

## **ADDENDUM COVER SHEET**

### **Addendum No. 1**

**Fotteral Square RFP (2400 N. 11<sup>th</sup> Street)**

**Philadelphia Redevelopment Authority**

**Issue Date: July 18, 2022**

---

#### **ITEMS:**

- Addition of: General Requirements – Section 015639 “Temporary Tree & Plant Protection”
  - Addition of: Project Drawing No. C500
  - Addition of: Project Drawing No. C600
  - Addition of: Project Drawing No. C702
  - Addition of: Project Drawing No. E200
- 
- Bidders must acknowledge receipt of Addendum No. 1. The signed acknowledgement must be included in you bid proposal. Please sign and date below:

---

Acknowledgement of Addendum No. 1

## SECTION 015639

### TEMPORARY TREE AND PLANT PROTECTION

#### PART 1 - GENERAL

##### 1.1 STIPULATIONS

- A. The specifications sections “General Conditions of Contract”, “Special Conditions” and “Division 1 General Requirements” form a part of this section by reference thereto and shall have the same force and effect as if printed herewith in full.

##### 1.2 SUMMARY

- A. Section includes general protection and pruning of existing trees and plants that are affected by execution of the Work, whether temporary or permanent construction.
- B. Related Sections:
  - 1. Division 01 Section “Construction Waste Management”
  - 2. Division 01 Section “Sustainable Design Requirements”
  - 3. Division 01 Section "Field Engineering" for field engineering and surveying.
  - 4. Division 02 Section "Selective Demolition" for partial demolition of buildings or structures.
  - 5. Division 31 Section "Site Clearing and Erosion Control".

##### 1.3 DEFINITIONS

- A. Caliper: Diameter of a trunk measured by a diameter tape at 6 inches above the ground for trees up to, and including, 6-inch size; and breast height (DBH) for trees larger than 6-inch size.
- B. Plant-Protection Zone: Area surrounding individual trees, groups of trees, shrubs, or other vegetation to be protected during construction, and indicated on Drawings.
- C. Tree-Protection Zone: Area surrounding individual trees or groups of trees to be protected during construction, and indicated on Drawings.
- D. Vegetation: Trees, shrubs, groundcovers, grass, and other plants.

##### 1.4 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples for Verification: For each type of the following:
  - 1. Organic Mulch: One (1) gallon of organic mulch; in sealed plastic bags labeled with composition of materials by percentage of weight and source of mulch.
  - 2. Protection-Zone Fencing: Manufacturer’s cut sheets

3. Protection-Zone Signage: Manufacturer's cut sheets.
- C. Tree Pruning Schedule: Written schedule detailing scope and extent of pruning of trees to remain that interfere with or are affected by construction.
1. Species and size of tree.
  2. Location on site plan. Include unique identifier for each.
  3. Reason for pruning.
  4. Description of pruning to be performed.
- D. Qualification Data: For qualified arborist and tree service firm.
- E. Certification: From arborist, certifying that trees indicated to remain have been protected during construction according to recognized standards and that trees were promptly and properly treated and repaired when damaged.
- F. Maintenance Recommendations: From arborist, for care and protection of trees affected by construction during and after completing the Work.
- G. Existing Conditions: Documentation of existing trees and plantings indicated to remain, which establishes preconstruction conditions that might be misconstrued as damage caused by construction activities.
1. Use sufficiently detailed photographs or videotape.
  2. Include plans and notations to indicate specific wounds and damage conditions of each tree or other plants designated to remain.

## 1.5 QUALITY ASSURANCE

- A. Arborist Qualifications: Certified Arborist as certified by ISA.
- B. Tree Service Firm Qualifications: An experienced tree service firm that has successfully completed temporary tree and plant protection work similar to that required for this Project and that will assign an experienced, qualified arborist to Project site during execution of the Work.
- C. Preinstallation Conference: Conduct conference at Project site.
1. Review methods and procedures related to temporary tree and plant protection including, but not limited to, the following:
    - a. Construction schedule. Verify availability of materials, personnel, and equipment needed to make progress and avoid delays.
    - b. Enforcing requirements for protection zones.
    - c. Arborist's responsibilities.
    - d. Field quality control.

## 1.6 PROJECT CONDITIONS

- A. The following practices are prohibited within protection zones:

1. Storage of construction materials, debris, or excavated material.
  2. Parking vehicles or equipment.
  3. Foot traffic.
  4. Erection of sheds or structures.
  5. Impoundment of water.
  6. Excavation or other digging unless otherwise indicated.
  7. Attachment of signs to or wrapping materials around trees or plants unless otherwise indicated.
- B. Do not direct vehicle or equipment exhaust toward protection zones.
- C. Prohibit heat sources, flames, ignition sources, and smoking within or near protection zones and organic mulch.
- D. Protection fencing must be approved by the Owner's Representative prior to commencing with any demolition or construction work.
- E. Install protection fencing before installing erosion and sedimentation controls. Trenched silt fence is prohibited within plant protection zones. Utilize tubular sediment control device, such as Filtrexx® Sediment Control or similar product in accordance with the manufacturers instructions, in lieu of silt fencing. Trenching is prohibited within plant protection zones.
- F. Flows of water redirected from construction areas or generated by construction activity are prohibited from entering or crossing plant protection zones. Protect root systems from ponding, eroding, or excessive wetting caused by dewatering operations.
- G. Work within the plant protection zone must be approved by and supervised by Owner's Representative.
- H. The Owner's Representative may require additional protection fencing or relocation of fencing as work progresses.
- I. Bring any unforeseen site conditions, such as structural roots, that will impact new construction to the attention of the Owner's Representative. Do not proceed with work without written authorization.
- J. Arborist may require crown pruning to compensate for root loss caused by damaging or cutting of the root system. Provide subsequent maintenance during contract period as recommended by arborist.
- K. Campus care manager or his representative should be present when any work is done to or around campus plantings.

