWCUT EXISTING PAVEMENT
- CONCRETE PAVEMENT TO BE REMOVED
- SAFETY SURFACE TO BE REMOVED
- ASPHALT PAVING TO BE REMOVED
- CLEAR AND GRUB VEGETATION
- MILL ASPHALT PAVING
- CUT AND TREAT VEGETATON
- TREE TO BE REMOVED

TREE PROTECTION NOTES

- CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS OF EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH DIGITAL PHOTOS AND/OR VIDEO, WHICH ESTABLISHES PRECONSTRUCTION CONDITIONS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. INCLUDE PLANS AND NOTATIONS TO INDICATE SPECIFIC WOUNDS AND DAMAGE CONDITIONS OF EACH TREE OR OTHER PLANTS DESIGNATED TO REMAIN.
- LOCATE AND CLEARLY IDENTIFY TREES, SHRUBS AND OTHER VEGETATION TO REMAIN. FLAG EACH TREE TO REMAIN AT A HEIGHT OF 6-FEET +/- WITH DISTINCTIVE, HIGHLY VISIBLE COLOR FLAGGING TAPE. SUPERVISING CONTRACTOR AND/OR SITE FOREMAN IS RESPONSIBLE TO INSTRUCT AND MONITOR ALL LABORERS AND WORKERS ABOUT THE TREE PROTECTION REQUIREMENTS.
- DEPARTMENT OF PARKS & RECREATION ARBORIST SHALL BE CONSULTED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. CONTRACTORS MUST COORDINATE ALL CONSTRUCTION ACTIVITY AFFECTING EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH THE ARBORIST. ALL CONTRACTORS SHALL COMPLY WITH THE PROTECTION REQUIREMENTS SET FORTH BY THE CERTIFIED ARBORIST.
- BRING ANY UNFORESEEN SITE CONDITIONS, SUCH AS STRUCTURAL ROOTS, THAT WILL IMPACT NEW CONSTRUCTION TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. DO NOT PROCEED WITH WORK WITHOUT WRITTEN AUTHORIZATION.
- PROTECTION FENCING MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH ANY DEMOLITION OR CONSTRUCTION WORK.
- WORK WITHIN PROTECTION FENCING, UNLESS NOTED HEREIN, MUST BE APPROVED BY AND SUPERVISED BY OWNER'S REPRESENTATIVE.
- WHEN WORKING WITHIN TREE PROTECTION ZONES, USE CARE TO AVOID DAMAGE TO TREE TRUNKS AND ROOTS SUCH AS, BUT NOT LIMITED TO, IMPACT WOUNDS CAUSED BY EQUIPMENT. CONSULT A CERTIFIED ARBORIST IF DAMAGE TO A PROTECTED TREE OCCURS.
- LIMIT EXTENT OF EXCAVATION WITHIN PROTECTION ZONES TO THE GREATEST EXTENT FEASIBLE.
- WHERE EXCAVATION IS REQUIRED IN PROTECTION ZONES TO INSTALL UTILITIES, HAND EXCAVATE AND/OR AIR-SPADE AROUND TREE ROOTS OR TUNNEL UNDER ROOTS BY DRILLING, AUGER BORING, OR PIPE JACKING. DO NOT CUT MAIN TRUNK, TREE ROOTS OR TAPROOTS. CUTTING OF SMALLER ROOTS BY CERTIFIED ARBORIST THAT INTERFERE WITH INSTALLATION OF UTILITIES IS PERMITTED.
- TRENCHING OR EXCAVATION WITHIN THE DRIPLINE OF EXISTING TREES SHALL BE COMPLETED WITH EXTREME CARE AND UNDER THE SUPERVISION OF A CERTIFIED ARBORIST. USE HAND TOOLS ONLY. ARBORIST SHALL BE PRESENT DURING ALL WORK DONE WITHIN DRIPLINE OF EXISTING TREES. NOTIFY OWNER PRIOR TO COMMENCEMENT OF WORK WITHIN DRIPLINE OF TREES.
- WHERE EXISTING ROOTS OF TREES TO REMAIN ARE ENCOUNTERED WITHIN EXCAVATION AREAS, DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACING PERMANENT BACKFILL.
- EXERCISE EXTREME CAUTION IN REMOVING PAVEMENT WITHIN DRIPLINE OF EXISTING TREES TO REMAIN.
- MAINTAIN EXISTING GRADES WITHIN THE PROTECTION ZONE TO THE GREATEST EXTENT FEASIBLE. DO NOT LOWER OR RAISE GRADES MORE THAN 2-INCHES WITHIN PROTECTION ZONE. HAND-GRADE TO REQUIRED FINISHED ELEVATIONS WITH PROTECTION ZONES.
- WHEN DIRECTED BY CERTIFIED ARBORIST, AERATE SURFACE SOIL COMPACTED DURING CONSTRUCTION. AERATE TO EXTENT AS DIRECTED BY ARBORIST AND NO CLOSER THAN 36-INCHES TO TREE TRUNK. DRILL 2-INCH DIAMETER HOLES A MINIMUM OF 12-INCHES DEEP AT 24-INCHES ON CENTER. BACKFILL HOLES WITH APPROVED COMPOST.
- REPLACE TREES, SHRUBS AND OTHER VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE WHEN GREATER THAN OR EQUAL TO 25% OF THE PLANT IS DEAD OR IN AN UNHEALTHY CONDITION AND OWNER'S REPRESENTATIVE DETERMINES ARE INCAPABLE OF RESTORING TO NORMAL GROWTH. PROVIDE NEW TREES OF THE SAME SIZE AND APPROVED SPECIES FOR EACH TREE THAT MEASURES 6-INCHES IN CALIPER SIZE OR SMALLER. WHERE THE TREE TO BE REPLACED EXCEEDS 6-INCHES IN CALIPER, PROVIDE TWO (2) 8-INCH CALIPER TREES OF AN APPROVED SPECIES AT A LOCATION DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- PROTECT ROOT SYSTEMS FROM PONDING, ERODING, OR EXCESSIVE WETTING CAUSED BY DETERATING OPERATIONS.
- DO NOT PARK VEHICLES OR EQUIPMENT WITH PROTECTION ZONES.
- CERTIFIED ARBORIST MAY REQUIRE GROWN PRUNING TO COMPENSATE FOR ROOT LOSS CAUSING BY DAMAGING OR CUTTING OF THE ROOT SYSTEM. PROVIDE SUBSEQUENT MAINTENANCE DURING CONTRACT PERIOD AS RECOMMENDED BY ARBORIST.
- OWNER'S REPRESENTATIVE MAY REQUIRE ADDITIONAL PROTECTION FENCING OR RELOCATION OF FENCING AS WORK PROGRESSES.
- AVOID DAMAGING EXISTING TREES. DAMAGE INCLUDES BUT IS NOT LIMITED TO: CUTTING, BREAKING, SKINNING OR COMPACTING OF ROOTS, SKINNING AND BRUISING OF BARK AND BREAKING OF BRANCHES AND LIMBS.
- DO NOT ATTACH SIGNS TO OR AROUND TREES OR PLANTS TO REMAIN UNLESS OTHERWISE INDICATED.
- DO NOT ALLOW ROOTS TO DRY OUT BEFORE PLACING PERMANENT BACKFILL. PROVIDE TEMPORARY EARTH COVER AND/OR WRAP WITH MOIST BURLAP. WATER AND MAINTAIN IN MOIST CONDITION. TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY RELOCATED AND/OR COVERED WITH SOIL.
- PROTECTION-ZONE SIGNAGE: "TREE PROTECTION AREA - DO NOT ENTER" 3-INCH HIGH MINIMUM LETTER SIZE, RED CHARACTERS ON WHITE BACKGROUND. INSTALL ALONG TOP OF PROTECTION FENCING SPACED EVERY 50-FEET AND/OR EACH SIDE OF PROTECTION ZONE.

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR	LEEANN SUEN
---------------------	-------------



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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

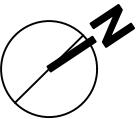
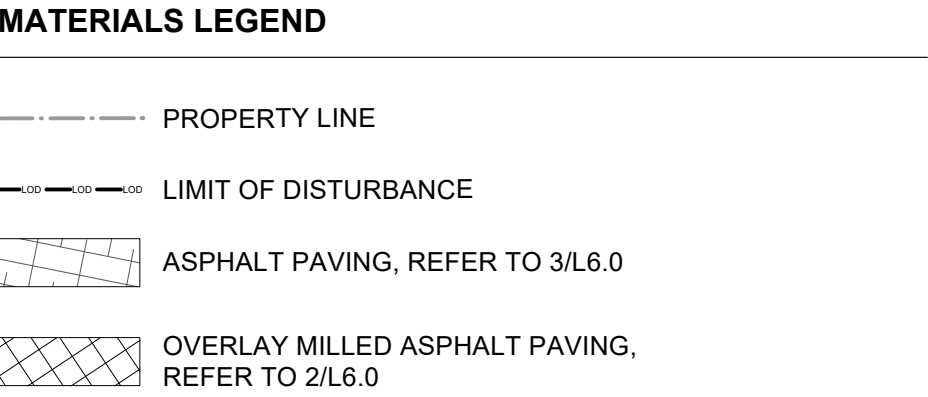
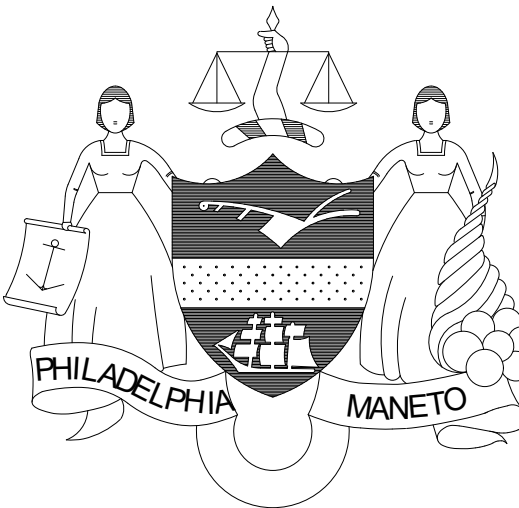
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE	RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER
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DRAWING TITLE	DEMOLITION AND PROTECTION PLAN
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PROJECT NO.	16315E-03-02	DRAWING NO.	L1.0
DATE	05/13/2025		
SCALE	AS NOTED		
DRAWN BY	XD/TM		
CHECKED BY	JB		
NOTE	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		

[illegible]

CONSTRUCTION DOCUMENTS

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
 OR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

MATERIALS PLAN

PROJECT NO.

16315E-03-02

DATE _____

05/13/2025

SCA

AS NOTED

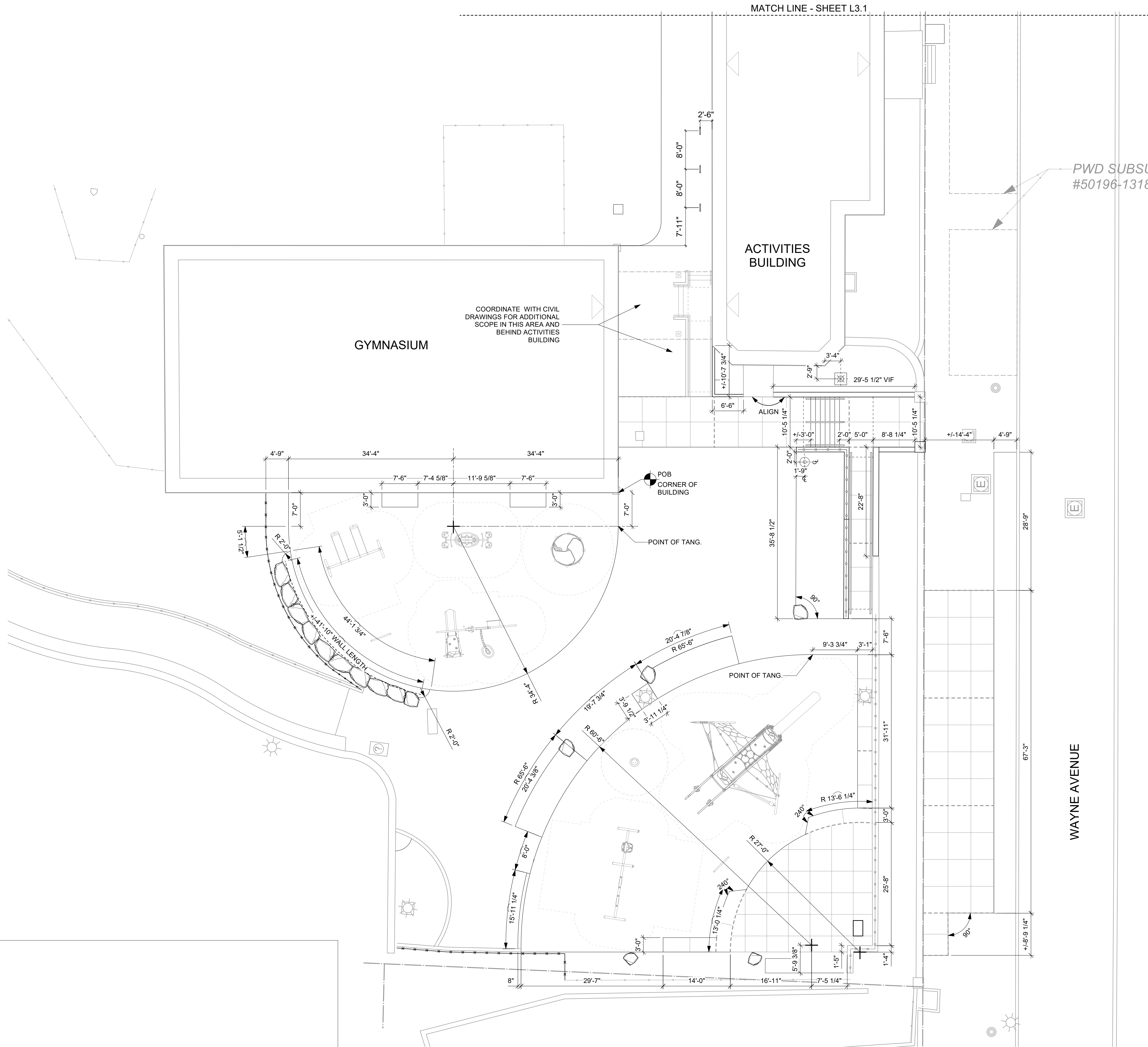
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XD/TM

CHE

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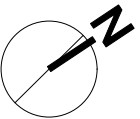
LAYOUT LEGEND

- PROPERTY LINE
- CENTER LINE
- REFERENCE LINE
- LINEAR DIMENSION
- ANGULAR DIMENSION
- RADIAL DIMENSION
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF CURVATURE
- ALIGN

LAYOUT NOTES

- ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE SHOWN TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
- V.I.F. = VERIFY IN FIELD: VERIFY ALL DIMENSIONS FROM FIELD MEASUREMENTS. VERIFY LAYOUT OF ALL PROPOSED WORK WITH EXISTING CONDITIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE STAKED LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
- DIMENSIONS ARE APPROXIMATE, MUST BE VERIFIED WITH FALL ZONES.
- ALL SPRAY EQUIPMENT DIMENSIONS ARE SHOWN TO THE CENTER OF SPRAY HEAD AND/OR POST, TYP.

0 10 FT 20 FT



REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

LAYOUT PLAN

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

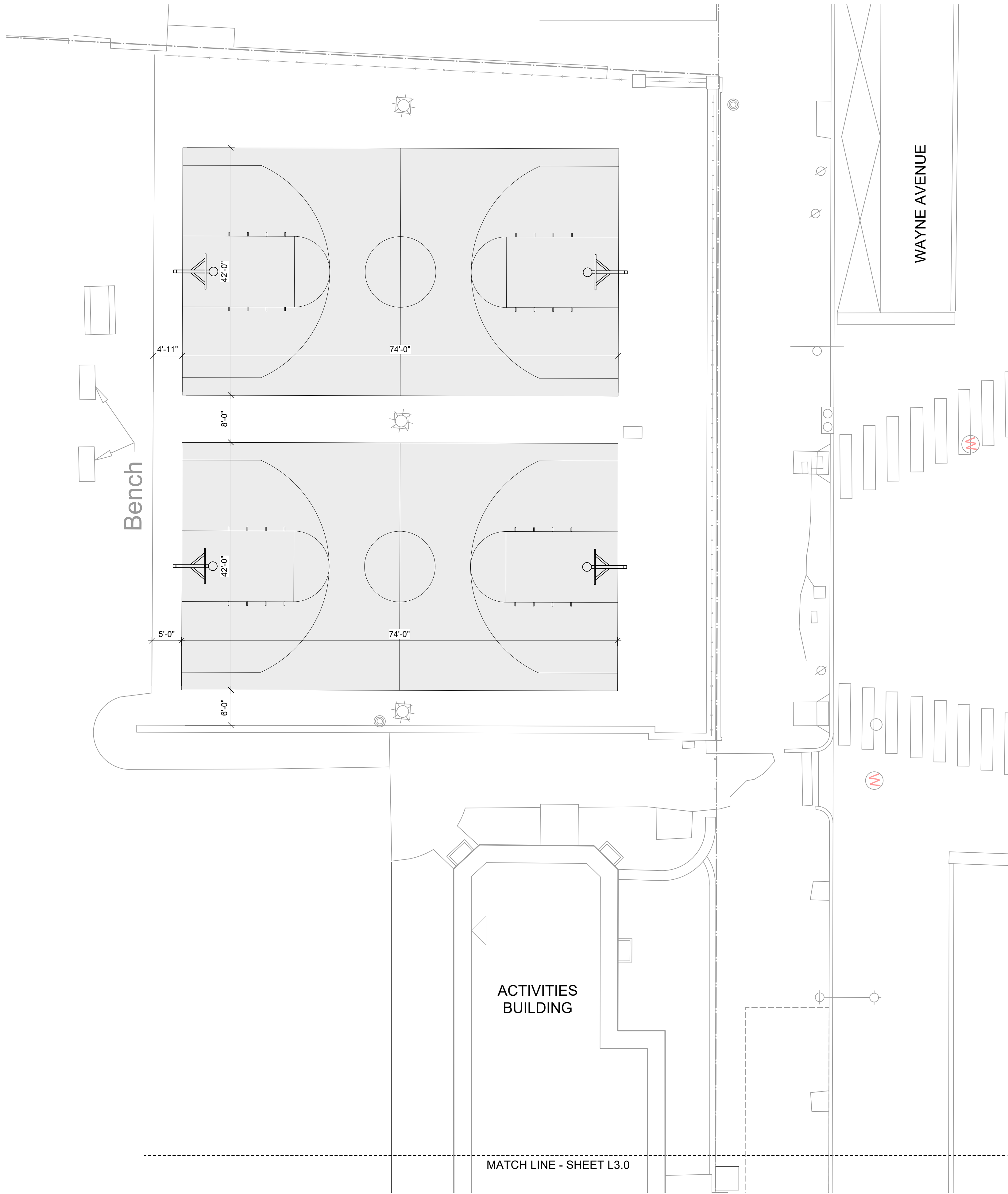
DRAWN BY
XD/TM

CHECKED BY
JB

DRAWING NO.

L3.0

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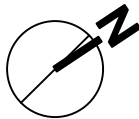
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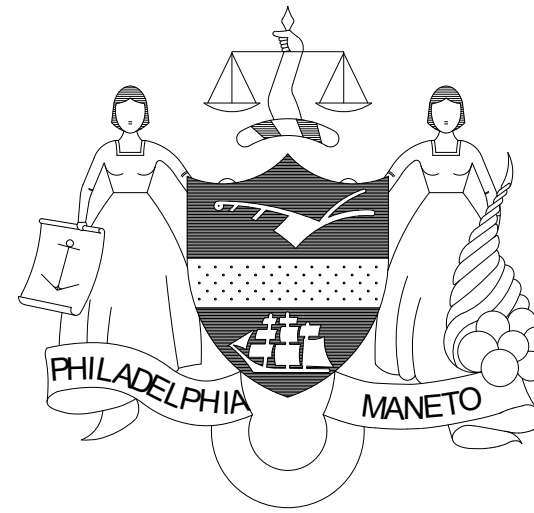

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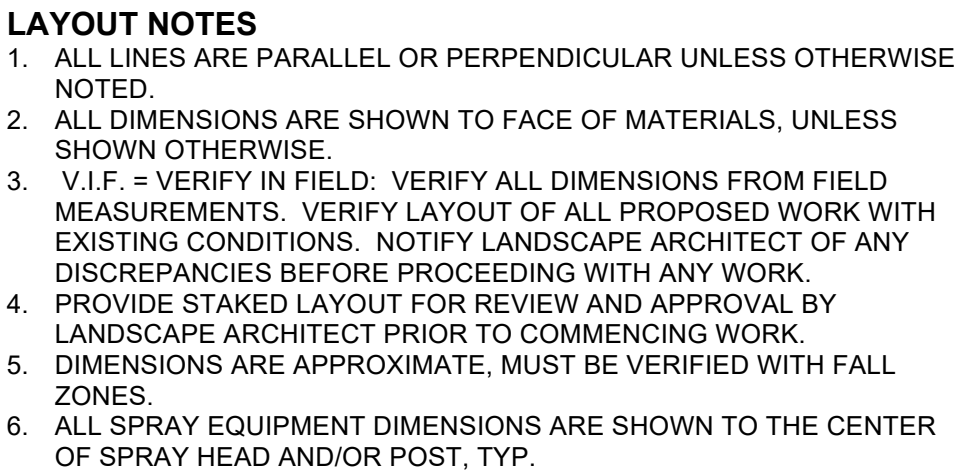
LAYOUT NOTES

- ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE SHOWN TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
- V.I.F. = VERIFY IN FIELD: VERIFY ALL DIMENSIONS FROM FIELD MEASUREMENTS. VERIFY LAYOUT OF ALL PROPOSED WORK WITH EXISTING CONDITIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
- PROVIDE STAKED LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.
- DIMENSIONS ARE APPROXIMATE. MUST BE VERIFIED WITH FALL ZONES.
- ALL SPRAY EQUIPMENT DIMENSIONS ARE SHOWN TO THE CENTER OF SPRAY HEAD AND/OR POST, TYP.

0 10 FT 20 FT



REVISIONS		
ISSUE	DATE	REVISIONS
<div><p>PHILADELPHIA MANETO</p></div>		
CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR		
LEEANN SUEN		
SEALS		
<div></div>		
<p>1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</p> <p>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</p> <p>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</p> <p>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</p> <p>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</p> <p>ROOFING CONSULTANT: STEPHEN McLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</p>		
<p>CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION</p> <p>1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING</p> <p>PHILADELPHIA PENNSYLVANIA</p>		
PROJECT TITLE		
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE		
LAYOUT PLAN		
PROJECT NO.		DRAWING NO.
16315E-03-02		
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY	XD/TM	
CHECKED BY	JB	FILED
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.		

The Seal of the City of Philadelphia is a heraldic emblem. It features a shield with a ship on the left and a cityscape on the right. Above the shield is a balance scale. Flanking the shield are two female figures: one on the left holding a scroll with an anchor, and one on the right holding a cornucopia. Below the shield is a banner with the word "MANETO". The entire seal is encircled by a ribbon with the word "PHILADELPHIA".

CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

SEALS



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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

LAYOUT PLAN PLAY & SPRAY EQUIPMENT

PROJECT NO.

16315E-03-02

DATE _____

05/13/2025

SCAL

AS NOTED

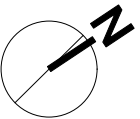
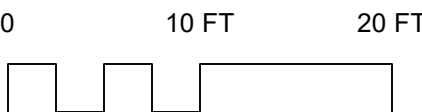
DRAW

XD/TM

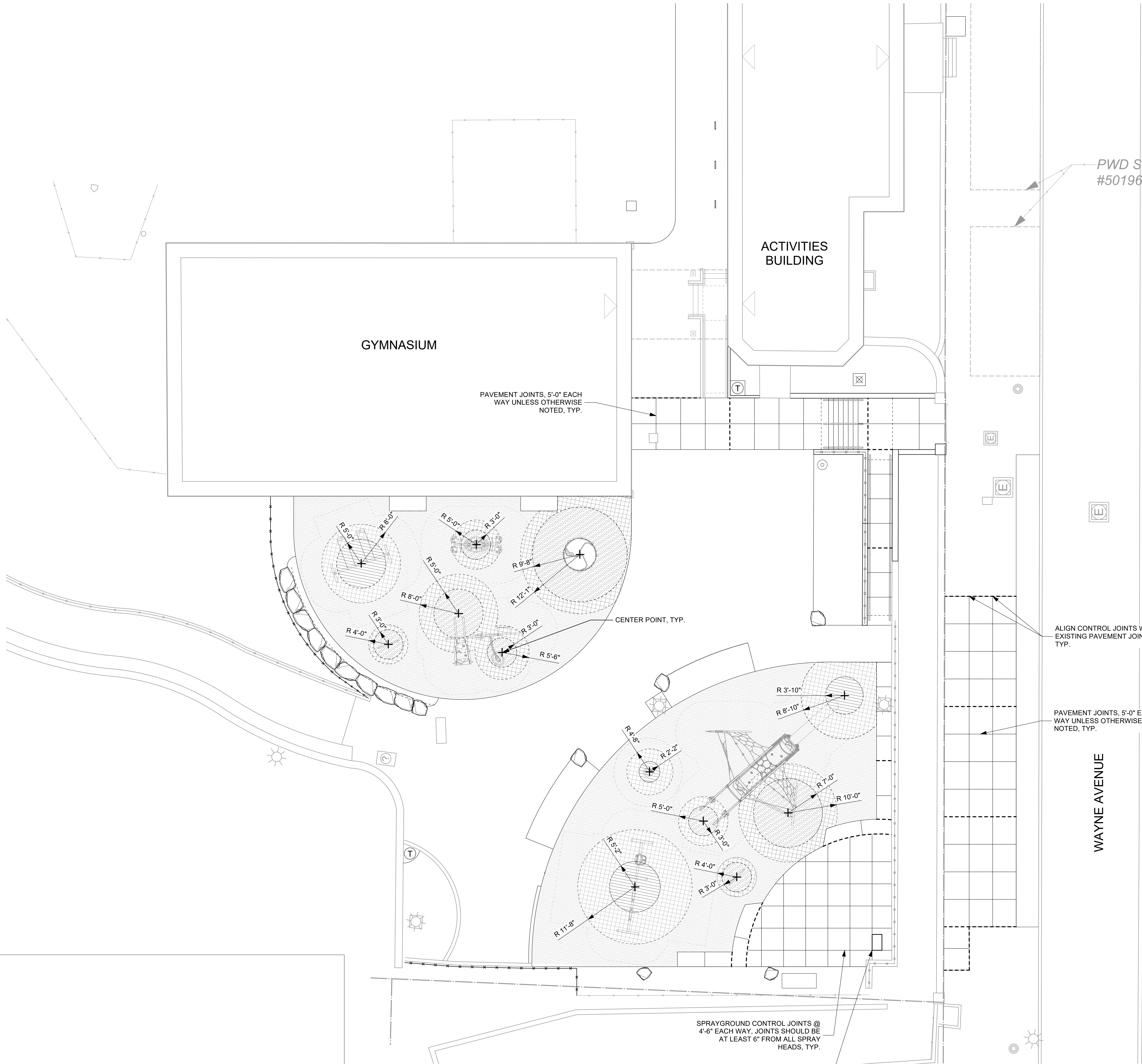
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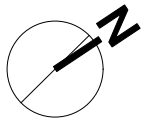
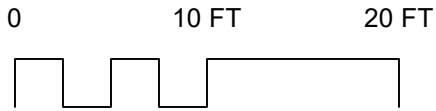
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



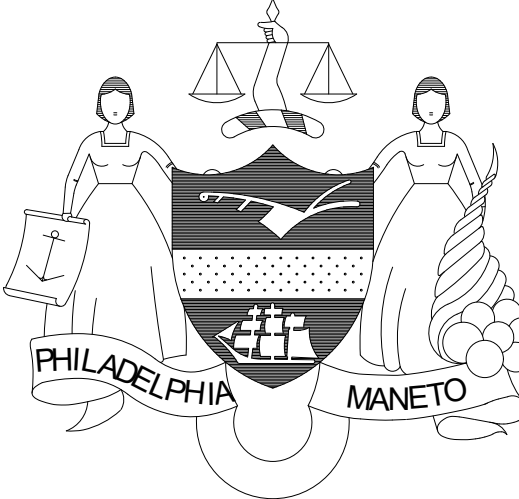
L3.2



- LAYOUT LEGEND
- PROPERTY LINE
 - RADIAL DIMENSION
 - SAFETY SURFACE: COLOR A
 - SAFETY SURFACE: COLOR B
 - SAFETY SURFACE: COLOR C
 - SAFETY SURFACE TRANSITION ZONE



REVISIONS		
ISSUE	DATE	REVISIONS




PHILADELPHIA
MANETO

CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
LEEANN SUEN

SEALS



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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
LAYOUT PLAN - JOINTING & SAFETY
SURFACE

PROJECT NO. 16315E-03-02	DRAWING NO. L3.3
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY XD/TM	
CHECKED BY JB	


NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



- GRADING LEGEND**
- PROPERTY LINE
 - LIMIT OF DISTURBANCE
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING ELEVATION (INTERPOLATED)
 - TOP OF WALL
 - BOTTOM OF WALL
 - TOP OF STEP
 - BOTTOM OF STEP
 - HIGH POINT
 - PERCENT SLOPE
 - CONTOUR
 - VERIFY IN FIELD

- GRADING NOTES**
- ANY DISCREPANCY BETWEEN FIELD CONDITIONS AND DOCUMENTED EXISTING OR PROPOSED CONDITIONS SHALL BE REPORTED TO OWNER IN WRITING.
 - ADJUST EXISTING AND PROPOSED UTILITIES TO MEET FINAL DESIGN CONDITIONS AS NECESSARY.
 - ADJUST TOPS OF ALL MANHOLE LIDS, EXISTING UTILITY STRUCTURES, ETC. TO MEET PROPOSED GRADES.
 - FINISH GRADES OF PAVEMENTS AND SOIL ALONG BOTTOM OF CURBS AND WALLS SHALL HAVE A CONSTANT SLOPE UNLESS INDICATED BY SPOT ELEVATIONS.


REVISIONS		
ISSUE	DATE	REVISIONS



PHILADELPHIA
MANETO

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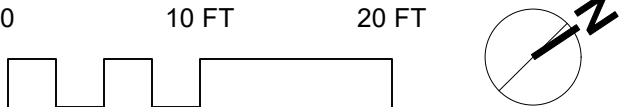
CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

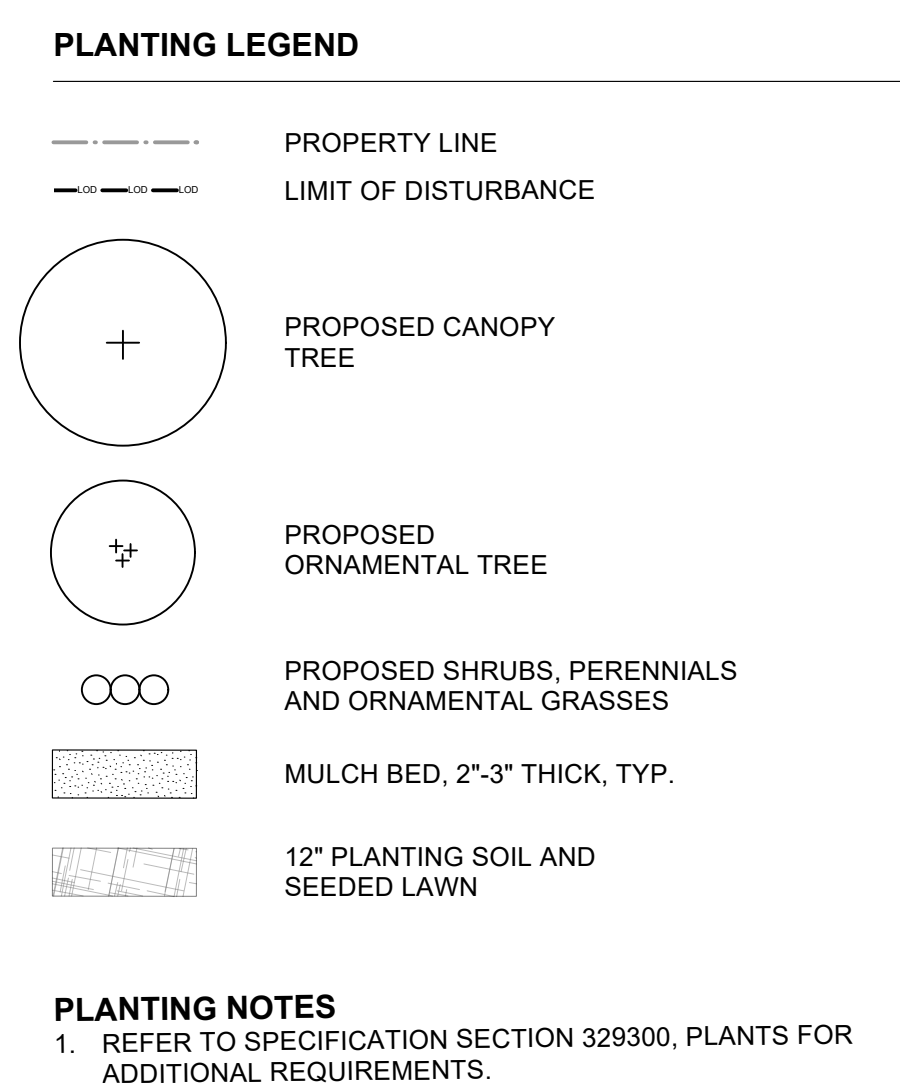
PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
GRADING PLAN

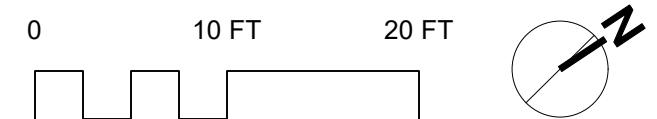
PROJECT NO. 16315E-03-02	DRAWING NO. L4.0
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY XD/TM	
CHECKED BY JB	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





Qty	Id	Botanical Name	Common Name	Size	Spacing	Notes
Canopy Trees						
2	OC	<i>Carpinus caroliniana</i>	American Hornbeam	2 1/2" - 3" cal.	As Shown	Specimen Quality, B&B
1	IS	<i>Nyssa sylvatica 'Wildfire'</i>	Wildfire Blackgum	2 1/2" - 3" cal.	As Shown	Specimen Quality, B&B
2	OV	<i>Ostrya virginiana</i>	American Hop Hornbeam	2 1/2" - 3" cal.	As Shown	Specimen Quality, B&B
2	PAE	<i>Platanus x acerfolia 'Exclamation'</i>	Exclamation London Plane	2 1/2" - 3" cal.	As Shown	Specimen Quality, B&B
1	TA	<i>Tilia americana 'Redmond'</i>	American Basswood	2 1/2" - 3" cal.	As Shown	Specimen Quality, B&B
Undersory Trees						
2	CCA	<i>Cercis canadensis</i>	Eastern Redbud	6" - 10" ht.	As Shown	Specimen Quality, B&B, Multistem
Shrubs						
26	IsOpM	<i>Ilex opaca 'Maryland Dwarf'</i>	Maryland Dwarf American Holly	#3	36" o.c.	Container
Perennials						
102	ane can	<i>Anemone canadensis</i>	Meadow Anemone	#1	18" o.c.	Container
154	lir musc	<i>Liriope muscari</i>	Big Blue Lily Turf	#1	18" o.c.	Container
Ornamental Grasses						
90	era spe	<i>Eragrostis spectabilis</i>	Purple Love Grass	#1	12" o.c.	Container



REVISONS					
ISSUE	DATE		REVISIONS		

CITY OF PHILADELPHIA
MANTO

CONSTRUCTION DOCUMENTS

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L E A N N S U E N

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA
PENNSYLVANIA

PROJECT TITLE

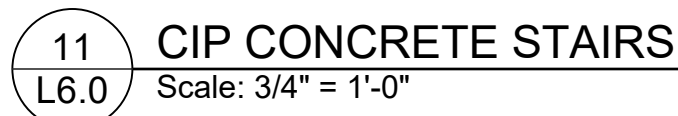
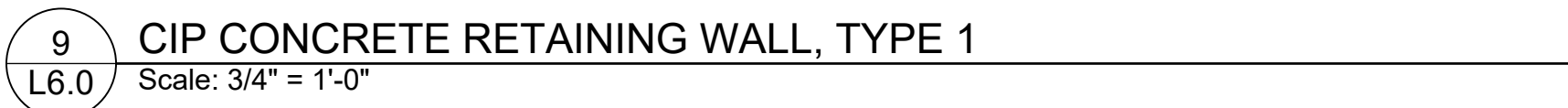
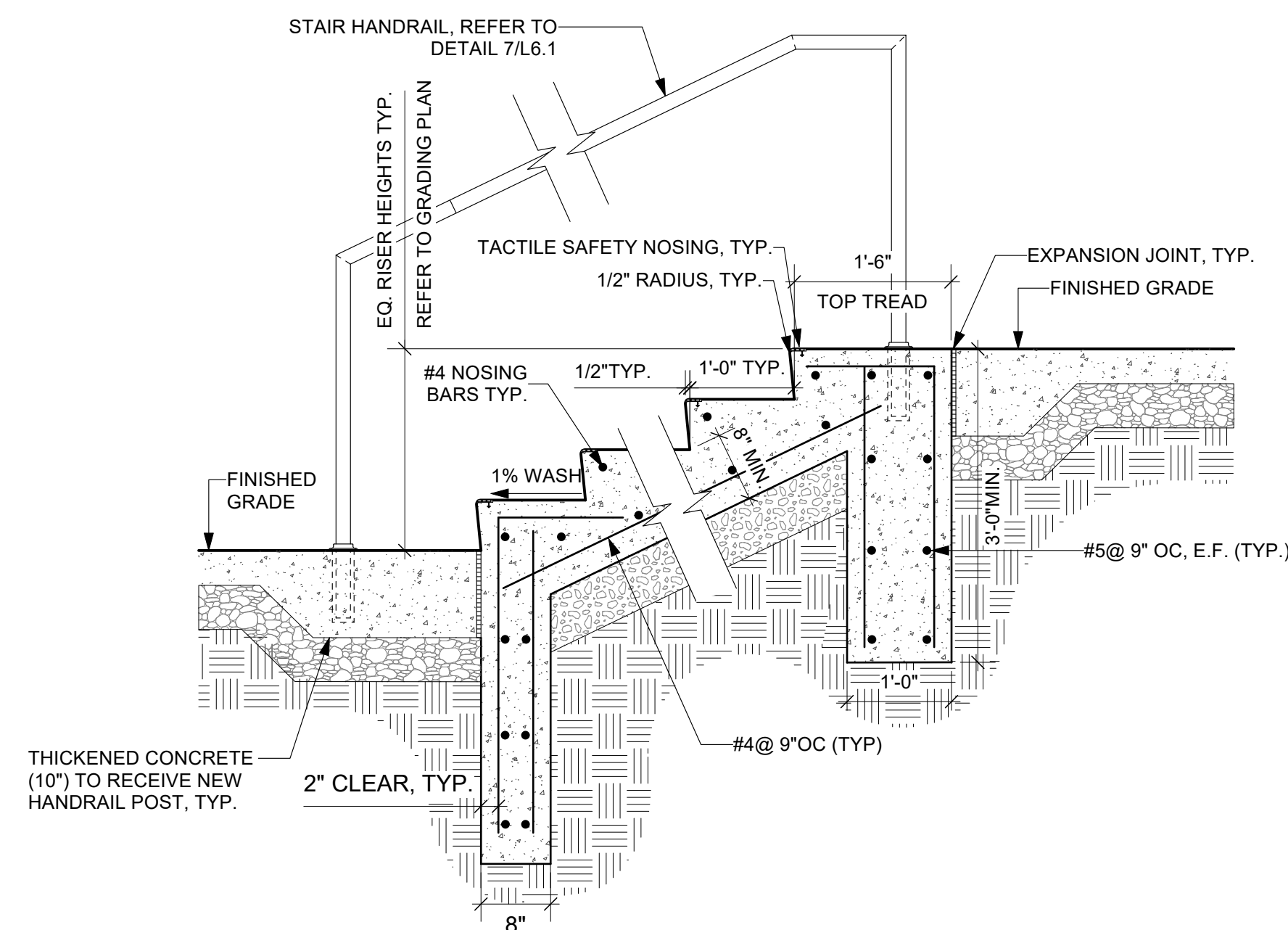
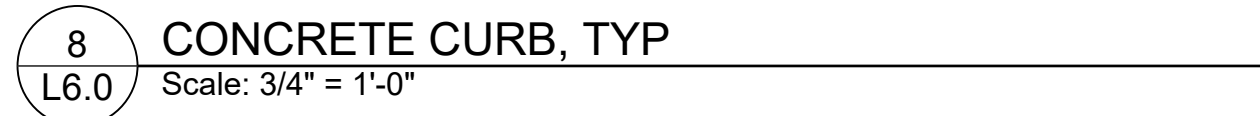
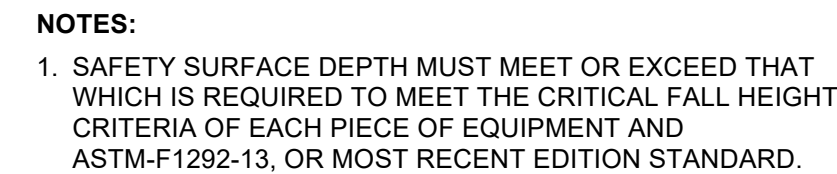
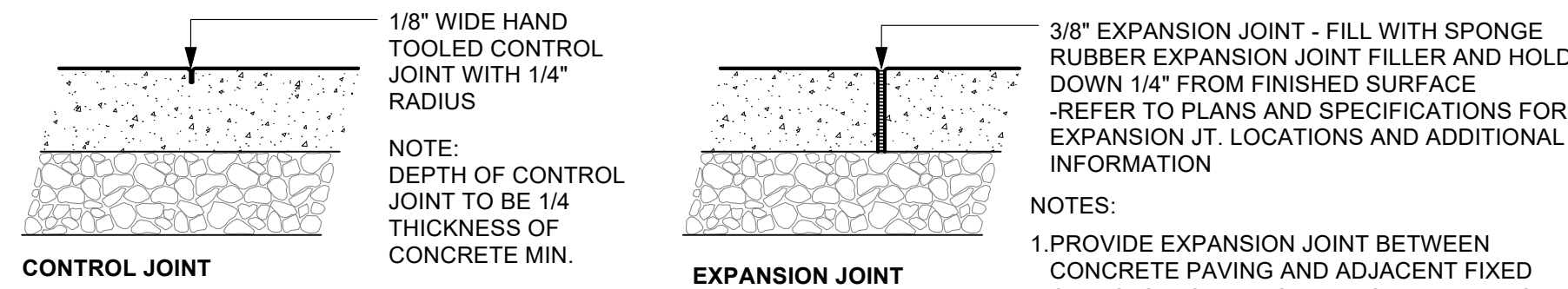
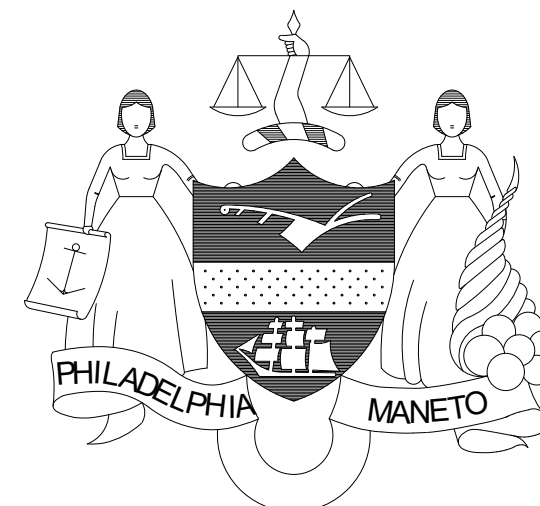
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

PLANTING PLAN

PROJECT NO: <div style="background-color: #f0f0f0; padding: 5px; font-weight: bold; text-align: center;">16315E-03-02</div>	DRAWING NO. <div style="height: 150px; position: relative; align-items: flex-end; justify-content: center;"> SCALE <div style="font-size: 48pt; font-weight: bold; transform: rotate(-15deg); opacity: 0.8;">L5.0</div> </div>
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY XD/TM	
CHECKED BY JB	<small>P.L.</small>

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

[illegible]

CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

	DRAWING TITLE
--	---------------

SITE DETAILS

PROJECT NO.
16315E-03-02

DATE 05/13/2025

SCALE	AS NOTED
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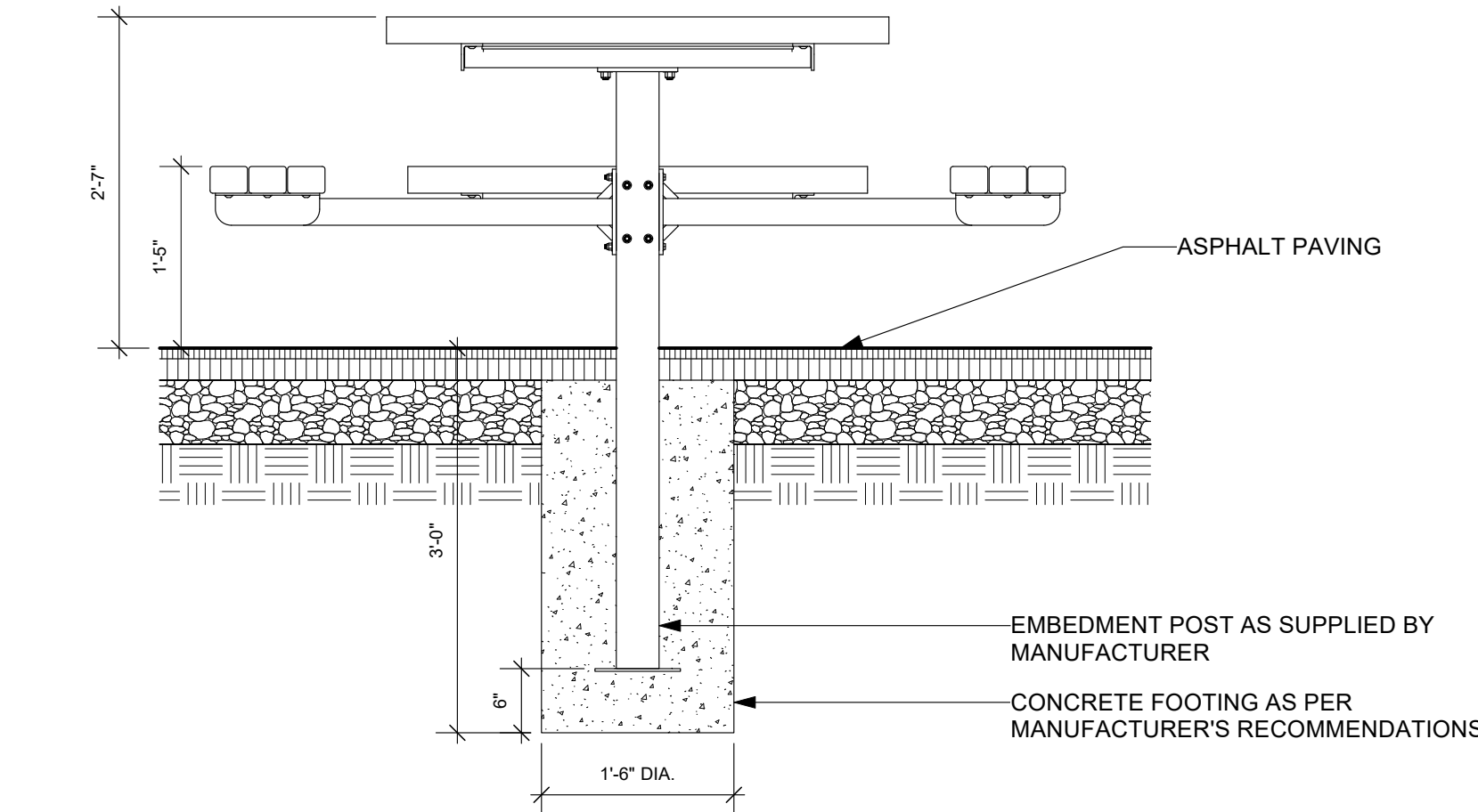
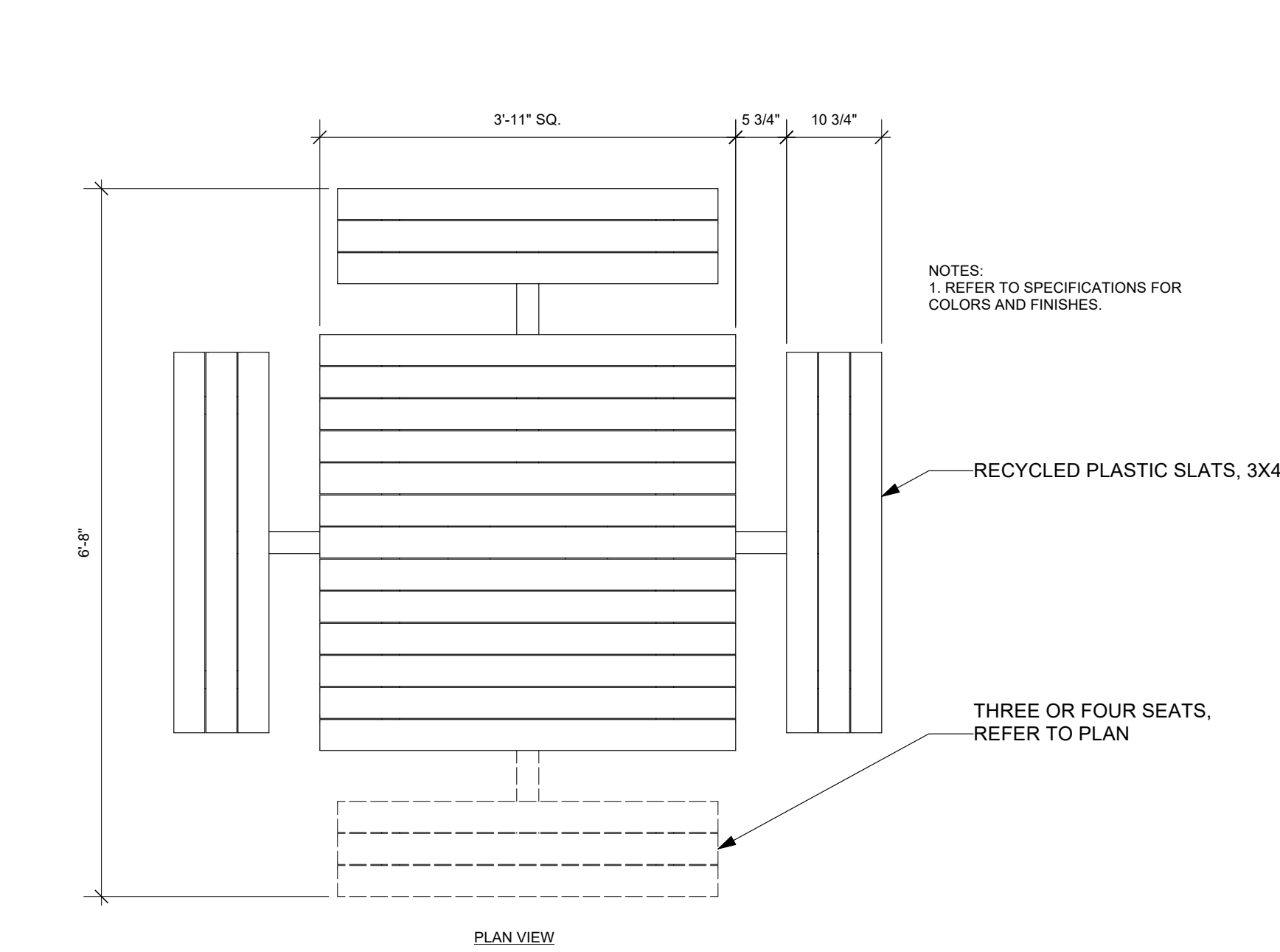
DRAWN BY

CHECKED BY	
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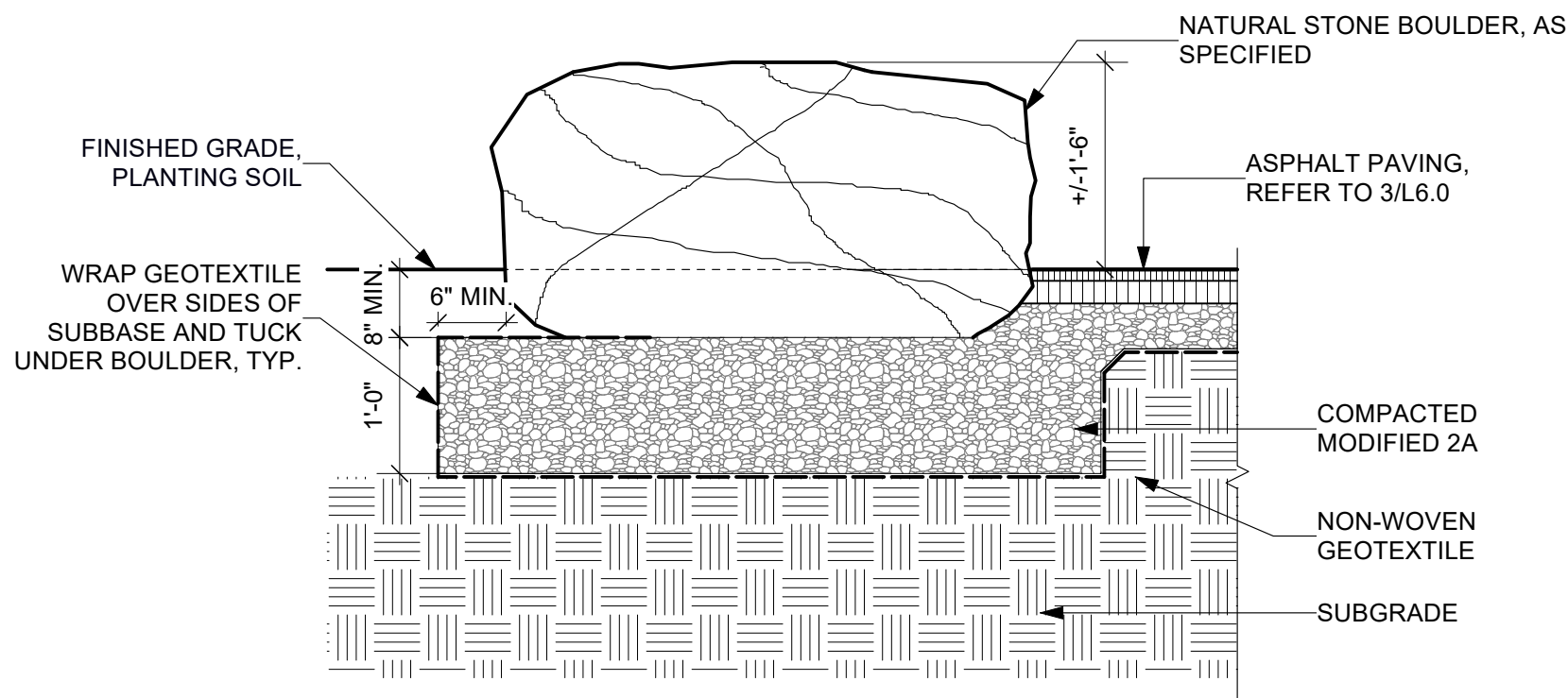
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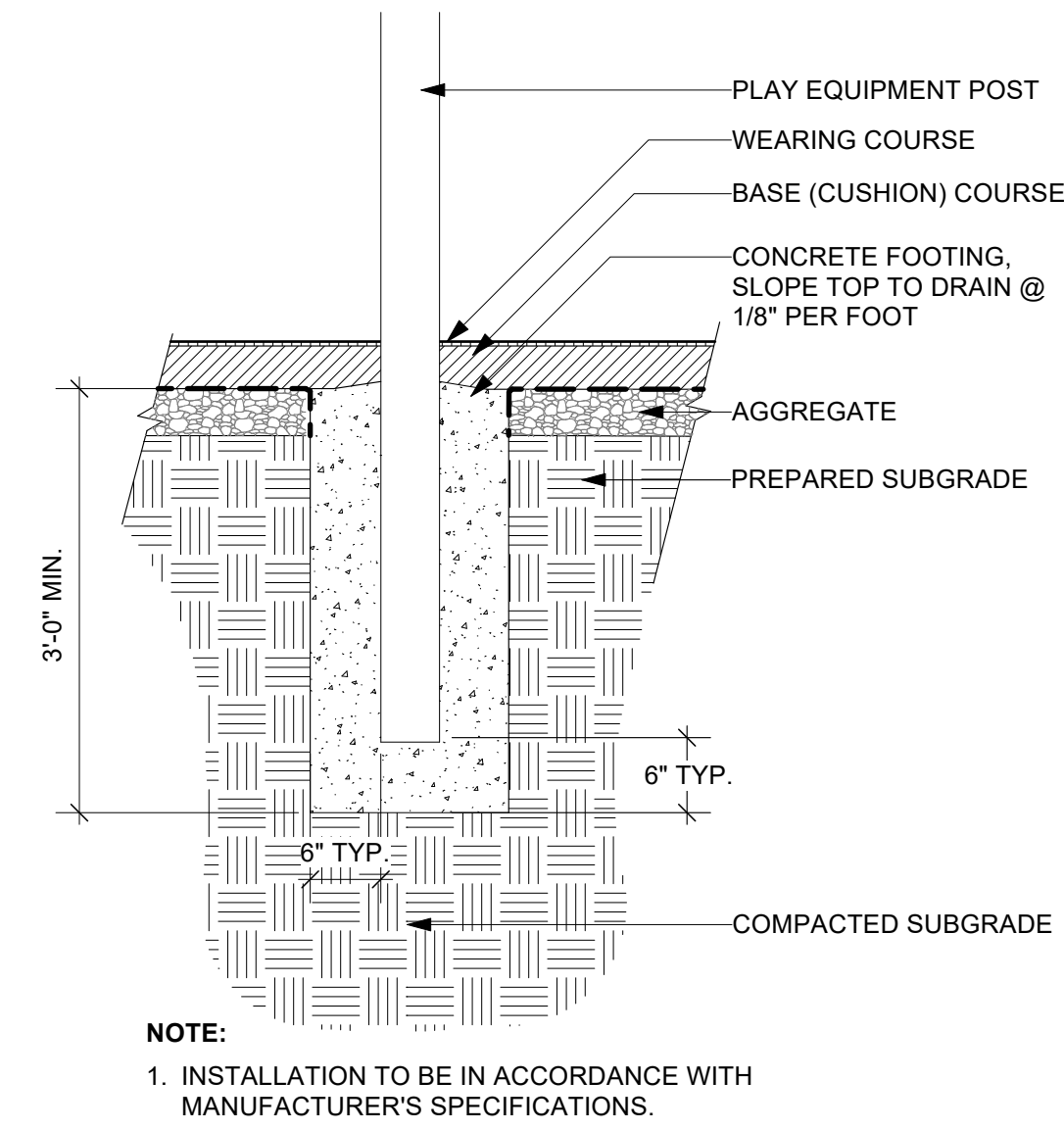
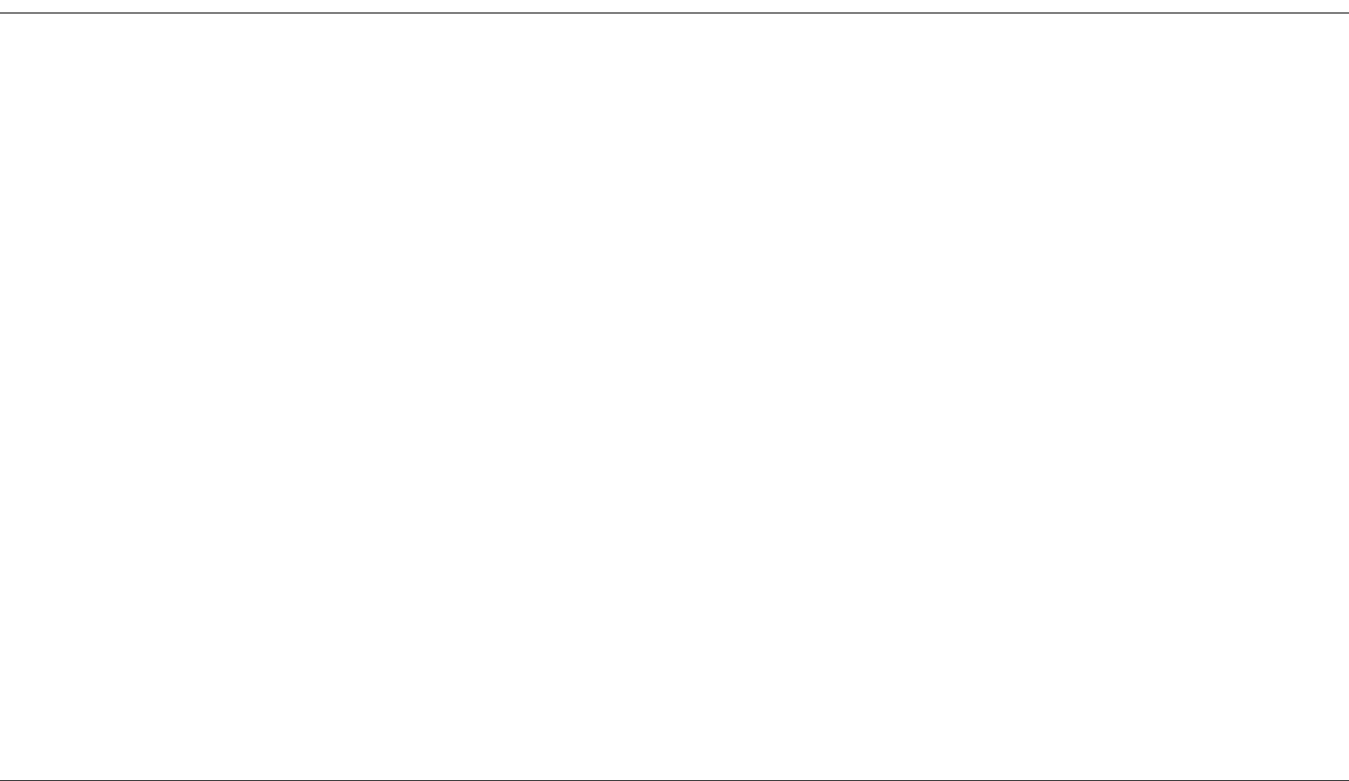
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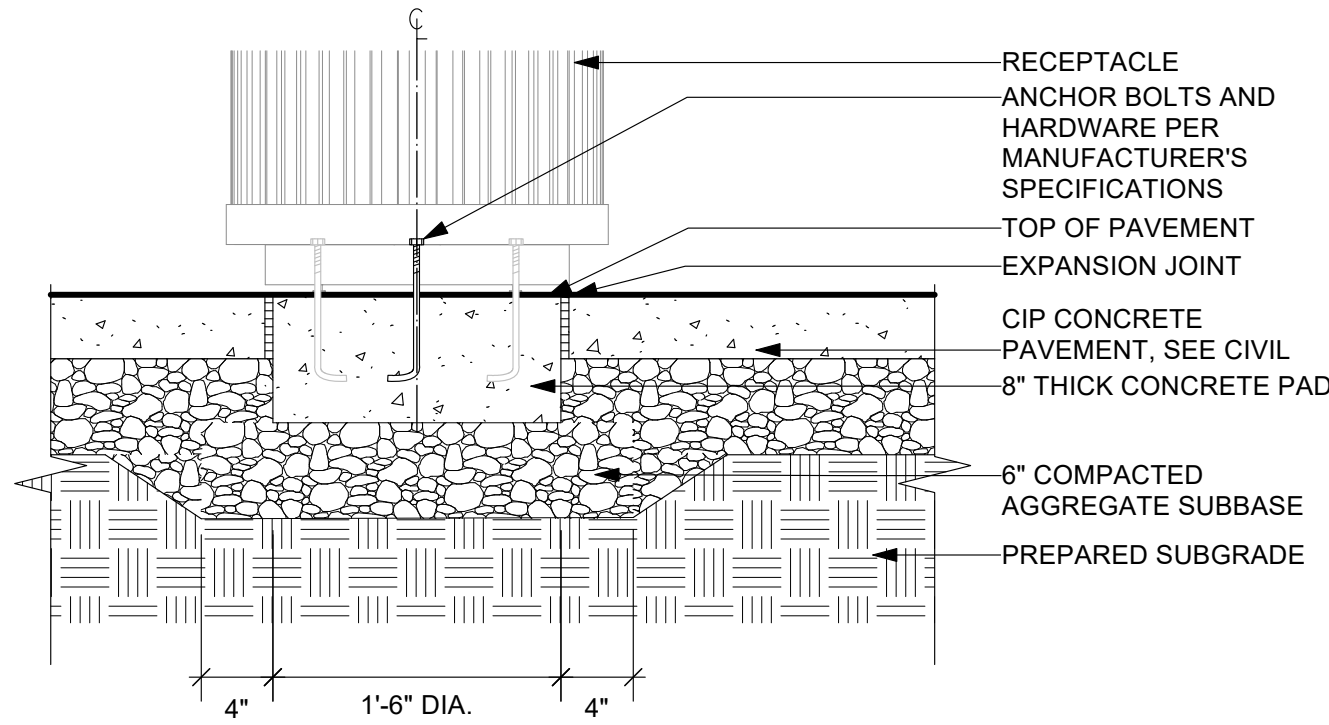
1 PEDESTAL TABLE
L6.1 Scale: 3/4" = 1'-0"



6 BOULDER SEAT , TYP.
L6.1 Scale: 3/4" = 1'-0"

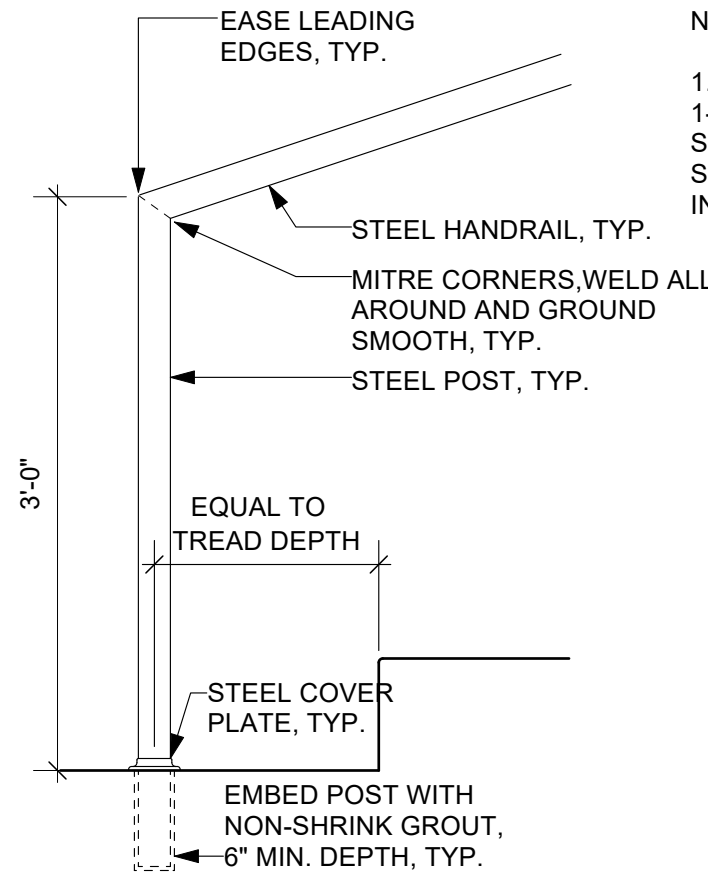


2 PLAY EQUIPMENT FOOTING IN PIP RUBBER SAFETY SURFACE, TYP.
L6.1 Scale: 3/4" = 1'-0"

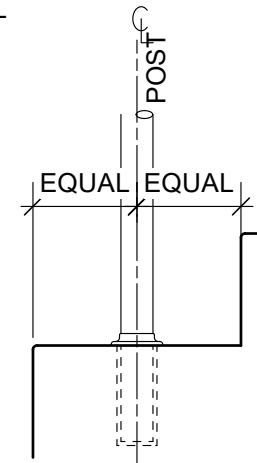


4 TRASH RECEPTACLE, TYP.
L6.1 Scale: 1" = 1'-0"

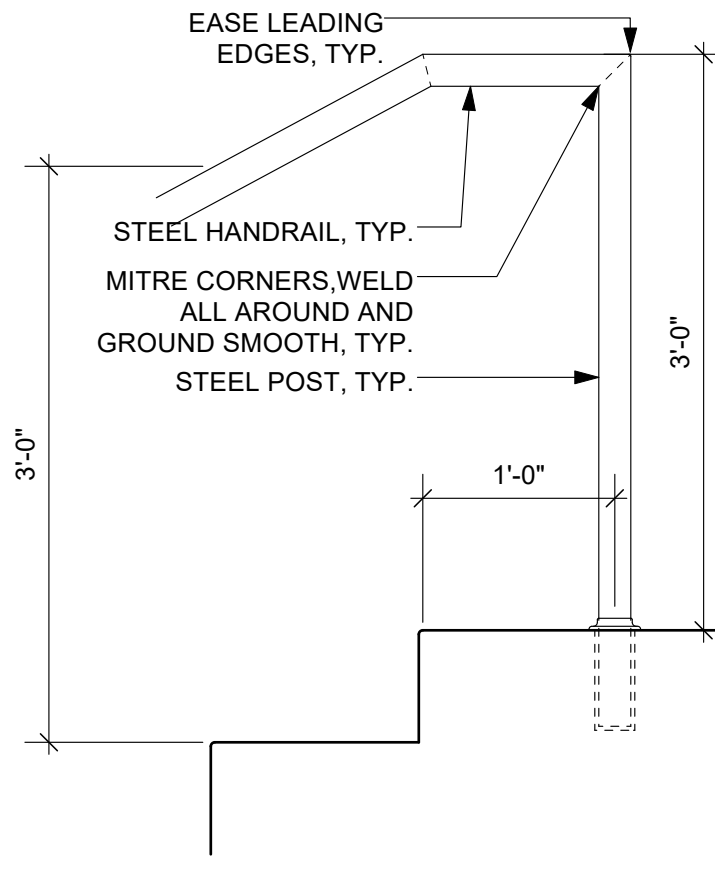
NOTE:
1. HANDRAILS AND POSTS TO BE 1-1/4" SCHEDULE 40 (1.66" O.D.) STEEL SHOP PAINTED - SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



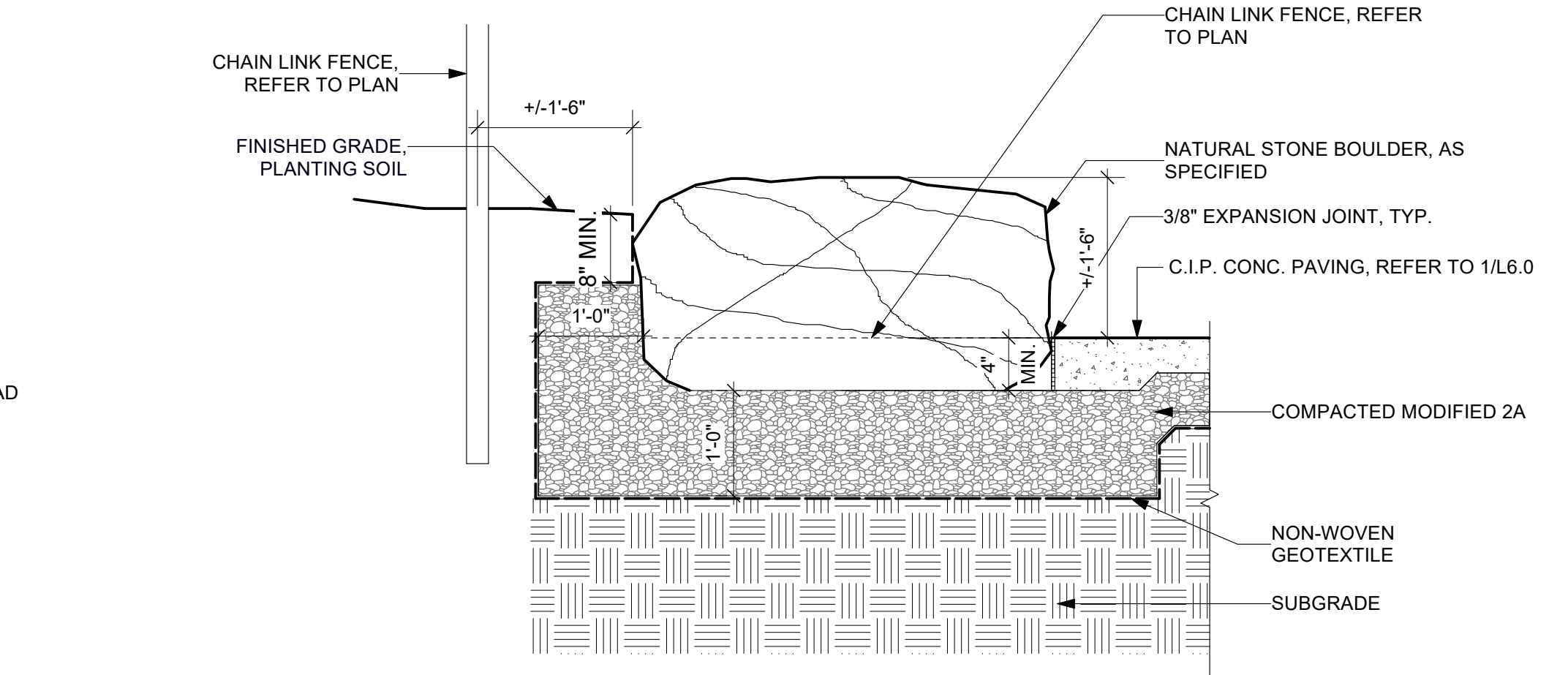
POST AT END OF STAIR



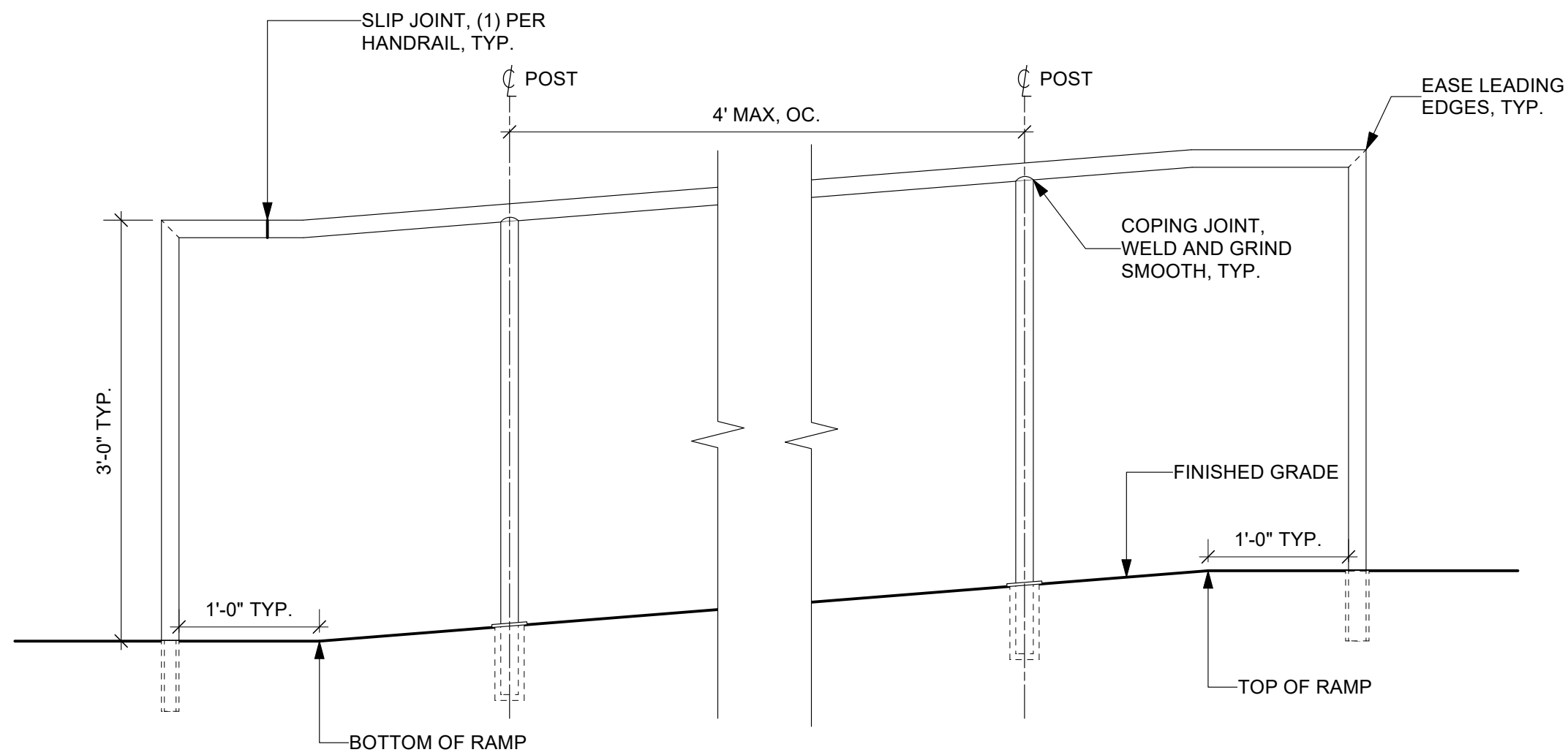
INTERMEDIATE POST



POST AT TOP OF STAIR

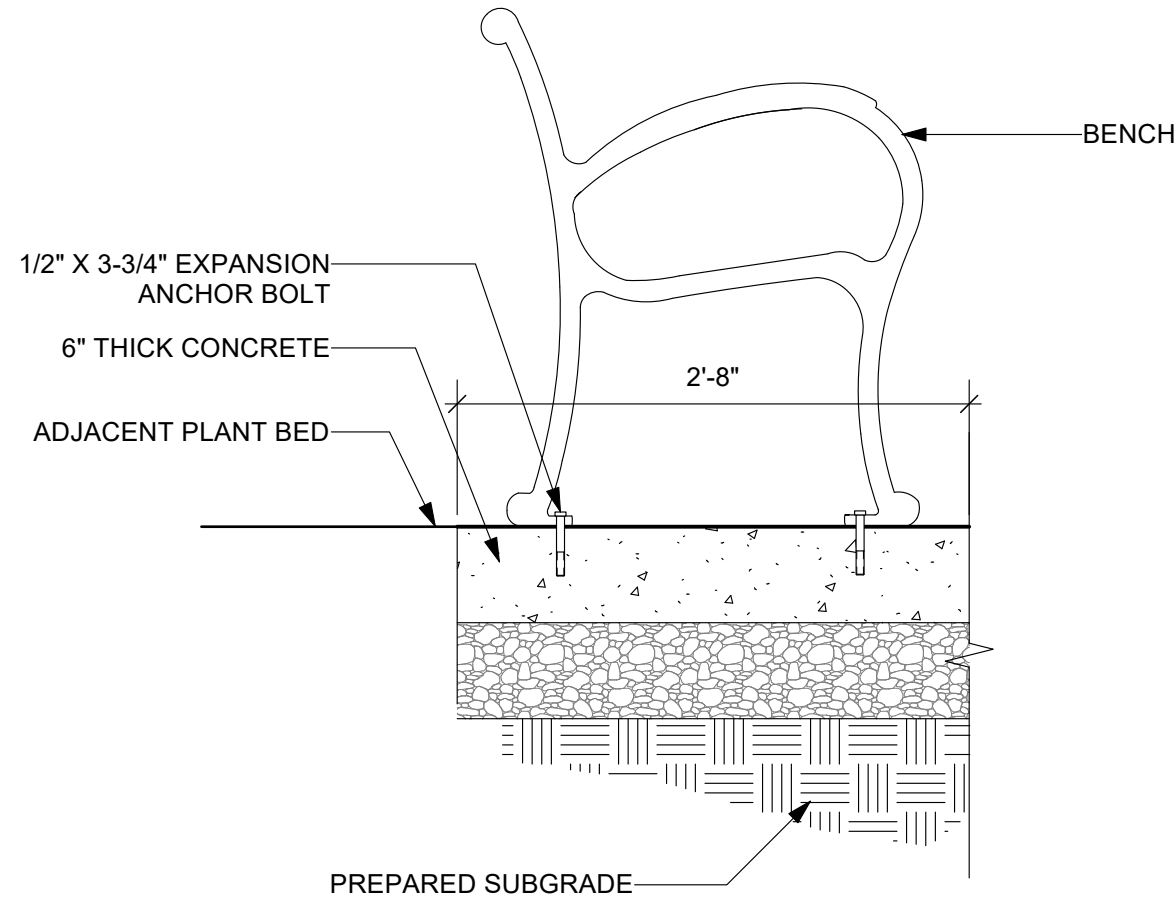


5 BOULDER SEATWALL, TYP.
L6.1 Scale: 3/4" = 1'-0"



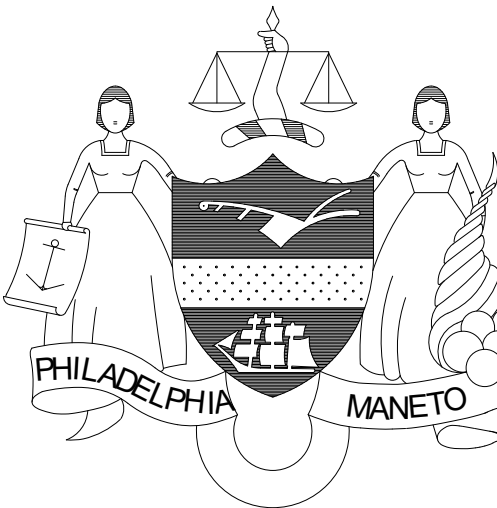
ELEVATION

8 RAMP HANDRAIL, TYP.
L6.1 Scale: 1" = 1'-0"



3 BENCH DETAIL, TYP.
L6.1 Scale: 1" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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LEEANN SUEN

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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

SITE DETAILS

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
XD/TM

CHECKED BY
JB

DRAWING NO.

16315E-03-02

DATE

SCALE

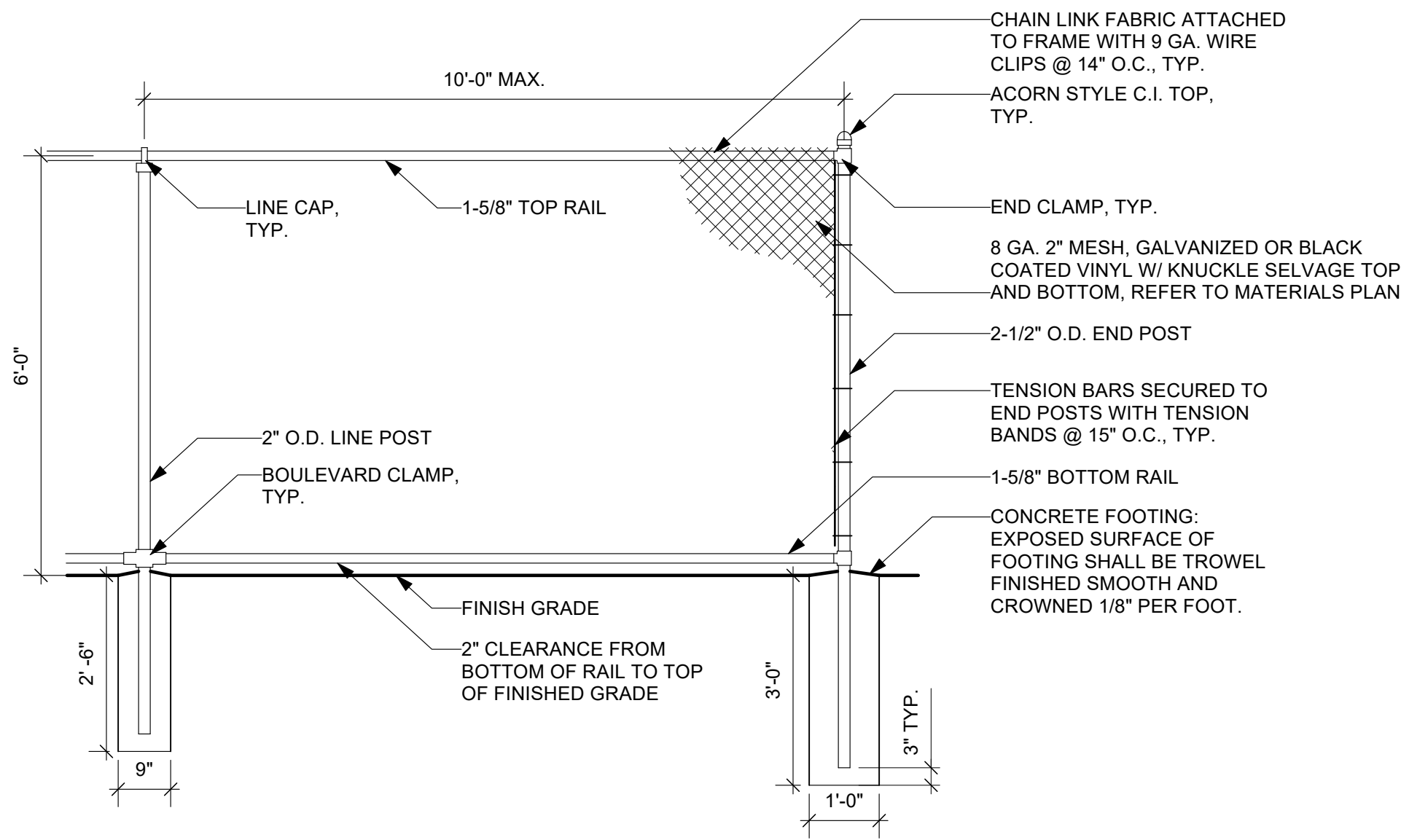
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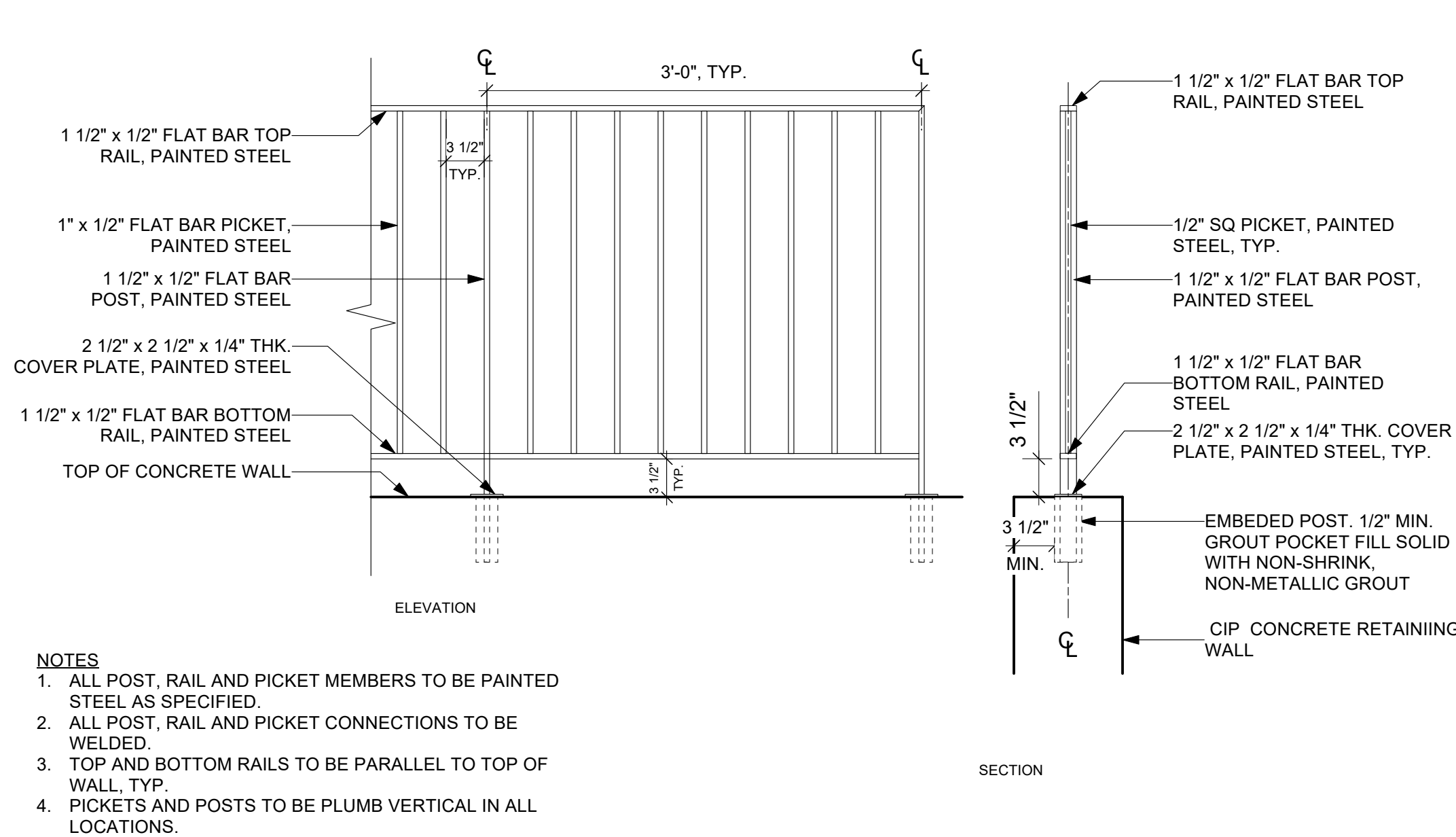
FILE

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L6.1

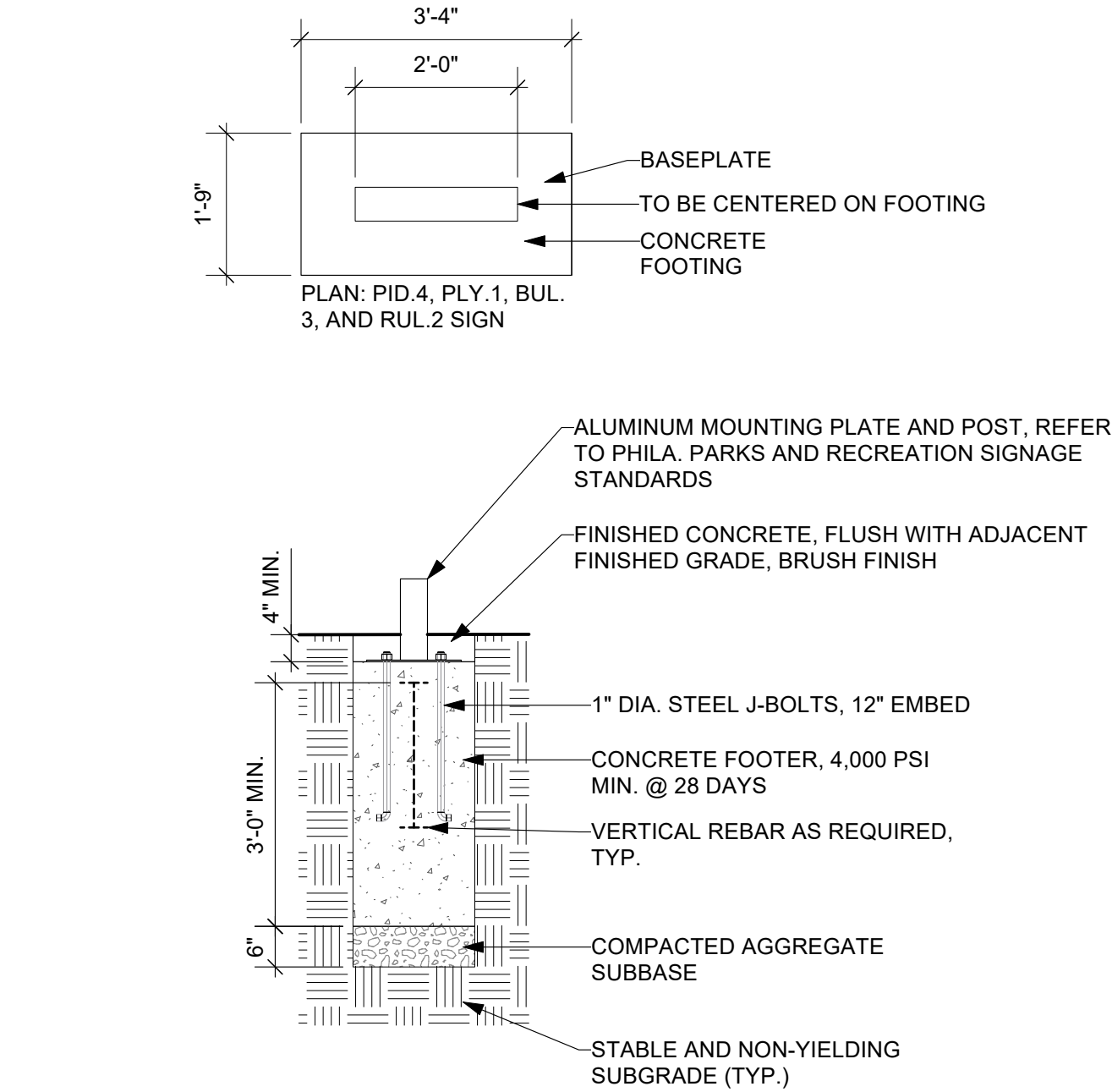


1 6' HT. CHAIN LINK FENCE
L6.2 Scale: 1/2" = 1'-0"

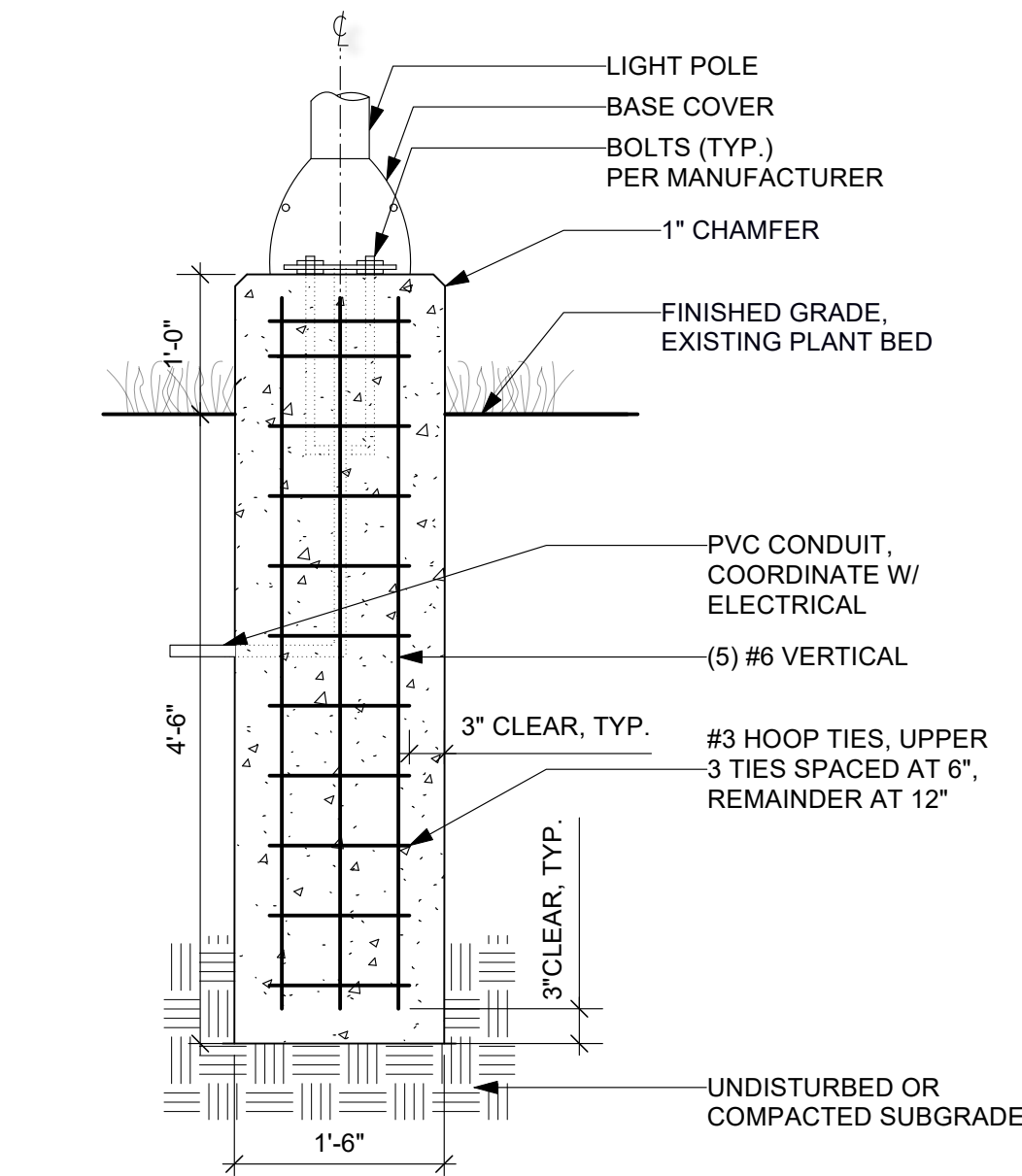


- NOTES
1. ALL POST, RAIL AND PICKET MEMBERS TO BE PAINTED STEEL AS SPECIFIED.
 2. ALL POST, RAIL AND PICKET CONNECTIONS TO BE WELDED.
 3. TOP AND BOTTOM RAILS TO BE PARALLEL TO TOP OF WALL, TYP.
 4. PICKETS AND POSTS TO BE PLUMB VERTICAL IN ALL LOCATIONS.

2 GUARDRAIL, TYP.
L6.2 Scale: 1" = 1'-0"

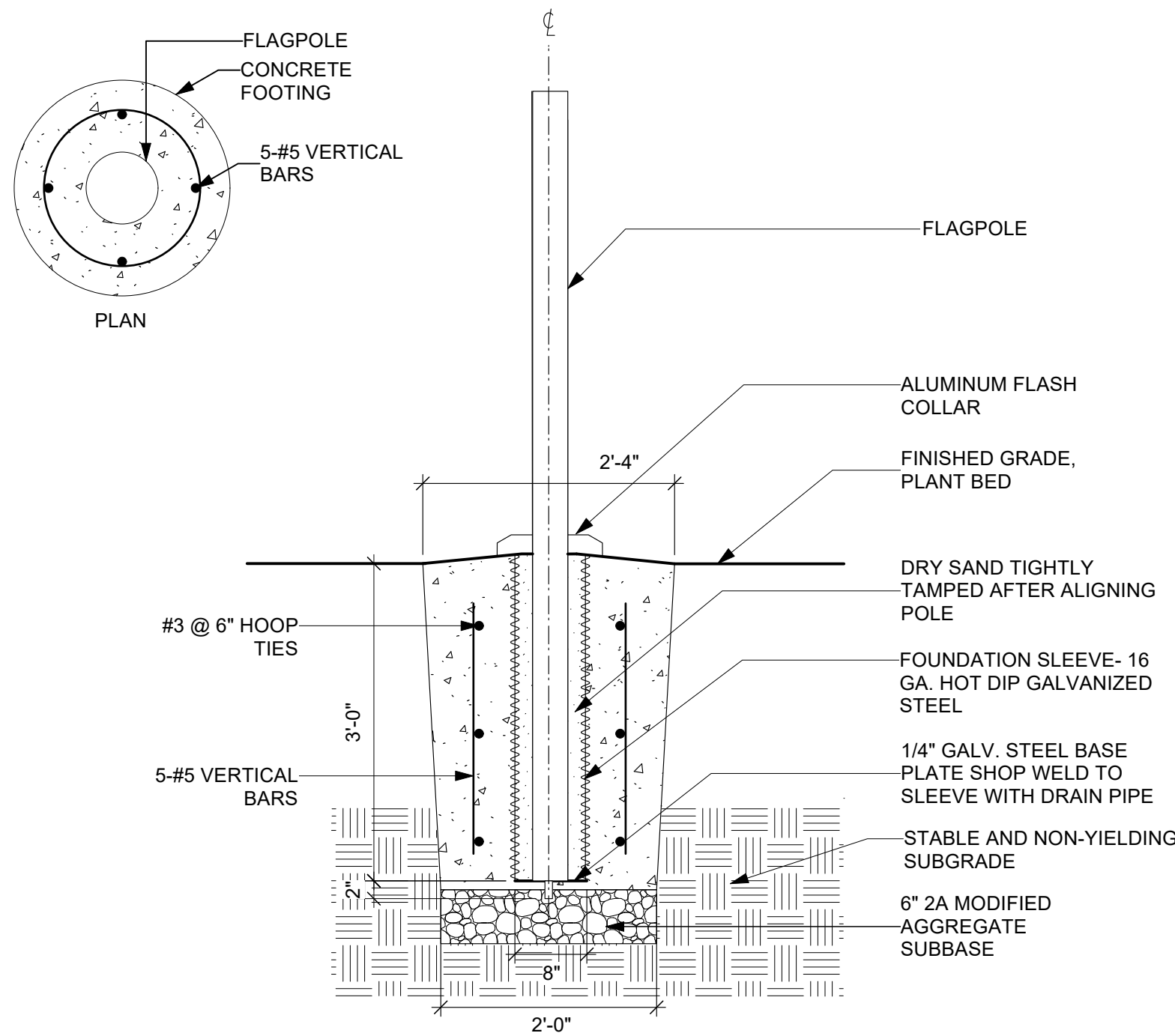


3 SIGN POST FOOTING
L6.2 Scale: 1/2" = 1'-0"

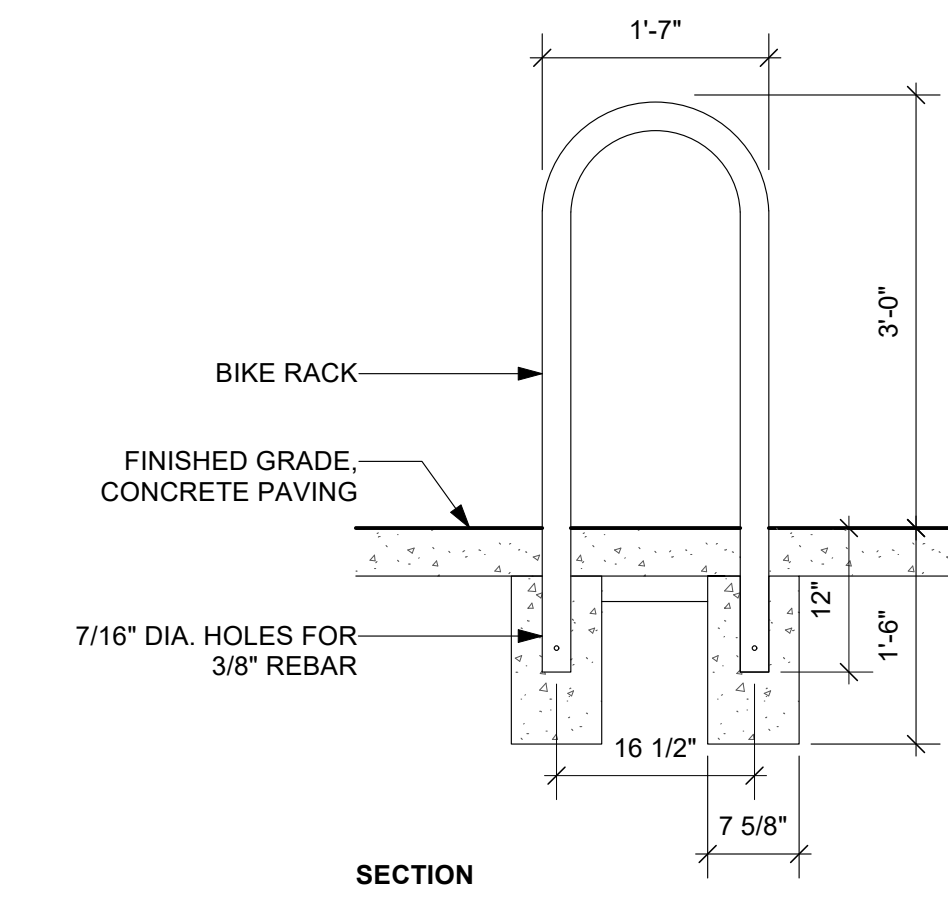


- NOTES
1. CONCRETE STRENGTH SHALL BE MINIMUM 4000 PSI @ 28 DAYS. PROVIDE 3" OF CONCRETE COVER OVER ALL REINFORCEMENT BARS.
 2. REFER TO ELECTRICAL DRAWINGS FOR CONDUIT, JUNCTION BOX, WIRING AND GROUNDING.
 3. REFER TO LIGHTING PLAN AND SCHEDULE FOR LUMINAIRE TYPE AND MOUNTING HEIGHT.

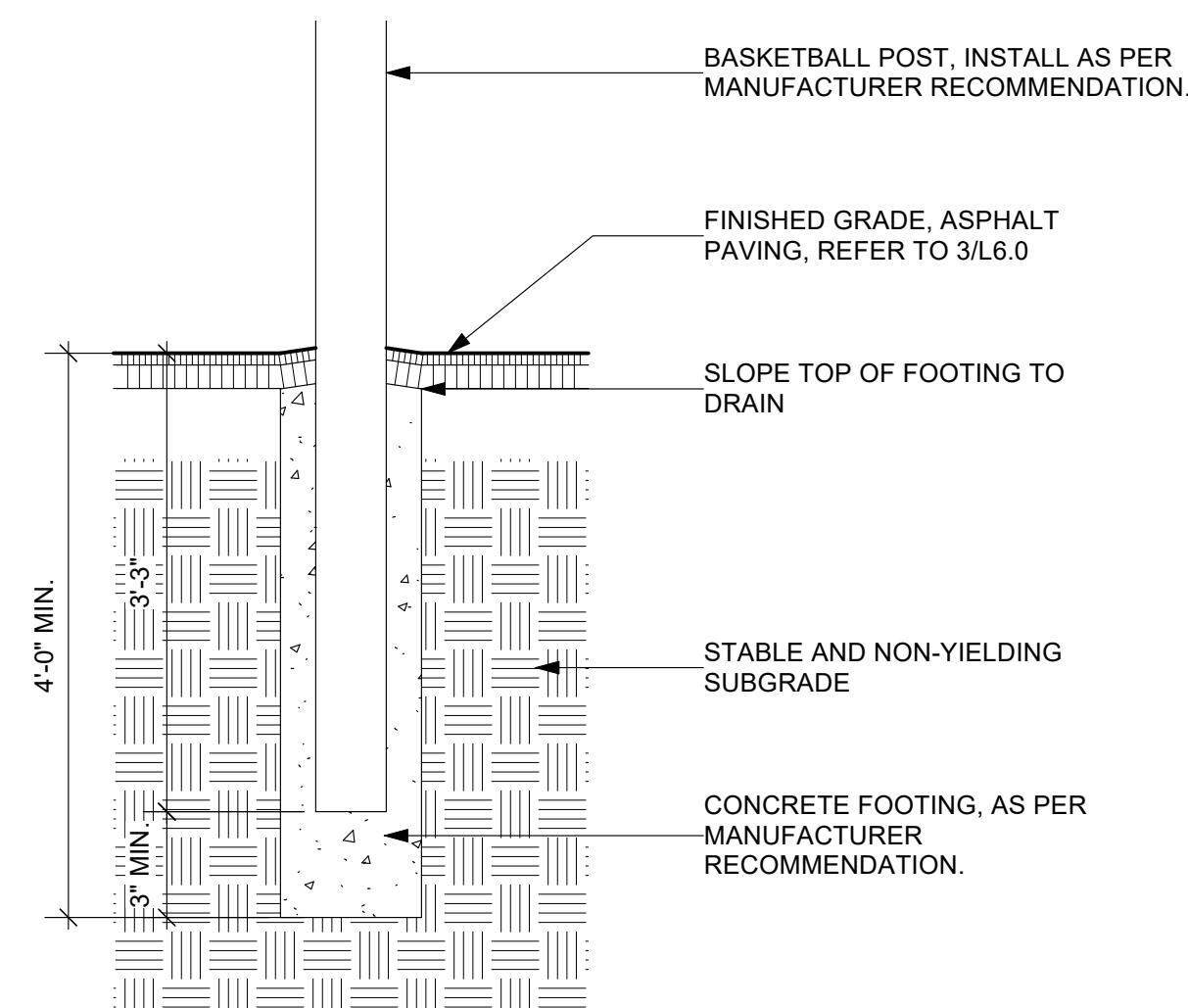
4 PEDESTRIAN LIGHTING FOOTING, TYP.
L6.2 Scale: 3/4" = 1'-0"



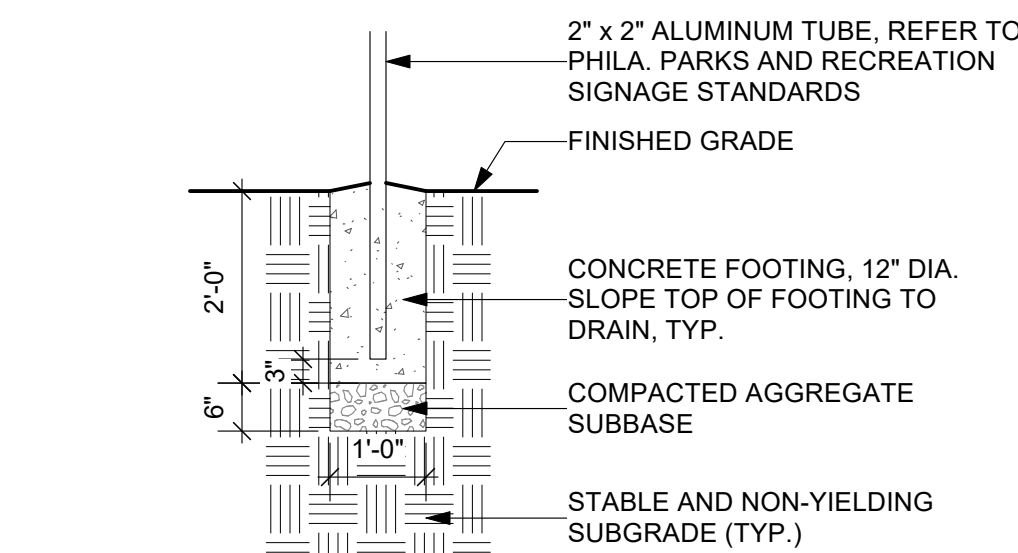
5 FLAG POLE, TYP.
L6.2 Scale: 3/4" = 1'-0"



6 BIKE RACK, TYP.
L6.2 Scale: 3/4" = 1'-0"

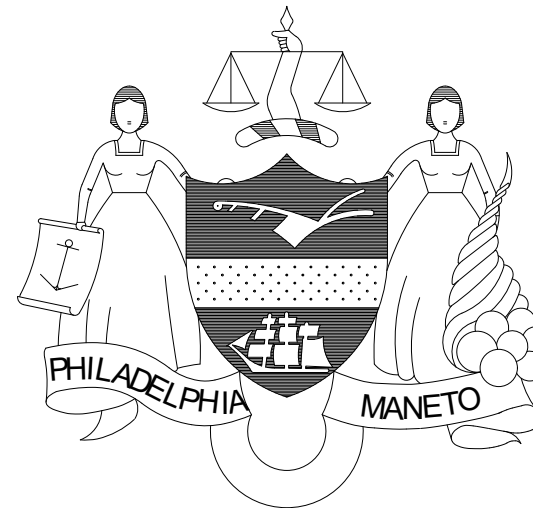


7 BASKETBALL GOAL FOOTING, TYP.
L6.2 Scale: 3/4" = 1'-0"



8 SIGN POST FOOTING, RUL.6
L6.2 Scale: 1/2" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

SITE DETAILS

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

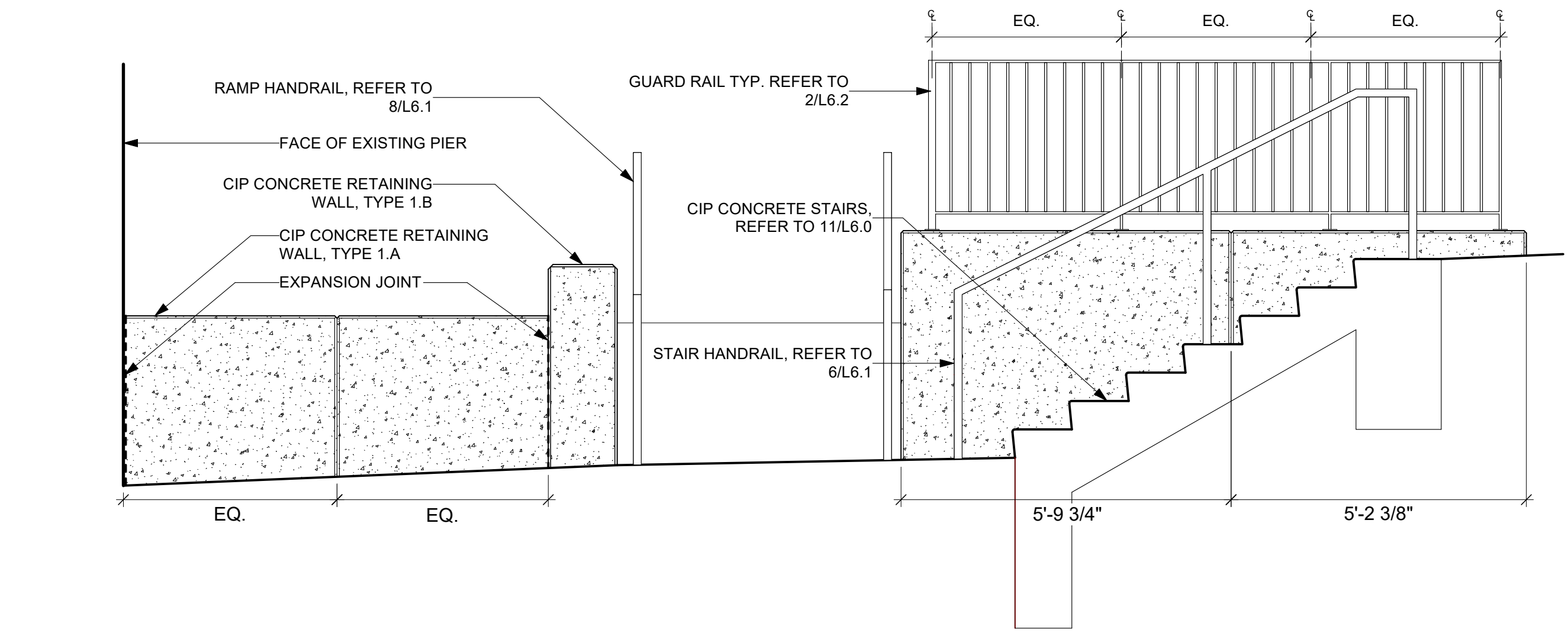
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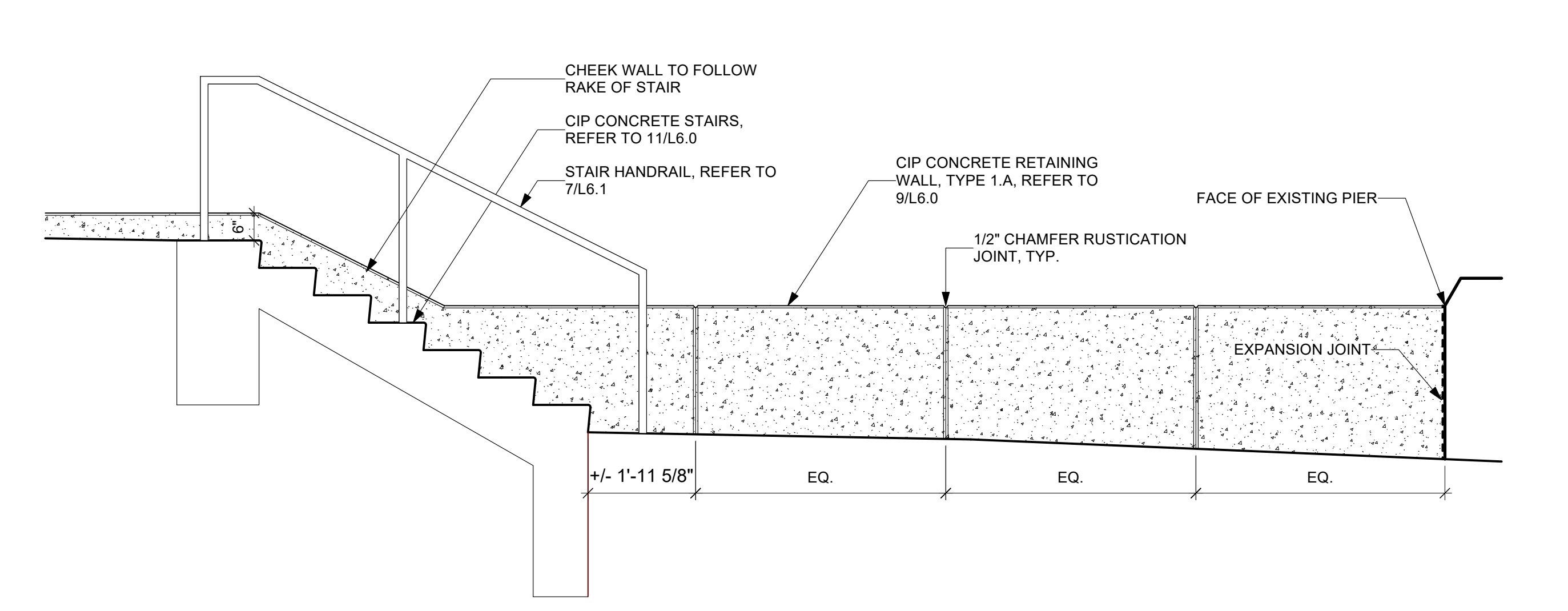
DRAWING NO.

L6.2

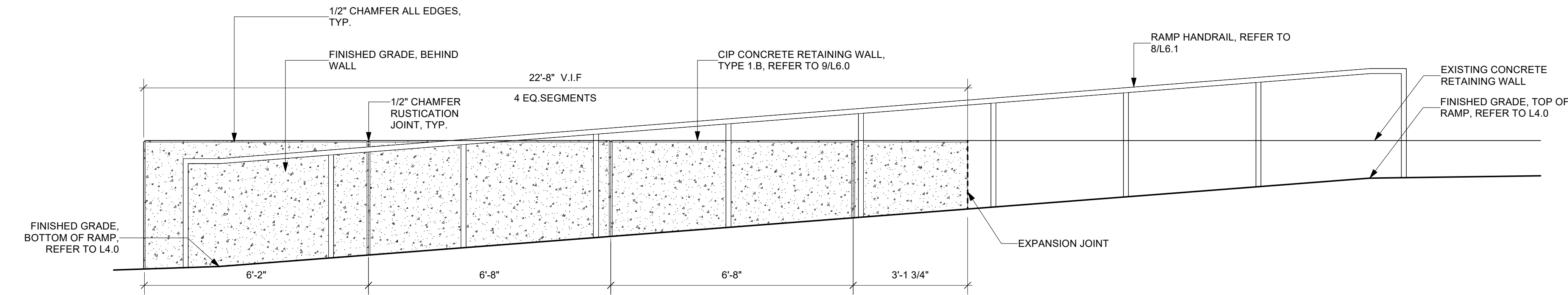
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



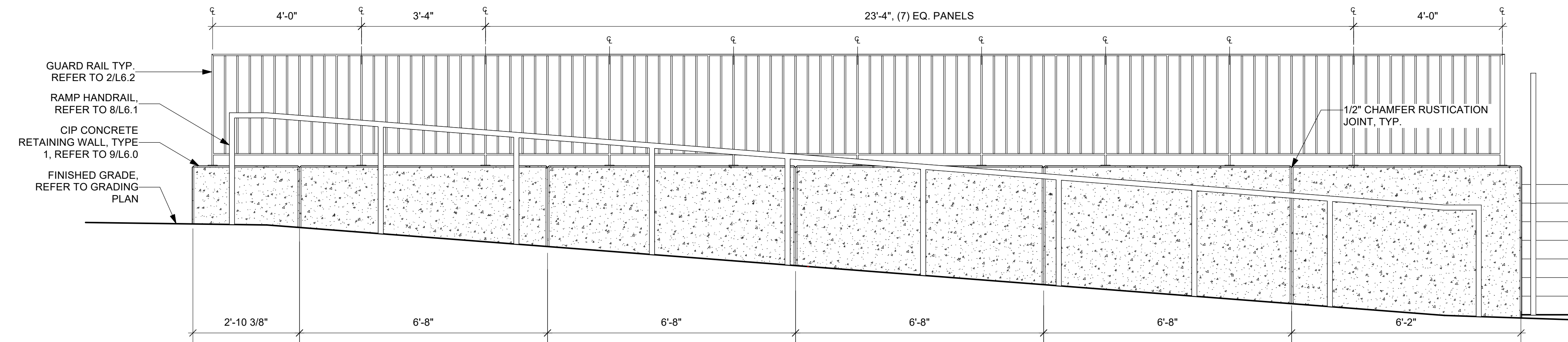
1 ENTRY STAIR AND RETAINING WALL ELEVATION 1
L6.3 Scale: 1/2" = 1'-0"



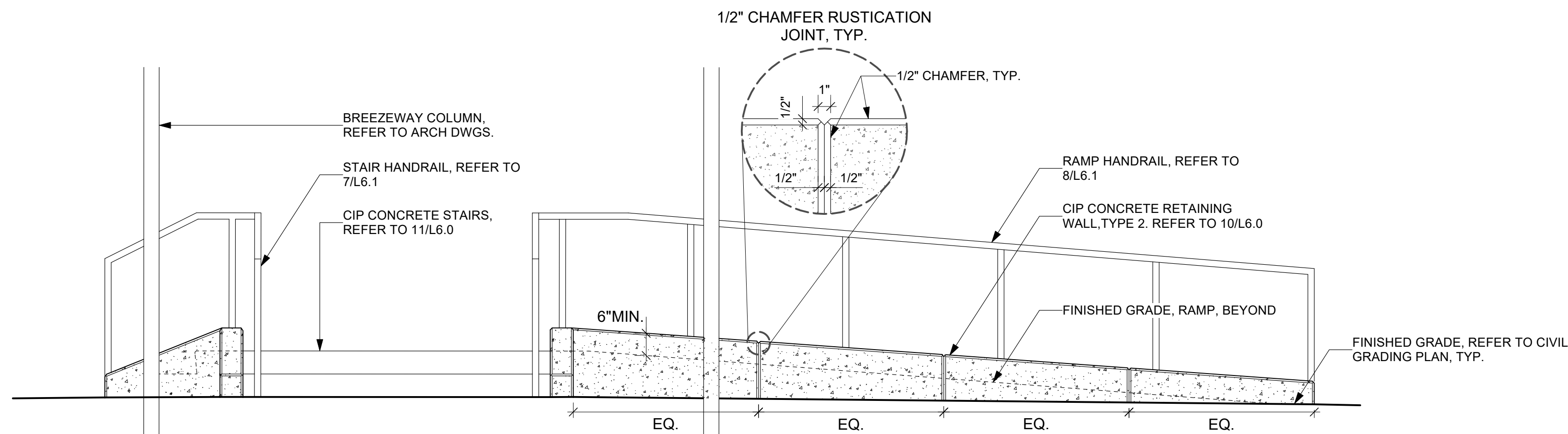
2 ENTRY STAIR AND RETAINING WALL ELEVATION 2
L6.3 Scale: 1/2" = 1'-0"



3 ADA RAMP EAST RETAINING WALL ELEVATION
L6.3 Scale: 1/2" = 1'-0"

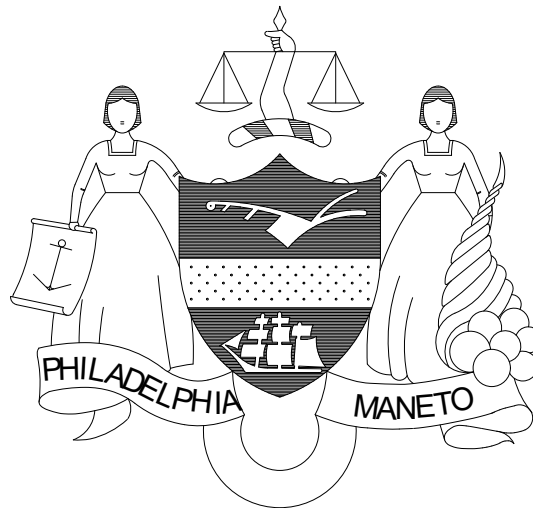


4 ADA RAMP/RETAINING WALL ELEVATION AT PLANT BED 2
L6.3 Scale: 1/2" = 1'-0"



5 CONCRETE RETAINING WALL AT BREEZEWAY
L6.3 Scale: 1/2" = 1'-0"

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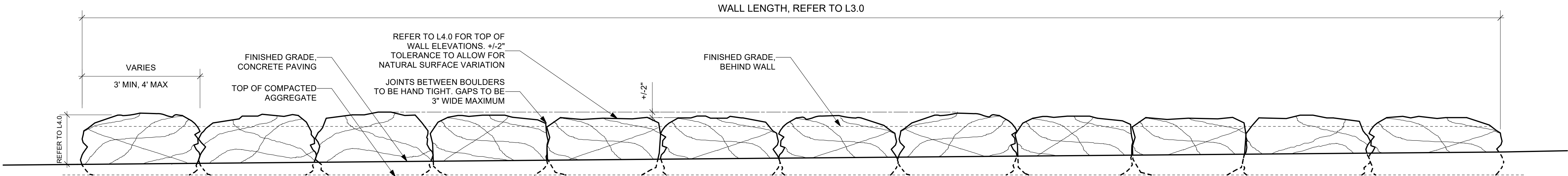
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING NO.	
16315E-03-02	L6.3
DATE	05/13/2025
SCALE	AS NOTED
DRAWN BY	XD/TM
CHECKED BY	JB
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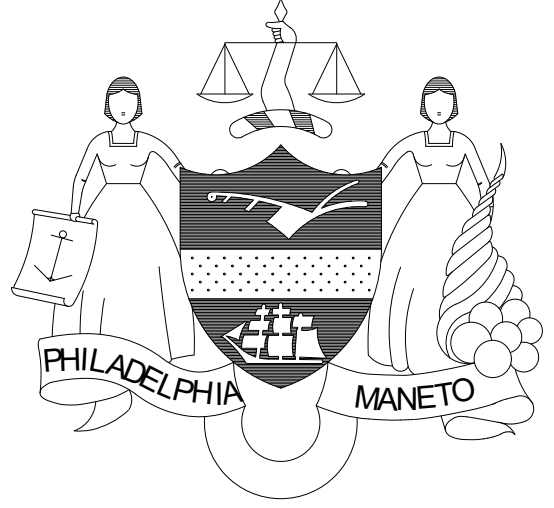


1 BOULDER SEATWALL FLATTENED ELEVATION
Scale: 1/2" = 1'-0"



2 DETAIL ENLARGEMENT PLAN - PAVEMENT MARKINGS
Scale: 1/8" = 1'-0"


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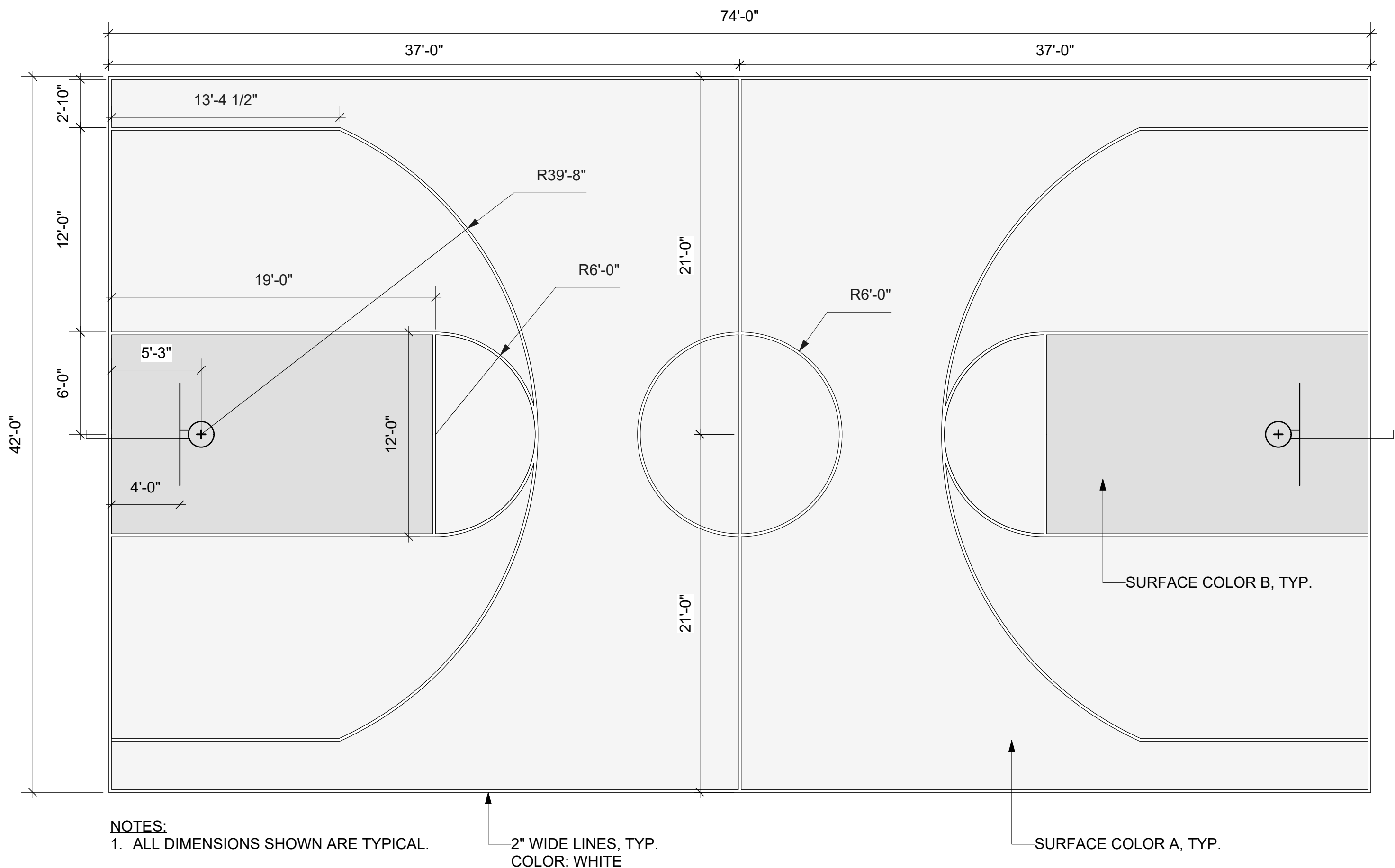
CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
SITE DETAILS

PROJECT NO. 16315E-03-02	DRAWING NO. L6.4
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY XD/TM	
CHECKED BY JB	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



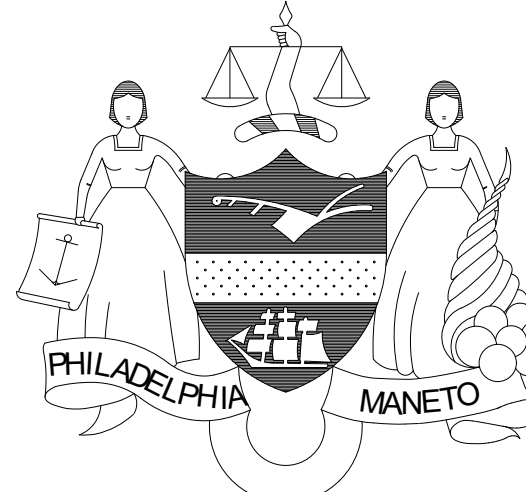

NOTES:
1. ALL DIMENSIONS SHOWN ARE TYPICAL.

2" WIDE LINES, TYP.
COLOR: WHITE

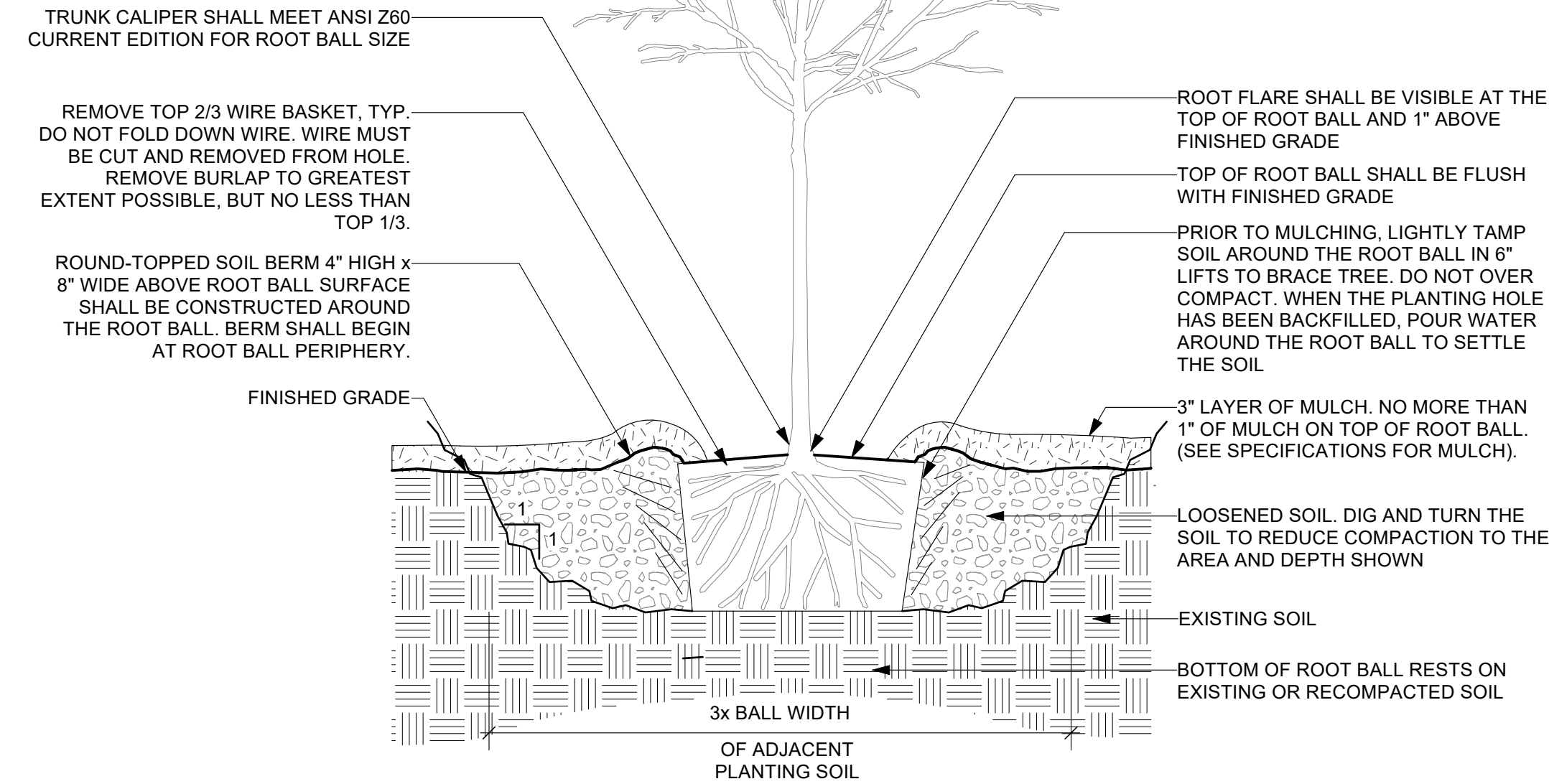
SURFACE COLOR A, TYP.

SURFACE COLOR B, TYP.

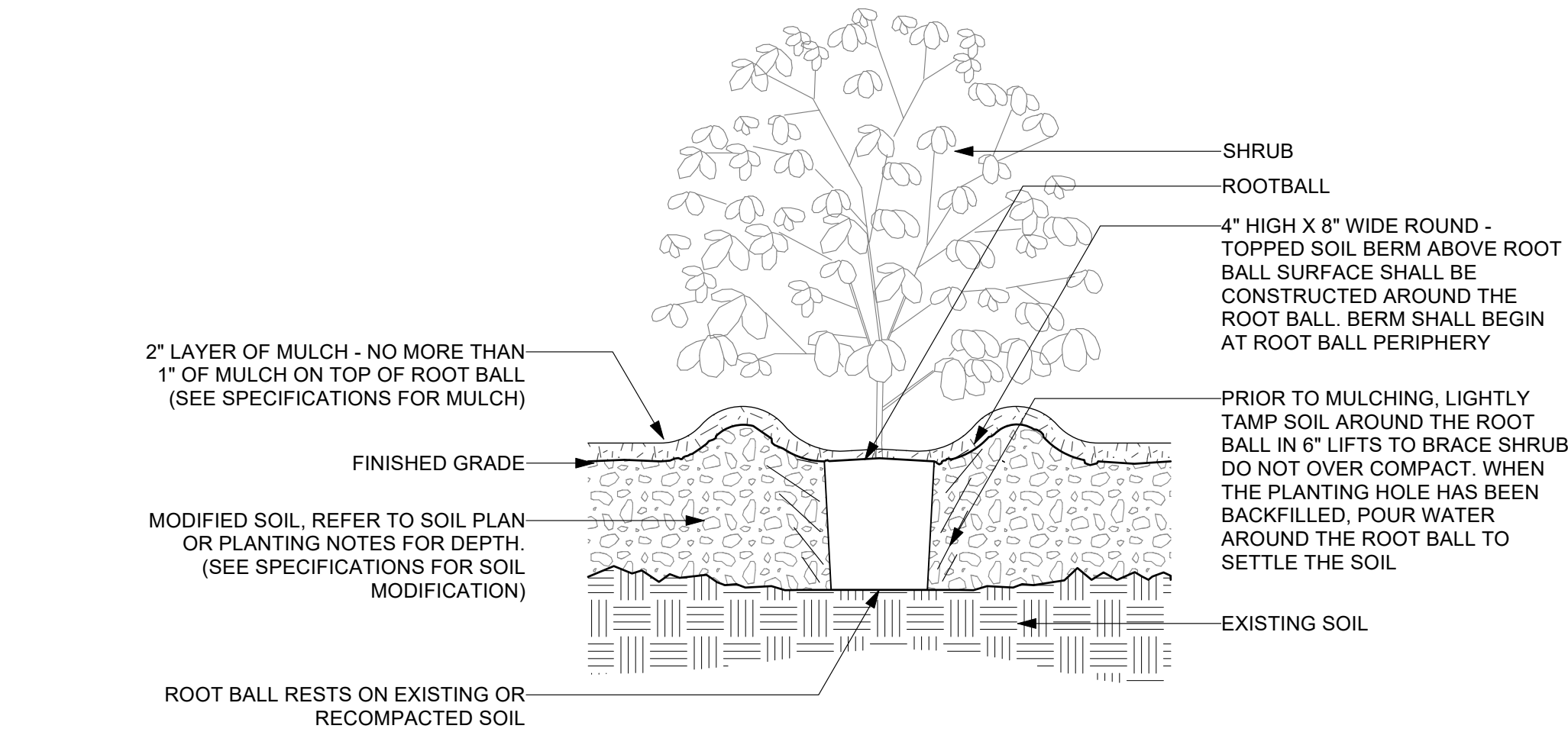
1 BASKETBALL COURT LAYOUT, TYP.
L6.5 Scale: 3/16" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS
<div><p>CONSTRUCTION DOCUMENTS</p><p>PROJECT COORDINATOR</p><p>LEEANN SUEN</p><p>SEALS</p><div></div><p>1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</p><p>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</p><p>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</p><p>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</p><p>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</p><p>ROOFING CONSULTANT: STEPHEN McLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</p></div>		
CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE SITE DETAILS		
PROJECT NO. 16315E-03-02		DRAWING NO. <div>L6.5</div>
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY	XD/TM	
CHECKED BY	JB	FILE
NOTE:	ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	

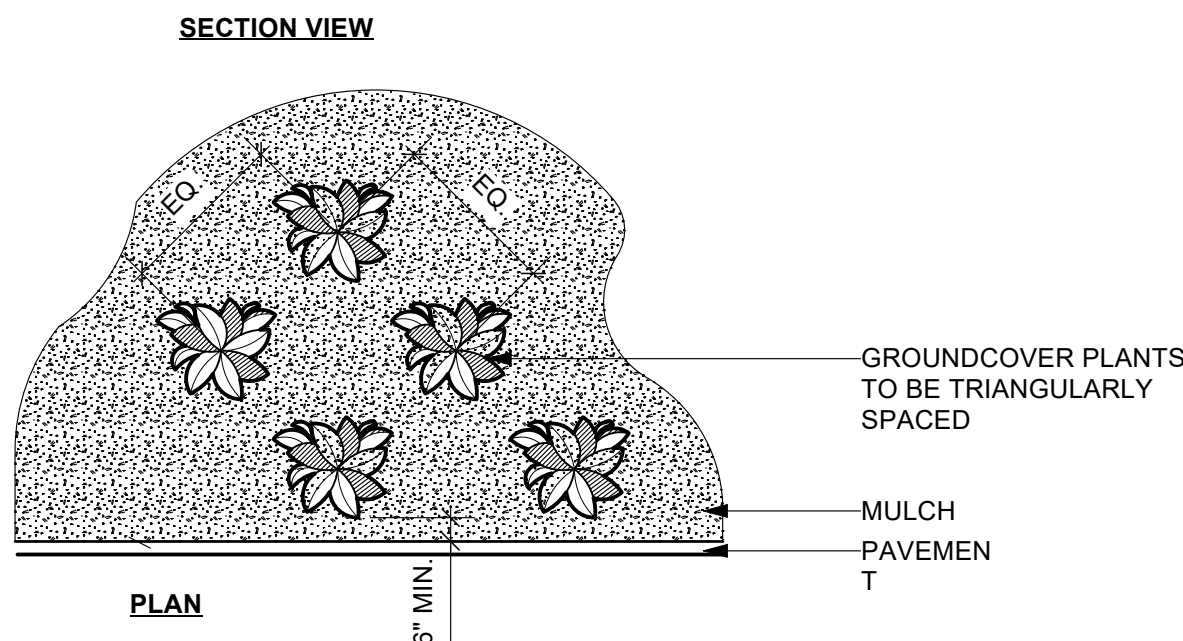
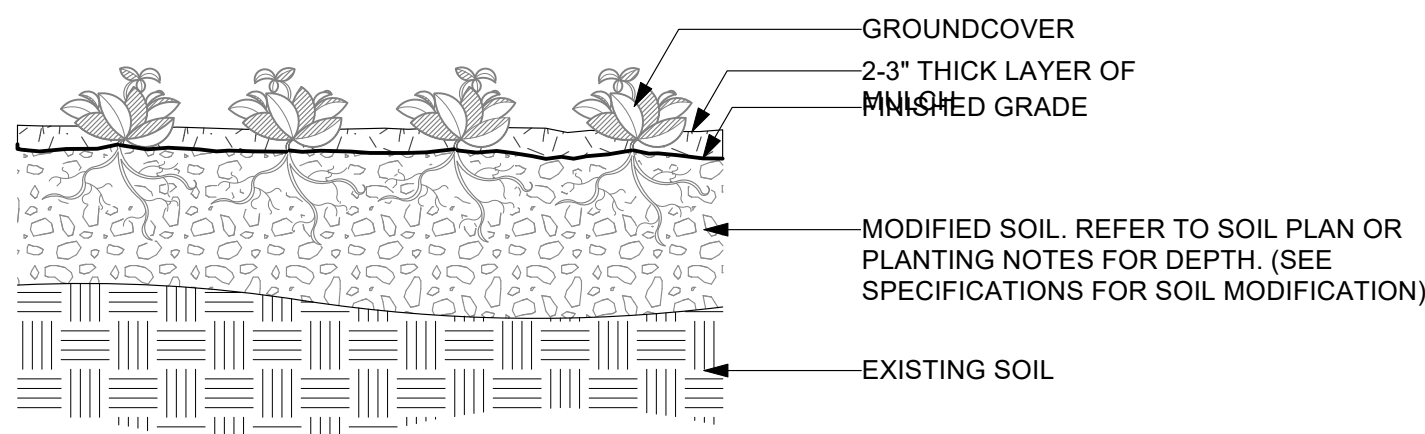
- NOTES:
1. SCARIFY SUBGRADE AT SIDES AND BOTTOM OF PLANTING PIT, TYPICAL.
 2. REMOVE EXCESS SOIL FROM ROOTBALL TO EXPOSE FLARE PRIOR TO SETTING ROOTBALL.
 3. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



1
L6.6 TREE PLANTING DETAIL
Scale: 3/4" = 1'-0"



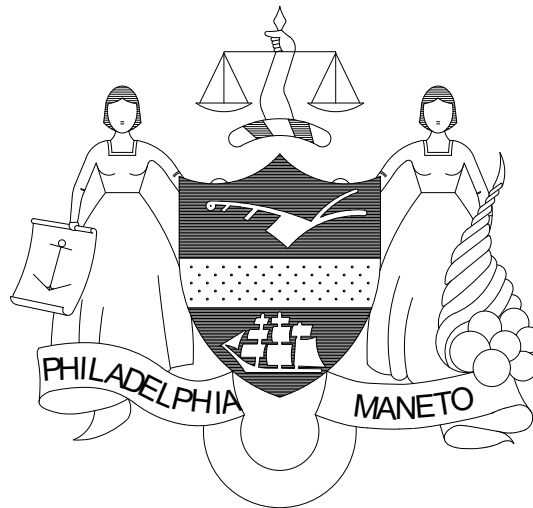
3
L6.6 SHRUB PLANTING DETAIL
Scale: 3/4" = 1'-0"



- NOTES:
1. SEE PLANTING SCHEDULE FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
 2. SMALL ROOTS (1/4" DIA. OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF
 3. SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.

2
L6.6 GROUNDCOVER PLANTING
Scale: 3/4" = 1'-0"

REVISIONS		
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE
PLANTING DETAILS

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

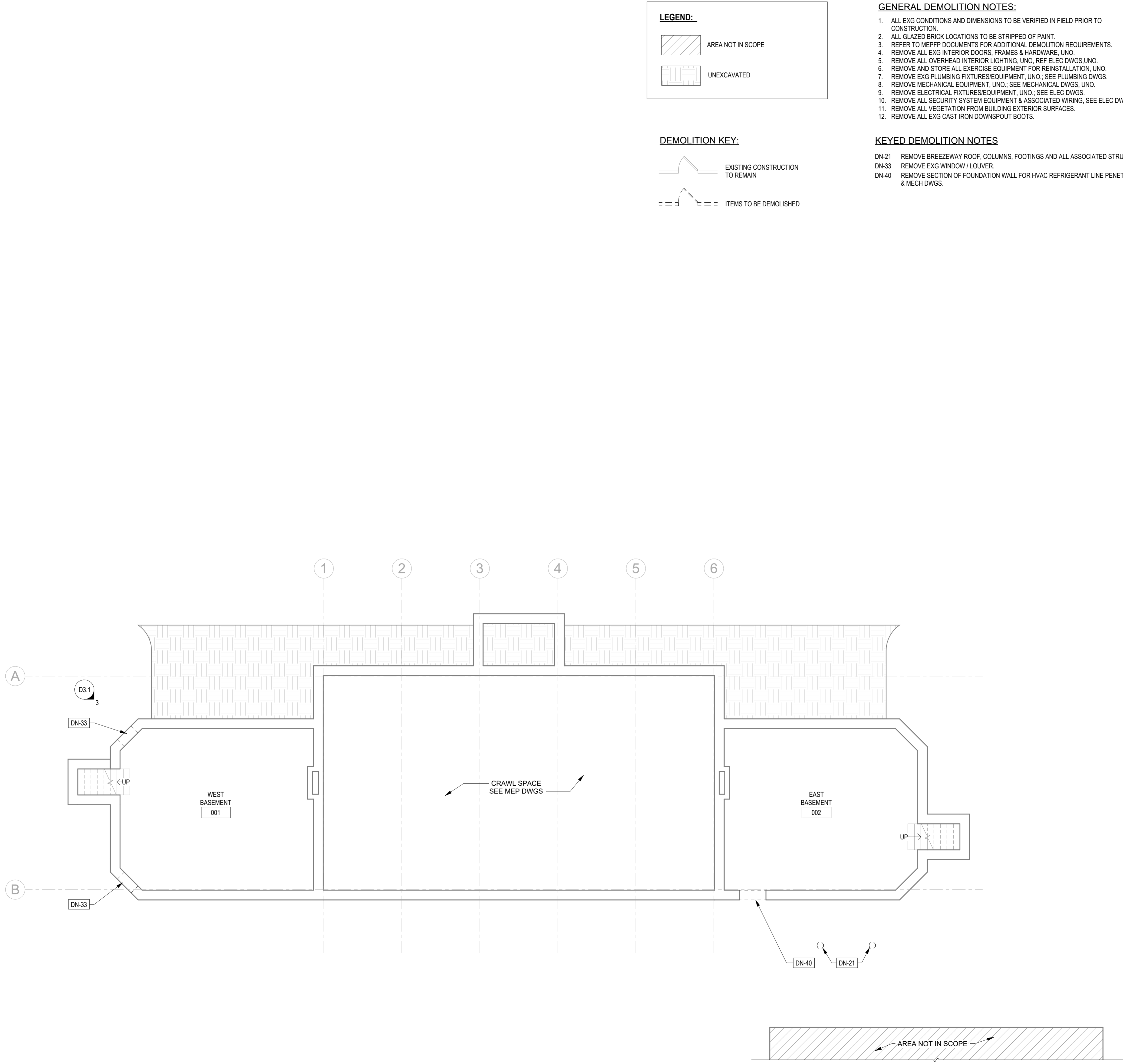
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DRAWING NO.


L6.6

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



1 BASEMENT DEMOLITION PLAN
D2.0 1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS




CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

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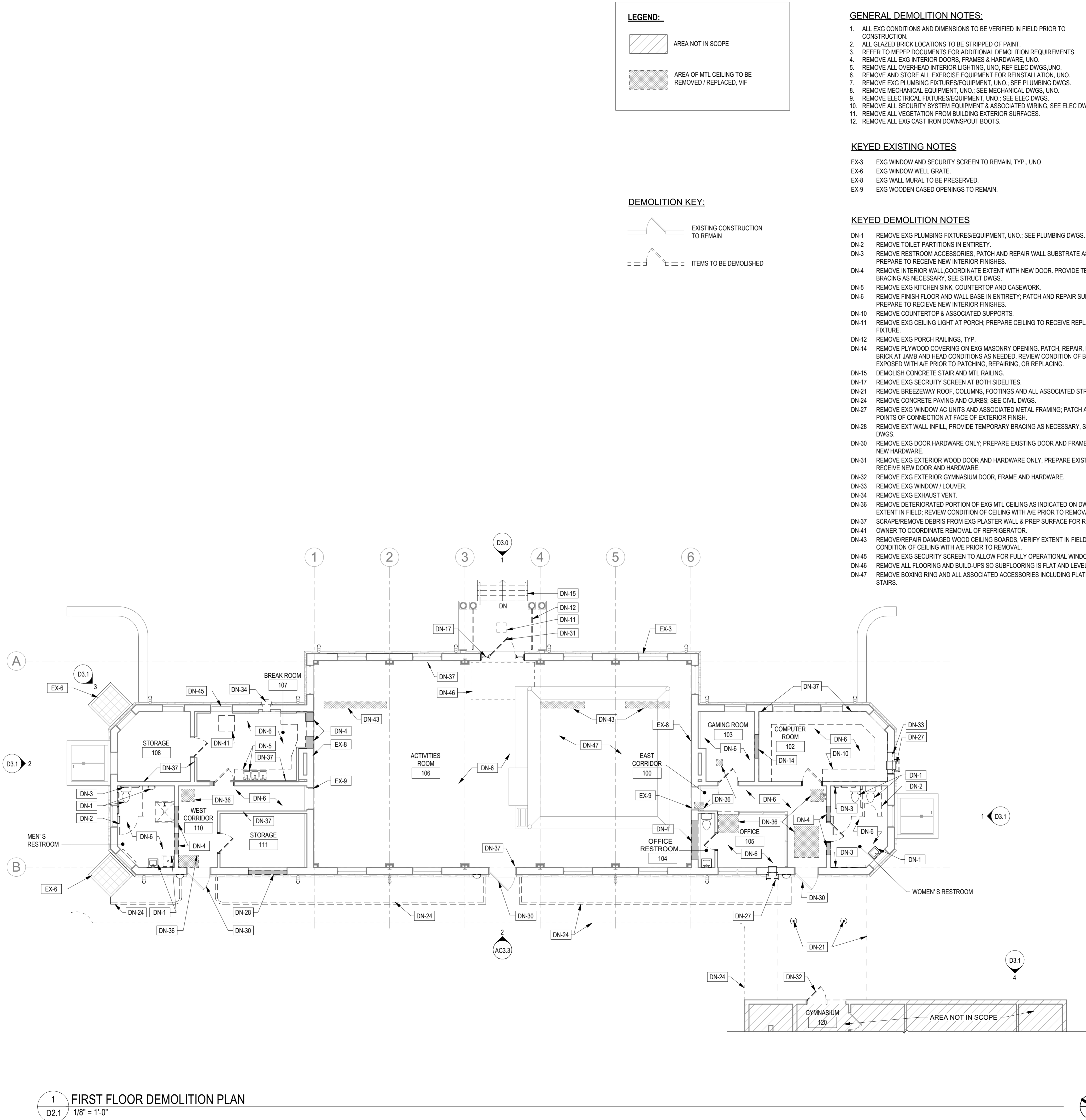
PROJECT TITLE

RENOVATIONS TO THE HAPPY
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BASEMENT DEMOLITION PLAN

PROJECT NO.	16315E-03-02	DRAWING NO.	D2.0	
DATE	05/13/2025	SCALE		AS NOTED
DRAWN BY	JS/SCR	CHECKED BY		SCR
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1
D2.1

FIRST FLOOR DEMOLITION PLAN

1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS




CONSTRUCTION DOCUMENTS

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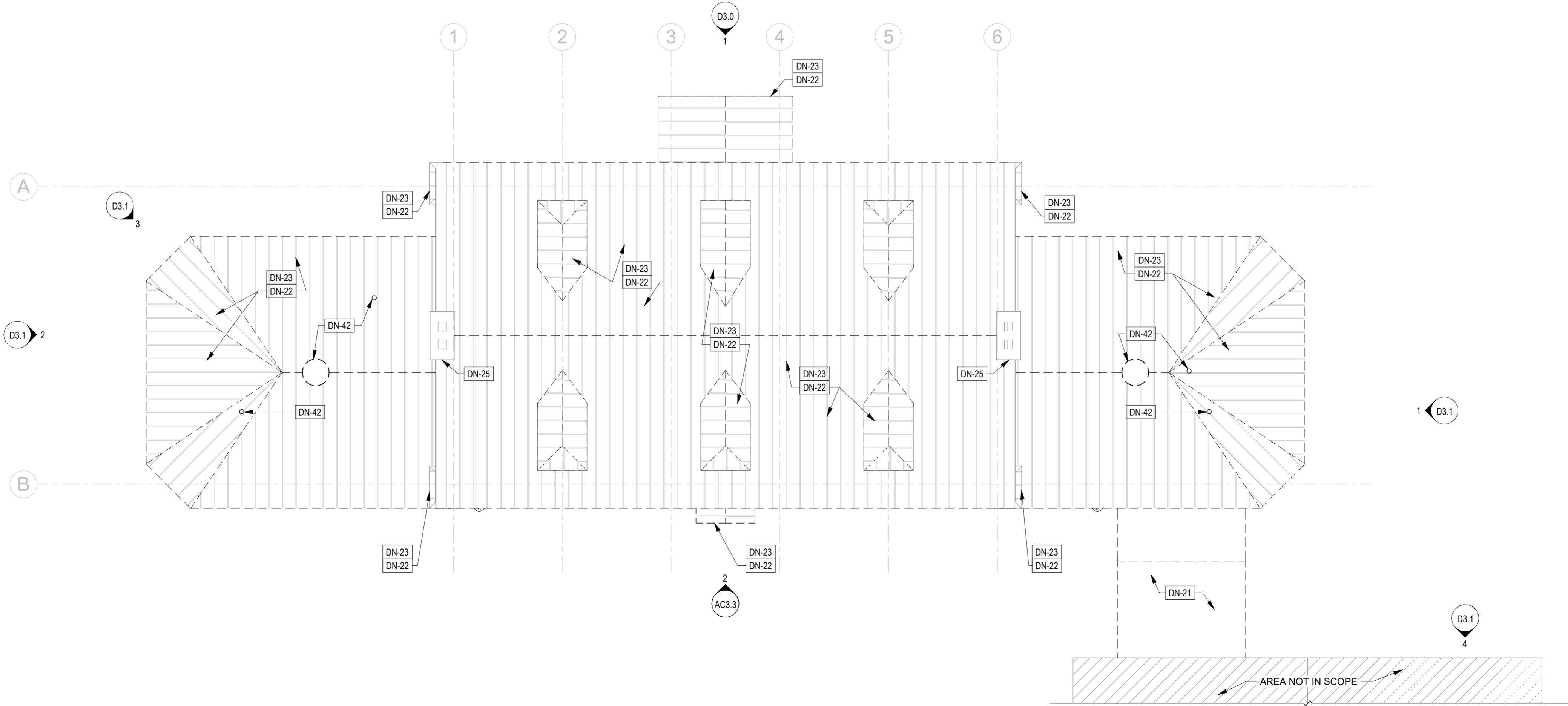
RENOVATIONS TO THE HAPPY
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FIRST FLOOR DEMOLITION PLAN

PROJECT NO.	DRAWING NO.
16315E-03-02	D2.1
DATE	05/13/2025
SCALE	AS NOTED
DRAWN BY	JS/SCR
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NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK




1 ROOF DEMOLITION PLAN
D2.2 1/8" = 1'-0"

LEGEND:
AREA NOT IN SCOPE

- GENERAL DEMOLITION NOTES:
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
 2. ALL GLAZED BRICK LOCATIONS TO BE STRIPPED OF PAINT.
 3. REFER TO MEPFP DOCUMENTS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
 4. REMOVE ALL EXG INTERIOR DOORS, FRAMES & HARDWARE, UNO.
 5. REMOVE ALL OVERHEAD INTERIOR LIGHTING, UNO, REF ELEC DWGS, UNO.
 6. REMOVE AND STORE ALL EXERCISE EQUIPMENT FOR REINSTALLATION, UNO.
 7. REMOVE EXG PLUMBING FIXTURES/EQUIPMENT, UNO.; SEE PLUMBING DWGS.
 8. REMOVE MECHANICAL EQUIPMENT, UNO.; SEE MECHANICAL DWGS, UNO.
 9. REMOVE ELECTRICAL FIXTURES/EQUIPMENT, UNO.; SEE ELEC DWGS.
 10. REMOVE ALL SECURITY SYSTEM EQUIPMENT & ASSOCIATED WIRING, SEE ELEC DWGS.
 11. REMOVE ALL VEGETATION FROM BUILDING EXTERIOR SURFACES.
 12. REMOVE ALL EXG CAST IRON DOWNSPOUT BOOTS.
- KEYED DEMOLITION NOTES
- DN-21 REMOVE BREEZEWAY ROOF, COLUMNS, FOOTINGS AND ALL ASSOCIATED STRUCTURE.
DN-22 REMOVE EXG STANDING SEAM MTL ROOF DOWN TO SHEATHING, TYP.
DN-23 PATCH, REPAIR, AND REPLACE EXISTING ROOF SHEATHING AS NEEDED; REVIEW CONDITION OF SHEATHING ONCE EXPOSED WITH A/E PRIOR TO PATCHING, REPAIRING, OR REPLACING. PREPARE SHEATHING TO RECEIVE NEW UNDERLAYMENT, AVB, AND ROOFING PER MANUFACTURER REQUIREMENTS.
DN-25 REMOVE ALL VEGETATION FROM CHIMNEYS, TYP.
DN-42 REMOVE EXG ROOF PENETRATIONS AND ASSOCIATED FLASHING, TYP.

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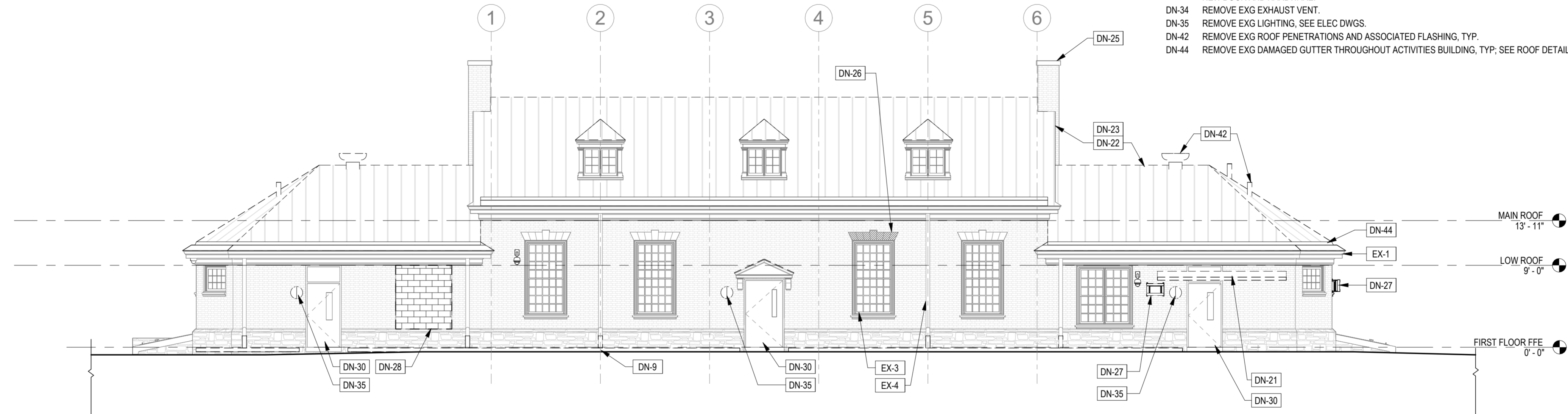
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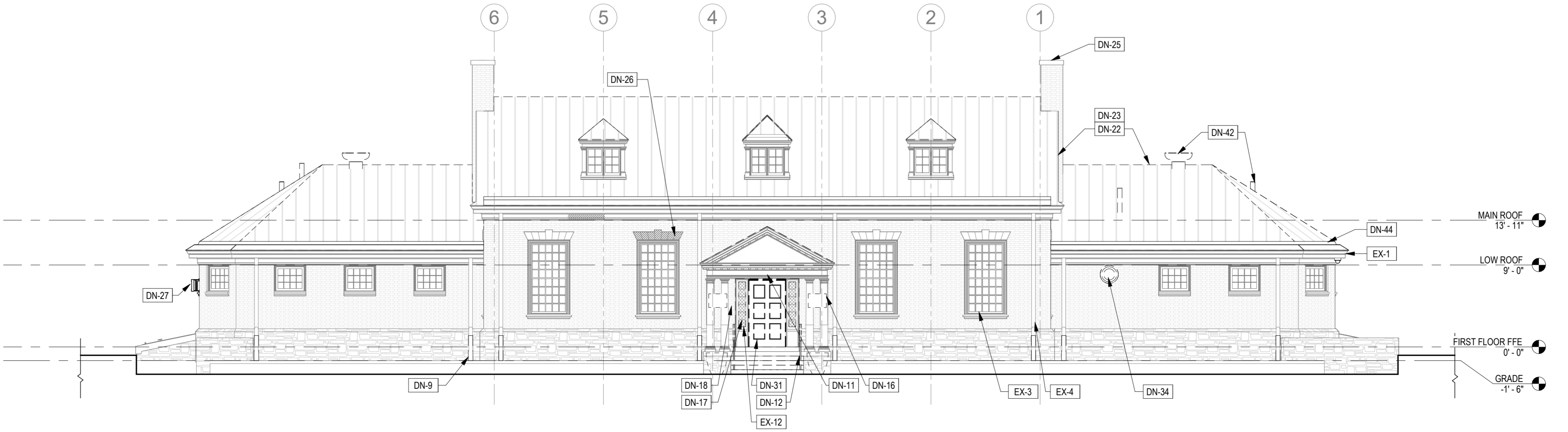
ROOF DEMOLITION PLAN

PROJECT NO.	16315E-03-02	DRAWING NO.	D2.2
DATE	05/13/2025	SCALE	
SCALE	AS NOTED	DRAWN BY	
DRAWN BY	JS/SCR	CHECKED BY	
CHECKED BY	SCR	FILED	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



2 DEMOLITION - SOUTH ELEVATION
D3.0 1/8" = 1'-0"



1 DEMOLITION - NORTH ELEVATION
D3.0 1/8" = 1'-0"


- GENERAL DEMOLITION NOTES:**
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
 2. ALL GLAZED BRICK LOCATIONS TO BE STRIPPED OF PAINT.
 3. REFER TO MEPFP DOCUMENTS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
 4. REMOVE ALL EXG INTERIOR DOORS, FRAMES & HARDWARE. UNO.
 5. REMOVE ALL OVERHEAD INTERIOR LIGHTING. UNO. REF ELEC DWGS. UNO.
 6. REMOVE AND STORE ALL EXERCISE EQUIPMENT FOR REINSTALLATION. UNO.
 7. REMOVE EXG PLUMBING FIXTURES/EQUIPMENT. UNO.; SEE PLUMBING DWGS.
 8. REMOVE MECHANICAL EQUIPMENT. UNO.; SEE MECHANICAL DWGS. UNO.
 9. REMOVE ELECTRICAL FIXTURES/EQUIPMENT. UNO.; SEE ELEC DWGS.
 10. REMOVE ALL SECURITY SYSTEM EQUIPMENT & ASSOCIATED WIRING. SEE ELEC DWGS.
 11. REMOVE ALL VEGETATION FROM BUILDING EXTERIOR SURFACES.
 12. REMOVE ALL EXG CAST IRON DOWNSPOUT BOOTS.

- KEYED EXISTING NOTES**
- EX-1 EXG WD CORNICE TO REMAIN, TYP, EXCEPT AT LOCATIONS NOTED FOR REPLACEMENT.
- EX-3 EXG WINDOW AND SECURITY SCREEN TO REMAIN, TYP., UNO
- EX-4 EXG DOWNSPOUTS TO REMAIN, TYP FOR ALL.
- EX-12 EXG DOOR FRAME & SIDELITES TO REMAIN.

- KEYED DEMOLITION NOTES**
- DN-9 REMOVE EXG CAST IRON DOWNSPOUT BOOT, TYP FOR ALL.
- DN-11 REMOVE EXG CEILING LIGHT AT PORCH; PREPARE CEILING TO RECEIVE REPLACEMENT LIGHT FIXTURE.
- DN-12 REMOVE EXG PORCH RAILINGS. TYP.
- DN-16 REMOVE TIE-STYLE SIGNAGE. TYP.
- DN-17 REMOVE EXG SECURITY SCREEN AT BOTH SIDELITES.
- DN-18 REMOVE ALL EXG WALL MOUNTED SIGNAGE NEAR ENTRY DOOR AND RETURN TO OWNER.
- DN-21 REMOVE BREEZEWAY ROOF, COLUMNS, FOOTINGS AND ALL ASSOCIATED STRUCTURE.
- DN-22 REMOVE EXG STANDING SEAM MTL ROOF DOWN TO SHEATHING, TYP.
- DN-23 PATCH, REPAIR, AND REPLACE EXISTING ROOF SHEATHING AS NEEDED; REVIEW CONDITION OF SHEATHING ONCE EXPOSED WITH A/E PRIOR TO PATCHING, REPAIRING, OR REPLACING. PREPARE SHEATHING TO RECEIVE NEW UNDERLAYMENT, AVB, AND ROOFING PER MANUFACTURER REQUIREMENTS.
- DN-25 REMOVE ALL VEGETATION FROM CHIMNEYS, TYP.
- DN-26 REMOVE KEYSTONE PANEL AND STORE FOR REINSTALLATION.
- DN-27 REMOVE EXG WINDOW AC UNITS AND ASSOCIATED METAL FRAMING; PATCH AND REPAIR POINTS OF CONNECTION AT FACE OF EXTERIOR FINISH.
- DN-28 REMOVE EXT WALL INFILL, PROVIDE TEMPORARY BRACING AS NECESSARY. SEE STRUCT DWGS.
- DN-30 REMOVE EXG DOOR HARDWARE ONLY; PREPARE EXISTING DOOR AND FRAME TO RECEIVE NEW HARDWARE.
- DN-31 REMOVE EXG EXTERIOR WOOD DOOR AND HARDWARE ONLY, PREPARE EXISTING FRAME TO RECEIVE NEW DOOR AND HARDWARE.
- DN-34 REMOVE EXG EXHAUST VENT.
- DN-35 REMOVE EXG LIGHTING. SEE ELEC DWGS.
- DN-42 REMOVE EXG ROOF PENETRATIONS AND ASSOCIATED FLASHING, TYP.
- DN-44 REMOVE EXG DAMAGED GUTTER THROUGHOUT ACTIVITIES BUILDING, TYP; SEE ROOF DETAILS.

REVISIONS

ISSUE	DATE	REVISIONS




CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

SEALS



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DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

DEMOLITION ELEVATIONS

PROJECT NO.

16315E-03-02

DATE

05/13/2025

SCALE

AS NOTED

DRAWN BY

Author

CHECKED BY

Checker

DRAWING NO.

16315E-03-02

DATE

05/13/2025

SCALE

AS NOTED

DRAWN BY

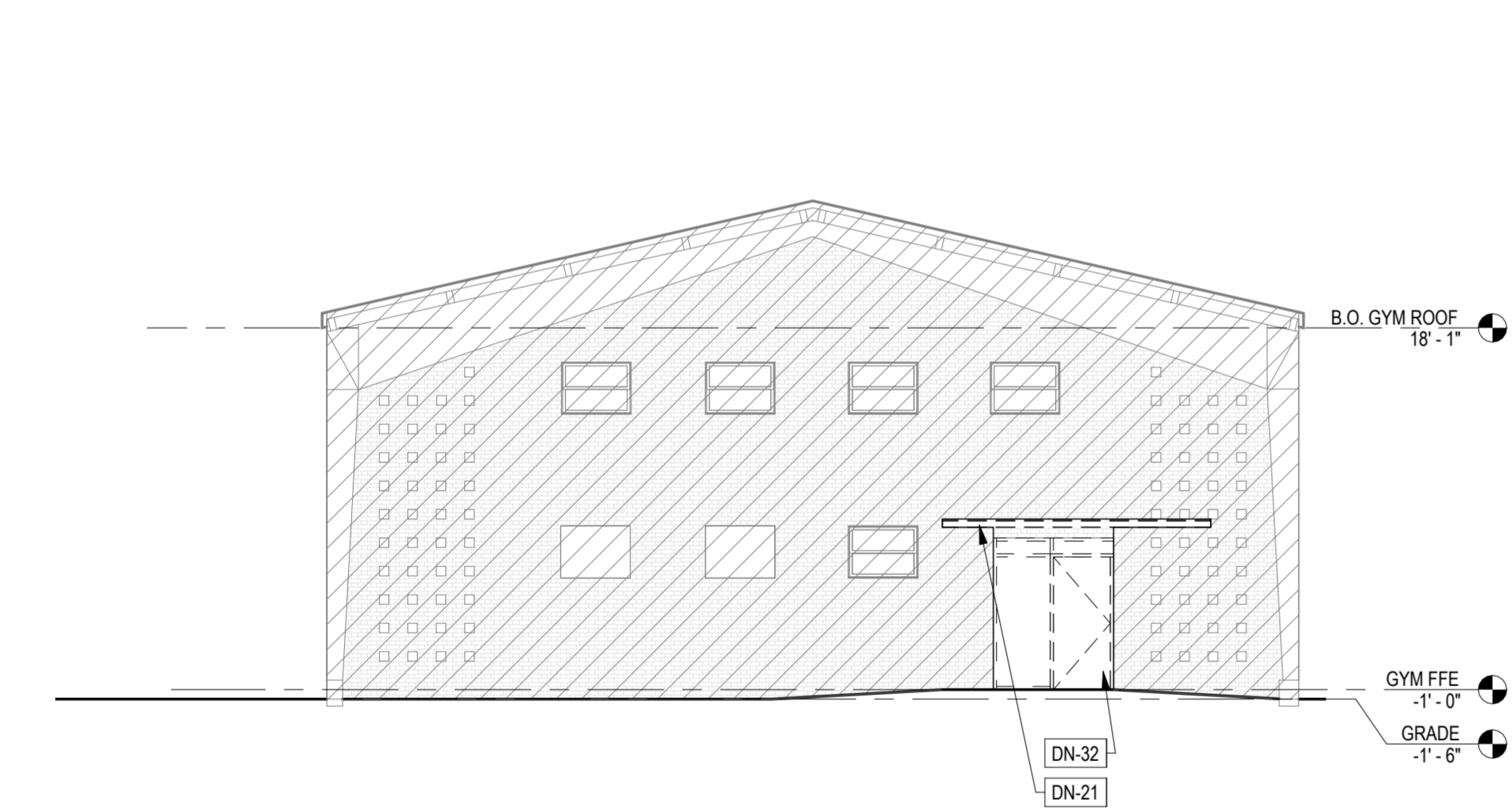
Author

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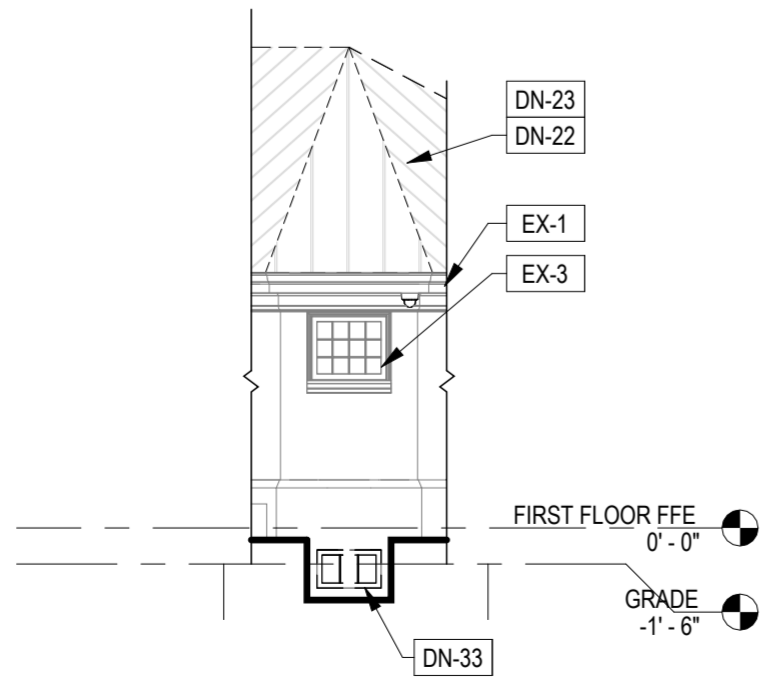
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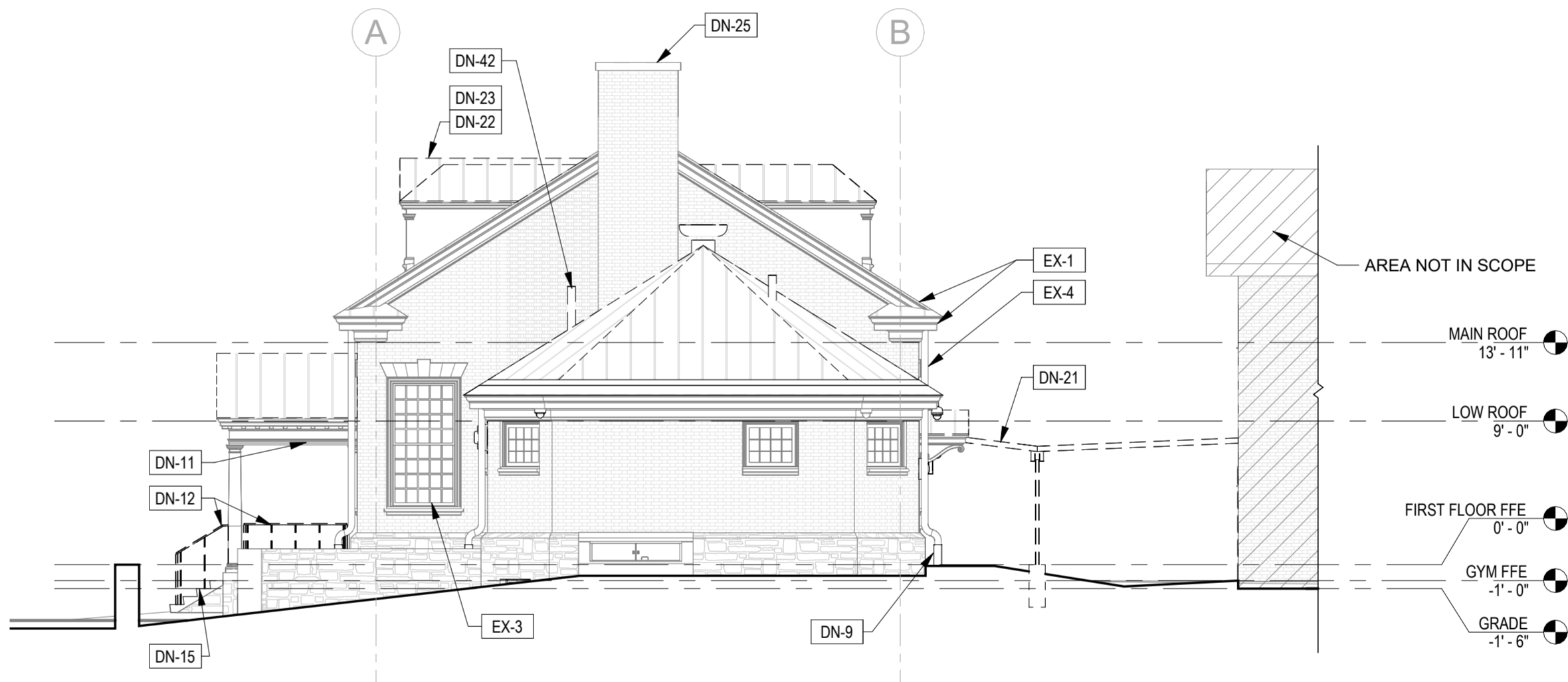
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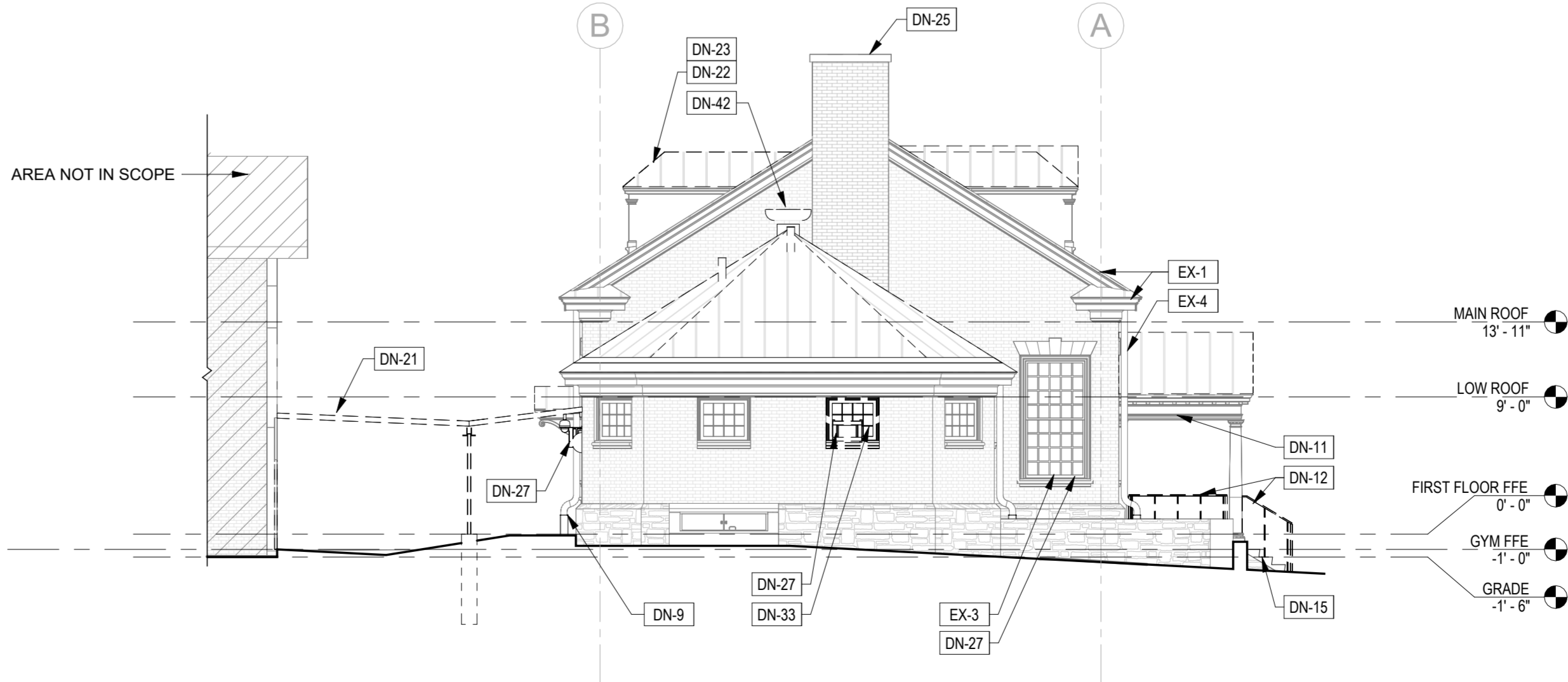
4 DEMOLITION - GYMNASIUM ELEVATION
D3.1 1/8" = 1'-0"



3 DEMOLITION - BELOW GRADE ELEVATION AT CHAMFER
D3.1 1/8" = 1'-0"



2 DEMOLITION - WEST ELEVATION
D3.1 1/8" = 1'-0"



1 DEMOLITION - EAST ELEVATION
D3.1 1/8" = 1'-0"

LEGEND:


AREA NOT IN SCOPE

- GENERAL DEMOLITION NOTES:**
1. ALL EXG CONDITIONS AND DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
 2. ALL GLAZED BRICK LOCATIONS TO BE STRIPPED OF PAINT.
 3. REFER TO MEPFP DOCUMENTS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
 4. REMOVE ALL EXG INTERIOR DOORS, FRAMES & HARDWARE. UNO.
 5. REMOVE ALL OVERHEAD INTERIOR LIGHTING. UNO. REF ELEC DWGS. UNO.
 6. REMOVE AND STORE ALL EXERCISE EQUIPMENT FOR REINSTALLATION. UNO.
 7. REMOVE EXG PLUMBING FIXTURES/EQUIPMENT. UNO.; SEE PLUMBING DWGS.
 8. REMOVE MECHANICAL EQUIPMENT. UNO.; SEE MECHANICAL DWGS. UNO.
 9. REMOVE ELECTRICAL FIXTURES/EQUIPMENT. UNO.; SEE ELEC DWGS.
 10. REMOVE ALL SECURITY SYSTEM EQUIPMENT & ASSOCIATED WIRING. SEE ELEC DWGS.
 11. REMOVE ALL VEGETATION FROM BUILDING EXTERIOR SURFACES.
 12. REMOVE ALL EXG CAST IRON DOWNSPOUT BOOTS.

- KEYED EXISTING NOTES**
- EX-1 EXG WD CORNICE TO REMAIN, TYP. EXCEPT AT LOCATIONS NOTED FOR REPLACEMENT.
- EX-3 EXG WINDOW AND SECURITY SCREEN TO REMAIN, TYP., UNO
- EX-4 EXG DOWNSPOUTS TO REMAIN, TYP FOR ALL.

- KEYED DEMOLITION NOTES**
- DN-9 REMOVE EXG CAST IRON DOWNSPOUT BOOT, TYP FOR ALL.
- DN-11 REMOVE EXG CEILING LIGHT AT PORCH; PREPARE CEILING TO RECEIVE REPLACEMENT LIGHT FIXTURE.
- DN-12 REMOVE EXG PORCH RAILINGS, TYP.
- DN-15 DEMOLISH CONCRETE STAIR AND MTL RAILING.
- DN-21 REMOVE BREEZEWAY ROOF, COLUMNS, FOOTINGS AND ALL ASSOCIATED STRUCTURE.
- DN-22 REMOVE EXG STANDING SEAM MTL ROOF DOWN TO SHEATHING, TYP.
- DN-23 PATCH, REPAIR, AND REPLACE EXISTING ROOF SHEATHING AS NEEDED. REVIEW CONDITION OF SHEATHING ONCE EXPOSED WITH A/E PRIOR TO PATCHING, REPAIRING, OR REPLACING. PREPARE SHEATHING TO RECEIVE NEW UNDERLAYMENT, AVB, AND ROOFING PER MANUFACTURER REQUIREMENTS.
- DN-25 REMOVE ALL VEGETATION FROM CHIMNEYS, TYP.
- DN-27 REMOVE EXG WINDOW AC UNITS AND ASSOCIATED METAL FRAMING; PATCH AND REPAIR POINTS OF CONNECTION AT FACE OF EXTERIOR FINISH.
- DN-32 REMOVE EXG EXTERIOR GYMNASIUM DOOR, FRAME AND HARDWARE.
- DN-33 REMOVE EXG WINDOW / LOUVER.
- DN-42 REMOVE EXG ROOF PENETRATIONS AND ASSOCIATED FLASHING, TYP.

REVISIONS		
ISSUE	DATE	REVISIONS




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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

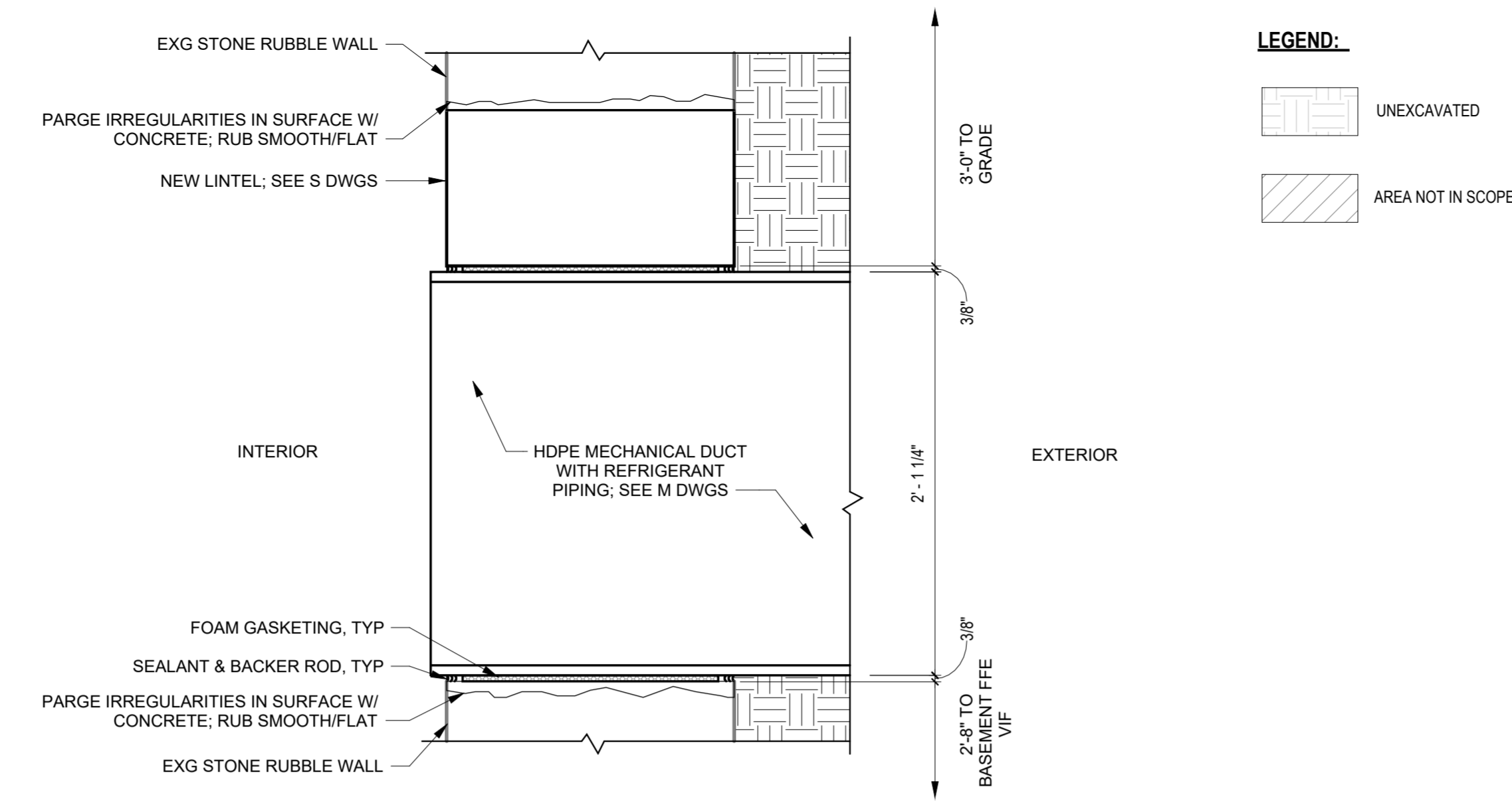
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

DEMOLITION ELEVATIONS

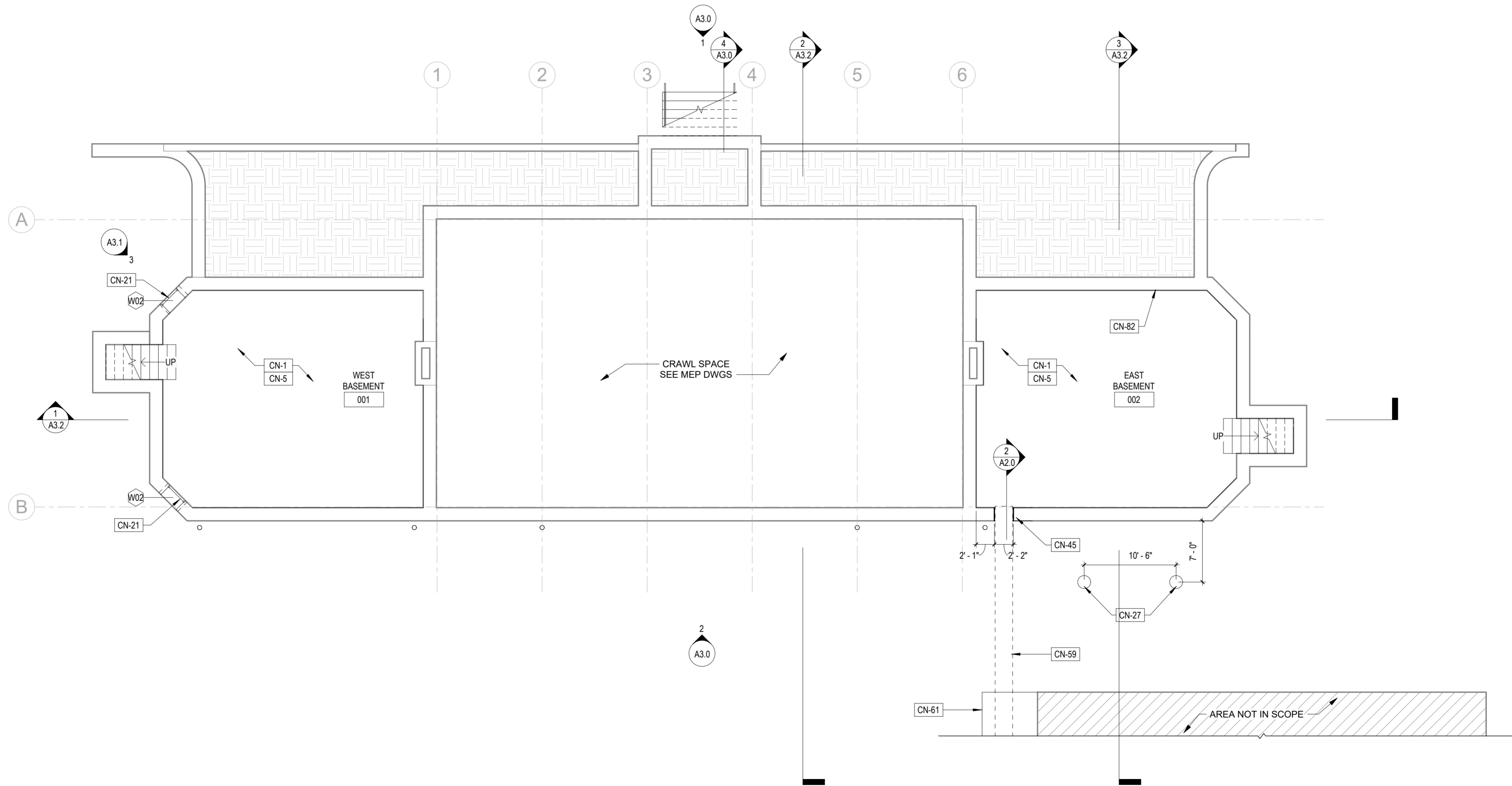
PROJECT NO.	DRAWING NO.
16315E-03-02	D3.1
DATE	05/13/2025
SCALE	AS NOTED
DRAWN BY	JS/SCR
CHECKED BY	SCR

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK




2
A2.0
MECH DUCT PENETRATION DETAIL
1 1/2" = 1'-0"

- GENERAL NOTES:**
1. FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-RATED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
 2. WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPTACLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
 3. LOCATE INTERIOR AND EXTERIOR CONTROL JOINTS AS INDICATED ON THE ARCHITECTURAL DRAWINGS AND IN SPECIFICATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT.
 4. PROVIDE CEMENTITIOUS FLOOR UNDERLAYMENT ON EXISTING CONCRETE SLAB WHERE REQUIRED UNDER NEW FINISHES.
 5. ALL EXG AND NEW METAL CEILINGS TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
 6. ALL EXG INT GLAZED BRICK AND MORTAR TO BE CLEANED AND FREE OF PAINT.
 7. ALL INTERIOR GWB/PLASTER SURFACES TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH. EXG MURALS IN ACTIVITIES ROOM 106 TO BE PRESERVED AND EXCLUDED FROM REPAINTING.
 8. ALL EXG INTERIOR CMU TO BE REPAINTED. PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
 9. REPLACE ALL INTERIOR DOORS, FRAMES, AND HARDWARE WITH NEW HM DOORS, METAL FRAMES, AND HARDWARE U.N.O.; SEE DOOR SCHEDULE.
 10. REFER TO MEPPP DRAWINGS FOR ADDITIONAL INFO.
 11. REFER TO STRUC DRAWINGS FOR LOCATIONS OF NEW AND EXISTING STRUCTURE.
 12. REFER TO LANDSCAPE DRAWINGS FOR PLAYGROUND FURNISHINGS/EQUIPMENT.
 13. PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EXQUIPMENT. REPAINT SURFACES, TYP.
 14. ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.
- KEYED CONSTRUCTION NOTES**
- CN-1 PROVIDE NEW PLUMBING EQUIPMENT & ACCESSORIES; SEE PLUMBING DWGS.
CN-5 PROVIDE NEW MECH EQUIPMENT.TYP. SEE MECH DWGS.
CN-21 PROVIDE NEW WINDOW TO MATCH EXG. SEE WINDOW TYPES AND DETAILS.
CN-27 PROVIDE NEW BREEZEWAY COLUMNS AND FOOTINGS; SEE S DWGS.
CN-45 PROVIDE NEW PENETRATION IN FOUNDATION WALL FOR NEW HVAC REFRIGERANT LINE. REF MECH DWGS.
CN-59 PROVIDE NEW UNDERGROUND REFRIGERANT PIPING IN HDPE CONDUIT. SEE MECH DWGS.
CN-61 NEW EQUIPMENT PAD, SEE STRUCT DWGS.
CN-82 NEW DOMESTIC WATER UTILITY CONNECTION THROUGH EXISTING FOUNDATION WALL. SEE CIVIL AND PLUMBING DWGS; COORDINATE WITH MEP EQUIPMENT AND CONSULT ARCHITECT TO DETERMINE LOCATION



1
A2.0
BASEMENT PLAN
1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS




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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

BASEMENT PLAN

PROJECT NO.	16315E-03-02	DRAWING NO.	A2.0
DATE	05/13/2025		
SCALE	AS NOTED		
DRAWN BY	JS/SCR		
CHECKED BY	SCR	FILE	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

INTERIOR PARTITION TYPES						
TYPE	DESCRIPTION	HEIGHT	FIRE RATING / UL NO.	STC RATING	DETAIL	SPECIFICATION
P1	4" CMU PARTITION	B.O. EXG CEILING JOISTS (+/- 10'-0" VIF)	-	-		NOM 4" CMU WITH 3/8" MORTAR.
P2	9" BRICK WALL	B.O. EXG CEILING JOISTS (+/- 10'-0" VIF)	-	-		2 WYTHE BRICK WALL WITH GLAZED FACING; MATCH EXG CONDITIONS.
P3	4 1/2" MTL STUD FURRING WITH GLAZED BRICK	B.O. EXG CEILING JOISTS (+/- 10'-0" VIF)	-	-		5/8" GWB, 3 5/8" MTL STUDS @ 16 O.C., 5/8 CONCRETE BACKERBOARD, 3 5/8" GLAZED BRICK ANCHORED WITH TIES TO MTL STUDS

NOTES:
1. PROVIDE CONTINUOUS NON-HARDENING SEALANT AROUND PERIMETER OF INTERIOR WALL BETWEEN ADJACENT WALLS, CEILINGS, AND STRUC.

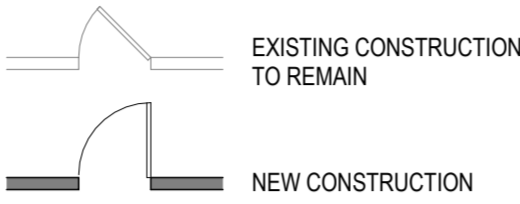
EXTERIOR WALL TYPES				
TYPE	DESCRIPTION	CODE REQ'D INSUL MIN. R-VALUE	DETAIL	SPECIFICATION
EW01	13" MASONRY INFILL	NO EXG WALL INSULATION, PER IECC 810.1 NO ADDITIONAL INSULATION IS REQD. FOR REPAIR ESTIMATED R-VALUE R3.4 (Open)/R7.1 (Closed)		NOM 4" BRICK VENEER W FLEMISH BOND; ALIGN FINISH FACES WITH EXG CONSTRUCTION & ALIGN BRICK PATTERN WITH EXG. MASONRY TIES TO CMU BLOCK, MIN 3/4" AIR SPACE, 1" SPRAY FOAM INSUL, NOM 8" CMU WITH 3/8" MORTAR JOINTS.

NOTES:
1. REFER TO STRUC DWGS FOR MASONRY / REINFORCEMENT REQUIREMENTS AND DETAILS.
2. ALL EXTERIOR MASONRY WALLS TO HAVE THERMALLY BROKEN TIES / ANCHORS.

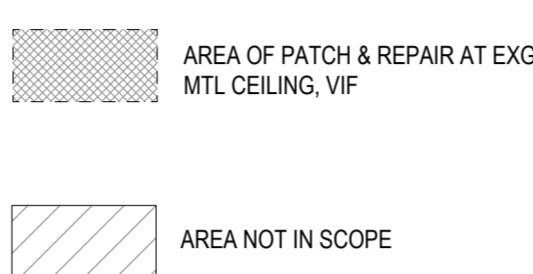
KEYED EXISTING NOTES

EX-3 EXG WINDOW AND SECURITY SCREEN TO REMAIN, TYP., UNO
EX-4 EXG DOWNSPOUTS TO REMAIN, TYP FOR ALL.
EX-5 EXG FINISH FLOOR TO REMAIN.
EX-6 EXG WINDOW WELL GRATE.
EX-9 EXG WOODEN CASSED OPENINGS TO REMAIN.

PLAN KEY:



LEGEND:



KEYED CONSTRUCTION NOTES

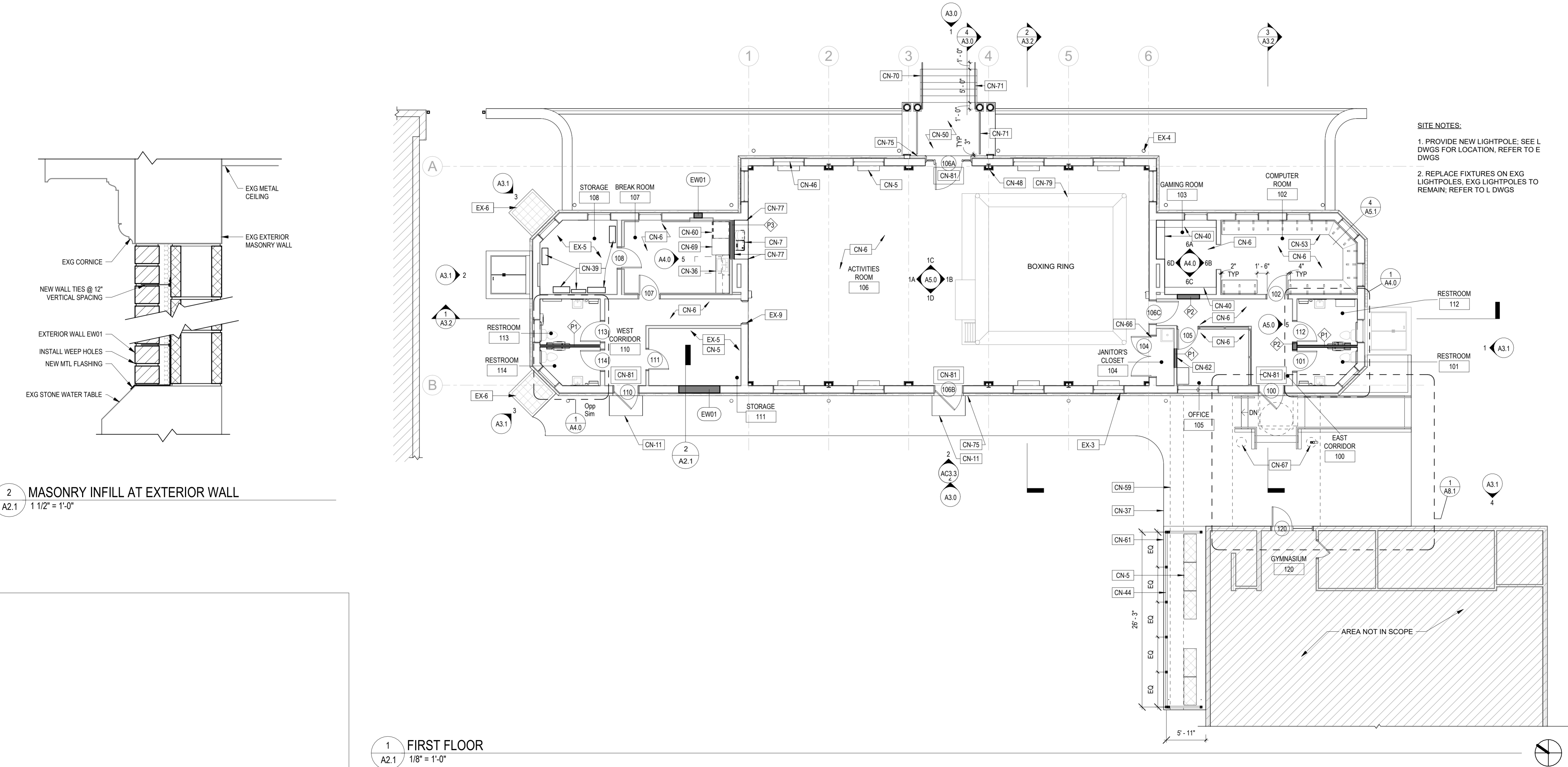
CN-5 PROVIDE NEW MECH EQUIPMENT, TYP. SEE MECH DWGS.
CN-6 PROVIDE NEW RESILIENT FLOOR & BASE. REFER TO FINISH PLAN FOR MORE INFORMATION.
CN-7 PROVIDE NEW ACCESSIBLE DRINKING FOUNTAIN AND BOTTLE FILLING STATION.
CN-11 PROVIDE NEW CONCRETE LANDING. REFER TO CIVIL DRAWINGS.
CN-36 PROVIDE NEW STAINLESS STEEL SINK, BASE CABINETS AND WALL CABINETS.
CN-37 PROVIDE NEW CONCRETE PAVING. SEE CIVIL & LANDSCAPE DWGS.
CN-39 PROVIDE NEW ELEC EQUIPMENT/SYSTEMS. SEE ELEC DWGS.
CN-40 PROVIDE NEW CONSOLE AND WALL CLOSET.
CN-44 PROVIDE NEW PERFORATED ALUMINUM FENCING, ANCHORED TO PAD BELOW; COORD WITH STRUCTURE BELOW
CN-46 REPAIR EXG WINDOW TO ALLOW FOR NORMAL OPERATION.
CN-48 PROVIDE NEW WD BASE AT WID PILASTER, TYP FOR ALL, MATCH EXG.
CN-50 REPOINT BRICK FLOORING.
CN-53 PROVIDE NEW WOOD COUNTERTOP AND SUPPORTING BRACKETS AT 30" O.C.
CN-59 PROVIDE NEW UNDERGROUND REFRIGERANT PIPING IN HDPE CONDUIT, SEE MECH DWGS.

GENERAL NOTES:

- FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-RATED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
- WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPCTABLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
- LOCATE INTERIOR AND EXTERIOR CONTROL JOINTS AS INDICATED ON THE ARCHITECTURAL DRAWINGS AND IN SPECIFICATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT.
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- ALL EXG AND NEW METAL CEILINGS TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
- ALL EXG INT GLAZED BRICK AND MORTAR TO BE CLEANED AND FREE OF PAINT.
- ALL INTERIOR GWB/PLASTER SURFACES TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH. EXG MURALS IN ACTIVITIES ROOM 106 TO BE PRESERVED AND EXCLUDED FROM REPAINTING.
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- REPLACE ALL INTERIOR DOORS, FRAMES, AND HARDWARE WITH NEW HM DOORS, METAL FRAMES, AND HARDWARE U.N.O.; SEE DOOR SCHEDULE.
- REFER TO MEPP DRAWINGS FOR ADDITIONAL INFO.
- REFER TO STRUC DRAWINGS FOR LOCATIONS OF NEW AND EXISTING STRUCTURE.
- REFER TO LANDSCAPE DRAWINGS FOR PLAYGROUND FURNISHINGS/EQUIPMENT.
- PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EQUIPMENT. REPAIR SURFACES, TYP.
- ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.

KEYED CONSTRUCTION NOTES

CN-60 NEW REFRIGERATOR BY OTHERS.
CN-61 NEW EQUIPMENT PAD. SEE STRUCT DWGS.
CN-62 PROVIDE NEW ANCHOR INFILL MASONRY WITH HOHMAN & BARNARD SLIP-SET STABILZER ANCHORS @ 32" VERTICAL SPACING. SEE STRUCT DWGS.
CN-66 PROVIDE 2- C8 X 11.5 LINTELS, SEE STRUCT DWGS.
CN-67 PROVIDE NEW FOUNDATION AND COLUMNS, SEE STRUCT DWGS.
CN-69 PROVIDE NEW REFRIGERATOR.
CN-70 PROVIDE NEW CAST IN PLACE STAIR.
CN-71 PROVIDE NEW 36" HANDRAILS, TYP AT EITHER SIDE OF ENTRANCE STAIRS AND PORCH.
CN-75 NEW BUILDING MTD SIGN BID 1, REF PPR SIGNAGE STANDARD MANUAL.
CN-77 NEW GLAZED BRICK TO MATCH EXG. REFER TO PARTITION TYPES; RETURN NEW GLAZED BRICK AT SIDES AND PROVIDE RADIUS EDGE AT OUTSIDE CORNER.
CN-79 PROVIDE NEW BOXING RING, ACCESSORIES, AND WOODEN PLATFORM
CN-81 NEW ENTRANCE MAT



SITE NOTES:

- PROVIDE NEW LIGHTPOLE; SEE L DWGS FOR LOCATION, REFER TO E DWGS
- REPLACE FIXTURES ON EXG LIGHTPOLES, EXG LIGHTPOLES TO REMAIN; REFER TO L DWGS

2 MASONRY INFILL AT EXTERIOR WALL
A2.1 1 1/2" = 1'-0"

1 FIRST FLOOR
A2.1 1/8" = 1'-0"

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PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
FLOOR PLAN, EXTERIOR &
INTERIOR WALL TYPES

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
JS/SCR

CHECKED BY
SCR

DRAWING NO.

A2.1

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KEYED EXISTING NOTES

EX-7 EXG EXTERIOR LIGHT TO REMAIN, NOT IN SCOPE.

LEGEND:

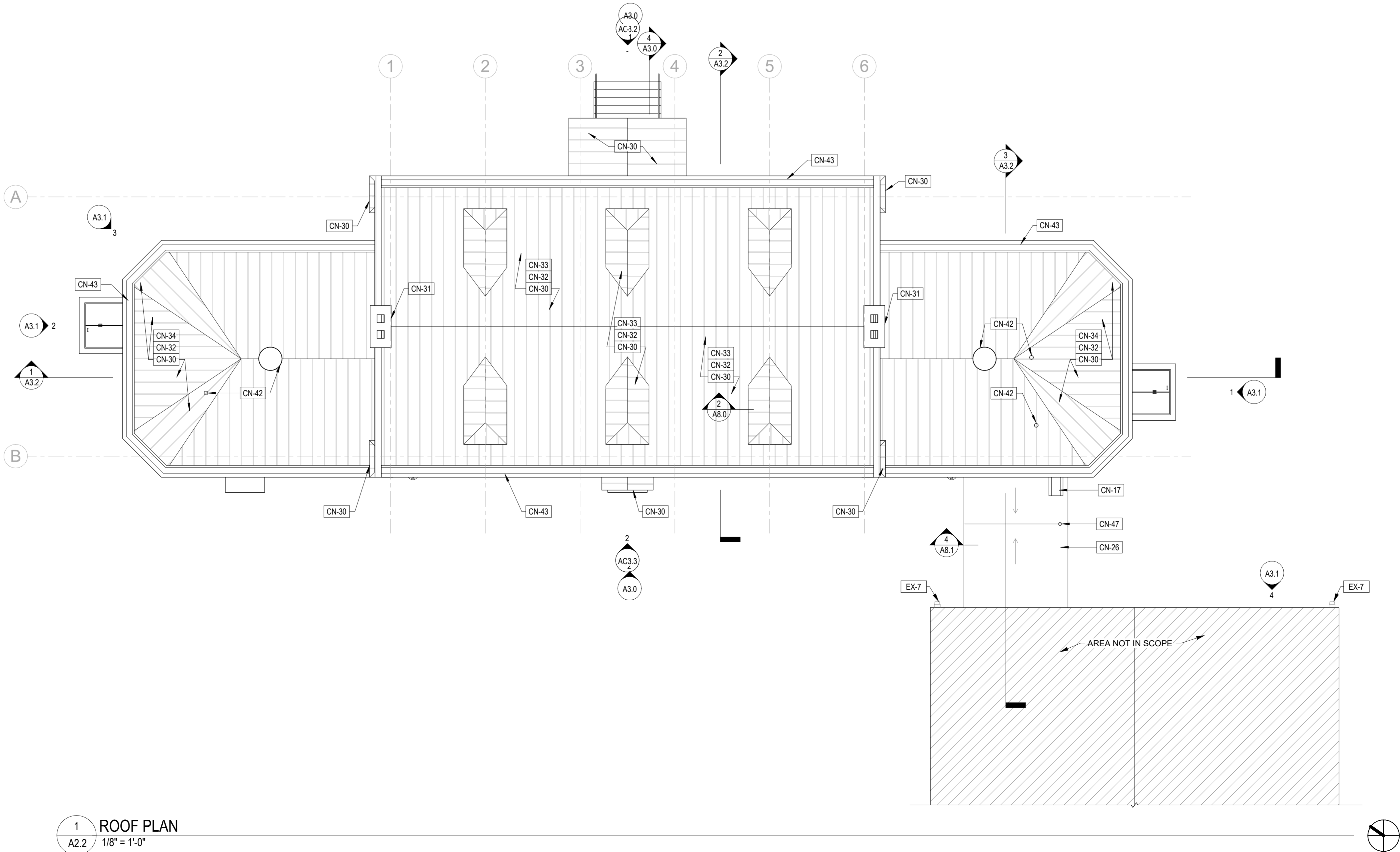


GENERAL NOTES:

1. FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-RATED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
2. WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPTACLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
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7. ALL INTERIOR GWB/PLASTER SURFACES TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH. EXG MURALS IN ACTIVITIES ROOM 106 TO BE PRESERVED AND EXCLUDED FROM REPAINTING.
8. ALL EXG INTERIOR CMU TO BE REPAINTED. PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
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10. REFER TO MEPPP DRAWINGS FOR ADDITIONAL INFO.
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12. REFER TO LANDSCAPE DRAWINGS FOR PLAYGROUND FURNISHINGS/EQUIPMENT.
13. PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EXQUIPMENT. REPAINT SURFACES, TYP.
14. ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.