## PART 2 - GENERAL

### 2.1 MATERIALS

- A. Topsoil: Refer to 32 91 00 'Soil Preparation'.

- B. Organic Mulch: Free from deleterious materials and suitable as a top dressing for trees and shrubs, consisting of one of the following:
  - 1. Type: Shredded hardwood.
  - 2. Size Range: 3 inches (76 mm) maximum, 1/2 inch (13 mm) minimum.
  - 3. Color: Natural.
  
- C. Protection-Zone Fencing: Fencing fixed in position and meeting the following requirements.
  - 1. Safety Fence: 4' high plastic orange safety fence; 6' tall steel posts with tie wires, and other accessories for a complete fence system.
  
- D. Protection-Zone Signage: Shop-fabricated, rigid plastic or metal sheet with attachment holes prepunched and reinforced; legibly printed with nonfading lettering and as follows:
  - 1. Size and Text: TREE PROTECTION AREA – DO NOT ENTER
  - 2. Lettering: 3-inch high minimum, white characters on red background.

### PART 3 - EXECUTION

#### 3.1 CONSTRUCTION WASTE MANAGEMENT (LEED)

- A. The contractor, subcontractors, and their personnel shall follow the procedures and practices for waste separation, collection and transport as defined in the contractor's "Waste Management Plan" as required by Division 01 Section "Construction Waste Management."

#### 3.2 EXAMINATION

- A. Erosion and Sedimentation Control: Examine the site to verify that temporary erosion- and sedimentation-control measures are in place. Verify that flows of water redirected from construction areas or generated by construction activity do not enter or cross protection zones.
- B. For the record, prepare written report, endorsed by arborist, listing conditions detrimental to tree and plant protection.

#### 3.3 PREPARATION

- A. Protect tree root systems from damage caused by runoff or spillage of noxious materials while mixing, placing, or storing construction materials. Protect root systems from ponding, eroding, or excessive wetting caused by dewatering operations.

#### 3.4 TREE- AND PLANT-PROTECTION ZONES

- A. Protection-Zone Fencing: Install protection-zone fencing along edges of protection zones before materials or equipment are brought on the site and construction operations begin in a manner that will prevent people from easily entering protected area except by entrance gates.

Construct fencing so as not to obstruct safe passage or visibility at vehicle intersections where fencing is located adjacent to pedestrian walkways or in close proximity to street intersections, drives, or other vehicular circulation.

- B. Protection-Zone Signage: Install protection-zone signage in visibly prominent locations in a manner approved by Architect. Install one sign spaced approximately every 35 feet on protection-zone fencing, but no fewer than four signs with each facing a different direction.
- C. Maintain protection zones free of weeds and trash.
- D. Repair or replace trees, shrubs, and other vegetation indicated to remain or be relocated that are damaged by construction operations, in a manner approved by Architect.
- E. Maintain protection-zone fencing and signage in good condition as acceptable to Architect and remove when construction operations are complete and equipment has been removed from the site.
  - 1. Do not remove protection-zone fencing, even temporarily, to allow deliveries or equipment access through the protection zone.
  - 2. Temporary access is permitted subject to preapproval in writing by arborist if a root buffer effective against soil compaction is constructed as directed by arborist. Maintain root buffer so long as access is permitted.

### 3.5 EXCAVATION

- A. General: Excavate at edge of protection zones and for trenches indicated within protection zones according to requirements in Section 312000 "Earth Moving."
- B. Trenching near Trees: Where utility trenches are required within protection zones, hand excavate and/or air-spade under or around tree roots or tunnel under the roots by drilling, auger boring, or pipe jacking. Do not cut main lateral tree roots or taproots; cut only smaller roots that interfere with installation of utilities. Cut roots as required for root pruning.
- C. Do not allow exposed roots to dry out before placing permanent backfill. Provide temporary earth cover or pack with peat moss and wrap with burlap. Water and maintain in a moist condition. Temporarily support and protect roots from damage until they are permanently relocated and covered with soil.

### 3.6 ROOT PRUNING

- A. Prune roots that are affected by temporary and permanent construction. Prune roots as follows:
  - 1. Cut roots manually by digging a trench and cutting exposed roots with sharp pruning instruments; do not break, tear, chop, or slant the cuts. Do not use a backhoe or other equipment that rips, tears, or pulls roots.
  - 2. Cut Ends: Do not coat cut ends of roots with an emulsified asphalt or similar coatings.
  - 3. Temporarily support and protect roots from damage until they are covered with soil.
  - 4. Cover exposed roots with burlap and water regularly.
  - 5. Backfill as soon as possible according to requirements in Section 312000 "Earth Moving."

- B. Root Pruning at Edge of Protection Zone: Prune roots 6 inches inside of the protection zone, by cleanly cutting all roots to the depth of the required excavation.
- C. Root Pruning within Protection Zone: Clear and excavate by hand to the depth of the required excavation to minimize damage to root systems. Use narrow-tine spading forks, comb soil to expose roots, and cleanly cut roots as close to excavation as possible.

### 3.7 CROWN PRUNING

- A. Prune branches that are affected by temporary and permanent construction. Prune branches as follows:
  - 1. Prune trees to remain to compensate for root loss caused by damaging or cutting root system. Provide subsequent maintenance during Contract period as recommended by arborist.
  - 2. Pruning Standards: Prune trees according to ANSI A300 (Part 1) and the following:
    - a. Type of Pruning: Cleaning, Thinning, and/or Reduction.
    - b. Specialty Pruning: Restoration.
  - 3. Cut branches with sharp pruning instruments; do not break or chop.
  - 4. Do not apply pruning paint to wounds
- B. Chip removed branches and dispose of off-site.

### 3.8 REGRADING

- A. Lowering Grade: Where new finish grade is indicated below existing grade around trees, slope grade beyond the protection zone. Maintain existing grades within the protection zone.
- B. Root Pruning: Prune tree roots exposed by lowering the grade. Do not cut main lateral roots or taproots; cut only smaller roots. Cut roots as required for root pruning.
  - 1. Root Pruning: Prune tree roots exposed by lowering the grade. Do not cut main lateral roots or taproots; cut only smaller roots. Cut roots as required for root pruning.
- C. Raising Grade: Where new finish grade is indicated above existing grade around trees, slope grade beyond the protection zone. Maintain existing grades within the protection zone.
- D. Minor Fill within Protection Zone: Where existing grade is 2 inches or less below elevation of finish grade, fill with topsoil. Place topsoil in a single uncompacted layer and hand grade to required finish elevations.

### 3.9 FIELD QUALITY CONTROL

- A. Inspections: Engage a qualified arborist to direct plant-protection measures in the vicinity of trees, shrubs, and other vegetation indicated to remain and to prepare inspection reports.

### 3.10 REPAIR AND REPLACEMENT

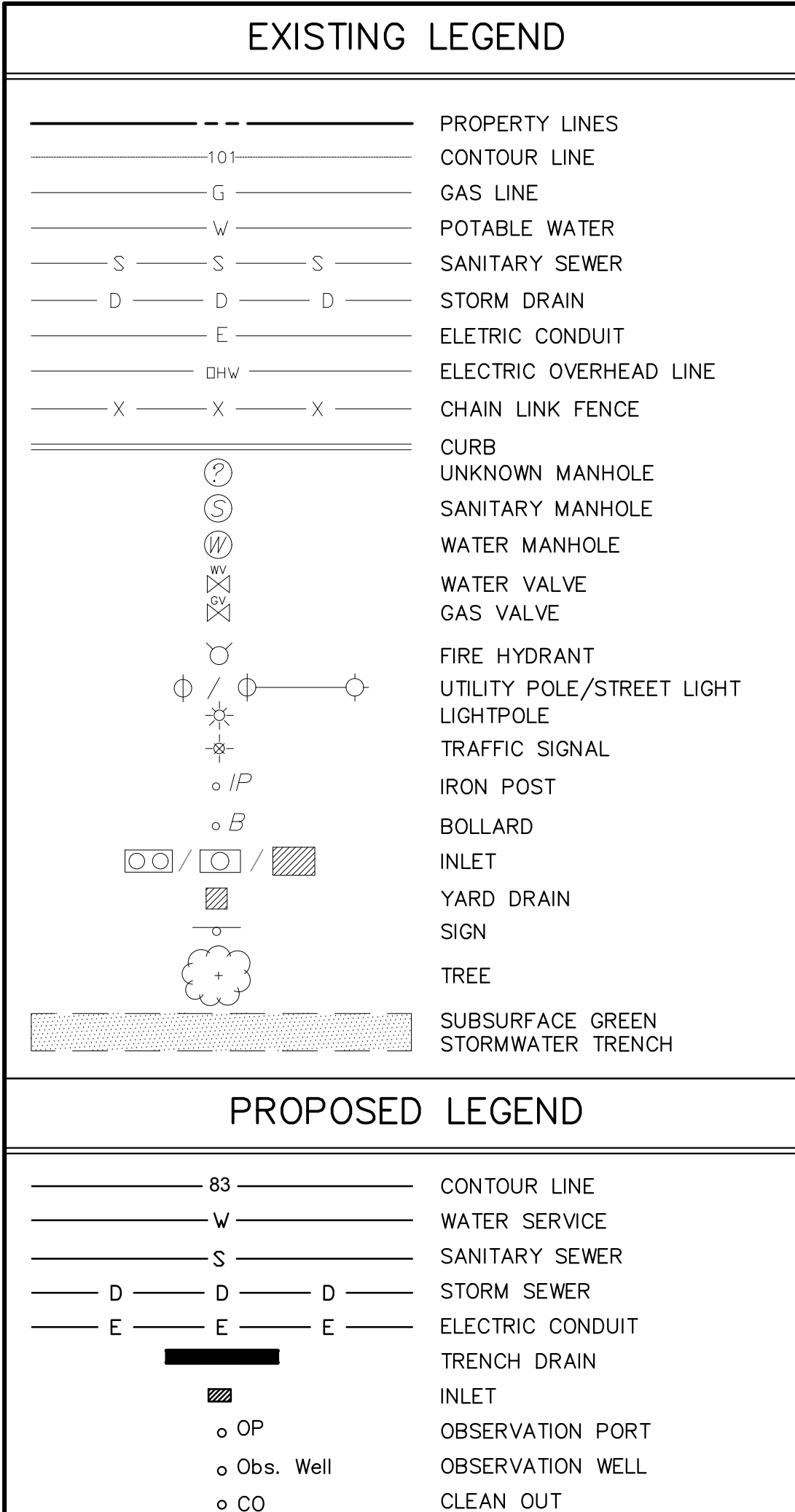
- A. General: Repair or replace trees, shrubs, and other vegetation indicated to remain or be relocated that are damaged by construction operations, in a manner approved by Architect.
  - 1. Submit details of proposed root cutting and tree and shrub repairs.
  - 2. Have arborist perform the root cutting, branch pruning, and damage repair of trees and shrubs.
  - 3. Treat damaged trunks, limbs, and roots according to arborist's written instructions.
  - 4. Perform repairs within 24 hours.
  - 5. Replace vegetation that cannot be repaired and restored to full-growth status, as determined by Architect.
  