KEYED CONSTRUCTION NOTES

- CN-17 PROVIDE NEW CONCRETE SPLASH PAD BENEATH DOWNSPOUT.
CN-26 PROVIDE NEW BREEZEWAY ROOF DECKING AND ROOF MEMBRANE; SEE STRUCT DWGS.
CN-30 PROVIDE NEW STANDING SEAM MTL ROOF.
CN-31 CAP CHIMNEY WITH CAST STONE SLAB WITH DRIP EDGE, EXTEND BEYOND MASONRY AT LEAST 4".
CN-32 PROVIDE NEW ROOF SHEATHING WHERE EXISTING SHEATHING WAS REMOVED.
CN-33 PROVIDE NEW BLOW-IN MINERAL WOOL INSULATION BETWEEN EXG 3X6 RAFTERS, TYP THROUGHOUT HIGH ROOF.
CN-34 PROVIDE R-30 MINERAL WOOL BATT INSULATION AT LOW ROOFS.
CN-42 PROVIDE NEW ROOF VENT AND EXHAUST VENTILATOR IN EXG LOCATIONS. SEE PLUMBING & MECHANICAL DWGS.
CN-43 RECONSTRUCT INTEGRATED GUTTER THROUGHOUT ACTIVITIES BUILDING; SEE ROOF DETAILS.
CN-47 PROVIDE NEW ROOF DRAIN WITH DRAIN GUARD, DOWNSPOUT & BOOT. NEW STORMWATER CONNECTION, SEE CIVIL DWGS



1 ROOF PLAN
A2.2 1/8" = 1'-0"

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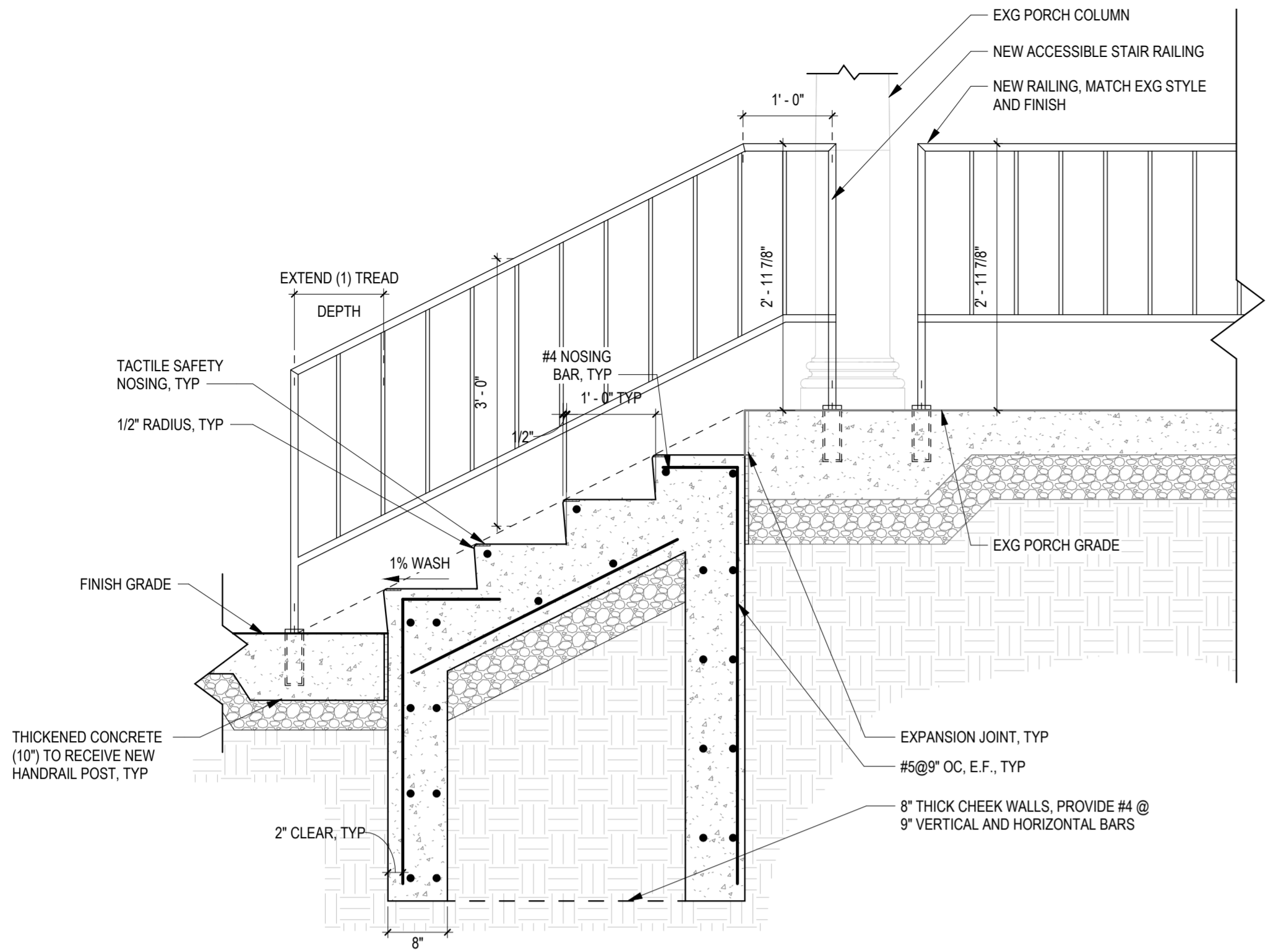
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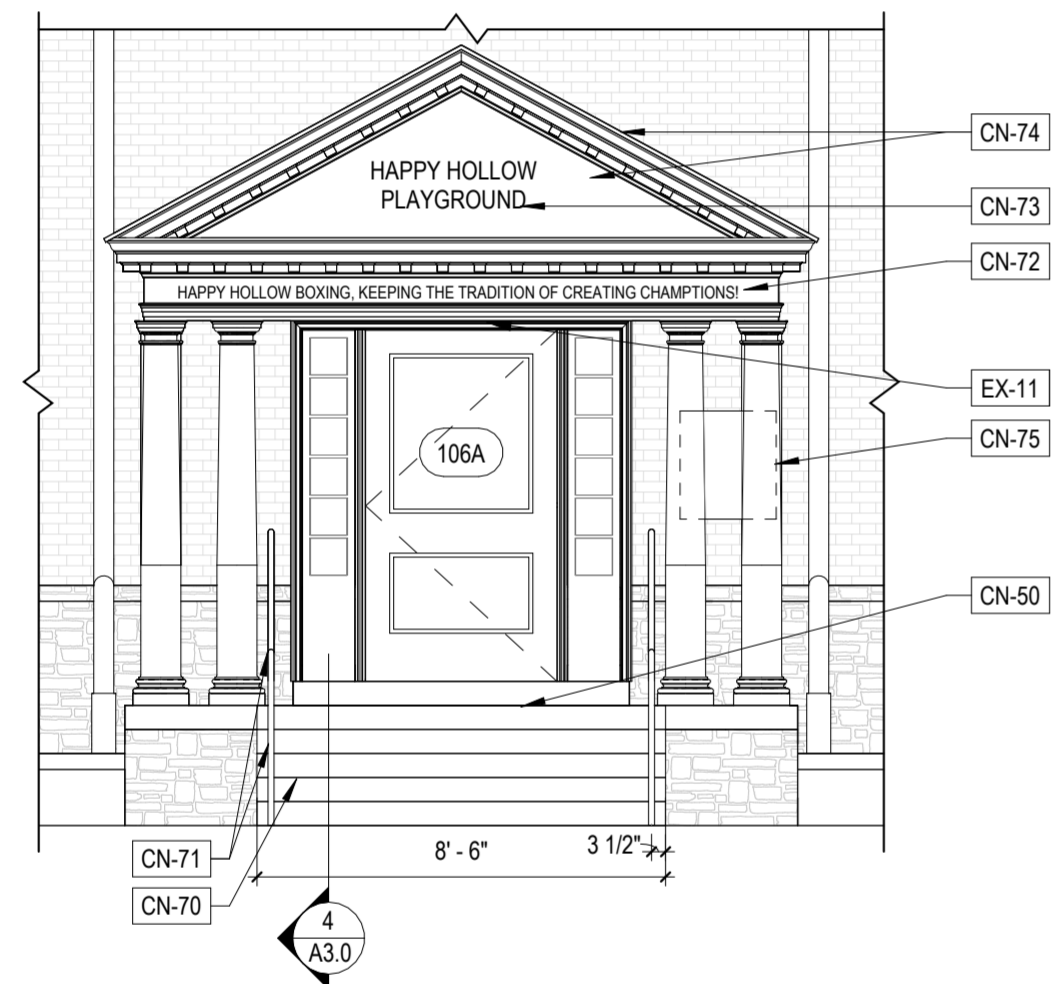
MEP ENGINEER:
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ROOFING CONSULTANT:
STEPHEN McLAUGHLIN ROOFING CONSULTANT
stevemclaughlin.biz
856 287 2424

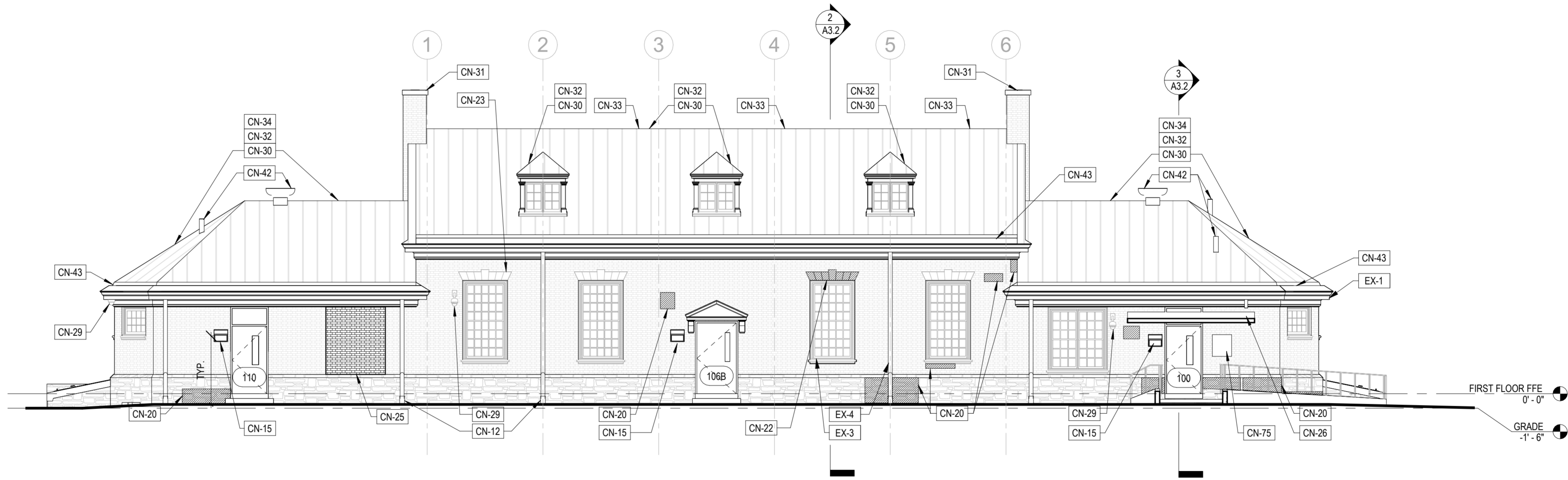
CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION	
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA	
PROJECT TITLE	
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER	
DRAWING TITLE	
ROOF PLAN	
PROJECT NO.	DRAWING NO.
16315E-03-02	A2.2
DATE	
05/13/2025	
SCALE	
AS NOTED	
DRAWN BY	
JS/SCR	
CHECKED BY	
SCR	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	



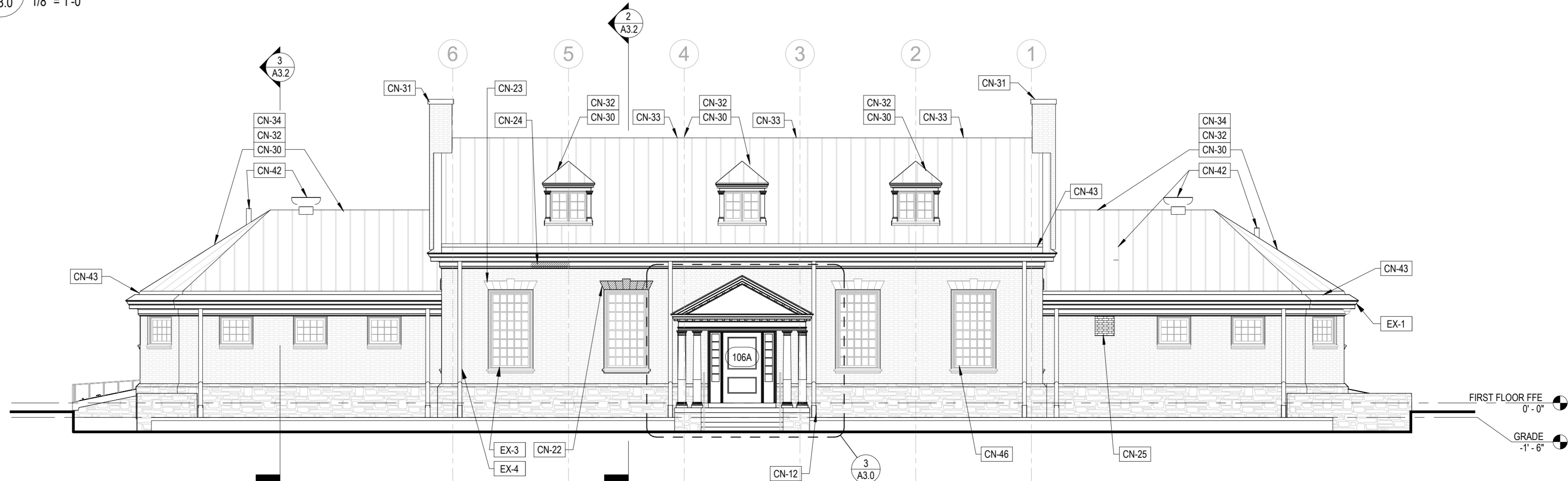
4 CIP CONCRETE STAIRS AT PORCH
A3.0 3/4" = 1'-0"



3 ENTRY PORCH ELEVATION
A3.0 1/4" = 1'-0"



2 SOUTH ELEVATION
A3.0 1/8" = 1'-0"



1 NORTH ELEVATION
A3.0 1/8" = 1'-0"

KEYED EXISTING NOTES

- EX-1 EXG WD CORNICE TO REMAIN, TYP, EXCEPT AT LOCATIONS NOTED FOR REPLACEMENT.
EX-3 EXG WINDOW AND SECURITY SCREEN TO REMAIN, TYP., UNO
EX-4 EXG DOWNSPOUTS TO REMAIN, TYP FOR ALL
EX-11 EXG CEILING LIGHT AT ENTRANCE PORCH TO REMAIN.

KEYED CONSTRUCTION NOTES

- CN-12 PROVIDE NEW CAST IRON DOWNSPOUT BOOTS, TYP, SEE PLUMBING DWGS.
CN-15 PROVIDE NEW EXT LIGHTING, SEE ELEC DWGS.
CN-20 REPOINT MASONRY, VERIFY EXTENTS IN FIELD.
CN-22 PREPARE KEYSTONE PANEL AREA FOR REINSTALLATION AND REINSTALL KEYSTONE PANEL, USE APPROPRIATE SEALANTS.
CN-23 PAINT EXG KEYSTONE PANEL, TYP.
CN-24 REPLACE / REPAIR/PATCH DAMAGE / DETERIORATED EXTERIOR WOOD TRIM TO MATCH EXG.
CN-25 PROVIDE NEW EXTERIOR WALL INFILL, WITH FINISH FACE TO MATCH EXG.
CN-26 PROVIDE NEW BREEZEWAY ROOF DECKING AND ROOF MEMBRANE; SEE STRUC DWGS.
CN-29 PROVIDE NEW SECURITY CAMERA, SEE ELEC DWGS.
CN-30 PROVIDE NEW STANDING SEAM MTL ROOF.
CN-31 CAP CHIMNEY WITH CAST STONE SLAB WITH DRIP EDGE, EXTEND BEYOND MASONRY AT LEAST 4".
CN-32 PROVIDE NEW ROOF SHEATHING WHERE EXISTING SHEATHING WAS REMOVED.
CN-33 PROVIDE NEW BLOW-IN MINERAL WOOL INSULATION BETWEEN EXG 3X6 RAFTERS, TYP THROUGHOUT HIGH ROOF.
CN-34 PROVIDE R-30 MINERAL WOOL BATT INSULATION AT LOW ROOFS.
CN-42 PROVIDE NEW ROOF VENT AND EXHAUST VENTILATOR IN EXG LOCATIONS, SEE PLUMBING & MECHANICAL DWGS.
CN-43 RECONSTRUCT INTEGRATED GUTTER THROUGHOUT ACTIVITIES BUILDING; SEE ROOF DETAILS.
CN-46 REPAIR EXG WINDOW TO ALLOW FOR NORMAL OPERATION.
CN-50 REPOINT BRICK FLOORING.
CN-70 PROVIDE NEW CAST IN PLACE STAIR.
CN-71 PROVIDE NEW 36" HANDRAILS, TYP AT EITHER SIDE OF ENTRANCE STAIRS AND PORCH.
CN-72 PREP AND PAINT EXG SURFACE, PROVIDE NEW SIGNAGE TO MATCH EXG.
CN-73 RE-ATTACH SALVAGED SIGNAGE AFTER PAINTING.
CN-74 PAINT PEDIMENT, COLUMNS, DOORS, AND FRAMES TO MATCH EXG, TYP.
CN-75 NEW BUILDING MTD SIGN BID.1, REF PPR SIGNAGE STANDARD MANUAL.


GENERAL NOTES:

- FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-RATED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
- WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPTACLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
- LOCATE INTERIOR AND EXTERIOR CONTROL JOINTS AS INDICATED ON THE ARCHITECTURAL DRAWINGS AND IN SPECIFICATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT.
- PROVIDE CEMENTITIOUS FLOOR UNDERLAYMENT ON EXISTING CONCRETE SLAB WHERE REQUIRED UNDER NEW FINISHES.
- ALL EXG AND NEW METAL CEILINGS TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
- ALL EXG INT GLAZED BRICK AND MORTAR TO BE CLEANED AND FREE OF PAINT.
- ALL INTERIOR GWB/PLASTER SURFACES TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH. EXG MURALS IN ACTIVITIES ROOM 106 TO BE PRESERVED AND EXCLUDED FROM REPAINTING.
- ALL EXG INTERIOR CMU TO BE REPAINTED. PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
- REPLACE ALL INTERIOR DOORS, FRAMES, AND HARDWARE WITH NEW HM DOORS, METAL FRAMES, AND HARDWARE U.N.O.; SEE DOOR SCHEDULE.
- REFER TO MEPP DRAWINGS FOR ADDITIONAL INFO.
- REFER TO STRUC DRAWINGS FOR LOCATIONS OF NEW AND EXISTING STRUCTURE.
- REFER TO LANDSCAPE DRAWINGS FOR PLAYGROUND FURNISHINGS/EQUIPMENT.
- PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EXQUIPMENT. REPAIR SURFACES, TYP.
- ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.

LEGEND:

- AREA NOT IN SCOPE
- AREA OF GENERAL REPAIR; SEE CN NOTES

REVISIONS		
ISSUE	DATE	REVISIONS




CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

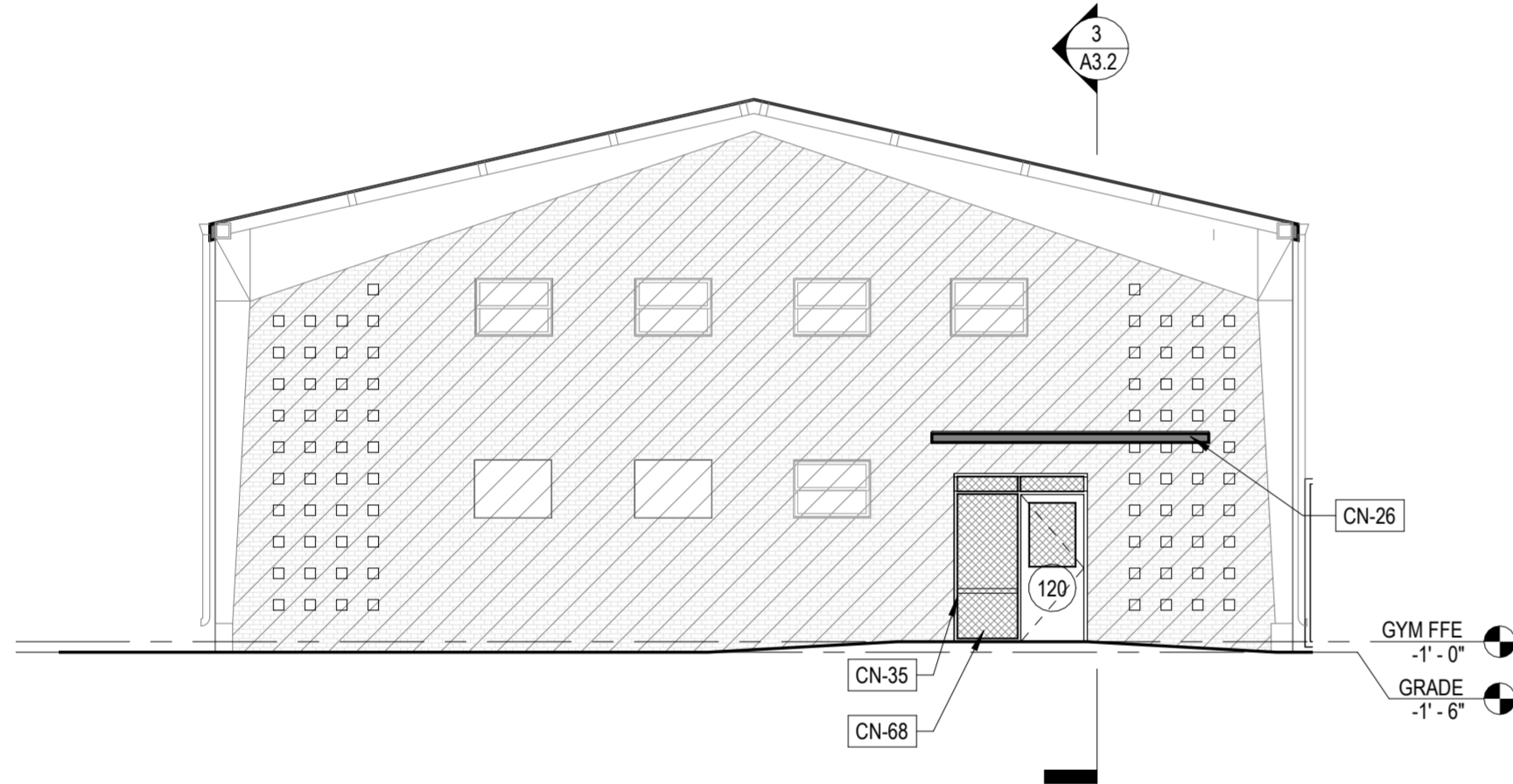
DRAWING TITLE

EXTERIOR ELEVATIONS & DETAIL

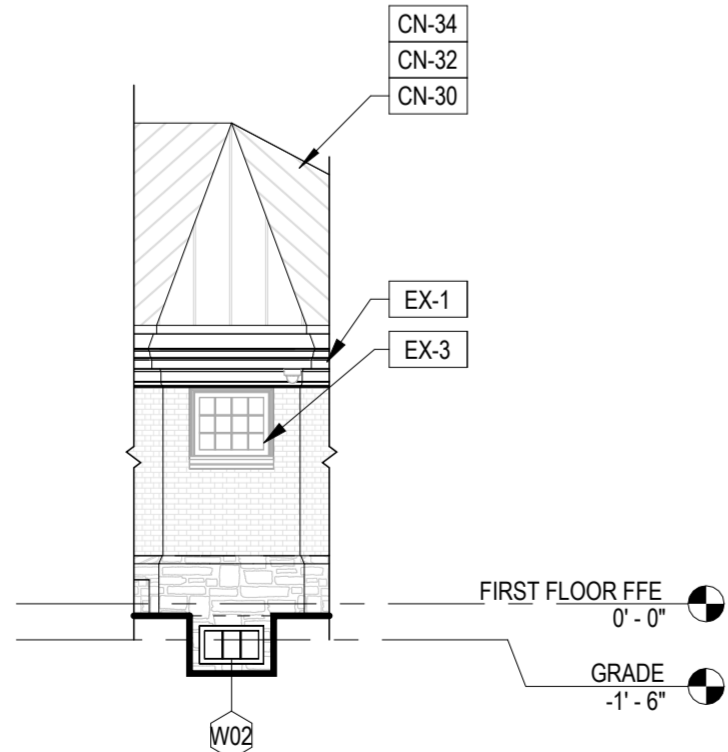
PROJECT NO.	DRAWING NO.
16315E-03-02	A3.0
DATE	05/13/2025
SCALE	AS NOTED
DRAWN BY	JS/SCR
CHECKED BY	SCR

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

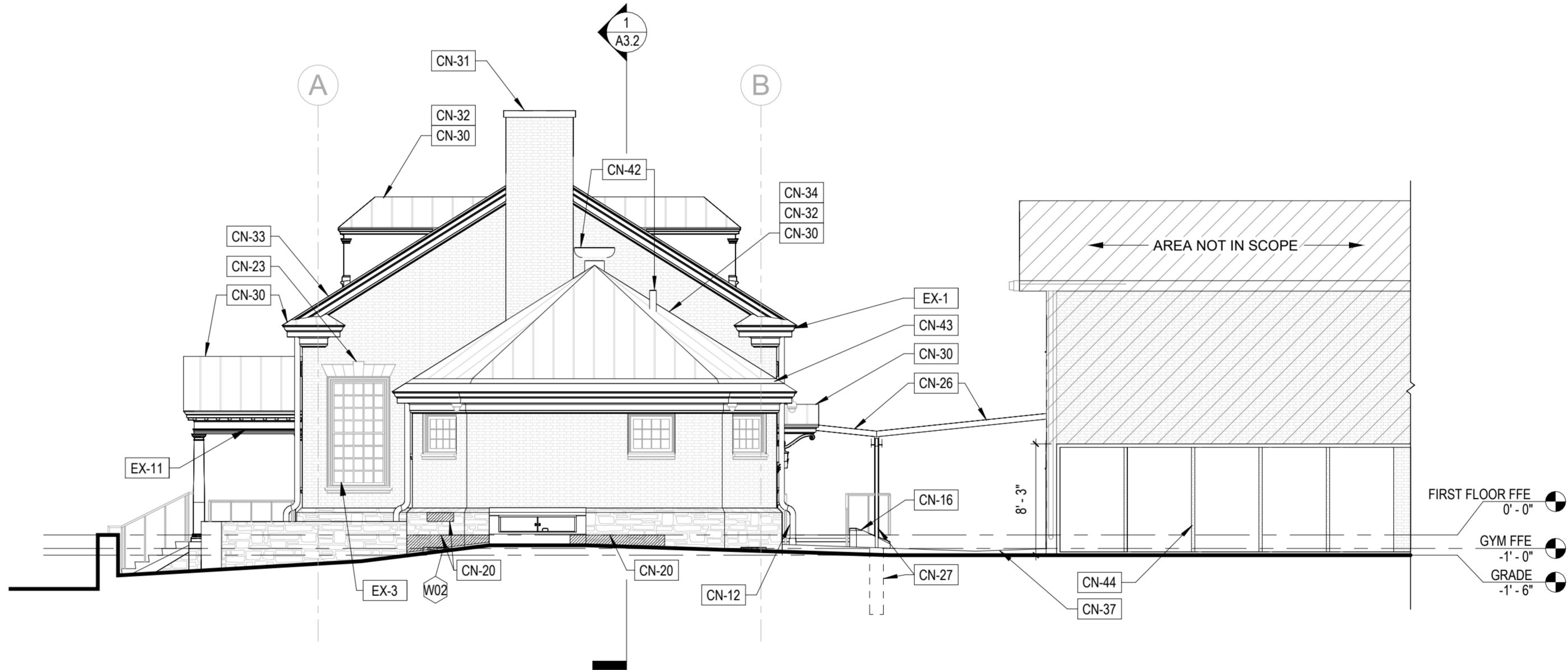
4 GYMNASIUM ELEVATION
A3.1 1/8" = 1'-0"



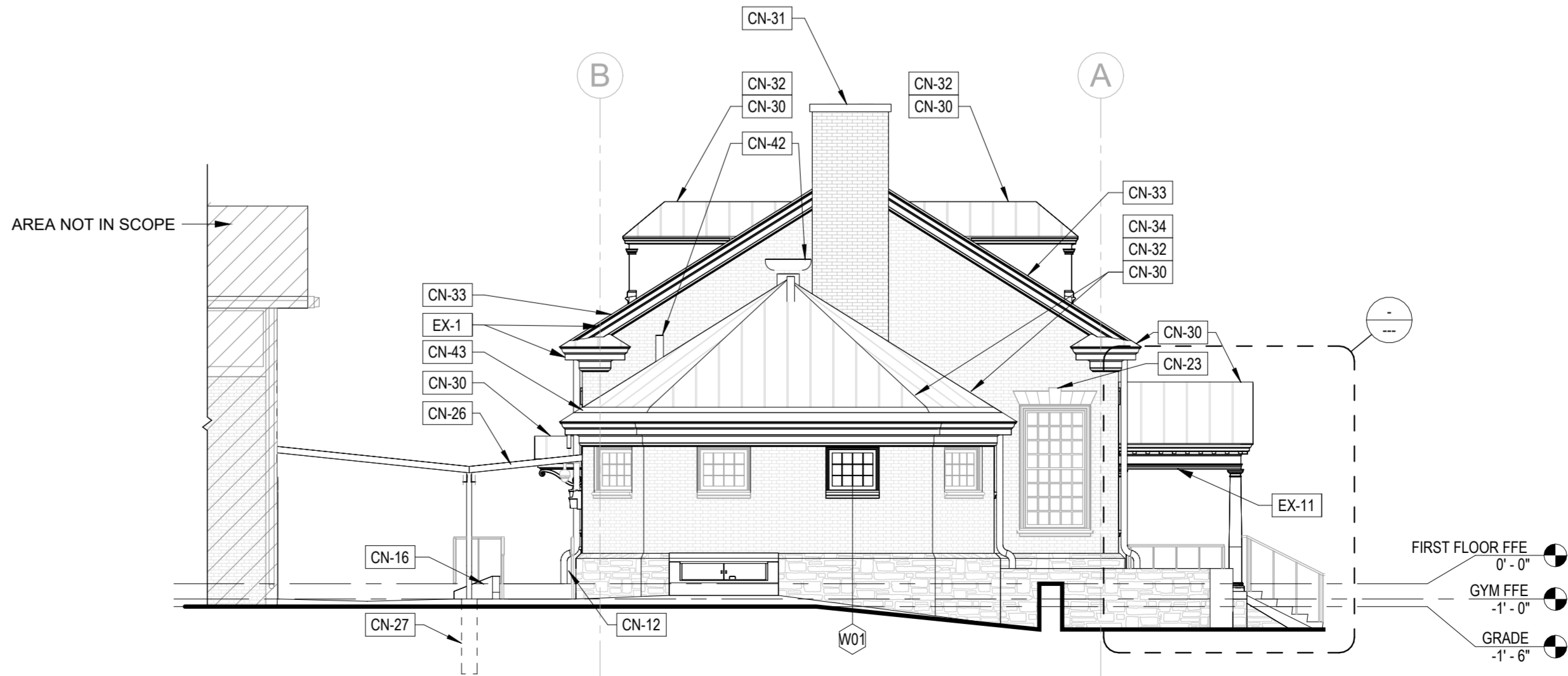
3 BELOW GRADE ELEVATION @ CHAMFER
A3.1 1/8" = 1'-0"



2 WEST ELEVATION
A3.1 1/8" = 1'-0"



1 EAST ELEVATION
A3.1 1/8" = 1'-0"



KEYED EXISTING NOTES

- EX-1 EXG WD CORNICE TO REMAIN, TYP, EXCEPT AT LOCATIONS NOTED FOR REPLACEMENT.
EX-3 EXG WINDOW AND SECURITY SCREEN TO REMAIN, TYP, UNO
EX-11 EXG CEILING LIGHT AT ENTRANCE PORCH TO REMAIN.

KEYED CONSTRUCTION NOTES

- CN-12 PROVIDE NEW CAST IRON DOWNSPOUT BOOTS, TYP. SEE PLUMBING DWGS.
CN-16 PROVIDE NEW CONCRETE LANDING, STAIRS, AND RAMP WITH CURB AND RAILING; SEE CIVIL DWGS FOR GRADING, SEE L DWGS FOR DETAILS.
CN-20 REPOINT MASONRY, VERIFY EXTENTS IN FIELD.
CN-23 PAINT EXG KEYSTONE PANEL, TYP.
CN-26 PROVIDE NEW BREEZEWAY ROOF DECKING AND ROOF MEMBRANE; SEE STRUCT DWGS.
CN-27 PROVIDE NEW BREEZEWAY COLUMNS AND FOOTINGS; SEE S DWGS.
CN-30 PROVIDE NEW STANDING SEAM MTL ROOF.
CN-31 CAP CHIMNEY WITH CAST STONE SLAB WITH DRIP EDGE, EXTEND BEYOND MASONRY AT LEAST 4".
CN-32 PROVIDE NEW ROOF SHEATHING WHERE EXISTING SHEATHING WAS REMOVED.
CN-33 PROVIDE NEW BLOW-IN MINERAL WOOL INSULATION BETWEEN EXG 3X6 RAFTERS, TYP THROUGHOUT HIGH ROOF.
CN-34 PROVIDE R-30 MINERAL WOOL BATT INSULATION AT LOW ROOFS.
CN-35 PROVIDE NEW HM SYSTEM, SEE DOOR TYPES & DETAILS.
CN-37 PROVIDE NEW CONCRETE PAVING, SEE CIVIL & LANDSCAPE DWGS.
CN-42 PROVIDE NEW ROOF VENT AND EXHAUST VENTILATOR IN EXG LOCATIONS, SEE PLUMBING & MECHANICAL DWGS.
CN-43 RECONSTRUCT INTEGRATED GUTTER THROUGHOUT ACTIVITIES BUILDING; SEE ROOF DETAILS.
CN-44 PROVIDE NEW PERFORATED ALUMINUM FENCING, ANCHORED TO PAD BELOW; COORD WITH STRUCTURE BELOW
CN-68 PROVIDE NEW SECURITY SCREENS, TYP.

GENERAL NOTES:

1. FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-RATED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
2. WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPTACLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
3. LOCATE INTERIOR AND EXTERIOR CONTROL JOINTS AS INDICATED ON THE ARCHITECTURAL DRAWINGS AND IN SPECIFICATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT.
4. PROVIDE CEMENTITIOUS FLOOR UNDERLAYMENT ON EXISTING CONCRETE SLAB WHERE REQUIRED UNDER NEW FINISHES.
5. ALL EXG AND NEW METAL CEILINGS TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
6. ALL EXG INT GLAZED BRICK AND MORTAR TO BE CLEANED AND FREE OF PAINT.
7. ALL INTERIOR GWB/PLASTER SURFACES TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH. EXG MURALS IN ACTIVITIES ROOM 106 TO BE PRESERVED AND EXCLUDED FROM REPAINTING.
8. ALL EXG INTERIOR CMU TO BE REPAINTED. PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
9. REPLACE ALL INTERIOR DOORS, FRAMES, AND HARDWARE WITH NEW HM DOORS, METAL FRAMES, AND HARDWARE U.N.O.; SEE DOOR SCHEDULE.
10. REFER TO MEPPF DRAWINGS FOR ADDITIONAL INFO.
11. REFER TO STRUC DRAWINGS FOR LOCATIONS OF NEW AND EXISTING STRUCTURE.
12. REFER TO LANDSCAPE DRAWINGS FOR PLAYGROUND FURNISHINGS/EQUIPMENT.
13. PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EXQUIPMENT. REPAINT SURFACES, TYP.
14. ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.

LEGEND:

- AREA NOT IN SCOPE
AREA OF GENERAL REPAIR, SEE CN NOTES

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

EXTERIOR ELEVATIONS

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
JS/SCR

CHECKED BY
SCR

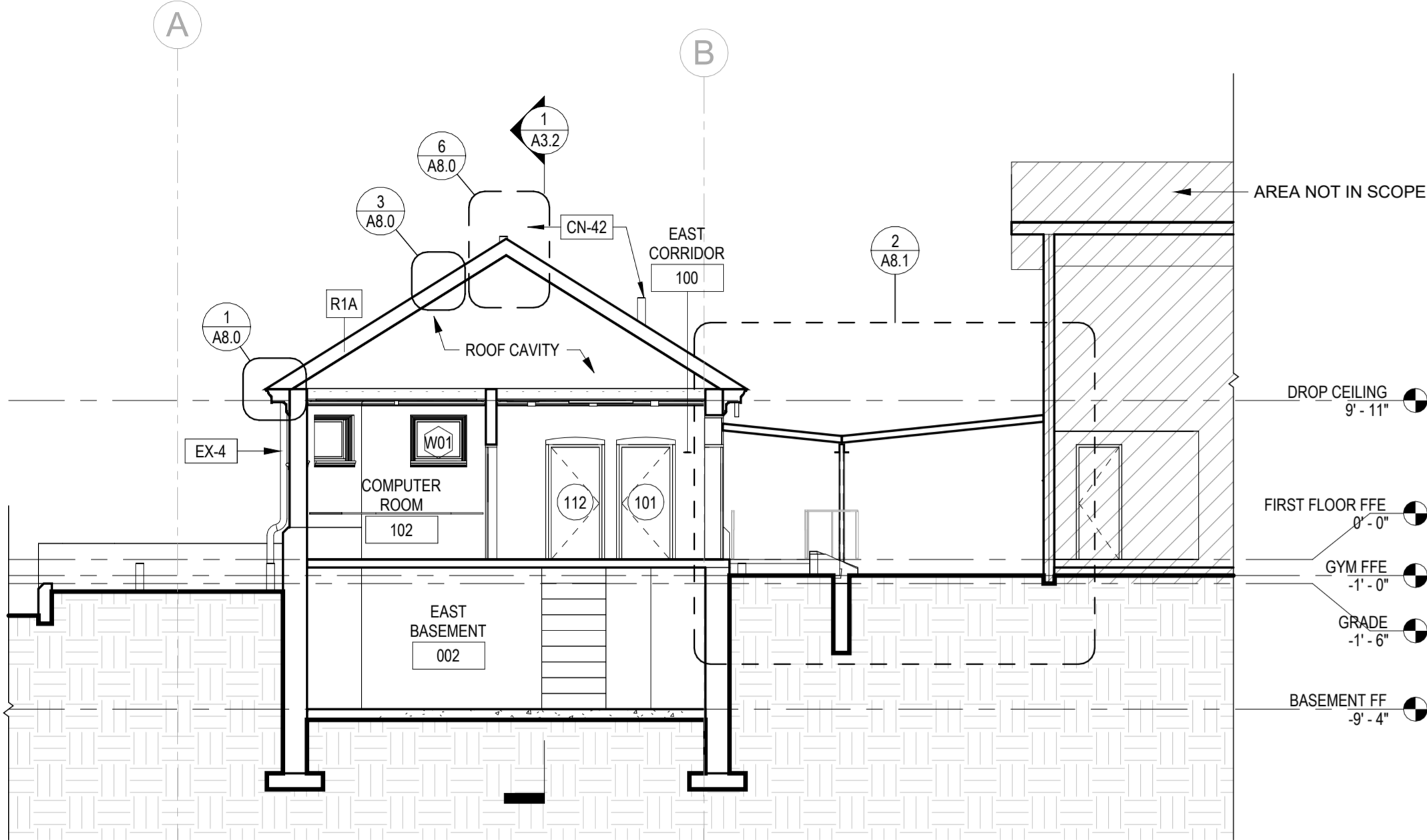
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A3.1

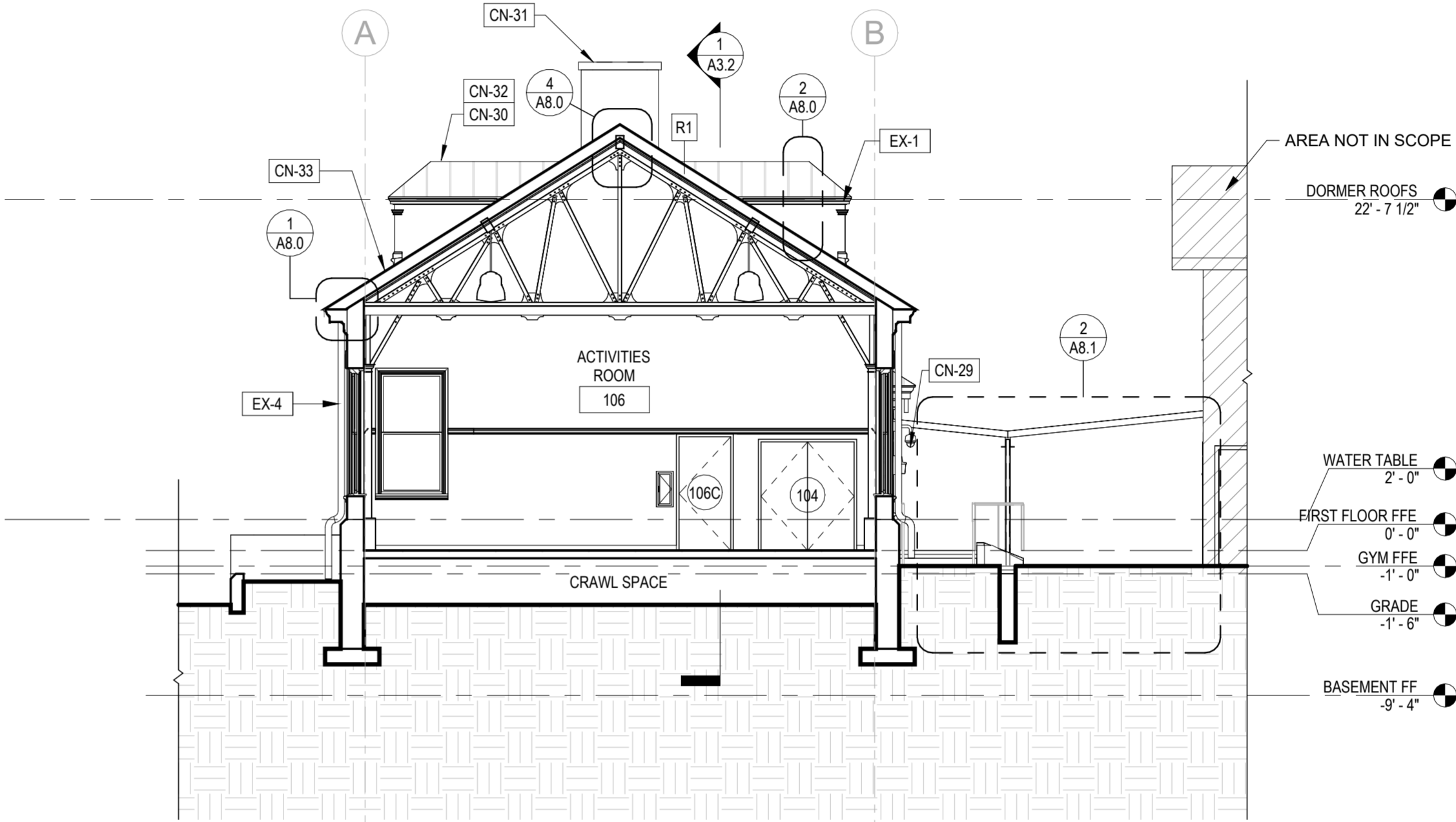
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

ROOF TYPES				
TYPE	DESCRIPTION	CODE-REQ'D INSUL MIN R-VALUE	DETAIL	SPECIFICATION
R1	STANDING SEAM MTL ROOF AT MAIN ROOF	NO EXG ROOF INSULATION, PER IECC 810.1 NO ADDITIONAL INSULATION IS REQ'D. FOR REPAIR ESTIMATED R-VALUE R24		STANDING SEAM MTL ROOF SYSTEM PER SPECIFICATION, ROSIN PAPER, HIGH TEMPERATURE SELF ADHERING UNDERLAYMENT, 1/2" MARINE GRADE PLYWD, NEW MINERAL WOOL INSULATION BETWEEN EXG ROOF JOISTS, EXG WD CEILING BOARDS.
R1A	STANDING SEAM MTL ROOF AT LOW ROOF	ESTIMATED R-VALUE R32		STANDING SEAM MTL ROOF SYSTEM PER SPECIFICATION, ROSIN PAPER, HIGH TEMPERATURE SELF ADHERING UNDERLAYMENT, 1/2" MARINE GRADE PLYWD, EXG WD CEILING BOARDS. NEW MINERAL WOOL INSULATION AT CEILING JOISTS, REFER TO SECTIONS ON THIS SHEET.
R2	MEMBRANE ROOF AT BREEZEWAY	-		2 LAYERS MEMBRANE ROOFING, 3/4" MARINE GRADE PLYWOOD, 4x6 T&G DECKING

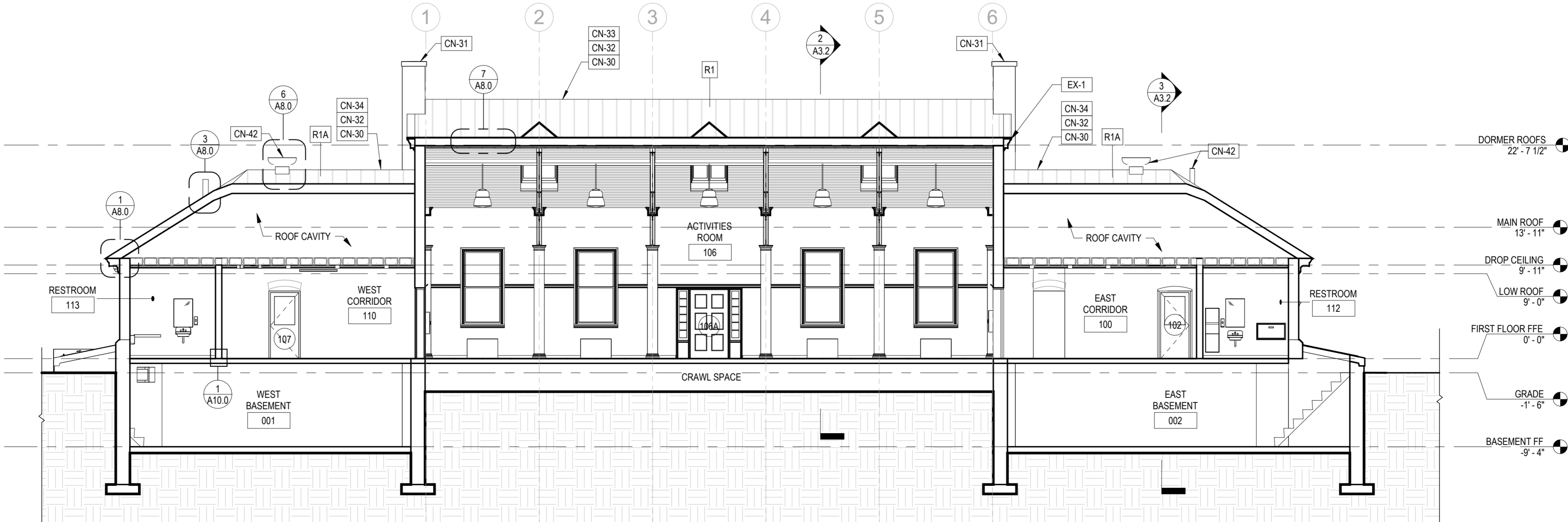
GENERAL ROOF NOTES:
1. SEE ROOF PLAN DWG AND A-8 SERIES DWGS FOR ADDITIONAL DETAILS.
2. MINIMUM INSUL R-VALUES ARE BASED ON YEAR IECC TABLE C402.13. PROJECT INSUL R-VALUES ARE BASED ON THE SPECIFIED B.O.D. AS FOLLOWS: X" MINERAL WOOL BATT = R4/INCH



3
A3.2 N-S BUILDING SECTION-WING
1/8" = 1'-0"



2
A3.2 N-S BUILDING SECTION-MAIN
1/8" = 1'-0"



1
A3.2 E-W BUILDING SECTION
1/8" = 1'-0"

KEYED EXISTING NOTES

EX-1 EXG WD CORNICE TO REMAIN, TYP, EXCEPT AT LOCATIONS NOTED FOR REPLACEMENT.
EX-4 EXG DOWNSPOUTS TO REMAIN, TYP FOR ALL.

KEYED CONSTRUCTION NOTES

CN-29 PROVIDE NEW SECURITY CAMERA, SEE ELEC DWGS.
CN-30 PROVIDE NEW STANDING SEAM MTL ROOF.
CN-31 CAP CHIMNEY WITH CAST STONE SLAB WITH DRIP EDGE, EXTEND BEYOND MASONRY AT LEAST 4".
CN-32 PROVIDE NEW ROOF SHEATHING WHERE EXISTING SHEATHING WAS REMOVED.
CN-33 PROVIDE NEW BLOW-IN MINERAL WOOL INSULATION BETWEEN EXG 3X6 RAFTERS, TYP THROUGHOUT HIGH ROOF.
CN-34 PROVIDE R-30 MINERAL WOOL BATT INSULATION AT LOW ROOFS.
CN-42 PROVIDE NEW ROOF VENT AND EXHAUST VENTILATOR IN EXG LOCATIONS, SEE PLUMBING & MECHANICAL DWGS.

GENERAL NOTES:


- FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-RATED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
- WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPTACLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
- LOCATE INTERIOR AND EXTERIOR CONTROL JOINTS AS INDICATED ON THE ARCHITECTURAL DRAWINGS AND IN SPECIFICATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT.
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- ALL EXG AND NEW METAL CEILINGS TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
- ALL EXG INT GLAZED BRICK AND MORTAR TO BE CLEANED AND FREE OF PAINT.
- ALL INTERIOR GWB/PLASTER SURFACES TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH. EXG MURALS IN ACTIVITIES ROOM 106 TO BE PRESERVED AND EXCLUDED FROM REPAINTING.
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- REPLACE ALL INTERIOR DOORS, FRAMES, AND HARDWARE WITH NEW HM DOORS, METAL FRAMES, AND HARDWARE U.N.O.; SEE DOOR SCHEDULE.
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- PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EXQUIPMENT. REPAINT SURFACES, TYP.
- ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.

LEGEND:



REVISIONS

ISSUE	DATE	REVISIONS




CONSTRUCTION DOCUMENTS

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

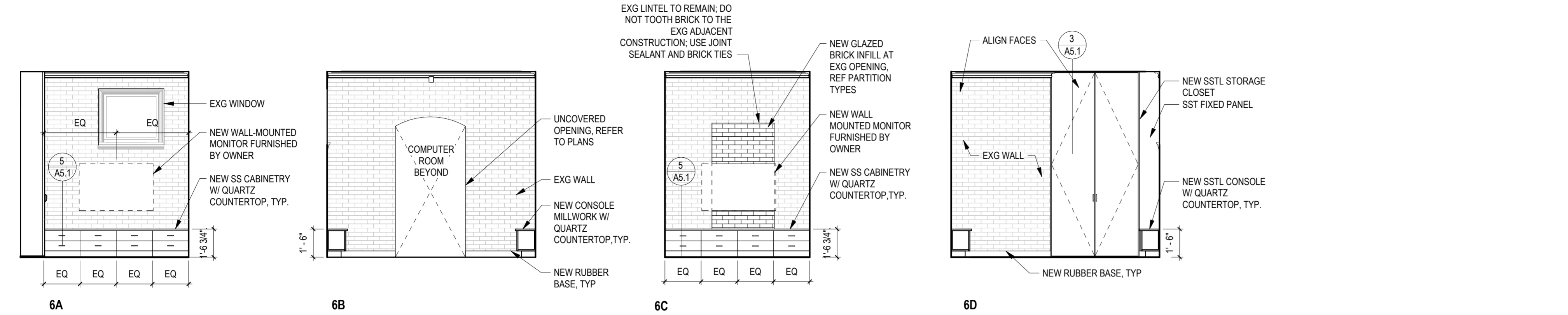
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

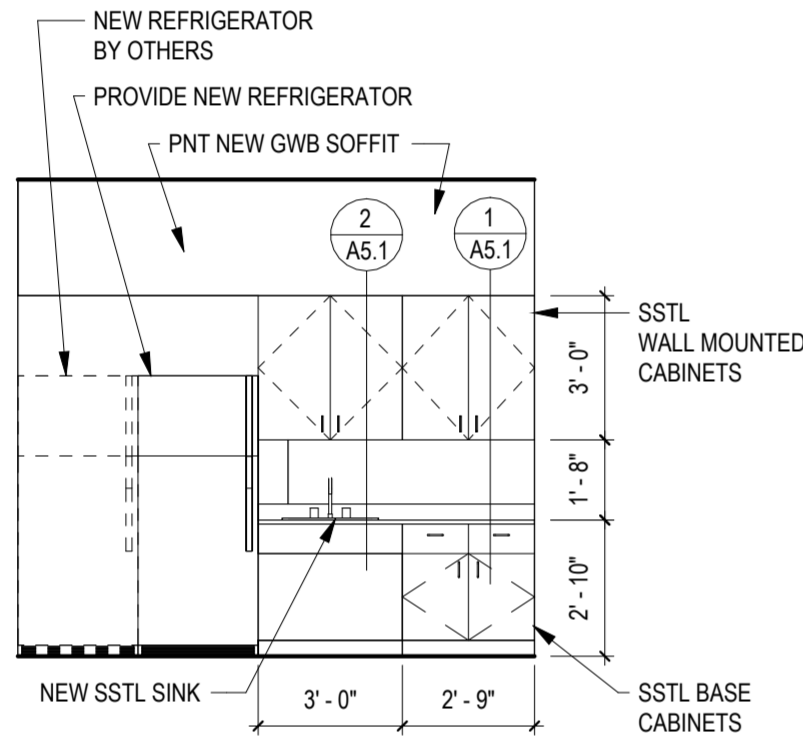
BUILDING SECTIONS & ROOF
TYPES

PROJECT NO. 16315E-03-02	DRAWING NO.
DATE 05/13/2025	A3.2
SCALE AS NOTED	
DRAWN BY Author	
CHECKED BY Checker	FILE

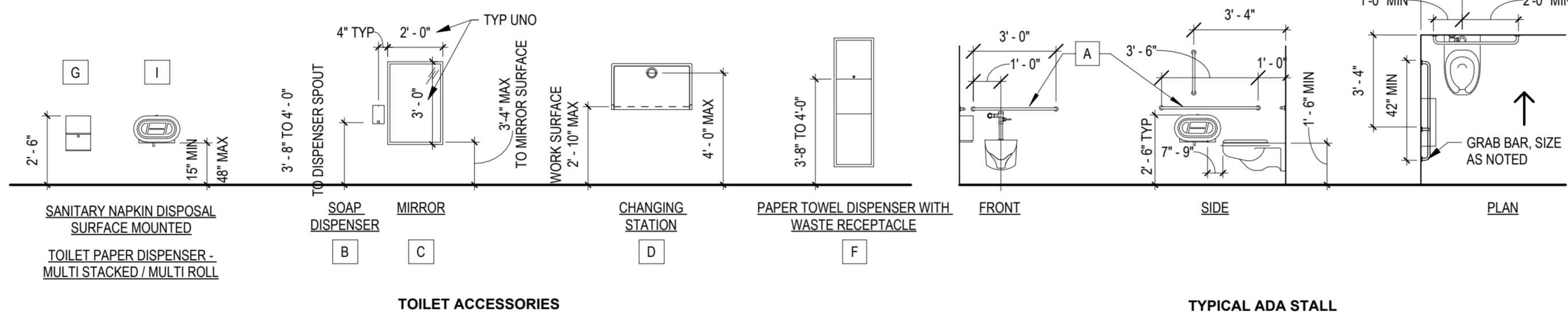
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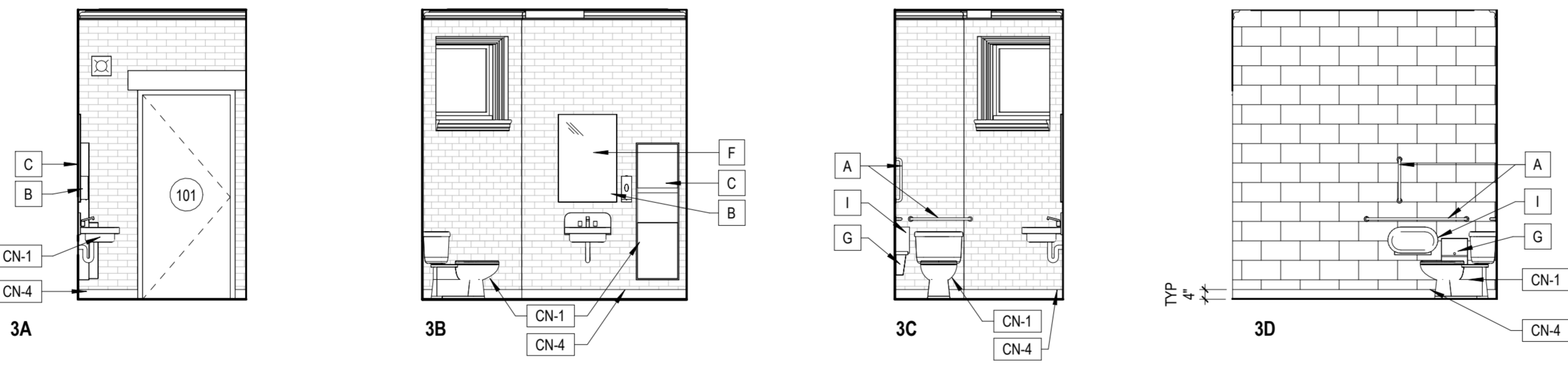
6 GAMING ROOM
A4.0 1/4" = 1'-0"



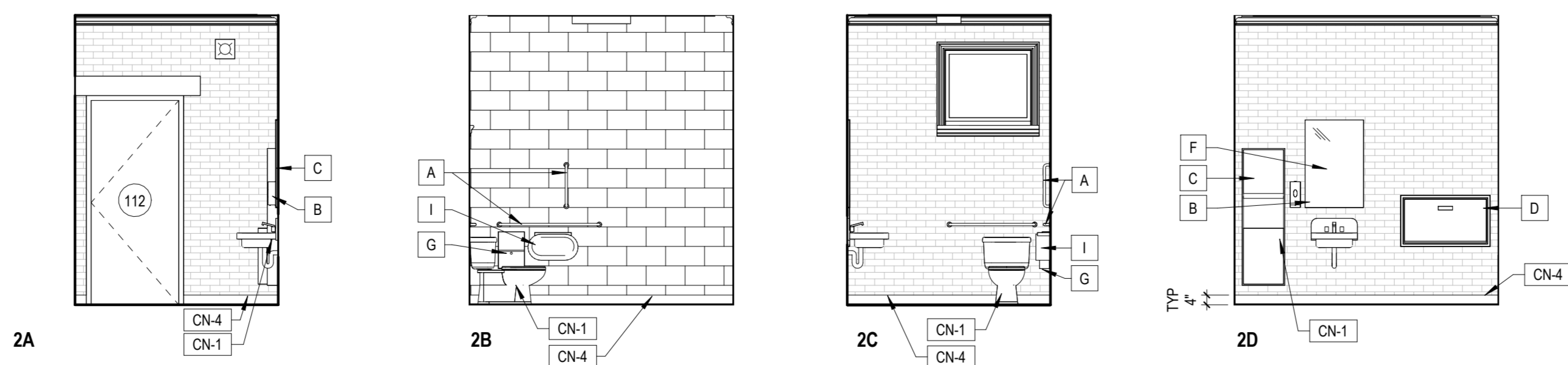
5 KITCHEN EAST
A4.0 1/4" = 1'-0"



4 TYPICAL MOUNTING HEIGHTS-RESTROOMS
A4.0 1/4" = 1'-0"



3 RESTROOM 101
A4.0 1/4" = 1'-0"



2 RESTROOM 112
A4.0 1/4" = 1'-0"


GENERAL NOTES:

- FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-RATED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
- WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPTACLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
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- ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.

KEYED CONSTRUCTION NOTES


- CN-1 PROVIDE NEW PLUMBING EQUIPMENT & ACCESSORIES; SEE PLUMBING DWGS.
CN-3 PROVIDE NEW TOILET ACCESSORIES; SEE TYP MOUNTING HEIGHTS.
CN-4 PROVIDE NEW EPOXY FINISH FLOOR AND BASE.
CN-13 PROVIDE NEW FLOOR DRAIN; SEE PLUMBING DWGS.
CN-62 PROVIDE NEW ANCHOR INFILL MASONRY WITH HOHMAN & BARNARD SLIP-SET STABILIZER ANCHORS @ 32" VERTICAL SPACING, SEE STRUCT DWGS.
CN-63 PROVIDE NEW 8X8 PRECAST LINTEL, SEE STRUCT DWGS; PAINT, COLOR AND FINISH TO MATCH NEW GLAZED BRICK.
CN-64 PROVIDE NEW 9"X12" BRICK PIER TO MATCH EXISTING PARTITION, SEE STRUCT DWGS.
CN-65 PROVIDE NEW 4" CMU PARTITION ANCHOR TO CEILING AT THIRD POINTS, SEE STRUCT DWGS.

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
LEEANN SUEN

SEALS


SMPARCHITECTS
1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

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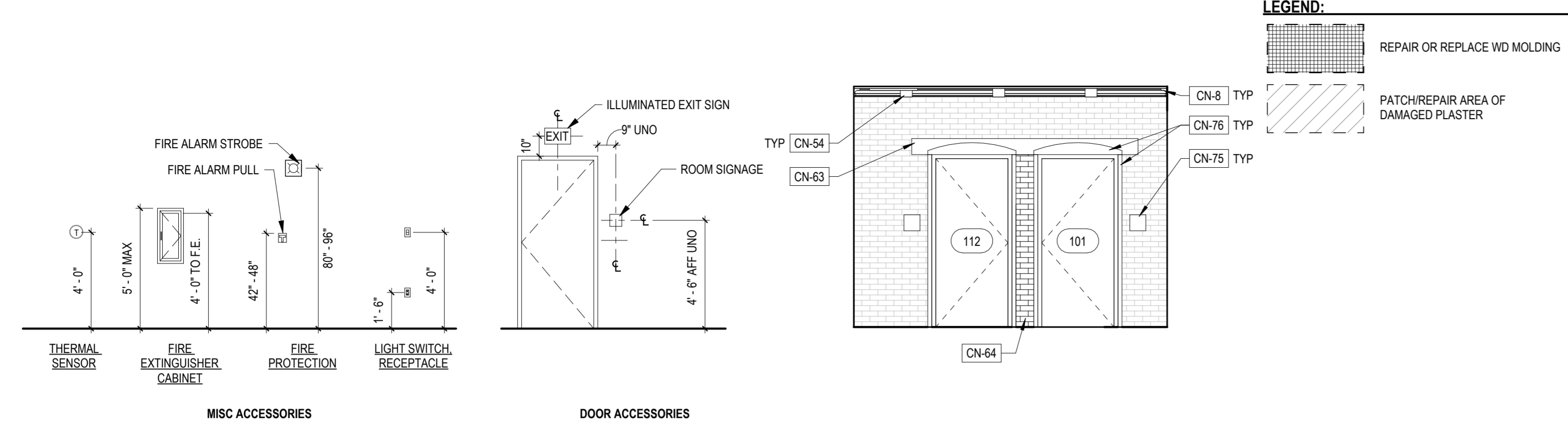
CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS

PROJECT NO. 16315E-03-02	DRAWING NO. A4.0
DATE 05/13/2025	SCALE AS NOTED
DRAWN BY JS/SCR	CHECKED BY SCR

NOTE: ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



KEYED EXISTING NOTES

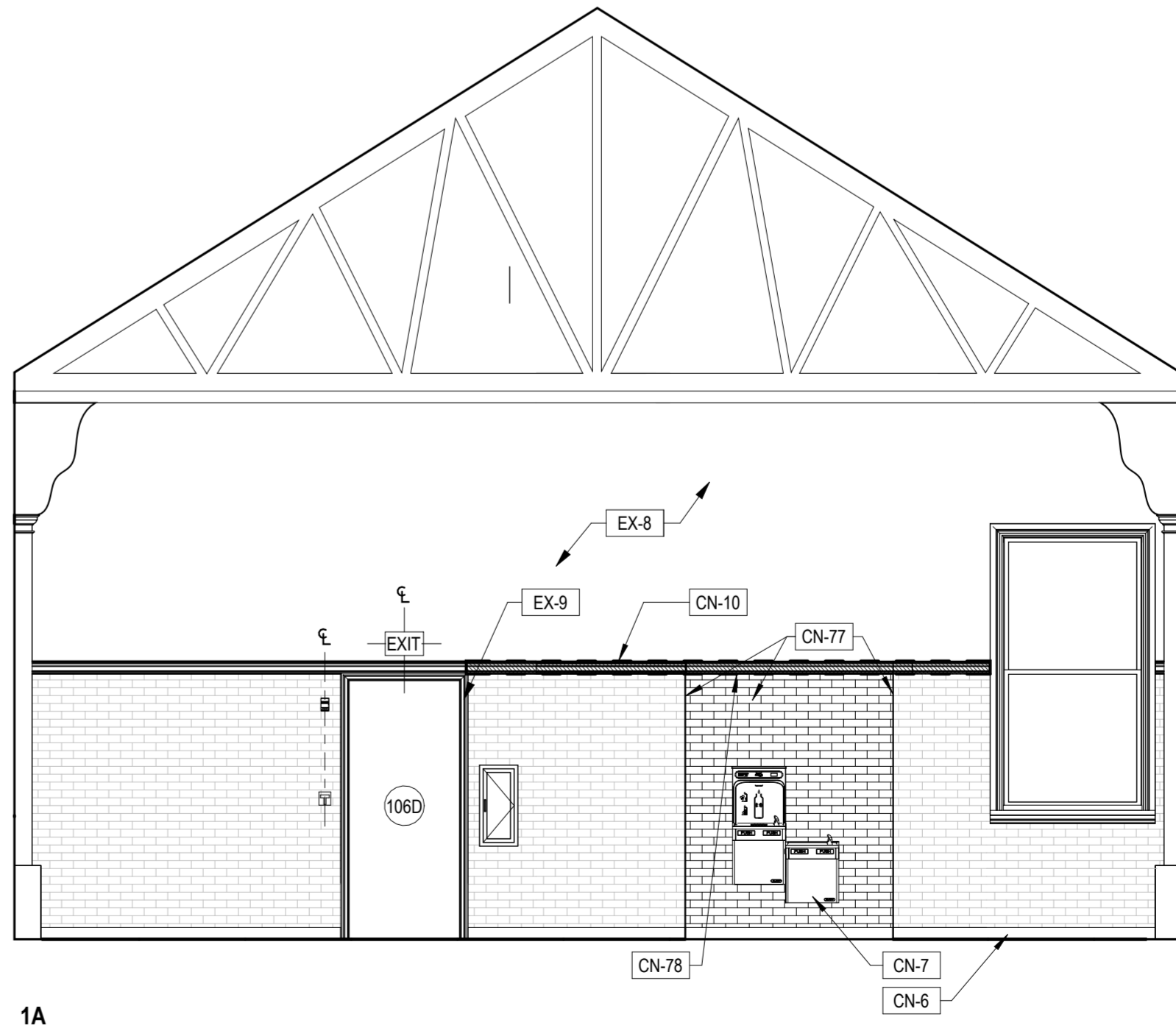
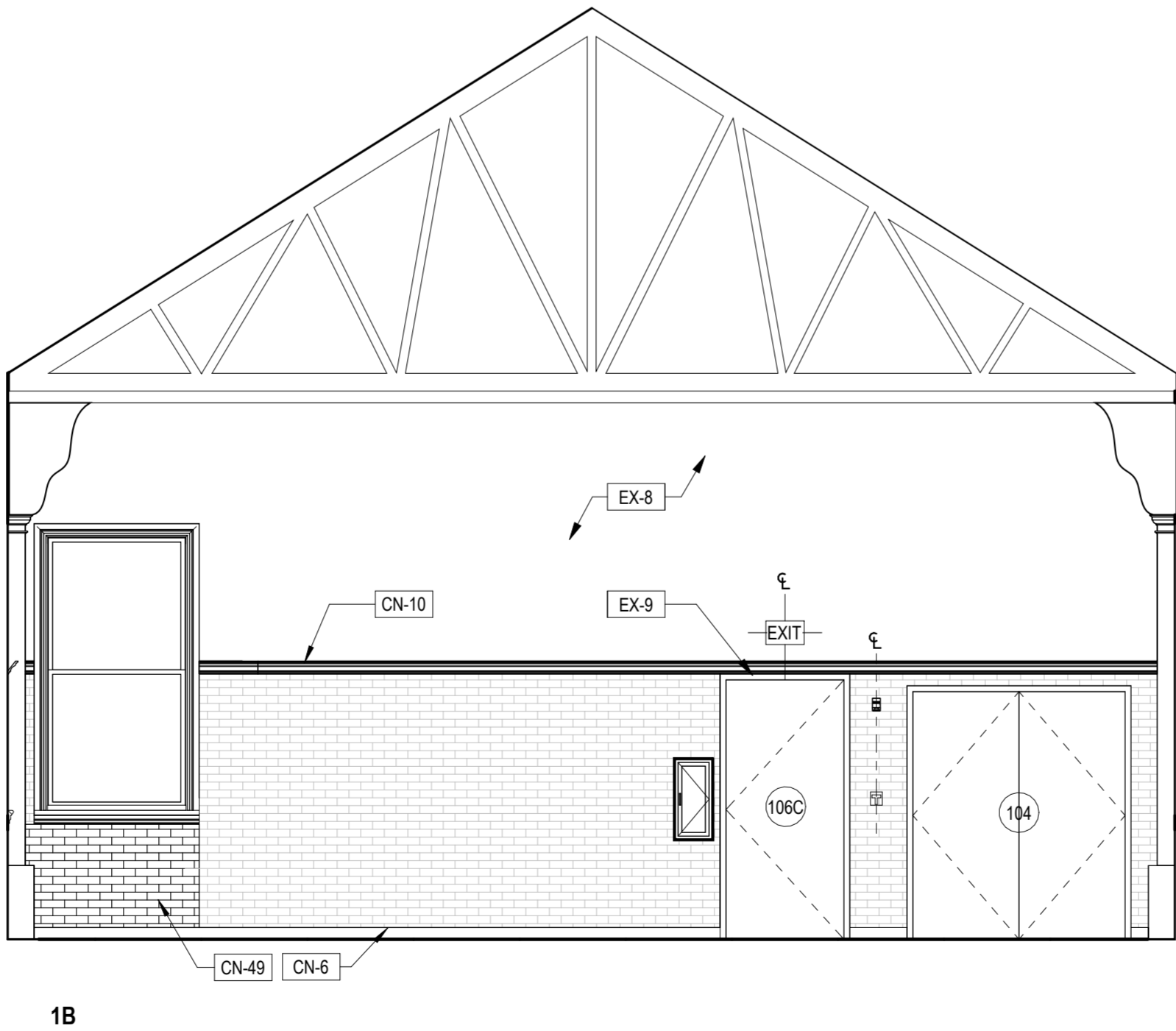
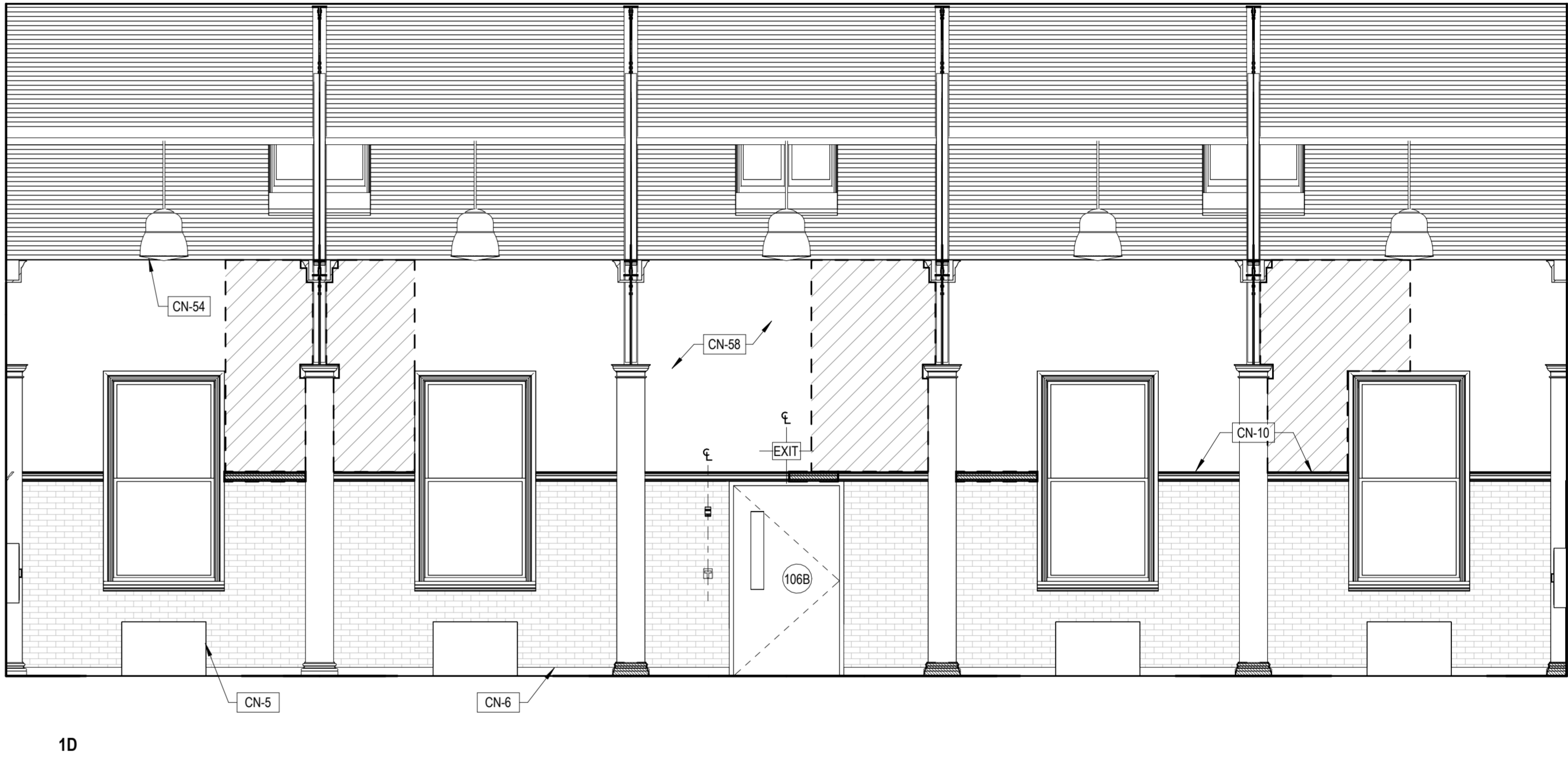
- EX-8 EXG WALL MURAL TO BE PRESERVED.
- EX-9 EXG WOODEN CASED OPENINGS TO REMAIN.

KEYED CONSTRUCTION NOTES

- CN-5 PROVIDE NEW MECH EQUIPMENT, TYP. SEE MECH DWGS.
- CN-6 PROVIDE NEW RESILIENT FLOOR & BASE, REFER TO FINISH PLAN FOR MORE INFORMATION.
- CN-7 PROVIDE NEW ACCESSIBLE DRINKING FOUNTAIN AND BOTTLE FILLING STATION.
- CN-8 PATCH / REPLACE EXG MTL CEILING AS INDICATED ON THE DRAWINGS; VERIFY CONDITIONS IN THE FIELD AND CONSULT ARCHITECT ON THE EXTENTS
- CN-10 PROVIDE NEW WOOD TRANSITION MOLDING WHERE MISSING OR DAMAGED TO MATCH EXG; VERIFY EXTENTS IN FIELD.
- CN-46 REPAIR EXG WINDOW TO ALLOW FOR NORMAL OPERATION.
- CN-48 PROVIDE NEW WD BASE AT WD PILASTER, TYP FOR ALL, MATCH EXG.
- CN-49 REPAIR WATER DAMAGE & REPLACE SPALLED BRICKS, VERIFY EXTENT IN FIELD.
- CN-51 CLEAN AND PREP WALL BELOW SILL FOR NEW WD TRIM.
- CN-52 SCRAPE, CLEAN AND PAINT LINTEL.
- CN-54 PROVIDE NEW INT LIGHTING FIXTURES, TYP. SEE ELEC DWGS.
- CN-58 SCRAPE, CLEAN AND PAINT PLASTER PORTION OF WALL ABOVE WD TRIM.
- CN-63 PROVIDE NEW 8X8 PRECAST LINTEL, SEE STRUCT DWGS; PAINT, COLOR AND FINISH TO MATCH NEW GLAZED BRICK.
- CN-64 PROVIDE NEW 9'X12' BRICK PIER TO MATCH EXISTING PARTITION, SEE STRUCT DWGS.
- CN-75 PROVIDE NEW ROOM SIGNAGE, REFER TO SIGNAGE TYPES AND TYPICAL MOUNTING
- CN-76 NEW WD DOOR TRIM, REFER TO DOOR DETAILS.
- CN-77 NEW GLAZED BRICK TO MATCH EXG, REFER TO PARTITION TYPES; RETURN NEW GLAZED BRICK AT SIDES AND PROVIDE RADIUS EDGE AT OUTSIDE CORNER.
- CN-78 NEW GYPSUM CEILING.

GENERAL NOTES:

- FILL VOIDS AROUND PENETRATIONS AND JOINTS THROUGH NON-PARTED PARTITIONS WITH MINERAL WOOL INSULATION AND SEAL AROUND THE OPENING WITH ACOUSTIC SEALANT.
- WHEN ARCHITECTURAL EQUIPMENT OR FINISHES INTERFERE WITH THE LOCATION OF RECEPTACLES, SWITCHES, CONTROLS, ETC. COORDINATE WITH A/E PRIOR TO CUTTING OR INSTALLATION OF THE EQUIPMENT OR FINISH.
- LOCATE INTERIOR AND EXTERIOR CONTROL JOINTS AS INDICATED ON THE ARCHITECTURAL DRAWINGS AND IN SPECIFICATIONS. COORDINATE FINAL LOCATIONS WITH ARCHITECT.
- PROVIDE CEMENTITIOUS FLOOR UNDERLAYMENT ON EXISTING CONCRETE SLAB WHERE REQUIRED UNDER NEW FINISHES.
- ALL EXG AND NEW METAL CEILINGS TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
- ALL EXG INT GLAZED BRICK AND MORTAR TO BE CLEANED AND FREE OF PAINT.
- ALL INTERIOR GWB/PLASTER SURFACES TO BE REPAINTED; PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH. EXG MURALS IN ACTIVITIES ROOM 106 TO BE PRESERVED AND EXCLUDED FROM REPAINTING.
- ALL EXG INTERIOR CMU TO BE REPAINTED. PREPARE EXG AND NEW SURFACES AS NECESSARY TO PROVIDE SMOOTH/CONSISTENT FINISH.
- REPLACE ALL INTERIOR DOORS, FRAMES, AND HARDWARE WITH NEW HM DOORS, METAL FRAMES, AND HARDWARE U.N.O., SEE DOOR SCHEDULE.
- REFER TO MEPP DRAWINGS FOR ADDITIONAL INFO.
- REFER TO STRUC DRAWINGS FOR LOCATIONS OF NEW AND EXISTING STRUCTURE.
- REFER TO LANDSCAPE DRAWINGS FOR PLAYGROUND FURNISHINGS/EQUIPMENT.
- PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EQUIPMENT; REPAINT SURFACES, TYP.
- ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.



REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

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DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE

INTERIOR ELEVATIONS

PROJECT NO.

16315E-03-02

DATE

05/13/2025

SCALE

AS NOTED

DRAWN BY

JS/SCR

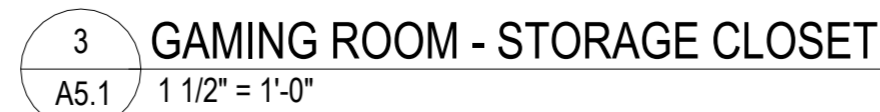
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SCR/TW

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










A5.0

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



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RCP LEGEND:

	EXG PRESSED METAL CEILING W/ 2' x 2' PANEL		OCCUPANCY SENSOR - SEE MECH / ELEC DWGS
	EXG GYPSUM BOARD CEILING		FIRE HORN/STROBE - SEE ELEC DWGS
	EXG CEILING TO REPLACE, VERIFY EXTENTS IN FIELD		MANUAL PULL STATION
	SUSPENDED ACTIVITIES ROOM FIXTURE - SEE LIGHTING DWGS		SMOKE DETECTOR
	SUSPENDED LINEAR FIXTURE - SEE LIGHTING DWGS		WALL OR CEILING MOUNTED ILLUMINATED EXIT SIGN - SEE LIGHTING DWGS
	SURFACE-MOUNTED LINEAR FIXTURE - SEE LIGHTING DWGS		WALL VRF UNIT - SEE MECH DWGS
	SURFACE-MOUNTED FIXTURE - SEE LIGHTING DWGS		EXHAUST FAN - SEE MECH DWGS
	SURFACE-MOUNTED FIXTURE - SEE LIGHTING DWGS		CEILING HEATER - SEE MECH DWGS
	SURFACE-MOUNTED EXTERIOR FIXTURE - SEE LIGHTING DWGS		LINEAR SUPPLY DIFFUSER - SEE MECH DWGS
	UNDERCABINET LED STRIP LIGHT		LINEAR RETURN GRILLE - SEE MECH DWGS

GENERAL NOTES:

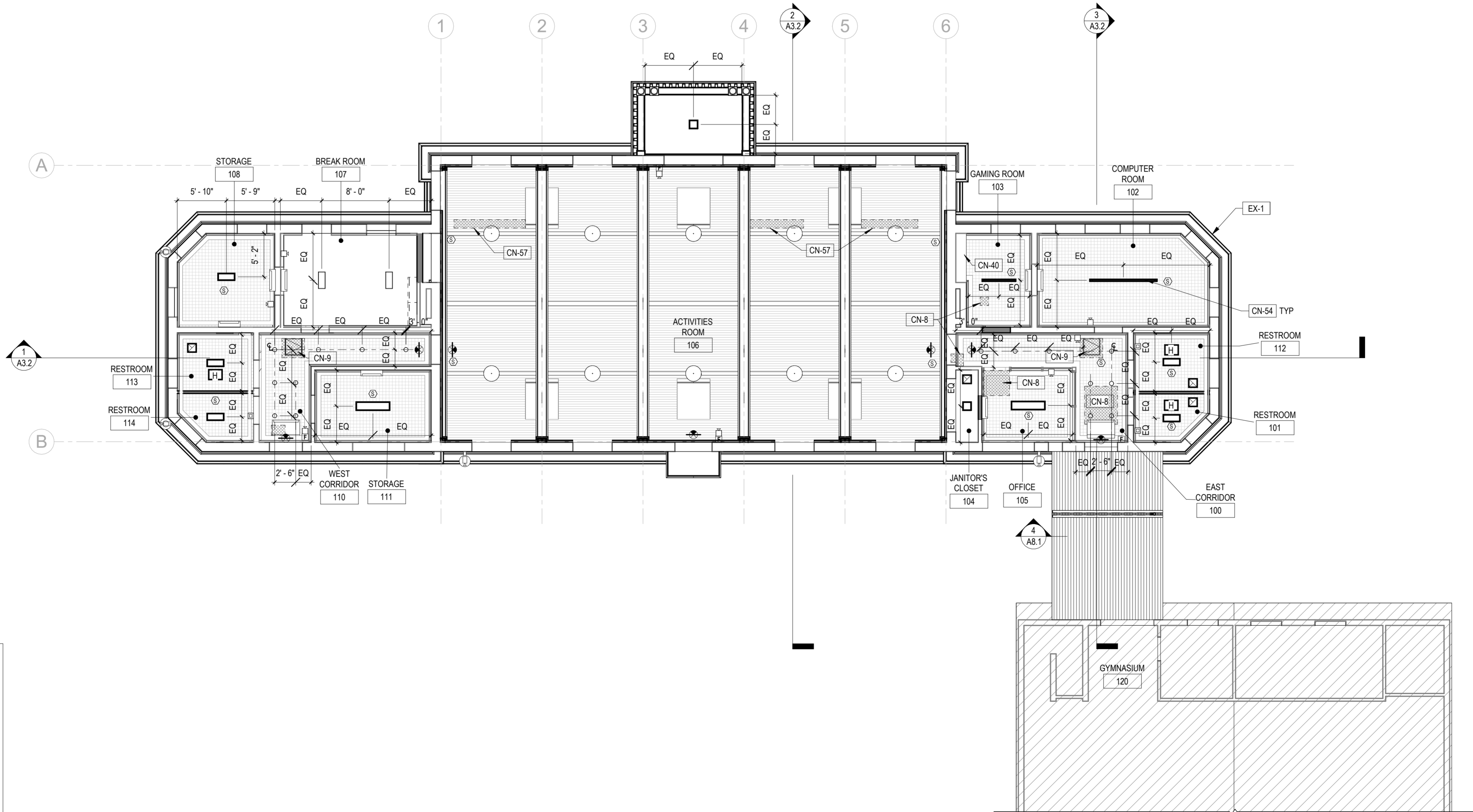
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13. PATCH AND REPAIR HOLES LEFT FROM REMOVAL OF EXERCISE EQUIPMENT. REPAINT SURFACES, TYP.
14. ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.

KEYED EXISTING NOTES

- EX-1 EXG WD CORNICE TO REMAIN, TYP, EXCEPT AT LOCATIONS NOTED FOR REPLACEMENT.

KEYED CONSTRUCTION NOTES

- CN-8 PATCH / REPLACE EXG MTL CEILING AS INDICATED ON THE DRAWINGS; VERIFY CONDITIONS IN THE FIELD AND CONSULT ARCHITECT ON THE EXTENTS
- CN-9 PROVIDE NEW CEILING ACCESS PANEL TO MATCH EXISTING. PATCH / REPAIR CEILING AS NEEDED.
- CN-40 PROVIDE NEW CONSOLE AND WALL CLOSET
- CN-64 PROVIDE NEW INT LIGHTING FIXTURES, TYP. SEE ELEC DWGS.
- CN-57 REPAIR OR REPLACE DAMAGED WOOD CEILING BOARDS, VERIFY EXTENT IN FIELD, FINISH TO MATCH EXG.



1 FIRST FLOOR RCP
A6.0 1/8" = 1'-0"


REVISIONS

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SEALS


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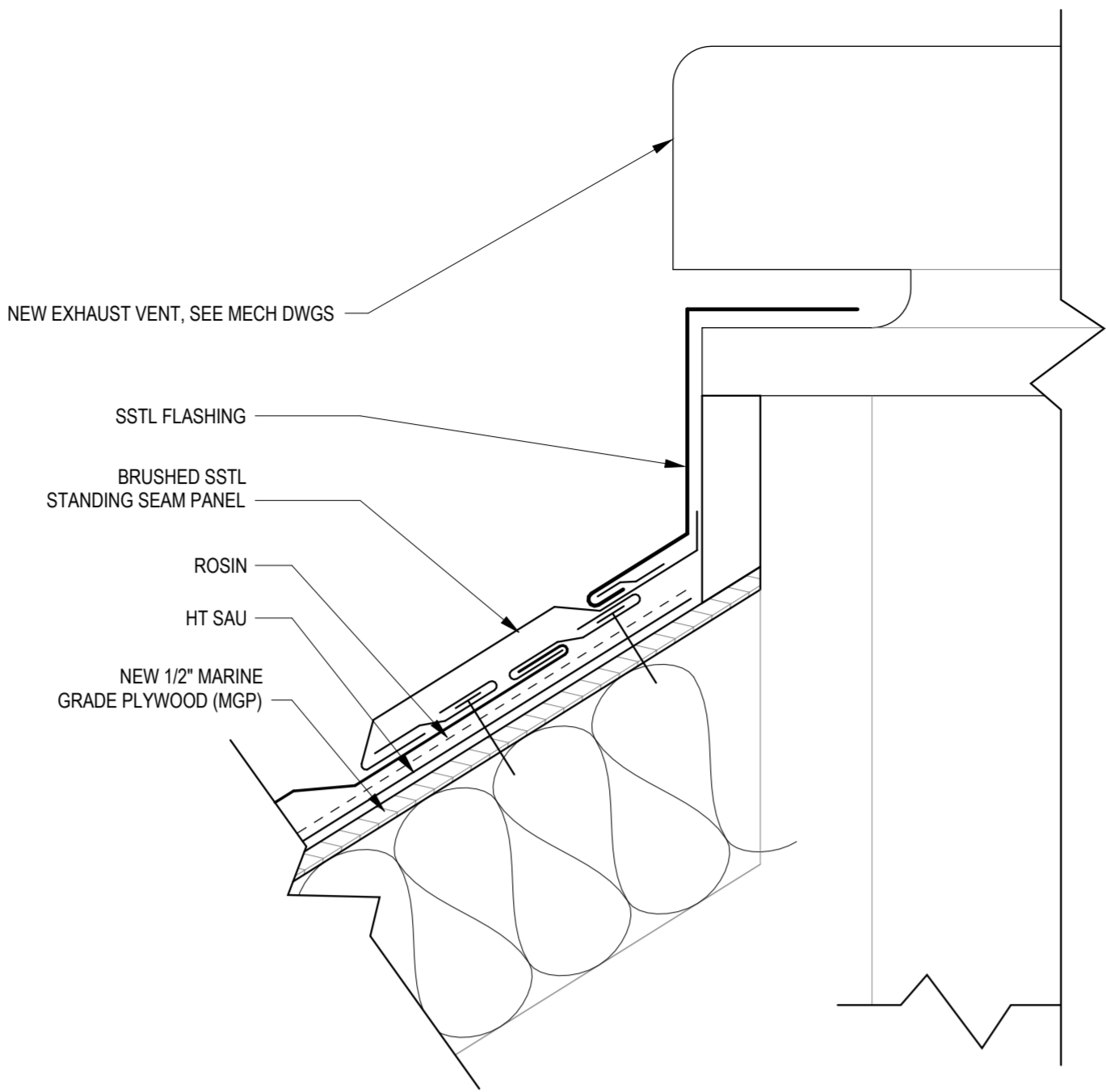
CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

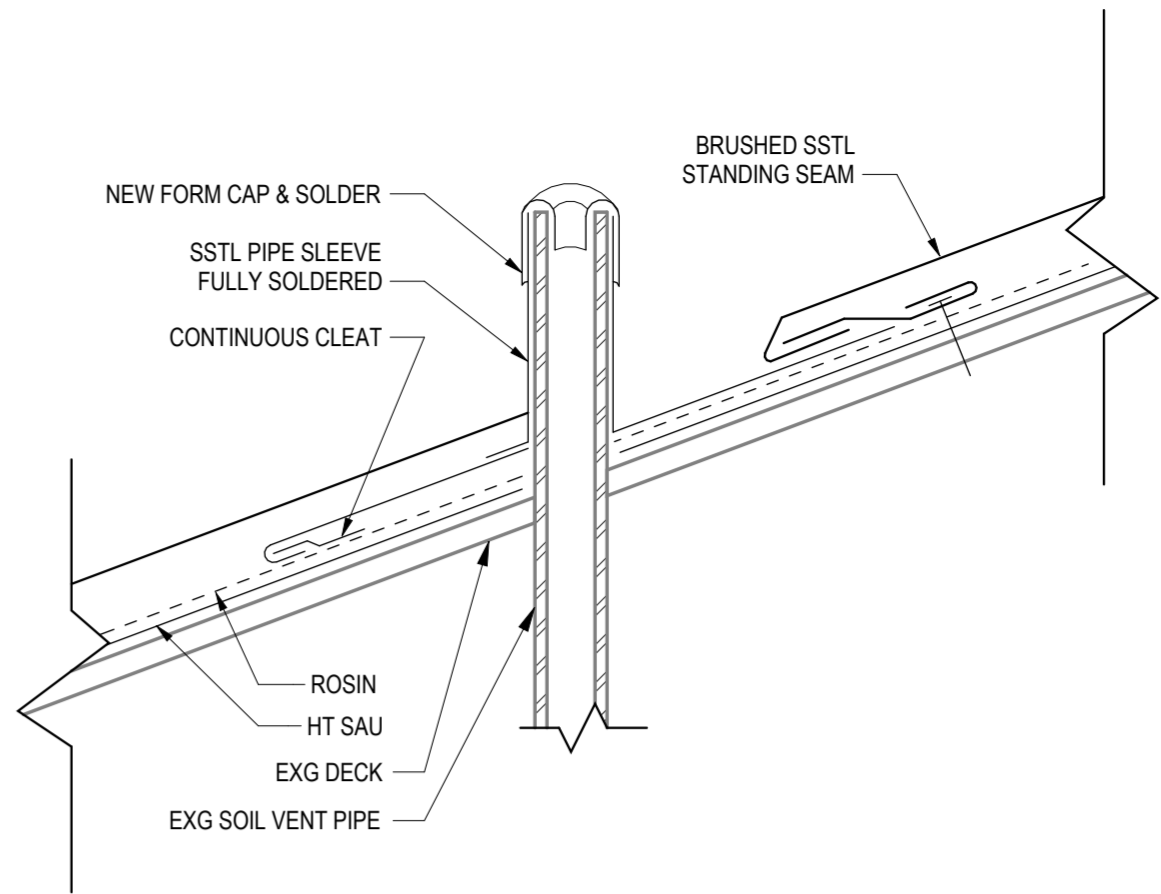
DRAWING TITLE
REFLECTED CEILING PLANS

PROJECT NO. 16315E-03-02	DRAWING NO. A6.0
DATE 05/13/2025	A6.0
SCALE AS NOTED	
DRAWN BY Author	
CHECKED BY Checker	FILE

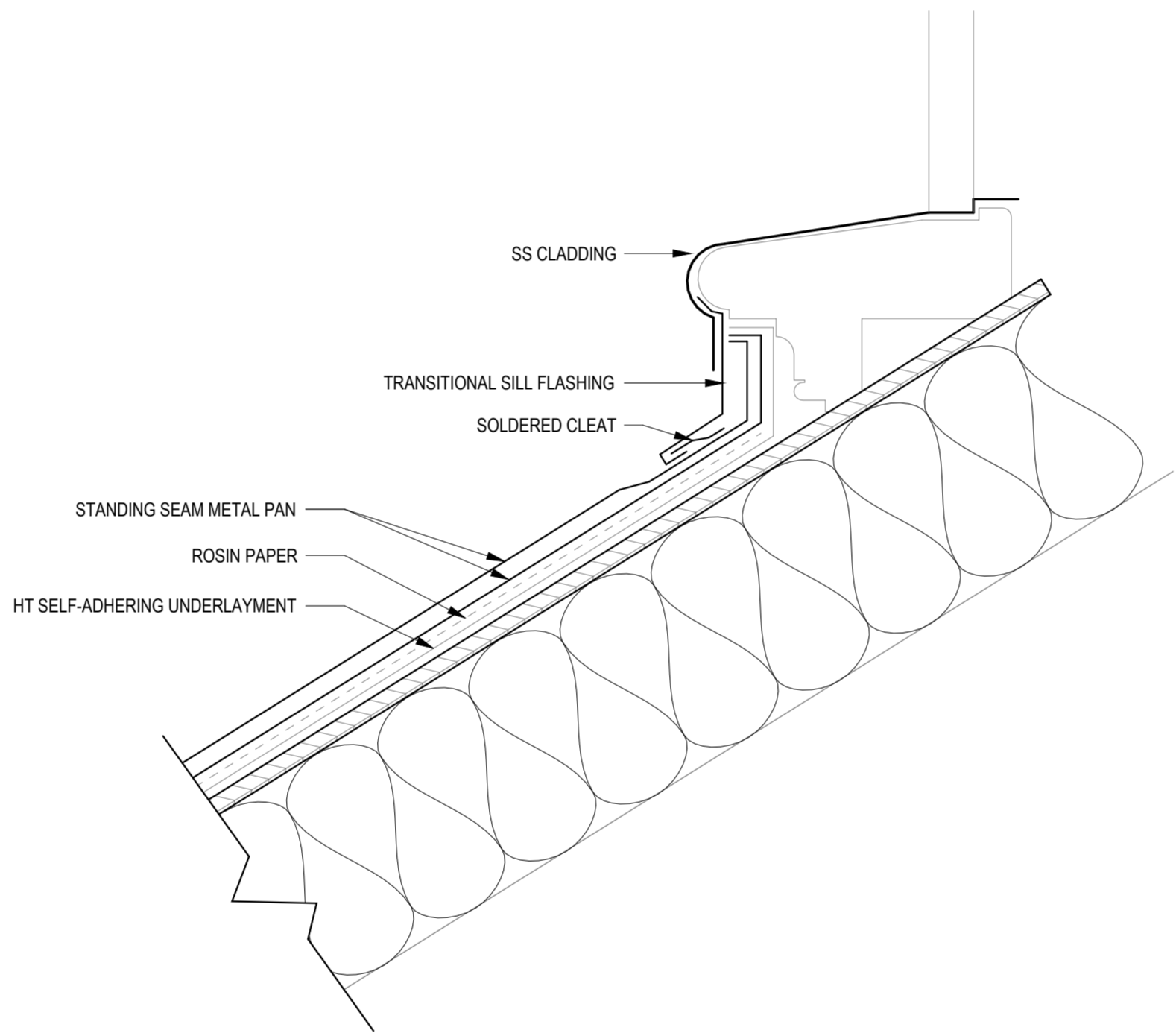
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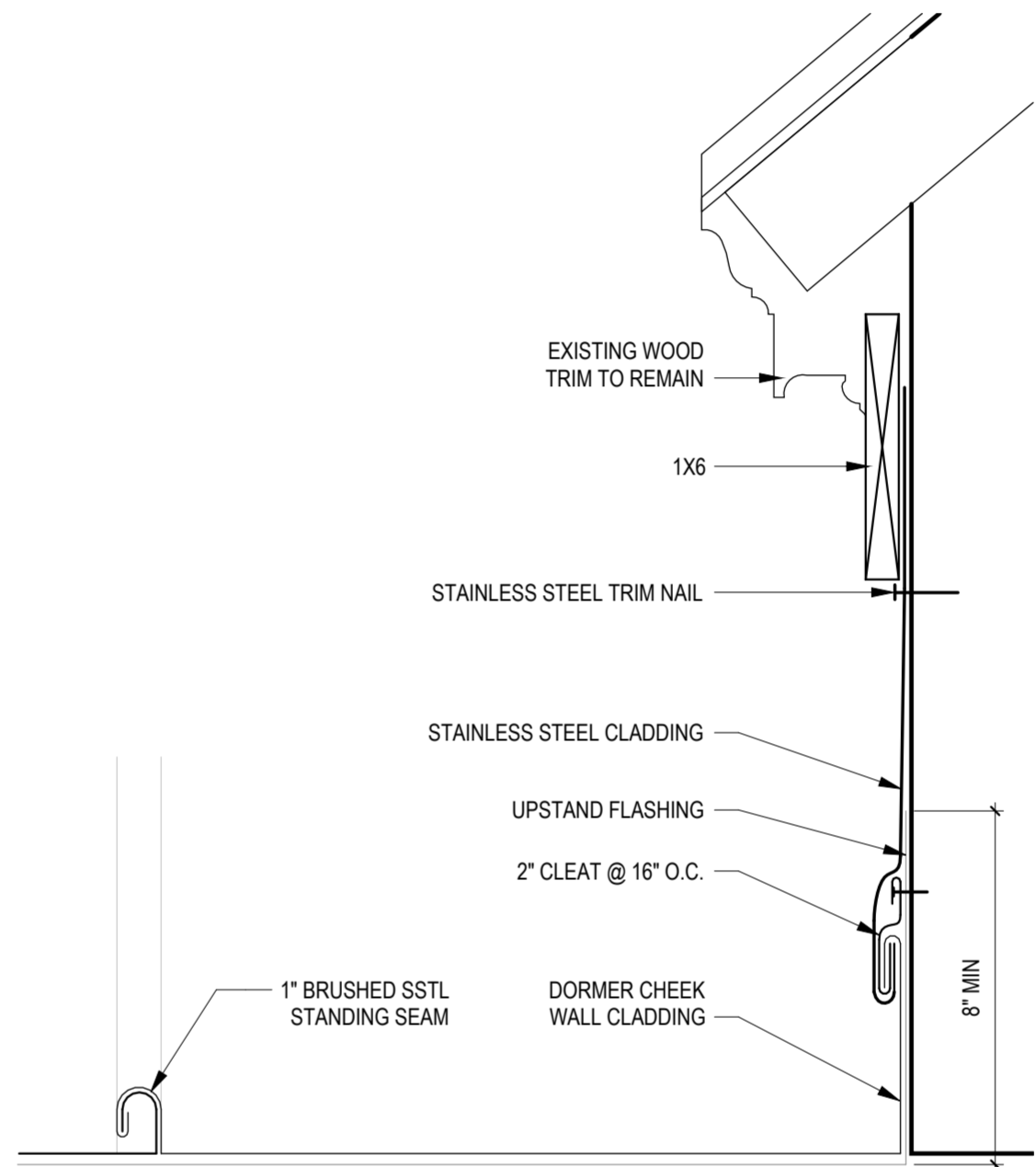
6
A8.0
DETAIL AT EXHAUST VENT DETAIL
3" = 1'-0"



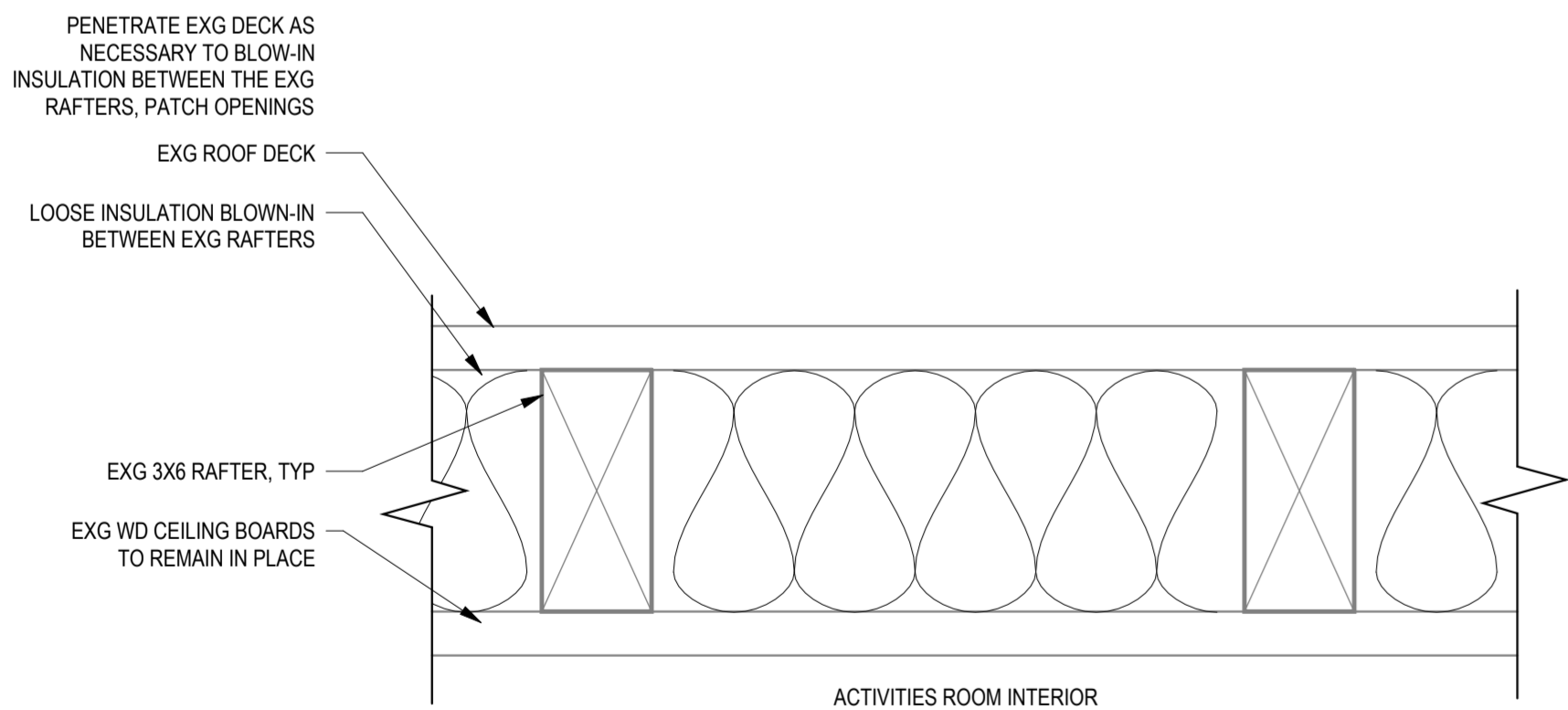
3
A8.0
VENT PIPE DETAIL
3" = 1'-0"



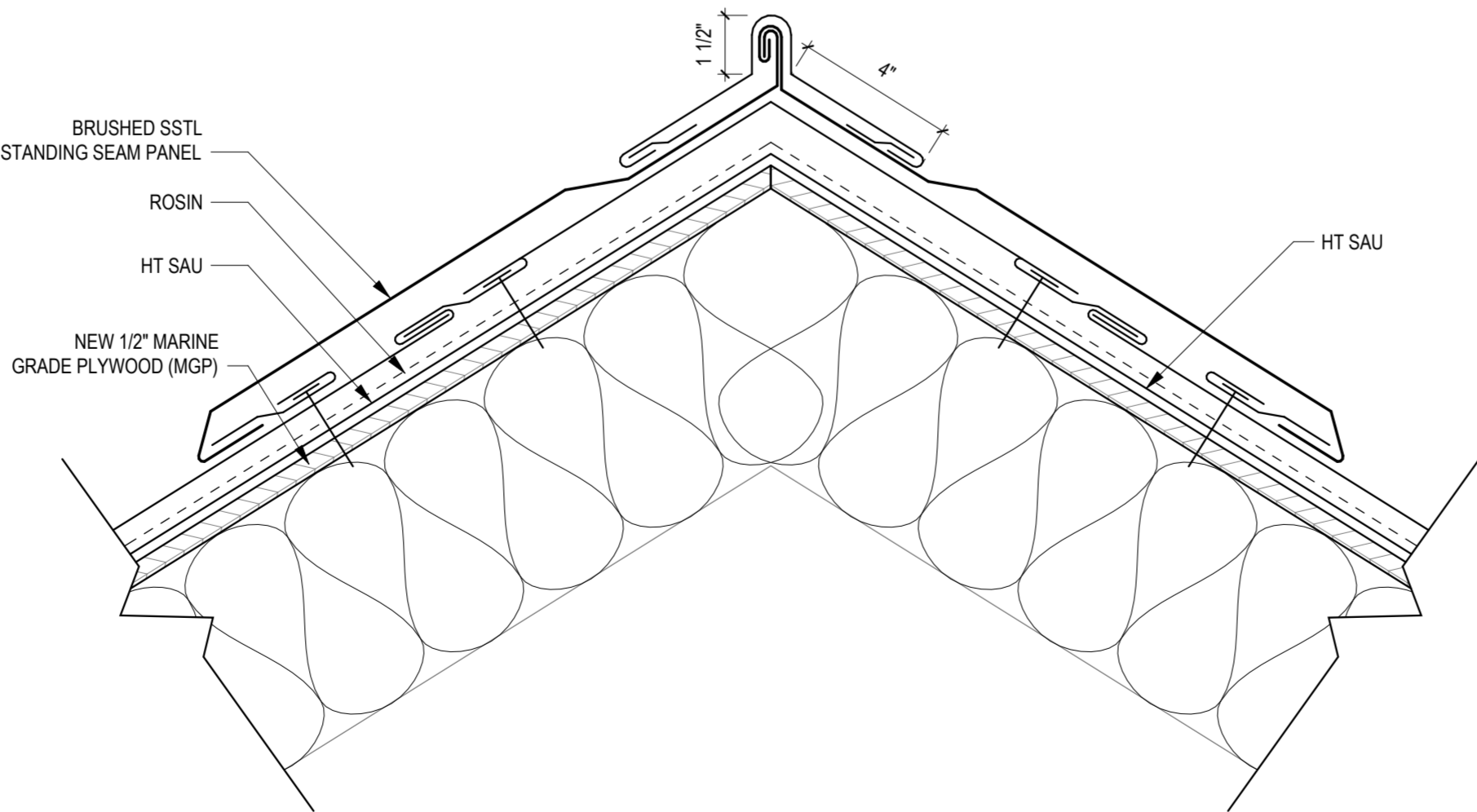
5
A8.0
DORMER WINDOW SILL CLADDING DETAIL
3" = 1'-0"



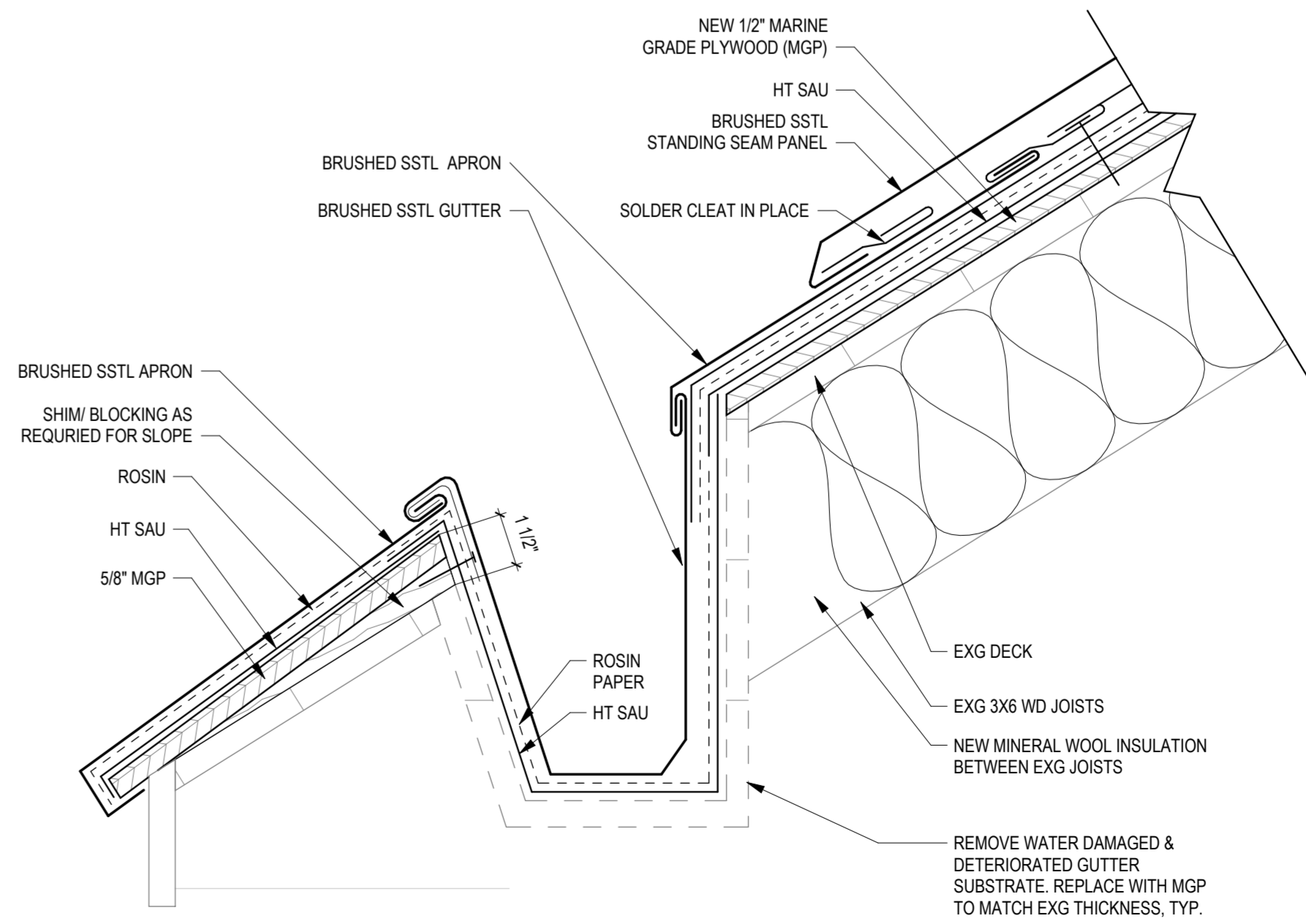
2
A8.0
DORMER CHEEK WALL FLASHING DETAIL
3" = 1'-0"





7
A8.0
HIGH ROOF INSULATION DETAIL
3" = 1'-0"



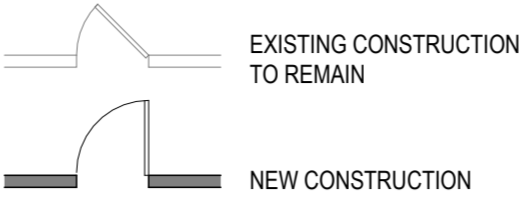
4
A8.0
DETAIL AT ROOF HIP & RIDGE
3" = 1'-0"



1
A8.0
GUTTER DETAIL
3" = 1'-0"

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ISSUE	DATE	REVISIONS
<div><div></div><div>CONSTRUCTION DOCUMENTS</div></div>		
PROJECT COORDINATOR		
LEEANN SUEN		
SEALS		
<div></div>		
<div><div><div>SMPARCHITECTS</div><div>1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</div></div><div><div>LANDSCAPE ARCHITECT: GROUND RECONSIDERED</div><div>www.groundreconsidered.com 215 790 0727</div></div><div><div>CIVIL ENGINEER: KS ENGINEERS</div><div>www.kseng.com 215 925 0425</div></div><div><div>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING</div><div>arstructural.com 610 688 2566</div></div><div><div>MEP ENGINEER: ARORA ENGINEERS</div><div>www.aroraengineers.com 610 459 7900</div></div><div><div>ROOFING CONSULTANT: STEPHEN McLAUGHLIN ROOFING CONSULTANT</div><div>stevemclaughlin.biz 856 287 2424</div></div></div>		
<div><div><div>CITY OF PHILADELPHIA</div><div>DEPARTMENT OF PARKS & RECREATION</div><div>1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA</div></div></div>		
PROJECT TITLE		
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE		
ROOF DETAILS		
PROJECT NO.		A8.0
16315E-03-02		
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY	Author	
CHECKED BY	Checker	FILE
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PLAN KEY:



GENERAL NOTES:

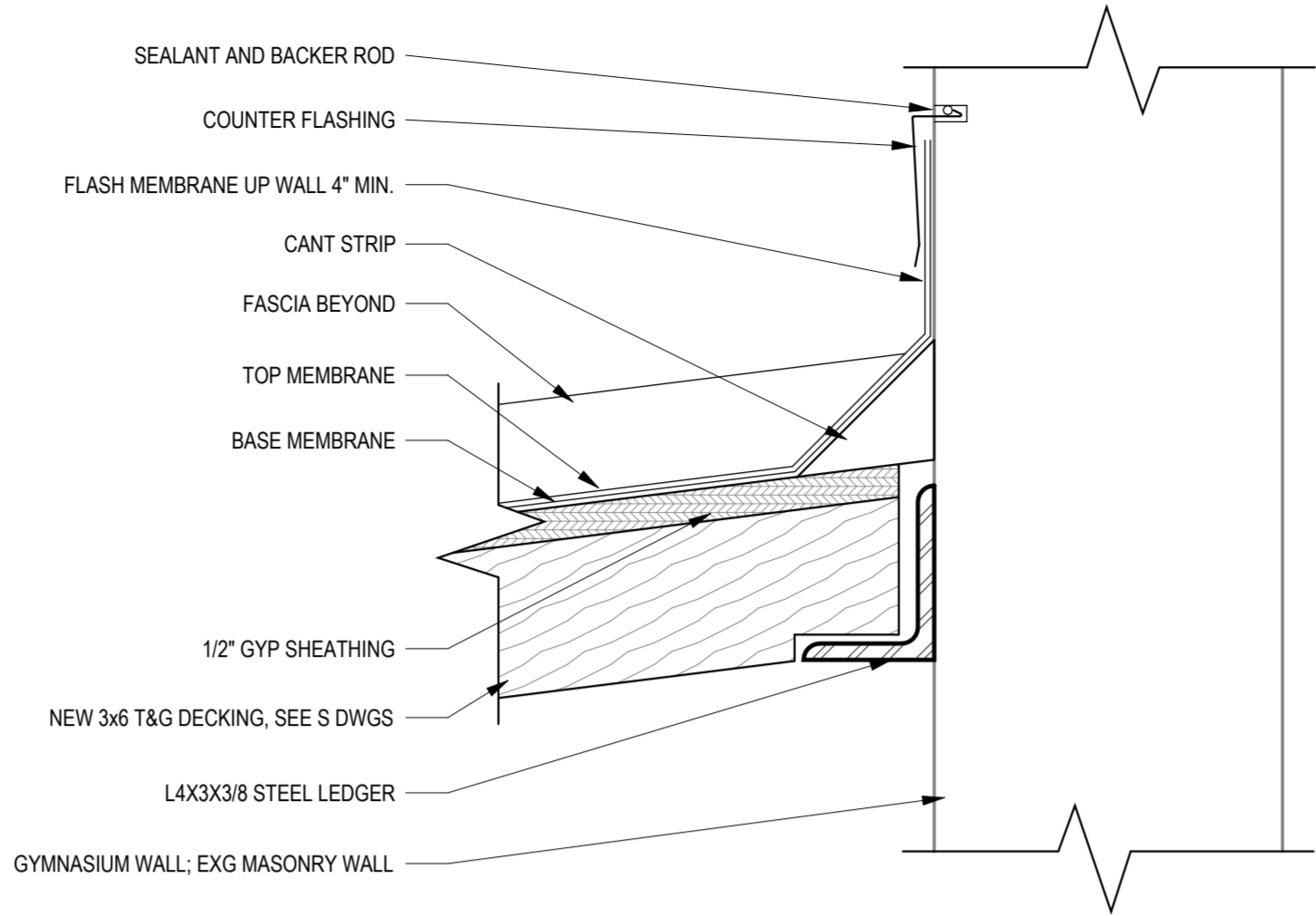
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14. ALL DOWNSPOUTS ETR; PROVIDE NEW CAST IRON BOOTS, TYP FOR EACH EXG DOWNSPOUT.

KEYED EXISTING NOTES

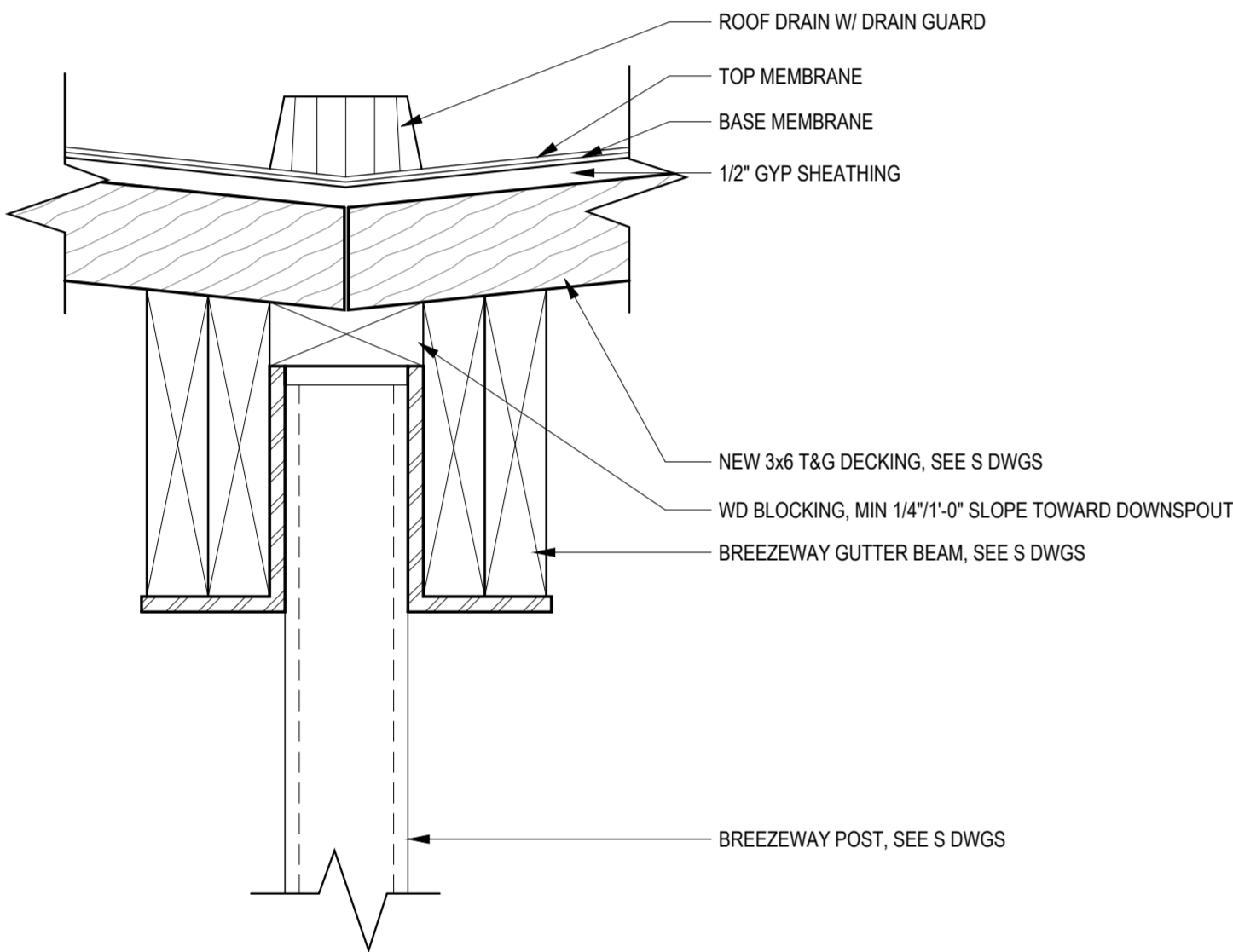
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KEYED CONSTRUCTION NOTES

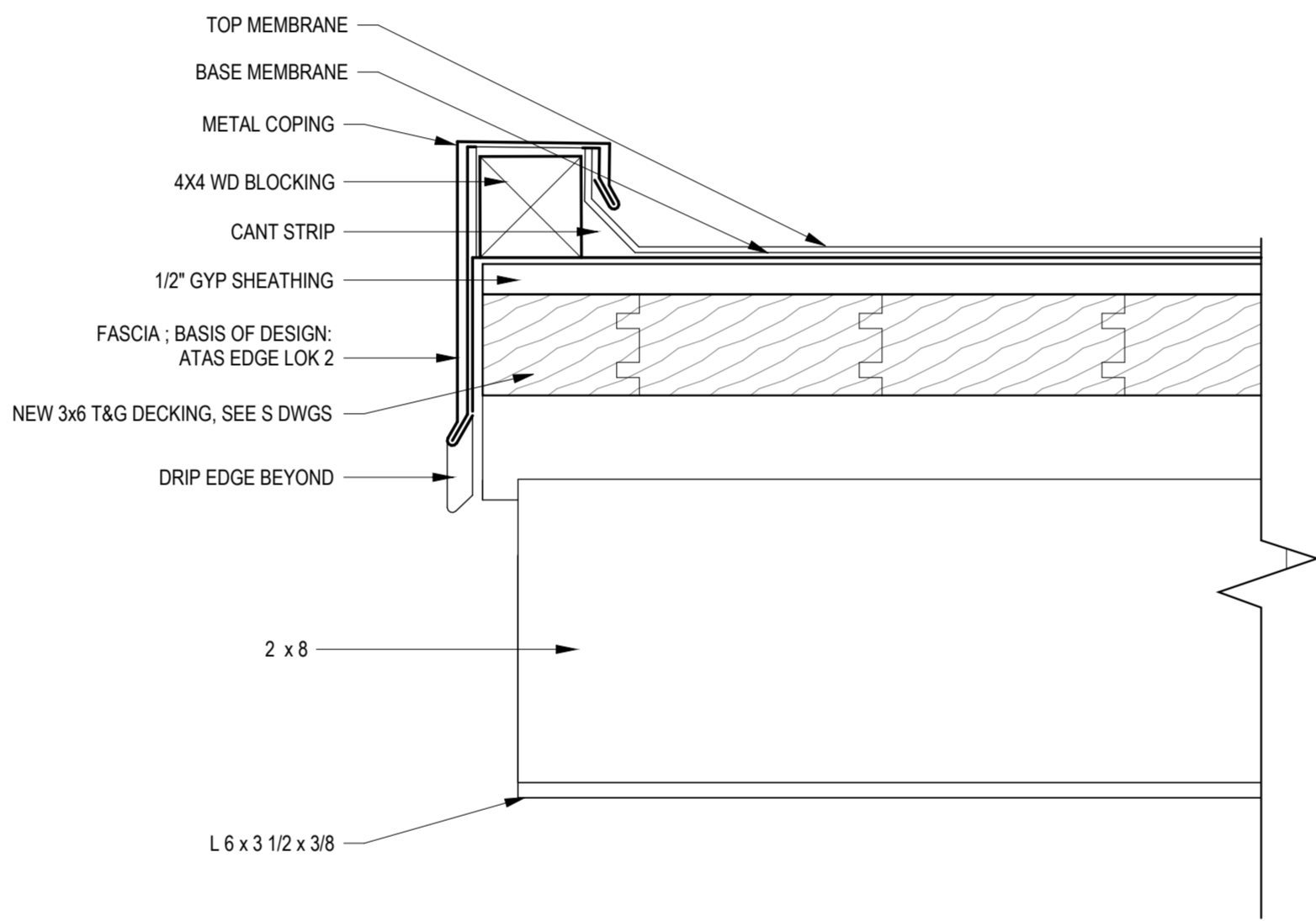
- CN-16 PROVIDE NEW CONCRETE LANDING, STAIRS, AND RAMP WITH CURB AND RAILING; SEE CIVIL DWGS FOR GRADING, SEE L DWGS FOR DETAILS.
- CN-26 PROVIDE NEW BREEZEWAY ROOF DECKING AND ROOF MEMBRANE; SEE STRUCT DWGS.
- CN-27 PROVIDE NEW BREEZEWAY COLUMNS AND FOOTINGS; SEE S DWGS.
- CN-35 PROVIDE NEW HM SYSTEM. SEE DOOR TYPES & DETAILS.
- CN-47 PROVIDE NEW ROOF DRAIN WITH DRAIN GUARD, DOWNSPOUT & BOOT. NEW STORMWATER CONNECTION, SEE CIVIL DWGS



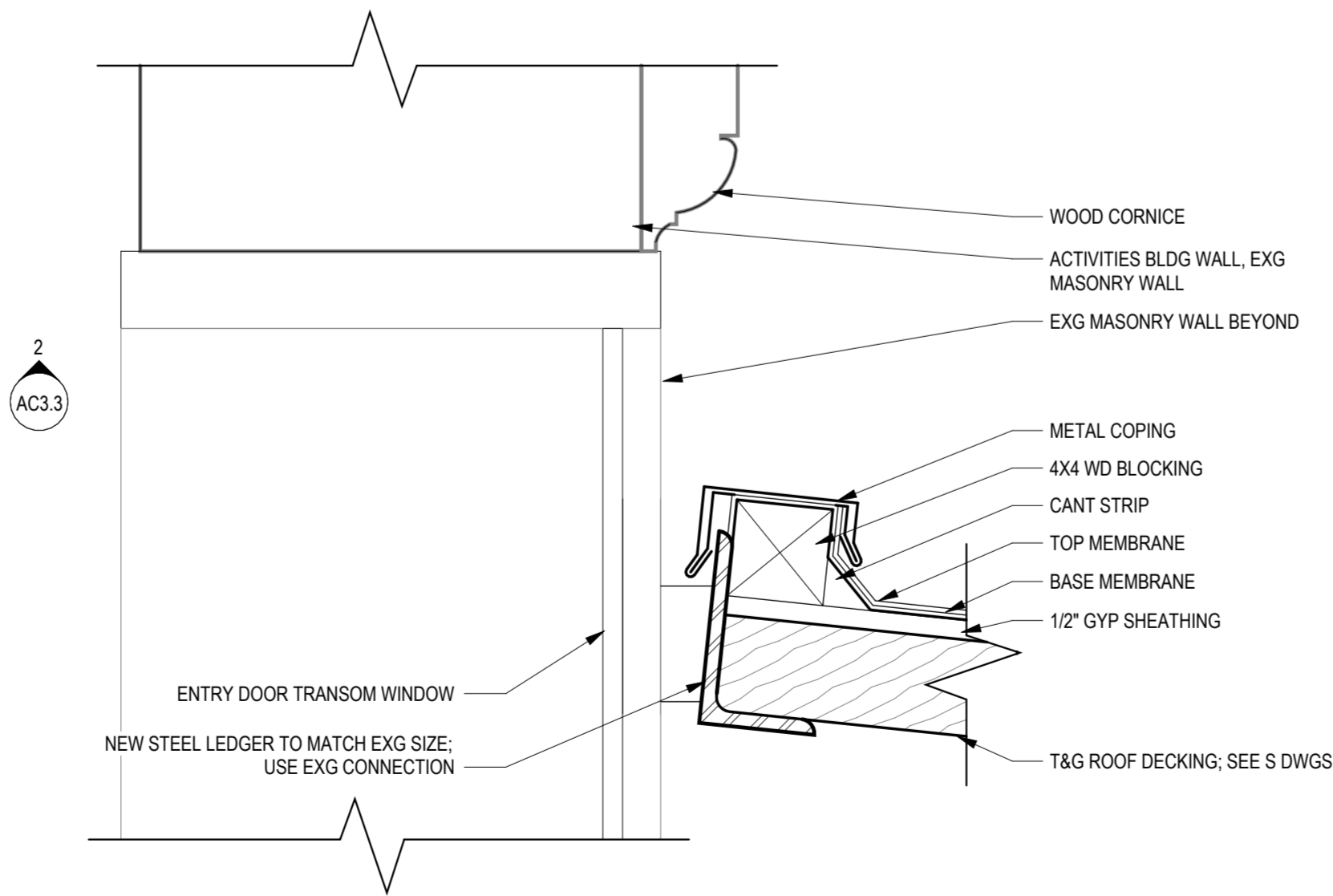
5 BREEZEWAY DETAIL AT GYMNASIUM
A8.1 3" = 1'-0"



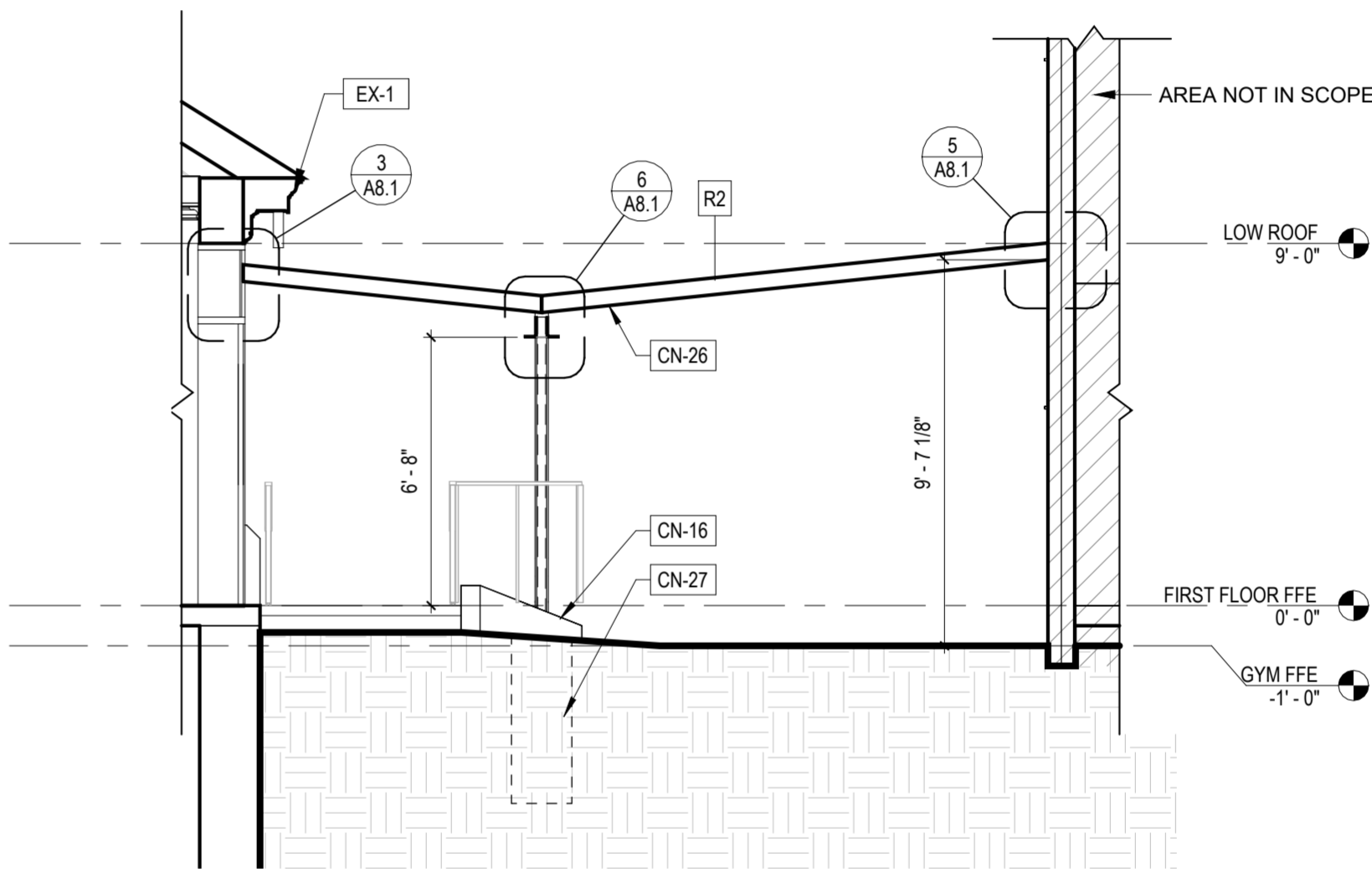
6 BREEZEWAY DETAIL AT COLUMNS
A8.1 3" = 1'-0"



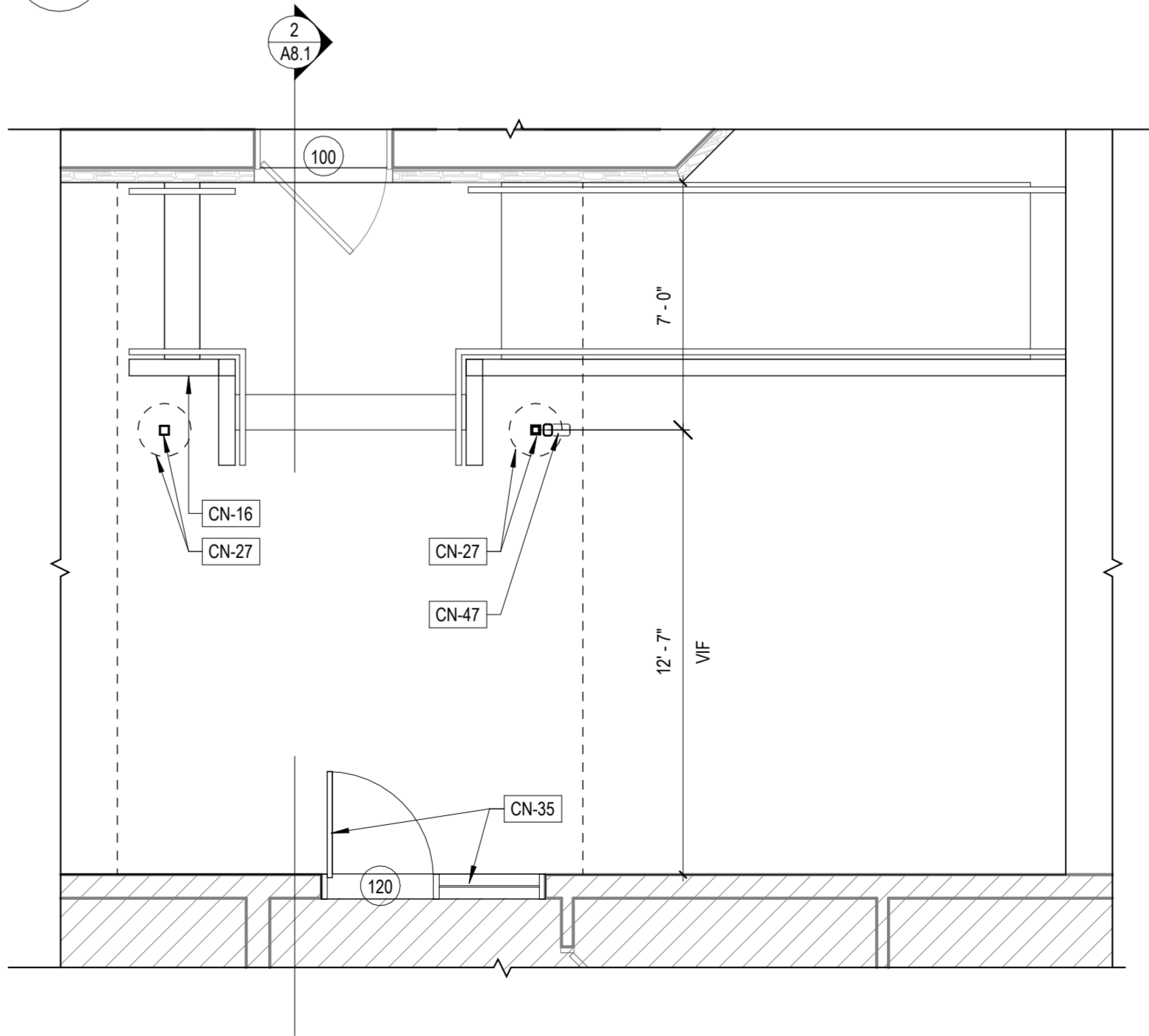
4 BREEZEWAY DETAIL @ FREE EDGE
A8.1 3" = 1'-0"



3 BREEZEWAY DETAIL AT ACTIVITIES BUILDING
A8.1 3" = 1'-0"



2 ENLARGED SECTION - BREEZEWAY
A8.1 1/4" = 1'-0"



1 ENLARGED PLAN - BREEZEWAY FOOTINGS, STAIR & RAMP
A8.1 1/4" = 1'-0"

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1515 ARCH STREET
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PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE
**BREEZEWAY ENLARGED PLAN &
DETAILS**

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

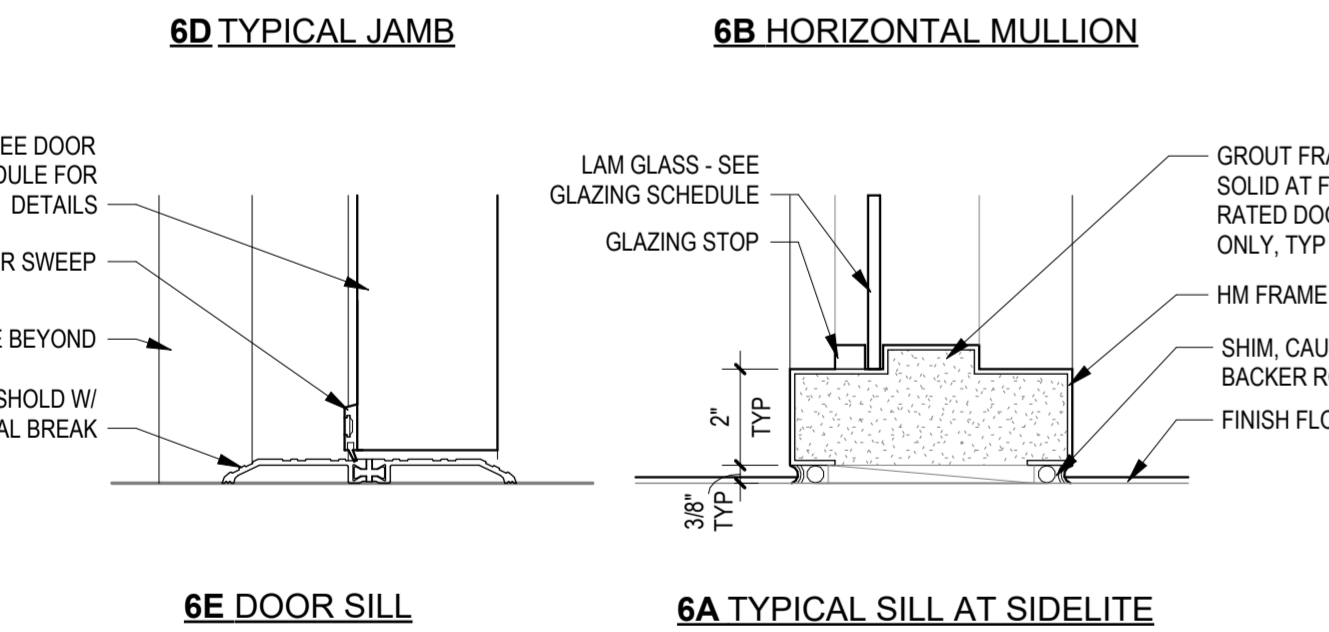
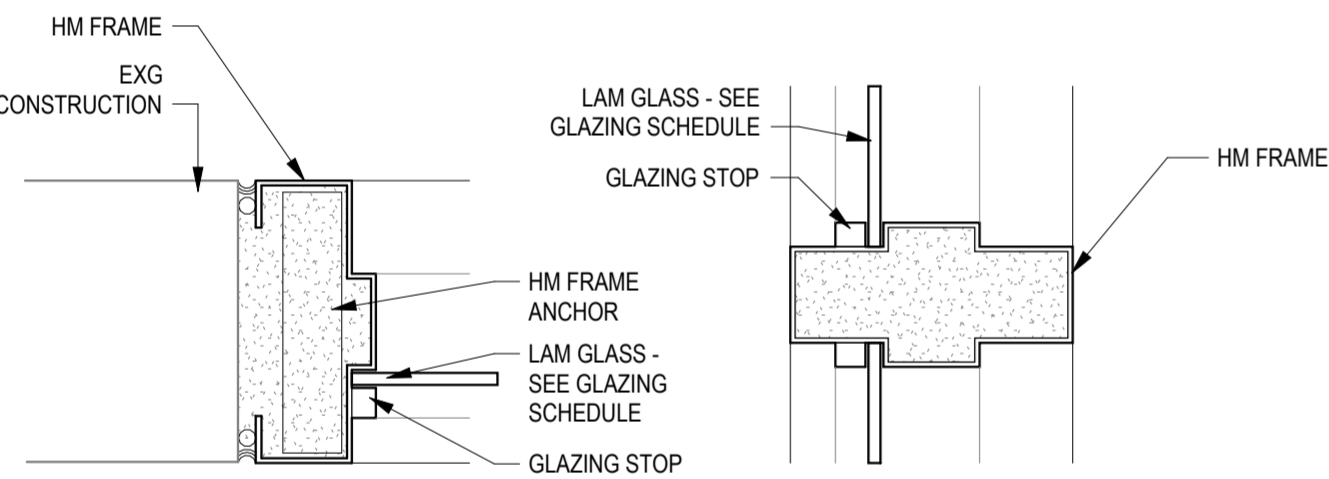
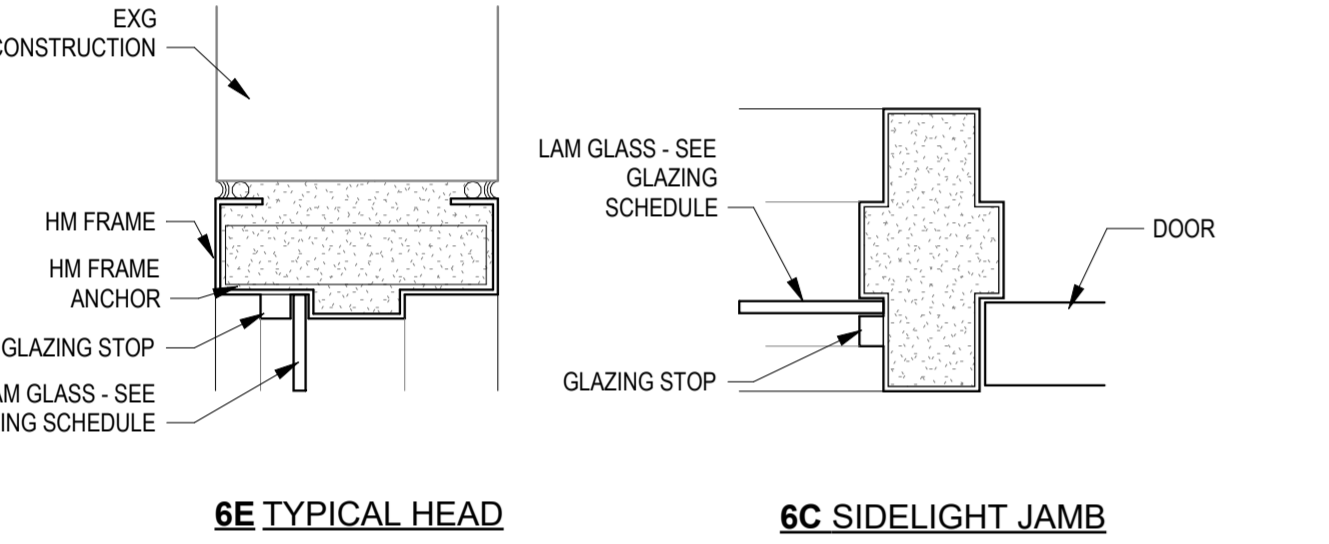
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JS/SCR

CHECKED BY
SCR/TW

A8.1

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

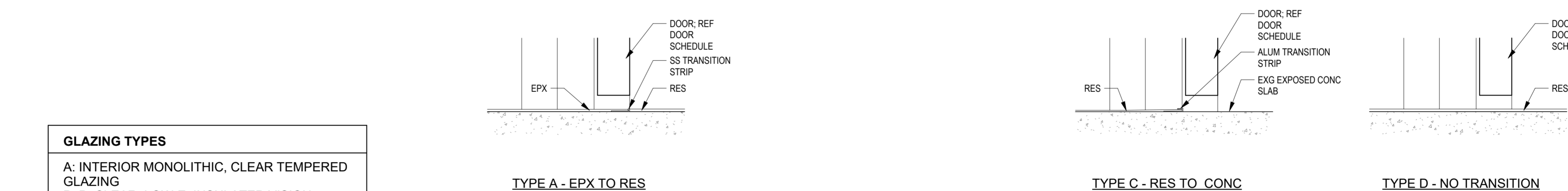
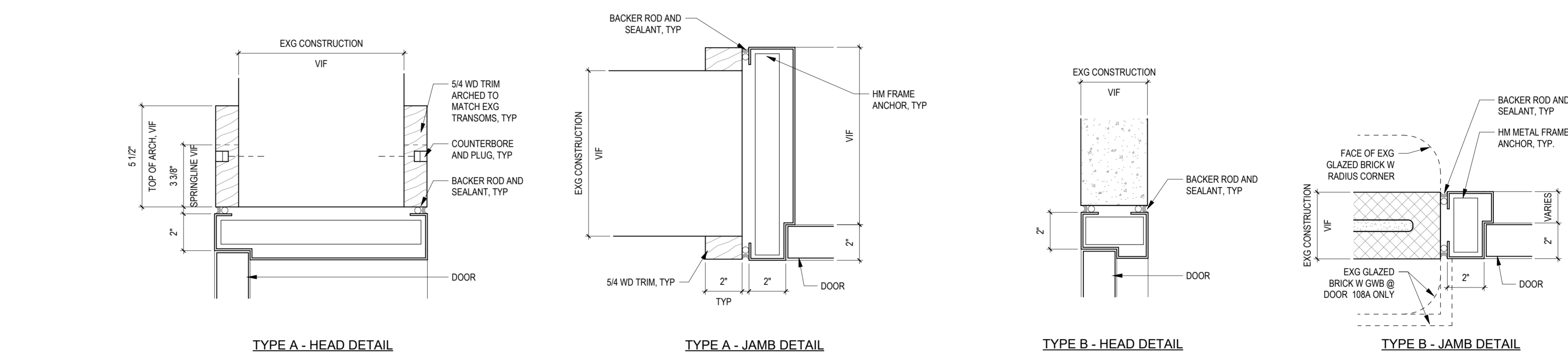
6 HM STOREFRONT TYPES
A9.0 1/4" = 1'-0"



5 HM FRAMED GLAZING DETAILS
A9.0 3" = 1'-0"

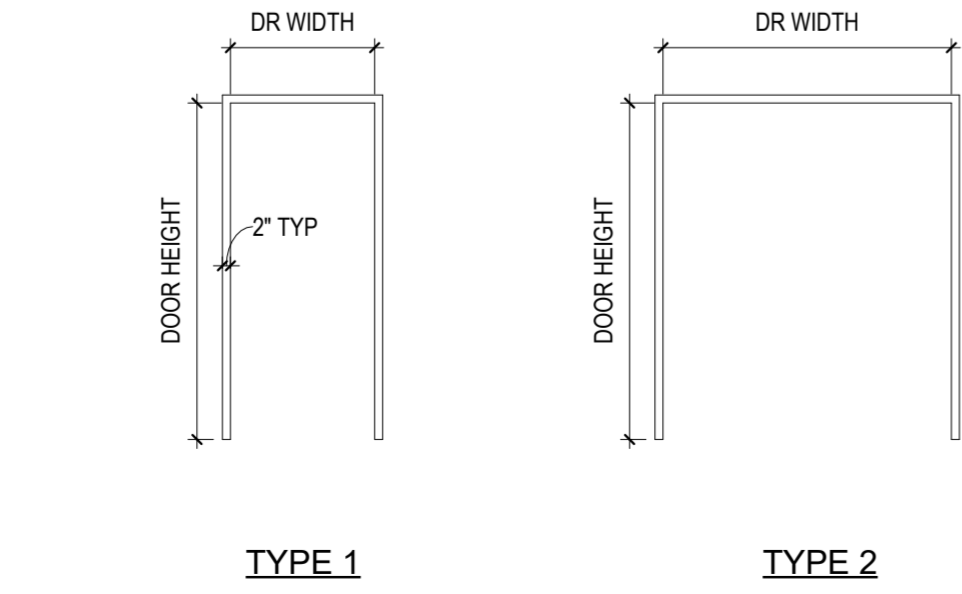
DOOR SCHEDULE																					
DOOR NO.	ROOM	NEW	EXG	INT	EXT	DOOR						FRAME			DETAILS			HARDWARE	NOTES		
						TYPE	MAT	RATING	WIDTH	HEIGHT	FIN	GLAZING	TYPE	MAT	FIN	HEAD	JAMB			SILL	
100	EAST CORRIDOR		•		•	EXG	SS	-	3'-7"	7'-0"	EXG	EXG	EXG	EXG	PT	EXG	EXG	EXG	10A	PROVIDE ENTRANCE FLOOR MAT	
101	RESTROOM	•		•		B	HM	-	3'-0"	7'-0"	PT	-	1	HM	PT	A	A	A	04		
102	COMPUTER ROOM	•		•		C	HM	-	3'-0"	7'-0"	PT	A	1	HM	PT	A	A	D	05		
104	JANITOR'S CLOSET	•		•		F	HM	-	6'-0"	7'-0"	PT	-	2	HM	PT	B	B	A	08A		
105	OFFICE	•		•		C	HM	-	3'-0"	7'-0"	PT	A	EXG	EXG	PT	EXG	EXG	D	01		
106A	ACTIVITIES ROOM	•			•	G	SS	-	7'-0"	7'-6"	PT	-	EXG	EXG	PT	EXG	EXG	EXG	07	REUSE EXG FRAME; PATCH AND REPAIR AS NECESSARY; PROVIDE ENTRANCE FLOOR MAT	
106B	ACTIVITIES ROOM		•		•	EXG	SS	-	4'-1"	7'-4"	EXG	EXG	1	EXG	PT	EXG	EXG	EXG	10	PROVIDE ENTRANCE FLOOR MAT	
106C	ACTIVITIES ROOM	•		•		C	HM	-	3'-4"	7'-4"	PT	-	1	HM	PT	A	A	D	02		
107	BREAK ROOM	•		•		C	HM	-	3'-0"	7'-0"	PT	A	1	HM	PT	B	B	D	01		
108	STORAGE	•		•		B	HM	-	3'-0"	7'-0"	PT	-	1	HM	PT	B	B	D	08		
110	WEST CORRIDOR		•		•	EXG	SS	-	3'-7"	7'-0"	EXG	EXG	EXG	EXG	PT	EXG	EXG	EXG	10	PROVIDE ENTRANCE FLOOR MAT	
111	STORAGE	•		•		B	HM	-	3'-0"	7'-0"	PT	-	1	HM	PT	B	B	C	08		
112	RESTROOM	•		•		B	HM	-	3'-0"	7'-0"	PT	-	1	HM	PT	B	B	A	04		
113	RESTROOM	•		•		B	HM	-	3'-0"	7'-0"	PT	-	1	HM	PT	A	A	A	04		
114	RESTROOM	•		•		B	HM	-	3'-0"	7'-0"	PT	-	1	HM	PT	A	A	A	04		
120	GYMNASIUM	•		•		E	SS	-	3'-0"	7'-0"	FF	B	SEE NOTES	HM	PT	SEE NOTES	SEE NOTES	SEE NOTES	10A		

4 DOOR HEAD & JAMB DETAILS
A9.0 3" = 1'-0"

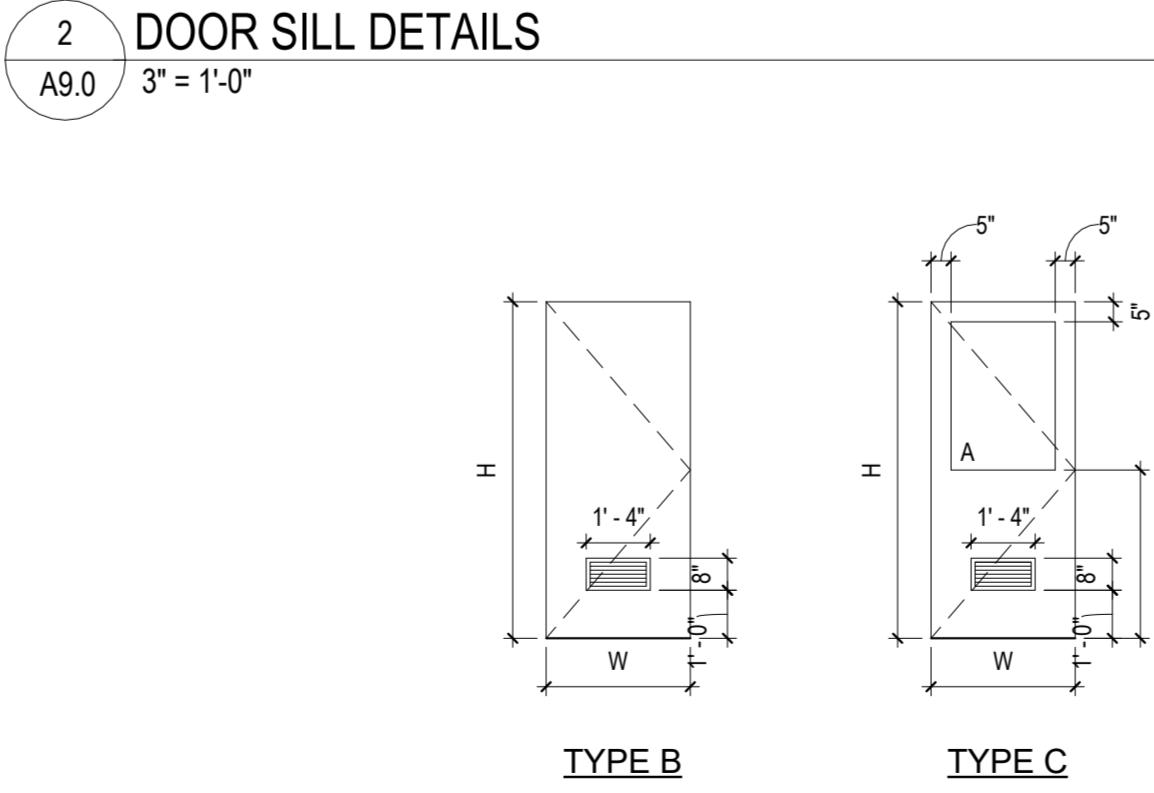


2 DOOR SILL DETAILS
A9.0 3" = 1'-0"

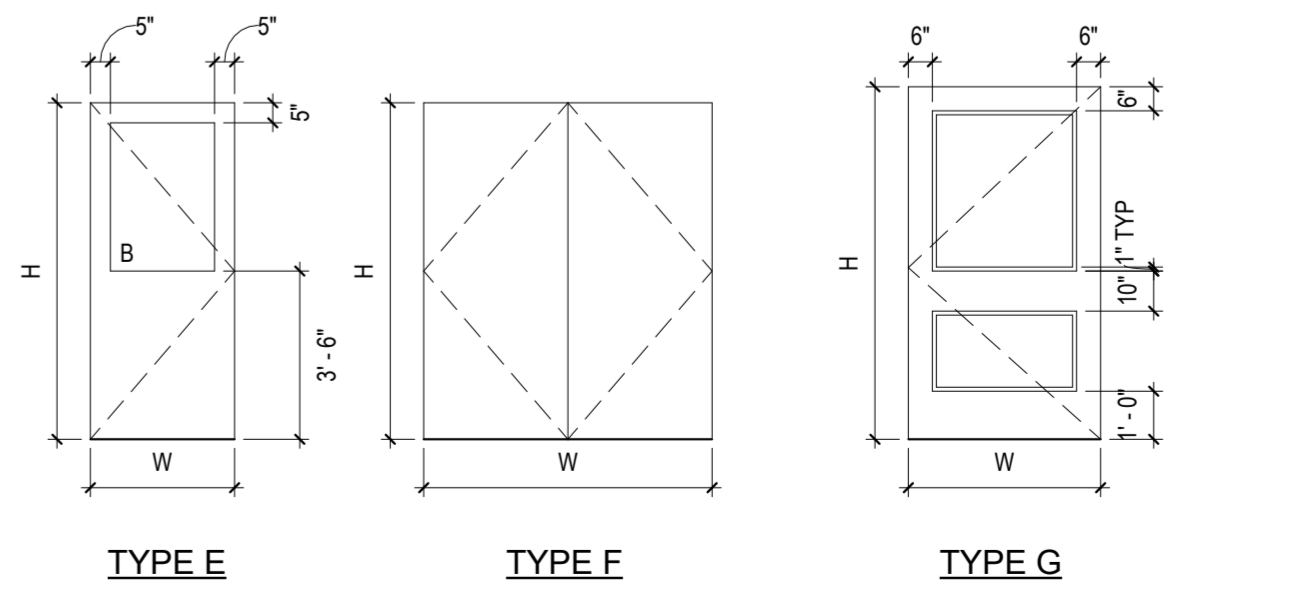
GLAZING TYPES
A: INTERIOR MONOLITHIC, CLEAR TEMPERED GLAZING
B: B: CLEAR, LOW-E, INSULATED VISION GLASS.



3 DOOR FRAME TYPES
A9.0 1/4" = 1'-0"



1 DOOR TYPES
A9.0 1/4" = 1'-0"

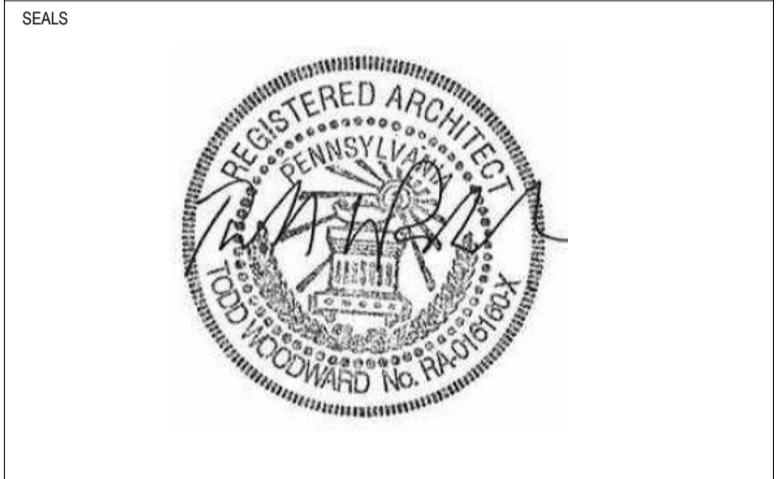


REVISIONS		
ISSUE	DATE	REVISIONS



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arstructural.com
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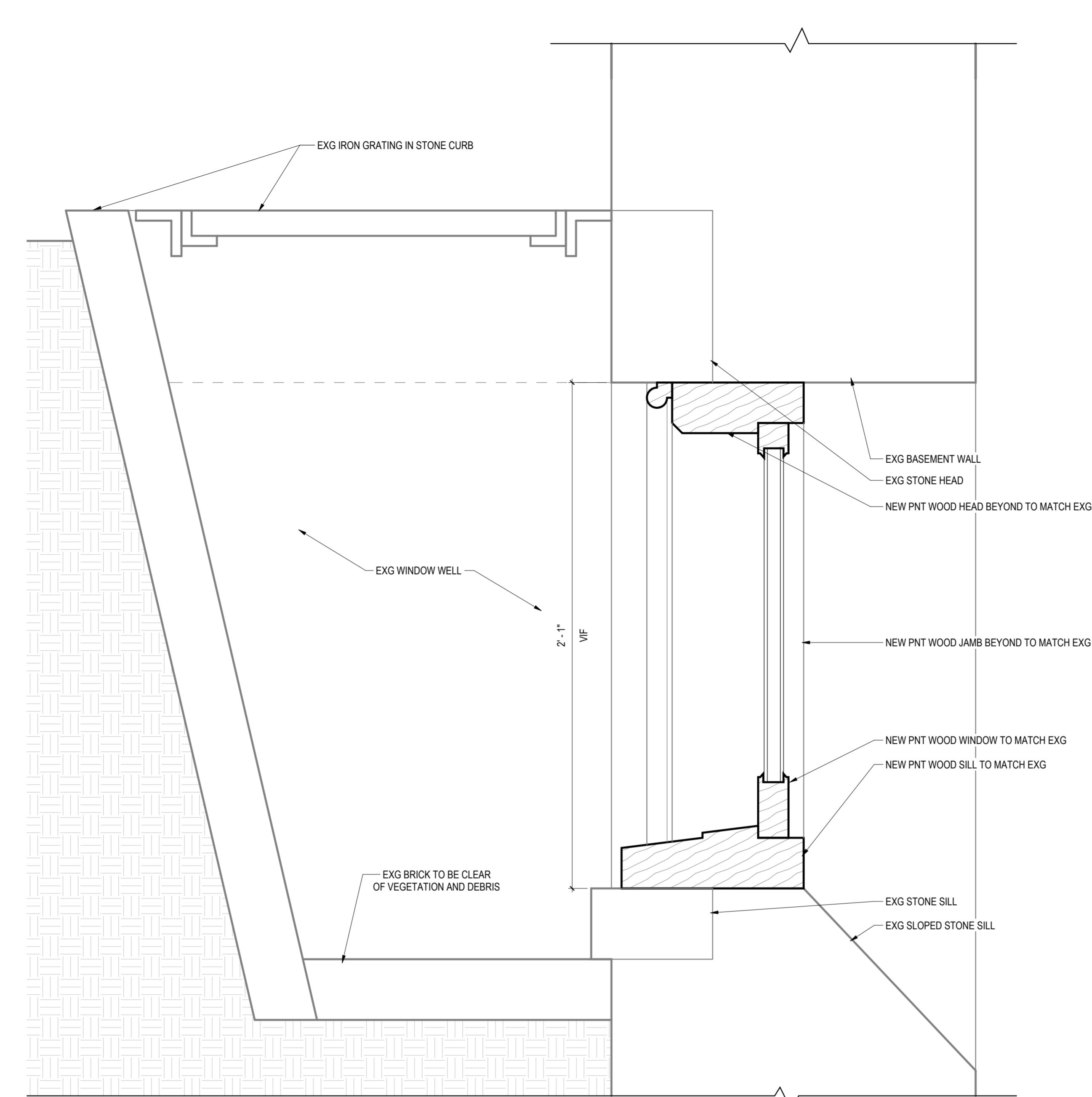
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stevemclaughlin.biz
856 287 2424

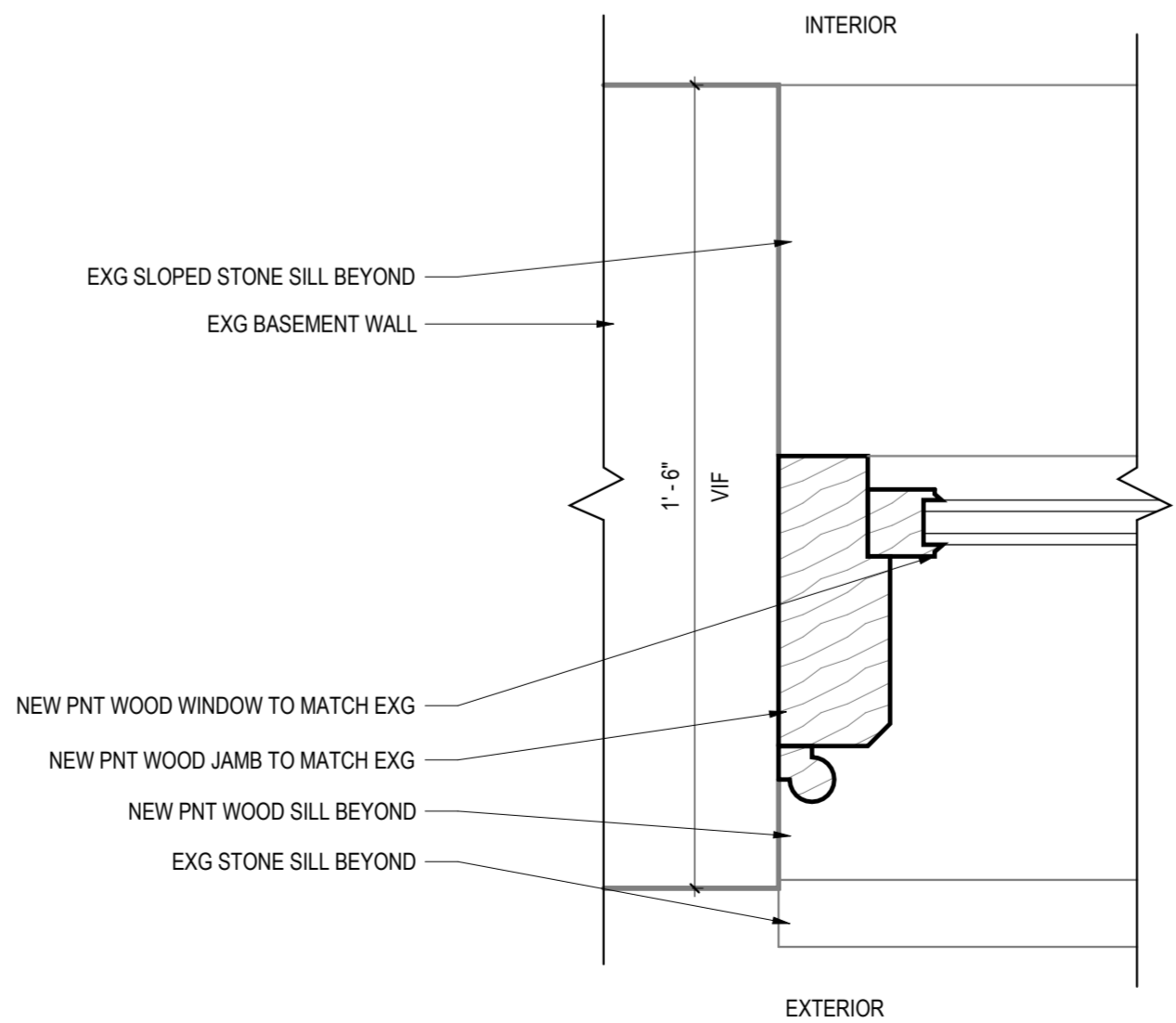
CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

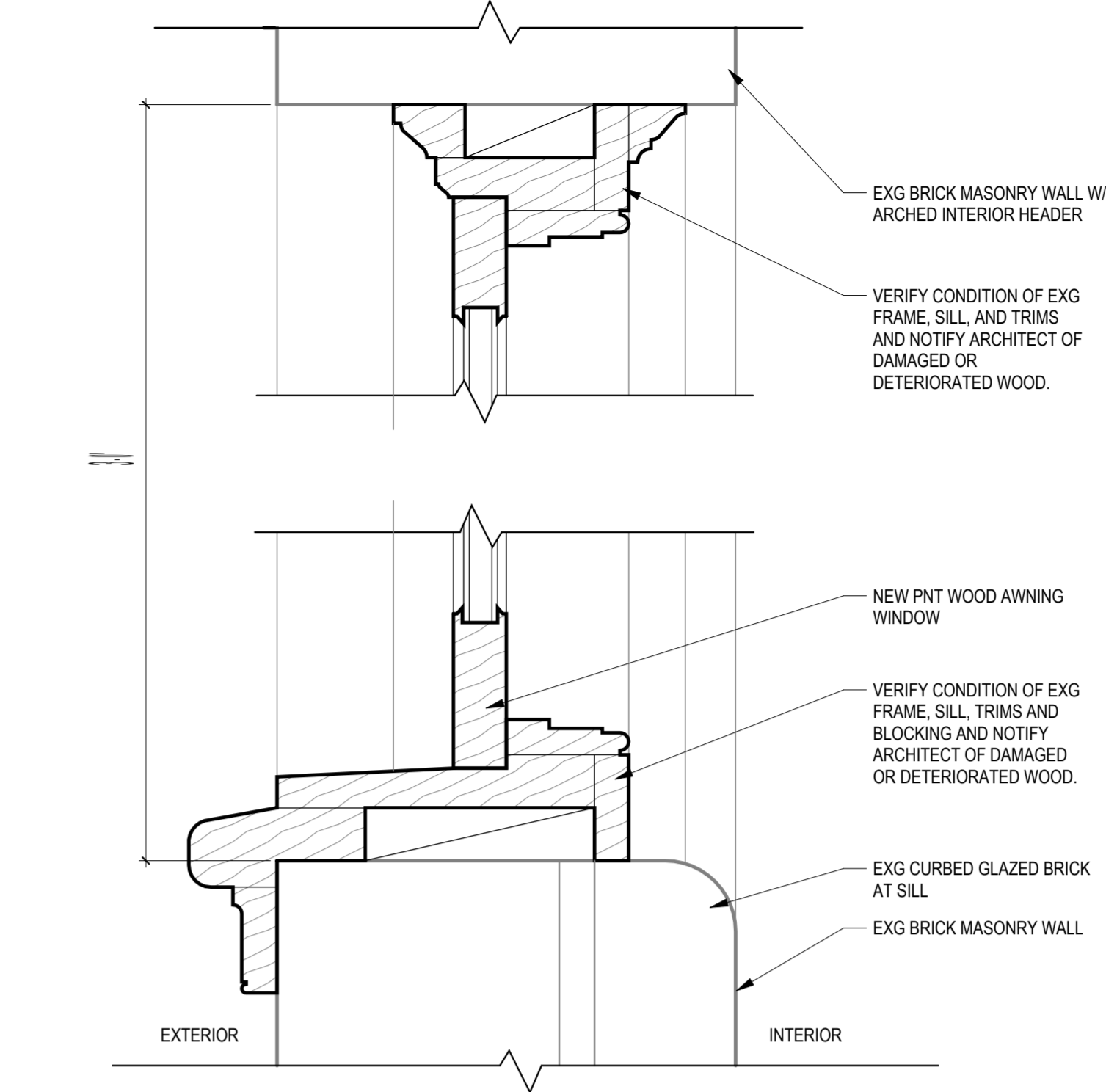
DRAWING TITLE DOOR SCHEDULE, TYPES & DETAILS	
PROJECT NO. 16315E-03-02	DRAWING NO. A9.0
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY JS/SCR	
CHECKED BY SCR/TW	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	



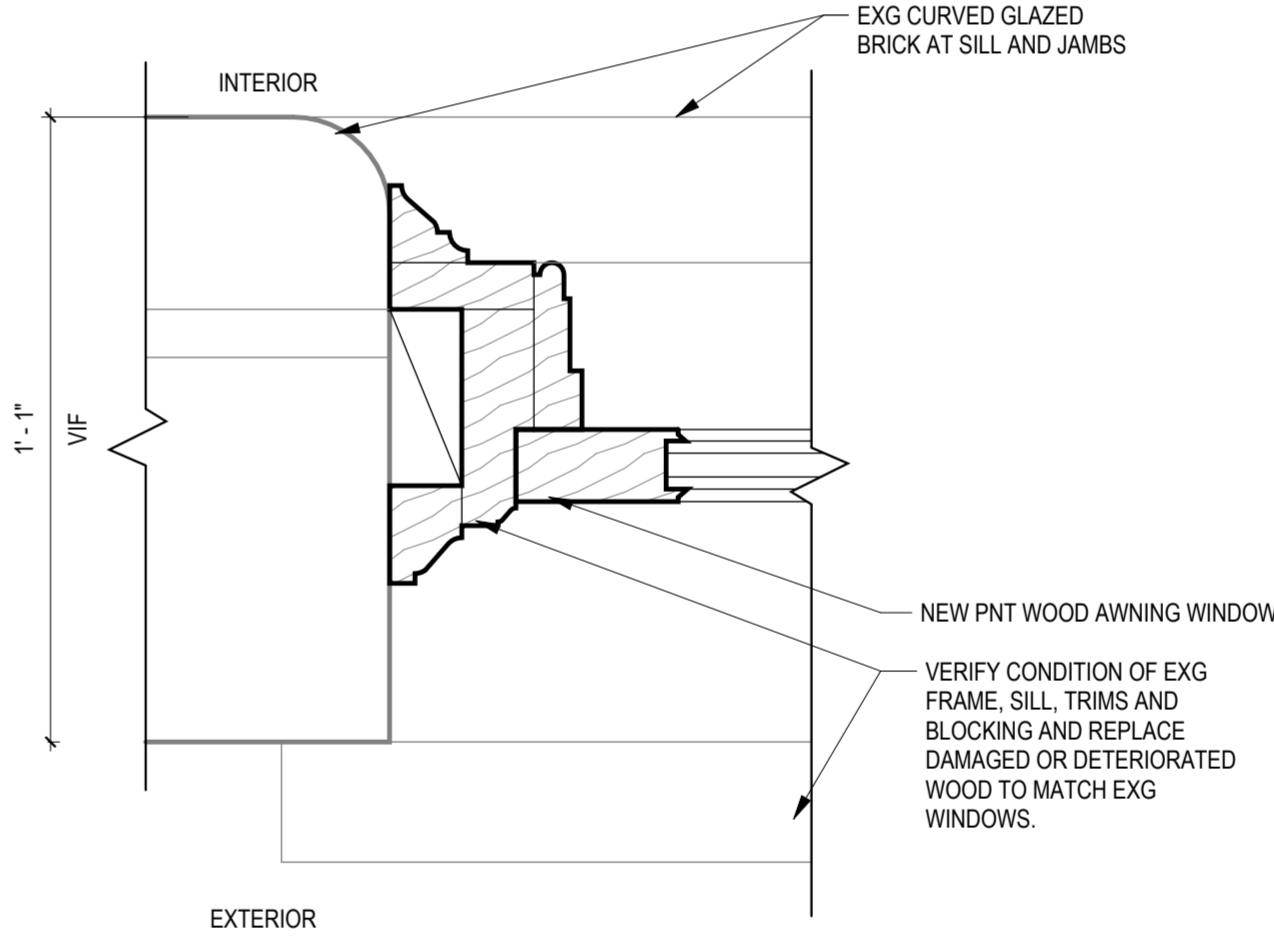
5 WINDOW TYPE W02 SILL & HEAD DETAIL
A9.1 3" = 1'-0"



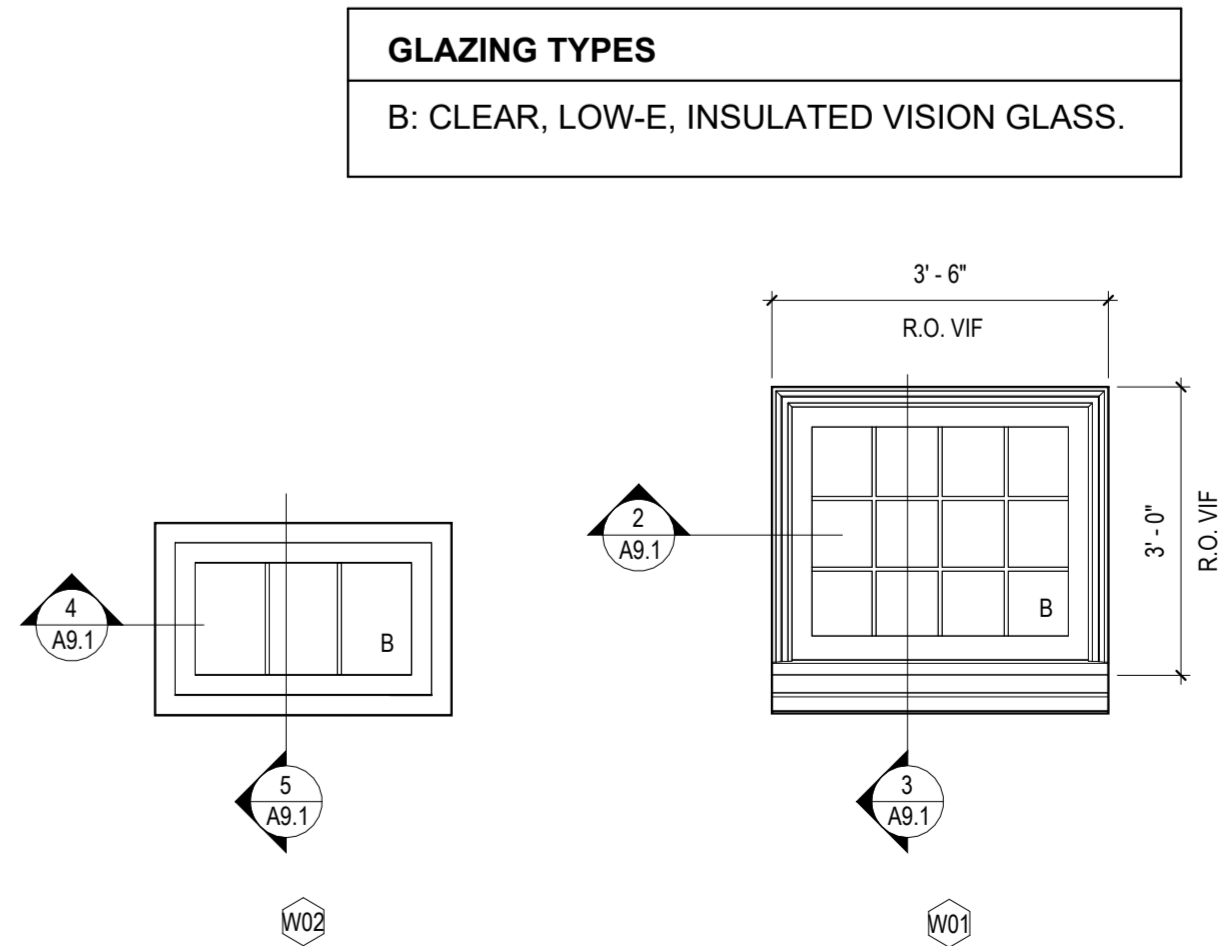
4 WINDOW TYPE W02 JAMB DETAIL
A9.1 3" = 1'-0"



3 WINDOW TYPE W01 SILL & HEAD DETAIL
A9.1 3" = 1'-0"




2 WINDOW TYPE W01 JAMB DETAIL
A9.1 3" = 1'-0"



1 WINDOW TYPES
A9.1 1/2" = 1'-0"


REVISIONS		
ISSUE	DATE	REVISIONS



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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

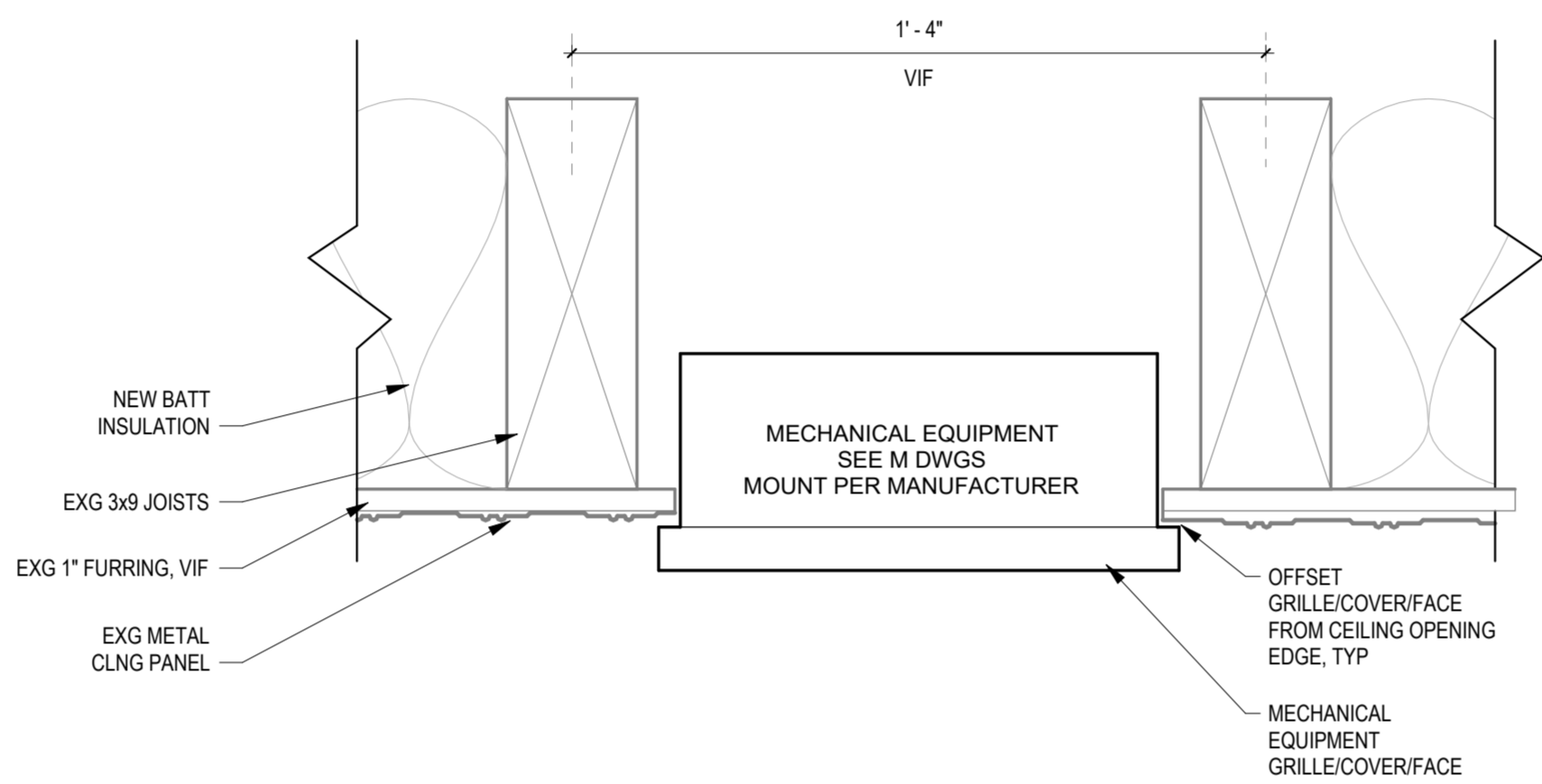
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

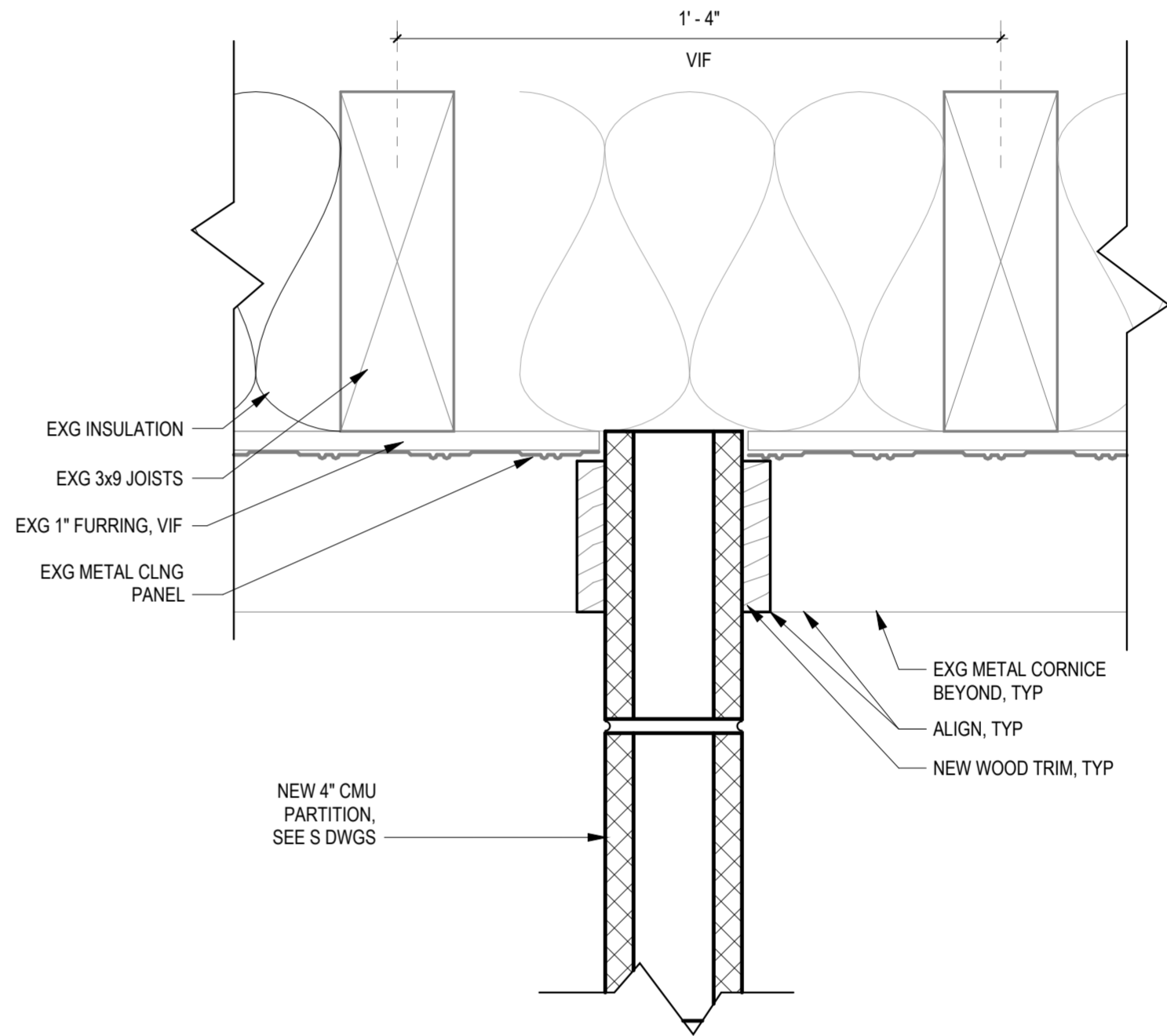
DRAWING TITLE
WINDOW TYPES & DETAILS

PROJECT NO. 16315E-03-02	DRAWING NO. A9.1
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY SCR	
CHECKED BY SCR/TW	

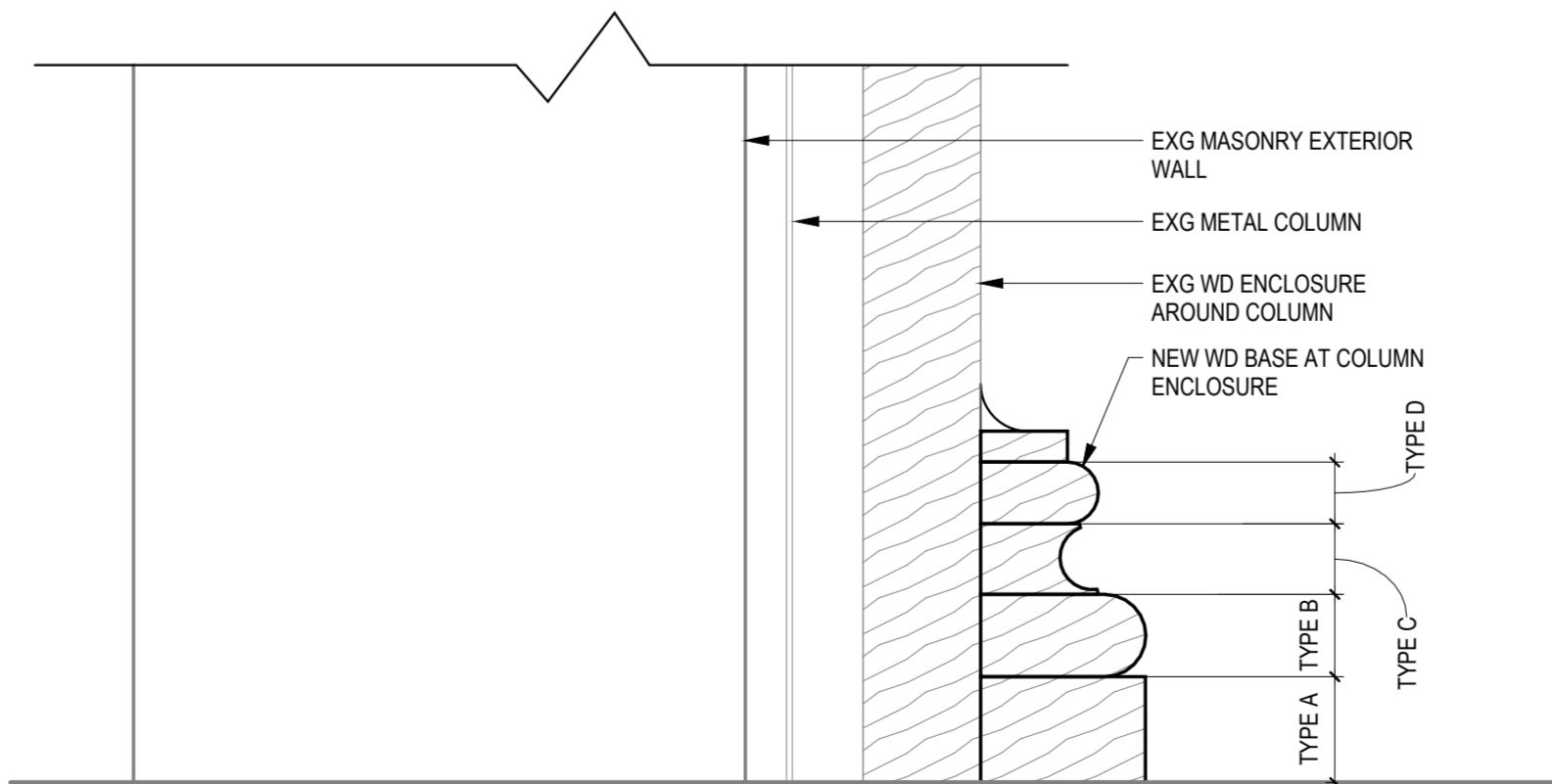
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



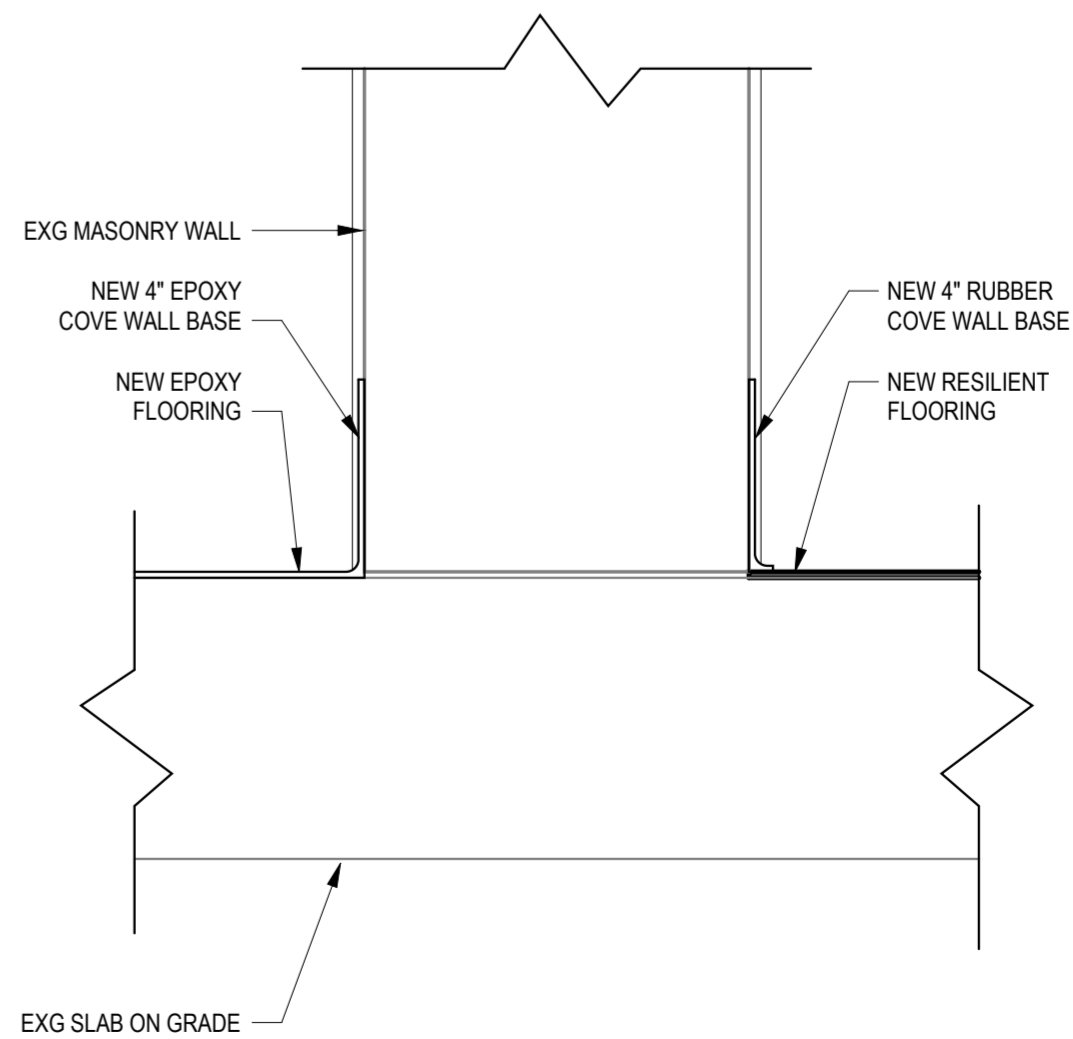
4 METAL CEILING INFILL WITH GRILLE
A10.0 3" = 1'-0"



3 CMU PARTITION TO EXG METAL CEILING
A10.0 3" = 1'-0"



2 WOOD BASE AT COLUMN ENCLOSURE
A10.0 3" = 1'-0"



1 FLOORING AND BASE DETAILS
A10.0 3" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

INTERIOR DETAILS

PROJECT NO.

16315E-03-02

DATE

05/13/2025

SCALE

AS NOTED

DRAWN BY

Author

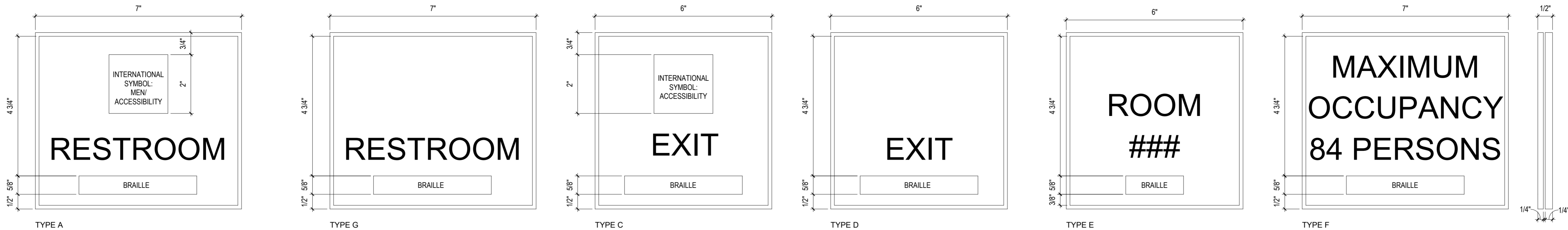
CHECKED BY

Checker

DRAWING NO.

A10.0

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2
A9.2 SIGNAGE TYPES
6" = 1'-0"

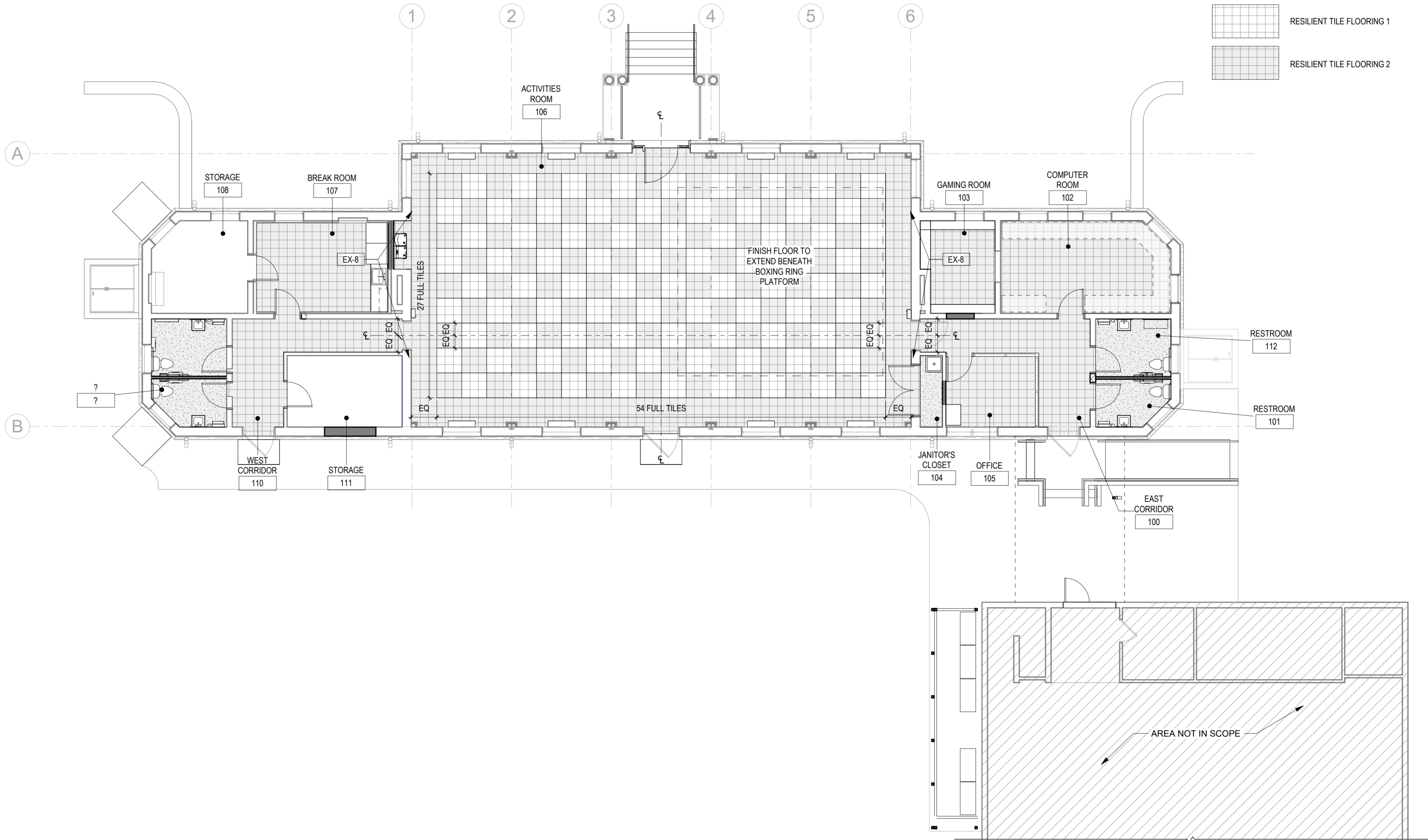
FINISH SCHEDULE																				
ROOM		FLOOR	BASE			NORTH			EAST			SOUTH			WEST			CEILING		NOTES
NO	NAME	MAT	MAT	FIN	HT	MAT	FIN		MAT	FIN		MAT	FIN		MAT	FIN		MAT	FIN	
001	WEST BASEMENT	ETR	-	-	-	ETR	ETR		ETR	ETR		ETR	ETR		ETR	ETR		ETR	ETR	
002	EAST BASEMENT	ETR	-	-	-	ETR	ETR		ETR	ETR		ETR	ETR		ETR	ETR		ETR	ETR	
100	EAST CORRIDOR	RT 2	RB	-	4"	BRK	ETR		BRK	ETR		BRK / CMU	ETR / PT		BRK / CMU	ETR		MTL	PT	NOTE 1, 2, & 5
101	RESTROOM	EPX	EPX COVE	FF	4"	CMU	PT		BRK	ETR		BRK	ETR		BRK	ETR		MTL	PT	NOTE 1 & 5
102	COMPUTER ROOM	RT 2	RB	FF	4"	BRK	ETR		BRK	ETR		BRK	ETR		BRK	ETR		MTL	PT	NOTE 1
103	GAMING ROOM	ETR	ETR	-	-	BRK	PT		BRK	PT		BRK	PT		BRK	PT		MTL	PT	
104	JANITOR'S CLOSET	EPX	EPX COVE	FF	4"	CMU	PT		CMU	PT		BRK	PT		BRK	PT		GWB	PT	
105	OFFICE	RT2	RB	FF	4"	CMU / GLAZ	PT		CMU / GLAZ	PT		BRK	ETR		CMU	PT		MTL	PT	NOTES 1 & 2
106	ACTIVITIES ROOM	RT 1/RT 2	RB	FF	4"	BRK / PLAS	ETR / PT		BRK / PLAS	ETR / PT		BRK / PLAS	ETR / PT		BRK / PLAS	ETR / PT		WD	ETR	NOTES 1, 3, 4 & 6
107	BREAK ROOM	ETR	ETR	-	-	GWB	PT		GWB	PT		GWB	PT		GWB	PT		GWB	PT	
108	STORAGE	ETR	-	-	-	BRK	PT		BRK	PT		BRK	PT		BRK	PT		MTL	PT	
110	WEST CORRIDOR	RT 2	RB	FF	4"	BRK	ETR		BRK / CMU	ETR / PT		BRK / CMU	ETR / PT		BRK	ETR		MTL	PT	NOTE 1
111	STORAGE	ETR	-	-	-	CMU	PT		BRK	PT		BRK / CMU	PT		CMU	PT		MTL	PT	
112	RESTROOM	EPX	EPX COVE	FF	4"	BRK	ETR		BRK	ETR		CMU	PT		BRK	ETR		MTL	PT	NOTE 1
113	RESTROOM	EPX	EPX COVE	FF	4"	BRK	ETR		BRK	ETR		BRK	ETR		BRK	ETR		MTL	PT	NOTE 1
114	RESTROOM																			

- FINISH NOTES:**
1. ORIGINAL GLAZED BRICK TO REMAIN; REMOVE ALL EXG PAINT AND CONSULT ARCHITECT FOR ADDITIONAL RESTORATION MEASURES.
 2. EXG SAFETY GLASS STOREFRONT TO REMAIN; PAINT FRAME, GLASS TO BE FREE OF PAINT AND ADHESIVE.
 3. ORIGINAL WOOD CEILING TO REMAIN; REPLACE DAMAGED PLANKS WHERE INDICATED, SEE RCP AND VIF EXTENTS OF DAMAGE; FINISH NEW WD TO MATCH EXG AND CONSULT ARCHITECT.
 4. RB AT BRICK LOCATIONS ONLY; WD PLASTERS TO RECEIVE NEW WOOD BASE
 5. PAINT NEW CONCRETE LINTEL
 6. EXG MURAL TO BE PRESERVED

KEYED EXISTING NOTES
EX-8 EXG WALL MURAL TO BE PRESERVED.

FINSH PLAN LEGEND:	
	EXISTING TO REMAIN
	EPOXY FLOOR
	RESILIENT TILE FLOORING 1
	RESILIENT TILE FLOORING 2

SIGNAGE SCHEDULE		
DOOR NO.	ROOM	SIGN TYPE
FIRST FLOOR FFE		
100	EAST CORRIDOR	TYPE C
101	RESTROOM	TYPE G
106A	ACTIVITIES ROOM	TYPE F
106B	ACTIVITIES ROOM	TYPE D
106C	ACTIVITIES ROOM	TYPE E
108	STORAGE	TYPE E
110	WEST CORRIDOR	TYPE D
111	STORAGE	TYPE E
112	RESTROOM	TYPE A
113	RESTROOM	TYPE A
114	RESTROOM	TYPE G
107	BREAKROOM	TYPE E
105	JANITOR'S CLOSET	TYPE E
104	OFFICE	TYPE E
102	COMPUTER ROOM	TYPE E



1
A9.2 FIRST FLOOR
1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



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DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE
**FINISH PLANS & SCHEDULE,
SIGNAGE**

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

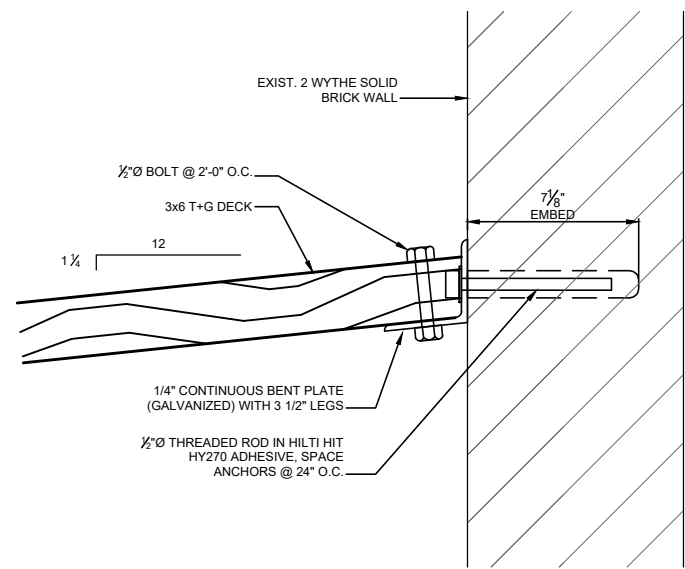
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SCR/TW

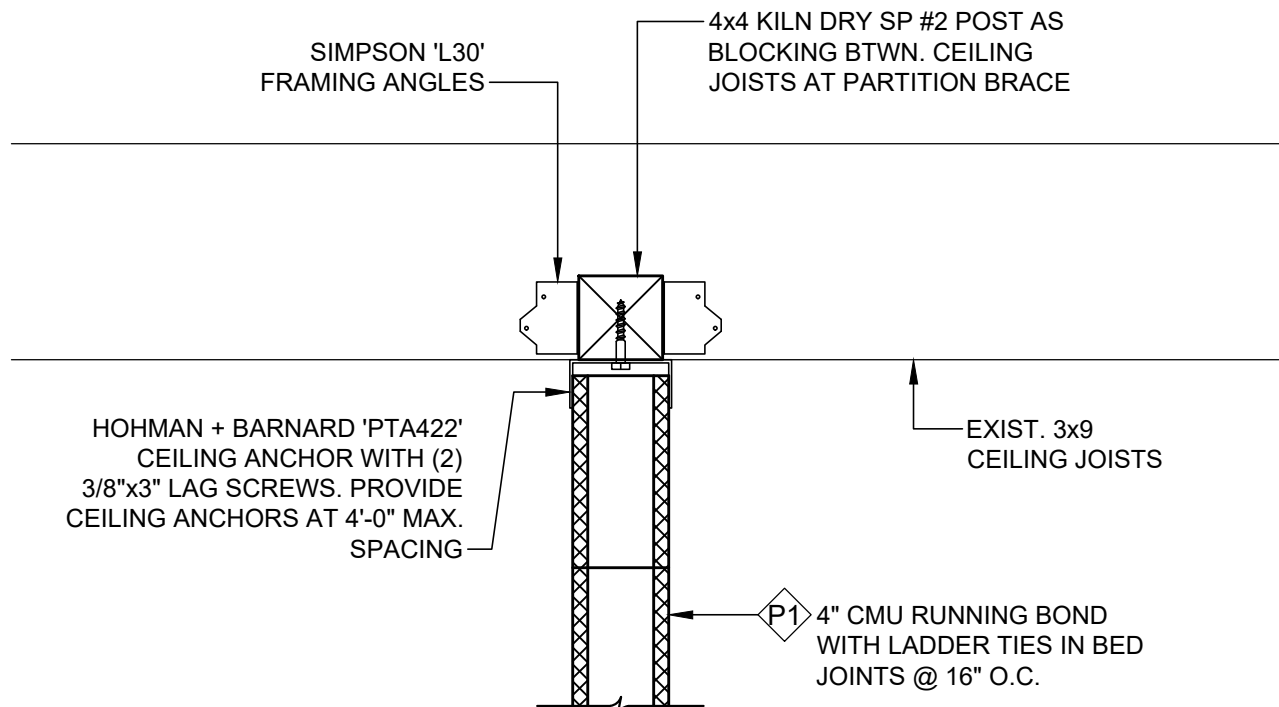
DRAWING NO.