- B. Trees: Remove and replace trees indicated to remain that are more than 25 percent dead or in an unhealthy condition before the end of the corrections period or are damaged during construction operations that Landscape Architect determines are incapable of restoring to normal growth pattern.
  - 1. Provide new trees of same size and species as those being replaced for each tree that measures 6 inches or smaller in caliper size.
  - 2. Provide two new trees of 4-inch caliper size for each tree being replaced that measure between 6-inch caliper and 8-inch caliper in size at a location directed by the Owner or Owner's Representative.
  - 3. Provide 6-inch caliper size for each tree being replaced that measure greater than 8-inch caliper in size at a location directed by the Owner or Owner's Representative. Quantity of trees shall equal the total diameter at breast height (DBH) size of the tree removed unless directed otherwise by the Owner. For example, a 32-inch DBH shall require five new trees.
  - 4. Species: Species selected by Landscape Architect.
  - 5. Plant and maintain new trees as specified in Section 32 93 00 'Plants'.
  
- C. Soil Aeration: Where directed by Landscape Architect, aerate surface soil compacted during construction. Aerate to extent as directed by Landscape Architect beyond drip line and no closer than 36 inches to tree trunk. Drill 2-inch diameter holes a minimum of 12 inches deep at 24 inches o.c. Backfill holes with approved Compost.

### 3.11 DISPOSAL OF SURPLUS AND WASTE MATERIALS

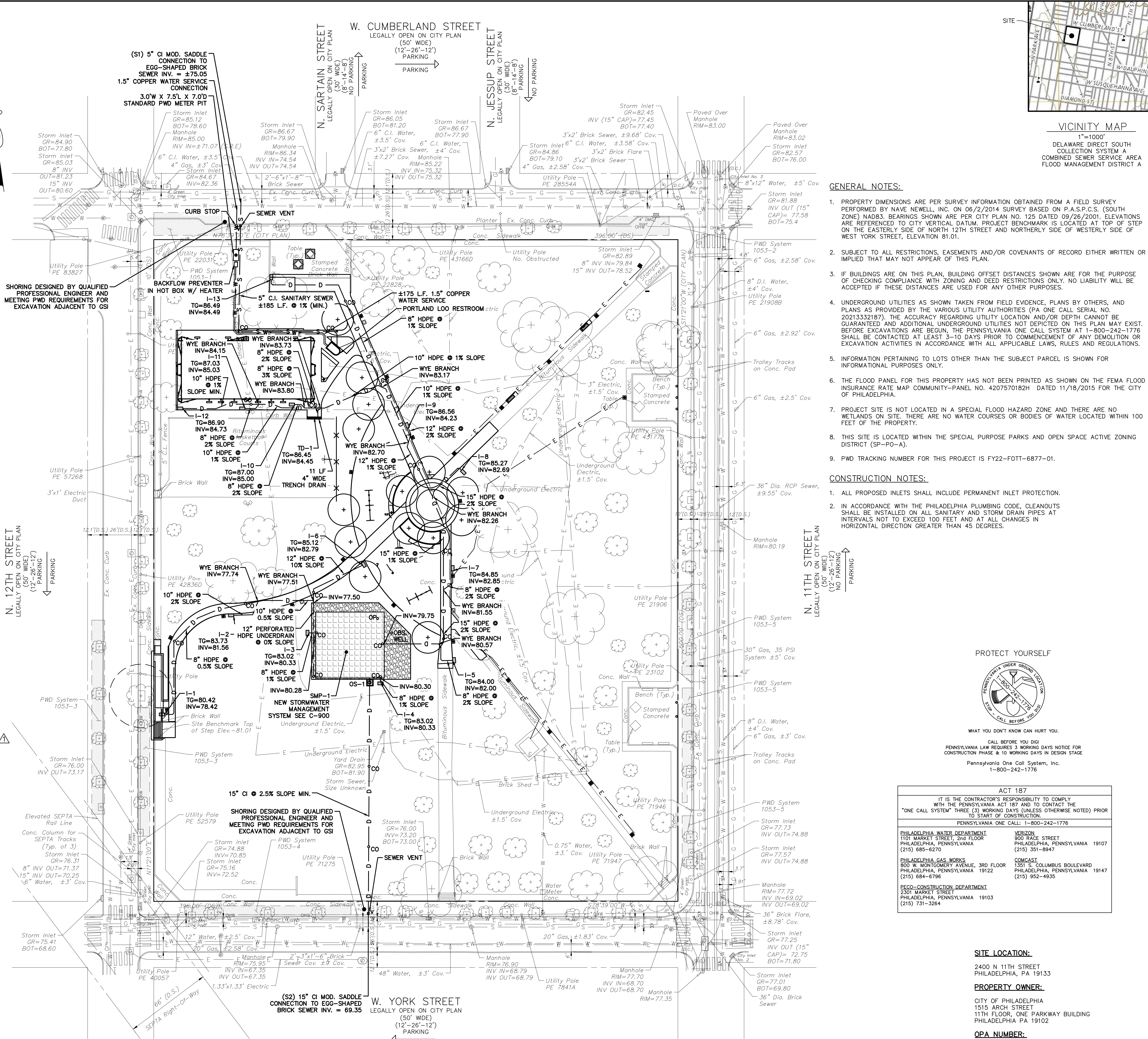
- A. Disposal: Remove excess excavated material, displaced trees, trash and debris, and legally dispose of them off Owner's property.