A9.2

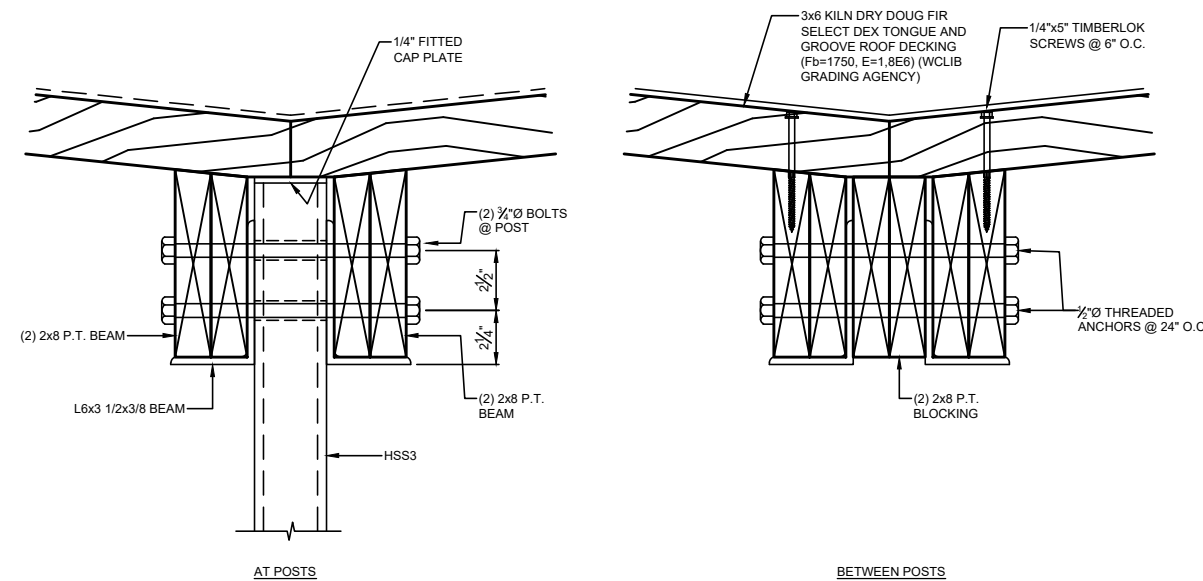
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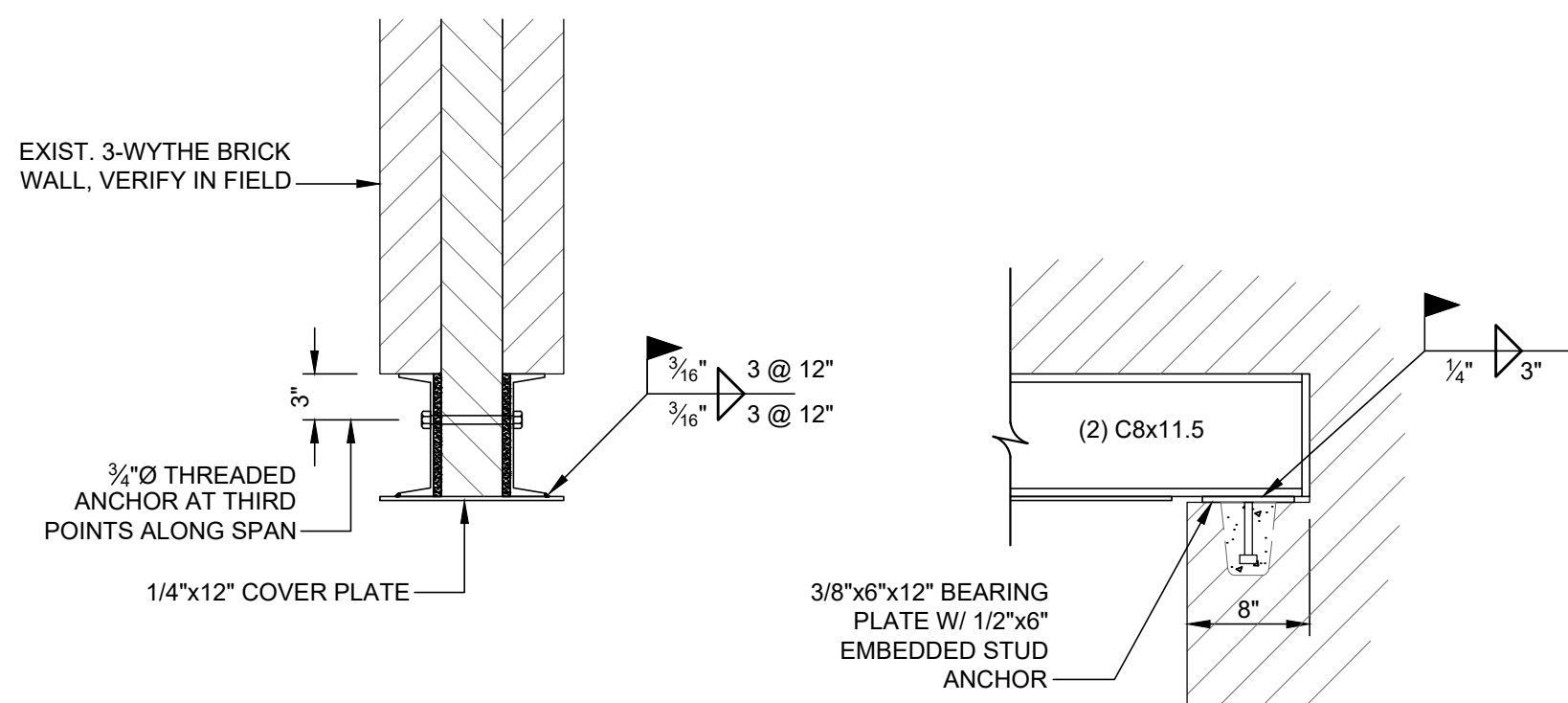
8 NEW BREEZEWAY LEDGER TO GYMNASIUM
SCALE: 1 1/2"=1'-0"



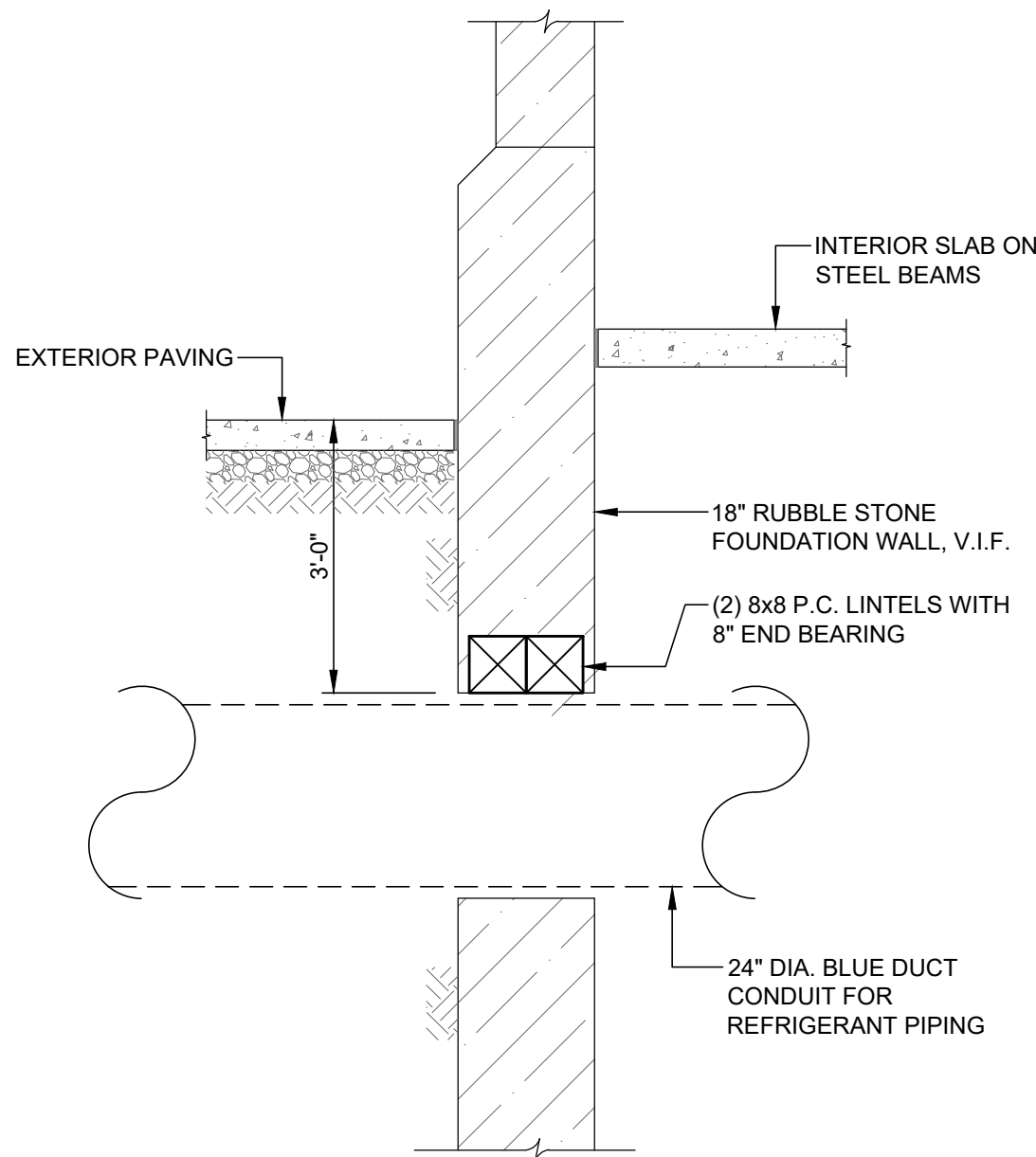
7 BRACING AT CMU PARTITION TOPS
SCALE: 1 1/2"=1'-0"



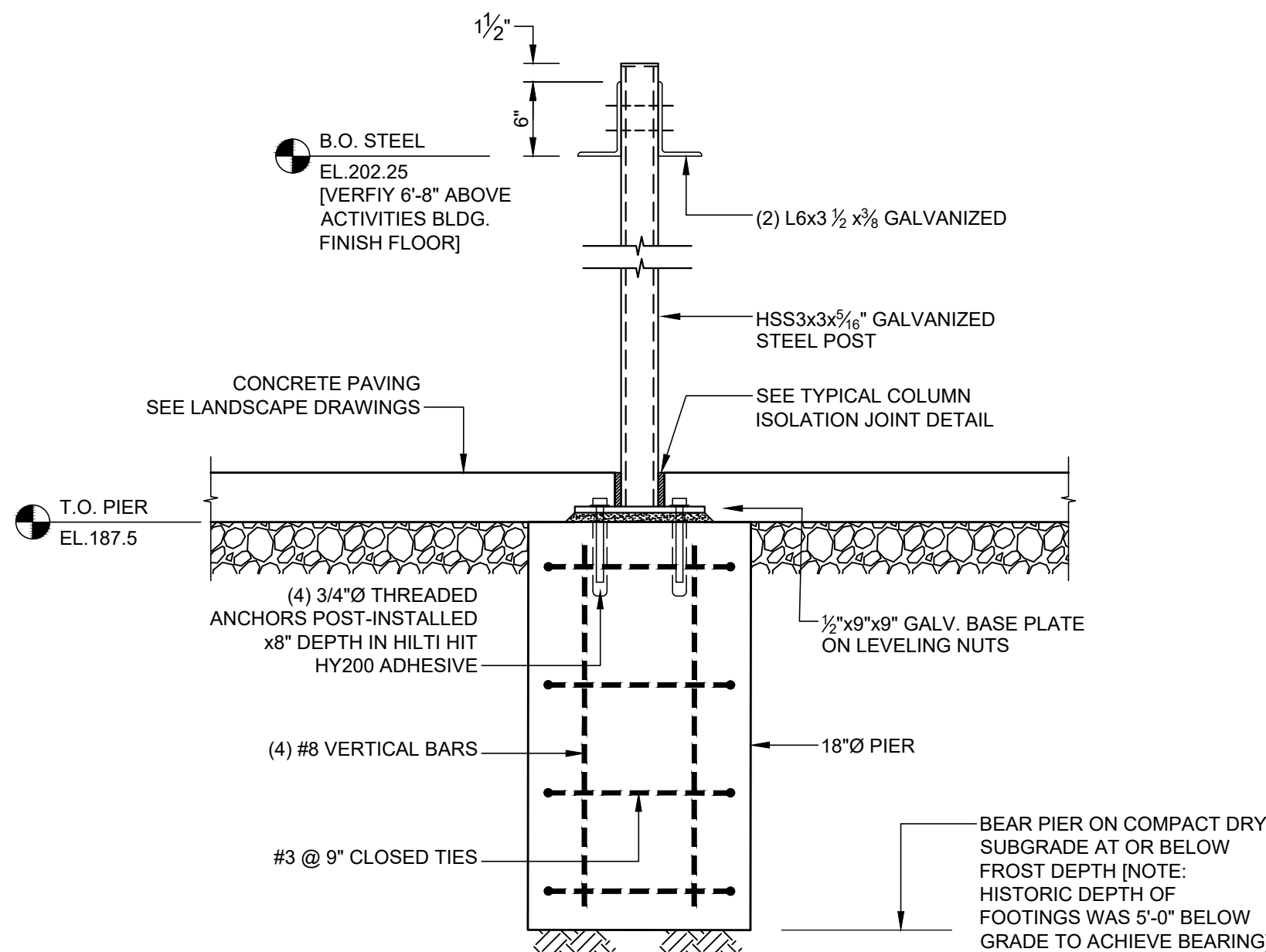
6 BREEZEWAY VALLEY BEAM
SCALE: 1 1/2"=1'-0"



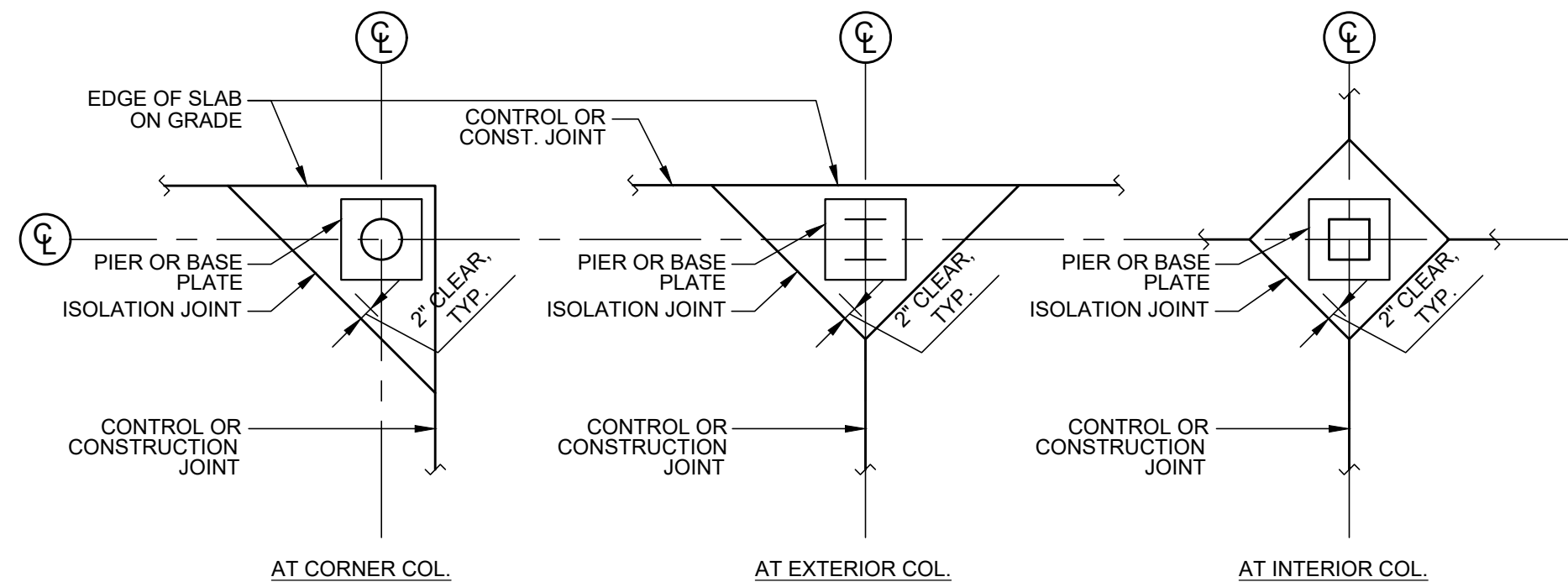
5 LINTEL FOR WALL OPENING TO JANITOR CLOSET 104A
SCALE: 1"=1'-0"



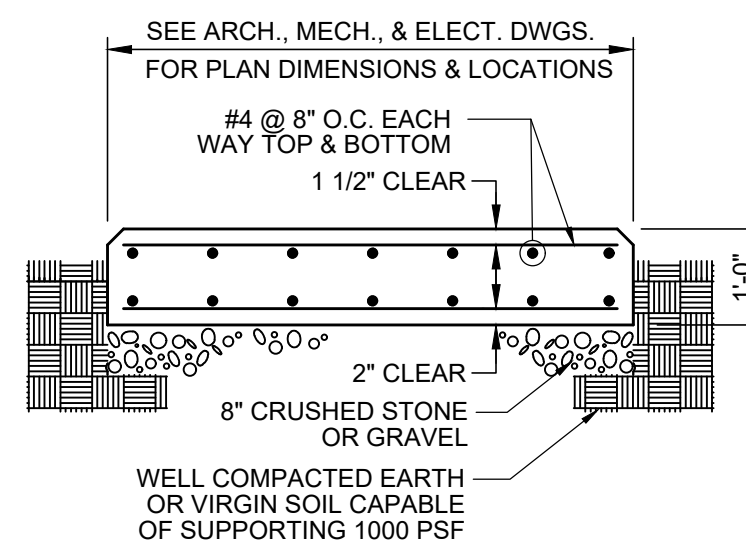
4 FOUNDATION WALL OPENING AT EAST BASEMENT
SCALE: 1/2"=1'-0"



3 BREEZEWAY POST & FOUNDATION
SCALE: 1"=1'-0"



2 COLUMN/SLAB ISOLATION JOINT DETAILS
SCALE: NO SCALE



1 EQUIPMENT PAD
1. COORDINATE SIZE & LOCATION WITH EQUIPMENT REQUIREMENTS.
2. CHAMFER ALL EDGES 1" TYPICAL.

REFER TO S1.1 FOR GENERAL STRUCTURAL
NOTES + MATERIAL SPECIFICATIONS



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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

STRUCTURAL DETAILS

PROJECT NO.

16315E-03-02

DATE

04/09/2025

SCALE

AS NOTED

DRAWN BY

SH

CHECKED BY

AR

FILE

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

S1.0

GENERAL NOTES

- THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND APPLICABLE LOCAL REGULATIONS.
- ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS
- STRUCTURAL SPECIAL INSPECTIONS ARE A REQUIREMENT FOR THIS PROJECT. A QUALIFIED INDEPENDENT INSPECTION AGENCY REGISTERED WITH THE CITY OF PHILADELPHIA SHALL BE SELECTED TO PERFORM THESE SERVICES. ALL INSPECTIONS AS REQUIRED BY CHAPTER 17 OF THE IBC ARE REQUIRED, AS A MINIMUM. SEE MATERIAL NOTES FOR SPECIFIC INSPECTIONS REQUIRED.
- THIRD PARTY SPECIAL INSPECTIONS SHALL BE PERFORMED FOR THIS PROJECT AS FOLLOWS, AND IN ACCORDANCE WITH PROJECT SPECIFICATIONS:

STRUCTURAL STEEL (AISC 360)	VISUAL INSPECTION OF FIELD CONNECTIONS	PERIODIC
STRUCTURAL STEEL (AISC 360)	VISUAL INSPECTION OF FABRICATION, UNLESS FABRICATOR IS AISC CERTIFIED	PERIODIC
CONCRETE MATERIAL TESTS (ACI)	VERIFY DESIGN MIX; SAMPLE AND TEST CONCRETE	PERIODIC
POST-INSTALLED ANCHOR INSTALLATION	HORIZONTAL & OVERHEAD INSTALLATION	CONTINUOUS
POST-INSTALLED ANCHOR INSTALLATION	DOWNWARD	PERIODIC
SITE SOIL CONDITIONS BENEATH SHALLOW FOUNDATIONS		PERIODIC
- THE INDEPENDENT INSPECTIONS AGENCY SHALL PERFORM INSPECTIONS AND SUBMIT REPORTS THE ENGINEER OF RECORD (EOR) WITHIN 72 HOURS OF INSPECTION. ANY INADEQUACIES FOUND BY THE INSPECTOR SHALL BE REPORTED TO THE EOR WITHIN 24 HOURS. THE CONTRACTOR SHALL FACILITATE THESE INSPECTIONS BY SCHEDULING THE INSPECTIONS TO COORDINATE WITH THE WORK BEING PERFORMED BY THEIR SUB-CONTRACTORS.
- THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION OF FALSE WORK, FORMWORK, STAGING, BRACING, SHEETING, AND SHORING, ETC.
- WHERE NEW LOADS ARE BEING ADDED TO EXISTING STRUCTURE, THE INTEGRITY OF THE EXISTING STRUCTURE AND FOUNDATIONS SHALL BE VERIFIED BY THE CONTRACTOR. REPORT ANY CRACKING, SETTLEMENT, DETERIORATION, AND SUBSTANDARD QUALITY OF EXISTING CONSTRUCTION OR MATERIALS SHALL BE REPORTED TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION.
- TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS ON DRAWINGS BEFORE ORDERING MATERIALS.
- NOTIFY ENGINEER IMMEDIATELY IF ANY EXISTING CONDITIONS CONFLICT WITH STRUCTURAL INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS.
- IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR CLARIFICATION.

FOUNDATIONS

- BUILDING FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING MINIMUM BEARING CAPACITY OF 2500 PSF. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQUIRED TO BEAR ON UNIFORMLY DENSE INORGANIC SUBGRADE.
- CONCRETE FOR FOUNDATIONS SHALL BE POURED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE SPECIAL INSPECTOR.
- ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 3'-0" BELOW FINAL GRADE.
- EXCAVATIONS FOR ANY PURPOSE SHALL NOT REMOVE LATERAL SUPPORT FROM ANY FOOTING OR FOUNDATION WITHOUT PROTECTING THE FOOTING OR FOUNDATION AGAINST SETTLEMENT OR LATERAL TRANSLATION.
- SLABS ON GRADE SHALL BEAR ON SOIL COMPACTED TO 95% DRY DENSITY PER ASTM D1557. SLABS HAVE BEEN DESIGNED USING A MODULUS OF SUBGRADE REACTION OF 100 PSI/INCH; PROVIDE PADOT 2A WELL GRADED CRUSHED STONE AS A SUB-BASE WHEN EXISTING SOIL HAS BEEN DISTURBED.
- PROVIDE DRAINAGE FILL BENEATH THE SLAB CONSISTING OF AT LEAST 6" OF AASHTO NO. 57 COMPACTED CRUSHED STONE.

CONCRETE

- SUBMIT CONCRETE MATERIALS AND REBAR SHOP DRAWINGS FOR APPROVAL.
- CEMENT SHALL CONFORM TO ASTM C150, TYPE 1 OR II.
- AGGREGATES SHALL CONFORM TO ASTM C33 (NORMAL WEIGHT)
- CONCRETE FOR EXTERIOR CONSTRUCTION SHALL BE AIR-ENTRAINED, 4% - 6%. CONFORM TO ASTM C260.
- CONCRETE ADMIXTURES CONTAINING CALCIUM CHLORIDE OR OTHER CHLORIDE SALTS SHALL NOT BE USED, EXCEPT WHEN WATER SOLUBLE CHLORIDE ION CONTENT IS LIMITED TO 0.30 PERCENT BY WEIGHT OF CEMENT.
- CONCRETE COMPRESSIVE STRENGTH (F'C) AT 28 DAYS SHALL BE: **4000 PSI**.
- GROUT BENEATH BASE PLATES, SHALL BE NON-SHRINK (ASTM C1107) WITH A ONE DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI MANUAL OF STANDARD PRACTICE (ACI 315), LATEST EDITION.
- WELDED WIRE REINFORCING (WWR) SHALL CONFORM TO ASTM A185, WITH A MINIMUM ULTIMATE TENSILE STRENGTH OF 70,000 PSI. WWR SHALL BE GALVANIZED.
- WELDED WIRE REINFORCING SHALL BE SUPPLIED IN SHEETS. LAP TWO FULL MESH LENGTHS AT SPLICES AND WIRE TOGETHER.
- REINFORCING SPLICES SHALL BE LAPPED IN ACCORDANCE WITH ACI MINIMUMS. MAKE BARS CONTINUOUS AROUND CORNERS. LAPS SHALL, IN NO CASE, BE LESS THAN 48 BAR DIAMETERS.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

CONCRETE CAST AGAINST THE EARTH	3"
CONCRETE EXPOSED TO EARTH OR WEATHER	1-1/2" (#5 BAR OR SMALLER), 2" (#6 BAR OR LARGER)
INTERIOR CONCRETE SLABS, TOP SURFACE	¾"
- CONCRETE SLABS ON GRADE SHALL BE 4" THICK, POURED OVER A 6" LAYER OF POROUS FILL. PROVIDE 66 - W2.0 X W2.0 WELDED WIRE REINFORCING PLACED 1" FROM TOP OF SLAB. PROVIDE A 10 MIL. POLYETHYLENE VAPOR BARRIER BENEATH ALL INTERIOR SLABS.
- INSTALL WELDED WIRE REINFORCEMENT IN LONGEST PRACTICABLE LENGTHS ON BAR SUPPORTS. SPACED TO MINIMIZE SAGGING. LAP EDGES AND ENDS OF ADJOINING SHEETS AT LEAST ONE MESH SPACING. OFFSET LAPS OF ADJOINING SHEET WIDTHS TO PREVENT CONTINUOUS LAPS IN EITHER DIRECTION. LACE OVERLAPS WITH WIRE.
- WHEN CONCRETE IS PLACED AT OR BELOW A TEMPERATURE OF 400F OR WHEN THIS TEMPERATURE IS LIKELY TO OCCUR WITHIN 24 HOURS OF PLACEMENT, PROTECT IN ACCORDANCE WITH ACI 306, "RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING". DO NOT PLACE CONCRETE IN WATER OR ON SNOW, ICE OR FROZEN OR WATER SOFTENED GROUND.
- WHEN HOT WEATHER CONDITIONS EXIST THAT WOULD SERIOUSLY IMPAIR QUALITY AND STRENGTH OF CONCRETE, PLACE CONCRETE IN COMPLIANCE WITH ACI 305, "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING".
- IMMEDIATELY AFTER PLACEMENT, PROTECT CONCRETE FROM PREMATURE DRYING. PRESERVE MOISTURE IN CONCRETE FOR AT LEAST 3 DAYS AFTER PLACEMENT BY EITHER: CONTINUOUS SPRINKLING, APPLICATION OF WET MATS, OR APPLICATION OF AN APPROVED CURING COMPOUND.
- CONDUITS, PIPES AND SLEEVES SHALL NOT BE LARGER IN DIAMETER THAN 1/3 THICKNESS OF THE CONCRETE IN WHICH THEY ARE EMBEDDED. UNO. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE (3) SLEEVE DIAMETERS.
- WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. INSTALLER SHALL BE TRAINED BY MANUFACTURER ON INSTALLATION PROCEDURES. CLEAN HOLE FREE OF DUST, DEBRIS, AND MOISTURE. USE COMPRESSED AIR AND WIRE BRUSH, IN ACCORDANCE WITH MANUFACTURERS PROCEDURES. VERIFY THAT ADHESIVES TO BE USED, ARE WITHIN EXPIRATION DATE. PROVIDE HILTI OR APPROVED ALTERNATIVE.
- CHAMFER ALL EXPOSED CONCRETE CORNERS, UNLESS NOTED OTHERWISE ON ARCHITECTURAL DRAWINGS.
- PROVIDE CRACK CONTROL JOINTS (OF DEPTH = 1/4 THE SLAB THICKNESS) FOR SLABS ON GRADE AT 15 FEET O.C. MAXIMUM SPACING. AT UNEXPOSED SLABS, JOINTS SHALL BE SAW-CUT WITHIN THE FIRST 12 HOURS OF CONCRETE PLACEMENT. AT EXPOSED SLABS, JOINTS SHALL BE FORMED.
- WHERE SLABS ABUT MASONRY OR CONCRETE WALLS, PROVIDE ½" THICK PRE-MOLDED JOINT FILLER AT INTERFACE.
- ANY STOP IN CONCRETE WORK MUST BE MADE WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS OTHERWISE SHOWN. ALL REINFORCING IS TO BE CONTINUOUS THROUGH JOINTS.
- THE CONCRETE SLABS SHALL BE FINISHED FLAT AND LEVEL TO WITHIN ASTM E1155 TOLERANCE, [FLATNESS: OVERALL F35; LOCAL F24. LEVELNESS: OVERALL F25; LOCAL F17]. TO THE ELEVATION INDICATED ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE ADDITIONAL CONCRETE REQUIRED DUE TO SUB GRADE VARIATION, OR FORMWORK AND FRAMING DEFLECTION TO ACHIEVE THIS FINISHED TOP OF SLAB ELEVATION.

CONCRETE MASONRY

- SUBMIT MASONRY MATERIALS FOR APPROVAL.
- CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, WITH 3250 PSI UNIT STRENGTH. COMPLETED WALLS SHALL HAVE A COMPRESSIVE STRENGTH OF FM = 2500 PSI ON NET AREA.
- USE MASONRY UNITS WITH CORES THAT ALIGN VERTICALLY TO PROVIDE CONTINUOUS UNOBSTRUCTED CELLS FOR GROUTING AND REINFORCING STEEL PLACEMENT.
- MORTAR SHALL BE ASTM C270, TYPE S.
- GROUT SHALL CONFORM TO ASTM C476, AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. ADMIXTURES CONTAINING CALCIUM CHLORIDE OR CHLORIDE SALTS SHALL NOT BE USED.
- GROUT SHALL BE A PEA GRAVEL HIGH SLUMP MIX, *GROUT SLUMP SHALL BETWEEN 8 TO 11", WITHOUT ADMIXTURES*.
- SUBMIT GROUT MIX DESIGN AND MASONRY UNIT CERTIFICATIONS TO THE STRUCTURAL ENGINEER FOR APPROVAL.
- ASSEMBLE MASONRY UNITS IN RUNNING BOND.
- ALL CONCRETE BLOCK AT OR BELOW GRADE SHALL BE FILLED SOLID WITH GROUT.
- ALL CONCRETE MASONRY SHALL HAVE GALVANIZED TRUSS OR LADDER TYPE, 9 GAGE, HORIZONTAL JOINT REINFORCEMENT CONFORMING TO ASTM A82, SPACED @ 16" O.C. VERTICALLY. PROVIDE CONTINUOUS REINFORCEMENT UNITS AROUND CORNERS.
- LAP SPLICES FOR DEFORMED REINFORCING BARS USED IN MASONRY CONSTRUCTION SHALL BE 50 BAR DIAMETERS.
- CONVENTIONAL GROUT SHALL NOT BE SUBJECT TO DROPS IN EXCESS OF 5'-4" FEET. VIBRATE TO FILL VOIDS COMPLETELY. DO NOT USE VIBRATOR TO TRANSPORT GROUT.
- HIGH LIFT GROUTING METHODS MAY BE USED WITH SELF-CONSOLIDATING GROUT, CONFORMING TO (ASTM C1157). PROVIDE CLEAN OUT OPENINGS AT BASE OF ALL GROUTED COLUMNS.
- BRACE NEW MASONRY WALL TO INTERSECTING EXISTING WALLS WITH HOHMANN & BARNARD SLIP-SET STABILIZER GALVANIZED TIES @ 16" VERTICAL SPACING. PROVIDE ½" COMPRESSIBLE FILLER JOINT WITH SEALANT AND BACKER ROD.
- SHORE FRAMING DURING INSTALLATION OF LINTELS.
- SAW CUT MASONRY TO INSTALL NEW PRECAST CONCRETE LINTELS.
- PRECAST LINTELS SHALL BE PLACED IN FULLY MORTARED BED AND HEAD JOINTS. THE ENDS OF THE UNITS SHALL BE COMPLETELY BUTTERED. PROVIDE 8" LENGTH OF BEARING AT EACH END.
- MASONRY JOINTS ON EXTERIOR FACE SHALL BE TROWELLED FLUSH TO PROVIDE A SMOOTH BASE FOR STUCCO.

BRICK MASONRY VENEER

- BRICK VENEER ANCHORS TO MASONRY BACK-UP SHALL BE HOHMANN & BARNARD HB-5213 ADJUSTABLE VENEER ANCHOR, WITH THERMAL BREAK, OR EQUAL. PROVIDE 2" CLEAR CAVITY BETWEEN BRICK VENEER AND MASONRY BACK UP. SPACE ANCHORS AT A MAXIMUM OF 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY. GROUT CAVITY BELOW GRADE AND WEEP ABOVE GRADE.
- PROVIDE 3/8" GROUTED COLLAR JOINT BETWEEN BRICK AND CMU WYTHES.

BRICK MASONRY REPAIRS

- REPOINT BRICK MASONRY IN AREAS WHERE THE FOLLOWING SIGNS OF DETERIORATION EXIST: DISINTEGRATING MORTAR, CRACKS IN MORTAR JOINTS, LOOSE BRICKS, DAM WALLS, OR DAMAGED PLASTERWORK.
- REPOINT EXISTING HISTORIC BRICK MASONRY WITH MORTAR THAT IS COMPATIBLE IN TEXTURE AND CONTENT WITH ORIGINAL BRICK AND MORTAR.
- REPOINTING BRICKWORK SHALL BE UNDERTAKEN BY AN EXPERIENCED BRICK MASON, WITH A MINIMUM OF 5 YEARS OF SUCCESSFUL WORK OF SIMILAR SCOPE.
- REPOINTING SHALL BE UNDERTAKEN WHEN THE WALL TEMPERATURES ARE BETWEEN 40 AND 95 DEGREES (F).
- REPLACE MISSING, CRACKED, OR OTHERWISE DAMAGED BRICKS.
- PROVIDE SOFT, HIGH-LIME, TYPE N MORTAR FOR REPOINTING HISTORIC BRICKWORK. CONFORM TO PROPORTIONS SPECIFIED IN ASTM C270, AND REFERENCED IN SPECIFICATION ACI 530.1
- REPLACEMENT BRICKS SHALL BE HIGH-FIRED EXTERIOR GRADE BRICK, AND SHALL MATCH THE DIMENSIONS OF TYPICAL IN-PLACE BRICKS. BRICKS MAY BE RECYCLED, OR NEW. BRICKS SHALL BE WIRE BRUSH CLEANED AND FREE OF ALL DEBRIS.
- MORTAR USED BELOW GRADE ON EXTERIOR, SHALL BE ASTM C270, TYPE S, (INCREASED CEMENT TO LIME RATIO).
- GROUT SHALL BE A PEA GRAVEL HIGH SLUMP MIX, CONFORM TO ASTM C476. GROUT SLUMP SHALL BETWEEN 8 TO 11", WITHOUT ADMIXTURES.
- PREPARE MASONRY JOINTS FOR REPOINTING BY CUTTING OUT EXISTING MORTAR TO A DEPTH OF AT LEAST 5/8". IF THE MORTAR IS UNSOUND, THE JOINT SHOULD BE CUT DEEPER UNTIL ONLY SOUND MATERIAL REMAINS, BUT NOT MORE THAN ½ THE TOTAL DEPTH OF THE JOINT.
- USE HAND TOOLS TO PREVENT DAMAGE TO BRICKWORK.
- MIX ALL CEMENTITIOUS MATERIALS AND AGGREGATES BETWEEN 3 AND 5 MINUTES IN A MECHANICAL BATCH MIXER WITH A SUFFICIENT AMOUNT OF WATER TO PRODUCE A WORKABLE CONSISTENCY. DISCARD ALL MORTAR WHICH IS NOT USED WITHIN 2-1/2 HOURS AFTER INITIAL MIXING.
- CLEAN ALL MASONRY UNITS OF MATERIALS THAT WOULD AFFECT OR REDUCE THE BOND AT THE TIME MORTAR IS PLACED.
- COLLAR JOINTS WIDER THAN ¾" REQUIRE GROUT INSTEAD OF MORTAR.
- USE TOOLED CONCAVE OR VEE-STRUCK MORTAR JOINTS AT EXTERIOR FACE OF WALLS FOR RESISTANCE TO MOISTURE PENETRATION.
- SHORE FRAMING DURING INSTALLATION OF LINTELS.

RUBBLE STONE MASONRY

- MORTAR FOR STONE MASONRY SHALL BE TYPE N AND SHALL CONFORM TO ASTM C270. PROVIDE MINIMUM COMPRESSIVE STRENGTH OF MORTAR AT 28 DAYS: 750 PSI. IN NO CASE SHALL CEMENT RATIO EXCEED (1) PARTS CEMENT TO (1) PARTS LIME. NO AIR ENTRAINING SHALL BE PERMITTED. LIMIT AIR CONTENT TO 8%.
- MIX ALL CEMENTITIOUS MATERIALS AND AGGREGATES BETWEEN 3 AND 5 MINUTES IN A MECHANICAL BATCH MIXER WITH A SUFFICIENT AMOUNT OF WATER TO PRODUCE A WORKABLE CONSISTENCY. DISCARD ALL MORTAR WHICH IS NOT USED WITHIN 2-1/2 HOURS AFTER INITIAL MIXING.
- CLEAN ALL STONES AND REINFORCEMENT OF MATERIALS THAT WOULD AFFECT OR REDUCE THE BOND AT THE TIME MORTAR IS PLACED.
- MORTAR BED JOINT THICKNESS SHALL BE AT LEAST TWICE THE THICKNESS OF THE EMBEDDED ANCHOR, (5/16" MINIMUM JOINT).
- RUBBLE STONE MASONRY, OF MULTIPLE WYTHES, SHALL HAVE BONDER UNITS WITH A MAXIMUM SPACING OF 3 FEET VERTICALLY AND HORIZONTALLY.
- COLLAR JOINTS WIDER THAN ¾" REQUIRE GROUT INSTEAD OF MORTAR.

POST-INSTALLED ANCHORS IN MASONRY

- PRE-CONSTRUCTION LOAD TESTING IS REQUIRED FOR EXPANSION AND ADHESIVE ANCHORS BEING INSTALLED INTO EXISTING MASONRY. TESTING SHALL BE PERFORMED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE STATE OF PENNSYLVANIA. THE GENERAL CONTRACTOR SHALL FACILITATE TESTING BY AN APPROVED ACI ACCREDITED TESTING AGENCY, OR BY HILTI, INC.), TO TEST A REPRESENTATIVE SAMPLE OF 1-3 TEST ANCHORS IN EACH AREA DESIGNATED FOR ANCHORING. NOTIFY ENGINEER OF RECORD TO BE ON SITE TO OBSERVE AND REPORT ON TESTING. TESTING SHALL BE TO 2 X THE DESIGN TENSILE LOAD OF ANCHORS.
- WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DAMAGING EXISTING MASONRY. HOLES SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS. INSTALLER SHALL BE TRAINED BY MANUFACTURER ON INSTALLATION PROCEDURES. CLEAN HOLE FREE OF DUST, DEBRIS, AND MOISTURE. USE COMPRESSED AIR AND WIRE BRUSH, IN ACCORDANCE WITH MANUFACTURERS PROCEDURES. VERIFY THAT ADHESIVES TO BE USED, ARE WITHIN EXPIRATION DATE. PROVIDE HILTI OR APPROVED ALTERNATIVE.

STEEL

- SUBMIT STEEL FABRICATION AND ERECTION DRAWINGS FOR APPROVAL.
- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:

A. AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS," CURRENT EDITION,
B. THE AMERICAN WELDING SOCIETY (AWS D1-1) "CODE FOR WELDING IN BUILDING CONSTRUCTION," CURRENT EDITION.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:

A. PLATES AND ANGLES: ASTM A36, FY=36 KSI.
B. W, WT & C SHAPES: ASTM A992, FY=50 KSI.
C. HSS STRUCTURAL TUBING: ASTM A500 GRADE B, FY=46 KSI.
D. STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E GRADE B SPECIFICATIONS. [STD. = SCHEDULE 40; XS = SCHEDULE 80; DS = SCHEDULE 160]
E. BOLTED CONNECTIONS (STEEL TO STEEL): ASTM A325-N, (3/4" DIAM.), U.N.O.
F. ANCHOR BOLTS AND CONNECTORS IN WOOD FRAMING: ASTM A307, (3/4" DIAM.), U.N.O.
- BOLTS TO BE USED ON THE EXTERIOR SHALL BE HOT DIPPED GALVANIZED AND FIELD PAINTED.
- ANCHORAGE BOLTS AND FITTINGS IN MASONRY SHALL BE GALVANIZED.
- WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE A.W.S. SUBMIT WELDER CERTIFICATES TO ENGINEER FOR RECORD.
- WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX. ALL WELDING SHALL CONFORM TO THE A.W.S. STANDARD CODE.
- ALL SHOP AND FIELD WELDS SHALL BE 1/4" FILLET WELDS MINIMUM, U.N.O.
- MINIMUM CENTER-CENTER SPACING BETWEEN BOLTS SHALL BE 3". MINIMUM EDGE DISTANCE SHALL BE 1-1/4" FROM CENTER OF BOLTS TO EDGE OF STEEL.
- WHERE GALVANIZED STEEL IS NOTED ON DRAWINGS, PROVIDE BATCH HOT-DIP GALVANIZING IN ACCORDANCE WITH ASTM A123.
- PRIOR TO FIELD WELDING, GALVANIZED MEMBERS SHALL HAVE ZINC COATING GROUND SMOOTH IN WELD AREAS, (ZINC COATING IS NOT TO CONTAMINATE WELD FUSION METAL). AFTER WELDING, COAT AFFECTED SURFACE WITH ZINC RICH COATING.
- TOUCH UP FIELD WELDS AND ANY DAMAGED AREAS OF PAINT WITH A ZINC RICH PAINT, IN FIELD AFTER WELDING.

FRAMING LUMBER & SHEATHING

- FRAMING LUMBER SHALL BE OF THE FOLLOWING MINIMUM STRENGTH FOR THE SPECIFIED USE, UNLESS OTHERWISE NOTED ON PLAN. ALL LUMBER SHALL BE GRADE-STAMPED BY A RECOGNIZED GRADING AGENCY AND SHALL BE SURFACED DRY. MOISTURE CONTENT NOT TO EXCEED 19%.

DIMENSION LUMBER, AT INTERIOR CONDITIONS: GRADE NO.2, HEM-FIR, SPRUCE-PINE-FIR, OF SOUTHERN PINE.

DIMENSION LUMBER AT EXTERIOR EXPOSED CONDITIONS: GRADE NO.2, PRESSURE TREATED, SOUTHERN PINE OR EQUAL. PROVIDE LUMBER STAMPED KDAT (KILN-DRIED AFTER TREATMENT). ALTERNATIVELY, SEASON THE LUMBER FOR SEVERAL MONTHS AFTER TREATMENT, SO MOISTURE CONTENT MEETS EQUILIBRIUM CONDITIONS.
- STORE FRAMING AND SHEATHING MATERIALS IN DRY LOCATION. REMOVE STANDING WATER FROM INSTALLED SHEATHING. ENSURE INSTALLED LUMBER MOISTURE CONTENT IS 19% OR LESS, BEFORE INSTALLING HOLD DOWN ANCHORS, STRAPS, OR FINISHES THAT WOULD BE AFFECTED BY LUMBER SHRINKING OR EXPANDING.
- FASTENING SHALL CONFORM TO A MINIMUM AS SPECIFIED IN TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE
- BUILT-UP MULTI-MEMBER WOOD GIRDERS SHALL HAVE MEMBER JOINTS STAGGERED SUCH THAT NOT MORE THAN (1) MEMBER SPLICE OCCURS BETWEEN SUPPORT POINTS. ORIENT ADJACENT MEMBERS WITH ALTERNATE GRAINS, AND CONNECT MEMBERS WITH GALVANIZED NAILS: 10D (.148") X 3" COMMON FOR (2) MEMBERS, 16D (.162") X 3-1/2" COMMON FOR (3) MEMBERS, AND 20D(.192") X 4" COMMON FOR (4) MEMBERS. NAIL AT TOP AND BOTTOM @ 24" OC, STAGGER OPPOSITE FACES, AND WITHIN 1-1/2" OF MEMBER ENDS.
- FLOOR JOISTS SHALL NOT BE CUT, NOTCHED OR BORED, IN EXCESS OF THE LIMITATIONS SPECIFIED IN IRC SECTION R502.8, (SEE ILLUSTRATION). MEMBERS THAT EXCEED THESE LIMITATIONS SHALL BE SISTERED FULL LENGTH TO BEARING.
- ALL FRAMING MEMBERS SHALL HAVE LATERAL SUPPORT SUPPLIED AT ALL BEARING POINTS AS WELL AS CONTINUOUSLY ALONG THE COMPRESSION FACE.
- PROVIDE SIMPSON LIGHT GAGE METAL CONNECTORS, OR APPROVED EQUAL, FOR ALL FLUSH FRAMING CONDITIONS. WHERE HANGER TYPE IS NOT SPECIFIED ON PLANS, PROVIDE HANGER CAPACITY EQUAL TO SHEAR CAPACITY OF FRAMING MEMBER, OR CONSULT ENGINEER. INSTALL ALL CONNECTORS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. NAILING SHALL CONFORM TO THE MANUFACTURER'S PUBLISHED TABLES TO PROVIDE MAXIMUM HANGER CAPACITY, UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE SIMPSON 'BC' POST BASES AND CAPS FOR ALL WOOD POSTS. PROVIDE 'ZMAX' ZINC COATED CONNECTORS AT ALL CONDITIONS IN CONTACT WITH TREATED LUMBER.
- PLYWOOD OR OSB SHEATHING SHALL BE APA GRADE STAMPED FOR SPECIFIC SPAN, SHALL BE MADE WITH EXTERIOR GLUE AND SHALL BE OF THE FOLLOWING THICKNESS:

FLOOR: 23/32" THICK, EXPOSURE 1, SPAN RATING 48/24.
EXTERIOR WALLS WITHIN 8' OF EARTH: PROVIDE PRESERVATIVE TREATED EXTERIOR GRADE PLYWOOD ROOF: 19/32" THICK, EXPOSURE 1, STRUCTURAL 1, SPAN RATING 40/20.

INDEX STAMP SHALL BE VISIBLE ON ALL SHEETS. PROTECT SHEATHING FROM EXTENSIVE EXPOSURE TO WEATHER.
- INSTALL PLYWOOD SHEATHING WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTING MEMBERS, U.N.O.
- FASTEN PLYWOOD ROOF SHEATHING TO FRAMING WITH 10D COMMON (.148") NAILS @ 6" OC AT PANEL EDGES & 12" OC IN FIELD, UNLESS NOTED OTHERWISE. NAILS SHALL HAVE 3/8" MINIMUM EDGE DISTANCE IN LUMBER, AND 1-5/8" PENETRATION INTO LUMBER.
- USE PLYCLIPS OR OTHER EDGE SUPPORT AS REQUIRED FOR ROOF SHEATHING.
- PRESERVATIVE TREATMENT: TREAT WOOD MEMBERS AND SHEATHING IN CONTACT WITH MASONRY OR CONCRETE, OR WITHIN 6" OF GROUND, (IRC-R317.1.3), TREAT IN ACCORDANCE WITH CURRENT STANDARDS OF AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD. USE CATEGORY 3B FOR EXPOSED EXTERIOR WOOD, NOT IN CONTACT WITH GROUND. USE CATEGORY 4A FOR WOOD IN CONTACT WITH GROUND. LUMBER AND SHEATHING SHALL BE VISIBLY STAMPED WITH AWPA USE CATEGORY STAMP.

STRUCTURAL DESIGN CRITERIA

DESIGN LOADS	LIVE LOAD
MAIN FLOOR:	100 PSF
ROOF:	<u>20 PSF</u>
GROUND SNOW LOAD	25 PSF
WIND SPEED:	115 MPH, EXPOSURE B

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR	LEEANN SUEN
SEALS	

SMPARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410
LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727
CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425
STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566
M/E ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900
ROOFING CONSULTANT: STEPHEN McLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424

CITY OF PHILADELPHIA		
DEPARTMENT OF PARKS & RECREATION		
1515 ARCH STREET		
11TH FLOOR, ONE PARKWAY BUILDING		
PHILADELPHIA	PENNSYLVANIA	
PROJECT TITLE		
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE		
GENERAL NOTES		
PROJECT NO.		DRAWING NO.
16315E-03-02		S1.1
DATE		
04/09/2025		
SCALE		
AS NOTED		
DRAWN BY		
SH		
CHECKED BY		
AR		P.L.S.
NOTE:		
ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		

GENERAL NOTES:

1. ALL SYMBOLS AND ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.
2. BOUNDARY LINES SHOWN ON THE DRAWINGS DO NOT LIMIT THE SCOPE OF WORK FOR THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NOTED ON THE DRAWINGS.
3. CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND LAWS OF AUTHORITIES HAVING JURISDICTION.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES.
5. ALL PENETRATIONS THROUGH DESIGNATED FIRE RATED WALLS, CEILINGS AND FLOOR SLABS (WHICH ARE 2-HOUR RATED) SHALL BE PROPERLY SEALED WITH AN APPROVED RATED FIRE AND SMOKE STOPPING MATERIAL. ALL FIRE AND SMOKE STOPPING MATERIAL SHALL BE SUPPLIED AND WORK PERFORMED AS PER PROJECT SPECIFICATIONS. CONTRACTOR SHALL SUBMIT MANUFACTURER'S CATALOG DATA AND INSTALLATION DETAIL AS PER SPECIFICATIONS FOR FIRE AND SMOKE STOPPING TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR INSTALLATION.
6. THE CONTRACTOR SHALL NOT BE ALLOWED ANY STORAGE AREA OTHER THAN THAT AVAILABLE WITHIN THE LIMITS OF THE STAGING AREA, CONFINES OF THE WORK AREA, OR AS DESIGNATED BY THE OWNER.
7. ALL WORK AND MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
8. A COPY OF THE CURRENT SET OF CONTRACT DOCUMENTS (WITH AS-BUILT INFORMATION) SHALL BE KEPT AT THE JOB SITE AT ALL TIMES BY THE CONTRACTOR.
9. EACH CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS OF ALL TRADES FOR A THOROUGH UNDERSTANDING OF PROJECT AND ANY CROSS REFERENCING OF WORK. REVIEW ALL PROJECT REQUIREMENTS PRIOR TO BIDDING. IN CASE OF DISCREPANCIES, THE MOST STRINGENT SHALL GOVERN.
10. THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE. ANY DEFECTS, IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER WORK OR PARTS OF THE BUILDING DAMAGED THEREBY, AS A RESULT OF THE WORK OF THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PAY ALL REPAIR COSTS ACCORDINGLY WITHOUT ADDITIONAL COSTS TO OWNER.
11. IN ADDITION TO SPECIFICATIONS, AS MAY BE DEFINED HEREAFTER, THE CONTRACTOR SHALL PROTECT THE WORK SITE AND ALL HIS OR HER WORK AGAINST ANY DAMAGE (INCLUDING BUT NOT LIMITED TO WATER, DUST, HEAT, FREEZING, ETC.) UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE OWNER.
12. CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, SUBMIT AS-BUILT RECORD DRAWINGS SHOWING ALL CHANGES FROM THE CONTRACT DRAWINGS MADE IN THE INSTALLATION, AND SHOWING DIMENSION LOCATIONS OF CONCEALED EQUIPMENT.
13. PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE, THE CONTRACTOR SHALL PROVIDE MATERIAL SAFETY DATA SHEETS FOR ALL ITEMS AND MATERIALS USED IN THIS WORK.
14. DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL CAPACITIES AND LOCATIONS OF EQUIPMENT TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO DETERMINE ACTUAL PHYSICAL SIZE, CAPACITIES, AND LOCATIONS OF EXISTING EQUIPMENT TO BE REMOVED.
15. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, COORDINATE ALL REQUIRED EQUIPMENT AND SYSTEMS SHUTDOWN WITH OWNER, AND PROVIDE OWNER TWO WEEKS NOTICE OF THE SAME.
16. COORDINATE DEMOLITION WORK WITH ALL OTHER TRADES. PHASE WORK IN CONJUNCTION WITH OTHER TRADE PHASING AND PHASING DRAWINGS.
17. CONTRACTOR SHALL FIELD VERIFY OTHER EQUIPMENT/UTILITIES NOT ASSOCIATED WITH THIS WORK BUT LYING WITHIN THE WORK AREA, AND WILL NOT DISTURB THOSE EQUIPMENT/UTILITIES. THOSE EQUIPMENT/UTILITIES SHALL BE PROTECTED SO THAT THE SERVICE IS NOT INTERRUPTED. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO THE EQUIPMENT/UTILITIES IN PERFORMANCE OF THE WORK.
18. CONTRACTOR SHALL KEEP WORK AREA CLEAN, ORDERLY, AND WORKMAN LIKE, AND REMOVE ALL DEMOLISHED TRASH/ RUBBLE/CONSTRUCTION DEBRIS ON A DAILY BASIS FROM THE WORK AREA AND OFF OWNERS PROPERTY. ALL TRASH/RUBBLE/CONSTRUCTION DEBRIS DEEMED AS HAZARDOUS WASTE/MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH EPA OR ANY OTHER PERTINENT GOVERNING AGENCY AND DISPOSED OF ACCORDINGLY AT AN APPROVED HAZARDOUS WASTE DUMPSITE WITH ALL OF THE APPROVED/REQUIRED DOCUMENTATION.
19. COORDINATE AND PHASE WORK IN CONJUNCTION WITH OTHER TRADE PHASING.
20. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL HIS EMPLOYEES WITH SAFE AND HEALTHY WORKING CONDITIONS AS PRESCRIBED IN THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION OF THE U.S. DEPARTMENT OF LABOR.
21. SECURE AND DELIVER TO THE OWNER'S REPRESENTATIVE ALL CERTIFICATES OF COMPLIANCE REQUIRED BY LOCAL AUTHORITIES.

MECHANICAL GENERAL NOTES:

1. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. CONTRACTOR SHALL FURNISH AND COMPLETE ALL PIPING SYSTEMS TO ALL EQUIPMENT REQUIRING SUCH. VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING LOCATIONS WITH WORK UNDER OTHER DISCIPLINES AND DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS.
3. CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE HVAC DUCT SYSTEM TO ALL DIFFUSERS AND/OR EQUIPMENT REQUIRING SUCH. VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE HVAC LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS.
4. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, INSPECTION CERTIFICATES, ETC. REQUIRED UNDER THE PROJECT SCOPE.
5. CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION, AND NOTIFY ENGINEERS OF ANY DISCREPANCIES BETWEEN THE PLAN AND CONDITIONS AND/OR POTENTIAL PROBLEMS OBSERVED PRIOR TO CONTINUING WORK.
6. DO NOT SCALE THE PLANS. FIELD VERIFY EXACT LOCATIONS OF DOORS, WINDOWS, WALL DIMENSIONS, ETC.
7. CONTRACTOR WILL GIVE SUITABLE NOTICE TO ALL APPLICABLE UTILITY COMPANIES AND OWNER PRIOR TO PERFORMING WORK INVOLVING UTILITIES.
8. ALL EQUIPMENT SHALL BE HANDLED, STORED, AND PROTECTED TO PREVENT DAMAGE BEFORE AND DURING INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
9. ALL EQUIPMENT SHALL BE LOCATED AND INSTALLED IN A READILY ACCESSIBLE LOCATION SO AS TO PERMIT ACCESS FOR SERVICE WITHOUT DAMAGE TO BUILDING OR FINISHED MATERIALS, PER MANUFACTURER'S INSTRUCTIONS AND APPLICABLE CODES.
10. ALL MATERIALS SHALL BE NEW AND SHALL FIT THE SPACE AVAILABLE. VERIFY DIMENSIONS AT SITE.
11. ALL PIPING, APPARATUS, AND EQUIPMENT, ETC. SHALL BE PROPERLY SUPPORTED, BRACED VERTICALLY AND HORIZONTALLY IN ACCORDANCE WITH APPLICABLE CODES.
12. VALVES AND FITTINGS SHALL BE OF THE SAME SIZE AS THE PIPING FOR WHICH THEY ARE INSTALLED, UNLESS OTHERWISE NOTED.
13. CONTRACTOR SHALL VERIFY AND CORRECT SYSTEMS AS REQUIRED TO MEET ALL CODES AND REGULATIONS AND VERIFY AND CORRECT ANY/ALL POSSIBLE DISCREPANCIES BETWEEN TYPE AND SIZE OF CONNECTIONS SPECIFIED IN THE EQUIPMENT SCHEDULES AND EQUIPMENT ACTUALLY INSTALLED.
14. CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL EQUIPMENT SHOWN ON PLANS, INCLUDING COORDINATION OF ANY EQUIPMENT OF ALTERNATE MANUFACTURER. CONTRACTOR SHALL PROVIDE COMPOSITE DRAWINGS AS REQUIRED FOR INSTALLATION OF EQUIPMENT SHOWN ON PLAN FOR APPROVAL BY ENGINEER.
15. ALL ROOF ACCESSORIES SHALL BE COMPATIBLE WITH ROOFING SYSTEMS AS REQUIRED.
16. CONTRACTOR SHALL BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL OTHER DISCIPLINES.
17. PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE TESTED, BALANCED, AND OPERATED TO DEMONSTRATE TO THE OWNER , OR HIS OR HER DESIGNATED REPRESENTATIVE, THAT THE INSTALLATION AND PERFORMANCE OF THESE SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE DESIGN INTENT.
18. CONTRACTOR SHALL INSTALL DUCTWORK SYSTEMS PER LATEST SMACNA MANUALS. DUCT WORK SYSTEMS SHALL BE GALVANIZED G90 SHELL STEEL RATED FOR A PRESSURE CLASS OF 2" WG.
19. CONTRACTOR SHALL REPAIR/PATCH ALL SURFACES/WALLS DAMAGED BY CONSTRUCTION.

SPECIFICATIONS:

IN ADDITION TO BELOW, PLEASE REFER TO BOOK SPECIFICATION SECTIONS.

DUCTWORK:

COMPLY WITH SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE" FOR ACCEPTABLE MATERIALS, MATERIAL THICKNESS, AND DUCT CONSTRUCTION METHODS UNLESS OTHERWISE INDICATED. SHEET METAL MATERIALS SHALL BE FREE OF PITTING, SEAM MARKERS, ROLLER MARKS, STAINS, DISCOLORATIONS, AND OTHER IMPERFECTIONS.

1. GALVANIZED SHEET STEEL SHALL COMPLY WITH ASTM A653/A653M WITH COATING DESIGNATION OF G90. DUCTWORK FINISHES FOR SURFACES EXPOSED TO VIEW SHALL BE MILL PHOSPHATIZED.
2. DUCTWORK SHALL HAVE A PRESSURE CLASS OF POSITIVE 3 INCHES WITH MINIMUM SMACNA SEAL CLASS A.
3. DUCTWORK SHALL COMPLY WITH ASTM A653/A GALVANIZED STEEL.

CONDENSATE DRAIN PIPING:

CONDENSATE DRAIN PIPING SHALL BE TYPE M, DRAWN-TEMPER COPPER TUBING, WROUGHT COPPER FITTINGS, AND SOLDERED JOINTS. ROUTE PIPE TO SPLASH BLOCK.

NATURAL GAS PIPING:

NATURAL GAS PIPING SHALL BE STEEL PIPE COMPLYING WITH ASTM A53/A53M, BLACK STEEL, SCHEDULE 40, TYPE E OR S, GRADE B.

ABBREVIATIONS:

ABV	ABOVE
AC	AIR CONDITIONING UNIT
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
AP	ACCESS PANEL
BAS	BUILDING AUTOMATION SYSTEM
BD	BALANCING (VOLUME) DAMPER
BDD	BACKDRAFT DAMPER
BLW	BELOW
BOD	BOTTOM OF DUCT
BOP	BOTTOM OF PIPE
BTUH	BRITISH THERMAL UNITS PER HOUR
CFM	CUBIC FEET PER MINUTE
CLG	COOLING
CM	CONSTRUCTION MANAGER
CNTRL	CONTROL
CO	CLEAN OUT
COND	CONDENSATE
CONT	CONTINUED
CP	CONDENSATE PUMP
CUH	CABINET UNIT HEATER
DB	DRY BULB TEMPERATURE
DBA	DECIBEL A-WEIGHTED
DB	DECIBEL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DSD	DUCT SMOKE DETECTOR
DWG	DRAWING
(E)	EXISTING
EA	EXHAUST AIR
EAT	ENTERING AIR TEMPERATURE
EC	ELECTRICAL CONTRACTOR
EDB	ENTERING DRY BULB TEMPERATURE
EER	ENERGY EFFICIENCY RATIO
EF	EXHAUST FAN
EG	EXHAUST GRILLE
EL	ELEVATION
ELEC	ELECTRIC
EQUIP	EQUIPMENT
ER	EXHAUST REGISTER
EST	ESTIMATED
EUH	ELECTRIC UNIT HEATER
EWB	ENTERING WET BULB TEMPERATURE
EXT	EXTERNAL
F	DEGREES FAHRENHEIT
FD	FIRE DAMPER
FLR	FLOOR
FPM	FEET PER MINUTE
FSD	FIRE/SMOKE DAMPER
FT	FEET
G	NATURAL GAS PIPING
GA	GAUGE
GPH	GALLONS PER HOUR
GS	GALVANIZED STEEL
HP	HORSEPOWER
HTG	HEATING
IEER	INTEGRATED ENERGY EFFICIENCY RATIO
IN	INCH
IN WG	INCHES WATER GAGE
INV EL	INVERT ELEVATION
JAN	JANITOR'S
KW	KILOWATTS
LAT	LEAVING AIR TEMPERATURE
LBS	POUNDS
LRA	LOCKED ROTOR AMPS
LV	LOUVER
LWB	LEAVING WET BULB TEMPERATURE
MBH	BTU-H IN 1000'S
MCA	MAXIMUM CIRCUIT AMPACITY
MFS	MAXIMUM FUSE SIZE
MISC	MISCELLANEOUS

MOCP	MAXIMUM OVERCURRENT PROTECTION
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OA	OUTSIDE AIR
OD	OUTSIDE DIAMETER
OED	OPEN END DUCT
RG	RETURN GRILLE
RPM	REVOLUTIONS PER MINUTE
SCH	SCHEDULE
SEER	SEASONAL ENERGY EFFICIENCY RATIO
SENS	SENSIBLE
SG	SUPPLY GRILLE
SMACNA	SHEET METAL & AIR-CONDITIONING CONTRACTOR NATIONAL ASSOCIATION
SPECS	SPECIFICATIONS
SS	STAINLESS STEEL
STA	STATION
STD	STANDARD
SUC	SUCTION
TYP	TYPICAL
UH	UNIT HEATER
UON	UNLESS OTHERWISE NOTED
V	VENT LINE
V/PH/Hz	VOLTS/PHASE/HERTZ
VAV	VARIABLE AIR VOLUME
VD	VOLUME DAMPER
VFD	VARIABLE FREQUENCY DRIVE
W/	WITH
W/O	WITHOUT
WB	WET BULB TEMPERATURE
WMS	WIRE MESH SCREEN

APPLICABLE CODES:

1. 2018 INTERNATIONAL MECHANICAL CODE (2018 IMC)
2. NFPA-90A STANDARD FOR THE INSTALLATION OF AIR CONDITIONING AND VENTILATION SYSTEMS
3. NFPA-90B STANDARD FOR THE INSTALLATION OF WARM AIR HEATING AND AIR-CONDITIONING SYSTEMS
4. NFPA-72 NATIONAL FIRE ALARM AND SIGNALING CODE
5. 2018 INTERNATIONAL FUEL GAS CODE (2018 IFGC)
6. 2018 INTERNATIONAL ENERGY CONSERVATION CODE (2018 IECC)
7. 2018 INTERNATIONAL BUILDING CODE (2018 IBC)
8. 2018 INTERNATIONAL EXISTING BUILDING CODE (2018 IEBC)

DUCT SYMBOLS:

	SUPPLY DUCT TURNING UP (ROUND OR RECTANGULAR)			
	SUPPLY DUCT TURNING DOWN (ROUND OR RECTANGULAR)			
	RETURN DUCT TURNING UP			
	RETURN DUCT TURNING DOWN			
	EXHAUST DUCT TURNING UP			
	EXHAUST DUCT TURNING DOWN			
	CEILING RETURN, EXHAUST OR TRANSFER REGISTER			
	CEILING SUPPLY DIFFUSER			
	MITERED ELBOW WITH TURNING VANES			
10"x10"	SQUARE OR RECTANGULAR DUCTWORK			
	RECTANGULAR TO ROUND DUCT TRANSITION			
	RECTANGULAR TO RECTANGULAR TO ROUND TO ROUND DUCT TRANSITION			
	FLEXIBLE DUCT CONNECTOR			
	FLEXIBLE DUCT			
	FIRE DAMPER			
	VOLUME BALANCING DAMPER			
	MOTORIZED DAMPER			
	INDICATES ROUND DUCTWORK (DIAMETER)			
	RETURN, EXHAUST OR TRANSFER AIR FLOW			
	SUPPLY AIR FLOW			
	AIR FLOW DIRECTION ARROW			
<table border="1"><tr><td>TAG</td></tr><tr><td>NECK SIZE</td></tr><tr><td>CFM</td></tr></table>	TAG	NECK SIZE	CFM	AIR TERMINAL TAG
TAG				
NECK SIZE				
CFM				

CONTROLS:


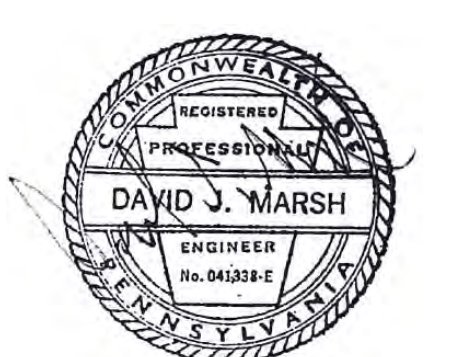
AI	ANALOG INPUT (TO PANEL)
AO	ANALOG OUTPUT (OUT OF PANEL)
DI	DIGITAL INPUT (TO PANEL)
DO	DIGITAL OUTPUT (OUT OF PANEL)
---	CONTROL WIRING (SIGNAL PATH)
	CARBON DIOXIDE SENSOR
	DIFFERENTIAL PRESSURE SWITCH
	DIFFERENTIAL PRESSURE SENSOR
	DUCT SMOKE DETECTOR
	FAN ON-OFF SWITCH
	FIRESTAT
	FREEZESTAT
	MOTOR
	MOTORIZED DAMPER
NC	NORMALLY CLOSED
NO	NORMALLY OPENED
	STATIC PRESSURE SENSOR
	SWITCH
	ZONE TEMPERATURE SENSOR
	TEMPERATURE TRANSMITTER
	THERMOSTAT
	VARIABLE SPEED DRIVE

VALVES AND ACCESSORIES:

	AUTOMATIC AIR VENT
	AUTOMATIC FLOW CONTROL VALVE
	BALANCING VALVE WITH TEST PORTS
	BLIND FLANGE
	BOTTOM CONNECTION
	CAPPED PIPE
	CHECK VALVE
	CONCENTRIC REDUCER
	DIRECTION OF FLOW
	ECCENTRIC REDUCER
	FLANGED CONNECTION
	EXPANSION COMPENSATOR
	FLOW MEASURING DEVICE
	FLOW METER
	GLOBE VALVE
	MANUAL AIR VENT
	PRESSURE/TEMPERATURE TEST PLUG
	PIPE ANCHOR
	PITCH
	PRESSURE REDUCING VALVE
	PRESSURE RELIEF VALVE
	PRESSURE GAUGE WITH GAUGE COCK
	SHUTOFF VALVE (SEE SPECIFICATIONS FOR TYPE)
	STRAINER
	STRAINER W/BLOW DOWN VALVE
	TWO WAY CONTROL VALVE
	THREE WAY CONTROL VALVE
	THERMOMETER

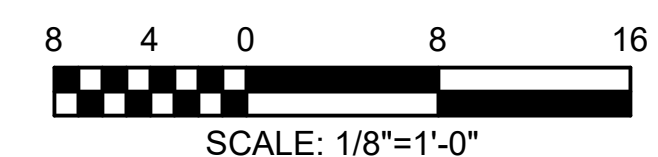
GENERAL SYMBOLS:

	DET #	DWG #	DETAIL TAG
	SECT #	DWG #	SECTION TAG
	EQUIP TYPE	EQUIP #	EQUIPMENT TAG

REVISIONS		
ISSUE	DATE	REVISIONS
<div></div>		
CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR		LEEANN SUEN
SEALS		
<div></div>		
<div><div><div>SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</div><div>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</div><div>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</div><div>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</div><div>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</div><div>ROOFING CONSULTANT: STEPHEN McLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</div></div></div>		
<div><div><div>CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION</div><div>1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING</div><div>PHILADELPHIA PENNYSYLVANIA</div></div></div>		
PROJECT TITLE		
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE		
MECHANICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS		
PROJECT NO.		DRAWING NO.
16315E-03-02		
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY	WS	
CHECKED BY	DM	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.		

1. REFER TO DRAWING M001 FOR GENERAL NOTES SYMBOLS AND ABBREVIATIONS.
2. REFER TO DRAWING M500 FOR MECHANICAL DETAILS.
3. REFER TO DRAWING M600 FOR MECHANICAL SCHEDULES.

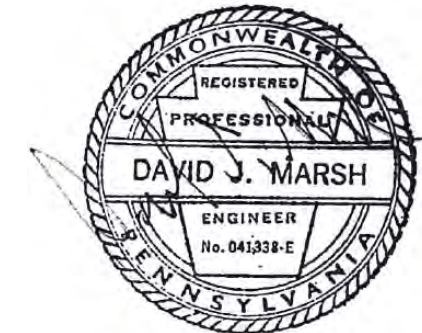
- 1 REMOVE EXISTING HEATING WATER SUPPLY PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES. PATCH WALL AND FLOOR OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 2 REMOVE EXISTING HEATING WATER RETURN PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES. PATCH WALL AND FLOOR OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 3 REMOVE EXISTING BOILER IN ITS ENTIRETY INCLUDING EQUIPMENT SUPPORTS, BURNERS, IGNITERS, BLOWERS GASKETS, FLUE, CONTROL BOARDS, DISPLAY BOARDS, TRANSFORMERS, AMPLIFIERS, SWITCHES, SENSORS, WIRING, HOT WATER PIPING, AQUASTATS, THERMOMETER, GAUGES, PUMPS, GAS, PIPING, REGULATORS, GAS VALVES, RELIEF VALVES, FILTERS, AND ALL ACCESSORIES. PATCH FLOOR TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 4 REMOVE EXISTING HEATING WATER PUMP IN ITS ENTIRETY INCLUDING SUPPORTS HANGERS, VALVES, PIPING, INSULATION, MOTOR STARTER, VFD, DISCONNECT, SWITCH CONTROLS, POWER WIRING, AND ACCESSORIES.
- 5 REMOVE EXISTING HEATING WATER SYSTEM EXPANSION TANK IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS AND ALL ACCESSORIES. PATCH FLOOR, INSULATION, AND ACCESSORIES. PATCH CEILING OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 6 REMOVE EXISTING SUSPENDED CAST IRON RADIATOR IN ITS ENTIRETY INCLUDING SUPPORTS, COVERS, COILS, PIPING, VALVES, CONTROLS AND ACCESSORIES. PATCH CEILING OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 7 REMOVE EXISTING HEATING WATER SYSTEM AIR SEPARATOR IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, PIPING, VALVES, INSULATION, AND ACCESSORIES. PATCH CEILING OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 8 REMOVE EXISTING BREECHING AND FLUE VENT IN ITS ENTIRETY INCLUDING DUCT, DAMPERS, SUPPORTS, HANGERS, INSULATION, ROOF FLASHING, STORM COIL, CAP, AND ACCESSORIES. HIRE A MECHANICAL CONTRACTOR TO COORDINATE THE INFILL OF THE EXISTING BREECHING'S ROOF PENETRATIONS WITH ROOFING CONTRACTOR. MECHANICAL CONTRACTOR TO PROVIDE TEMPORARY ROOF PATCHING DURING CONSTRUCTION.
- 9 REMOVE EXISTING CONCRETE PAD IN ITS ENTIRETY INCLUDING ALL REINFORCEMENT METAL AND PATCH FLOOR FLUSH AND READY FOR INSTALLATION OF NEW WORK.

[illegible]

PROJECT COORDINATOR

LEEANN SUEN

SEALS



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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE

MECHANICAL DEMOLITION BASEMENT
PLAN

PROJECT NO.

16315E-03-02

DATE	05/13/2025
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SCALE AS NOTED

DRAWN BY **WS**

CHECKED BY **DM**

DRAWING NO.

PL

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

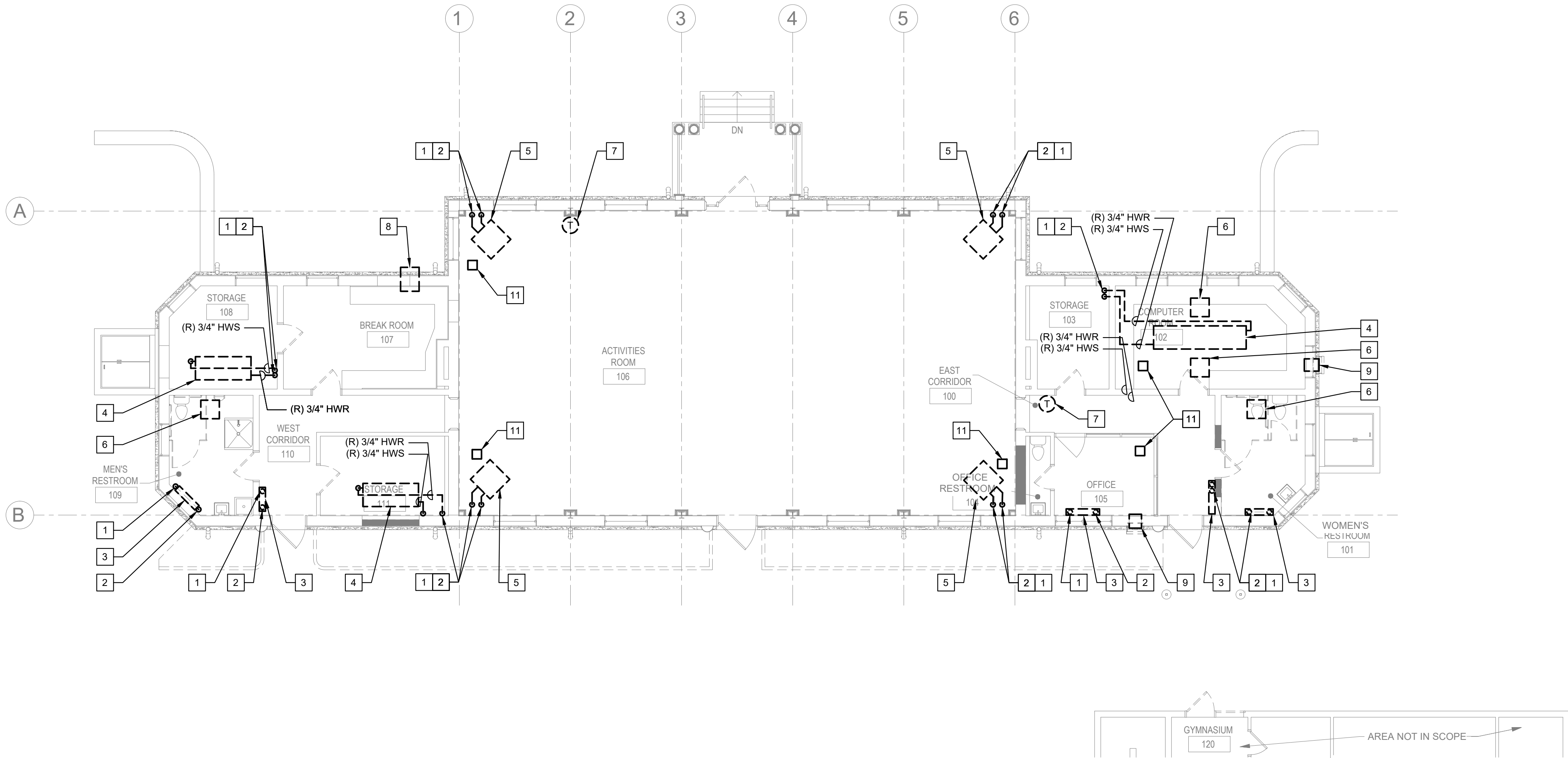
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

1. REFER TO DRAWING M001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. REFER TO DRAWING M700 FOR MECHANICAL DETAILS.
3. REFER TO DRAWING M800 FOR MECHANICAL SCHEDULES.


KEYED NOTES:

- 1 REMOVE EXISTING HEATING WATER SUPPLY PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES. PATCH WALL, AND FLOOR OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 2 REMOVE EXISTING HEATING WATER RETURN PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES. PATCH WALL AND FLOOR OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 3 REMOVE EXISTING CAST IRON RADIATOR IN ITS ENTIRETY INCLUDING SUPPORTS, COVERS, COILS, PIPING, VALVES, CONTROLS AND ACCESSORIES. PATCH WALL AND FLOOR OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 4 REMOVE EXISTING SUSPENDED CAST IRON RADIATOR IN ITS ENTIRETY INCLUDING SUPPORTS, COVERS, COILS, PIPING, VALVES, CONTROLS AND ACCESSORIES. PATCH CEILING OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 5 MECHANICAL CONTRACTOR SHALL REMOVE EXISTING UNIT HEATER IN ITS ENTIRETY INCLUDING SUPPORTS, CABINET, FANS, MOTORS, DAMPERS, COILS, PIPING, VALVES, CONTROLS, TRANSFORMERS, POWER WIRING, SENSORS, ACTUATORS, SWITCHES, AND ACCESSORIES. PATCH WALL OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 6 REMOVE EXISTING RELIEF GRILLE IN ITS ENTIRETY INCLUDING ANY RELIEF DAMPER AT CEILING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, DUCTWORK, FITTINGS, DAMPER, ACTUATORS, POWER WIRING, CONTROL, COMPRESSED AIR, TUBING, AND ACCESSORIES. PATCH CEILING OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 7 REMOVE EXISTING THERMOSTAT IN ITS ENTIRETY INCLUDING HANGERS, SUPPORTS, AIR TUBING, WIRING, CONTROLS AND ACCESSORIES. PATCH WALL TO MATCH EXISTING MATERIAL. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 8 REMOVE EXISTING EXHAUST FAN IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, MOTORS, VIBRATION ISOLATORS, FITTINGS, INSULATION, DAMPERS, CONTROLS, TRANSFORMERS, POWER WIRING, SENSORS, ACTUATORS, SWITCHES, AND ACCESSORIES. PATCH WALL AND OR ROOF OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- 9 REMOVE EXISTING THRU-WALL AIR CONDITIONER IN ITS ENTIRETY. MECHANICAL CONTRACTOR TO GIVE PARKS AND RECREATION RIGHT TO FIRST REFUSAL BEFORE SCRAPPING THE UNITS.
- 10 REMOVE AND STORE EXISTING AIR PURIFIER IN ITS ENTIRETY.
- 11 CLIENT TO REMOVE EXISTING AIR PURIFIER PRIOR TO CONSTRUCTION.



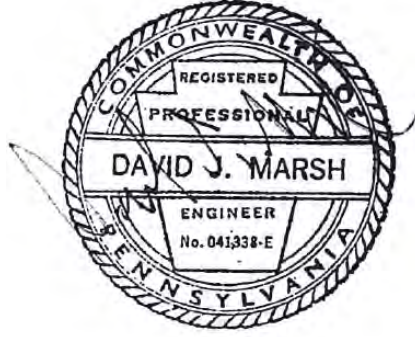
1
MD-102
MECHANICAL DEMOLITION FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
MECHANICAL DEMOLITION FIRST FLOOR
PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. MD-102
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY WS	
CHECKED BY DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

CONSTRUCTION DOCUMENTS

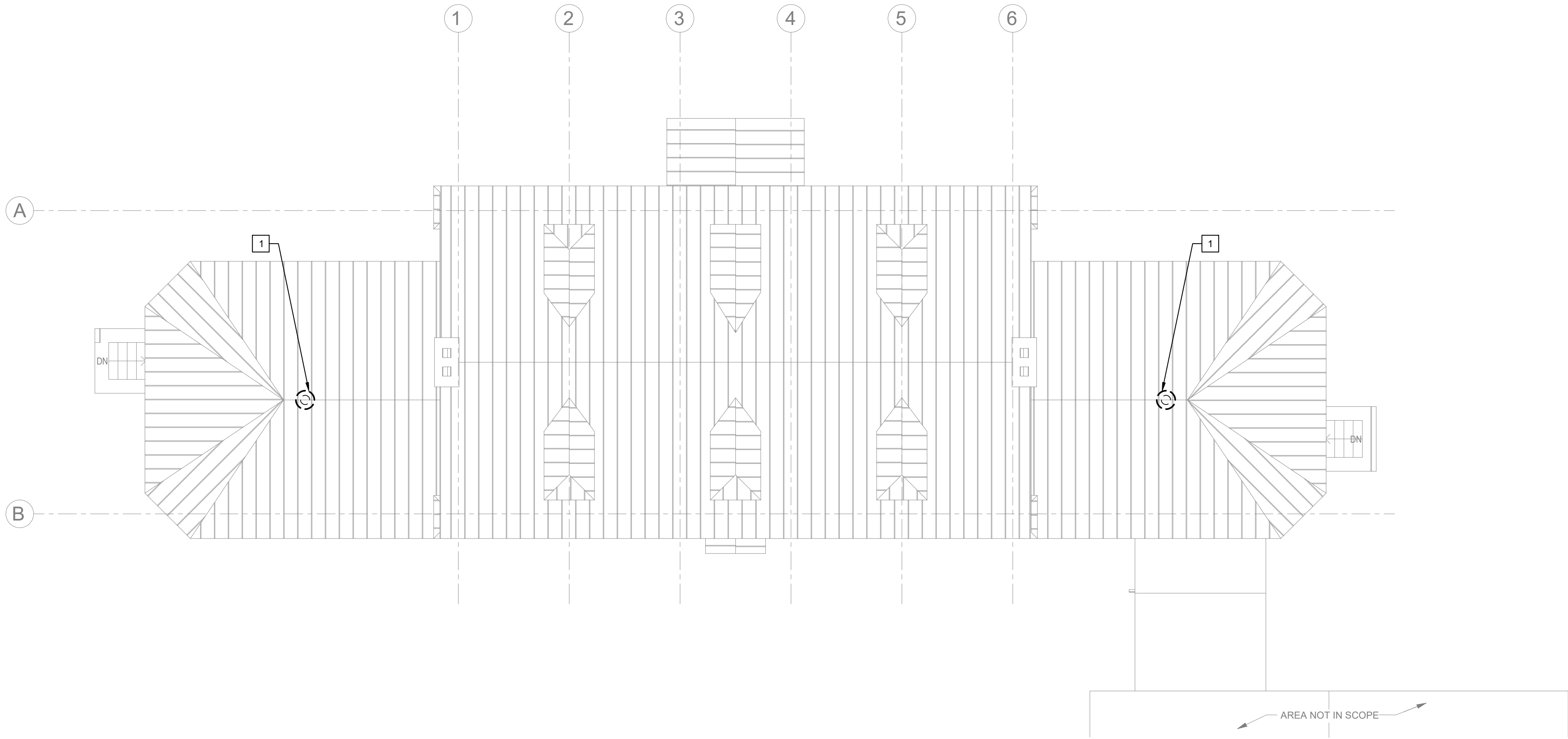
GENERAL NOTES:

1. REFER TO DRAWING M001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. REFER TO DRAWING M500 FOR MECHANICAL DETAILS.
3. REFER TO DRAWING M600 FOR MECHANICAL SCHEDULES.
4. MECHANICAL CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL CUT AND PATCH ROOF.
5. COORDINATE WITH OWNER'S REPRESENTATIVE FOR SUITABLE ROOFING CONTRACTOR AS TO NOT VOID EXISTING ROOF WARRANTY.

KEYED NOTES:

- 1

MECHANICAL CONTRACTOR SHALL REMOVE EXISTING GRAVITY RELIEF VENT IN ITS ENTIRETY INCLUDING CURB, DAMPER, AIR DEVICE, DUCTWORK, POWER AND CONTROL WIRING, CONTROLS, AND ACCESSORIES. PATCH ROOF TO MATCH EXISTING. COORDINATE WITH OWNER'S REPRESENTATIVE FOR SUITABLE ROOFING CONTRACTOR AS TO NOT VOID ROOF WARRANTY. PROVIDE TEMPORARY ROOF PATCHING DURING CONSTRUCTION.

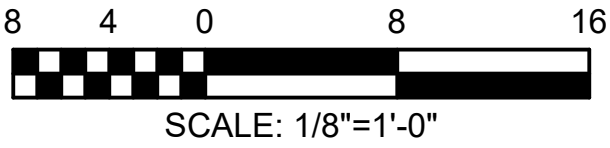


1

MD-103

MECHANICAL DEMOLITION ROOF PLAN

Scale: 1/8" = 1'-0"



REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

MECHANICAL DEMOLITION ROOF PLAN

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
WS

CHECKED BY
DM

DRAWING NO.
MD-103

FILE

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

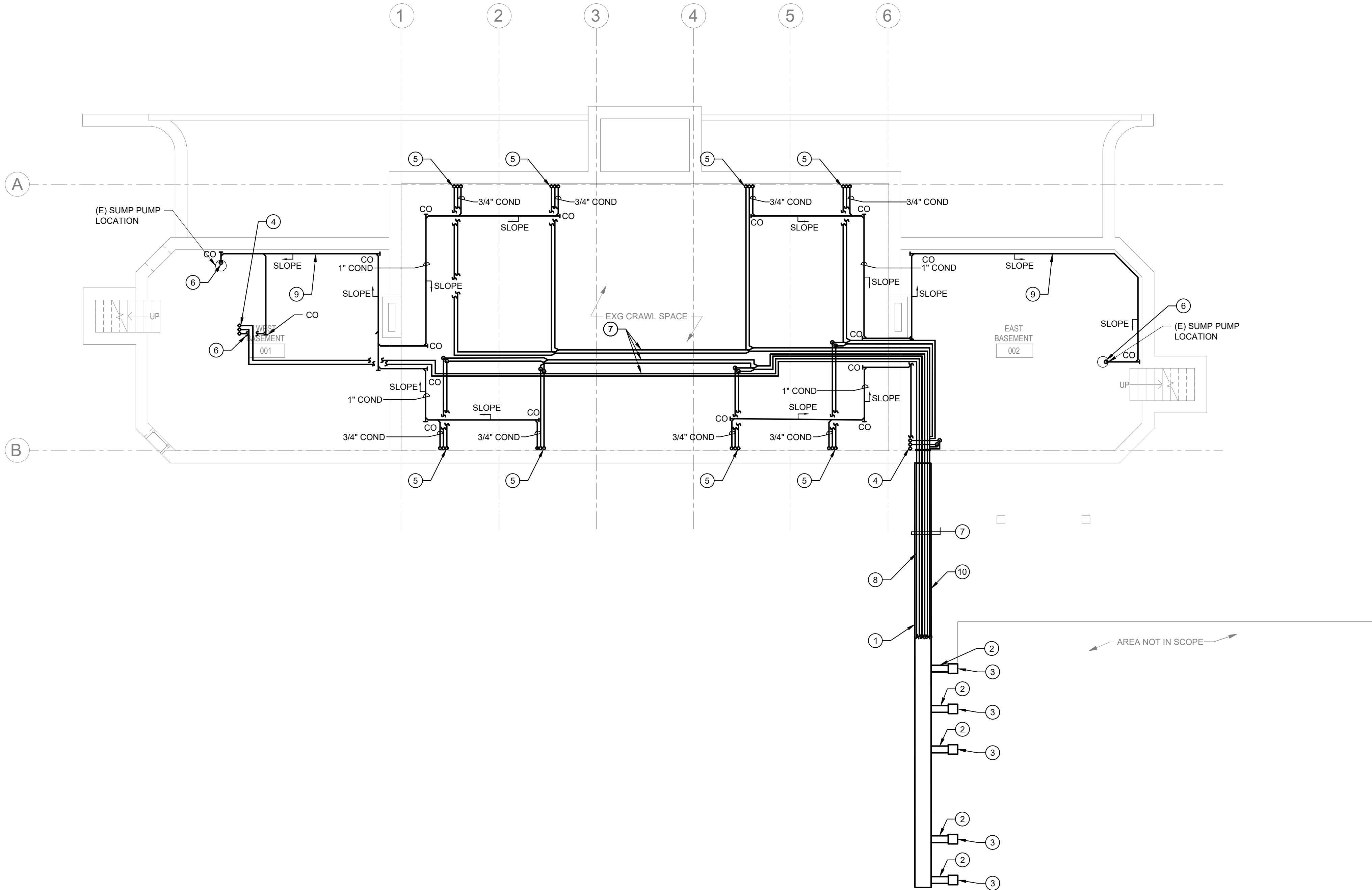
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

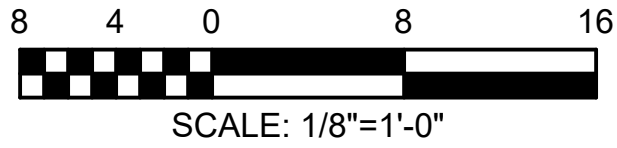
- REFER TO DRAWING M001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO DRAWING M500 FOR MECHANICAL DETAILS.
- REFER TO DRAWING M600 FOR MECHANICAL SCHEDULES.
- EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC. PLEASE REFER TO ARCHITECTURAL PLANS FOR PRECISE LOCATIONS OF EQUIPMENT.

KEYED NOTES:

- PROVIDE HDPE (HIGH DENSITY POLYETHYLENE) TO BE INSTALLED IN THE GROUND BELOW THE FROST LINE TO ENCASE THE REFRIGERANT PIPING GOING TO THE TERMINAL UNITS IN THE HAPPY HOLLOW RECREATION CENTER.
- PROVIDE HDPE (HIGH DENSITY POLYETHYLENE) 100' DUCT BRANCH TO HDPE 12X12 SQUARE PLENUM.
- HDPE 12X12 HDPE (HIGH DENSITY POLYETHYLENE) SQUARE PLENUM 12" ABOVE GRADE.
- REFRIGERANT PIPING UP TO FIRST FLOOR AND CONDENSATE PIPING DOWN FROM FIRST FLOOR TERMINATING AT SUMP PUMP SUMP.
- REFRIGERANT AND CONDENSATE PIPING UP TO FLOOR MOUNTED UNIT ON THE FIRST FLOOR
- CONDENSATE PIPING TO DISCHARGE TO SUMP PUMP.
- REFRIGERANT PIPING SHALL BE SIZED PER MANUFACTURER RECOMMENDATION.
- PROVIDE SPECIFIED REFRIGERANT PIPING INSULATION ON PIPING IN THE HDPE (HIGH DENSITY POLYETHYLENE) DUCT.
- CONDENSATE PIPING TO BE INSTALLED ALONG WALL.
- PROVIDE ALL EXCAVATING, BACKFILLING, AND WORK INCIDENTAL TO EXCAVATING. REQUIRED TO INSTALL THE HDPE (HIGH DENSITY POLYETHYLENE DUCTWORK). EXCAVATION AND BACKFILL SHALL BE COMPLETED PER MANUFACTURER RECOMMENDATIONS.



1 MECHANICAL BASEMENT PLAN
M-101 Scale: 1/8" = 1'-0"



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CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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DEPARTMENT OF PARKS & RECREATION
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
MECHANICAL BASEMENT PLAN

PROJECT NO. 16315E-03-02	M-101
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY WS	
CHECKED BY DM	FILED

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

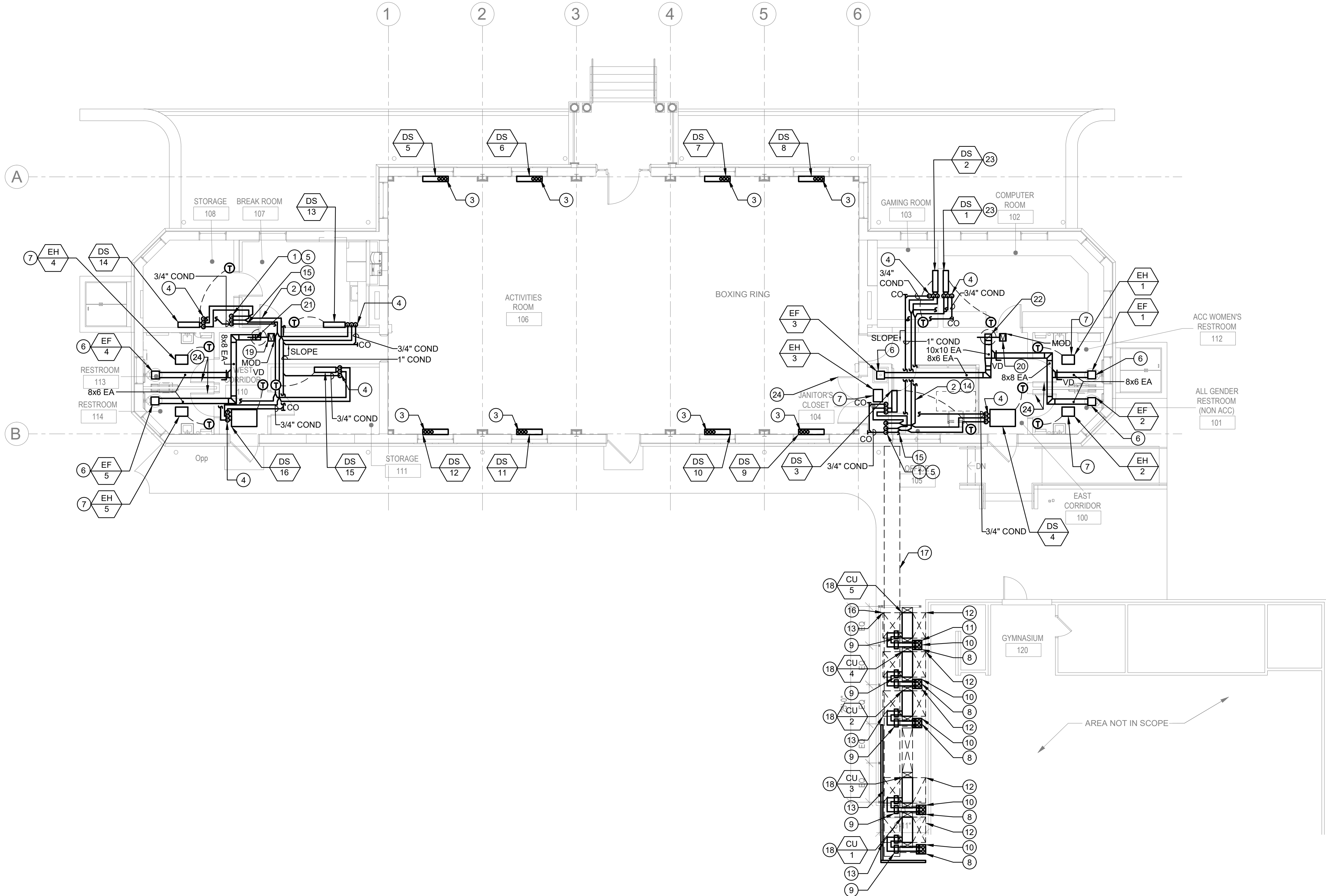
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

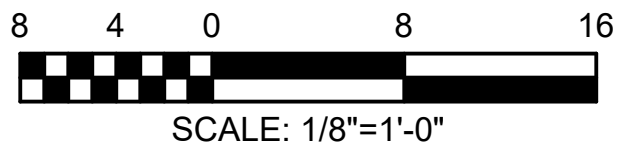
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3. REFER TO DRAWING M600 FOR MECHANICAL SCHEDULES.
4. EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC. PLEASE REFER TO ARCHITECTURAL PLANS FOR PRECISE LOCATIONS OF EQUIPMENT.

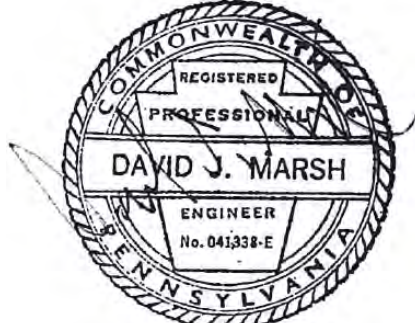
KEYED NOTES:

- 1 REFRIGERANT PIPING DOWN TO CRAWL SPACE.
- 2 REFRIGERANT PIPING TO BE INSTALLED ABOVE CEILING. THE VRF REFRIGERANT PIPING TO CONTINUE TO EACH TERMINAL UNIT.
- 3 REFRIGERANT AND CONDENSATE PIPING DOWN TO CRAWL SPACE.
- 4 REFRIGERANT AND CONDENSATE PIPING TO BE INSTALLED ABOVE CEILING.
- 5 SURFACE MOUNT INDOOR UNIT TO THE EXISTING CEILING AND SUPPORT FROM EXISTING STRUCTURE PER MANUFACTURER RECOMMENDATIONS.
- 6 INSTALL CEILING EXHAUST FAN BETWEEN STRUCTURE. STRUCTURE IS 16 INCH ON CENTER. CONTRACTOR TO CONFIRM LOCATION IN THE FIELD AND COORDINATE LOCATION WITH GENERAL CONTRACTOR.
- 7 INSTALL CEILING ELECTRIC UNIT HEATERS BETWEEN STRUCTURE. STRUCTURE IS 16 INCH ON CENTER. CONTRACTOR TO CONFIRM LOCATION IN THE FIELD AND COORDINATE LOCATION WITH GENERAL CONTRACTOR.
- 8 PROVIDE STAINLESS STEEL CLAMPS AND MODULE CAP AROUND CONDUIT AND PIPE. PROVIDE THE PATE COMPANY CURB ASSEMBLIES MODEL PPC-1 CAP STYLE WITH B-3 MODULE CAP AND INSTALL ON 12X12 HPDE (HIGH DENSITY POLYETHYLENE) CURB. UNITS SHALL HAVE FOUR (4) BOOTS FOR REFRIGERANT LINES, CONTROL CONDUIT, AND ELECTRICAL POWER CONDUIT. DO NOT INSULATE THROUGH MODULE CAP. PROVIDE STAINLESS STEEL CLAMPS AND MODULE CAP AROUND CONDUIT AND PIPE. (FOR CU-1,2,3,4,5).
- 9 PROVIDE THE PATE COMPANY EQUIPMENT SUPPORTS MODEL ES-1 SPACED MAXIMUM 48" APART (FOR CU-1,2,3, 4, 5).
- 10 REFRIGERANT PIPING SHALL BE INSTALLED GOING THROUGH HPDE (HIGH DENSITY POLYETHYLENE) PLENUM DOWN TO THE HPDE DUCT ENCASING THE REFRIGERANT PIPING BELOW GROUND.
- 11 REFER TO CONDENSING UNIT PIPING CURB DETAIL (TYPICAL FOR CU-1,2,3,4,5).
- 12 CONDENSING UNITS (CU-1,2,3,4,5) SHALL BE ON OUTSIDE CONCRETE PADS. CONDENSERS SHALL BE OFFSET BY A MINIMUM OF TWENTY INCHES FROM THE GYMNASIUM WALL PER MANUFACTURER RECOMMENDATIONS.
- 13 EQUIPMENT CLEARANCES (TYPICAL).
- 14 REFRIGERANT PIPING SIZED PER MANUFACTURER RECOMMENDATION.
- 15 CONDENSATE PIPING TO BE INSTALLED ABOVE CEILING. THE CONDENSATE PIPING TO CONTINUE TO EACH TERMINAL UNIT.
- 16 CONDENSERS SHALL BE OFFSET BY A MINIMUM OF 24 INCHES FROM THE ENCLOSURE PER THE MANUFACTURER RECOMMENDATIONS (TYPICAL FOR CU-1,2,3,4,5).
- 17 24 INCH HPDE (HIGH DENSITY POLYETHYLENE) DUCT BURIED BELOW THE FROST LINE (36 INCHES) BENEATH CONCRETE PAD.
- 18 ALL EXTERIOR HVAC EQUIPMENT SHALL BE PROTECTED BY STEEL COMMERCIAL THEFT/VANDALISM SECURITY PROTECTION CAGES. THE PHYSICAL SIZE, ETC. OF EACH SECURITY CAGE SHALL BE UNIQUELY DETERMINED BY THE SECURITY CAGE PROVIDER TO MATCH THE DIMENSIONS AND OPERATING REQUIREMENTS OF EACH UNIT PROTECTED. THE SECURITY CAGES SHALL BE OF SUFFICIENTLY ROBUST CONSTRUCTION AND SECURELY ATTACHED TO THE STEEL DUNNAGE OR ROOF TO PROTECT THE EQUIPMENT FROM ALL THEFT AND VANDALISM. THE SECURITY CAGES SHALL HAVE SUFFICIENT OPEN FREE AREA FOR ALL REQUIRED AIR MOVEMENT FOR PROPER EQUIPMENT OPERATION. THE SECURITY CAGES SHALL BE PROVIDED WITH SUFFICIENTLY LARGE OPERABLE OR DEMOUNTABLE NORMALLY SECURED ACCESS MEAN TO PERFORM ALL REQUIRED EQUIPMENT MAINTENANCE, WHILE PREVENTING UNAUTHORIZED ENTRY. THE ACTUAL DESIGN OF THE SECURITY CAGES SHALL BE PERFORMED BY THE SECURITY CAGE PROVIDED AS A DELEGATED DESIGN AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. THE DESIGN OF THE SECURITY CAGES SHALL BE BASED UPON THE REQUIREMENTS OF THE ACTUAL EQUIPMENT (MAKE/MODEL) INSTALLED UNDER THIS PROJECT.
- 19 PROVIDE MOTOR OPERATED DAMPER FOR EXHAUST VENT (EV-1). MOD SHALL BE INTERLOCKED WITH EXHAUST FAN (EF-4).
- 20 PROVIDE MOTOR OPERATED DAMPER FOR EXHAUST VENT (EV-2). MOD SHALL BE INTERLOCKED WITH EXHAUST FAN (EF-1, EF-2, & EF-3).
- 21 8X8 EXHAUST AIR DUCTWORK UP TO EV-1.
- 22 10X10 EXHAUST AIR DUCTWORK UP TO EV-1
- 23 PROVIDE PIPE ENCLOSURE AND CONDENSATE PUMP COVER FOR WALL MOUNTED UNIT. REFER TO DETAIL 5 ON M-501. TYPICAL FOR ALL WALL MOUNTED UNITS.
- 24 GENERAL CONTRACTOR TO PROVIDE 0.5 SQUARE FEET FREE AREA LOUVER IN DOOR.