END OF SECTION 01 56 39





- ### GREEN STORMWATER MANAGEMENT NOTES:
- THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR.
  - THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY PWD'S GREEN STORMWATER OPERATIONS AT LEAST 7 DAYS PRIOR TO STARTING WORK TO SCHEDULE AN INSPECTOR (ATTN: GERALD BRIGHT, 215-300-9079).
  - APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE PROTECTION OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
  - ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY PWD.
  - CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY OF THE PWD GREEN STORMWATER INFRASTRUCTURE.
  - CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS DURING CONSTRUCTION. SEE PWD REGULATION 501.3 AND 600.4, PHILA CODE S. 13-603, AND 25 PA CODE CHAPTER 102.
  - SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREEN STORMWATER INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED AND THEREBY COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND INCLUDING FULL REPLACEMENT) AT NO ADDITIONAL COST TO PWD.
  - CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE, TO PREVENT EROSION CONDITIONS, AND TO SUPPRESS DUST ON THE SITE AND SURROUNDING AREAS. CONTRACTOR MUST COVER AND SURROUND STOCKPILES WITH EROSION CONTROL MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR ENTER THE PUBLIC SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEEP WORK SITE AT THE END OF EACH WORKDAY. THE CITY MAY REQUIRE THE CONTRACTOR / OWNER TO CLEAN CITY-OWNED INLETS AND SYSTEMS AFFECTED BY NONCOMPLIANT OR FAILED E&S CONTROLS.
  - CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS DAILY TO OR WITHIN THE WORK AREA. INLET PROTECTION MEASURES MUST BE INSPECTED TO ENSURE PROPER PLACEMENT AND MAINTAINED, POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNCTION AND TO PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PROTECTION METHODS FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS AND CURB-CUT INLETS.
  - GEOTEXTILE MUST CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS (AASHTO CLASS 1 OR CLASS 2 GEOTEXTILE IS RECOMMENDED):
    - GRAB TENSILE STRENGTH (ASTM-D4632):  $\geq 120$  LBS
    - MULLEN BURST STRENGTH (ASTM-D3786):  $\geq 225$  PSI
    - FLOW RATE (ASTM-D4491):  $\geq 95$  GAL/MIN/FT<sup>2</sup>
    - UV RESISTANCE AFTER 500 HRS (ASTM-D4355):  $\geq 70\%$
    - HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED
  - STORAGE PIPES:
    - PIPE USED WITHIN THE SUBSURFACE INFILTRATION SMP MUST BE CONTINUOUSLY PERFORATED AND HAVE A SMOOTH INTERIOR WITH A MINIMUM INNER DIAMETER OF FOUR INCHES.
    - HIGH-DENSITY POLYETHYLENE (HDPE) PIPE MUST MEET THE SPECIFICATIONS OF AASHTO M252, TYPE S OR AASHTO M294, TYPE S.
    - ANY PIPE MATERIALS OUTSIDE THE SMP ARE TO MEET CITY PLUMBING CODE STANDARDS.
  - STONE SHALL BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. CLEAN-WASHED STONE IS DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION.



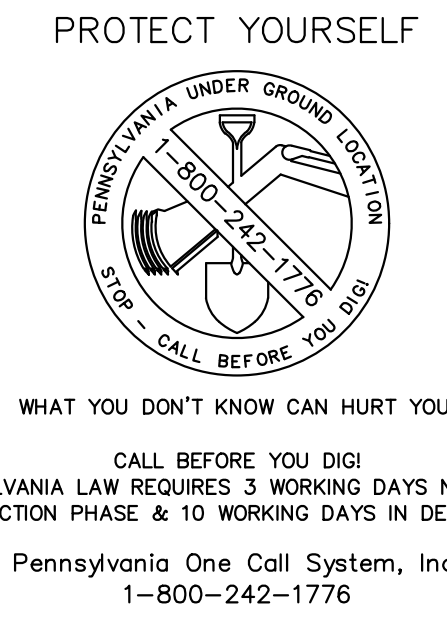
### PWD WATER UTILITY CONNECTIONS

I.D.	TYPE	SIZE	MATERIAL	CONNECTION METHOD	BACKFLOW PREVENTION
(W1)	WATER SERVICE	1.5"	COPPER	FERRULE CONNECTION	REQUIRED

### PWD SEWER UTILITY CONNECTIONS

I.D.	TYPE	SIZE	MATERIAL	CONNECTION TYPE
(S1)	SANITARY SEWER CONNECTION	5"	CAST IRON	MODIFIED SADDLE CONNECTION
(S2)	STORM SEWER CONNECTION	15"	CAST IRON	MODIFIED SADDLE CONNECTION

- ### GENERAL NOTES:
- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/20/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR ON THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
  - PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
  - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-PO-A).
  - PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.
- ### CONSTRUCTION NOTES:
- ALL PROPOSED INLETS SHALL INCLUDE PERMANENT INLET PROTECTION.
  - IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE, CLEANOUTS SHALL BE INSTALLED ON ALL SANITARY AND STORM DRAIN PIPES AT INTERVALS NOT TO EXCEED 100 FEET AND AT ALL CHANGES IN HORIZONTAL DIRECTION GREATER THAN 45 DEGREES.



### ACT 187

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.

PENNSYLVANIA ONE CALL: 1-800-242-1776

<b>PHILADELPHIA WATER DEPARTMENT</b> 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA 19102 (215) 685-6270	<b>VERIZON</b> 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
<b>PHILADELPHIA GAS WORKS</b> 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	<b>COMCAST</b> 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935

**REC-CONSTRUCTION DEPARTMENT**  
2301 MARKET STREET  
PHILADELPHIA, PENNSYLVANIA 19103  
(215) 731-5264

### SITE LOCATION:

2400 N 11TH STREET  
PHILADELPHIA, PA 19133

### PROPERTY OWNER:

CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA, PA 19102

### OPA NUMBER:

371193501

### AREA:

GROSS AREA = 199,043 S.F.  
IMPERVIOUS AREA = 45,250 S.F.