1 MECHANICAL FIRST FLOOR PLAN
M-102 Scale: 1/8" = 1'-0"



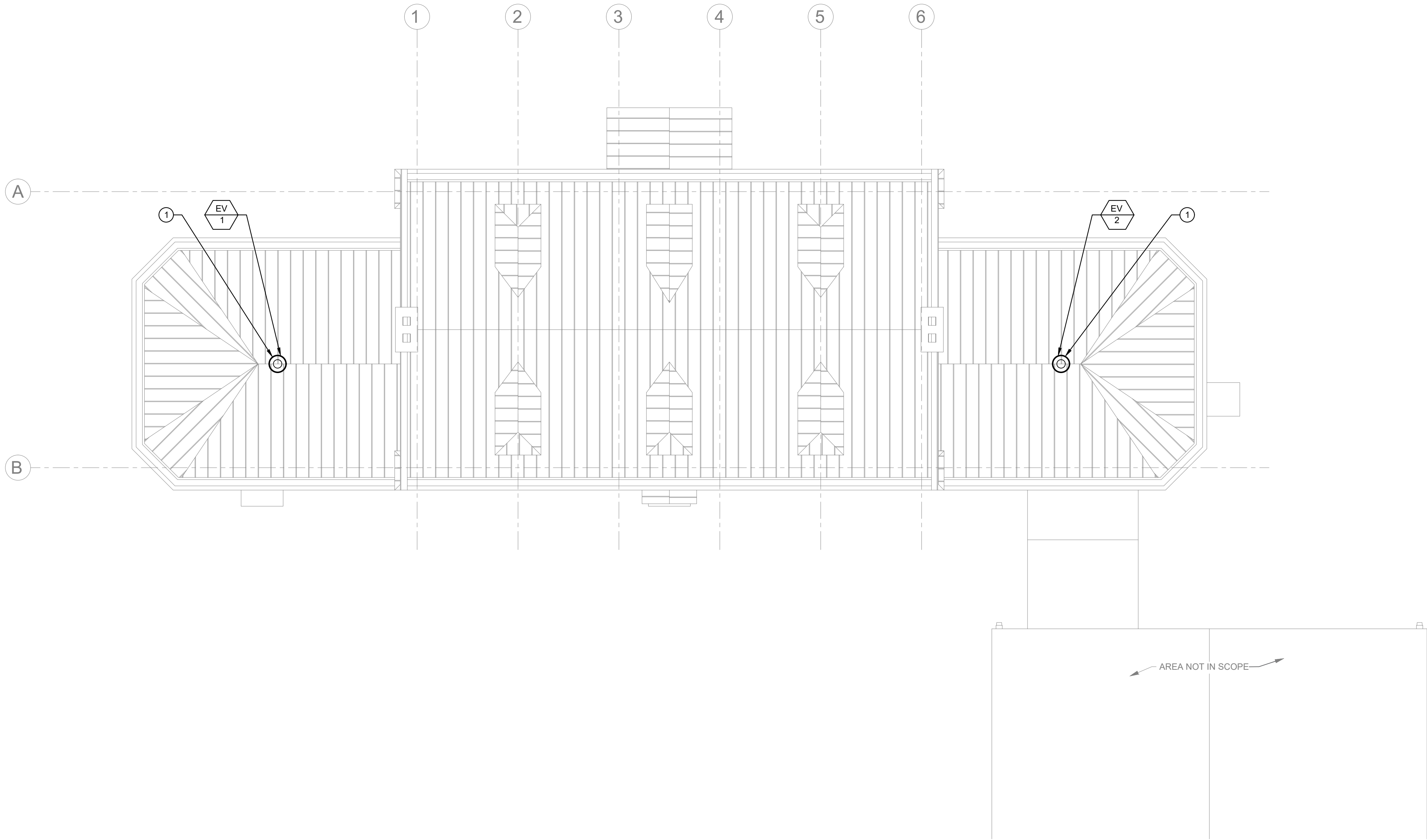
REVISIONS		
ISSUE	DATE	REVISIONS
		
CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR LEEANN SUEN		
SEALS 		
SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727 CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425 STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566 MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900 ROOFING CONSULTANT: STEPHEN MCLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424		
CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE MECHANICAL FIRST FLOOR PLAN		
PROJECT NO. 16315E-03-02		M-102
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY	WS	
CHECKED BY	DM	163
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		
CONSTRUCTION DOCUMENTS		

GENERAL NOTES:

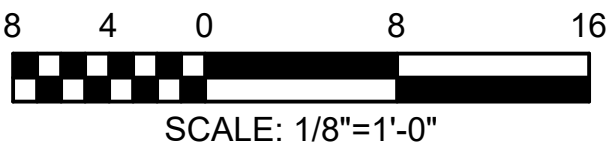
- REFER TO DRAWING M001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO DRAWING M500 FOR MECHANICAL DETAILS.
- REFER TO DRAWING M600 FOR MECHANICAL SCHEDULES.
- MECHANICAL CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL CUT AND PATCH ROOF.
- COORDINATE WITH OWNER'S REPRESENTATIVE FOR SUITABLE ROOFING CONTRACTOR AS TO NOT VOID EXISTING ROOF WARRANTY.

KEYED NOTES:

- ① MECHANICAL CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL CUT AND PATCH ROOF FOR EXHAUST VENT (EV-1 AND EV-2).



1 MECHANICAL ROOF PLAN
M-103 Scale: 1/8" = 1'-0"



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ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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1515 ARCH STREET
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PHILADELPHIA PENNSYLVANIA

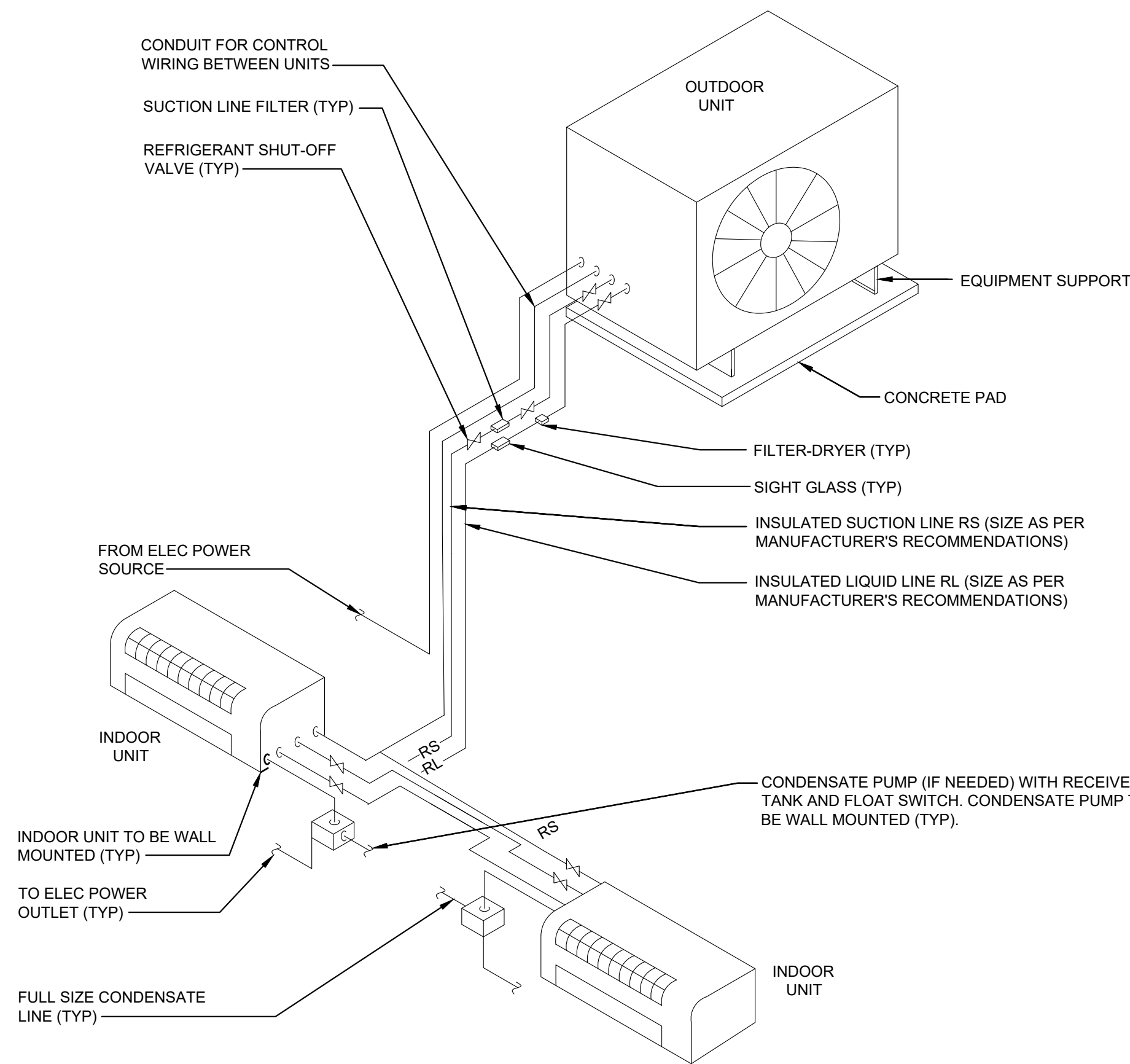
PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
MECHANICAL ROOF PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. M-103
DATE 05/13/2025	
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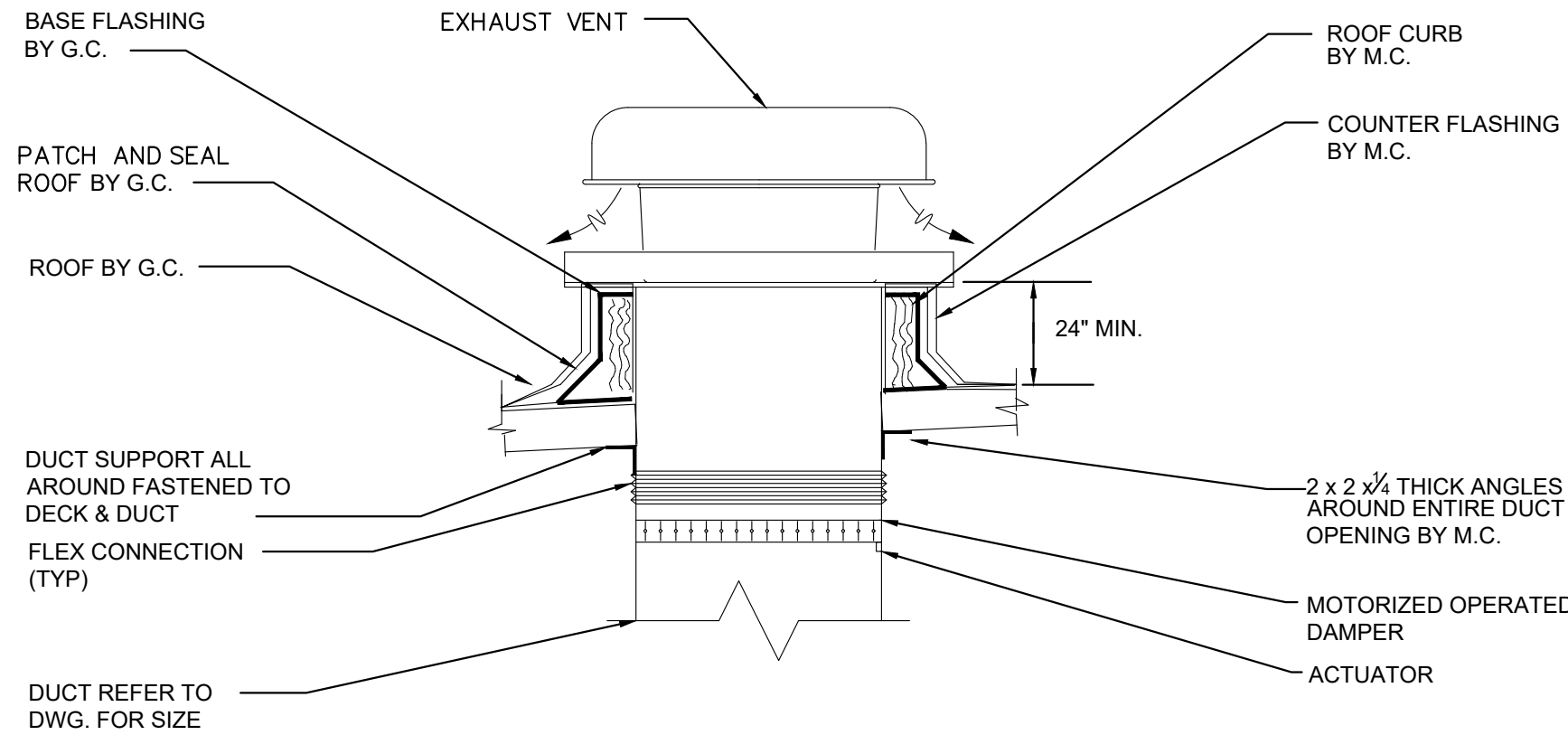
CONSTRUCTION DOCUMENTS



1 DX DUCTLESS SPLIT HEAT PUMP MULTIZONE SYSTEM DETAIL
NOT TO SCALE

NOTE:

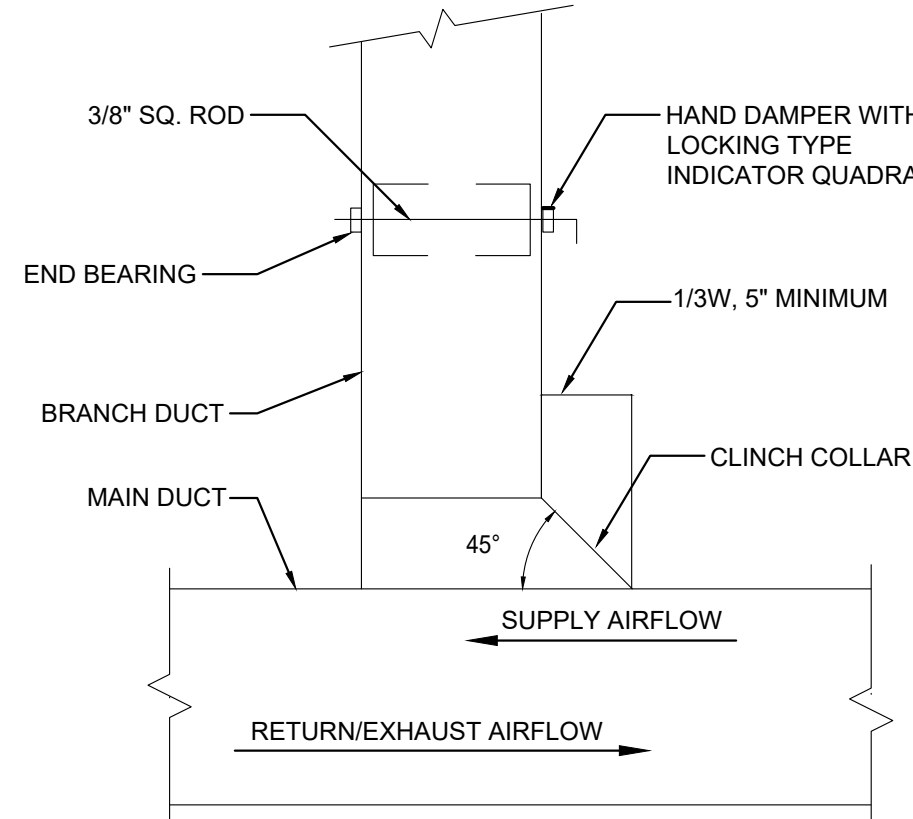
1. COORDINATE LOCATION OF ROOF CURB TO ENSURE CONDUITS FOR ALL SERVICES PASS THROUGH SINGLE PIPE PORTAL.



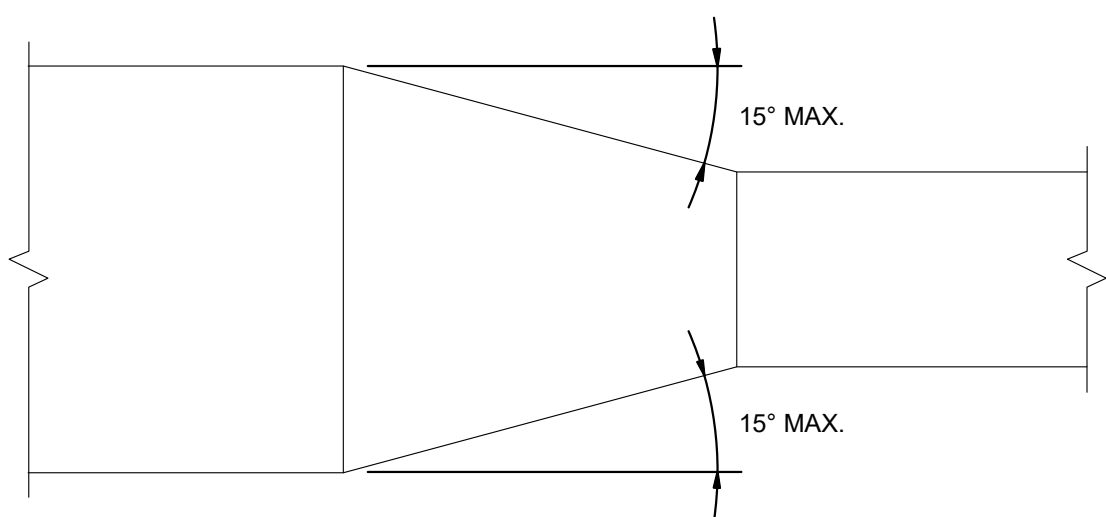
2 EXHAUST VENT DETAIL
NOT TO SCALE

NOTES:

1. BASE FLASHING AND ROOFING BY GENERAL CONTRACTOR FOR ALL NEW CONSTRUCTION.

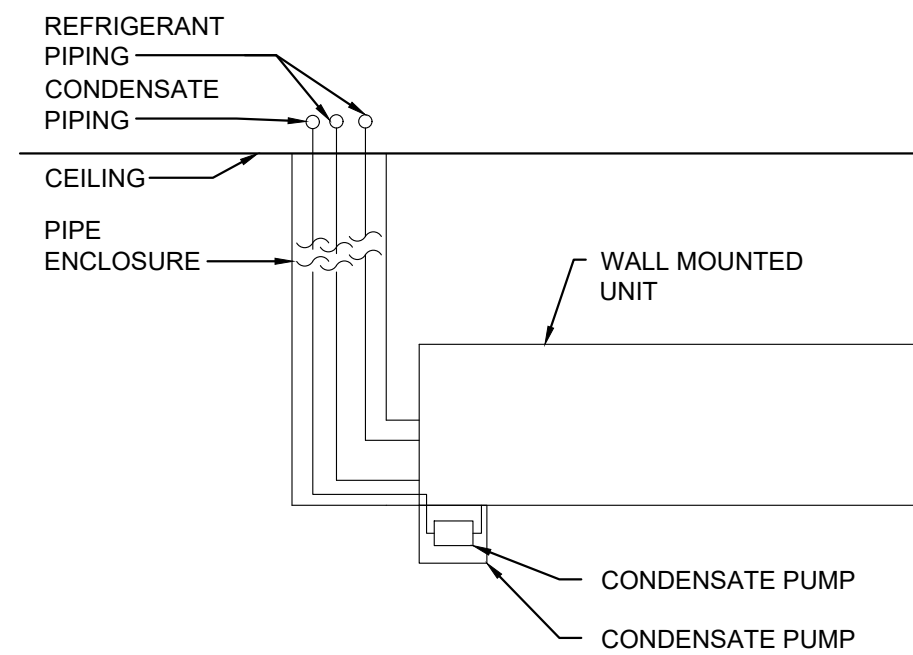


3 BRANCH DUCT CONNECT DETAIL
NOT TO SCALE

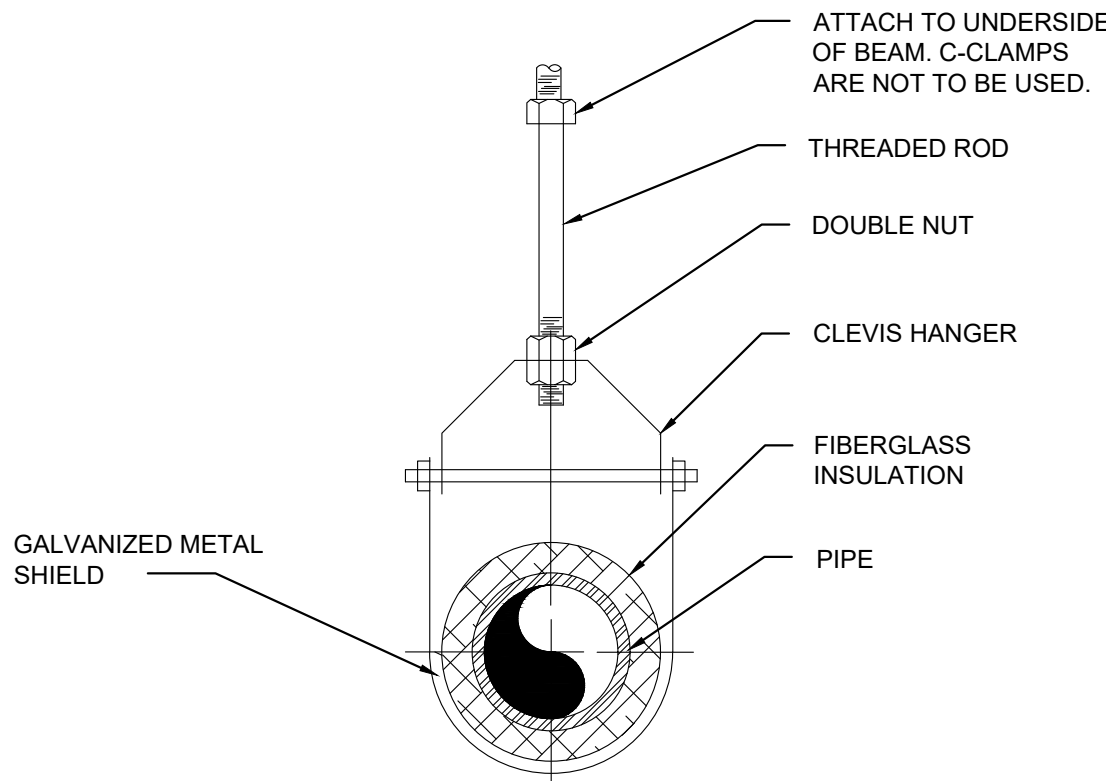


PLAN OR SIDE VIEW

4 DUCT TRANSITION DETAIL
NOT TO SCALE

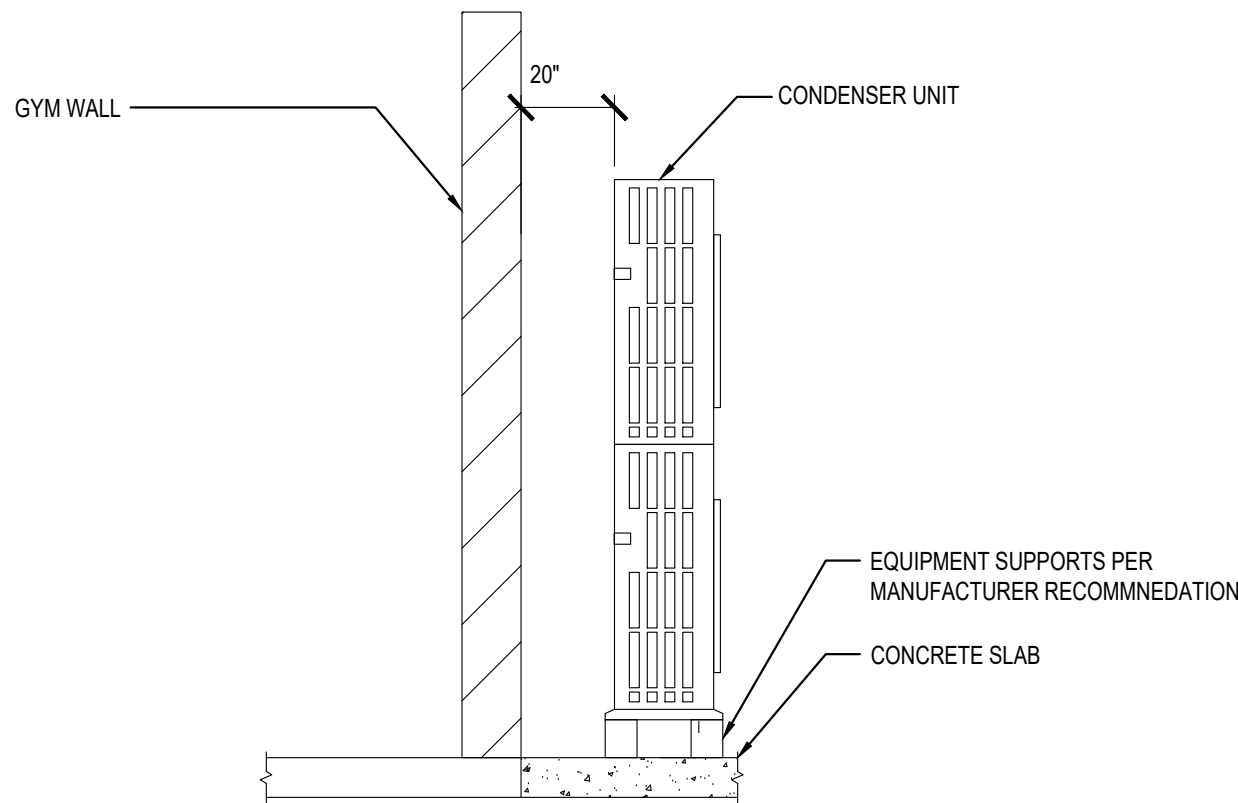


5 WALL MOUNTED UNIT WITH PIPE ENCLOSURE
NOT TO SCALE

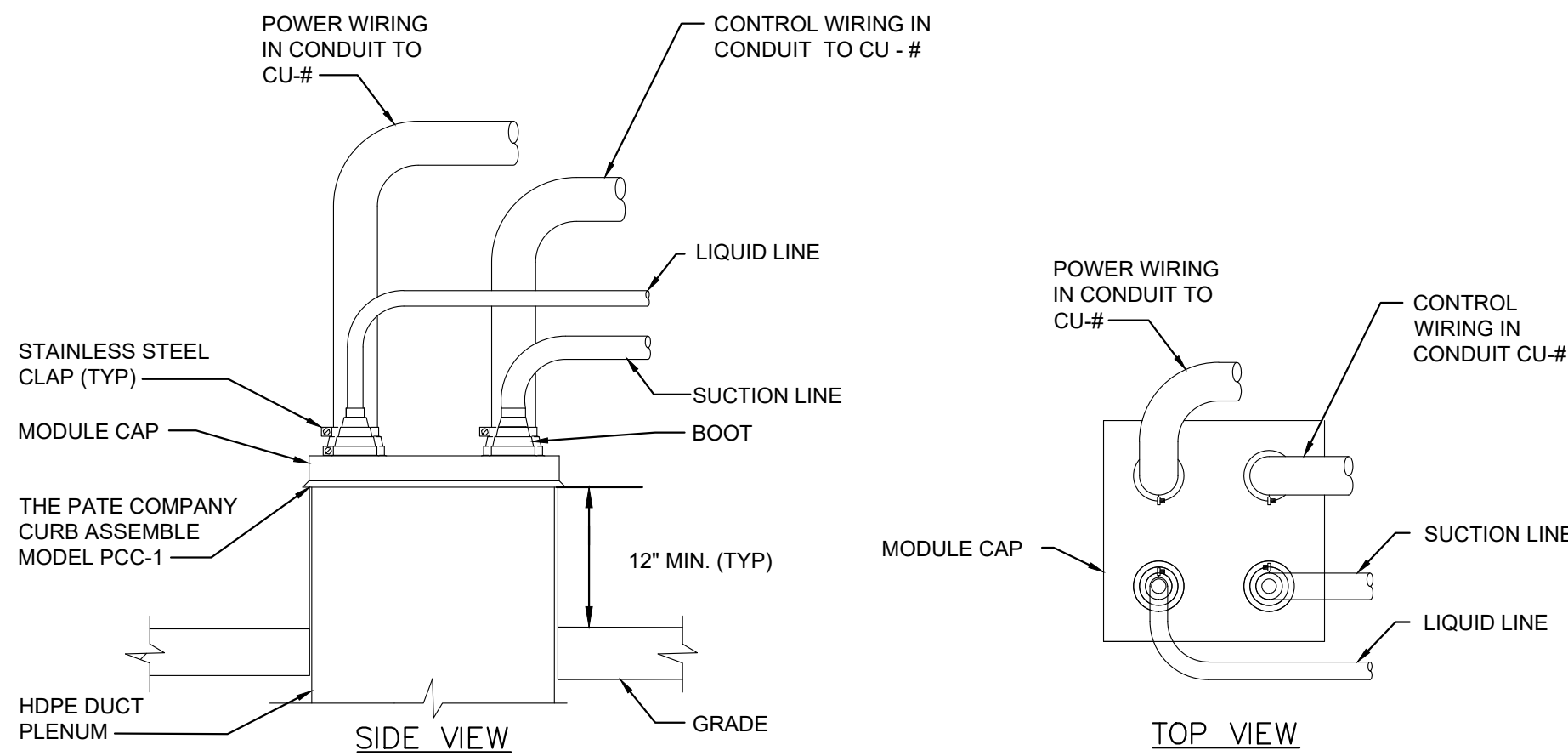


NOTE:
ALL MAT'L AND HARDWARE TO BE GALVANIZED OR FACTORY WHITE POWDER

6 CLEVIS HANGER DETAIL FOR 2" AND LESS
NOT TO SCALE



7 CONDENSER DETAIL
NOT TO SCALE



8 CONDENSING UNIT REFRIGERANT PIPING CURB DETAIL
NOT TO SCALE

REVISIONS		
ISSUE	DATE	REVISIONS

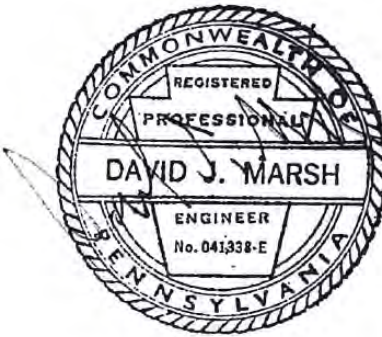


CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

MECHANICAL DETAILS

PROJECT NO.

16315E-03-02

DATE

05/13/2025

SCALE

AS NOTED

DRAWN BY

WS

CHECKED BY

DM

DRAWING NO.

M-500

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

CONSTRUCTION DOCUMENTS

ASHRAE 15 REFRIGERANT CONCENTRATION COMPLIANCE CALCULATION		
SYSTEM NAME:	FUJITSU AQU48RLAVM4	CU-1
REFRIGERANT TYPE:	R-410A	
IMC ALLOWABLE CONCENTRATION:	26	LBS/1000 CFT
SYSTEM REFRIGERANT:	11.7	LBS

ASHRAE 15 COMPLIANCE CALCULATIONS - EAST WING						
SPACE	ZONE NUMBER	SPACE AREA (SF)	SPACE HEIGHT (FT)	SPACE VOLUME (CFT)	REF. CONCENTRATION (LBS/1000 CFT)	REMARKS
COMPUTER ROOM	102	223.0	10	2230	5.2	N/A
STORAGE	103	92.0	10	920	12.7	N/A
OFFICE	105	90.0	10	900	13.0	N/A
EAST CORRIDOR	100	140.0	10	1400	8.4	N/A

ASHRAE 15 REFRIGERANT CONCENTRATION COMPLIANCE CALCULATION		
SYSTEM NAME:	FUJITSU AQU48RLAVM4	CU-2/CU-3/CU-4
REFRIGERANT TYPE:	R-410A	
IMC ALLOWABLE CONCENTRATION:	26	LBS/1000 CFT
SYSTEM REFRIGERANT:	35.1	LBS

ASHRAE 15 COMPLIANCE CALCULATIONS - ACTIVITY ROOM						
SPACE	ZONE NUMBER	SPACE AREA (SF)	AVG. SPACE HEIGHT (FT)	SPACE VOLUME (CFT)	REF. CONCENTRATION (LBS/1000 CFT)	REMARKS
ACTIVITY ROOM 106	106	1980.0	21	41580	0.8	N/A

ASHRAE 15 REFRIGERANT CONCENTRATION COMPLIANCE CALCULATION		
SYSTEM NAME:	FUJITSU AQU48RLAVM4	CU-5
REFRIGERANT TYPE:	R-410A	
IMC ALLOWABLE CONCENTRATION:	26	LBS/1000 CFT
SYSTEM REFRIGERANT:	11.7	LBS

ASHRAE 15 COMPLIANCE CALCULATIONS - WEST WING						
SPACE	ZONE NUMBER	SPACE AREA (SF)	SPACE HEIGHT (FT)	SPACE VOLUME (CFT)	REF. CONCENTRATION (LBS/1000 CFT)	REMARKS
BREAK ROOM	107	192.0	10	1920	6.1	N/A
STORAGE	108	124.0	10	1240	9.4	N/A
STORAGE	111	120.0	10	1200	9.8	N/A
WEST CORRIDOR	110	136.0	10	1360	8.6	N/A

VENTILATION CALCULATIONS																	
SPACE	FLOOR AREA (SF)	CODE USE GROUP	NUMBER OF OCC/100	NUMB OF OCC	NUMB OF PLUMB FIXT	OA CFM PER OCC	OCC OA REQD (CFM)	OA CFM PER SF REQD	AREA OA REQD (CFM)	TOT. OA (CFM)	ZONE EFFECTIVENESS (Ez)	TOT. OA REQD (CFM)	TOT. SA (CFM)	TOT. OA (CFM)	EA CFM REQD	FIXT EA CFM REQD	TOT. EA (CFM)
JANITOR CLOSET 104	50.0	RESTROOM	0	0.0	1											70	70
ACC WOMEN'S RESTROOM 112	63.0	RESTROOM	0	0.0	1											70	70
ALL GENDER RESTROOM 101	50.0	RESTROOM	0	0.0	1											70	70
RESTROOM 113	63.0	RESTROOM	0	0.0	1											70	70
RESTROOM 114	50.0	CLOSET	0	0.0	1											70	70
TOTAL	276			0	5		0		0	0			0	0	0	350	350
NOTES: 1. MECHANICAL VENTILATION PROVIDED PER SECTION 403 OF THE 2018 IMC.																	
2. OCCUPANCIES DETERMINED FROM ACTUAL NUMBER OF OCCUPANTS BASED UPON FURNITURE SHOWN ON ARCHITECTURAL DRAWINGS WHERE NUMBER/1000 SF IS SHOWN AS "N/A"																	

NATURAL VENTILATION CALCULATIONS - HAPPY HOLLOW						
SPACE	FLOOR AREA (SF)	CODE USE GROUP	REQUIRED VENTILATION AREA (SF)	ACTUAL VENTILATION AREA (SF)	NATURALLY VENTILATED? (Y/N)	MEANS OF NATURAL VENTILATION
STORAGE 1	95	STORAGE ROOM	3.8	10	Y	OPERABLE WINDOW
STORAGE 2	120	STORAGE ROOM	4.8	0	N	N/A
GAMING ROOM 103	100	COMPUTER LAB	4	17	Y	OPERABLE WINDOWS
EAST CORRIDOR	140	CORRIDOR	5.6	38	Y	EXTERIOR DOOR
WEST CORRIDOR	140	CORRIDOR	5.6	38	Y	EXTERIOR DOOR
OFFICE	100	OFFICE SPACE	4	40	Y	OPERABLE WINDOWS
COMPUTER ROOM	225	COMPUTER LAB	9	37	Y	OPERABLE WINDOWS
ACTIVITIES ROOM	1985	GYMNASIUM	79.4	363	Y	OPERABLE WINDOWS AND EXTERIOR DOORS
TOILET	25	JANITOR'S CLOSET	1	0	N	N/A
WOMEN'S RESTROOM	115	RESTROOM	4.6	17	Y	OPERABLE WINDOWS
MEN'S RESTROOM	115	RESTROOM	4.6	18	Y	OPERABLE WINDOWS
KITCHEN	195	BREAKROOM	7.8	10	Y	OPERABLE WINDOW
WEST BASEMENT	750	MECHANICAL ROOM	30	30	Y	EXTERIOR DOOR
EAST BASEMENT	750	MECHANICAL ROOM	30	30	Y	EXTERIOR DOOR
NOTES: 1. NATURAL VENTILATION PROVIDED PER SECTION 402 OF THE 2018 IMC.						
2. UNOCCUPIED SPACES NOT REQUIRED TO BE VENTILATED PER SECTION 401.2 OF THE 2019 IMC.						

REVISIONS		
ISSUE	DATE	REVISIONS

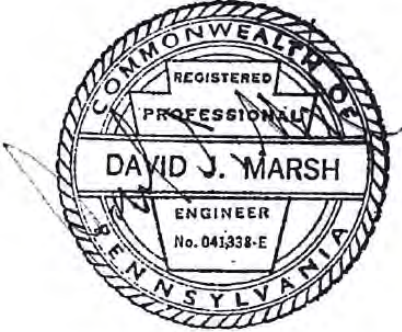


CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

SEALS



SMP ARCHITECTS

1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

LANDSCAPE ARCHITECT:
GROUND RECONSIDERED
www.groundreconsidered.com
215 790 0727

CIVIL ENGINEER:
KS ENGINEERS
www.kseng.com
215 925 0425

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
arstructural.com
610 688 2566

MEP ENGINEER:
ARORA ENGINEERS
www.aroraengineers.com
610 459 7900

ROOFING CONSULTANT:
STEPHEN MCLAUGHLIN ROOFING CONSULTANT
stevemclaughlin.biz
856 287 2424

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

MECHANICAL SCHEDULES

PROJECT NO.	DRAWING NO.
16315E-03-02	M-601
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

ELECTRICAL GENERAL NOTES:

1.

ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS ADOPTED BY MUNICIPAL, COUNTY, STATE, AND FEDERAL AUTHORITIES, INCLUDING THE LATEST ADOPTEED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) NFPA 70, AND WITH THE REQUIREMENTS/AMENDMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
2.

CONTRACT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO CONVEY SCOPE, DESIGN INTENT, AND GENERAL ARRANGEMENT ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK OF ALL TRADES INCLUDING RESOLUTION OF FIELD CONFLICTS THAT MAY ARISE.
3.

EACH FEEDER AND BRANCH CIRCUIT SHALL INCLUDE AN INSULATED EQUIPMENT GROUNDING CONDUCTOR. BOND ALL ELECTRICAL EQUIPMENT, OUTLET BOXES, GROUNDING TYPE RECEPTACLES, ETC., IN ACCORDANCE WITH NEC ARTICLE 250.
4.

MULTI-WIRE BRANCH CIRCUITS SHALL NOT BE PERMITTED. EACH 120V AND 277V BRANCH CIRCUIT SHALL INCLUDE DEDICATED NEUTRAL AND INSULATED GROUNDING CONDUCTORS. BOND ALL ELECTRICAL EQUIPMENT, OUTLET BOXES, GROUNDING TYPE RECEPTACLES, ETC., IN ACCORDANCE WITH NEC ARTICLE 250.
5.

TRUNKING OR GROUPING OF BRANCH CIRCUITS AND FEEDERS SHALL BE PERMITTED, PROVIDED THAT THE NEC RULES PERTAINING TO MAXIMUM ALLOWABLE PERCENT FILL OF RACEWAYS, AND AMPACITY OF ADJUSTMENT FACTORS FOR MORE THAN 3 CURRENT CARRYING CONDUCTORS IN A RACEWAY ARE STRICTLY COMPLIED WITH. THE ELECTRICAL CONTRACTOR SHALL EXERCISE GREAT CAUTION IN PROVIDING AN EQUAL NUMBER OF A, B, AND C PHASE CONDUCTORS WHEN GROUPING CIRCUITS.
6.

TROUGHS, JUNCTION AND PULL BOXES ARE NOT NECESSARILY INDICATED, BUT SHALL BE PROVIDED WHERE MANDATED BY THE NEC, AND AS REQUIRED FOR EASE OF INSTALLATION. BOXES SHALL BE SIZED (MINIMUM) IN ACCORDANCE WITH NEC ARTICLE 314. TROUGHS SHALL BE SIZED PER NEC ARTICLE 366.
7.

FEEDER AND BRANCH CIRCUIT WIRING ARE DEPICTED BY ASSIGNMENT OF CIRCUIT NUMBERS, INTERCONNECTING WIRING AND HOMERUNS, OR HOMERUNS ONLY (FOR SINGULAR LOADS). ALL FEEDERS AND BRANCH CIRCUITS ARE NEW TO BE PROVIDED UNDER THIS CONTRACT UNLESS OTHERWISE NOTED. INTERIOR WIRING SHALL BE INSTALLED IN RIGID METALLIC CONDUIT AND/OR EMT, 3/4" MINIMUM. FLEXIBLE METAL CONDUIT, LIQUID-TIGHT FLEXIBLE METAL CONDUIT SHALL BE UTILIZED IN LIMITED LENGTHS AS NECESSARY, OR AS REQUIRED/ALLOWED BY CODE.
8.

ALL NEW 600V OVER-CURRENT PROTECTIVE DEVICES SHALL HAVE INTERRUPTING CAPABILITIES OR RATINGS (AIC OR AIR) IN RMS AMPERES SYMMETRICAL. ALL DEVICES SHALL BE FULLY RATED FOR AVAILABLE FAULT CURRENT. ALL PANELBOARDS, SWITCHBOARDS, MDPS, DEVICES, ETC. SHALL BE FULLY RATED.
9.

ALL BUILDING WIRE SHALL BE COPPER CONDUCTORS, TYPE THHN/THWN-2 (DUAL LISTED) 90 DEGREE CELSIUS RATED INSULATION, #12 AWG MINIMUM. UTILIZE #10 AWG WIRE FOR ANY 15A OR 20A, 120V CIRCUIT THAT EXCEEDS 100 FEET FROM SOURCE TO LAST DEVICE OR OUTLET.
10.

ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL AN APPROVED, UL LISTED, FIRE STOP SEALANT, TOTALLY ENCLOSING ALL PENETRATIONS THROUGH RATED CEILINGS, WALLS, ROOFS, FLOORS, ETC. ALL FLOOR PENETRATIONS SHALL BE CORE-DRILLED, SLEEVED AND SEALED WITH AN APPROVED FIRE RATED SEALANT. ELECTRICAL CONTRACTOR SHALL SUBMIT LETTER TO OWNER THAT THE REQUIRED FIRE SEALANT WAS INSTALLED PER MANUFACTURER'S REQUIREMENTS. ALL EXISTING PENETRATIONS BETWEEN FLOORS AND WALLS MUST BE CLOSED TO MAINTAIN FIRE RATING.
11.

THE ELECTRICAL CONTRACTOR SHALL PERFORM THE WORK AS INDICATED ON THE DRAWINGS. ANY DEVIATIONS FROM THE DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL IN WRITING. IF CHANGES ARE MADE WITHOUT THE ENGINEER'S WRITTEN CONSENT, THE ELECTRICAL CONTRACTOR SHALL BE LIABLE FOR ANY ISSUES THAT MAY ARISE DUE TO THE CHANGES.
12.

UNLESS OTHERWISE NOTED, ALL WIRE SIZES SHALL BE BASED ON THE FOLLOWING:

a.

#12 THROUGH #1 OR 100A OR LESS - TABLE 310.16 60" COLUMN

b.

#10 AND GREATER OR 101A OR GREATER - TABLE 310.16 75" COLUMN

c.

OTHER ALLOWANCES OF 110.14(C)
15.

UNLESS OTHERWISE NOTED, FEEDER TAPS AND TRANSFORMER SECONDARY CONDUCTOR TAPS ARE DESIGNED BASED ON THE 10' RULE OF 240.21(B)(1) & 240.21(C)(2).
16.

UNLESS OTHERWISE NOTED, ALL CONDUIT SIZES SHALL BE BASED ON EMT, RMC, OR RNC (PVC SCHEDULE 40).
17.

ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE NEW, LABELED AND LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY OR AGENCY (E.G. UL), UNLESS OTHERWISE NOTED.
18.

THE ELECTRICAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF ALL EQUIPMENT IF NOT INDICATED ON DRAWINGS. IF THERE IS A DISCREPANCY, MANUFACTURER'S INSTRUCTIONS TAKE PRECEDENCE.
19.

THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL EQUIPMENT, LABOR, SERVICES, AND MATERIALS REQUIRED FOR COMPLETE INSTALLATION OF THE WORK INDICATED. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE NEW.
20.

ALL WIRING, EQUIPMENT, STARTERS AND CONTROLS SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND TO THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
21.

DO NOT SCALE DRAWINGS. ELECTRICAL CONTRACTOR SHALL VERIFY AND CONFIRM ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES ON THE DRAWINGS. COPIES OF THIS DRAWING WITHOUT A PROFESSIONAL ENGINEER'S SEAL AND ORIGINAL SIGNATURE SHALL NOT BE CONSIDERED VALID AND ARE FOR CONVENIENCE TO THE USER AT THEIR OWN RISK.
22.

ALL WORK SHALL COMPLY WITH THE LATEST REVISION OF THE LOCAL UTILITY'S ELECTRICAL SERVICE REQUIREMENTS (PECO ENERGY'S BLUE BOOK). COORDINATE ALL SERVICE WORK WITH UTILITY PRIOR TO INSTALLATION. OBTAIN UTILITY APPROVAL BEFORE ENERGIZING NEW WORK. NOTIFY PECO'S NEW BUSINESS SERVICES (FORMERLY CBS) VIA S&M APPLICATION. OBTAIN PECO REQUIREMENTS & DELINEATION OF RESPONSIBILITIES IN WRITING.
23.

CALL BEFORE YOU DIG (PA ONE CALL SYSTEM 1-800-242-1776 OR DIAL 811). ELECTRICAL CONTRACTOR TO HIRE AN INDEPENDENT UTILITY LOCATING COMPANY TO MARK-OUT CUSTOMER OWNED/PRIVATE PROPERTY FACILITIES BEFORE DIGGING AT ELECTRICAL CONTRACTOR'S EXPENSE.
24.

THE ELECTRICAL CONTRACTOR TO PLACE NEW EQUIPMENT, RELOCATE CURRENTLY INSTALLED EQUIPMENT, OR RE-WORK EXISTING ROOM AS REQUIRED TO COMPLY WITH WORKING CLEARANCE ISSUES, DEDICATED SPACE ISSUES, AND WITH APPLICABLE CODES.
25.

ALL NEW BREAKERS AND/OR DEVICES BEING INSTALLED IN EXISTING ELECTRICAL PANELS OR EQUIPMENT SHALL MATCH THE CHARACTERISTICS OF THE EXISTING EQUIPMENT IN MANUFACTURER, TYPE, MINIMUM SHORT CIRCUIT RATING, ETC.
26.

ELECTRICAL CONTRACTOR TO RE-FEED AND/OR CONNECT NEW FEEDERS TO EXISTING EQUIPMENT AS REQUIRED. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO MAKE ANY REQUIRED AND/OR NECESSARY CHANGES TO THE EXISTING INSTALLATION TO ALLOW FOR NEW SERVICE/FEEDER CONFIGURATION.
27.

WITH RESPECT TO CONSTRUCTION BASED ON THESE DRAWINGS, THE ELECTRICAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL INSTALLED MEANS AND METHODS MEETING ALL APPLICABLE CODES AND STANDARDS.
28.

ALL SWITCHES AND CIRCUIT BREAKERS INSTALLED IN WET AND DAMP LOCATIONS SHALL MEET NEC 404.4.
29.

UNLESS OTHERWISE NOTED, ALL CIRCUIT BREAKERS ARE BASED ON INVERSE TIME TYPE AND ALL FUSES ARE BASED ON DUAL ELEMENT TIME-DELAY TYPE.
30.

ALL WORK SHALL BE SCHEDULED AND COORDINATED WITH THE OWNER SO THAT DISRUPTION TO THE AREAS INVOLVED OR OTHER PARTS OF THE BUILDING ARE KEPT TO A MINIMUM. ELECTRICAL CONTRACTOR SHALL GIVE OWNER A MINIMUM OF FIVE (5) WORKING DAYS NOTICE OF ANY AND ALL WORK THAT WILL INTERFERE WITH OWNER'S OPERATIONS SO A SCHEDULE SUITABLE TO THE OWNER CAN BE ARRANGED.
31.

PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE TESTED, BALANCED AND OPERATED TO DEMONSTRATE TO THE OWNER THAT THE INSTALLATION AND PERFORMANCE OF THE INSTALLED SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE DESIGN INTENT.
32.

THE ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A MINIMUM PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE. ANY DEFECTS IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER PARTS OF THE BUILDING DAMAGED THEREBY, SHALL BE REPAIRED, REPLACED OR OTHERWISE REMEDIED WITHOUT EXPENSE TO THE OWNER. SUCH REPAIRS OR REPLACEMENTS SHALL BE MADE IN A TIMELY MANNER AND AT THE CONVENIENCE OF THE OWNER.
33.

ALL ITEMS MARKED WITH A AN (R) ON PLAN SHALL BE DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED. REMOVE EXISTING CONDUCTORS/CABLES WHERE NO LONGER REQUIRED. REMOVE WIRE FROM ALL ABANDONED CONDUIT. RECONNECT DISTURBED FACILITIES WHICH ARE TO REMAIN AND PLACE IN OPERATING CONDITION.
34.

UPON COMPLETION OF THE CONTRACT, THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH THREE (3) COMPLETE SETS OF MANUFACTURER'S OPERATING, MAINTENANCE AND PREVENTIVE MAINTENANCE INSTRUCTIONS (IN BOUND BOOK FORM) INCLUDING PARTS LIST, AND COMPLETE PROCUREMENT INFORMATION SPECIFYING EQUIPMENT NUMBERS AND DESCRIPTIONS. OPERATING STAFF PERSONNEL SHALL BE INSTRUCTED AS TO PROPER OPERATING AND SERVICE REQUIREMENTS OF THE SYSTEMS AND EQUIPMENT.
35.

ELECTRICAL CONTRACTOR SHALL UPON COMPLETION OF THE WORK, SUBMIT A SET OF RECORD DRAWINGS SHOWING ALL BURIED OR CONCEALED EQUIPMENT OF PARTS OF THE WORK.
36.

UPON COMPLETION OF ALL WORK, THOROUGHLY CLEAN ALL SYSTEMS OF OBSTRUCTIONS, DEBRIS, SCALE, DUST, DIRT, ETC. AND PLACE SYSTEMS IN OPERATION.
37.

THE ELECTRICAL CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, ETC.
38.

MAINTAIN CONTINUITY OF EXISTING SYSTEMS. PROVIDE TEMPORARY SERVICE AS NECESSARY. COORDINATE SHUTDOWNS WITH OWNER. RELOCATE, REROUTE, REMOVE OR ABANDON EXISTING WORK THAT INTERFERES WITH THE NEW ARRANGEMENT. REMOVE EXISTING ITEMS AS REQUIRED TO ACCOMMODATE NEW WORK.

ELECTRICAL SYMBOLS:

DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V

DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION

DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION (+) INDICATES MOUNTING HEIGHT IN INCHES

DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION IN A WEATHER-PROOF ENCLOSURE

SIMPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V

QUADRUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V

SPECIAL RECEPTACLE, CONFIGURATION NOTED ON PLANS

20A, 120/277 VAC, SINGLE POLE TOGGLE SWITCH

WEATHER PROOF SWITCH

OCCUPANCY SENSOR SWITCH

20A, 120/277 VAC, THREE-WAY SWITCH

MANUAL MOTOR RATED SWITCH

NON-FUSIBLE DISCONNECT SWITCH, 30A/3P, 600V UNLESS OTHERWISE NOTED

COMBINATION MAGNETIC STARTER, SIZE AS REQUIRED BY NEC

FUSIBLE DISCONNECT SWITCH, SIZE AS NOTED

BRANCH CIRCUIT HOMERUN INDICATES PANEL AND CIRCUIT BREAKER NUMBER

LOOP LINE INDICATES CIRCUIT CONDUCTORS AND CONDUIT CONNECTING IDENTIFIED DEVICES.

JUNCTION BOX

CEILING MOUNTED OCCUPANCY SENSOR

PANELBOARD

CIRCUIT BREAKER, RATINGS AS INDICATED

LINE VOLTAGE THERMOSTAT FURNISHED BY HVAC CONTRACTOR

DUCT SMOKE DETECTOR

METER

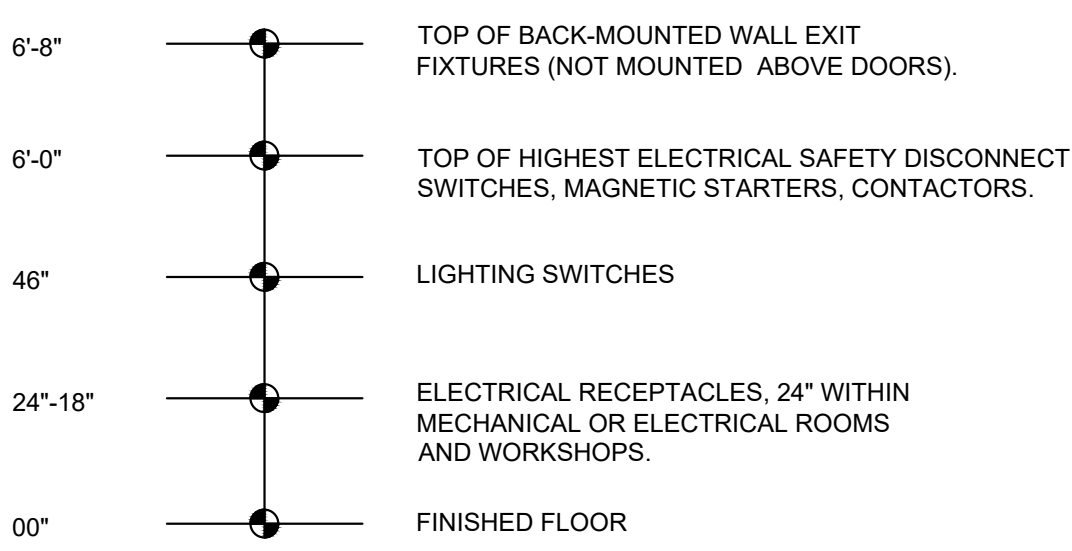
POWER POLE

HANDHOLE

TRANSFORMER

DAYLIGHT SENSOR, "Z#" INDICATES ZONES CONTROLLED

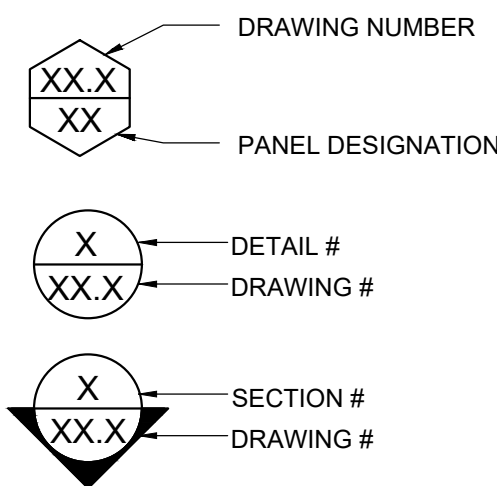
STANDARD MOUNTING HEIGHTS:



NOTES:

1. MOUNTING HEIGHTS TO CENTER OF OUTLETS UNLESS OTHERWISE NOTED.
2. THE ABOVE MOUNTING HEIGHTS SHALL BE ADHERED TO UNLESS NOTED OTHERWISE ON THE DRAWINGS OR SPECIFICATION.

DETAIL CALLOUT SYMBOLS:



PRESENTATION:

Electrical equipment designated by solid heavy line weight indicates new work to be furnished and installed.

Electrical equipment designated by solid light line weight indicates existing equipment to remain, unless otherwise indicated.

Electrical equipment designated by dashed heavy line weight represents existing equipment to be removed and disposed, unless indicated to be remounted, relocated, or turned over to owner.

GENERAL DEMOLITION NOTES:

1. ELECTRICAL CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL OTHER TRADES.
2. THE EXISTING CONDITION/DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT.
3. DEMOLITION IS NOT SHOWN IN COMPLETE DETAIL AND IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMOVE EXISTING CONSTRUCTION AS REQUIRED FOR COMPLETE DEMOLITION.
4. REFER TO WORK SHOWN ON OTHER DRAWINGS IN THE SET FOR THE EXTENT OF DEMOLITION REQUIRED TO PERFORM WORK INTENT. (I.E. ARCHITECTURAL, MECHANICAL, ELECTRICAL DEMOLITION SHEETS/NOTES).
5. THE GENERAL CONTRACTOR OR ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION DEBRIS GENERATED FROM HIS WORK, TAKING CARE TO PREVENT OVERLOADING OF FLOOR ASSEMBLY AND PROTECTION OF ADJACENT EXISTING CONSTRUCTION.
6. DURING DEMOLITION, TAKE ALL PRECAUTIONS NECESSARY TO PREVENT STRUCTURAL AND OTHER DAMAGE TO THE BUILDINGS EXISTING WALLS AND FINISHES.
7. PRIOR TO DEMOLITION, ELECTRICAL CONTRACTOR SHALL VERIFY BY MEANS OF VOLTAGE TESTING THAT ALL DEVICES, EQUIPMENT, ETC. TO BE REMOVED BY GENERAL CONTRACTOR ARE DE-ENERGIZED AND SAFE-OFF.
8. ELECTRICAL CONTRACTOR SHALL UPDATE PANELBOARD DIRECTORIES INDICATING WHICH CIRCUIT BREAKERS BECOME SPARES DUE TO DEMOLITION.

TELECOMMUNICATION GENERAL NOTES:

1. INSTALLATION OF CATEGORY 6 UTP CABLE SHALL BE IN ACCORDANCE WITH TIA GUIDELINES. CABLE INSTALLATION AND TERMINATIONS THAT DO NOT COMPLY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

1.1. THE MAXIMUM PULLING FOR A SINGLE CABLE SHALL NOT EXCEED 25 POUNDS.

1.2. THE MINIMUM BENDING RADIOS OF THE CABLE SHALL NOT BE LESS THAN 4X THE OUTSIDE DIAMETER OF THE CABLE.

1.3. THE CABLE SHALL BE INSTALLED WITHOUT KINKS OR TWISTS AND THE APPLICATION OF THE CABLE TIES SHALL NOT DEFORM THE CABLE BUNDLE. CONDUITS SHALL TRANSITION INTO CABLE TRAYS USING CONDUIT AND BELLS. NO CABLE SHALL BE INSTALLED OVER ROUGH EDGES IN ANY TRANSITION.

1.4. STRIP BACK ONLY AS MUCH CABLE JACKET AS IS REQUIRED TO TERMINATE THE CABLE. CABLE PAIRS SHALL NOT BE UNTWISTED MORE THAN 1/2 INCH.

1.5. CABLES SHALL BE TESTED PER THE SPECIFICATIONS. CABLES WHICH DO NOT PASS TESTS SHALL BE REPLACED, OR RECTIFIED BY THE CONTRACTOR AT NO ADDITIONAL COST.

1.6. THE CONTRACTOR SHALL NOT INSTALL ANY NEW CATEGORY 6 CABLE AT LENGTHS GRATER THAN 90 METERS FROM PATCH PANEL TO OUTLET BOX. THE CONTRACTOR SHALL BRING ANY CONDITIONS EXCEEDING THE CABLE LIMIT DISTANCE TO THE ENGINEER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING CABLING. CONTRACTOR SHALL ALSO BE RESPONSIBLE FIR FURNISHING AND INSTALLING CONDUIT FROM EQUIPMENT DEVICE LOCATIONS TO DESIGNATED TERMINATION ROOMS. ALL NEW CABLING SHALL BE INSTALLED IN CONDUIT UNLESS OTHER

ELECTRICAL ABBREVIATIONS:

A, AMP	AMPERES
AC	ALTERNATING CURRENT
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AIC	AMP INTERRUPTING CAPACITY
AT	AMP TRIP
AF	AMP FRAME
ATC	AUTOMATIC TEMPERATURE CONTROL
AWG	AMERICAN WIRE GAUGE
BKR	BREAKER
C, CND	CONDUIT
C.B.	CIRCUIT BREAKER
CKT	CIRCUIT
CU	COPPER
DC	DIRECT CURRENT
DDC	DIGITAL DATA CONTROL
DWG	DRAWING
(E)	EXISTING WORK/EQUIPMENT TO REMAIN
(ER)	EXISTING WORK/EQUIPMENT TO BE REMOVED AND RELOCATED
EC	ELECTRICAL CONTRACTOR
EF	EXHAUST FAN
ELEC	ELECTRICAL
EQUIP	EQUIPMENT
EM	EMERGENCY
EMH	ELECTRICAL MANHOLE
EMT	ELECTRICAL METALLIC TUBING
EUH	ELECTRIC UNIT HEATER
FT	FOOT (FEET)
G, GND	GROUND
GFCI, GFI	GROUND FAULT CIRCUIT INTERRUPTER
HZ	HERTZ
JB	JUNCTION BOX
KAIC	KILO AMPERES INTERRUPTING CURRENT
KVA	KILO VOLTS AMPERES
KW	KILOWATTS
LFMC	LIQUID TIGHT FLEXIBLE METAL CONDUIT
MC	MECHANICAL CONTRACTOR
MCB	MAIN CIRCUIT BREAKER
MCA	MAXIMUM CIRCUIT AMPACITY
MIN	MINIMUM
MISC	MISCELLANEOUS
MLO	MAIN LUG ONLY
MOCP	MAXIMUM OVER CURRENT PROTECTION
MOCDD	MAXIMUM OVER CURRENT PROTECTIVE DEVICE
(N)	NEW
NEC	NATIONAL ELECTRIC CODE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
P	POLE
PH, Ø	PHASE
PNL	PANEL
PWR	POWER
(R)	EXISTING EQUIPMENT TO BE DISCONNECTED & REMOVED
(RE)	RELOCATED EXISTING WORK
RCPT	RECEPTACLE
RGS	RIGID GALVANIZED STEEL
RMC	RIGID METAL CONDUIT
RNC	RIGID NON-METALLIC CONDUIT
SCCR	SHORT CIRCUIT CURRENT RATING
SMR	SURFACE METAL RACEWAY
SW	SWITCH
SPECS	SPECIFICATIONS
TBD	TO BE DETERMINED
TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
TS	TWISTED SHIELDED
TYP.	TYPICAL
UE	UNDERGROUND ELECTRIC
UH	UNIT HEATER
UON	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTIBLE POWER SUPPLY
V	VOLTS
VFD	VARIABLE FREQUENCY DRIVE
WP	WEATHER PROOF
XFMR	TRANSFORMER

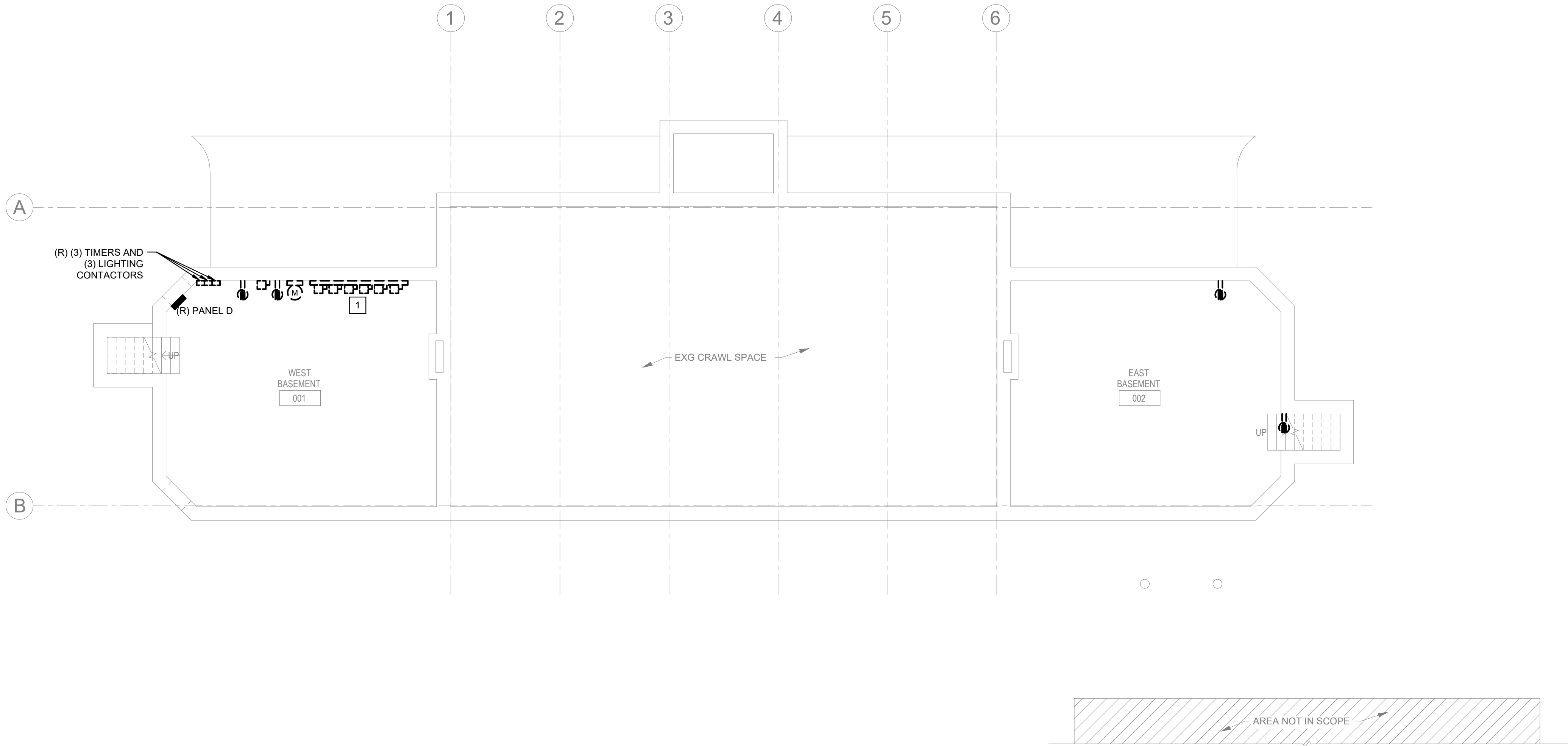
REVISIONS		
ISSUE	DATE	REVISIONS
<div></div>		
CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR		LEEANN SUEN
SEALS		
<div></div>		
<div><div>SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</div><div>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</div><div>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</div><div>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</div><div>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</div><div>ROOFING CONSULTANT: STEPHEN MCLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</div></div>		
CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE ELECTRICAL GENERAL NOTES, SYMBOLS AND ABBREVIATIONS		
PROJECT NO. 16315E-03-02		E-001
DATE 05/13/2025		
SCALE AS NOTED		
DRAWN BY TM		
CHECKED BY PL		
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		
CONSTRUCTION DOCUMENTS		

GENERAL NOTES:

1. REFER TO DRAWING E-001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. REFER TO SHEET E-601 AND E-602 FOR ELECTRICAL SCHEDULES.

KEYED NOTES:

1. CONTRACTOR SHALL FIELD INVESTIGATE AND VERIFY THE LOADS THAT ARE FED BY THE EXISTING DISCONNECTS IN THE WEST BASEMENT. NOTIFY ENGINEER IF ANY CIRCUITS REQUIRE SPLICING AND CONTINUATION OF SERVICE OUTSIDE OF THE WORK AREA.

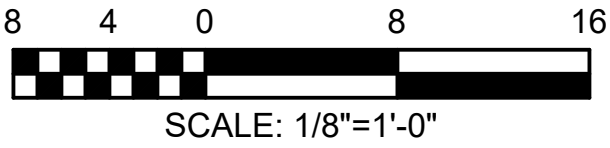


1


ED-101

ELECTRICAL DEMOLITION BASEMENT POWER PLAN

Scale: 1/8" = 1'-0"




REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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CITY OF PHILADELPHIA
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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL DEMOLITION BASEMENT POWER PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. ED-101
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

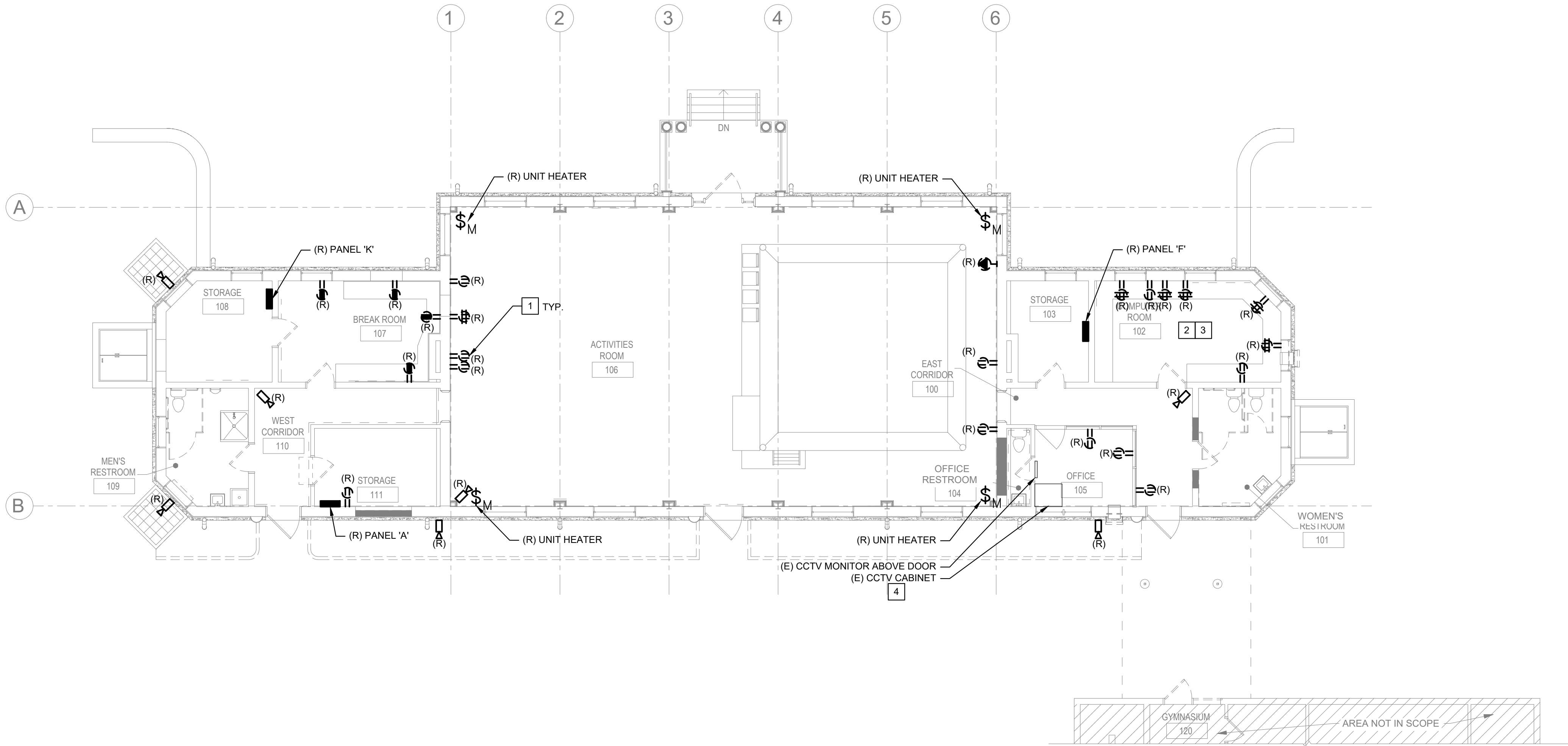
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

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- REFER TO SHEET E-601 AND E-602 FOR ELECTRICAL SCHEDULES.
- ALL SHOWN IS NEW UNLESS OTHERWISE NOTED AS (E) EXISTING TO REMAIN OR (R) EXISTING TO BE REMOVED.


KEYED NOTES:

- REMOVE ALL POWER DEVICES IN BUILDING AND DEMOLISH CIRCUITRY WIRING BACK TO THE PANELBOARDS. SEE SHEET E-102 FOR NEW WORK.
- DISCONNECT THE EXISTING CIRCUIT FEEDING THE COMPUTER ROOM 102 FROM THE GYMNASIUM BUILDING. LOCK OUT/TAG CIRCUIT BREAKER #15 IN PANEL 'B' LOCATED IN THE GYMNASIUM BUILDING.
- ALL EXISTING DATA AND PHONE CABLING, CONNECTIONS, CONDUITS AND DEVICES TO REMAIN AND PROTECTED DURING CONSTRUCTION. COORDINATE WITH CITY OF PHILADELPHIA IT. ALL EXISTING COMPUTERS AND PRINTERS WILL BE DISCONNECTED AND REMOVED PRIOR TO START OF CONSTRUCTION AND WILL BE RE-INSTALLED AFTER COMPLETION OF CONSTRUCTION BY CITY OF PHILADELPHIA IT.
- EXISTING CCTV HEADEND EQUIPMENT WILL BE DISCONNECTED AND REMOVED PRIOR TO START OF CONSTRUCTION AND WILL BE RE-INSTALLED AFTER COMPLETION OF CONSTRUCTION BY CITY OF PHILADELPHIA IT.



1
ED-102
ELECTRICAL DEMOLITION FIRST FLOOR POWER AND SECURITY PLAN
Scale: 1/8" = 1'-0"


REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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SEALS



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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL DEMOLITION FIRST FLOOR POWER AND SECURITY PLAN

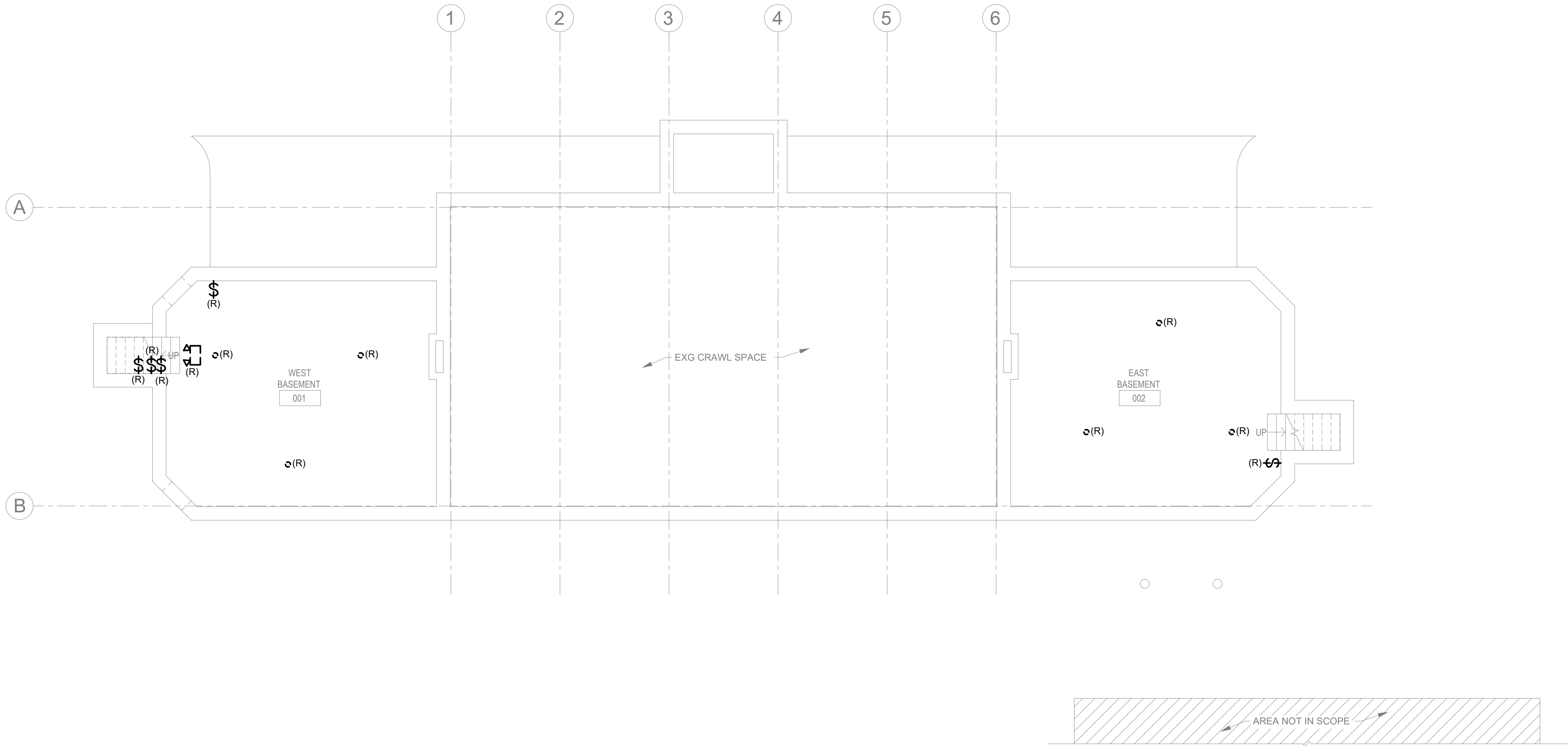
PROJECT NO. 16315E-03-02	DRAWING NO. ED-102
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

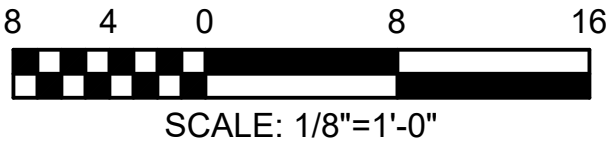
CONSTRUCTION DOCUMENTS

GENERAL NOTES:


- REFER TO DRAWING E-001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET E-601 AND E-602 FOR ELECTRICAL SCHEDULES.
- EXISTING LIGHT FIXTURE SHALL BE DISCONNECTED AND REMOVED. REMOVE AND DEMOLISH CIRCUITS AND CONDUIT ASSOCIATED WITH LIGHT FIXTURES BACK TO SOURCE, DISCONNECT, REMOVE AND DEMOLISH ALL EXISTING LIGHTING CONTROLS AND ASSOCIATED WIRING/CONDUIT BACK TO SOURCE.



1
ED-201
ELECTRICAL DEMOLITION BASEMENT LIGHTING PLAN
Scale: 1/8" = 1'-0"




REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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SEALS



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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL DEMOLITION BASEMENT LIGHTING PLAN

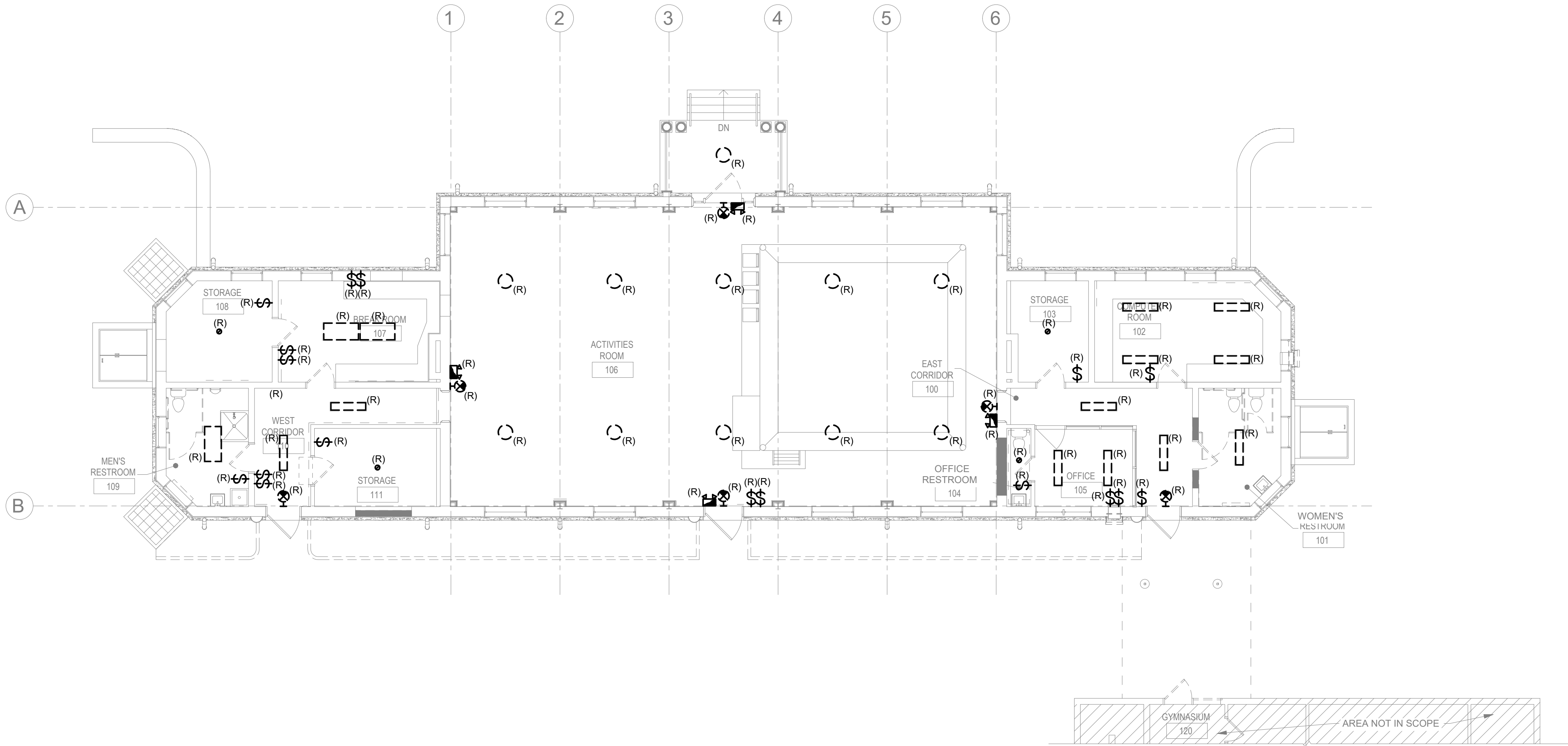
PROJECT NO. 16315E-03-02	DRAWING NO. ED-201
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

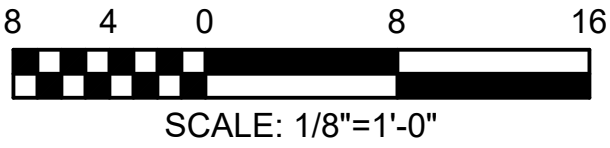
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

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2. REFER TO SHEET E-601 AND E-602 FOR ELECTRICAL SCHEDULES.
3. ALL SHOWN IS NEW UNLESS OTHERWISE NOTED AS (E) EXISTING TO REMAIN OR (R) EXISTING TO BE REMOVED.
4. EXISTING LIGHT FIXTURE SHALL BE DISCONNECTED AND REMOVED. REMOVE AND DEMOLISH CIRCUITS AND CONDUIT ASSOCIATED WITH LIGHT FIXTURES BACK TO SOURCE. DISCONNECT, REMOVE AND DEMOLISH ALL EXISTING LIGHTING CONTROLS AND ASSOCIATED WIRING/CONDUIT BACK TO SOURCE.



1
ED-202
ELECTRICAL DEMOLITION FIRST FLOOR LIGHTING PLAN
Scale: 1/8" = 1'-0"



REVISIONS		
ISSUE	DATE	REVISIONS

CONSTRUCTION DOCUMENTS

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PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL DEMOLITION FIRST FLOOR
LIGHTING PLAN

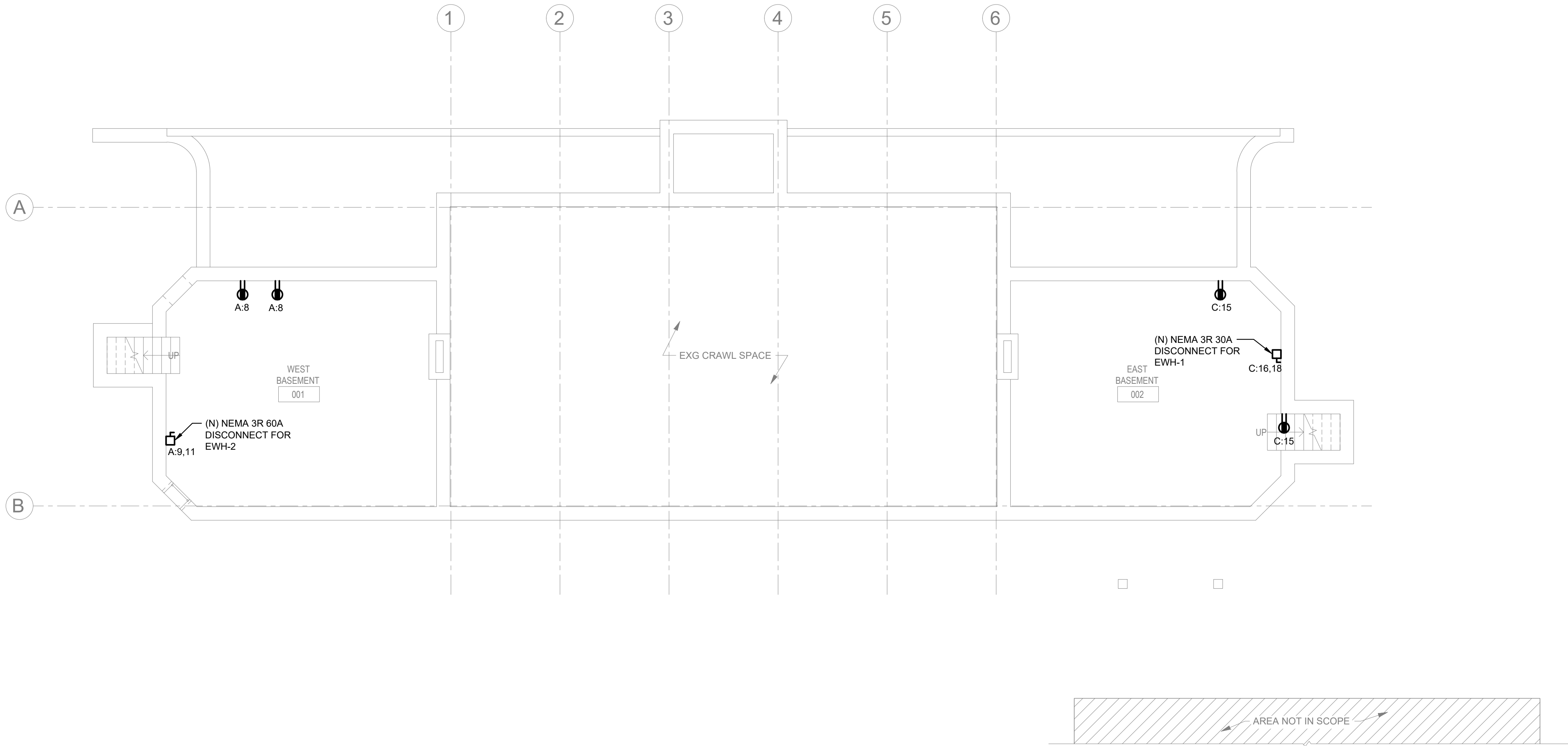
PROJECT NO. 16315E-03-02	DRAWING NO. ED-202
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

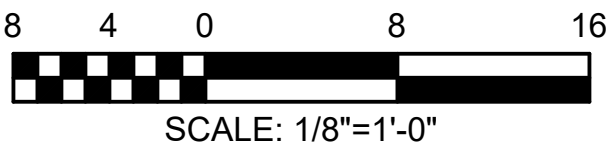
CONSTRUCTION DOCUMENTS

GENERAL NOTES:


- REFER TO DRAWING E-001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET E-601 AND E-602 FOR ELECTRICAL SCHEDULES.
- EQUIPMENT LOCATIONS SHOWN ARE DIAGRAMMATIC. PLEASE REFER TO ARCHITECTURAL PLANS FOR PRECISE LOCATIONS OF EQUIPMENT.



1
E-101
ELECTRICAL POWER BASEMENT PLAN
Scale: 1/8" = 1'-0"




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ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL POWER BASEMENT PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. E-101
DATE 05/13/2025	E-101
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

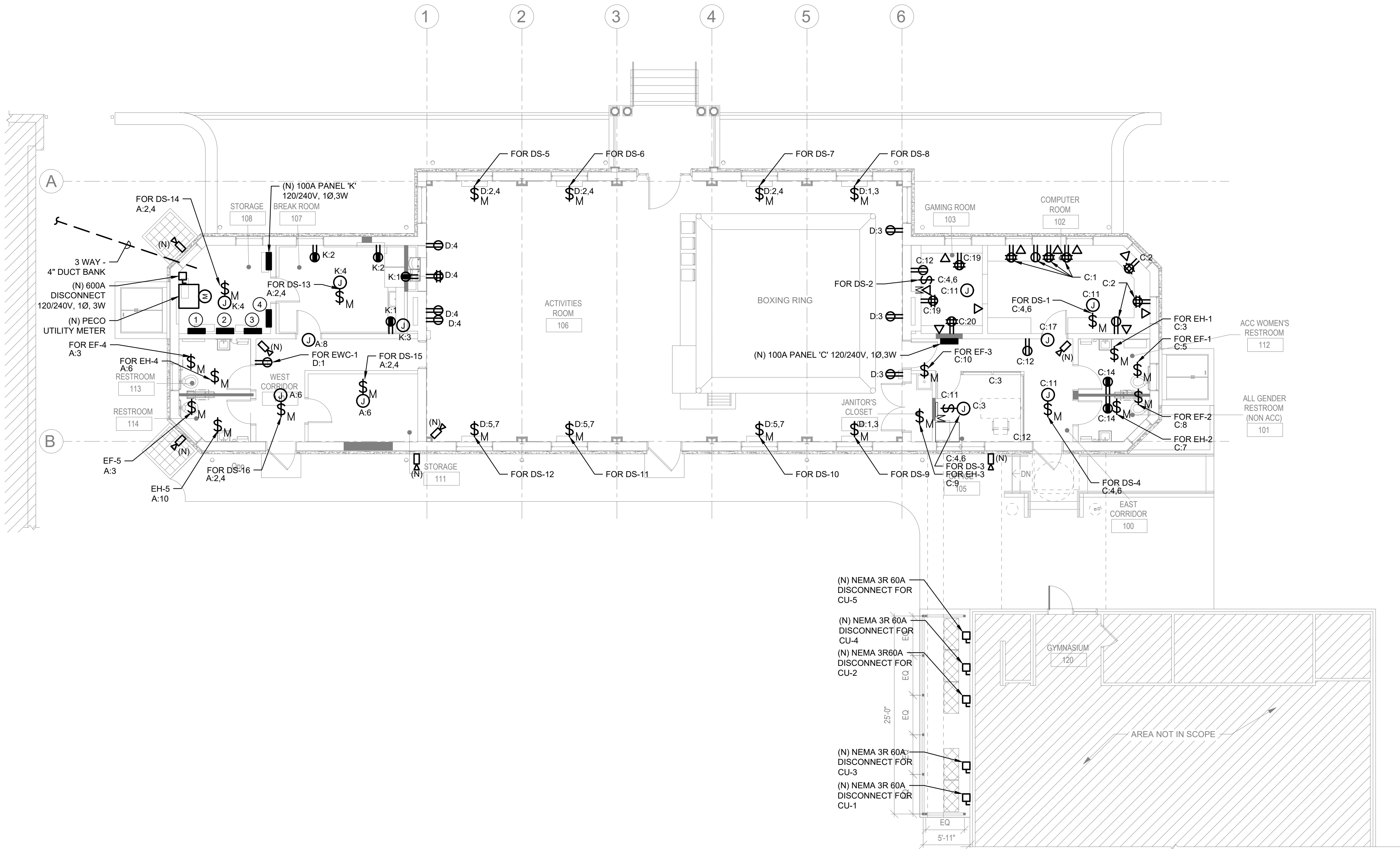
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

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- REFER TO SHEET E-601 AND E-602 FOR ELECTRICAL SCHEDULES.
- ALL SHOWN IS NEW UNLESS OTHERWISE NOTED AS (E) EXISTING TO REMAIN OR (R) EXISTING TO BE REMOVED.

KEYED NOTES:

- (N) 400A MAIN DISTRIBUTION PANEL 'MDP' - 120/240V, 1Ø, 3W
- (N) 100A PANEL 'A' - 120/240V, 1Ø, 3W
- (N) LIGHTING CONTROL PANEL
- (N) 100A PANEL 'D' - 120/240V, 1Ø, 3W
- SPRAYGROUND CONTROLS. REFER TO SITE PLAN FOR EXACT LOCATION.



1
E-102
ELECTRICAL POWER AND SECURITY FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL POWER AND SECURITY
FIRST FLOOR PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. E-102
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

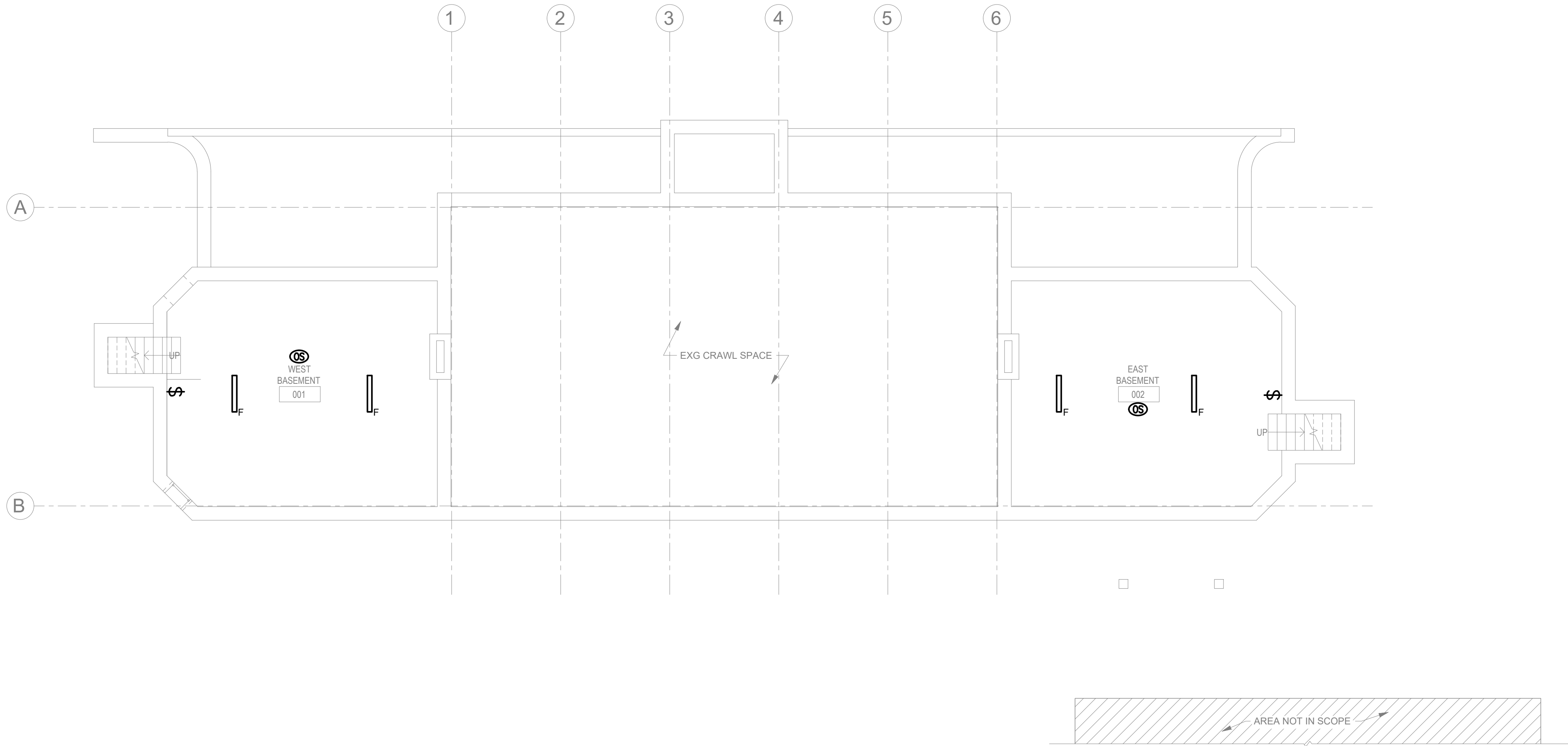
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SCALE: 1/8"=1'-0"

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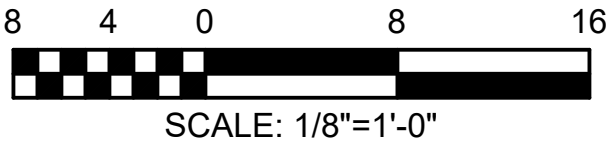
CONSTRUCTION DOCUMENTS

GENERAL NOTES:


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- ALL SHOWN IS NEW UNLESS OTHERWISE NOTED AS (E) EXISTING TO REMAIN OR (R) EXISTING TO BE REMOVED.



1
E-201
ELECTRICAL LIGHTING BASEMENT PLAN
Scale: 1/8" = 1'-0"




REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL LIGHTING BASEMENT PLAN

PROJECT NO. 16315E-03-02	E-201
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	FILED

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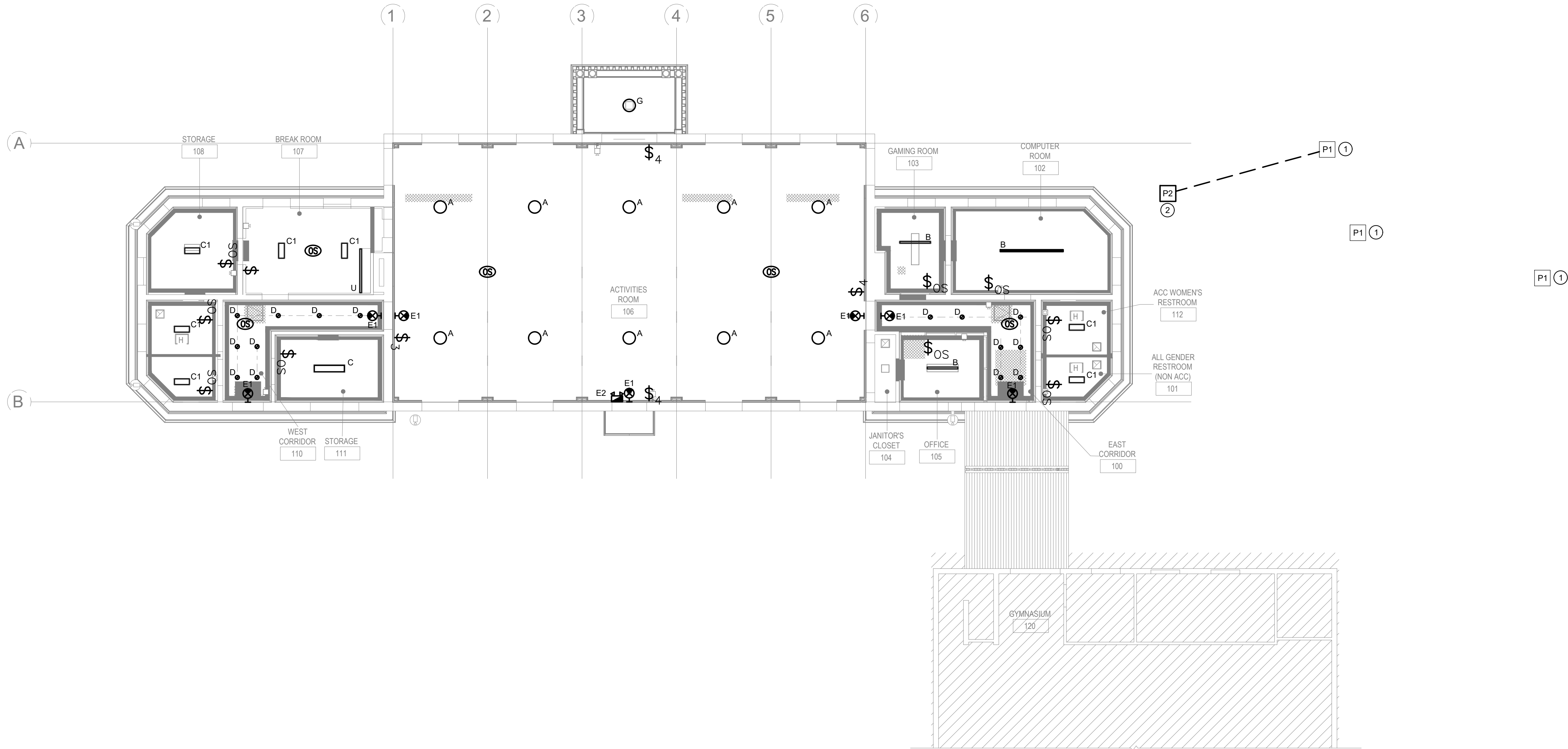
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

- REFER TO DRAWING E-001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO SHEET E-601 AND E-602 FOR ELECTRICAL SCHEDULES.
- ALL SHOWN IS NEW UNLESS OTHERWISE NOTED AS (E) EXISTING TO REMAIN OR (R) EXISTING TO BE REMOVED.
- REFER TO LANDSCAPE DRAWINGS FOR EXACT LOCATIONS OF LIGHT POLES.


KEYED NOTES:

- EXISTING LIGHT POLE TO REMAIN. REPLACE EXISTING FIXTURE HEADS WITH NEW LED LUMINAIRES.
- PROVIDE 2#12, 1#12G IN 1" C AND FEED NEW LIGHT POLE FROM THE ADJACENT POLE LIGHT.



1
E-202
ELECTRICAL LIGHTING FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"


REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL LIGHTING FIRST FLOOR
PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. E-202
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
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CONSTRUCTION DOCUMENTS

TO PECO POLE/SERVICE
TRANSFORMER

(R) CT CABINET

(M) (R) METER

(R) 400A SERVICE DISCONNECT

(R) FEEDER CONDUCTORS

(R) WIRING TROUGH

(R) FEEDER
CONDUCTORS
AND CONDUITS

(R) FEEDER
CONDUCTORS
AND CONDUITS

(R) FEEDER
CONDUCTORS
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(E) FEEDER
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AND CONDUITS

(R) FEEDER
CONDUCTORS
AND CONDUITS

(R) FEEDER
CONDUCTORS
AND CONDUITS

(R) FEEDER
CONDUCTORS
AND CONDUITS

(R) PANEL 'A' 100A
120/240V 1Ø,3W

(E) PANEL 'B' 100A
120/240V 1Ø,3W

(R) PANEL 'D' 100A
120/240V 1Ø,3W

(R) PANEL 'F' 100A
120/240V 1Ø,3W

(R) PANEL 'K' 100A
120/240V 1Ø,3W

1

E-501

ELECTRICAL SINGLE LINE DIAGRAM DEMOLITION

Scale: N.T.S.

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD INVESTIGATE AND VERIFY THE LOADS THAT ARE FED BY THE EXISTING DISCONNECTS IN THE WEST BASEMENT. NOTIFY ENGINEER IF ANY CIRCUITS REQUIRE SPLICING AND CONTINUATION OF SERVICE OUTSIDE OF THE WORK AREA.

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

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CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

ELECTRICAL SINGLE LINE DIAGRAM
DEMOLITION

PROJECT NO.

16315E-03-02

DATE

05/13/2025

SCALE

AS NOTED

DRAWN BY

TM

CHECKED BY

PL

DRAWING NO.

E-501

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
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CONSTRUCTION DOCUMENTS

TO PECO POLE/SERVICE TRANSFORMER

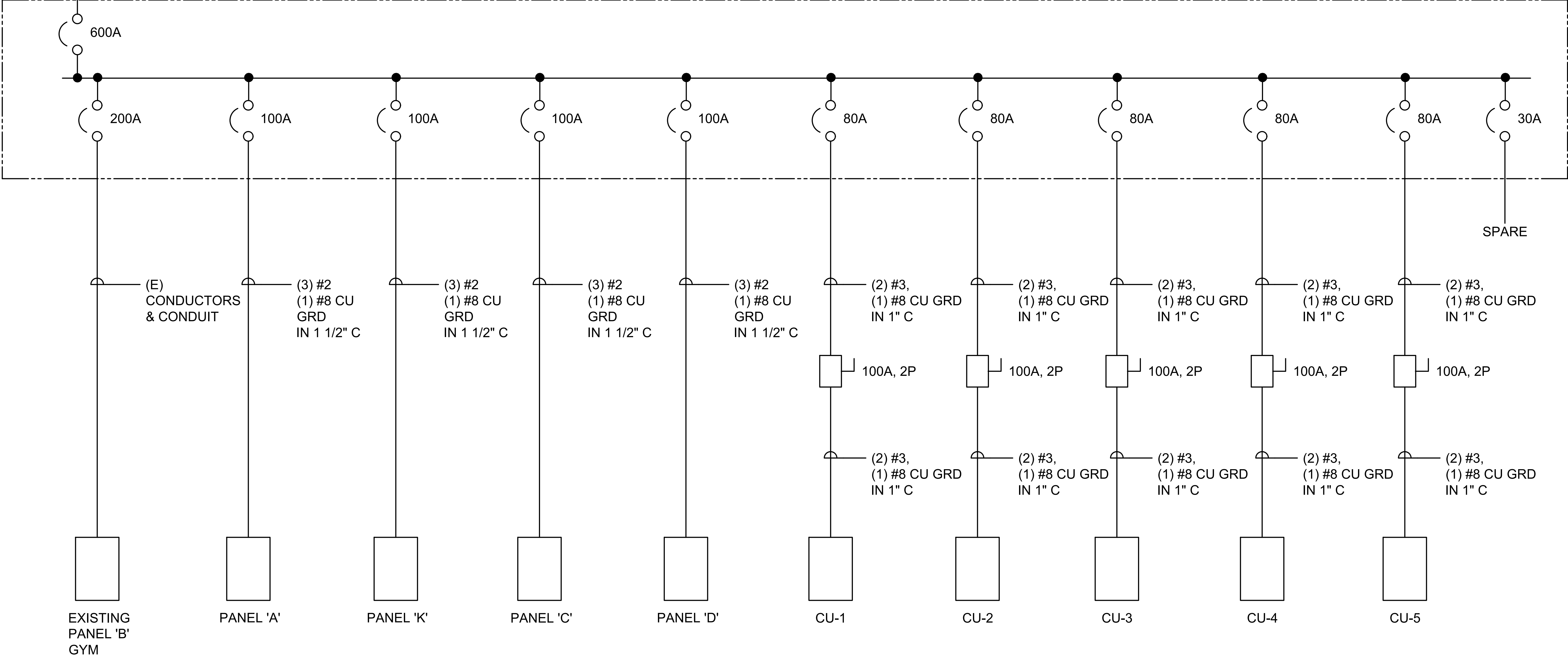
(N) CT CABINET

(M) (N) METER

2 SETS (3) 350 KCMIL (1) #1 CU GRD in 4" C
(N) 600A, 240V, 2P, FUSED SERVICE RATED DISCONNECT. REFER TO E-102 FOR LOCATION.


- GENERAL NOTES:
- REFER TO DRAWING E-001 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
 - COORDINATE ALL NEW WORK WITH OWNER PRIOR TO START OF WORK.

(N) MAIN DISTRIBUTION PANEL
600A MCB 240/120V-1Ø-3W



1 ELECTRICAL SINGLE LINE DIAGRAM NEW WORK
Scale: N.T.S.


REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
LEEANN SUEN

SEALS



SMP ARCHITECTS
1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

LANDSCAPE ARCHITECT:
~~GROUND RECONSIDERED~~
www.groundreconsidered.com
215 790 0727

CIVIL ENGINEER:
~~KS ENGINEERS~~
www.kseng.com
215 925 0425

STRUCTURAL ENGINEER:
~~ANN ROTHMANN STRUCTURAL ENGINEERING~~
arstructural.com
610 688 2566

MEP ENGINEER:
~~ARORA ENGINEERS~~
www.aroraengineers.com
610 459 7900

ROOFING CONSULTANT:
~~STEPHEN MCLAUGHLIN ROOFING CONSULTANT~~
stevemclaughlin.biz
856 287 2424

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER



DRAWING TITLE
ELECTRICAL SINGLE LINE DIAGRAM
NEW WORK

PROJECT NO. 16315E-03-02	DRAWING NO. E-502
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

CONSTRUCTION DOCUMENTS

LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	MOUNTING	MANUFACTURER (BASIS OF DESIGN)	CATALOG NO. (BASIS OF DESIGN)	MANUFACTURER (ALTERNATE)	CATALOG NO. (ALTERNATE)	BASIS OF DESIGN		
							TYPE	WATTS	VOLTS
A	22" INDUSTRIAL HIGH-BAY LUMINAIRE WITH MODERN LAMP TECHNOLOGY	PENDANT	LITHONIA LIGHTING	JCBL-9000LM-ACFR-MVOLT-GZ10 -35K-80CRI	-	-	LED 3500K 9000LM	63	120
AE	22" INDUSTRIAL HIGH-BAY LUMINAIRE WITH MODERN LAMP TECHNOLOGY WITH INTEGRAL EMERGENCY BATTERY PACK	PENDANT	LITHONIA LIGHTING	JCBL-9000LM-ACFR-MVOLT-GZ10 -35K-80CRI-E10WCP	-	-	LED 3500K 9000LM	63	120
B	OPEN CEILING LED SUSPENDED LINEAR (4 OR 8 FEET)	PENDANT	LITHONIA LIGHTING	LL8-6000LM-80CRI-35K-CPD-MIN10 -MVOLT	-	-	LED 3500K 6000LM	50	120
BE	OPEN CEILING LED SUSPENDED LINEAR WITH INTEGRAL EMERGENCY BATTERY PACK	SURFACE	LITHONIA LIGHTING	LL8-6000LM-80CRI-80K-CPD-MIN10 -MVOLT-1E10WCP	-	-	LED 3500K 6000LM	50	120
C	4' LOW-PROFILE CURVED-BASKET LED WRAPAROUND	SURFACE	LITHONIA LIGHTING	LBL4W-6500LM-80CRI-35K-MIN10- MVOLT	-	-	LED 3500K 6490LM	50.1	120
CE	4' LOW-PROFILE CURVED-BASKET LED WRAPAROUND WITH INTEGRAL EMERGENCY BATTERY PACK	SURFACE	LITHONIA LIGHTING	LBL4W-6500LM-80CRI-35K-MIN10- MVOLT-E10WLCP	-	-	LED 3500K 6490LM	50.1	120
C1	2' LOW-PROFILE CURVED-BASKET LED WRAPAROUND	SURFACE	LITHONIA LIGHTING	LBL2-2000LM-80CRI-35K-MIN10- MVOLT	-	-	LED 3500K 2014LM	16.9	120
C1E	2' LOW-PROFILE CURVED-BASKET LED WRAPAROUND WITH INTEGRAL EMERGENCY BATTERY PACK	SURFACE	LITHONIA LIGHTING	LBL2-2000LM-80CRI-35K-MIN10- MVOLT-EMG	-	-	LED 3500K 2014LM	16.9	120
D	COMPACT CEILING MOUNTED DOWNLIGHT WITH ASYMMETRIC DISTRIBUTION	WALL	BEGA	B19538	-	-	LED 3500K 766LM	12	120
E1	EXIT SIGN - GREEN	CEILING / WALL	LITHONIA LIGHTING	EXRG EL M6	-	-	LED	5	120
E2	EXTERIOR LED EMERGENCY LIGHT WITH INTEGRAL EMERGENCY BATTERY PACK	WALL	LITHONIA LIGHTING	WDGE3 LED-P1-30K-80CRI-MVOLT- E20WC	-	-	LED 5500K	10	120
F	VAPOR TIGHT LED STRIP LIGHT	PENDANT	LITHONIA LIGHTING	CSVT-L48-3000LM-MVOLT-80CRI	-	-	LED 3500K 3033LM	24	120
G	EXTERIOR ROUND LIGHT	CEILING	LUMINIS	SN800-L1L23-35K-120	-	-	LED	29	120
U	UNDER CABINET LIGHT	UNDER CABINET	LITHONIA LIGHTING	UCES 36IN SWW6 90CRI WH M6	-	-	LED	16	120
P1	POLE LIGHT (FIXTURE ONLY)	POLE	SELUX	DSC4L-R5R-S2-5G530-40-BK	-	-	LED	47	120
P2	POLE LIGHT	POLE	SELUX	DSC4L-R5R-S2-5G530-40-BK	-	-	LED	47	120

REVISIONS		
ISSUE	DATE	REVISIONS
<div></div>		
CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR LEEANN SUEN		
SEALS <div></div>		
<div><div>SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</div><div>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</div><div>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</div><div>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</div><div>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</div><div>ROOFING CONSULTANT: STEPHEN MCLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</div></div>		
<div><div>CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIAPENNSYLVANIA</div></div>		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE ELECTRICAL LUMINAIRE SCHEDULE		
PROJECT NO. 16315E-03-02		E-601
DATE 05/13/2025		
SCALE AS NOTED		
DRAWN BY TM		
CHECKED BY PL		
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		
CONSTRUCTION DOCUMENTS		

(N) PANEL SCHEDULE 'A'														
PANEL: A		FED FROM: MDP		INTERRUPTING RATING: 22 KAIC						MOUNTING: SURFACE				
VOLTAGE: 240/120V				PHASE: 1		WIRE: 3		BUS AMPS: 100A		MAIN: 100 MLO				
NEMA 1		NEUTRAL: 100%		COPPER GND BUS						LOCATION: STORAGE RM 111				
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE		VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT	
						A	B							
1	ELECTRICAL WATER COOLER	2#12, 1#12G IN 3/4"	1	20	500	600		100		20	2	2#12, 1#12G IN 3/4"	DS-13,DS14, DS-15,DS-16	2
3	EXHAUST FAN EF-4 & EF-5	2#12, 1#12G IN 3/4"	1	20	80		180	100		20	2			4
5	RCPT: STORAGE RM	2#12, 1#12G IN 3/4"	1	20	180	1680		1500		20	1	2#12, 1#12G IN 3/4"	ELECTRIC HEATER EH-4	6
7	RCPT: WEST BASEMENT	2#12, 1#12G IN 3/4"	1	20	360		460	100		20	1	2#12, 1#12G IN 3/4"	MOTORIZED DAMPER	8
9	ELECTRIC WATER HEATER EWH-2	2#6, 1#10G IN 1"	1	50	7500	9000		1500		20	1	2#12, 1#12G IN 3/4"	ELECTRIC HEATER EH-5	10
				7500		7500	0	20	1	-	SPARE	12		
13	SPARE	-	1	20	0	0		0		20	1	-	SPARE	14
15	SPARE	-	1	20	0		0	0		20	1	-	SPARE	16
17	SPARE	-	1	20	0	0		0		20	1	-	SPARE	18
19	SPARE	-	1	20	0		0	0		20	1	-	SPARE	20
21	SPARE	-	1	20	0	0		0		20	1	-	SPARE	22
23	SPARE	-	1	20	0		0	0		20	1	-	SPARE	24
25	SPARE	-	1	20	0	0		0		20	1	-	SPARE	26
27	SPARE	-	1	20	0		0	0		20	1	-	SPARE	28
29	SPARE	-	1	20	0	0		0		20	1	-	SPARE	30
31	SPARE	-	1	20	0		0	0		20	1	-	SPARE	32
33	SPARE	-	1	20	0	0		0		20	1	-	SPARE	34
35	SPARE	-	1	20	0		0	0		20	1	-	SPARE	36
37	SPARE	-	1	20	0	0		0		20	1	-	SPARE	38
39	SPARE	-	1	20	0		0	0		20	1	-	SPARE	40
41	SPARE	-	1	20	0	0		0		20	1	-	SPARE	42
NOTES:						TOTALS								
						11280	8140							
						19420 VA		80.92 AMPS						

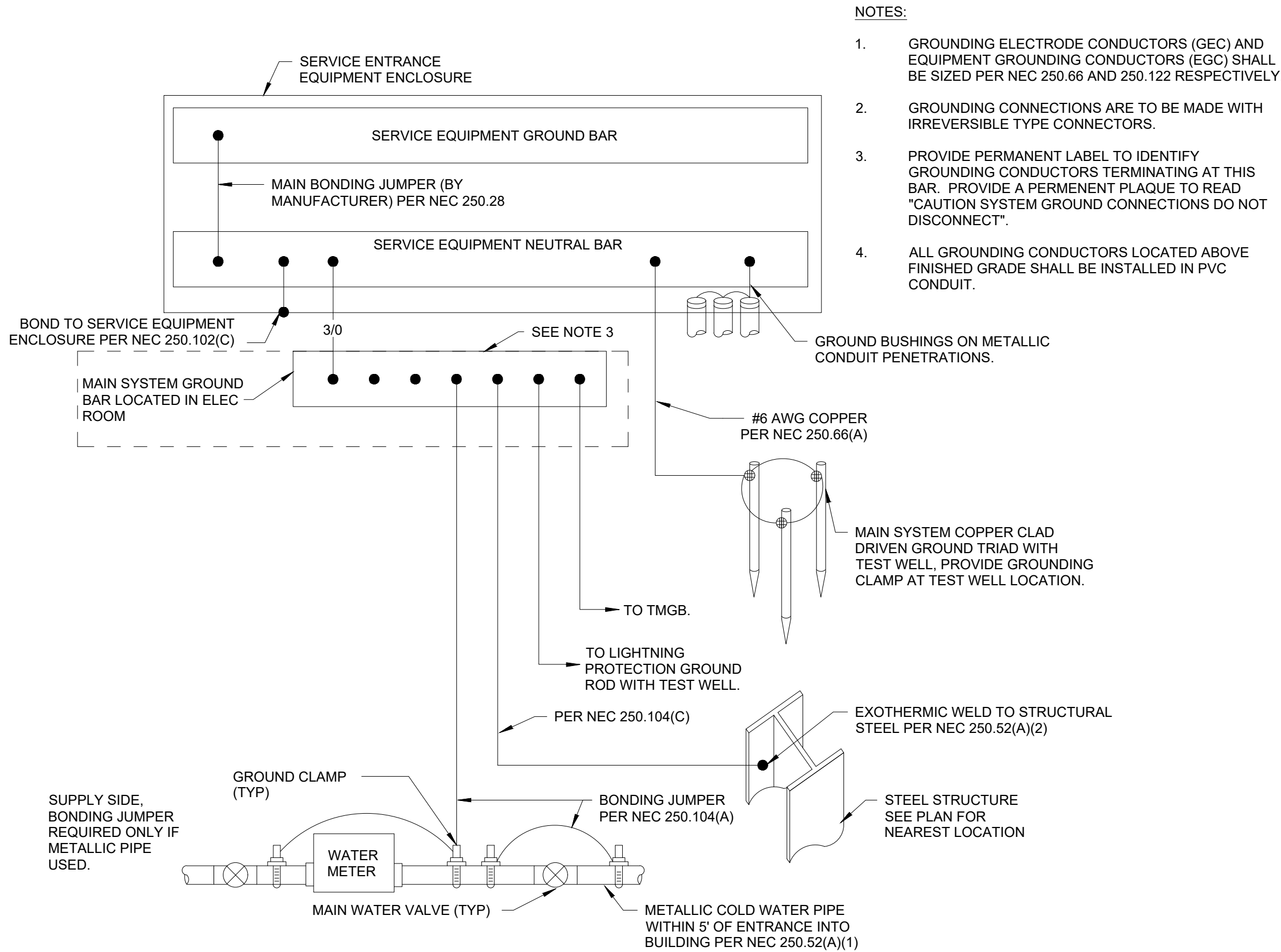
(N) PANEL SCHEDULE 'D'														
PANEL: D		FED FROM: MDP		INTERRUPTING RATING: 22 KAIC						MOUNTING: SURFACE				
VOLTAGE: 240/120V				PHASE: 1		WIRE: 3		BUS AMPS: 100A		MAIN: 100 MLO				
NEMA 1		NEUTRAL: 100%		COPPER GND BUS					LOCATION: STORAGE RM 111					
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE		VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT	
						A	B							
1	DS-8, DS-9	2#12, 1#12G IN 3/4" C	2	20	100	200		100	20	2	2#12, 1#12G IN 3/4" C	DS-5, DS-6, DS-7	2	
3					100		200	100					4	
5	DS-10, DS-11, DS-12	2#12, 1#12G IN 3/4" C	2	20	1000	1000		900	20	1	2#12, 1#12G IN 3/4" C	RCPT: ACTIVITIES RM	6	
7					100		100	0					20	1
9	RCPT: ACTIVITIES RM	2#12, 1#12G IN 3/4" C	1	20	720	720		0	20	1	-	SPARE	10	
11	SPARE	-	1	20	0	0		0	20	1	-	SPARE	12	
13	SPARE	-	1	20	0	0		0	20	1	-	SPARE	14	
15	SPARE	-	1	20	0	0		0	20	1	-	SPARE	16	
17	SPARE	-	1	20	0	0		0	20	1	-	SPARE	18	
19	SPARE	-	1	20	0	0		0	20	1	-	SPARE	20	
21	SPARE	-	1	20	0	0		0	20	1	-	SPARE	22	
23	SPARE	-	1	20	0	0		0	20	1	-	SPARE	24	
25	SPARE	-	1	20	0	0		0	20	1	-	SPARE	26	
27	SPARE	-	1	20	0	0		0	20	1	-	SPARE	28	
29	SPARE	-	1	20	0	0		0	20	1	-	SPARE	30	
31	SPARE	-	1	20	0	0		0	20	1	-	SPARE	32	
33	SPARE	-	1	20	0	0		0	20	1	-	SPARE	34	
35	SPARE	-	1	20	0	0		0	20	1	-	SPARE	36	
37	SPARE	-	1	20	0	0		0	20	1	-	SPARE	38	
39	SPARE	-	1	20	0	0		0	20	1	-	SPARE	40	
41	SPARE	-	1	20	0	0		0	20	1	-	SPARE	42	
NOTES:						TOTALS								
						1920	300							
						2220 VA								
														9.25 AMPS

(N) PANEL SCHEDULE 'C'														
PANEL: C		FED FROM: MDP		INTERRUPTING RATING: 22 KAIC						MOUNTING: SURFACE				
VOLTAGE: 240/120V		PHASE: 1		WIRE: 3		BUS AMPS: 100A		MAIN: 100 MLO						
NEMA 1		NEUTRAL: 100%		COPPER GND BUS						LOCATION: STORAGE RM 103				
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE		VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT	
						A	B							
1	RCPT: COMPUTER RM	2#12, 1#12G IN 3/4"	1	20	1200	2100		900	20	1	2#12, 1#12G IN 3/4"	RCPT: COMPUTER RM	2	
3	ELECTRIC HEATER EH-1	2#12, 1#12G IN 3/4"	1	20	1500		1600	100		2	2#12, 1#12G IN 3/4"	DS-1, DS-2, DS-3, DS-4	4	
5	EXHAUST FAN EF-1	2#12, 1#12G IN 3/4"	1	20	80	180		100					6	
7	EXHAUST FAN EH-2	2#12, 1#12G IN 3/4"	1	20	1500		1580	80	20	1	2#12, 1#12G IN 3/4"	EXHAUST FAN EF-2	8	
9	ELECTRIC HEATER EH-3	2#12, 1#12G IN 3/4"	1	20	1500	1580		80	20	1	2#12, 1#12G IN 3/4"	EXHAUST FAN EF-3	10	
11	CONDENSATE PMP RM 102,103	2#12, 1#12G IN 3/4"	1	20	168		708	540	20	1	2#12, 1#12G IN 3/4"	RCPT: STOR AND EAST CORR	12	
13	CONDENSATE PMP RM 100,105	2#12, 1#12G IN 3/4"	1	20	168	528		360	20	1	2#12, 1#12G IN 3/4"	RCPT: RESTROOMS	14	
15	RCPT: EAST BASEMENT	2#12, 1#12G IN 3/4"	1	20	360		4860	4500					16	
17	MOTORIZED DAMPER	2#12, 1#12G IN 3/4"	1	20	100	4600		4500	30	2	2#10, 1#10G IN 3/4"	ELECTRICAL WATER HEATER EWH-1	18	
19	RCPT: COMPUTER RM	2#12, 1#12G IN 3/4"	1	20	720		1080	360	20	1	2#12, 1#12G IN 3/4"	RCPT: COMPUTER RM	20	
21	SPARE	-	1	20	0	0		0	20	1	2#12, 1#12G IN 1"	SPRAYGROUND CONTROLS	22	
23	SPARE	-	1	20	0		0	0	20	1	-	SPARE	24	
25	SPARE	-	1	20	0	0		0	20	1	-	SPARE	26	
27	SPARE	-	1	20	0		0	0	20	1	-	SPARE	28	
29	SPARE	-	1	20	0	0		0	20	1	-	SPARE	30	
31	SPARE	-	1	20	0		0	0	20	1	-	SPARE	32	
33	SPARE	-	1	20	0	0		0	20	1	-	SPARE	34	
35	SPARE	-	1	20	0		0	0	20	1	-	SPARE	36	
37	SPARE	-	1	20	0	0		0	20	1	-	SPARE	38	
39	SPARE	-	1	20	0		0	0	20	1	-	SPARE	40	
41	SPARE	-	1	20	0	0		0	20	1	-	SPARE	42	
NOTES:						TOTALS								
						9888 9828								
						18816 VA		78.40 AMPS						

(N) PANEL SCHEDULE 'K'

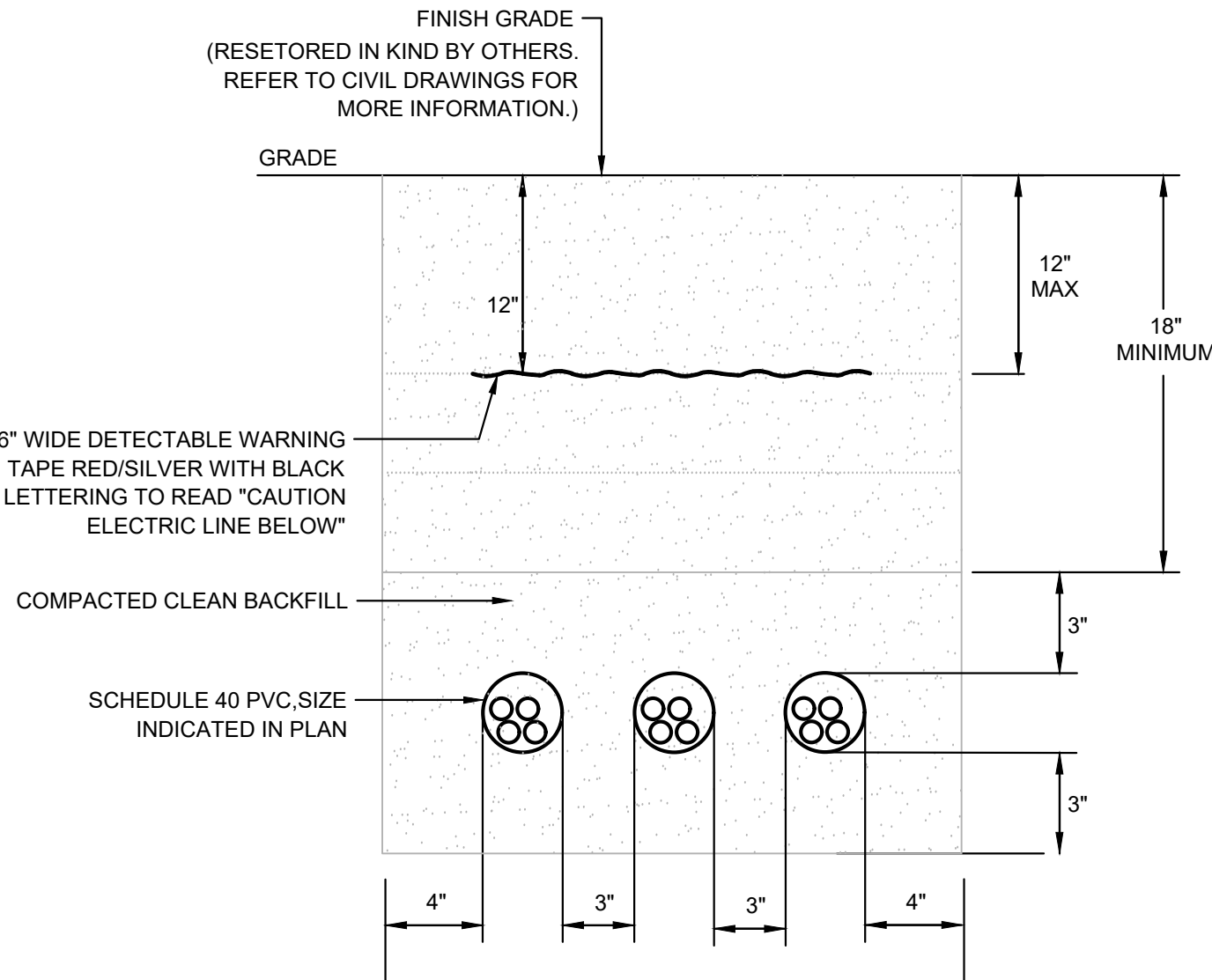
PANEL: K		FED FROM: MDP		INTERRUPTING RATING: 22 KAIC								MOUNTING: SURFACE					
VOLTAGE: 240/120V				PHASE: 1		WIRE: 3		BUS AMPS: 100A				MAIN: 100 MLO					
NEMA 1		NEUTRAL: 100%				COPPER GND BUS						LOCATION: STORAGE RM 108					
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE		VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT				
						A	B										
1	RCPT: KITCHEN	2#12, 1#12G IN 3/4" C	1	20	360	720		360	20	1	2#12, 1#12G IN 3/4" C	RCPT: KITCHEN	2				
3	MOTORIZED DAMPER	2#12, 1#12G IN 3/4" C	1	20	100		268	168	20	1	2#12, 1#12G IN 3/4" C	CONDENSATE PMP RM 107,108	4				
5	SPARE	-	1	20	0	0		0	20	1	-	SPARE	6				
7	SPARE	-	1	20	0		0	0	20	1	-	SPARE	8				
9	SPARE	-	1	20	0	0		0	20	1	-	SPARE	10				
11	SPARE	-	1	20	0		0	0	20	1	-	SPARE	12				
13	SPARE	-	1	20	0	0		0	20	1	-	SPARE	14				
15	SPARE	-	1	20	0		0	0	20	1	-	SPARE	16				
17	SPARE	-	1	20	0	0		0	20	1	-	SPARE	18				
19	SPARE	-	1	20	0		0	0	20	1	-	SPARE	20				
21	SPARE	-	1	20	0	0		0	20	1	-	SPARE	22				
23	SPARE	-	1	20	0		0	0	20	1	-	SPARE	24				
25	SPARE	-	1	20	0	0		0	20	1	-	SPARE	26				
27	SPARE	-	1	20	0		0	0	20	1	-	SPARE	28				
29	SPARE	-	1	20	0	0		0	20	1	-	SPARE	30				
31	SPARE	-	1	20	0		0	0	20	1	-	SPARE	32				
33	SPARE	-	1	20	0	0		0	20	1	-	SPARE	34				
35	SPARE	-	1	20	0		0	0	20	1	-	SPARE	36				
37	SPARE	-	1	20	0	0		0	20	1	-	SPARE	38				
39	SPARE	-	1	20	0		0	0	20	1	-	SPARE	40				
41	SPARE	-	1	20	0	0		0	20	1	-	SPARE	42				
NOTES:						TOTALS											
						720	268										
						988 VA											
														4.12 AMPS			

[illegible]



- NOTES:
- GROUNDING ELECTRODE CONDUCTORS (GEC) AND EQUIPMENT GROUNDING CONDUCTORS (EGC) SHALL BE SIZED PER NEC 250.66 AND 250.122 RESPECTIVELY.
 - GROUNDING CONNECTIONS ARE TO BE MADE WITH IRREVERSIBLE TYPE CONNECTORS.
 - PROVIDE PERMANENT LABEL TO IDENTIFY GROUNDING CONDUCTORS TERMINATING AT THIS BAR. PROVIDE A PERMENENT PLAQUE TO READ "CAUTION SYSTEM GROUND CONNECTIONS DO NOT DISCONNECT".
 - ALL GROUNDING CONDUCTORS LOCATED ABOVE FINISHED GRADE SHALL BE INSTALLED IN PVC CONDUIT.

1 ELECTRICAL SERVICE GROUND DETAIL
E-701 N.T.S.



2 3-WAY 4" DUCTBANK DETAIL
E-701 N.T.S.

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
LEEANN SUEN



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1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

LANDSCAPE ARCHITECT:
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ROOFING CONSULTANT:
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856 287 2424

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
ELECTRICAL DETAILS

PROJECT NO. 16315E-03-02	DRAWING NO. E-701
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

GENERAL NOTES:

1.

ALL SYMBOLS AND ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.
2.

CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND LAWS OF AUTHORITIES HAVING JURISDICTION.
3.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES.
4.

ALL PENETRATION THROUGH DESIGNATED FIRE RATED WALLS, CEILINGS AND FLOOR SLABS (WHICH ARE 2-HOUR RATED) SHALL BE PROPERLY SEALED WITH AN APPROVED RATED FIRE AND SMOKE STOPPING MATERIAL. ALL FIRE AND SMOKE STOPPING MATERIAL SHALL BE SUPPLIED AND WORK PERFORMED AS PER PROJECT SPECIFICATIONS. CONTRACTOR SHALL SUBMIT MANUFACTURER'S CATALOG DATA AND INSTALLATION DETAIL AS PER SPECIFICATIONS FOR FIRE AND SMOKE STOPPING TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR INSTALLATION.
5.

THE CONTRACTOR SHALL NOT BE ALLOWED ANY STORAGE AREA OTHER THAN THAT AVAILABLE WITHIN THE LIMITS OF THE STAGING AREA, CONFINES OF THE WORK AREA, OR AS DESIGNATED BY THE OWNER.
6.

ALL MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
7.

A COPY OF THE CURRENT SET OF CONTRACT DOCUMENTS (WITH AS-BUILT INFORMATION) SHALL BE KEPT AT THE JOB SITE AT ALL TIMES BY THE CONTRACTOR.
8.

EACH CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS OF ALL TRADES FOR A THOROUGH UNDERSTANDING OF PROJECT AND ANY CROSS REFERENCING OF WORK. REVIEW ALL PROJECT REQUIREMENTS PRIOR TO BIDDING. IN CASE OF DISCREPANCIES, THE MOST STRINGENT SHALL GOVERN.
9.

THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE. ANY DEFECTS, IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER WORK OR PARTS OF THE BUILDING DAMAGED THEREBY, AS A RESULT OF THE WORK OF THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PAY ALL REPAIR COSTS ACCORDINGLY WITHOUT ADDITIONAL COSTS TO OWNER.
10.

IN ADDITION TO SPECIFICATIONS, AS MAY BE DEFINED HEREAFTER, THE CONTRACTOR SHALL PROTECT THE WORK SITE AND ALL HIS OR HER WORK AGAINST ANY DAMAGE (INCLUDING BUT NOT LIMITED TO WATER, DUST, HEAT, FREEZING, ETC.) UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE OWNER.
11.

CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, SUBMIT AS-BUILT RECORD DRAWINGS SHOWING ALL CHANGES FROM THE CONTRACT DRAWINGS MADE IN THE INSTALLATION, AND SHOWING DIMENSION LOCATIONS OF CONCEALED EQUIPMENT.
12.

PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE, THE CONTRACTOR SHALL PROVIDE MATERIAL SAFETY DATA SHEETS FOR ALL ITEMS AND MATERIALS USED IN THIS WORK.
13.

DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL CAPACITIES AND LOCATIONS OF EQUIPMENT TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO DETERMINE ACTUAL PHYSICAL SIZE, CAPACITIES, AND LOCATIONS OF EXISTING EQUIPMENT TO BE REMOVED.
14.

CONTRACTOR SHALL COORDINATE ALL REQUIRED EQUIPMENT AND SYSTEMS SHUTDOWN WITH OWNER, AND PROVIDE OWNER TWO WEEKS NOTICE OF THE SAME.
15.

COORDINATE DEMOLITION WORK WITH ALL OTHER TRADES. PHASE WORK IN CONJUNCTION WITH OTHER TRADE PHASING AND PHASING DRAWINGS.
16.

CONTRACTOR SHALL FIELD VERIFY OTHER EQUIPMENT/UTILITIES NOT ASSOCIATED WITH THIS WORK BUT LYING WITHIN THE WORK AREA, AND WILL NOT DISTURB THOSE EQUIPMENT/UTILITIES. THOSE EQUIPMENT/UTILITIES SHALL BE PROTECTED SO THAT THE SERVICE IS NOT INTERRUPTED. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO THE EQUIPMENT/UTILITIES IN PERFORMANCE OF THE WORK.
17.

CONTRACTOR SHALL KEEP WORK AREA CLEAN, ORDERLY, AND WORKMAN LIKE, AND REMOVE ALL DEMOLISHED TRASH/ RUBBLE/CONSTRUCTION DEBRIS ON A DAILY BASIS FROM THE WORK AREA AND OFF OWNERS PROPERTY. ALL TRASH/RUBBLE/CONSTRUCTION DEBRIS DEEMED AS HAZARDOUS WASTE/MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH EPA OR ANY OTHER PERTINENT GOVERNING AGENCY AND DISPOSED OF ACCORDINGLY AT AN APPROVED HAZARDOUS WASTE DUMPSITE WITH ALL OF THE APPROVED/REQUIRED DOCUMENTATION.
18.

ALL EXISTING ABANDONED PIPING OR PIPING MADE ABANDONED BY THE WORK OF THIS PROJECT SHALL BE REMOVED FROM WITHIN THE PROJECT BOUNDARIES. CUT AND CAP PIPING BACK TO A POINT 6" BEYOND (OUTSIDE OF) THE PROJECT BOUNDARIES, UNLESS OTHERWISE NOTED ON THE DRAWINGS. PROVIDE CUTTING AND PATCHING OF ALL CEILINGS, FLOORS, AND WALLS AS REQUIRED.
19.

PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE TESTED, BALANCED, AND OPERATED TO DEMONSTRATE TO THE OWNER, OR HIS OR HER DESIGNATED REPRESENTATIVE, THAT THE INSTALLATION AND PERFORMANCE OF THESE SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE DESIGN INTENT.
20.

JUNCTION BOXES OR ANY EQUIPMENT REQUIRING CEILING ACCESS SHALL ONLY BE PERMITTED/LOCATED IN ACCESSIBLE TYPE CEILING AREAS (I.E. LAY-IN TYPE CEILING) OR WHERE ACCESS PANELS HAVE BEEN LOCATED. REFER TO ARCHITECTURAL DRAWINGS.
21.

COORDIANTE WITH GENERAL CONTRACTOR FOR ITEMS SUCH AS ONE-CALL NOTIFICATIONS.

PLUMBING GENERAL NOTES:

1.

CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL STATE AND LOCAL APPLICABLE CODES.
2.

CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE PIPING SYSTEM TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING SUCH. VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS.
3.

CONTRACTORS SHALL SECURE AND PAY FOR ALL PERMITS, INSPECTION CERTIFICATES, ETC. REQUIRED UNDER THE PROJECT SCOPE.
4.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS AND/OR POTENTIAL PROBLEMS OBSERVED PRIOR TO CONTINUING WORK.
5.

DO NOT SCALE THE PLANS. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, FIXTURES, WALL DIMENSIONS, ETC.
6.

CONTRACTOR SHALL GIVE SUITABLE NOTICE TO ALL APPLICABLE UTILITY COMPANIES AND OWNER PRIOR TO PERFORMING WORK INVOLVING UTILITIES.
7.

ALL EQUIPMENT SHALL BE HANDLED, STORED, AND PROTECTED TO PREVENT DAMAGE BEFORE AND DURING INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
8.

ALL EQUIPMENT, ETC. SHALL BE SO LOCATED AND INSTALLED IN A READILY ACCESSIBLE LOCATION SO AS TO PERMIT ACCESS FOR SERVICE WITHOUT DAMAGE TO BUILDING OR FINISHED MATERIALS. PER MANUFACTURER'S INSTRUCTION AND APPLICABLE CODES.
9.

CONTRACTOR SHALL SUPPLY ACCESS DOORS FOR ACCESS TO EACH CONCEALED VALVE, PIECE OF EQUIPMENT, ETC. ACCESS DOORS SHALL BE HANDED OVER TO THE GC FOR INSTALLATION.
10.

ALL MATERIAL SHALL BE NEW AND FIT THE SPACE AVAILABLE. VERIFY DIMENSIONS AT SITE.
11.

ALL PIPING, APPARATUS, EQUIPMENT, ETC. SHALL BE PROPERLY SUPPORTED, BRACED VERTICALLY AND HORIZONTALLY IN ACCORDANCE WITH APPLICABLE CODES AND AS REQUIRED TO PREVENT EXCESSIVE MOVEMENT DURING SEISMIC CONDITIONS.
12.

VALVES AND FITTINGS SHALL BE OF THE SAME SIZE AS THE PIPING FOR WHICH THEY ARE INSTALLED, UNLESS OTHERWISE NOTED.
13.

STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH HEALTH DEPARTMENT REGULATIONS.
14.

ALL SANITARY PIPING SHALL BE PITCHED IN ACCORDANCE WITH APPLICABLE CODE.
15.

WATER PIPING SHALL NOT BE RUN IN AREAS SUBJECT TO FREEZING TEMPERATURES UNLESS OTHERWISE NOTED. WATER PIPING IN EXTERIOR WALLS SHALL BE RUN ON THE SIDE OF THE WALL INSULATION THAT BORDERS THE CONDITIONED SPACE.
16.

PROVIDE DRAIN VALVES AT ALL LOW POINTS OF DOMESTIC WATER SYSTEMS FOR COMPLETE DRAINAGE AND INDICATE LOCATION OF SAME ON RECORD DRAWINGS.
17.

PROVIDE VACUUM BREAKERS AND WATER HAMMER ARRESTORS AS REQUIRED BY CODE.
18.

CONTRACTOR SHALL VERIFY AND CORRECT SYSTEMS AS REQUIRED TO MEET ALL CODES AND REGULATIONS AND VERIFY AND CORRECT ANY AND ALL POSSIBLE DISCREPANCIES BETWEEN TYPE AND SIZE OF CONNECTIONS SPECIFIED IN THE EQUIPMENT SCHEDULES AND EQUIPMENT ACTUALLY INSTALLED.
19.

ALL PIPING SHALL BE ROUTED AS TO BE CONCEALED ABOVE CEILINGS, WITHIN WALLS, OR IN CHASES, EXCEPT FINAL CONNECTIONS TO FIXTURES, OR IN MECHANICAL ROOMS, UNLESS SPECIFICALLY NOTED OTHERWISE.
20.

CONTRACTOR SHALL VERIFY EXACT INVERT ELEVATIONS OF EXISTING PIPING TO WHICH NEW PIPING IS TO BE CONNECTED BEFORE INSTALLATION OF NEW PIPING.
21.

CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL EQUIPMENT SHOWN ON PLANS, INCLUDING COORDINATION OF ANY EQUIPMENT OF ALTERNATIVE MANUFACTURER. CONTRACTOR SHALL PROVIDE COMPOSITE DRAWINGS AS REQUIRED FOR INSTALLATION OF EQUIPMENT SHOWN ON PLAN FOR APPROVAL BY ENGINEER.
22.

CONTRACTOR SHALL BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL OTHER DISCIPLINES.
23.

PROVIDE A SHUT OFF VALVE ON COLD, HOT AND HOT WATER RETURN PIPING CONNECTION TO EACH PLUMBING FIXTURE AND PIPE BRANCHING FROM THE MAIN.

APPLICABLE CODES:

1.

2018 PHILADELPHIA PLUMBING CODE.
2.

2018 INTERNATIONAL BUILDING CODE (IBC)
3.

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

GENERAL DEMOLITION NOTES:

1.

ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND REQUIREMENTS.
2.

ITEMS SHOWN DASHED AND BOLD SHALL BE DISCONNECTED AND REMOVED BY THE PLUMBING CONTRACTOR UNLESS OTHERWISE NOTED.
3.

PRIOR TO THE DEMOLITION OF PLUMBING ITEMS, INCLUDING BUT NOT LIMITED TO PIPE, FIXTURES, EQUIPMENT, ETC. PLUMBING CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING PLUMBING SYSTEMS.

ABBREVIATIONS:

- ABV

ABOVE
- AD

AREA DRAIN
- ADA

AMERICANS WITH DISABILITIES ACT
- AFF

ABOVE FINISHED FLOOR
- AG

AIR GAP
- AHJ

AUTHORITIES HAVING JURISDICTION
- AP

ACCESS PANEL
- ASPE

AMERICAN SOCIETY OF PLUMBING ENGINEERS
- BFP

BACK FLOW PREVENTER
- BFF

BELOW FINISHED FLOOR
- BLW

BELOW
- BOP

BOTTOM OF PIPE
- BTU

BRITISH THERMAL UNIT(S)
- CD

CONDENSATE DRAIN
- CI

CAST IRON
- CL

CENTERLINE
- CM

CONSTRUCTION MANAGER
- CO

CLEANOUT
- CONT

CONTINUED
- CW

DOMESTIC COLD WATER
- DFU

DRAINAGE FIXTURE UNITS
- DIA

DIAMETER
- DN

DOWN
- (E)

EXISTING
- EC

ELECTIRCAL CONTRACTOR
- EQUIP

EQUIPMENT
- ET

EXPANSION TANK
- EWC

ELECTRIC WATER COOLER
- EW

ELECTRIC WATER HEATER
- FCO

FLOOR CLEANOUT
- FD

FLOOR DRAIN
- FLA

FULL LOAD AMPS
- FU

FIXTURE UNITS
- GB

GAS BOOSTER SYSTEM
- GAL

GALLONS
- GPM

GALLONS PER MINUTE
- GW

GAS-FIRED HOT WATER HEATER
- HB

HOSE BIBB
- H&CW

HOT AND COLD WATER
- HP

HORSEPOWER
- HW

DOMESTIC HOT WATER
- HWR

HOT WATER RETURN
- IBC

INTERNATIONAL BUILDING CODE
- ID

INSIDE DIAMETER
- IMC

INTERNATIONAL MECHANICAL CODE
- IN

INCHES
- INV EL

INVERT ELEVATION
- IPC

INTERNATIONAL PLUMBING CODE
- KW

KILOWATTS
- IEER

INTEGRATED ENERGY EFFICIENCY RATIO
- IN

INCH
- IN WG

INCHES WATER GAGE
- INV EL

INVERT ELEVATION
- JAN

JANITOR'S
- KW

KILOWATTS
- LAV

LAVATORY
- M

METERS
- MC

MECHANICAL CONTRACTOR
- MFR

MANUFACTURER
- MOCP

MAXIMUM OVERCURRENT PROTECTION
- MR

MOP RECEPTOR
- (N)

NEW
- NC

NORMALLY CLOSED
- NIC

NOT IN CONTRACT
- NO

NORMALLY OPEN (FAIL SAFE OPEN)
- NPW

NON-POTABLE WATER
- NTS

NOT TO SCALE
- OC

ON CENTER
- OD

OUTSIDE DIAMETER
- P

PUMP
- PC

PLUMBING CONTRACTOR
- POC

POINT OF CONNECTION
- (R)

REMOVE
- RAC

RUN ABOVE CEILING
- RBF

RUN BELOW FLOOR
- RD

ROOF DRAIN
- RP

RECIRCULATION PUMP
- RWL

RAIN WATER LEADER
- S

SANITARY STACK
- SAN

SANITARY
- SFU

SUPPLY FIXTURE UNITS
- SK

SINK
- SP

SUMP PUMP
- SPECS

SPECIFICATIONS
- STD

STANDARD
- TDH

TOTAL DYNAMIC HEAD
- TMV

THERMOSTATIC MIXING VALVE
- TP

AUTOMATIC TRAP PRIMER
- TSFU

TOTAL SUPPLY FIXTURE UNITS
- TYP

TYPICAL
- UF

UNDER FLOOR
- UON

UNLESS OTHERWISE NOTED
- UR

URINAL
- V

VENT
- V/Ø/H

VOLTS/PHASE/HERTZ
- Z
- VB

VACUUM BREAKER
- VS

VENT STACK
- W

WASTE
- W/

WITH
- W/O


WITHOUT
- WC


WATER CLOSET
- WCO


WALL CLEANOUT
- WHA


WATER HAMMER ARRESTOR


PLUMBING SYMBOLS:


- 


BACK FLOW PREVENTOR
- 


BALANCING VALVE WITH TEST PORTS
- 


BOTTOM CONNECTION
- 


CAPPED PIPE
- 


CHECK VALVE
- 


CLEAN OUT
- 


DIRECTION OF FLOW
- 


FLANGED CONNECTION
- 


FLOW METER
- 


FLOOR DRAIN
- 


FLOOR CLEAN OUT
- 


MANUAL AIR VENT
- 


PIPE TURNING UP
- 


PIPE TURNING DOWN
- 


PITCH
- 

BALL VALVE
- 

UNION
- 

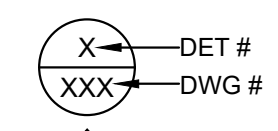
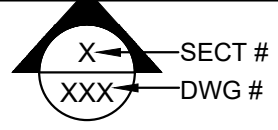
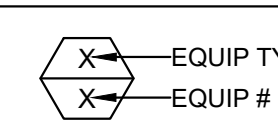
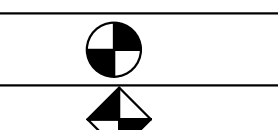

TOP CONNECTION
- 

VACUUM BREAKER
- 


WALL CLEANOUT
- 


GAS SHUT-OFF VALVE


GENERAL SYMBOLS:


	DETAIL TAG
	SECTION TAG
	EQUIPMENT TAG
	POINT OF CONNECTION
	POINT OF DISCONNECTION


PIPING LEGEND:


- 

DOMESTIC COLD WATER
- 

DOMESTIC HOT WATER
- 


DOMESTIC HOT WATER RETURN
- 

SANITARY
- 

VENT
- 

DEMOLITION (REFER TO TAG FOR PIPE TYPE)

REVISIONS		
ISSUE	DATE	REVISIONS




CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

SEALS



SMP ARCHITECTS
1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

LANDSCAPE ARCHITECT:
GROUND RECONSIDERED
www.groundreconsidered.com
215 790 0727

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KS ENGINEERS
www.kseng.com
215 925 0425

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
arstructural.com
610 688 2566

MEP ENGINEER:
ARORA ENGINEERS
www.aroraengineers.com
610 459 7900

ROOFING CONSULTANT:
STEPHEN MCLAUGHLIN ROOFING CONSULTANT
stevemclaughlin.biz
856 287 2424

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

PLUMBING GENERAL NOTES, SYMBOLS
AND ABBREVIATIONS

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
TM

CHECKED BY
PL

DRAWING NO.
P-001

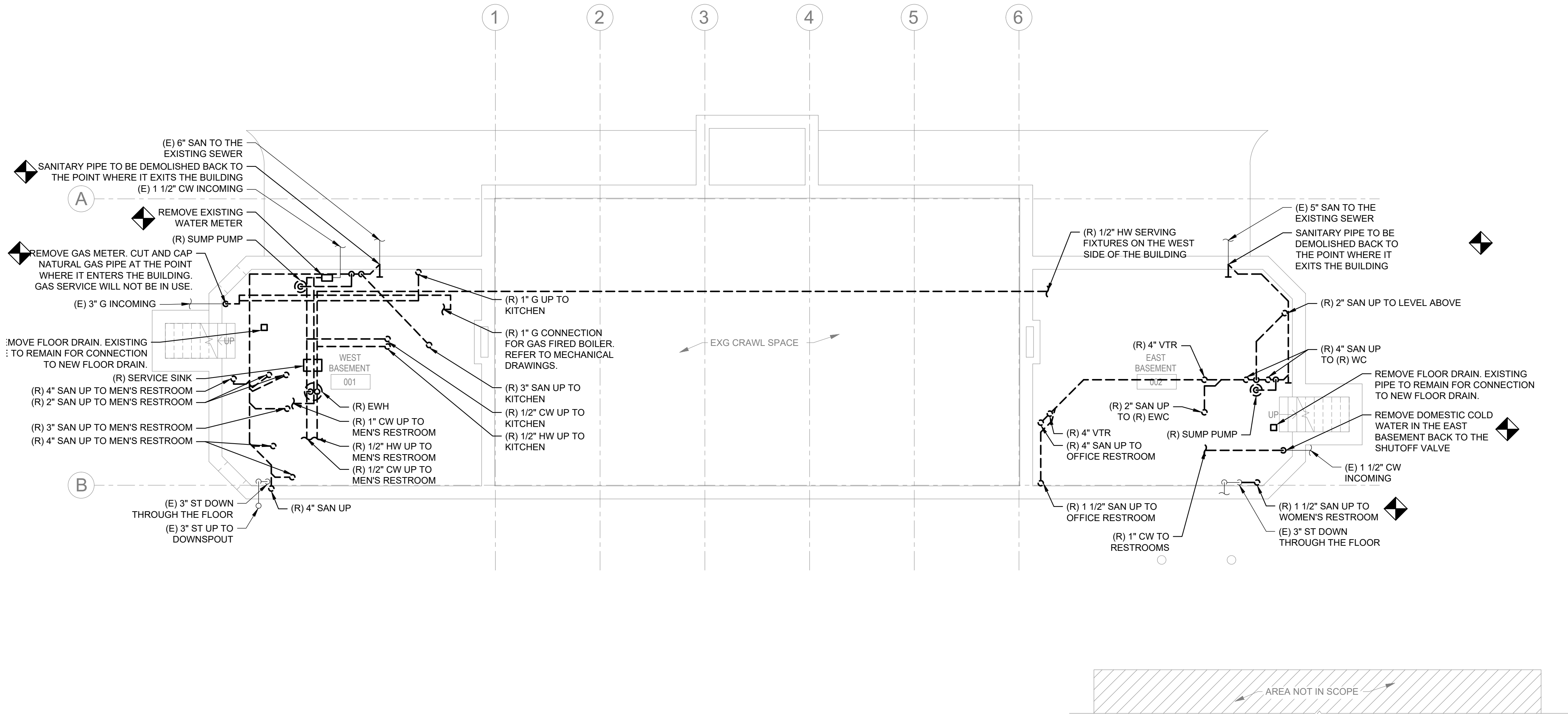
144

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

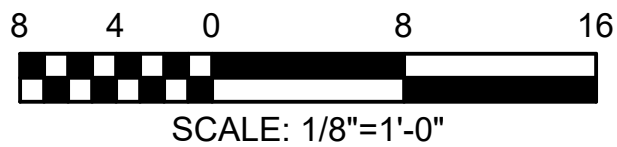
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

- REFER TO DRAWING P000 FOR PLUMBING GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO DRAWING P400 FOR RISER DIAGRAMS
- REFER TO DRAWING P500 AND P501 FOR PLUMBING DETAILS.
- REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.
- REMOVE ALL ABANDONED ELECTRIC WATER HEATERS.



1 PLUMBING DEMOLITION BASEMENT PLAN
PD-101 Scale: 1/8" = 1'-0"



REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
LEEANN SUEN

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1515 ARCH STREET
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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE
**PLUMBING DEMOLITION BASEMENT
PLAN**

PROJECT NO. 16315E-03-02	DRAWING NO. PD-101
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

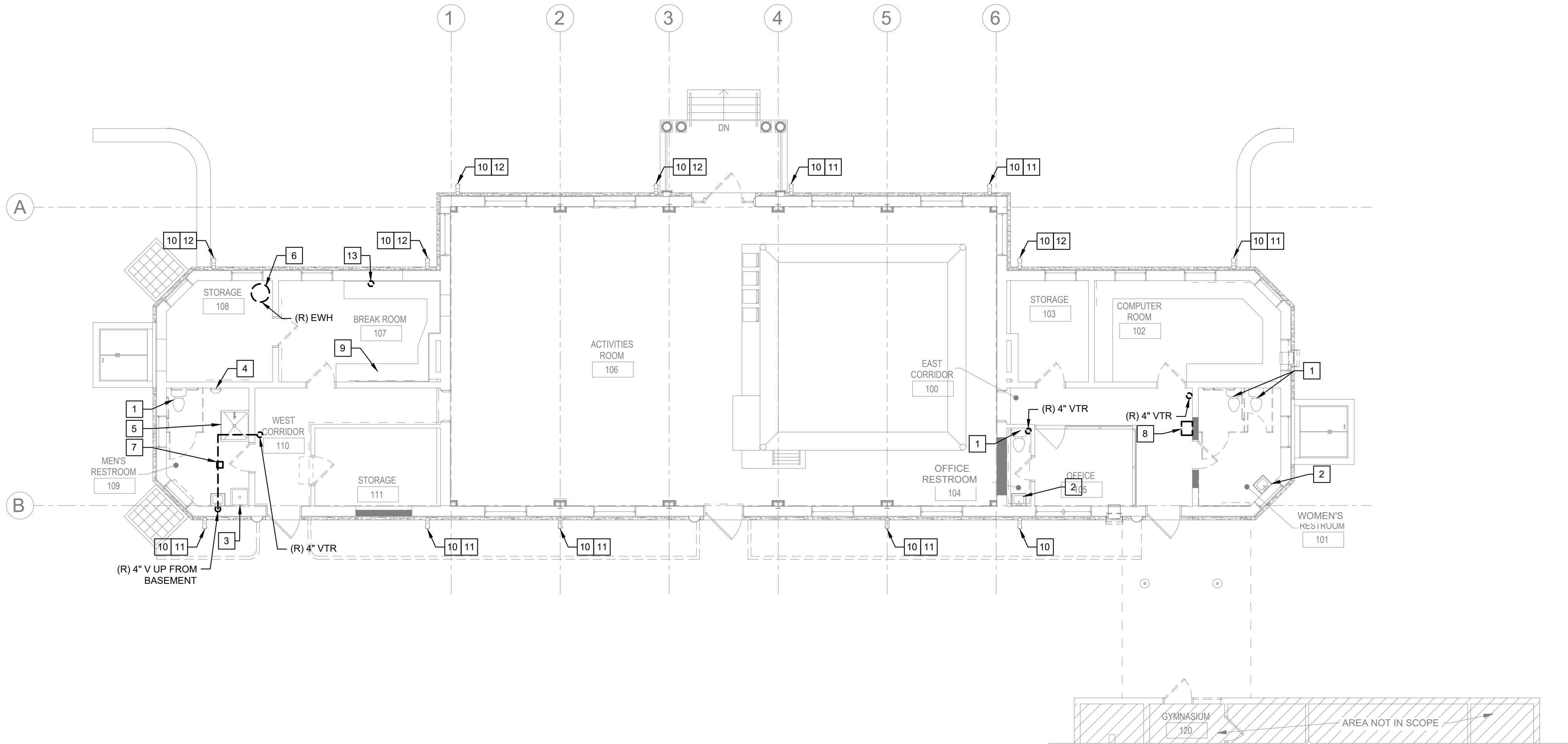
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

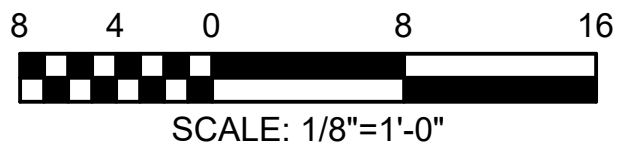
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2. REFER TO DRAWING P400 FOR RISER DIAGRAMS
3. REFER TO DRAWING P500 AND P501 FOR PLUMBING DETAILS.
4. REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.



KEYED NOTES ():

1. DISCONNECT AND REMOVE EXISTING WATER CLOSET IN ITS ENTIRETY INCLUDING SANITARY PIPING, VENT PIPING, COLD WATER PIPING, FLUSH VALVES, TANK, CARRIER, SUPPORTS, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
2. DISCONNECT AND REMOVE EXISTING LAVATORY IN ITS ENTIRETY INCLUDING SUPPORTS, FAUCET, SANITARY PIPING, VENT PIPING, COLD WATER PIPING, HOT WATER PIPING, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
3. DISCONNECT AND REMOVE EXISTING SERVICE SINK IN ITS ENTIRETY INCLUDING SUPPORTS, FAUCET, SANITARY PIPING, VENT PIPING, COLD WATER PIPING, HOT WATER PIPING, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
4. DISCONNECT AND REMOVE EXISTING URINAL IN ITS ENTIRETY INCLUDING SUPPORTS, FAUCET, SANITARY PIPING, VENT PIPING, COLD WATER PIPING, HOT WATER PIPING, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
5. DISCONNECT AND REMOVE EXISTING SHOWER IN ITS ENTIRETY INCLUDING SUPPORTS, FAUCET, SANITARY PIPING, VENT PIPING, COLD WATER PIPING, HOT WATER PIPING, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
6. DISCONNECT AND REMOVE EXISTING DOMESTIC WATER HEATER IN ITS ENTIRETY INCLUDING SUPPORTS, COLD WATER PIPING, HOT WATER PIPING, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
7. DISCONNECT AND REMOVE EXISTING FLOOR DRAIN IN ITS ENTIRETY INCLUDING SANITARY PIPING AND VENT PIPING. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
8. DISCONNECT AND REMOVE EXISTING ELECTRIC WATER COOLER IN ITS ENTIRETY INCLUDING SUPPORTS, FAUCET, SANITARY PIPING, VENT PIPING, COLD WATER PIPING, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURES CONNECTIONS. REFER TO NEW WORK.
9. DISCONNECT AND REMOVE EXISTING INTEGRAL STAINLESS STEEL SINK IN ITS ENTIRETY INCLUDING SUPPORTS, FAUCET, SANITARY PIPING, VENT PIPING, COLD WATER PIPING, AND ACCESSORIES.
10. EXISTING 3" DOWNSPOUT TO REMAIN.
11. REMOVE DETERIORATED CAST IRON DOWNSPOUT BOOT FOR REPLACEMENT IN NEW WORK.
12. VERIFY IN FIELD THE CONDITION OF THE CAST IRON DOWNSPOUT BOOT. IF DETERIORATED, RUSTED, OR DAMAGED, REMOVE DOWNSPOUT BOOT FOR REPLACEMENT IN NEW WORK.
13. DEMOLISH GAS PIPING CONNECTED TO EXISTING KITCHEN STOVE. STOVE TO BE REMOVED.



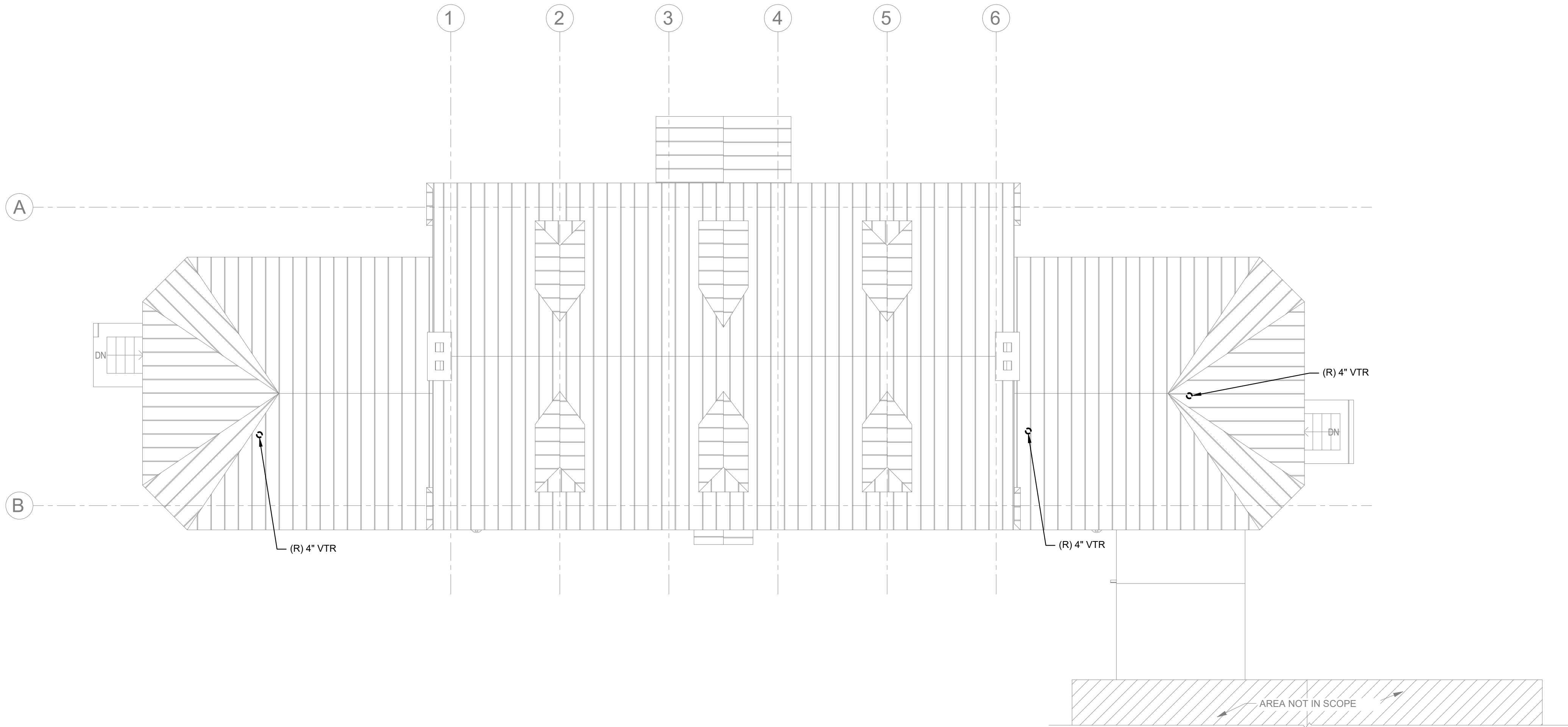
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PD-102
PLUMBING DEMOLITION FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



REVISIONS		
ISSUE	DATE	REVISIONS
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CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR LEEANN SUEN		
SEALS <div></div>		
<div>SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</div> <div>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</div> <div>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</div> <div>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</div> <div>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</div> <div>ROOFING CONSULTANT: STEPHEN MCLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</div>		
CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE PLUMBING DEMOLITION FIRST FLOOR PLAN		
PROJECT NO. 16315E-03-02		DRAWING NO. <div>PD-102</div>
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY TM		
CHECKED BY PL		PL
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		
CONSTRUCTION DOCUMENTS		

GENERAL NOTES:

1. REFER TO DRAWING P000 FOR PLUMBING GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. REFER TO DRAWING P400 FOR RISER DIAGRAMS
3. REFER TO DRAWING P500 AND P501 FOR PLUMBING DETAILS.
4. REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.

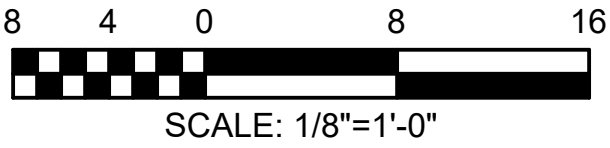


1


PLUMBING DEMOLITION ROOF PLAN

PD-103

Scale: 1/8" = 1'-0"




REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
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SEALS



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CITY OF PHILADELPHIA
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1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE

PLUMBING DEMOLITION ROOF PLAN

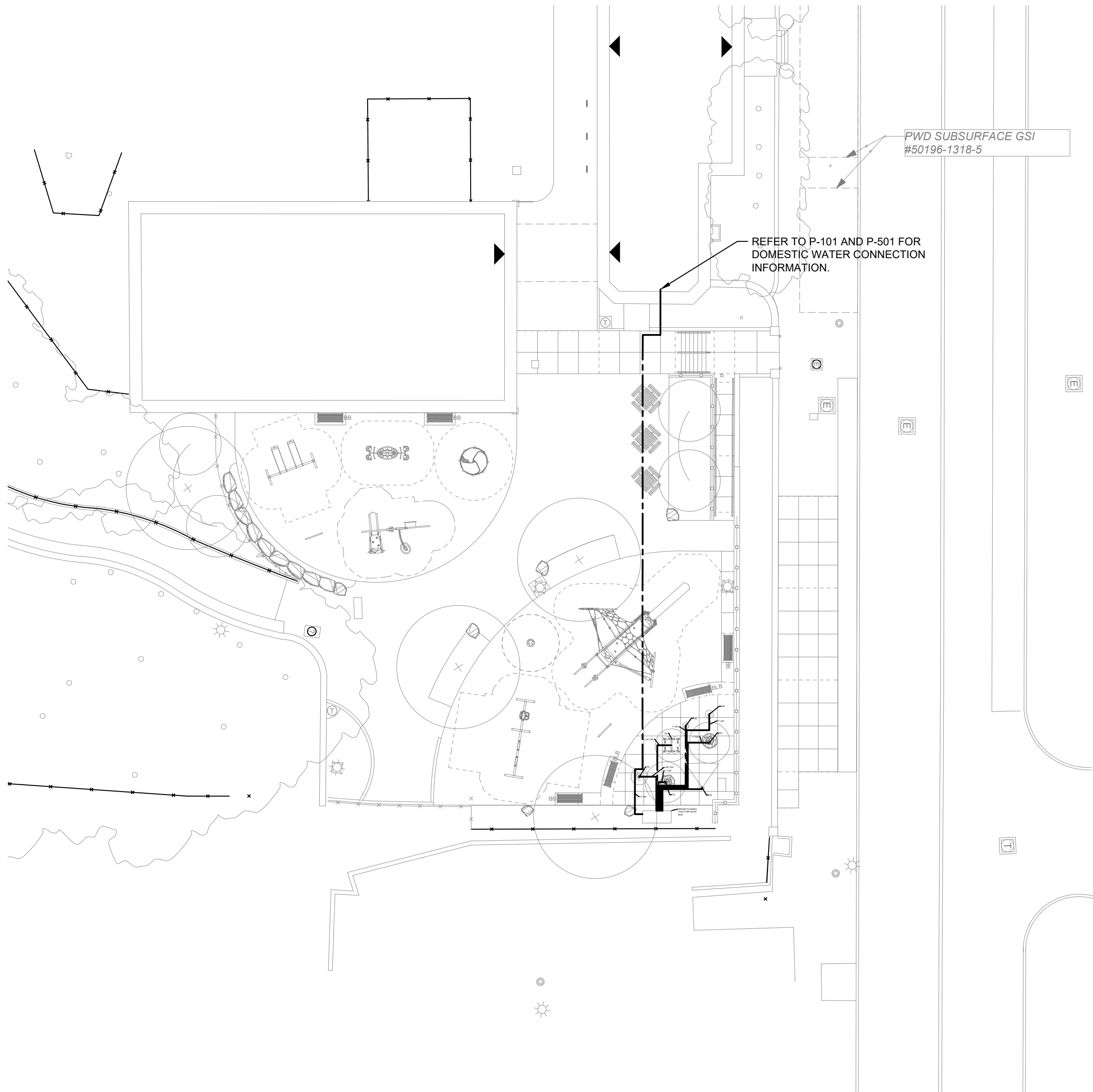
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DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
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NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

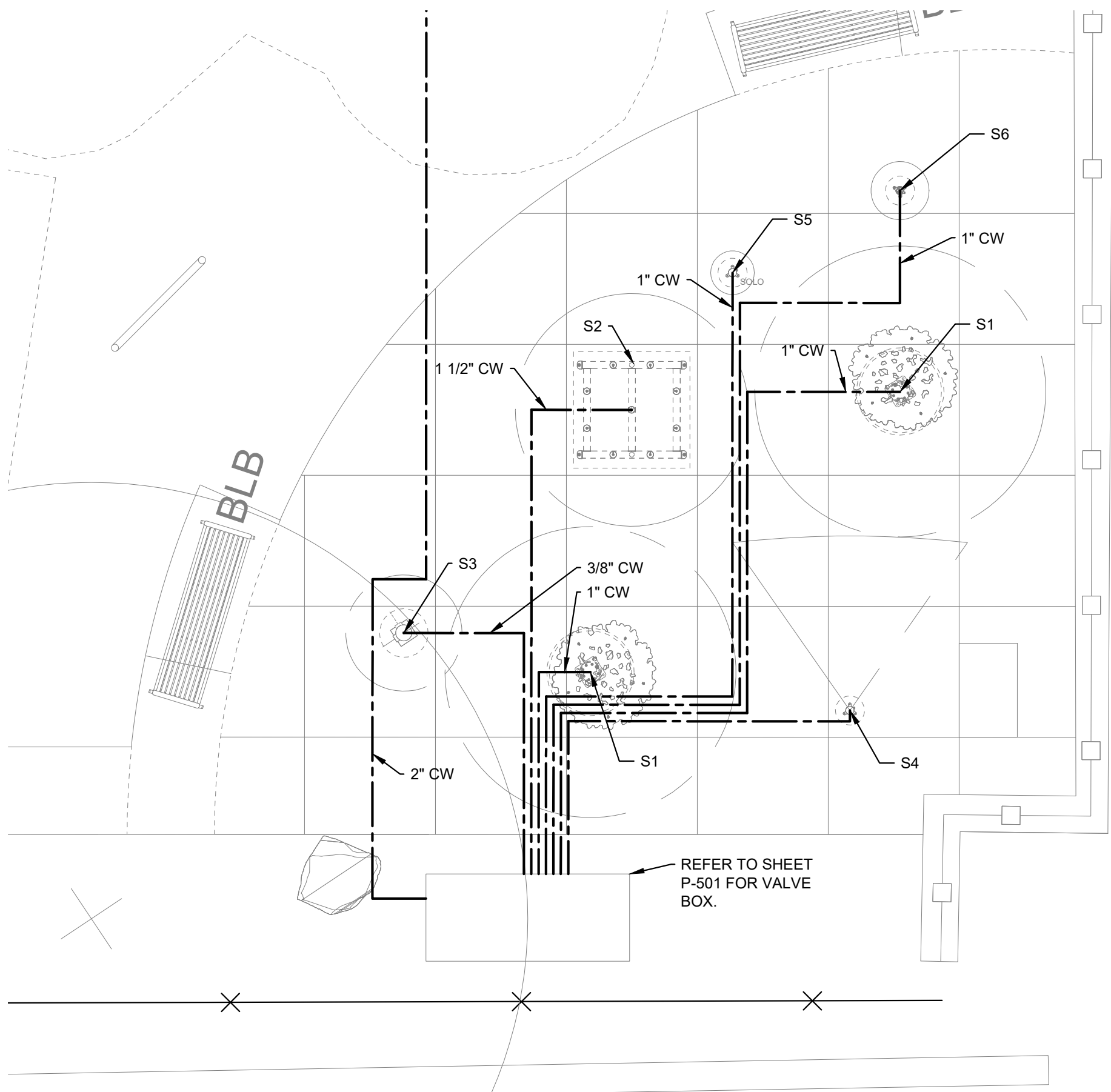
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4. REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.




1 PLUMBING SITE PLAN
P-100 Scale: 1" = 20'-0"



2 PLUMBING SITE PLAN
P-100 Scale: 1" = 4'-0"


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PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE
PLUMBING SITE PLAN

PROJECT NO. 16315E-03-02	P-100
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	PL

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

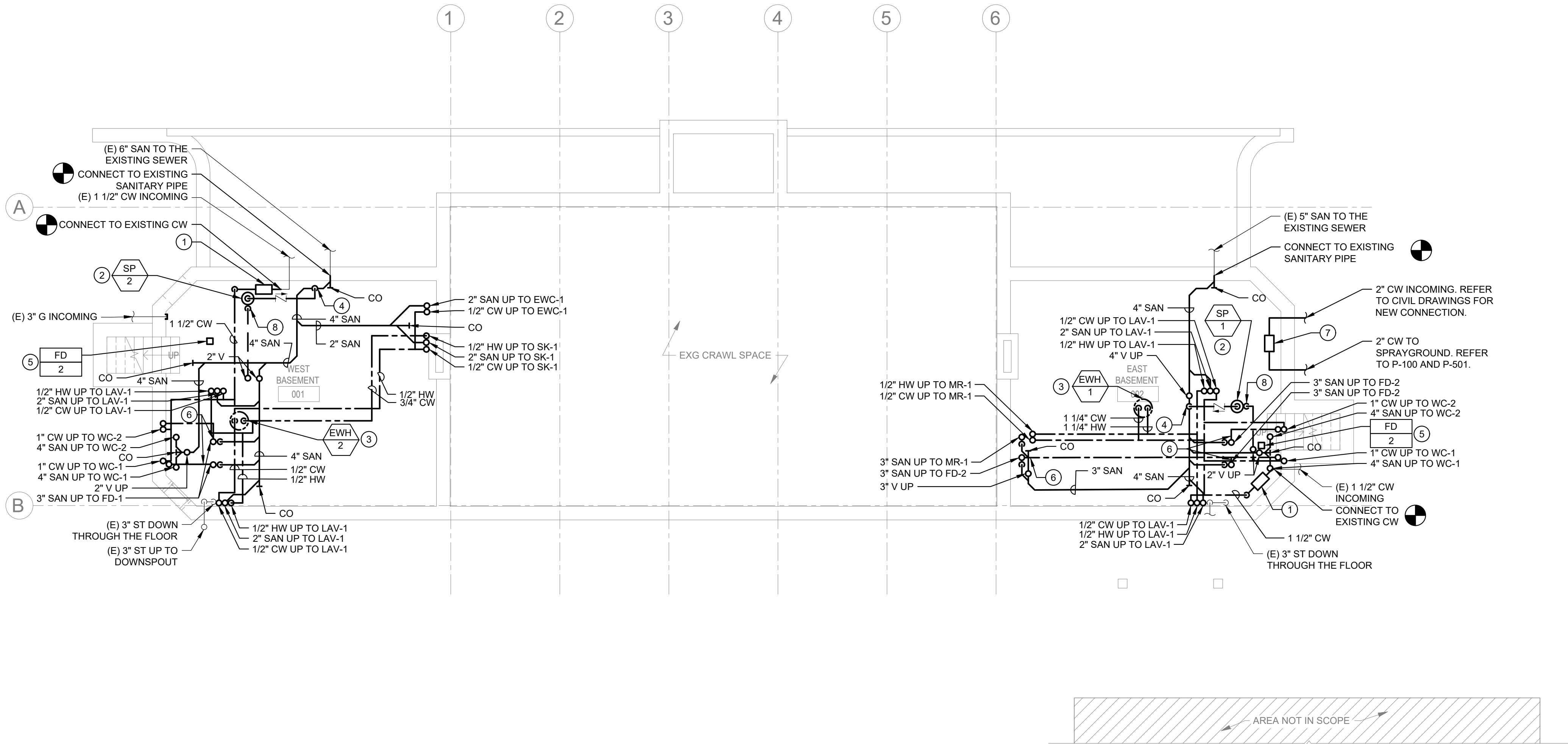
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

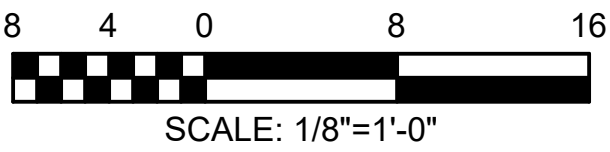
- REFER TO DRAWING P000 FOR PLUMBING GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- REFER TO DRAWING P400 FOR RISER DIAGRAMS
- REFER TO DRAWING P500 AND P501 FOR PLUMBING DETAILS.
- REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.



KEYED NOTES (Ⓢ):

- PROVIDE NEW DOMESTIC WATER METER AND BACKFLOW PREVENTER, BFP-1.
- PROVIDE NEW SUMP PUMP IN EXISTING SUMP PIT. REFER TO ELECTRICAL DRAWINGS FOR RECEPTACLE LOCATION.
- PROVIDE NEW ELECTRIC WATER HEATER. REFER TO ELECTRICAL DRAWINGS FOR POWER.
- PROVIDE INDIRECT WASTE RECEPTOR FOR SUMP PUMP DRAINAGE.
- INSTALL NEW FD-2 IN THE SAME LOCATION AS THE BASEMENT FLOOR DRAIN THAT WAS REMOVED DURING DEMOLITION. CONNECT TO EXISTING SANITARY PIPE BELOW BASEMENT FLOOR. EXISTING SANITARY LINE SHALL BE CLEANED.
- PROVIDE 1/2" CW TRAP PRIMER CONNECTION TO FLOOR DRAIN PIPING.
- PROVIDE NEW DOMESTIC WATER METER AND BACKFLOW PREVENTER, BFP-2.
- PROVIDE 2" VENT FROM SUMP PUMP PIT.



1 PLUMBING BASEMENT PLAN
P-101 Scale: 1/8" = 1'-0"



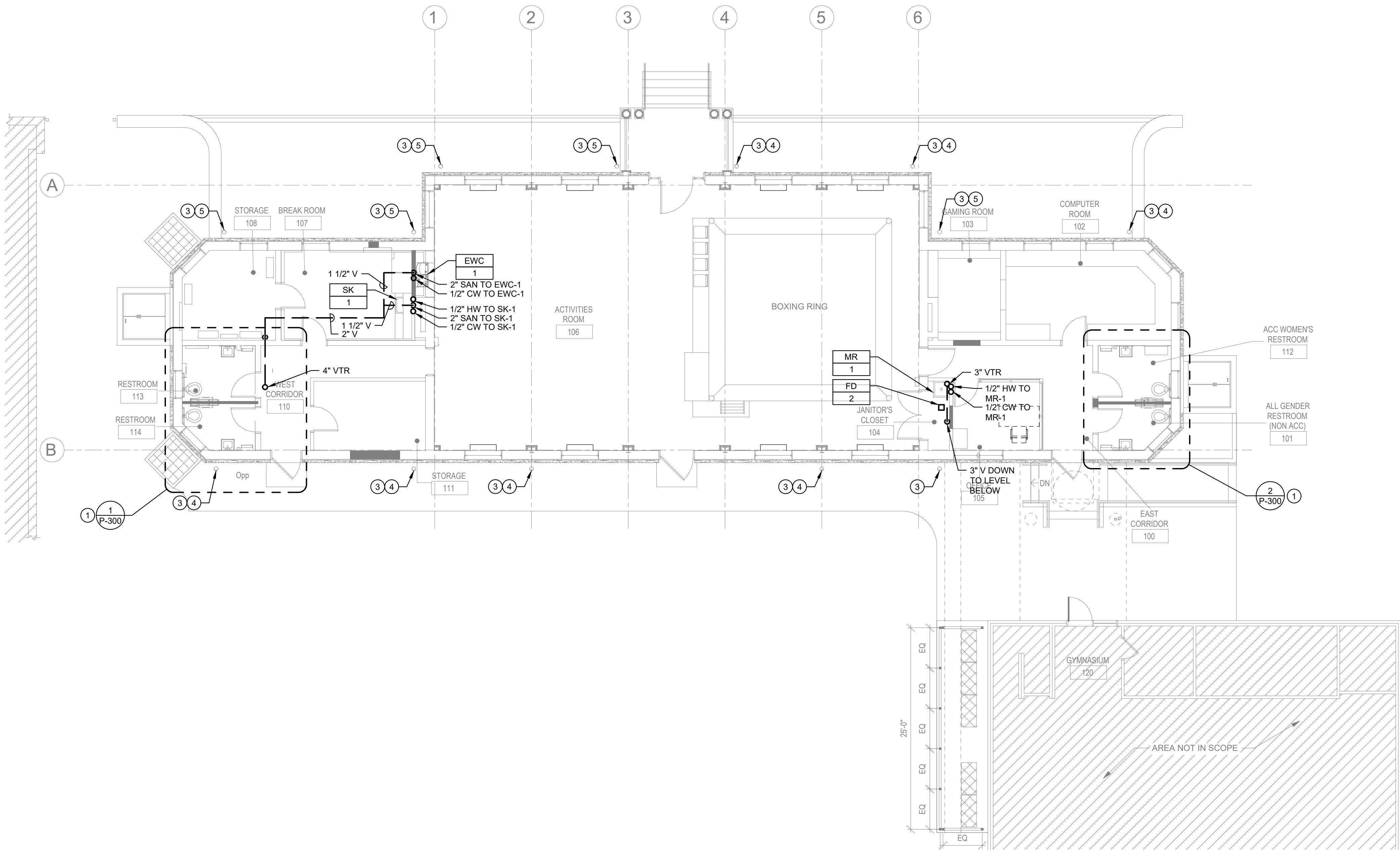
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CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR LEEANN SUEN		
SEALS 		
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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE PLUMBING BASEMENT PLAN		
PROJECT NO. 16315E-03-02		P-101
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY	TM	
CHECKED BY	PL	PL
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CONSTRUCTION DOCUMENTS		

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3. REFER TO DRAWING P500 AND P501 FOR PLUMBING DETAILS.
4. REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.


KEYED NOTES (Ⓢ):

1. REFER TO ENLARGED PLANS FOR RESTROOM NEW WORK.
2. PROVIDE NEW SANITARY PIPING, COLD WATER PIPING, AND HOT WATER PIPING TO NEW PANTRY SINK.
3. EXISTING 3" DOWNSPOUT TO REMAIN.
4. PROVIDE NEW 3" CAST IRON DOWNSPOUT BOOT.
5. IF THE EXISTING 3" CAST IRON DOWNSPOUT BOOT WAS FOUND TO BE IN POOR CONDITION AND REMOVED AS PART OF THE DEMOLITION, PROVIDE NEW 3" CAST IRON DOWNSPOUT BOOT.




1 PLUMBING FIRST FLOOR PLAN
P-102 Scale: 1/8" = 1'-0"

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CONSTRUCTION DOCUMENTS

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CITY OF PHILADELPHIA
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1515 ARCH STREET
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PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
PLUMBING FIRST FLOOR PLAN

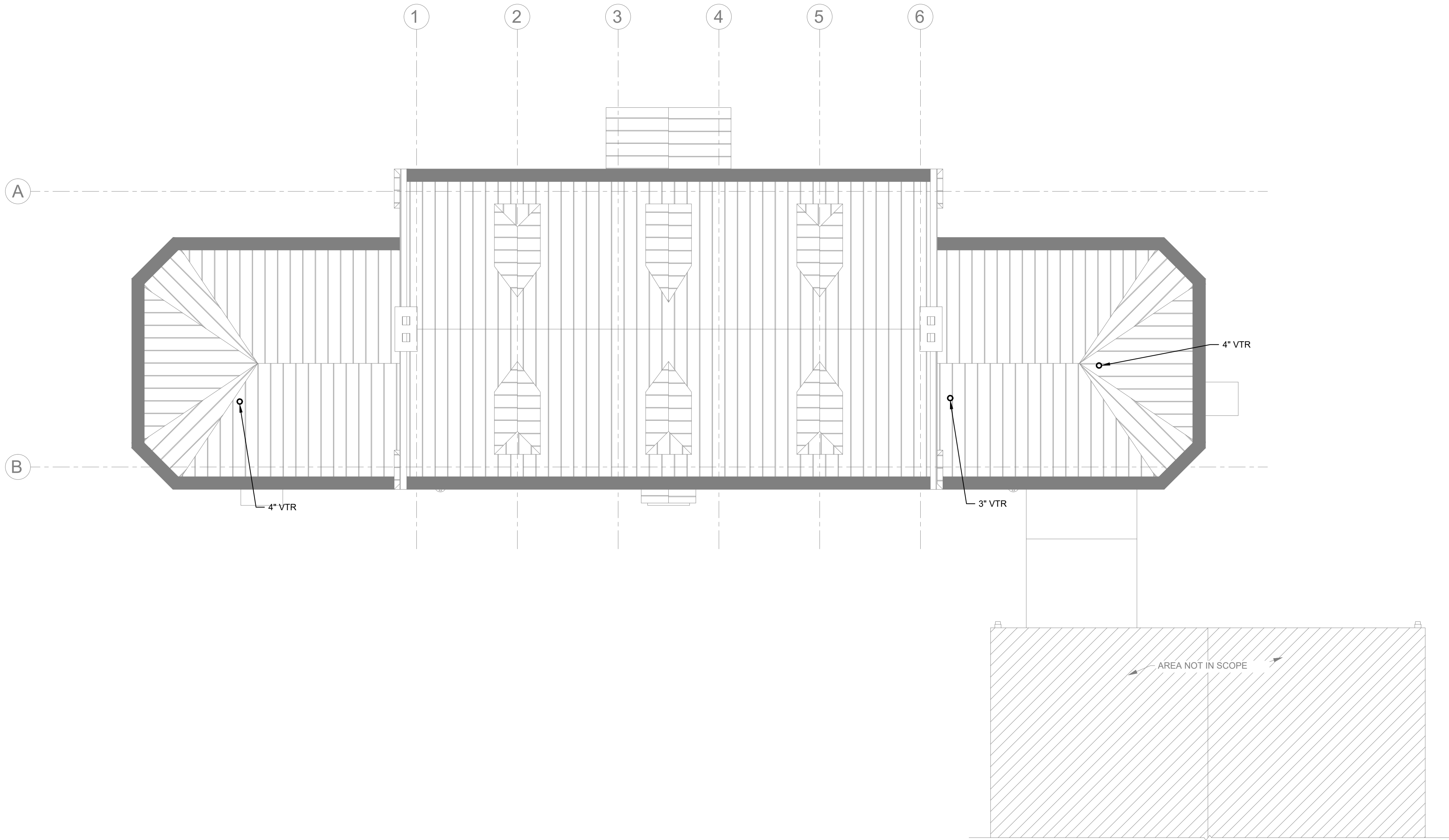
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DATE 05/13/2025	
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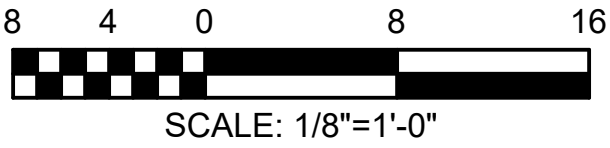
CONSTRUCTION DOCUMENTS

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1 PLUMBING ROOF PLAN
P-103 Scale: 1/8" = 1'-0"




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1515 ARCH STREET
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PROJECT TITLE
**RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER**

DRAWING TITLE
PLUMBING ROOF PLAN

PROJECT NO. 16315E-03-02	P-103
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	FILED

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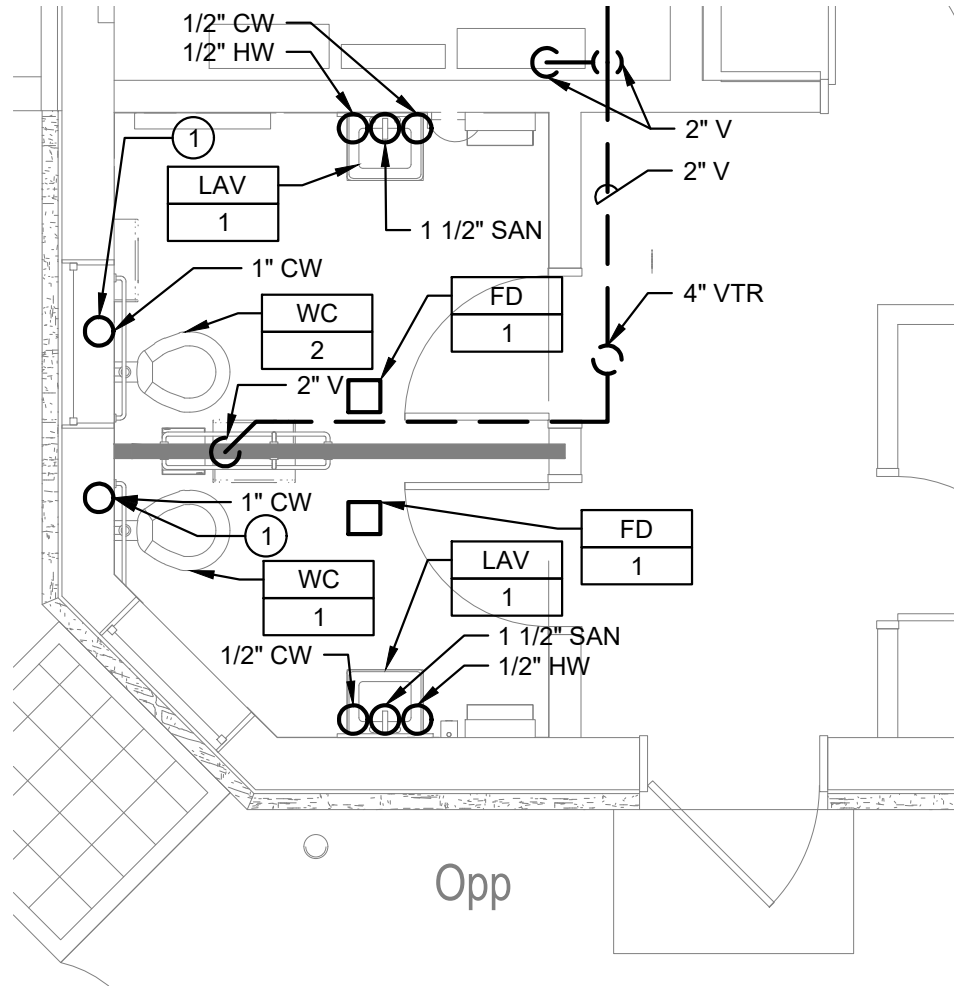
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GENERAL NOTES:

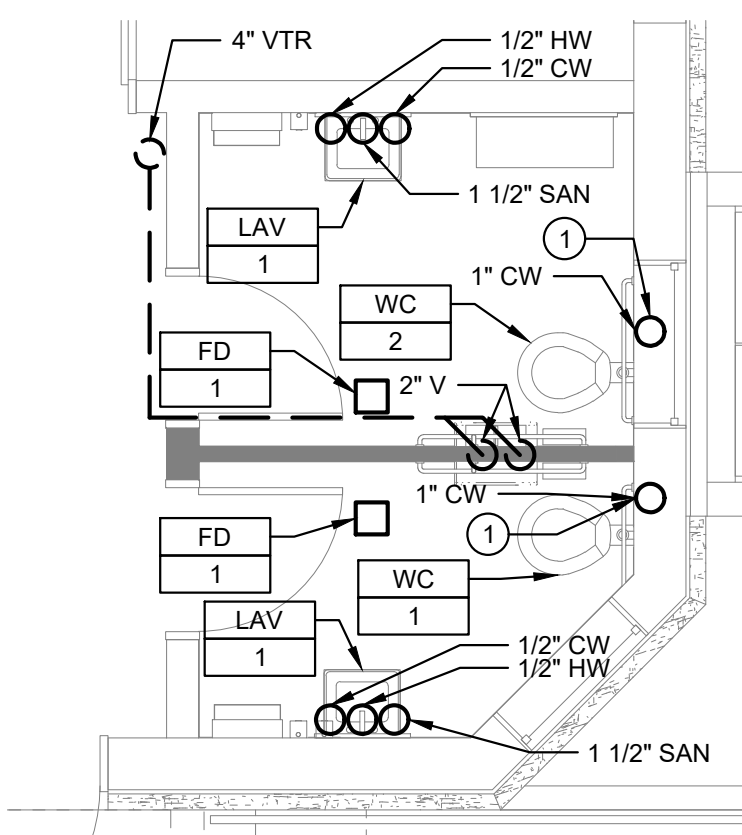
1. REFER TO DRAWING P000 FOR PLUMBING GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
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4. REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.

KEYED NOTES:

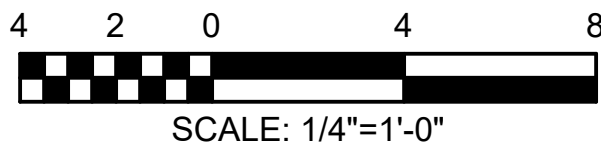
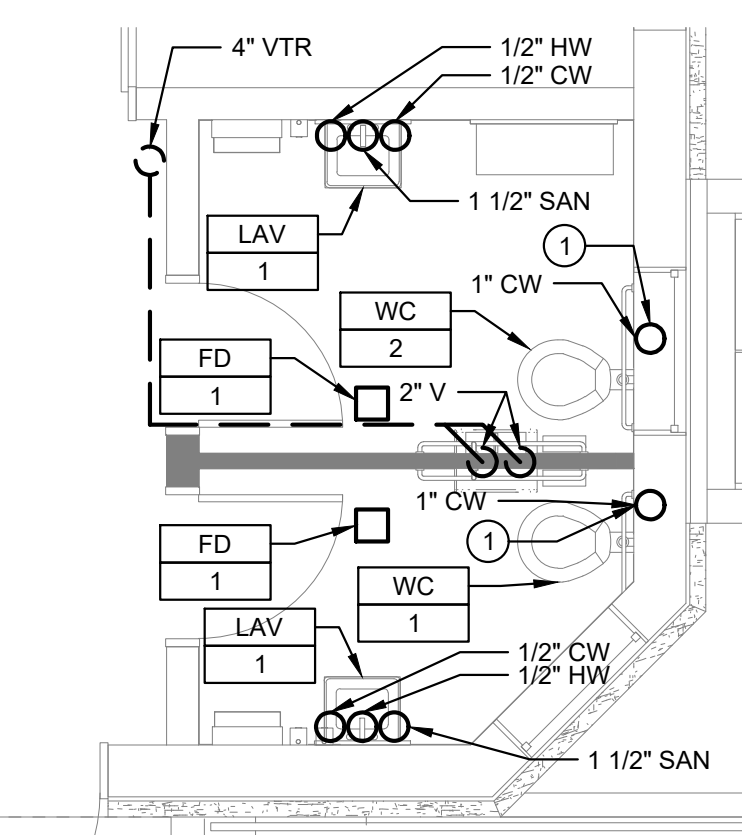
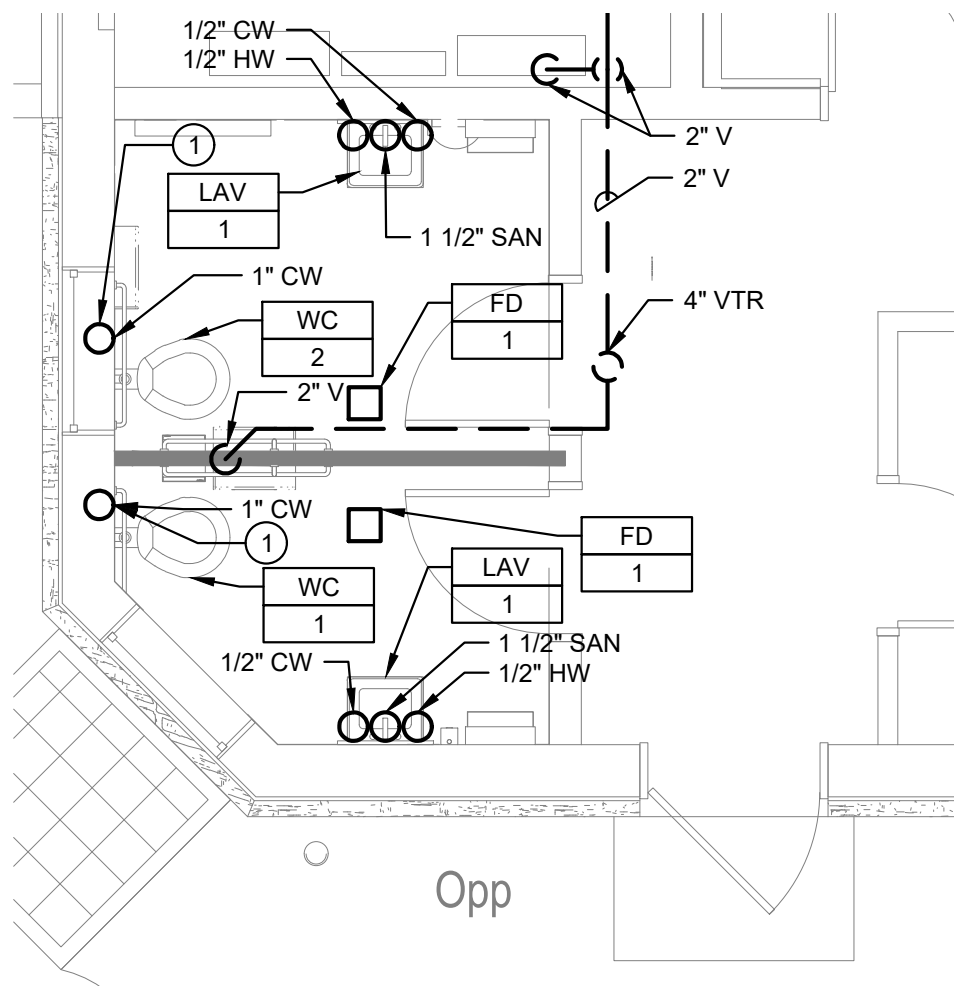
PROVIDE CONNECTION TO TP-1. RUN TRAP PRIMER PIPING ON THE LEVEL BELOW TO FLOOR DRAINS.





1 PLUMBING ENLARGED PLANS
Scale: 1/4" = 1'-0"



2 PLUMBING ENLARGED PLANS
Scale: 1/4" = 1'-0"



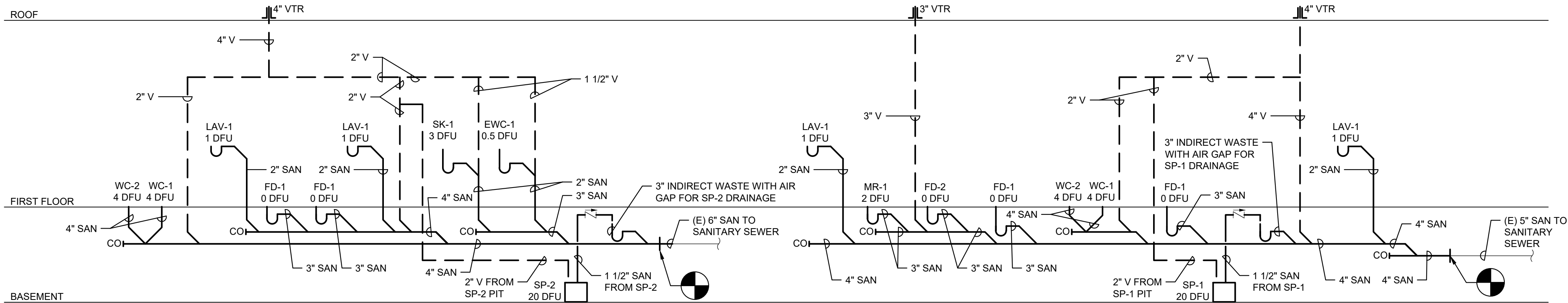
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<div><div>SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</div><div>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</div><div>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</div><div>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</div><div>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</div><div>ROOFING CONSULTANT: STEPHEN MCLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</div></div>		
<div><div>CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING</div><div>PHILADELPHIAPENNSYLVANIA</div></div>		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE PLUMBING ENLARGED PLANS		
PROJECT NO. 16315E-03-02		DRAWING NO. <div>P-300</div>
DATE 05/13/2025		
SCALE AS NOTED		
DRAWN BY TM		
CHECKED BY PL		PL
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		

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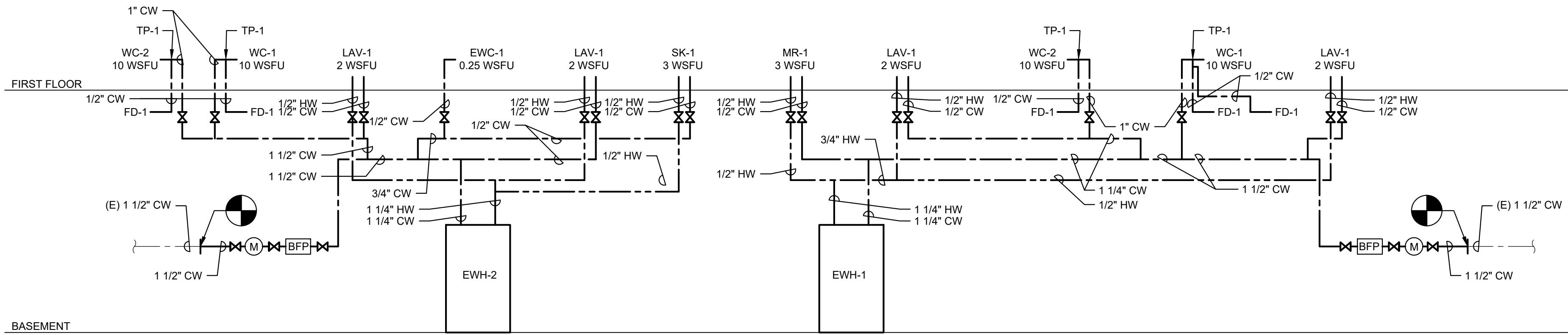
- REFER TO DRAWING P000 FOR PLUMBING GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
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- REFER TO DRAWING P600 FOR PLUMBING SCHEDULES.

KEYED NOTES (Ⓢ):

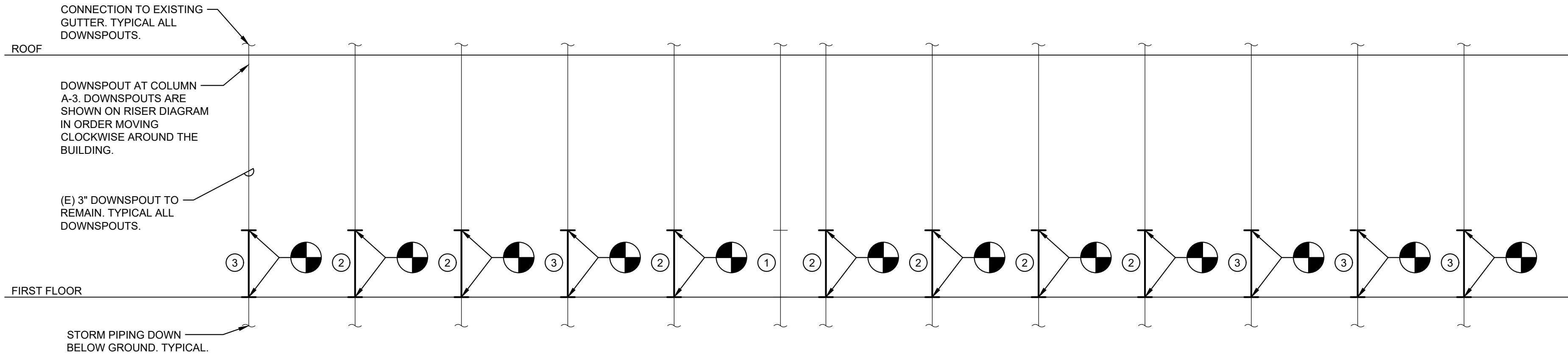
- EXISTING 3" CAST IRON DOWNSPOUT BOOT TO REMAIN.
- PROVIDE NEW 3" CAST IRON DOWNSPOUT BOOT.
- IF THE EXISTING 3" CAST IRON DOWNSPOUT BOOT WAS FOUND TO BE IN POOR CONDITION AND REMOVED AS PART OF THE DEMOLITION, PROVIDE NEW 3" CAST IRON DOWNSPOUT BOOT.