### REVISIONS

ISSUE	DATE	REVISIONS
1	7/15/2022	ADDENDUM 1



PROJECT COORDINATOR  
Philadelphia Parks & Recreation  
and Department of Public Property  
1515 Arch Street, 11th Floor  
Philadelphia, PA 19102

SEAL

LANDSCAPE ARCHITECT:  
Ground Reconsidered  
203 S. Broad Street, Suite 604  
Philadelphia, PA 19102  
www.groundreconsidered.com

CIVIL ENGINEERS:  
K5 Engineers, P.C.  
530 Walnut St., Suite 460  
Philadelphia, PA 19106  
www.k5eng.com

STRUCTURAL ENGINEERS:  
David Mason Associates  
123 South Broad Street, Suite 1130  
Philadelphia, PA 19109  
www.davidmason.com

MEP ENGINEERS:  
SRW  
37 West 39th Street, Suite 1005  
New York, NY 10018  
www.srw-eng.com

CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA, PENNSYLVANIA

PROJECT TITLE  
FOTTERAL SQUARE RENOVATIONS

DRAWING TITLE  
UTILITY PLAN

PROJECT NO.  
1914.04

DATE  
6/10/2022

SCALE  
AS NOTED

DRAWN BY  
KSE

CHECKED BY  
KSE

DATE  
6/10/2022

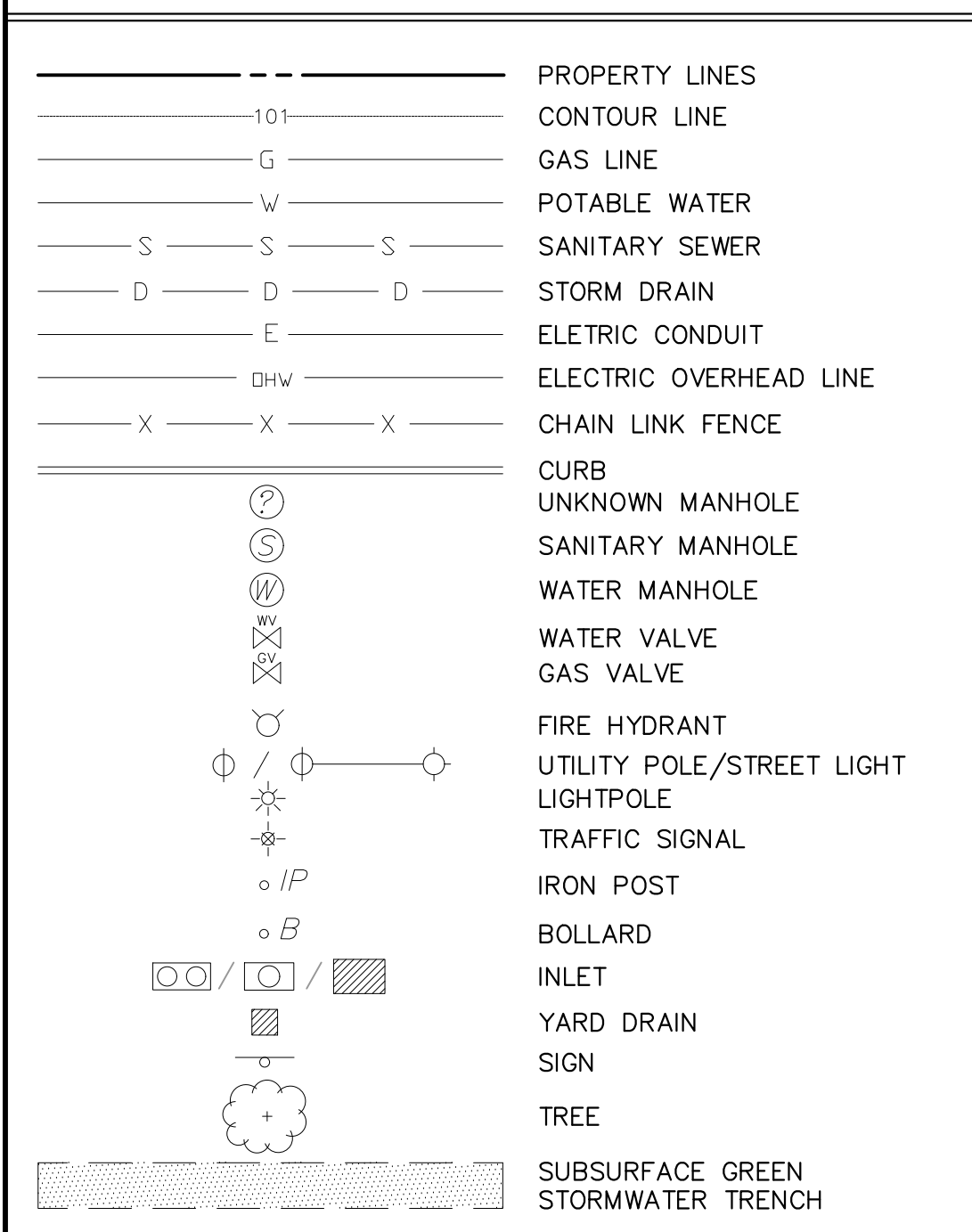
SCALE  
1" = 30'-0"

C-500

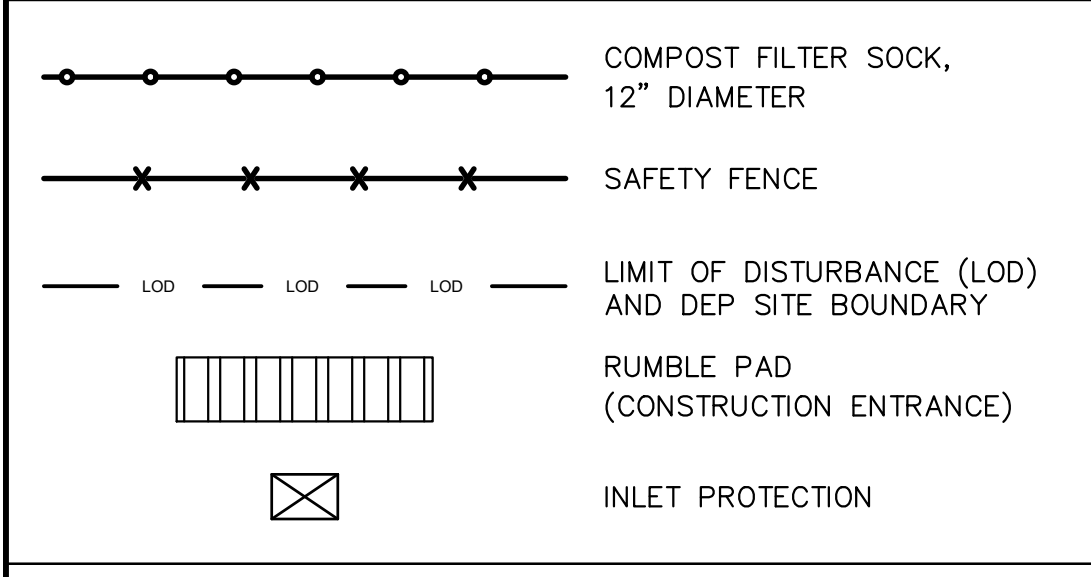
PWD TRACKING NO.: FY22-FOTT-6877-01



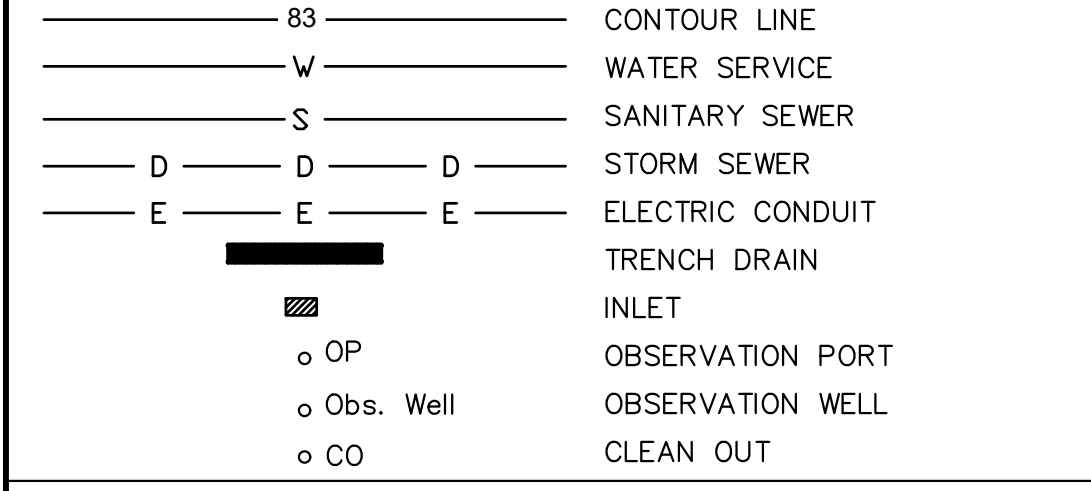
**EXISTING LEGEND**



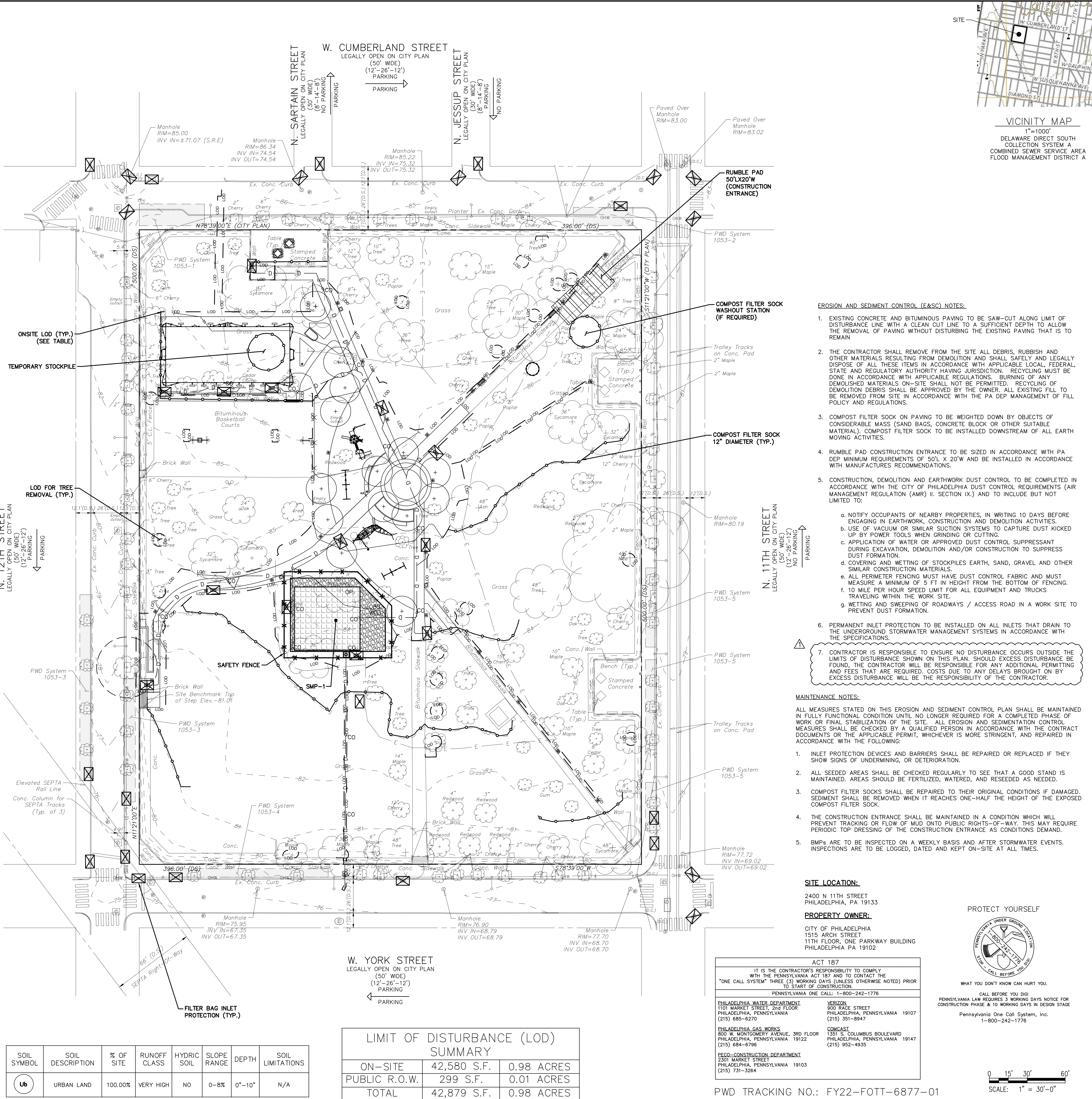
**EROSION & SEDIMENT CONTROL LEGEND**



**PROPOSED LEGEND**



- GENERAL NOTES:**
- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 2021332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
  - PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
  - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-PO-A).
  - PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.



SOIL SYMBOL	SOIL DESCRIPTION	% OF SITE	RUNOFF CLASS	HYDRIC SOIL	SLOPE RANGE	DEPTH	SOIL LIMITATIONS
Ub	URBAN LAND	100.00%	VERY HIGH	NO	0-8%	0"-10"	N/A

LIMIT OF DISTURBANCE (LOD) SUMMARY		
ON-SITE	42,580 S.F.	0.98 ACRES
PUBLIC R.O.W.	299 S.F.	0.01 ACRES
TOTAL	42,879 S.F.	0.98 ACRES

- EROSION AND SEDIMENT CONTROL (E&S) NOTES:**
- EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT ALONG LIMIT OF DISTURBANCE LINE WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN.
  - THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND SHALL SAFELY AND LEGALLY DISPOSE OF ALL THESE ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND REGULATORY AUTHORITY HAVING JURISDICTION. RECYCLING MUST BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS. BURNING OF ANY DEMOLISHED MATERIALS ON-SITE SHALL NOT BE PERMITTED. RECYCLING OF DEMOLITION DEBRIS SHALL BE APPROVED BY THE OWNER. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
  - COMPOST FILTER SOCK ON PAVING TO BE WEIGHTED DOWN BY OBJECTS OF CONSIDERABLE MASS (SAND BAGS, CONCRETE BLOCK OR OTHER SUITABLE MATERIAL). COMPOST FILTER SOCK TO BE INSTALLED DOWNSTREAM OF ALL EARTH MOVING ACTIVITIES.
  - RUMBLE PAD CONSTRUCTION ENTRANCE TO BE SIZED IN ACCORDANCE WITH PA DEP MINIMUM REQUIREMENTS OF 50' X 20' AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