1 SANITARY AND VENT RISER
Scale: NTS

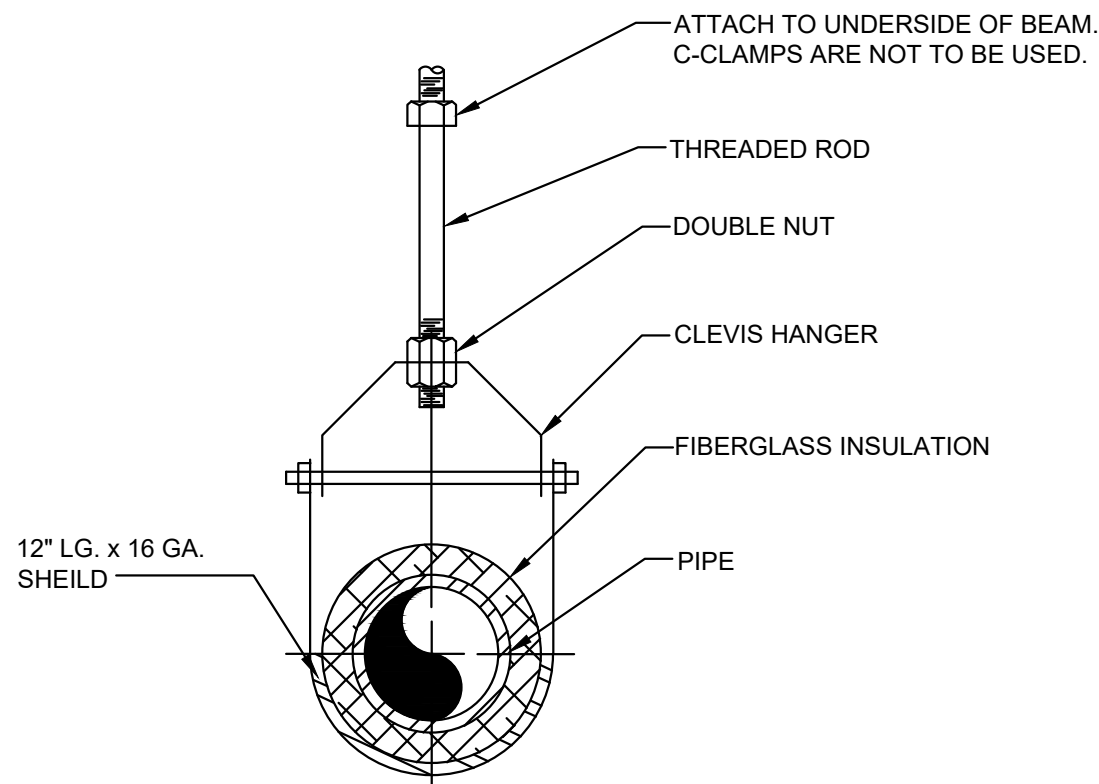


2 DOMESTIC WATER RISER
Scale: NTS

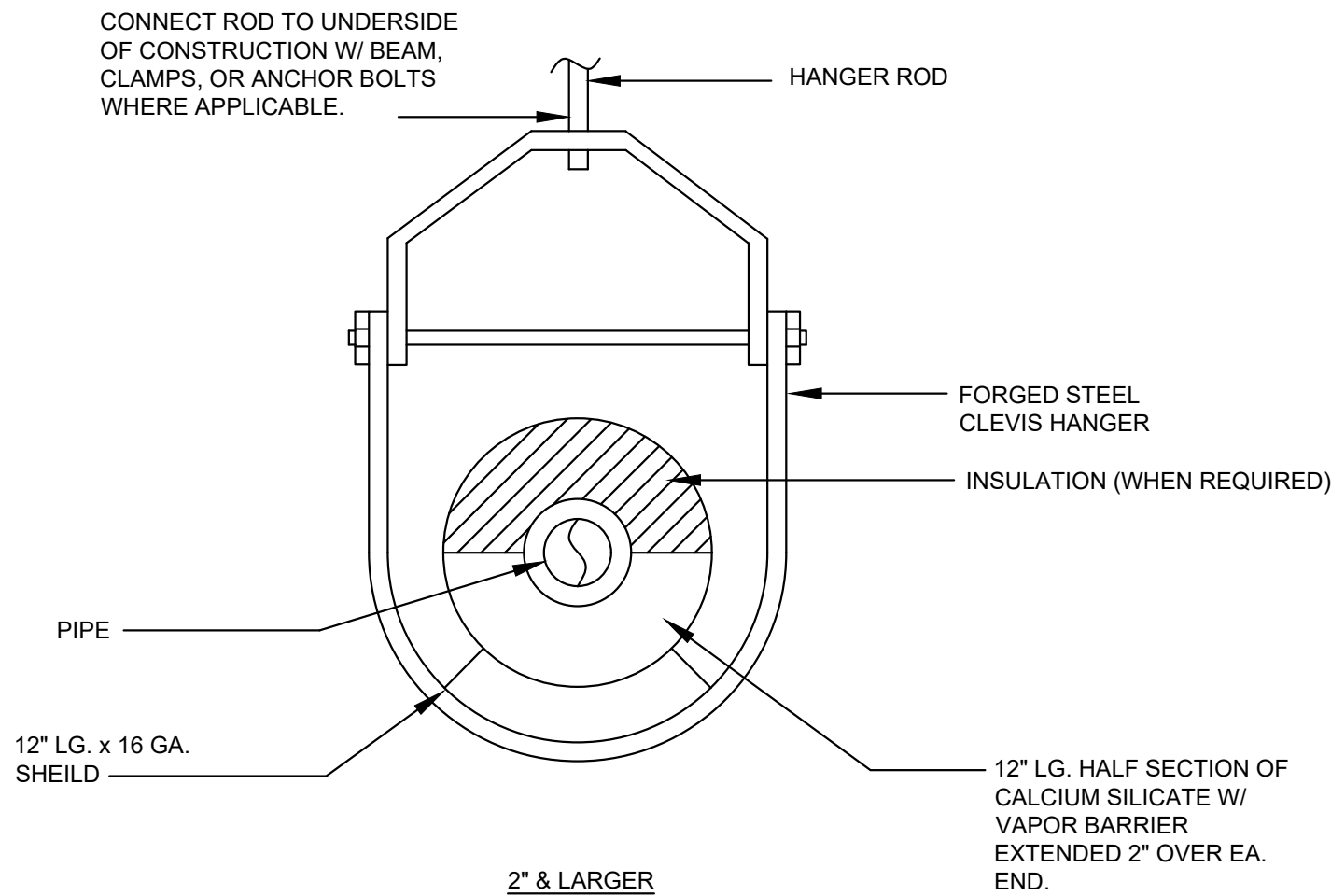


3 STORM RISER
Scale: NTS

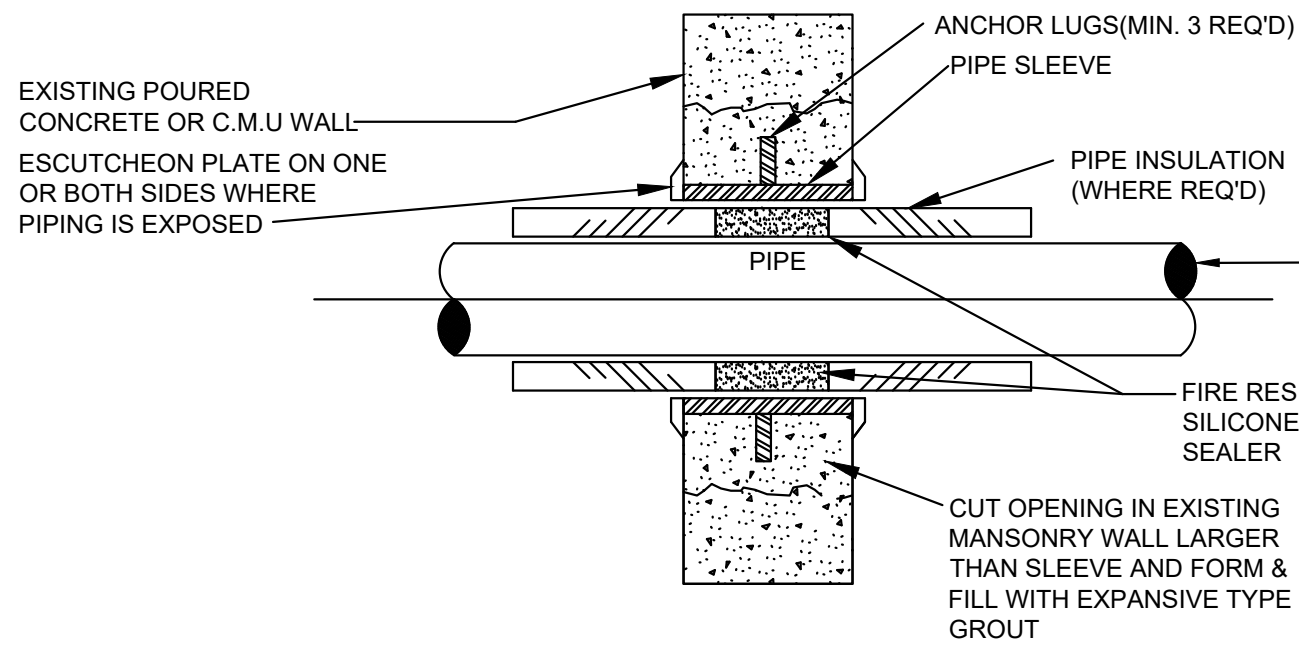
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DRAWING TITLE		
PLUMBING RISER DIAGRAMS		
PROJECT NO.		DRAWING NO.
16315E-03-02		
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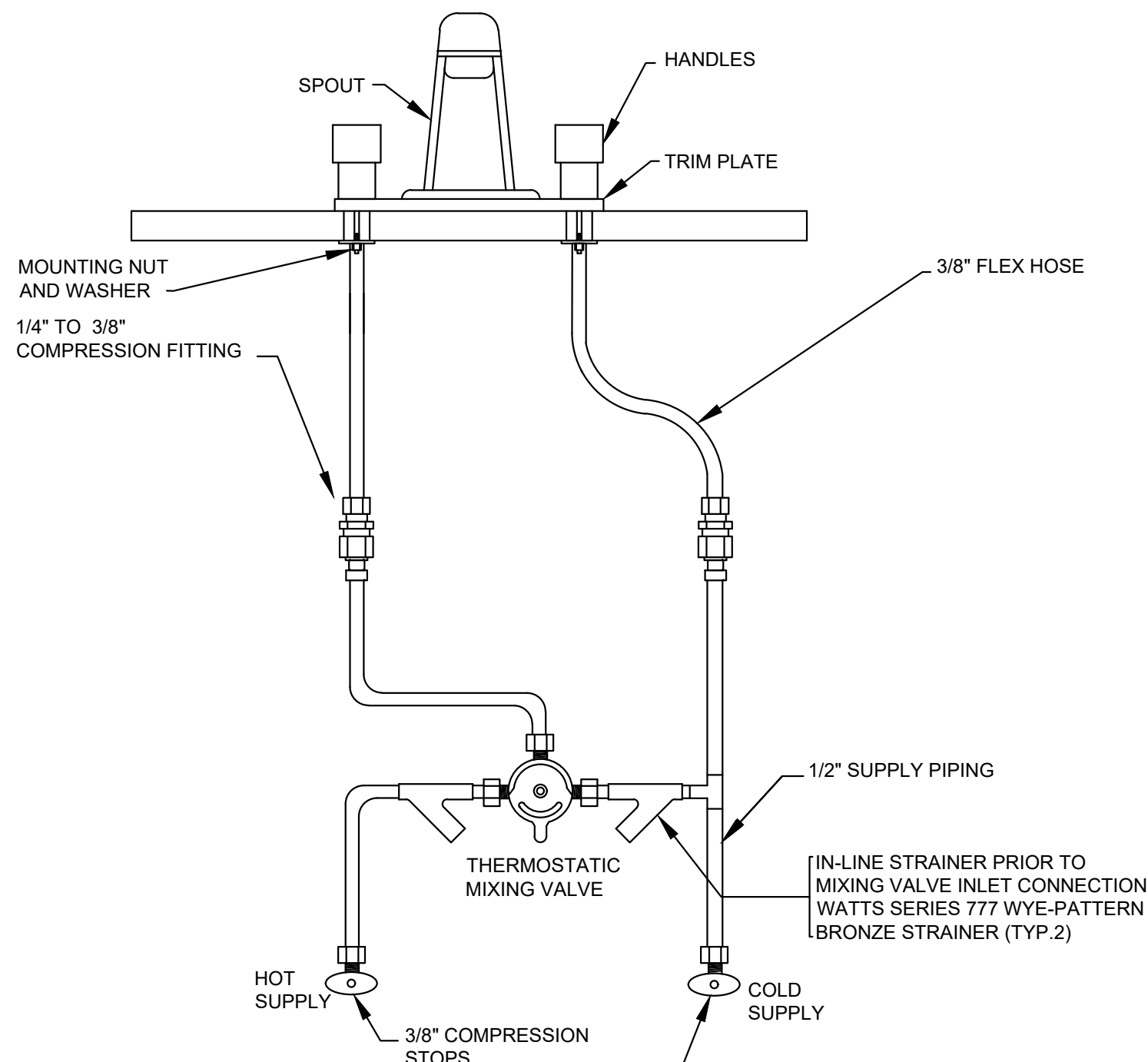
1 CLEVIS HANGER DETAIL (FOR PIPING 2" AND LESS)
P700 NOT TO SCALE



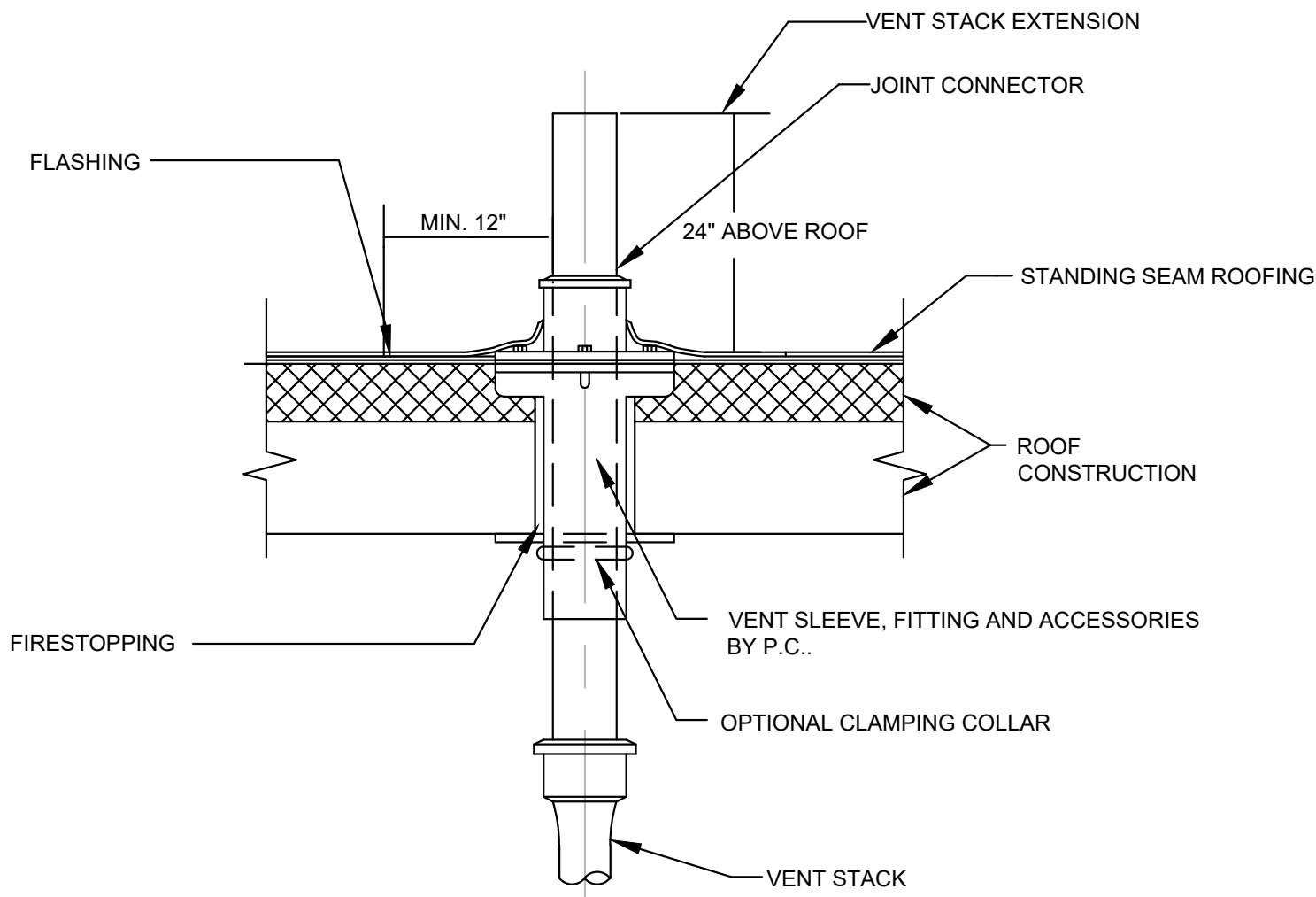
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P700 NOT TO SCALE



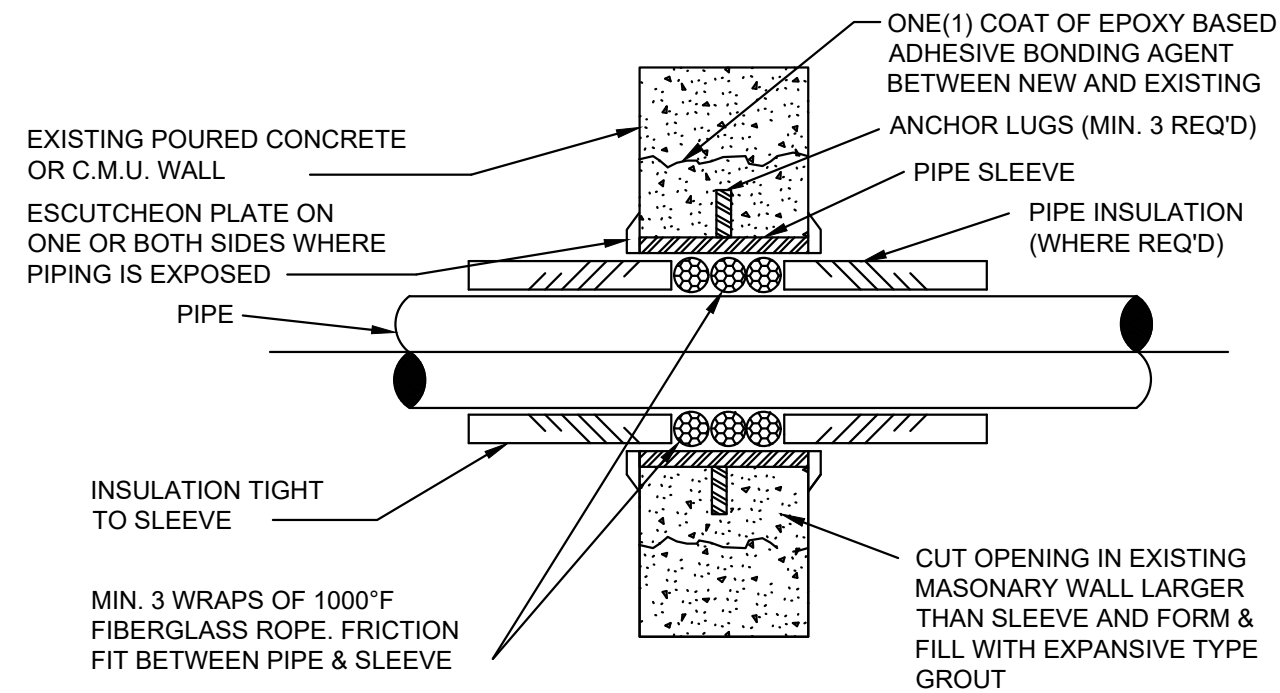
3 INTERIOR PIPE SLEEVE THROUGH EXISTING WALL DETAIL
P700 NOT TO SCALE



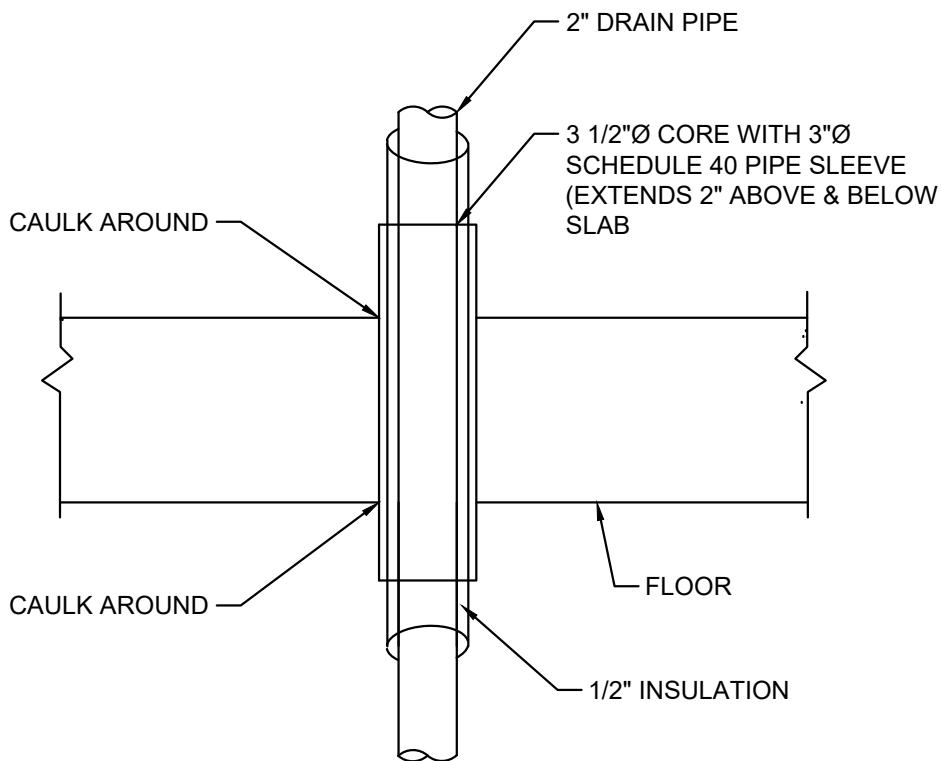
4 MIXING VALVE DETAIL
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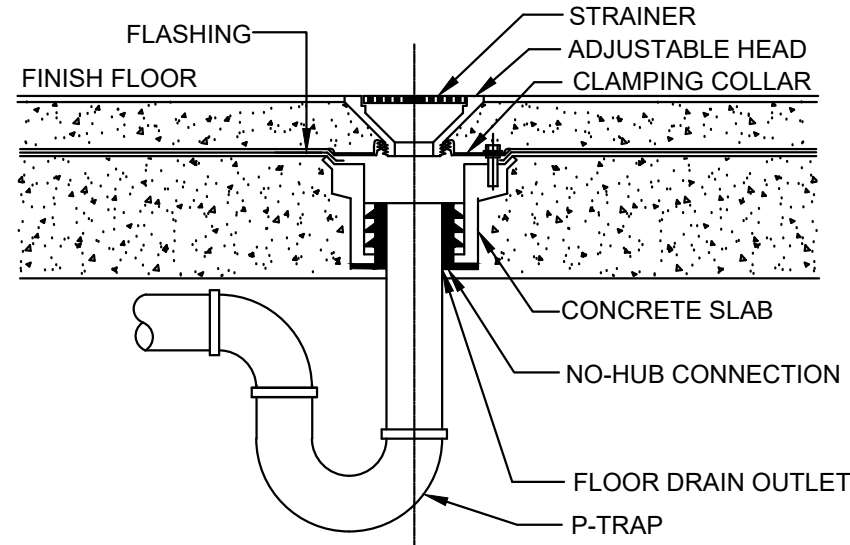
5 VENT THRU ROOF DETAIL
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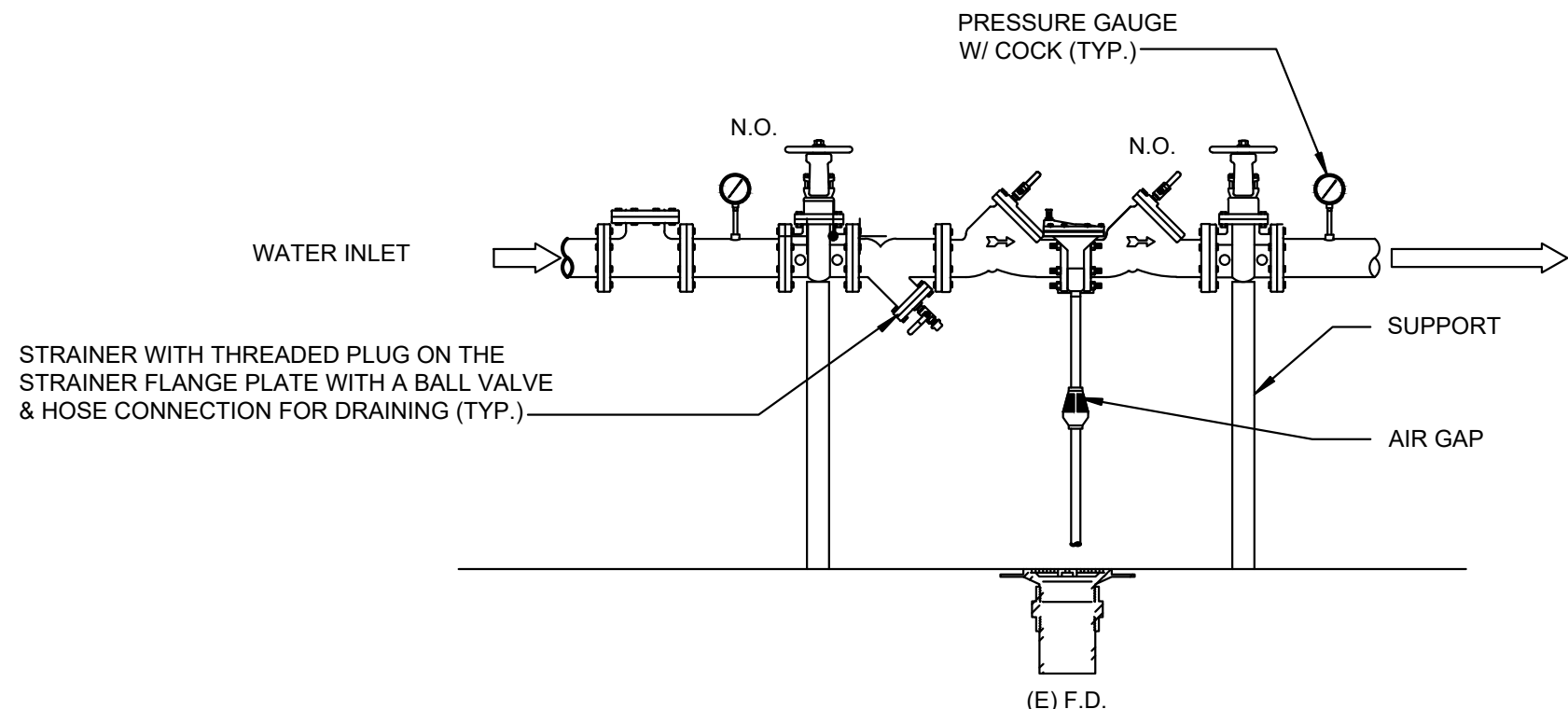
6 PIPE SLEEVE DETAIL - INTERIOR
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7 FLOOR PENETRATION DETAIL
P700 NOT TO SCALE



8 TYPICAL FLOOR DRAIN DETAIL
P700 NOT TO SCALE



9 BACK FLOW PREVENTOR DETAIL
P700 NOT TO SCALE

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STEPHEN MCLAUGHLIN ROOFING CONSULTANT
stevemclaughlin.biz
856 287 2424

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
PLUMBING DETAILS

PROJECT NO. 16315E-03-02	DRAWING NO. P-500
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

CONSTRUCTION DOCUMENTS



1. CONCRETE VAULT SHALL BE MANUFACTURED BY ALTOMORE PRECAST CONCRETE.
2. CONTRACTOR TO CONFIRM REQUIRED INTERIOR DIMENSIONS OF CONCRETE VAULT PRIOR TO FABRICATION; COORDINATE WITH SPRAYGROUND EQUIPMENT SUPPLIER.

2 CONCRETE VAULT DETAIL
P-501 NOT TO SCALE



SPRAY TIMER CONTROL		
SYMBOL	DESCRIPTION	MANUFACTURER, MODEL, NOTES & ACCESSORIES
TM-1	INTERMATIC TIMER	INTERMATIC 24 HOUR TIMER WITH MECHANICAL ON/OFF SWITCH. TIMER TO HAVE 120 V OUTPUT FOR SOLENOID CONTROL. TIMER TO BE LOCATED IN BASEMENT IN CLOSE PROXIMITY TO THE SOLENOID
NOTE: 1. SPRAYGROUND OPERATION AND SCHEDULE TO BE COORDINATED WITH REPRESENTATIVE FROM PPR. 2. SPRAYGROUND CAN BE SCHEDULED FOR OPERATION FOR UP TO 6 HOURS. 3. SPRAYGROUND CONTROL TO BE CONNECTED TO ELECTRICAL OUTLET IN MECHANICAL ROOM.		

[illegible]

CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

SEALS



SMP ARCHITECTS
1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

LANDSCAPE ARCHITECT:
GROUND RECONSIDERED
www.groundreconsidered.com
215 790 0727

CIVIL ENGINEER:
KS ENGINEERS
www.kseng.com
215 925 0425

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
arstructural.com
610 688 2566

MEP ENGINEER:
ARORA ENGINEERS
www.aroraengineers.com
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PROJECT NO.
16315E-03-02

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SCALE	AS NOTED
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DRAWN BY TM

CHECKED BY PL

FILE:

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CONSTRUCTION DOCUMENTS

PLUMBING FIXTURE SCHEDULE										
TAG	FIXTURE	FLOW RATE	TRAP SIZE (IN)	ELECTRICAL	CONNECTION SIZE				MANUFACTURER / MODEL # (BASIS OF DESIGN)	REMARKS
					CW (IN)	HW (IN)	SAN (IN)	VENT		
WC-1	WATER CLOSET	1.6 GPF	4"	-	1-1/4"	-	4"	2"	AMERICAN STANDARD MODEL 2234.001	FLOOR MOUNTED WATER CLOSET WITH BOTTOM OUTLET AND TOP SPUD. PROVIDE WITH SLOAN ROYAL 111-1.6 FLUSHOMETER AND AMERICAN STANDARD 5901.100SS TOILET SEAT. FLUSH LEVER ON FLUSHOMETER SHALL BE LOCATED TO OPEN SIDE OF ROOM.
WC-2	ADA WATER CLOSET	1.6 GPF	4"	-	1-1/4"	-	4"	2"	AMERICAN STANDARD MODEL 3043.001	FLOOR MOUNTED WATER CLOSET WITH BOTTOM OUTLET AND TOP SPUD. PROVIDE WITH SLOAN ROYAL 111-1.6 FLUSHOMETER AND AMERICAN STANDARD 5901.100SS TOILET SEAT. FLUSH LEVER ON FLUSHOMETER SHALL BE LOCATED TO OPEN SIDE OF ROOM.
UR-1	URINAL	1 GPF	2"	-	3/4"	-	2"	1-1/2"	AMERICAN STANDARD 6590.001EC	WALL MOUNTED TOP SPUD URINAL WITH WASHOUT FLUSH ACTION PROVIDE WITH SLOAN ROYAL 186-1.0 FLUSHOMETER.
LAV-1	21 X 18 LAVATORY	0.35 GPM	2"	-	1/2"	1/2"	2"	1-1/2"	AMERICAN STANDARD 0355.012.020	WALL MOUNTED LAVATORY WITH FRONT OVERFLOW AND HOLES FOR CONCEALED ARMS SUPPORT. PROVIDE WITH GRID DRAIN. PROVIDE WITH AMERICAN STANDARD 5500.174 0.35 GPM 4" CENTERSET MANUAL FAUCET WITH WRIST BLADE HANDLES AND WATTS LFUSG-B MIXING VALVE. PROVIDE UNDER LAVATORY GUARD.
SK-1	PANTRY SINK	1.5 GPM	2"	-	1/2"	1/2"	2"	1-1/2"	ELKAY ELUHAD211545PD	COUNTER MOUNTED PANTRY SINK. PROVIDE WITH KOHLER K-810T20-5AHA FAUCET.
FD-1	LIGHT DUTY FLOOR DRAIN	-	3"	-	-	-	3"	1-1/2"	JAY R SMITH 2005YB	PROVIDE WITH 6" SQUARE TOP. NICKEL BRONZE STRAINER, AND VANDAL PROOF SCREWS. PROVIDE WITH JAY R SMITH 2692 QUAD CLOSE TRAP SEAL DEVICE.
FD-2	MEDIUM DUTY FLOOR DRAIN	-	3"	-	-	-	3"	1-1/2"	ZURN Z1727	PROVIDE WITH 6" SQUARE TOP. STAINLESS STEEL STRAINER, AND VANDAL PROOF SCREWS. PROVIDE WITH JAY R SMITH 2692 QUAD CLOSE TRAP SEAL DEVICE.
TP-1	TRAP PRIMER	0.01 GPM	-	-	-	-	-	-	PRECISION PLUMBING PRODUCTS P2-500	INSTALL ON LINE FEEDING WATER CLOSET FLUSH VALVE. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
MR-1	24 X 24 MOP SINK	1.5 GPM	3"	-	1/2"	1/2"	3"	1-1/2"	FIAT TSB3000	TERAZZO MOP SERVICE BASIN WITH 6" DROP FRONT. PROVIDE WITH AMERICAN STANDARD 8344.212 WALL-MOUNT FAUCET WITH INTEGRAL VACUUM BREAKER, HOSE END, AND BUCKET HOOK.
EW-C-1	BI-LEVEL ELECTRIC WATER COOLER	8 GPH	1 1/2"	115V/60HZ	1/2"	-	2"	1-1/2"	ELKAY BI-LEVEL MODEL LZSTL8WSLK	PROVIDE BI-LEVEL WALL MOUNTED COOLER WITH FILTER AND REFRIGERATED CHILLING CAPACITY OF 8 GPH WITH BOTTLE FILLER. PROVIDE PUSH BUTTON ACTIVATION.


ELECTRIC WATER HEATER SCHEDULE											
TAG	AREA SERVED	MANUFACTURER / MODEL # (BASIS OF DESIGN)	ELECTRICAL			CONNECTION SIZE	CAPACITY (GAL)	WATER TEMPERARTURE IN (F)	WATER TEMPERATURE OUT (F)	GPH AT 100 DEG F RISE	REMARKS
			VOLTAGE	PHASE	AMPERAGE						
EW-H-1	EAST WING	AO SMITH DSE-20A-9	240V	3	21.7 A	1-1/4"	20	40	140	37	PROVIDE WITH AMTROL ST-SC-DD EXPANSION TANK.
EW-H-2	WEST WING	AO SMITH DSE-20A-15	240V	3	36.1 A	1-1/4"	20	40	140	61	PROVIDE WITH AMTROL ST-SC-DD EXPANSION TANK.

SUMP PUMP SCHEDULE											
TAG	AREA SERVED	MANUFACTURER / MODEL # (BASIS OF DESIGN)	ELECTRICAL				WASTE DISCHARGE SIZE	CAPACITY (GPM)	HEAD (FT)	RATING (HP)	REMARKS
			VOLTAGE	PHASE	HERTZ	AMPERAGE					
SP-1	EAST BASEMENT	ZOELLER WM49	115V	1	60 HZ	4 A	1-1/2"	10	15	1/4	CAST IRON SUBMERSIBLE SUMP PUMP. AUTOMATIC WITH INTEGRAL FLOAT. PROVIDE WITH 20 INCH CORD.
SP-2	WEST BASEMENT	ZOELLER WM49	115V	1	60 HZ	4 A	1-1/2"	10	15	1/4	CAST IRON SUBMERSIBLE SUMP PUMP. AUTOMATIC WITH INTEGRAL FLOAT. PROVIDE WITH 20 INCH CORD.

BACKFLOW PREVENTER SCHEDULE				
TAG	AREA SERVED	MANUFACTURER / MODEL # (BASIS OF DESIGN)	SIZE	REMARKS
BFP-1	EAST AND WEST BASEMENTS	WATTS LF009	1-1/2"	15 PSI PRESSURE DROP AT 50 GPM. PROVIDE WITH SHUTOFF VALVES, STRAINER, AND AIR GAP.

REVISIONS


ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
LEEANN SUEN

SEALS



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1600 Walnut Street, 2nd Floor
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215 925 0425

STRUCTURAL ENGINEER:
ANN ROTHMANN STRUCTURAL ENGINEERING
arstructural.com
610 688 2566

MEP ENGINEER:
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856 287 2424

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIAPENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
PLUMBING SCHEDULES

PROJECT NO. 16315E-03-02	P-600
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY PL	PL

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

CONSTRUCTION DOCUMENTS

GENERAL NOTES:

1.

CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS & LAWS OF AUTHORITIES HAVING JURISDICTION.
2.

ALL MATERIALS, MEANS AND METHODS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES, REGULATIONS AND STANDARDS.
3.

CONTRACTOR SHALL PERFORM A SITE SURVEY TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES.
4.

CONTRACTOR SHALL TAKE STEPS REQUIRED TO ASSURE THE EXISTING FIRE ALARM SYSTEM TO BE EXPANDED / MODIFIED SHALL BE ASSESSED TO CONFIRM THAT IT IS A CURRENT PRODUCT SUPPORTED BY THE MANUFACTURER AND HAS CAPACITY FOR NEW WORK.
5.

EACH CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS OF ALL TRADES FOR A THOROUGH UNDERSTANDING OF PROJECT AND ANY CROSS REFERENCING OF WORK. REVIEW ALL PROJECT REQUIREMENTS PRIOR TO BIDDING. DISCREPANCIES BETWEEN DOCUMENTS SHALL BE REPORTED TO THE ENGINEER PRIOR TO BIDDING. IN THE CASE OF ANY DISCREPANCIES, THE MOST STRINGENT REQUIREMENT SHALL GOVERN.
6.

THE CONTRACTOR SHALL PROVIDE SECURITY WITHIN THE CONSTRUCTION AREA AND WILL LIMIT SITE ACCESS TO AUTHORIZED PERSONNEL ONLY.
7.

ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE PROJECT AREA THROUGH DESIGNATED ACCESS POINTS AS DETERMINED BY THE OWNER OR THEIR DESIGNATED REPRESENTATIVE.
8.

THE CONTRACTOR SHALL NOT BE ALLOWED ANY STORAGE AREA OTHER THAN THAT AVAILABLE WITHIN THE LIMITS OF THE STAGING AREA OR CONFINES OF THE WORK AREA.
9.

CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF CONSTRUCTION DEBRIS AND REFUSE ON A DAILY BASIS.
10.

A COPY OF THE CURRENT SET OF CONTRACT DOCUMENTS (WITH AS-BUILT INFORMATION) SHALL BE KEPT AT THE JOB SITE AT ALL TIMES BY THE CONTRACTOR.
11.

ALL PENETRATIONS, THROUGH DESIGNATED FIRE RATED WALLS, CEILINGS AND FLOOR SLABS SHALL BE PROPERLY SEALED WITH AN APPROVED RATED FIRE STOPPING MATERIAL. ALL FIRE STOPPING MATERIAL SHALL BE SUPPLIED AND WORK PERFORMED AS PER PROJECT SPECIFICATIONS.
12.

CONTRACTOR SHALL REPLACE IN-KIND ANY EQUIPMENT OR ARCHITECTURAL ELEMENTS DAMAGED BY WORK OF THIS PROJECT AT NO ADDITIONAL COSTS TO THE OWNER.
13.

CONTRACTOR SHALL COMPLETE ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE WORK. CUTTING AND PATCHING SHALL BE COMPLETED IN A NEAT AND WORKMAN LIKE MANNER. PATCHING MATERIALS SHALL MATCH EXISTING MATERIALS TO THE GREATEST EXTENT POSSIBLE. PROVIDE TOUCH UP PAINT AS REQUIRED TO MATCH PAINT FINISH AND COLOR OF EXISTING ADJACENT AREAS. CONTRACTOR SHALL SALVAGE MATERIALS FOR RE-USE IN AREAS WHERE SUBSTRATES/SURFACES ARE TO BE PATCHED/REPAIRED (I.E. TILES, WALLS, CEILING TILE).
14.

THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE, ANY DEFECTS IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER WORK OR PARTS OF THE BUILDING DAMAGED THEREBY, AS A RESULT OF WORK OF THE PROJECT BY THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PAY ALL REPAIR COSTS ACCORDINGLY WITHOUT ADDITIONAL COSTS TO THE OWNER.
15.

IN ADDITION TO SPECIFICATIONS, AS MAY BE DEFINED HEREAFTER, THE CONTRACTOR SHALL PROTECT THE WORK SITE AND ALL HIS OR HER WORK AGAINST ANY DAMAGE UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE OWNER.
16.

CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, SUBMIT AS-BUILT RECORD DRAWINGS SHOWING ALL CHANGES FROM THE CONTRACT DRAWING MADE IN THE INSTALLATION, AND SHOWING DIMENSION LOCATIONS OF CONCEALED EQUIPMENT.
17.

PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE, THE CONTRACTOR SHALL PROVIDE MATERIAL SAFETY DATA SHEETS FOR ALL ITEMS AND MATERIALS USED IN THE WORK.
18.

PERCUSSIVE FASTENING SYSTEMS, INCLUDING BUT NOT LIMITED TO POWDER, GAS AND PNEUMATIC ACTUATED ANCHORS, WILL NOT BE PERMITTED ANYWHERE ON THE PROJECT. CONTRACTORS ARE PERMITTED TO USE MECHANICAL TYPE UNISTRUT FASTENING DEVICES ONLY.
19.

PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE INSPECTED, TESTED AND OPERATED TO DEMONSTRATE TO THE OWNER, OR HIS DESIGNATED REPRESENTATIVE, THAT THE INSTALLATION AND PERFORMANCE OF THESE SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE DESIGN INTENT.
20.

THE BUILDING IS A WORK OF A COMPLEX NATURE WHICH WILL REQUIRE ACCURATE PLANNING, CAREFUL PREPARATION AND EXECUTION, ATTENTION TO DETAIL AND CLOSE SUPERVISION BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO DO THIS WORK IN FULL COOPERATION WITH ALL CONSTRUCTION TRADES AND SUBJECT TO SCHEDULING ARRANGED TO MINIMIZE DISRUPTION OF NORMAL ACTIVITIES OF THE BUILDING. PHASING OF ALL WORK SHALL BE DONE IN COORDINATION WITH THE ARCHITECTURAL PHASING PLAN.
21.

PRIOR TO ANY CORE DRILLING, THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A UTILITY LOCATOR FIRM WITH ABILITY TO LOCATE CONDUIT IN CONCRETE SLABS. CONTRACTOR SHALL IDENTIFY THE LOCATION OF CONDUITS IN SLAB, THEN PRESENT THE FINDINGS TO THE ENGINEER FOR REVIEW PRIOR TO CORE DRILLING. ALL PENETRATIONS, BOTH NEW AND EXISTING, THROUGH DESIGNATED FIRE RATED WALLS, CEILINGS AND FLOOR SLABS SHALL BE PROPERLY SEALED WITH AN APPROVED RATED FIRE STOPPING MATERIAL. ALL FIRE STOPPING MATERIAL SHALL BE SUPPLIED AND WORK PERFORMED AS PER PROJECT SPECIFICATIONS.
22.

ALL EXISTING ABANDONED CONDUIT/PIPING OR CONDUIT/PIPING MADE ABANDONED BY WORK OF THIS PROJECT SHALL BE REMOVED FROM WITHIN THE PROJECT BOUNDARIES. CUT AND CAP CONDUIT/PIPING BACK TO ITS SOURCE BEYOND (OUTSIDE OF) THE PROJECT BOUNDARIES, UNLESS OTHERWISE NOTED ON THE DRAWINGS. PROVIDE CUTTING AND PATCHING OF ALL CEILINGS, FLOORS AND WALLS AS REQUIRED.
23.

JUNCTION BOXES, VALVES, DAMPERS, OR ANY CONCEALED EQUIPMENT REQUIRING ACCESS SHALL ONLY BE PERMITTED / LOCATED IN ACCESSIBLE TYPE AREAS (I.E. LAY-IN TYPE CEILING, ETC.) OR SHALL BE PROVIDED WITH ACCESS PANELS.
24.

WHERE UTILITIES AND/OR SERVICES REQUIRE SHUTDOWN FOR THE WORK TO BE PERFORMED, NOTIFY THE PORT AUTHORITY PROJECT ENGINEER. REQUESTS FOR

GENERAL NOTES CONT'D):

25.

UTILITY AND/OR SERVICES SHUTDOWNS SHALL BE SUBMITTED TO THE PORT AUTHORITY PROJECT ENGINEER, IN WRITING, A MINIMUM OF ONE WEEK PRIOR TO THE SCHEDULED SHUTDOWN.
26.

ALL SYSTEMS SHALL BE RETURNED TO SERVICE PRIOR TO COMPLETION OF APPROVED SHIFT AND AT THE END OF EACH WORK DAY. IN THE EVENT A SYSTEM CANNOT BE RETURNED TO SERVICE THE CONTRACTOR SHALL PROVIDE A FIRE WATCH.
27.

ALL PAINT SHALL MEET THE REQUIREMENTS OF THE NFPA FOR FLAME SPREAD AND SMOKE DENSITY. PAINT PROCESS SHALL MEET ENVIRONMENTAL STANDARDS FOR VENTILATION AS ESTABLISHED BY OSHA. ALL PAINTS, SOLVENTS, RAGS AND OTHER PAINTING REFUSE SHALL BE DISPOSED OF PROPERLY OFF SITE IN ACCORDING TO STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. EVIDENCE OF SUCH COMPLIANCE SHALL BE FURNISHED TO THE OWNER PRIOR TO THE START OF PAINTING WORK.
28.

PRIOR TO THE APPLICATION OF PAINT, CONTRACTOR SHALL PROPERLY PREPARE AND CLEAN PIPING AND EQUIPMENT PER PAINT MANUFACTURES GUIDELINES.
29.

THE CONTRACTOR SHALL TAKE ANY/ALL PREVENTIVE MEASURES TO CURTAIL THE NOISE LEVEL AT ALL TIMES. THE OWNER RESERVES THE RIGHT TO CURTAIL ANY ACTIVITY IT DEEMS OBTUSIVE TO OPERATIONS.

GENERAL DEMOLITION NOTES:

1.

THE CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL OTHER DISCIPLINES.
2.

THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL CAPACITIES & LOCATIONS OF EQUIPMENT TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO DETERMINE ACTUAL PHYSICAL SIZE, CAPACITIES, AND LOCATIONS OF EXISTING EQUIPMENT TO BE REMOVED.
3.

THE CONTRACTOR SHALL TAKE STEPS REQUIRED TO ASSURE THE EXISTING FIRE ALARM SYSTEM TO BE EXPANDED / MODIFIED SHALL BE ASSESSED TO CONFIRM THAT IT IS A CURRENT PRODUCT SUPPORTED BY THE MANUFACTURER AND HAS CAPACITY FOR NEW WORK.
4.

THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, COORDINATE ALL REQUIRED EQUIPMENT AND SYSTEMS SHUTDOWN WITH OWNER, AND PROVIDE OWNER TWO WEEKS NOTICE OF SAME.
5.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING & PATCHING AS IT MAY APPLY TO THE AREAS OF DEMOLITION, OR MAY BE AFFECTED BY PIPE, DUCTWORK, EQUIPMENT & APPURTENANCES. PATCH & REPAIR SHALL MATCH EXISTING BUILDING CONDITIONS.
6.

COORDINATE THE DEMOLITION WORK WITH ALL OTHER TRADES. PHASE WORK IN CONJUNCTION WITH OTHER TRADE PHASING & PHASING DRAWINGS.
7.

THE DEMOLITION/REMOVAL OF ITEMS BY THE CONTRACTOR SHALL BE AS FOLLOWS, UNLESS SPECIFICALLY NOTED OTHERWISE: ITEMS SHOWN IN HEAVY LINEWEIGHT DASHED LINES ON DEMOLITION SHEETS ARE EXISTING ITEMS TO BE REMOVED AND ITEMS SHOWN IN LIGHT LINEWEIGHT ITEMS ARE EXISTING ITEMS TO REMAIN.
8.

DEMOLISHED EQUIPMENT/SERVICES SHALL BE REMOVED BACK TO THE LIMIT OF DEMOLITION AS INDICATED ON DRAWINGS, OR TO THE NEAREST HEADER OR JUNCTION. PROVIDE CAPS AS NECESSARY.
9.

THE CONTRACTOR SHALL FIELD VERIFY OTHER EQUIPMENT/UTILITIES NOT ASSOCIATED WITH THIS WORK BUT LYING WITHIN THE WORK AREA, AND SHALL NOT DISTURB THAT EQUIPMENT/UTILITIES. THESE EQUIPMENT/UTILITIES SHALL BE PROTECTED SO THAT THE SERVICE IS NOT INTERRUPTED. THE CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO THE EQUIPMENT/UTILITIES IN PERFORMANCE OF THE WORK.
10.

ALL ITEMS BEING REMOVED SHALL BE TURNED OVER TO OWNER OR REMOVED FROM SITE AS DIRECTED, UNLESS OTHERWISE DESIGNATED.
11.

THE CONTRACTOR SHALL KEEP WORK AREA CLEAN, ORDERLY, AND WORKMAN LIKE, AND REMOVE ALL DEMOLISHED TRASH/RUBBLE/CONSTRUCTION DEBRIS FROM THE SITE DAILY.
12.

UNLESS OTHERWISE INDICATED, DEMOLITION WASTE BECOMES PROPERTY OF THE CONTRACTOR.
13.

NOTIFY ARCHITECT OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH SELECTIVE DEMOLITION.
14.

IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
15.

REVIEW RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY THE OWNER. THE OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE THE SAME AS THOSE INDICATED IN RECORD DOCUMENTS.
16.

WHEN UNANTICIPATED ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND EXTEND OF CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO THE ARCHITECT.
17.

COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
18.

PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL. COMPLETE SELECTIVE DEMOLITION OPERATIONS ABOVE EACH FLOOR OR TIER BEFORE DISTURBING SUPPORTING MEMBERS ON THE NEXT LOWER LEVEL.
19.

NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
20.

USE HAND TOOLS OR SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING, TO MINIMIZE DISTURBANCE OF ADJACENT SURFACES. TEMPORARILY COVER OPENINGS TO REMAIN, CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES.
21.

DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE-SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.

FIRE ALARM NOTES:

1.

THE SCOPE OF WORK INCLUDES FURNISHING MATERIALS AND LABOR FOR ALL DEMOLITION, INSTALLATION, PHASING, TESTING AND ACCEPTANCE OF THE FIRE ALARM SYSTEM(S) AS SHOWN IN THE CONTRACT DOCUMENTS. THE PROJECT SCOPE INCLUDES:

A.

DEMOLITION OF THE HORN/STROBE IN THE MEN'S RESTROOM; DEMOLITION OF THE AREA SMOKE DETECTORS IN THE ACTIVITIES ROOM, DEMOLITION OF THE HORN/STROBE AND THE SMOKE DETECTOR IN THE WOMEN'S RESTROOM.

B.

DEMOLITION OF THE EXISTING FIRE ALARM WIRE AND EQUIPMENT AS INDICATED ON THE DRAWINGS.

C.

INSTALLATION OF A HORN/STROBE IN THE WEST BASEMENT AND THE EAST BASEMENT; INSTALLATION OF A STROBE IN THE MEN'S RESTROOM; INSTALLATION OF BEAM SMOKE DETECTION IN THE ACTIVITIES ROOM, AND INSTALLATION OF A STROBE AND SMOKE DETECTOR IN THE WOMEN'S RESTROOM AND THE ALL GENDER RESTROOM.

D.

INSTALLATION OF THE NEW FIRE ALARM AND EQUIPMENT AS INDICATED ON THE DRAWINGS.

E.

INSTALLATION OF PROTECTIVE GUARDS ON ALL NEW FIRE ALARM DEVICES AND EQUIPMENT.
2.

THE PROJECT SHALL BE DESIGNED, INSTALLED, TESTED & COMMISSIONED IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS, AS DEFINED BY THE AUTHORITY HAVING JURISDICTION AND THE PROJECT REQUIREMENTS. THESE INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW AND ANY ADOPTED REVISIONS THAT ARE APPLICABLE AT THE TIME OF PROJECT PERMITTING:

A.

PHILADELPHIA BUILDING CODE, IBC 2018 AMENDED

B.

PHILADELPHIA EXISTING BUILDING CODE, IBCB 2018 AMENDED

C.

PHILADELPHIA FIRE CODE, IFC 2018 AMENDED

D.

PHILADELPHIA MECHANICAL CODE, IMC 2018 AMENDED

E.

PHILADELPHIA ACCESSIBILITY CODE, A117.1, 2009 NOT AMENDED

F.

PHILADELPHIA ELECTRICAL CODE 2017, NFPA 70 2017 NOT AMENDED

G.

PHILADELPHIA FIRE ALARM CODE 2016, NFPA 72 2016 NOT AMENDED

H.

2010 ADA STANDARDS

I.

UNDERWRITERS LABORATORIES, INC. (UL): FIRE PROTECTION EQUIPMENT DIRECTORY

J.

MANUFACTURERS INSTALLATION INSTRUCTIONS

K.

PROJECT SPECIFICATIONS
3.

ALL NEW DEVICES SHALL ADHERE TO THE EXISTING FIRE ALARM PROGRAMMING MATRIX.
4.

THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE STEPS REQUIRED TO ASSURE THE EXISTING FIRE ALARM SYSTEM TO BE EXPANDED / MODIFIED SHALL BE ASSESSED TO CONFIRM THAT IT IS A CURRENT PRODUCT SUPPORTED BY THE MANUFACTURER AND HAS CAPACITY FOR NEW WORK.
5.

THE CONTRACTOR SHALL VERIFY THE CONDITION OF EACH INITIATING AND NOTIFICATION DEVICE TO REMAIN, IN THE EVENT THAT ANY OF THESE DEVICES ARE IMPROPERLY MOUNTED, THEN IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RE-INSTALL THE DEVICE PROPERLY.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT CIRCUIT TIE-IN LOCATIONS, IN THE EVENT THAT THE CIRCUIT IS TO BE EXTENDED. LOCATIONS AND POINTS SHOWN ON THE PLANS ARE DIAGRAMMATIC AND FOR REFERENCE ONLY. THE CONTRACTOR SHALL SHOW FINAL INFORMATION ON SHOP DRAWINGS AND INSTALLATION SHALL NOT BEGIN UNTIL THESE PLANS ARE APPROVED.
7.

THE ELECTRICAL CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL DEVICES WITH OTHER TRADES AND EXISTING FIELD CONDITIONS AS PART OF THIS CONTRACT.
8.

ALL WIRING SHALL COMPLY WITH PROJECT SPECIFICATIONS, AND ALL LOCAL AND NATIONAL ELECTRICAL CODES.
9.

SUBSTITUTIONS OF TYPE FLPL OR CERTIFIED FIRE ALARM CABLES SHALL NOT BE PERMITTED.
10.

ALL WIRE AND CABLE SHALL HAVE A WIRE MARKER ON EACH END, BRADY OR EQUAL. ALL MARKERS SHALL BE TYPED.
11.

SHIELDS ON ALL SHIELDED CABLE SHALL BE CONTINUOUS, GROUNDED AT THE FIRE ALARM CONTROL PANEL ONLY, AND ISOLATED FROM GROUND ELSEWHERE.
12.

NPLFA CIRCUIT CONDUCTORS INSULATION SHALL BE SUITABLE FOR 600 VOLTS, MULTI-CONDUCTOR NPLFA CIRCUIT CABLES, TYPES NPLFP, NPLFR, AND NPLF, SHALL NOT BE INSTALLED EXPOSED IN DUCTS, PLENUMS OR HOISTWAYS (SHAFTS).
13.

POWER-LIMITED FIRE ALARM CIRCUIT CABLES AND CONDUCTORS SHALL NOT BE PLACED IN ANY CABLE, CABLE TRAY, COMPARTMENT, ENCLOSURE, MAN-HOLE, OUTLET BOX, DEVICE BOX, RACEWAY, OR SIMILAR FITTING WITH CONDUCTORS OF ELECTRIC LIGHT, POWER, CLASS 1, NON-POWER-LIMITED FIRE ALARM CIRCUITS, AND MEDIUM-POWER NETWORK-POWERED BROADBAND COMMUNICATIONS CIRCUITS.
14.

INSTALLATION OF RACEWAYS, BOXES, ENCLOSURES, CABINETS, AND WIRING SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A.

COVERS OF BOXES, ENCLOSURES AND CABINETS SHALL BE PAINTED RED AND PERMANENTLY IDENTIFIED AS TO USE.

B.

PENETRATIONS THROUGH RATED WALLS, CEILINGS AND FLOORS SHALL BE FIRE STOPPED.

C.

RACEWAYS OR WIRING SHALL NOT PENETRATE THE TOP OF ANY CONTROL EQUIPMENT CABINET OR ENCLOSURE.

D.

RACEWAYS INSTALLED UP TO 8 FT IN STAIRWAYS SHALL NOT REDUCE OR OBSTRUCT REQUIRED STAIRWAY RADIUS OR EGRESS PATH.

E.

CABLES SHALL BE SECURED BY CABLE TIES, STRAPS OR SIMILAR FITTINGS DESIGNED AND INSTALLED SO AS NOT TO DAMAGE THE CABLES. SUCH FITTING SHALL BE SECURED IN PLACE AT INTERVALS NOT EXCEEDING 5 FT ON CENTER AND WITHIN 1 FT OF ASSOCIATED CABINET OR BOX.

F.

NEW JUNCTION BOXES AND/OR EXISTING JUNCTION BOXES AFFECTED BY THIS PROJECT SHALL BE PROPERLY LABELED "FIRE ALARM JUNCTION BOX" PER THE SPECIFICATIONS.
15.

ALL CABLE SHALL BE UL LISTED AND MARKED PER NEC. WIRING SPECIFICATION SHALL BE AS FOLLOWS: MOUNTING FOR ALL DEVICES SHALL COMPLY WITH THE BUILDING CODE, NFPA 72, NEC, AND ADAAG.

FIRE ALARM NOTES (CONT'D):

15.

INSTALLATION OF NOTIFICATION AND VISUAL APPLIANCES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A.

FIRE ALARM DEVICES SHALL BE ACCESSIBLE TO ALLOW PERIODIC INSPECTION, CLEANING AND MAINTENANCE. A FIRE ALARM DEVICE SHALL BE CONSIDERED ACCESSIBLE IF IT CAN BE READILY AND SAFELY ACCESSED WITH THE USE OF A LADDER OR A BOOM LIFT.

B.

FIRE ALARM DEVICES SHALL NOT BE INSTALLED WHERE ACCESS IS IMPEDED BY MECHANICAL SYSTEMS, DUCTS, PIPES OR CONDUITS.

C.

FIRE ALARM DEVICES SHALL NOT BE INSTALLED WHERE THEY CANNOT BE MAINTAINED WITHOUT SHUTTING DOWN POWER OR ENDANGERING A MAINTENANCE TECHNICIAN.
16.

ALL WALL MOUNTED NOTIFICATION APPLIANCES INSIDE THE AREA OF WORK SHALL BE LOCATED SUCH THAT THE BOTTOM OF THE LENS IS ABOVE 80" FROM THE FINISHED FLOOR AND THE TOP OF THE LENS IS NOT HIGHER THAN 96" FROM THE FINISHED FLOOR.
17.

ALL NOTIFICATION APPLIANCES SHALL BE SYNCHRONIZED PER NFPA 72. ALL HARDWARE, EQUIPMENT, PANEL MODIFICATIONS AND LABOR NECESSARY TO PERFORM SYNCHRONIZATION SHALL BE PART OF THIS CONTRACT.
18.

VISUAL NOTIFICATION APPLIANCES SHALL BE SET TO THE CANDELA RATING ASSIGNED ON THE DRAWINGS.
19.

MINIMUM DECIBEL AMBIENT RATING SHALL BE 55db. HORN STROBE DECIBEL RATING SHALL BE 15db ABOVE AMBIENT.
20.

CIRCUIT MODIFICATIONS, TERMINATIONS AND SPLICES SHALL BE MADE WITH TERMINAL BLOCKS AND IN LISTED FITTINGS, BOXES, ENCLOSURES, FIRE ALARM DEVICES OR UTILIZATION EQUIPMENT. SPLICES SHALL BE LIMITED TO LOCATIONS WHERE THE CONDITIONS OF INSTALLATION REQUIRE THE USE OF SPLICES. SPLICES AND TERMINATIONS IN RISER CABLES ARE PROHIBITED EXCEPT WHERE MADE IN FIRE ALARM EQUIPMENT TERMINAL CABINETS, MECHANICAL CONNECTIONS LISTED UNDER UNDERWRITERS LABORATORIES ("UL") 486-03. A & C SHALL BE USED FOR THE CONDUCTORS, OR IF SOLDERED, FIRST JOINED SO AS TO BE MECHANICALLY AND ELECTRICALLY SECURE PRIOR TO SOLDERING. TEMPERATURE RATING OF THE COMPLETED SPLICES SHALL EQUAL OR EXCEED THE TEMPERATURE RATINGS OF THE HIGHEST RATED CONDUCTOR.
21.

FIRE ALARM CONDUITS SHALL BE LABELED AND IDENTIFIED PER THE PROJECT SPECIFICATIONS. ALL "EXPOSED" FIRE ALARM CONDUIT SHALL BE PAINTED TO MATCH EXISTING FINISHES UNLESS DIRECTED OTHERWISE.
22.

ACCESSIBLE ABANDONED FIRE ALARM SYSTEM CABLES, CONDUIT, AND ELECTRICAL EQUIPMENT SHALL BE REMOVED.
23.

SUBMIT ALL DEVICE ADDRESSES FOR THIS PROJECT AS A PART OF THIS CONTRACT'S SHOP DRAWING SUBMISSION.
24.

CONTRACTOR TO SUBMIT SHOP DRAWINGS CONTAINING ALL THE ELEMENTS REQUIRED BY THE PROJECT STANDARDS, CODES, AND SPECIFICATIONS AS WELL AS ANY TENANT/OWNER DESIGN GUIDELINES IN USE FOR THE PROJECT. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL.
25.

CONTRACTOR TO SUBMIT BATTERY CALCULATIONS FOR ALL FIRE ALARM PANELS, DATA GATHERING PANELS, NOTIFICATION APPLIANCE CIRCUIT BOOSTER PANELS, AUXILIARY POWER SUPPLIES, OR SIMILAR APPURTENANCES TO ENSURE SUFFICIENT BACKUP POWER FOR THE MINIMUM STANDBY AND OPERATING PERIODS AS INDICATED BY CODE OR SPECIFICATION, WHICHEVER IS MORE STRINGENT. CALCULATIONS TO BE MADE USING VENDOR SPECIFIC TEMPLATES WHERE AVAILABLE. CALCULATIONS SHALL BE SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL.
26.

CONTRACTOR TO SUBMIT VOLTAGE DROP CALCULATIONS FOR ALL FIRE ALARM ELECTRICAL CIRCUITS EXTENDING BEYOND THEIR RESPECTIVE ENCLOSURES TO ENSURE PROPER OPERATION OF SAID CIRCUITS. CALCULATIONS TO BE PROVIDED SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAL LINE CIRCUITS, INDICATING DEVICE CIRCUITS, ANNUNCIATOR CIRCUITS, AUDIO RISER CIRCUITS, NOTIFICATION APPLIANCE CIRCUITS, AND PANEL NETWORK CIRCUITS. CALCULATIONS TO BE MADE USING VENDOR SPECIFIC TEMPLATES. CALCULATIONS SHALL BE SIGNED AND SEALED BY A QUALIFIED PROFESSIONAL.
27.

CONTRACTOR TO SUBMIT PRODUCT DATA SHEETS (CUT SHEETS) FOR ALL MATERIAL INTENDED TO BE INCORPORATED AS A PART OF THE WORK. DATA SHEETS SHALL HAVE SUFFICIENT DETAIL TO ALLOW ENGINEER TO ASSESS WHETHER MATERIAL MEETS PROJECT SPECIFICATIONS, WHERE APPLICABLE.
28.

INSTALLATION SHALL NOT BEGIN WITHOUT THE APPROVAL OF THE FIRE ALARM SHOP DRAWINGS BY THE ENGINEER. PLEASE REFER TO THE SPECIFICATIONS FOR REQUIREMENTS.
29.

IN THE EVENT THAT A DEVICE IS LOCATED ON A SURFACE THAT IS UNSUITABLE FOR PROPER MOUNTING, THEN THE CONTRACTOR SHALL NOTIFY THE ENGINEER DURING THE SHOP DRAWINGS PHASE FOR APPROVAL OF AN ALTERNATE LOCATION. THIS NOTIFICATION SHALL OCCUR PRIOR TO CONDUIT AND JUNCTION BOX ROUGH-IN.
30.

CONTRACTOR SHALL COMPLETE ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF THE WORK. CUTTING AND PATCHING SHALL BE COMPLETED IN A NEAT AND WORKMAN LIKE MANNER. PATCHING MATERIALS SHALL MATCH EXISTING MATERIALS TO THE GREATEST EXTENT POSSIBLE. PROVIDE TOUCH UP PAINT AS REQUIRED TO MATCH PAINT FINISH AND COLOR OF EXISTING ADJACENT AREAS. CONTRACTOR SHALL SALVAGE MATERIALS FOR RE-USE IN AREAS WHERE SUBSTRATES/SURFACES ARE TO BE PATCHED/REPAIRED (I.E. TILES, WALLS, CEILING TILE).
31.

THE FIRE ALARM DEMOLITION AND NEW WORK WILL BE A PHASED PROCESS.
32.

NO TROUBLES OR ALARM CONDITIONS WILL BE PERMITTED AT THE COMPLETION OF EACH WORKDAY. ANY AND ALL ISSUES WILL BE CORRECTED PRIOR TO THE ELECTRICAL CONTRACTOR LEAVES THE PREMISES.
33.

IN THE EVENT OF A SYSTEM FAILURE OR AN UNRESOLVED TROUBLE OR ALARM CONDITION, AN APPROVED FIREWATCH WILL BE POSTED AND MAINTAINED UNTIL THE CONDITION IS RETURNED TO A NORMAL CONDITION.
34.

ALL SMOKE DETECTORS SHALL BE PROVIDED WITH NUISANCE ALARM REDUCTION FEATURES.

SCHEDULE AND PHASING NOTES:

THE FIRE ALARM CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR SCHEDULE WITH THE MASTER PROJECT SCHEDULE. THE SCHEDULE SHALL BE COORDINATED WITH ALL OTHER TRADES AND SUBMITTED TO THE OWNER EVERY TWO WEEKS. ALL CONTRACTORS SHALL BEAR THE COST OF ANY SCOPE IMPACTS CAUSED BY CHANGES TO THE MASTER PROJECT SCHEDULE. PRIOR TO THE START OF INSTALLATION, A MASTER SCHEDULE SHALL BE SUBMITTED FOR OWNER APPROVAL. ALL WORK SHALL BE COMPLETE (INCLUDING TESTING AND FINAL APPROVAL BY AHJ) IN ACCORDANCE WITH MASTER SCHEDULE.

FIRE ALARM WORK SHALL COMMENCE IN THE FOLLOWING PHASES:

1.

CONSTRUCTION COORDINATION AND SUBMITTALS: PERFORM DETAILED ANALYSIS OF THE PROJECT SITE AND ALL CONTRACT DOCUMENTS. DEVELOP AND SUBMIT CONSTRUCTION SUBMITTALS, COORDINATED WITH ALL TRADES, FOR APPROVAL BY OWNER AND OWNER'S REPRESENTATIVE.
2.













SYSTEM INSTALLATION: UPON APPROVAL OF CONSTRUCTION SUBMITTALS PERFORM INSTALLATION IN ACCORDANCE WITH MASTER SCHEDULE AND COORDINATE INSTALLATION WITH ALL OTHER TRADES.
3.

PRE TESTING: PRIOR TO SUBMITTING A REQUEST FOR A DEMONSTRATION TO OWNER THE CONTRACTOR SHALL TEST AND OPERATE ALL FIRE ALARM EQUIPMENT, DEVICES AND INTEGRATED BUILDING SYSTEMS TO VERIFY THE PROPER OPERATION AND INSTALLATION OF THE FIRE ALARM SYSTEM AND BUILDING SYSTEM INTERFACES. ANY AND ALL ISSUES SHALL BE CORRECTED AND ADDITIONAL TESTING SHALL BE REPEATED UNTIL ISSUES ARE CORRECTED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL COORDINATE ALL TRADES NECESSARY FOR TESTING. UPON COMPLETION SUBMIT TRAFT NFPA-72 RECORD OF COMPLETION DOCUMENTATION TO OWNER.
4.

ACCEPTANCE TESTING/OPERATIONAL DEMONSTRATION TO OWNER: PRIOR TO SUBMITTING A REQUEST FOR FINAL INSPECTION THE CONTRACTOR SHALL SATISFACTORILY DEMONSTRATE TO OWNER'S REPRESENTATIVE THE PROPER OPERATION AND FUNCTION OF THE FIRE ALARM SYSTEM. DEMONSTRATION SHALL INCLUDE THE TESTING AND OPERATION OF ALL FIRE ALARM EQUIPMENT, DEVICES AND INTEGRATED BUILDING SYSTEMS. ANY AND ALL ISSUES SHALL BE CORRECTED AND ADDITIONAL TESTING SHALL BE REPEATED AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL COORDINATE ALL TRADES NECESSARY FOR TESTING.
5.

FINAL INSPECTION: UPON COMPLETION OF ACCEPTANCE TESTING CONTRACTOR SHALL REQUEST, COORDINATE AND PERFORM ALL INSPECTIONS AND TESTS REQUIRED BY THE AHJ. ADDITIONAL INSPECTIONS SHALL BE PERFORMED UNTIL AHJ APPROVAL AND SHALL BE PERFORMED AT NO ADDITIONAL COST TO OWNER. CONTRACTOR SHALL COORDINATE ALL TRADES NECESSARY FOR THE INSPECTION(S). UPON COMPLETION SUBMIT FINAL, SIGNED NFPA-72 RECORD OF COMPLETION AND ALL AHJ APPROVAL DOCUMENTATION TO OWNER .

FIRE ALARM SYMBOLS & DESCRIPTION:

	75	WALL MOUNTED FIRE ALARM STROBE. NUMBER DENOTES CANDELA RATING
	75	WALL MOUNTED FIRE ALARM HORN/STROBE. NUMBER DENOTES. CANDELA RATING
		WALL MOUNTED FIRE ALARM HORN.
		MANUAL PULL STATION
		ADDRESSABLE SMOKE DETECTOR
	RV	BEAM SMOKE DETECTOR - RECEIVER
	TR	BEAM SMOKE DETECTOR - TRANSMITTER
	OM	ADDRESSABLE OUTPUT MODULE
	IM	ADDRESSABLE INPUT MODULE
	FACP	FIRE ALARM CONTROL PANEL
	ANN	FIRE ALARM ANNUNCIATOR
	SUR	SURGE SUPPRESSION DEVICE

————— *HEAVY LINEWEIGHTS SHALL REPRESENT NEW WORK/NEW DEVICES.

————— *LIGHT/LIGHTER LINEWEIGHTS SHALL REPRESENT EXISTING DEVICES.


----- *HEAVY DASHED LINEWEIGHTS SHALL REPRESENT DEMO WORK.

FIRE ALARM ABBREVIATIONS:

ADA	AMERICANS WITH DISABILITIES
ACT	
ADAAG	AMERICANS WITH DISABILITIES GUIDELINES
ACT	
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
ALM	ALARM
AHJ	AUTHORITY HAVING JURISDICTION
AP	ACCESS PANEL
APL	AUTOPLEX LOOPS, 2 CONDUCTOR W/SHIELD
AR	ADDRESSABLE RELAY
AWG	WIRE GAUGE
BPS	BOOSTER POWER SUPPLY
CD	CANDELA
CKT	CIRCUIT
CM	CONTACT MONITOR
(C)	CEILING MOUNTED
DD	DUCT SMOKE DETECTOR
DGP	DATA GATHERING PANEL
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EC	ELECTRICAL CONTRACTOR
EMT	ELECTRICAL METALLIC TUBING
EOL	END-OF-LINE RESISTOR
(E)	EXISTING TO REMAIN
EL	ELEVATION
(ER)	EXISTING TO BE RELOCATED
"F"	DEGREE FAHRENHEIT
FACP	FIRE ALARM CONTROL PANEL
FAS	FIRE ALARM SPEAKER
FASS	FIRE ALARM SPEAKER / STROBE
FA	FIRE ALARM SYSTEM
FFJ	FIRE FIGHTER PHONE JACK
FFP	FIGHTER FIGHTER PHONE
FM	FACTORY MUTUAL
FLPL	FIRE ALARM POWER-LIMITED PLENUM RATED (WIRE/CABLE)
FS	FLOW SWITCH
FT	FEET
GC	GENERAL CONTRACTOR
HEAT	HEAT DETECTOR
IBC	INTERNATIONAL BUILDING CODE
IDC	INITIATING DEVICE CIRCUIT
IFC	INTERNATIONAL FIRE CODE
IN	INCHES
JB	JUNCTION BOX
(N)	NEW/PROPOSED
NAC	NOTIFICATION APPLIANCE CIRCUIT
NEC	NATIONAL ELECTRICAL CODE
NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
NPLFA	NON-POWER LIMITED FIRE ALARM (WIRE/CABLE)
NIC	NOT IN CONTRACT
NICET	NATIONAL INSTITUTE FOR CERTIFICATION IN ENGINEERING TECHNOLOGIES
NIS	NOT IN SCOPE
NTS	NOT TO SCALE
POC	POINT OF CONNECTION
POD	POINT OF DEMOLITION
PLFA	POWER-LIMITED FIRE ALARM (WIRE/CABLE)
PS	PRESSURE SWITCH
(R)	EXISTING TO BE DEMOLISHED / REMOVED
(RE)	RELOCATED FROM EXISTING LOCATION
SA	SECURITY ALARM
SLC	SIGNALING LINE CIRCUIT
SMK	SMOKE DETECTOR
SPK	SPEAKER CIRCUIT
STB	STROBE CIRCUIT
SS	SECURITY SURVEILLANCE
SOFT	SQUARE FEET
SUP	SUPERVISORY
TR	TROUBLE
TS	TAMPER SWITCH
VAC	VOLTAGE - ALTERNATING CURRENT
VDC	VOLTAGE - DIRECT CURRENT
WCP	WEATHER PROOF



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR	LEEANN SUEN
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1515 ARCH STREET
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RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
FIRE ALARM GENERAL NOTES, SYMBOLS AND ABBREVIATIONS

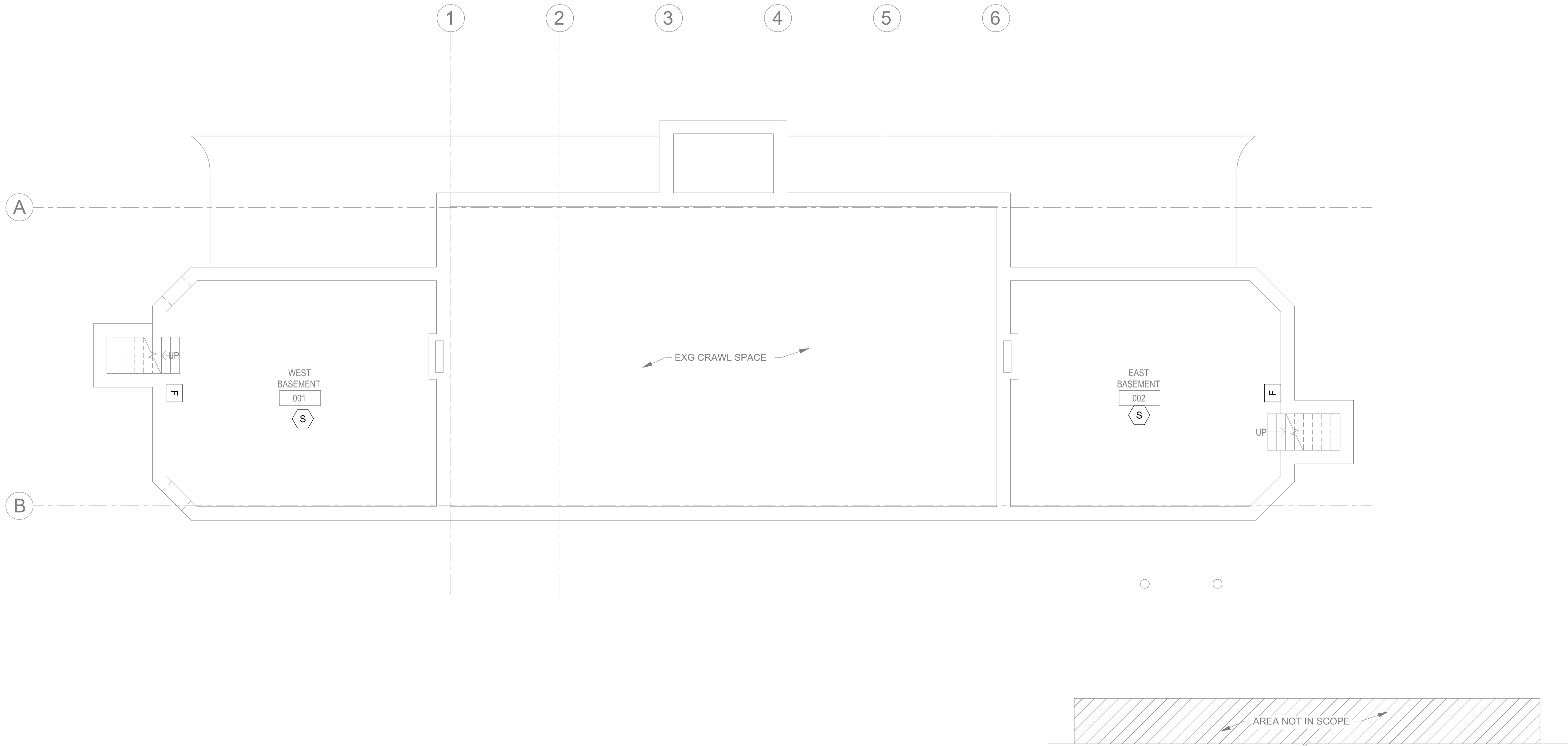
PROJECT NO.	DRAWING NO.
16315E-03-02	FA-001
DATE	05/13/2025
SCALE	AS NOTED
DRAWN BY	AAS
CHECKED BY	AJB

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

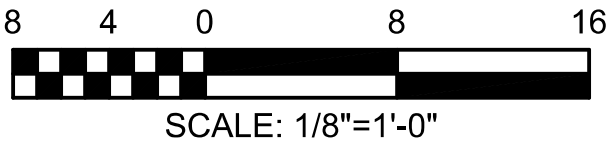
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GENERAL NOTES:


- REFER TO DRAWING FA-001 FOR FIRE ALARM GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- EXISTING FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
- THIS DRAWING IS SHOWN FOR REFERENCE ONLY TO INDICATE THE FIRE ALARM EXISTING CONDITIONS. THERE IS NO FIRE ALARM DEMOLITION SCOPE ON THIS DRAWING.



1 FIRE ALARM DEMOLITION BASEMENT PLAN
FAD-101 Scale: 1/8" = 1'-0"




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PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
FIRE ALARM DEMOLITION BASEMENT PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. FAD-101
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY AAS	
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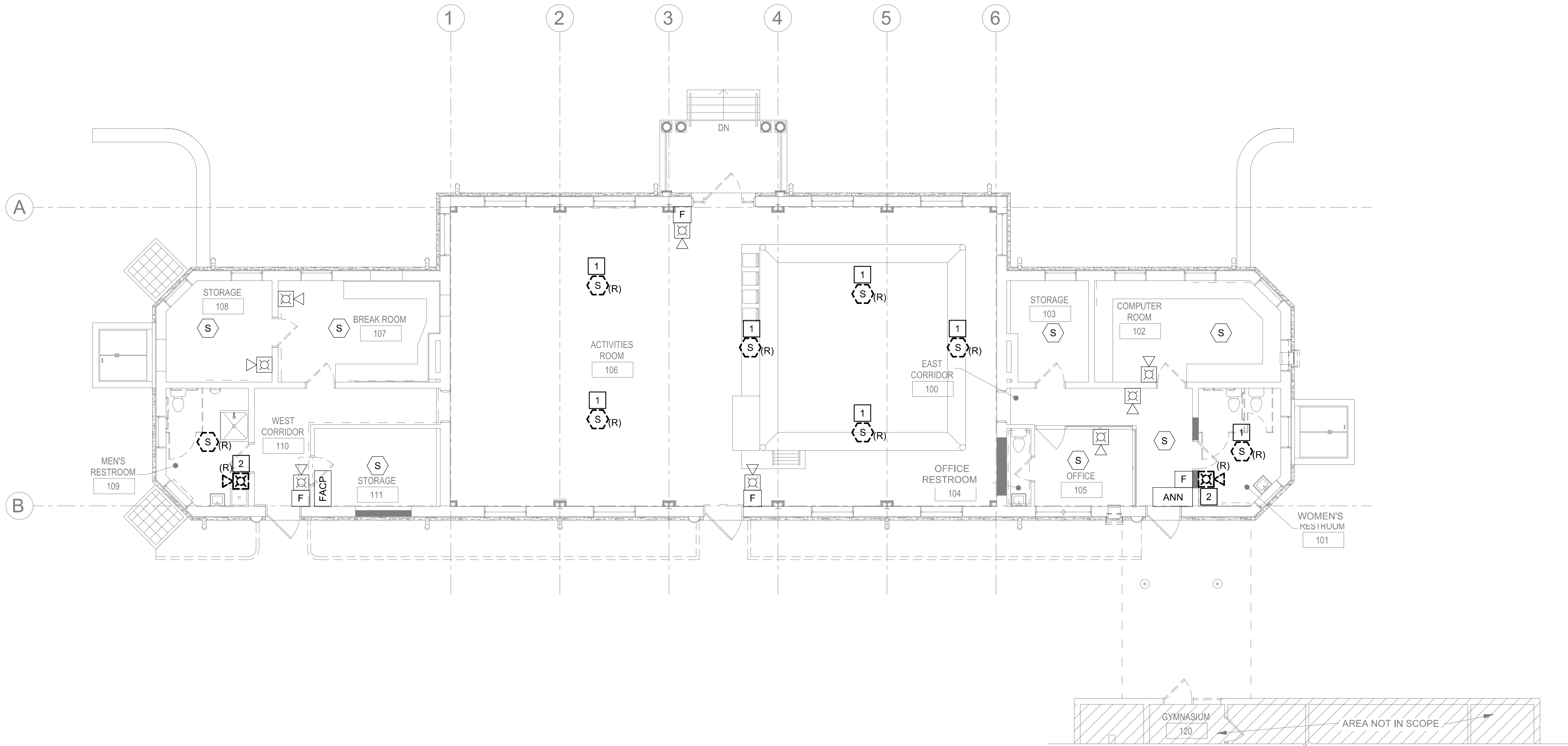
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GENERAL NOTES:

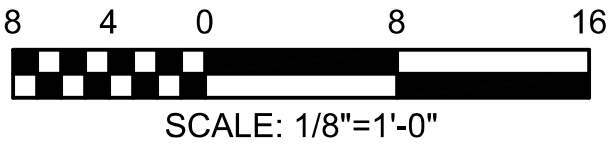
1. REFER TO DRAWING FA-001 FOR FIRE ALARM GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. EXISTING FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.

KEYED NOTES:


- 1 DEMOLISH EXISTING SMOKE DETECTOR. REMOVE CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX OR DEVICE TO REMAIN WHILE MAINTAINING CIRCUIT INTEGRITY.
- 2 DEMOLISH EXISTING NOTIFICATION APPLIANCES. REMOVE CONDUIT AND WIRING BACK TO NEAREST JUNCTION BOX OR APPLIANCE TO REMAIN WHILE MAINTAINING CIRCUIT INTEGRITY.



1
FAD-102
FIRE ALARM DEMOLITION FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"




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PROJECT TITLE
RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE
FIRE ALARM DEMOLITION FIRST FLOOR
PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. FAD-102
DATE 05/13/2025	
SCALE AS NOTED	
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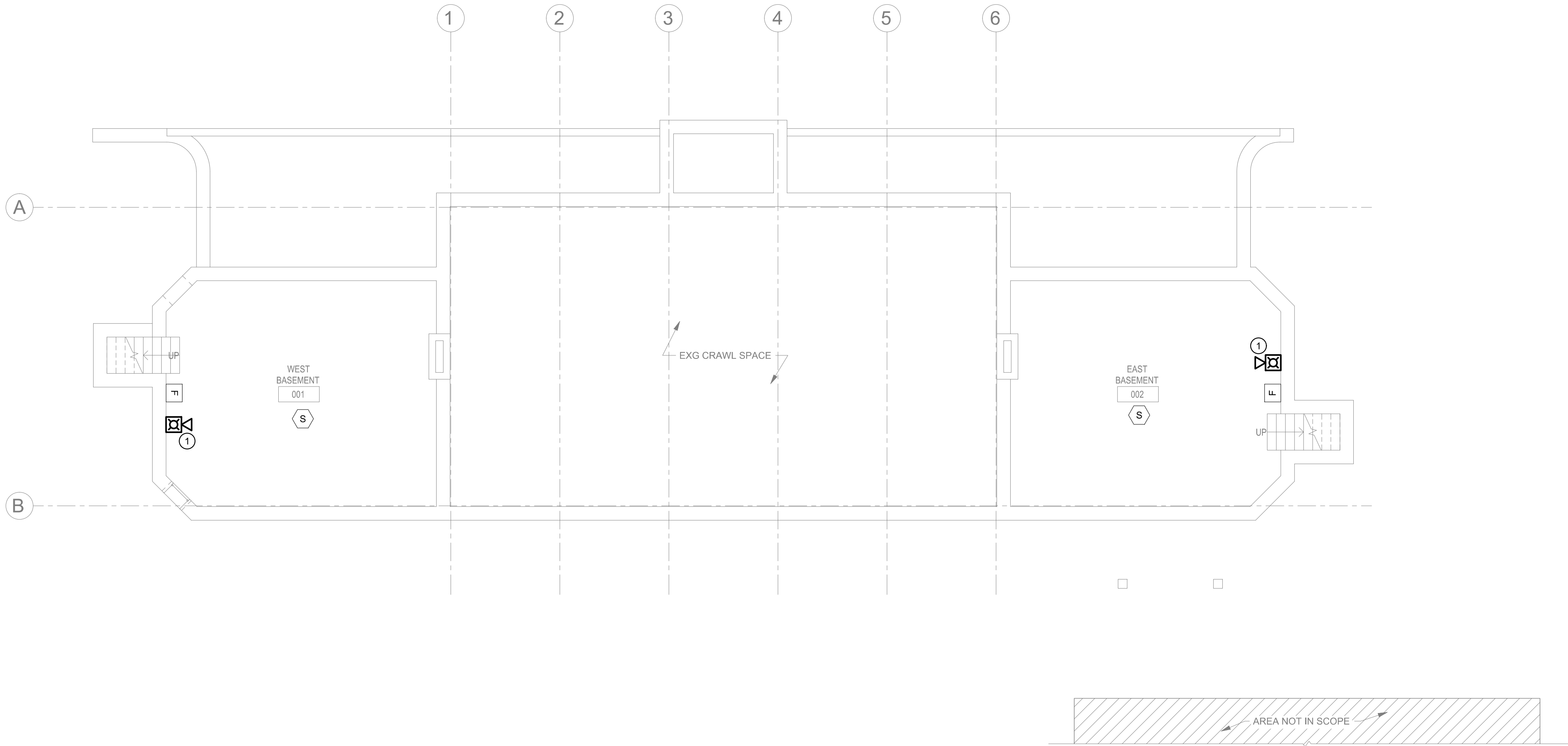
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GENERAL NOTES:

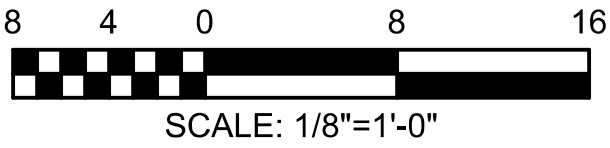
- REFER TO DRAWING FA-001 FOR FIRE ALARM GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
- EXISTING FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.

KEYED NOTES:


- ① PROVIDE NEW FIRE ALARM NOTIFICATION APPLIANCE, PROVIDE WITH A PROTECTIVE GUARD.



1 FIRE ALARM BASEMENT PLAN
FA-101 Scale: 1/8" = 1'-0"




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PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER

DRAWING TITLE
FIRE ALARM BASEMENT PLAN

PROJECT NO. 16315E-03-02	DRAWING NO. FA-101
DATE 05/13/2025	
SCALE AS NOTED	
DRAWN BY AAS	
CHECKED BY AJB	NOTE ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

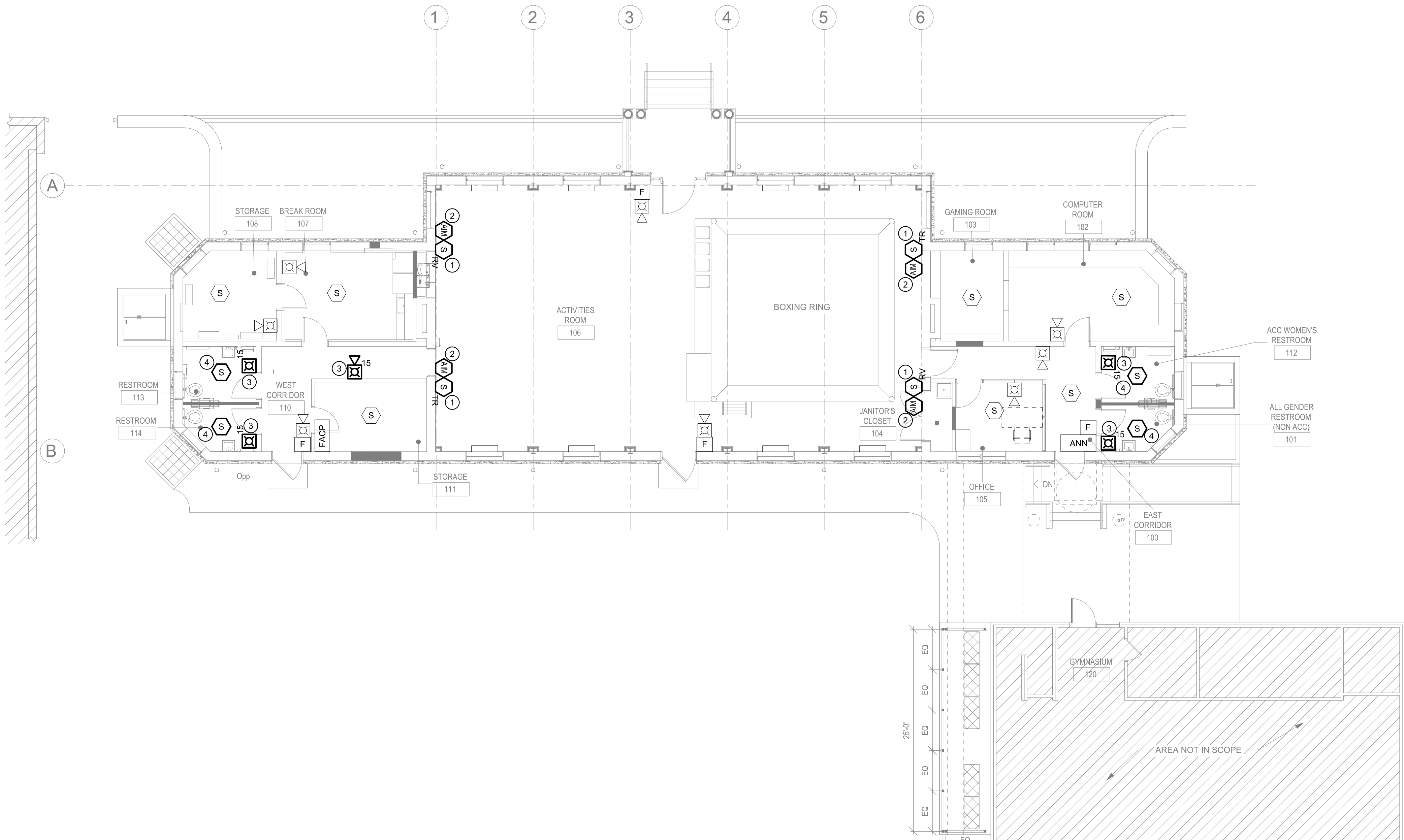
CONSTRUCTION DOCUMENTS

GENERAL NOTES:

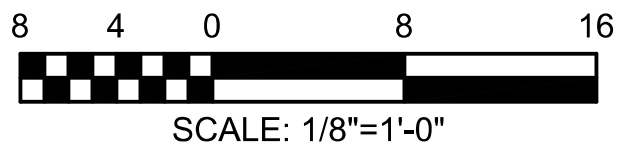
1. REFER TO DRAWING FA-001 FOR FIRE ALARM GENERAL NOTES, SYMBOLS AND ABBREVIATIONS.
2. REFER TO DRAWINGS FA-500 AND FA-501 FOR ASSOCIATED DETAILS.
3. EXISTING FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
4. ALL FIRE ALARM FIELD DEVICES AND EQUIPMENT SHALL REQUIRE A PROTECTIVE GUARD.



KEYED NOTES:

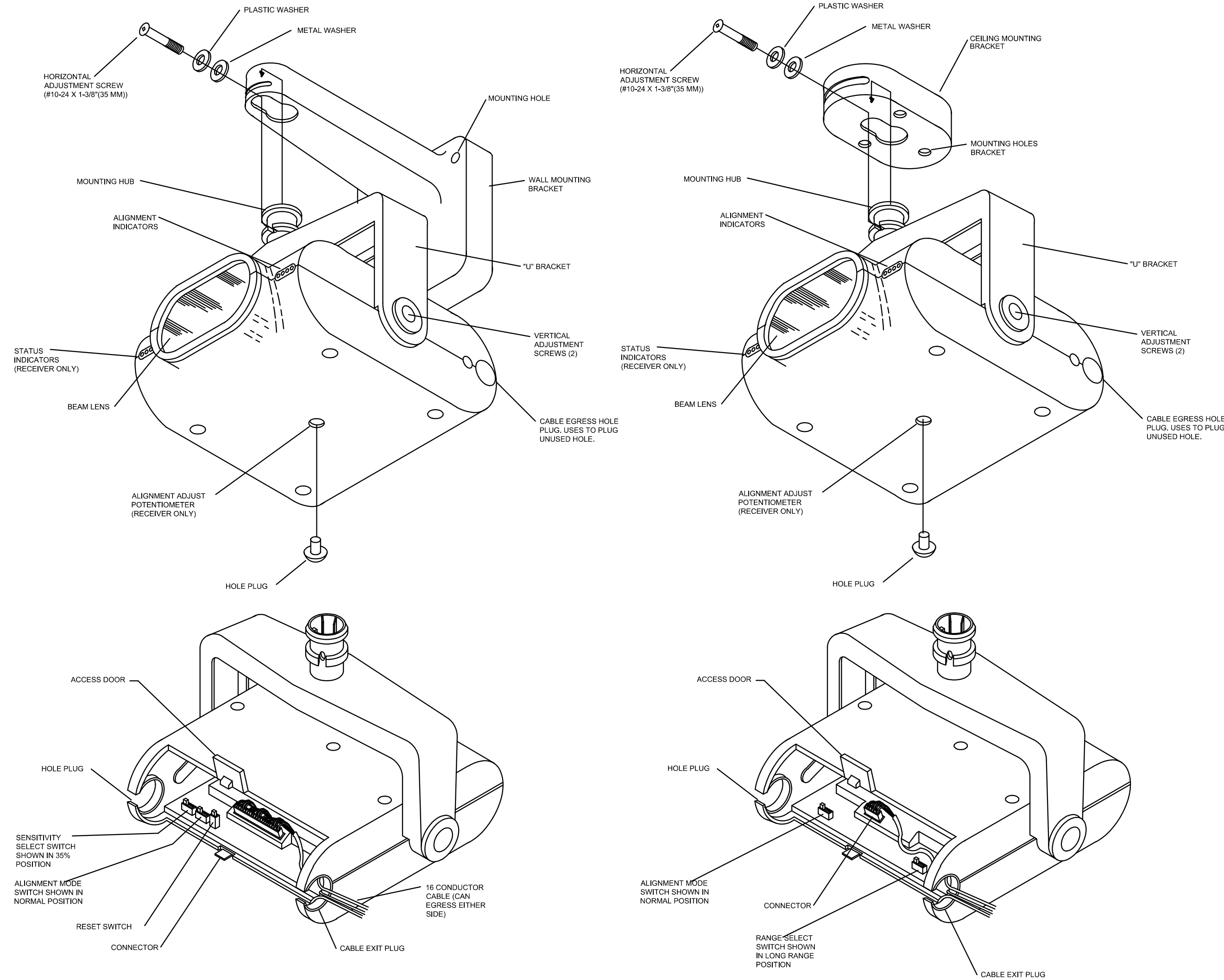
- ① ALTERNATE TRANSMITTER AND RECEIVER / REFLECTOR DIRECTIONS. MOUNT BEAM SMOKE DETECTOR AND RECEIVER / REFLECTOR TO THE WALL AND ALIGN AT A HEIGHT TO BE ABOVE THE LARGE OPEN CEILING BEAMS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE WITH A PROTECTIVE GUARD.
- ② PROVIDE ADDRESSABLE DUAL INPUT MODULES AT EACH BEAM SMOKE DETECTOR TO MONITOR ALARM AND TROUBLE CONDITIONS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE WITH A PROTECTIVE GUARD.
- ③ PROVIDE NEW FIRE ALARM NOTIFICATION APPLIANCE PER THE NEW ARCHITECTURAL FLOOR PLAN. PROVIDE WITH A PROTECTIVE GUARD.
- ④ PROVIDE NEW SMOKE DETECTOR PER THE NEW ARCHITECTURAL FLOOR PLAN. PROVIDE WITH A PROTECTIVE GUARD.



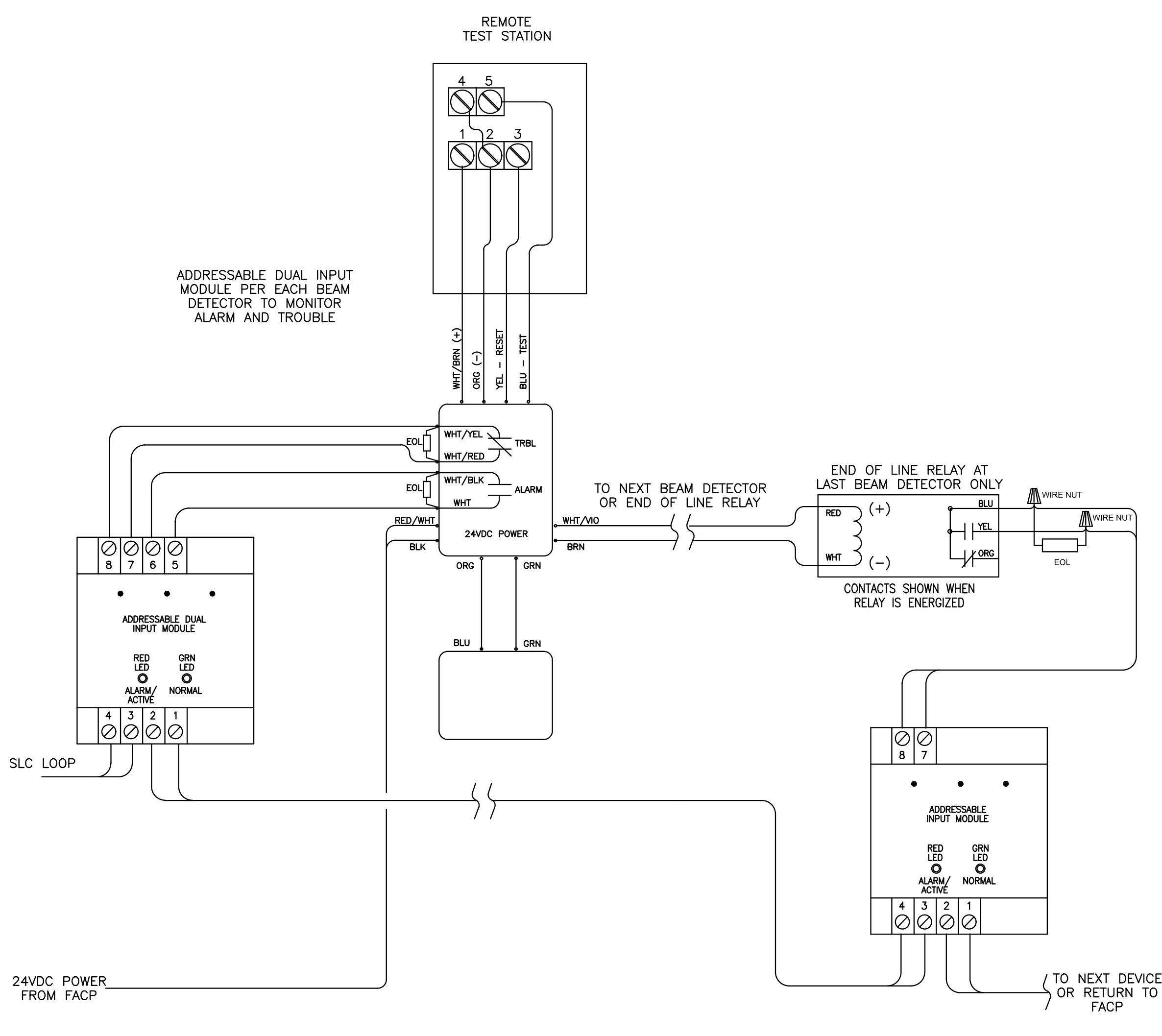
1
FA-102
FIRE ALARM FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



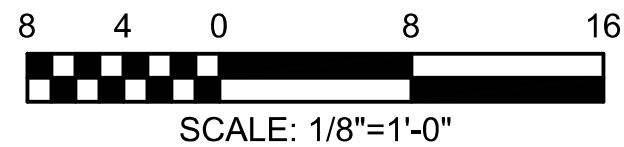
REVISIONS		
ISSUE	DATE	REVISIONS
		
CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR LEEANN SUEN		
SEALS  Digitally signed by Chase Miller Date: 2025.05.13 11:58:32-04'00'		
SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727 CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425 STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566 MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900 ROOFING CONSULTANT: STEPHEN MCLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424		
CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA		
PROJECT TITLE RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE FIRE ALARM FIRST FLOOR PLAN		
PROJECT NO. 16315E-03-02		FA-102
DATE	05/13/2025	
SCALE	AS NOTED	
DRAWN BY	TM	
CHECKED BY	PL	114
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		
CONSTRUCTION DOCUMENTS		



1 BEAM SMOKE DETECTOR MOUNTING DETAIL
NOT TO SCALE

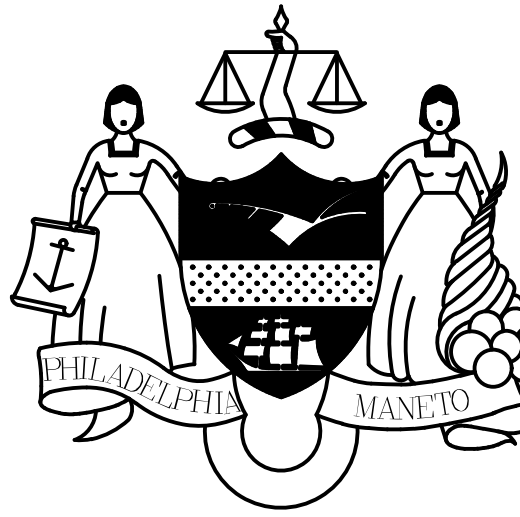



2 BEAM SMOKE DETECTOR WIRING DETAIL
NOT TO SCALE



GENERAL NOTES:

1. REFER TO SHEET FA-001 FOR FIRE ALARM GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.
2. DETAILS SHOWN ARE TYPICAL IN NATURE AND NOT INTENDED TO BE THE ACTUAL DEVICE OR EQUIPMENT. DETAILS ARE INCLUDED TO PROVIDE INTENT FOR INSTALLATION AND OPERATION. FIRE ALARM VENDOR SHALL SUPPLY REQUIRED DETAILS WITH INSTALLATION INSTRUCTIONS.

REVISIONS		
ISSUE	DATE	REVISIONS
<div></div>		
CONSTRUCTION DOCUMENTS		
PROJECT COORDINATOR		
LEEANN SUEN		
SEALS		
<div> Digitally signed by Chase Miller Date: 2025.05.13 11:58:42-04'00'</div>		
<div><div>SMP ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</div><div>LANDSCAPE ARCHITECT: GROUND RECONSIDERED www.groundreconsidered.com 215 790 0727</div><div>CIVIL ENGINEER: KS ENGINEERS www.kseng.com 215 925 0425</div><div>STRUCTURAL ENGINEER: ANN ROTHMANN STRUCTURAL ENGINEERING arstructural.com 610 688 2566</div><div>MEP ENGINEER: ARORA ENGINEERS www.aroraengineers.com 610 459 7900</div><div>ROOFING CONSULTANT: STEPHEN McLAUGHLIN ROOFING CONSULTANT stevemclaughlin.biz 856 287 2424</div></div>		
<div><div>CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING</div><div>PHILADELPHIAPENNSYLVANIA</div></div>		
PROJECT TITLE		
RENOVATIONS TO THE HAPPY HOLLOW RECREATION CENTER		
DRAWING TITLE		
FIRE ALARM DETAILS		
PROJECT NO.		DRAWING NO.
16315E-03-02		FA-501
DATE		
05/13/2025		
SCALE		
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NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		

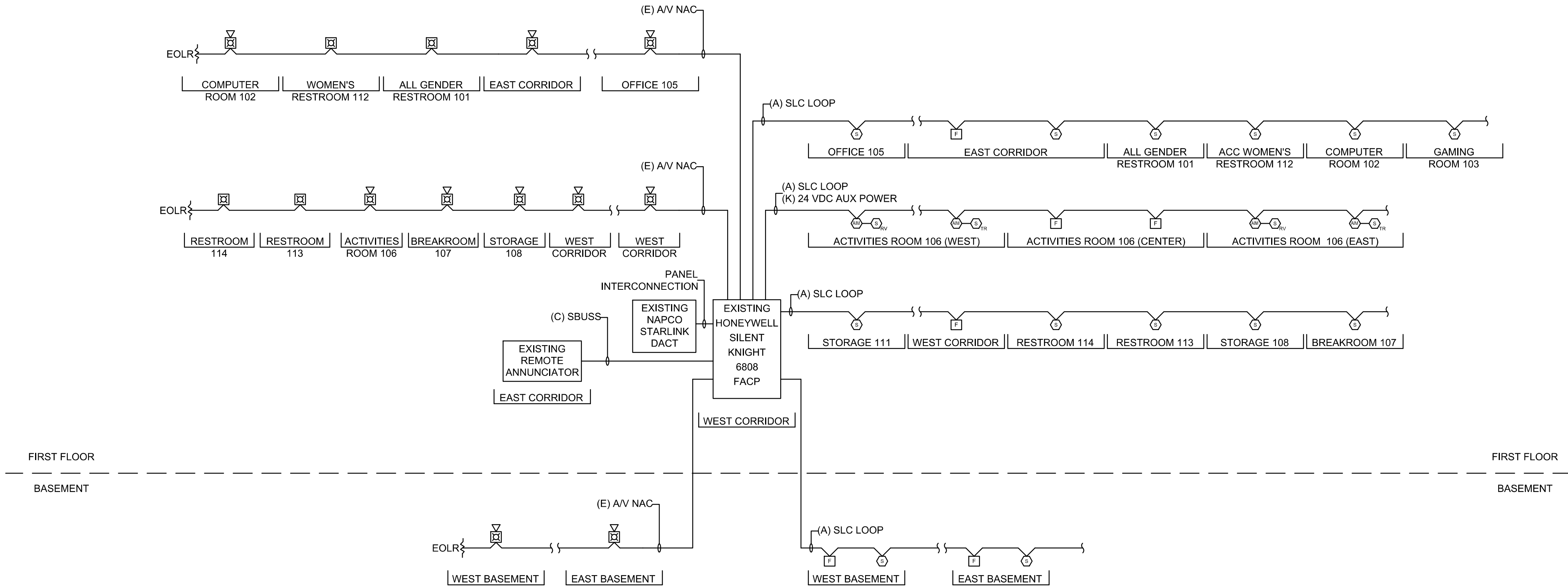
GENERAL NOTES:

1. RISER DIAGRAM IS DIAGRAMMATIC AND INTENDED TO SHOW THE CONNECTIVITY BETWEEN ALL CONTROL EQUIPMENT AND FIELD DEVICES.
2. THE CONTRACTOR SHALL PROVIDE A COMPLETE RISER DIAGAM AS PART OF THE SHOP DRAWING PHASE.
3. A FINAL UPDATED VERSION OF THE AS-BUILT RISER DIAGRAM SHALL BE INCLUDED WITH CLOSE-OUT DOCUMENTATION PER SPECIFICATIONS.

CIRCUIT SCHEDULE

CIRCUIT ID	PATHWAY DESCRIPTION	WIRE TYPE	MINIMUM CONDUIT SIZE	OUTDOOR UNDERGROUND	OUTDOOR ABOVE GROUND - NON CORROSIVE AREA	OUTDOOR ABOVE GROUND - CORROSIVE AREA	INDOOR	PATHWAY CLASS	MINIMUM NFPA 72 (2010 ED.) SURVIVABILITY REQUIREMENT
A	SIGNALING LINE CIRCUITS (SLC)	2#16 AWG TWISTED SHIELDED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	X	LEVEL 0
B	FIBER OPTIC NETWORK	12-STRAND SINGLE MODE FIBER	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
C	DATA COMMUNICATIONS BETWEEN PANELS	2#14 AWG TWISTED SHIELDED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
D	DIGITAL AUDIO COMMUNICATIONS BETWEEN PANELS	2#14 AWG TWISTED SHIELDED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
E	AUDIBLE/VISUAL CIRCUITS	2#14 AWG TWISTED SHIELDED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
F	STROBE CIRCUITS	2#14 AWG TWISTED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
G	CONTROL CIRCUITS	2#16 AWG TWISTED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	N/A	LEVEL 0
H	MONITORING CIRCUITS	2#16 AWG TWISTED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
I	ANNUNCIATOR CIRCUIT	2#14 AWG TWISTED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
J	PANEL AC POWER	2#12 TWISTED WITH GROUND	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	N/A	LEVEL 0
K	24V DC AUXILIARY POWER	2#14 AWG TWISTED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	N/A	LEVEL 0
L	SYNC COMMUNICATIONS BETWEEN PANELS	2#12 AWG TWISTED SHIELDED	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	N/A	LEVEL 0
M	DATA COMMUNICATIONS BETWEEN PANELS UNDERGROUND	2-STRANDS SINGLE MODE FIBER	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0
N	DIGITAL AUDIO COMMUNICATIONS BETWEEN PANELS UNDERGROUND	2-STRANDS SINGLE MODE FIBER	3/4" C	PVC	RGS	RGS W/ PVC COATING	RGS	B	LEVEL 0


1 FIRE ALARM CIRCUIT AND CONDUIT SCHEDULE
FA-502 NOT TO SCALE



2 FIRE ALARM PARTIAL DIAGRAMMATIC RISER DIAGRAM
FA-502 NOT TO SCALE

REVISIONS

ISSUE	DATE	REVISIONS




CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

LEEANN SUEN

SEALS



Digitally signed by Chase Miller
Date: 2025.05.13 11:58:47-04'00'

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STEPHEN MCLAUGHLIN ROOFING CONSULTANT
stevemclaughlin.biz
856 287 2424

CITY OF PHILADELPHIA
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

RENOVATIONS TO THE HAPPY
HOLLOW RECREATION CENTER

DRAWING TITLE

FIRE ALARM DETAILS, SCHEDULES AND
RISER DIAGRAM

PROJECT NO.
16315E-03-02

DATE
05/13/2025

SCALE
AS NOTED

DRAWN BY
AAS

CHECKED BY
AJB

DRAWING NO.
FA-502

NOTE
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CONSTRUCTION DOCUMENTS