  - CONSTRUCTION, DEMOLITION AND EARTHWORK DUST CONTROL TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DUST CONTROL REQUIREMENTS (AIR MANAGEMENT REGULATION (AMR) II, SECTION IX.) AND TO INCLUDE BUT NOT LIMITED TO:
    - NOTIFY OCCUPANTS OF NEARBY PROPERTIES, IN WRITING 10 DAYS BEFORE ENGAGING IN EARTHWORK, CONSTRUCTION AND DEMOLITION ACTIVITIES.
    - USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING OR CUTTING.
    - APPLICATION OF WATER OR APPROVED DUST CONTROL SUPPRESSANT DURING EXCAVATION, DEMOLITION AND/OR CONSTRUCTION TO SUPPRESS DUST FORMATION.
    - COVERING AND WETTING OF STOCKPILES EARTH, SAND, GRAVEL AND OTHER SIMILAR CONSTRUCTION MATERIALS.
    - ALL PERIMETER FENCING MUST HAVE DUST CONTROL FABRIC AND MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF FENCING.
    - 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
    - WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.
  - PERMANENT INLET PROTECTION TO BE INSTALLED ON ALL INLETS THAT DRAIN TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH THE SPECIFICATIONS.
  - CONTRACTOR IS RESPONSIBLE TO ENSURE NO DISTURBANCE OCCURS OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN. SHOULD EXCESS DISTURBANCE BE FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY ADDITIONAL PERMITTING AND FEES THAT ARE REQUIRED. COSTS DUE TO ANY DELAYS BROUGHT ON BY EXCESS DISTURBANCE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

- MAINTENANCE NOTES:**
- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
  - COMPOST FILTER SOCKS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE-HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
  - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ON TO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
  - BMPs ARE TO BE INSPECTED ON A WEEKLY BASIS AND AFTER STORMWATER EVENTS. INSPECTIONS ARE TO BE LOGGED, DATED AND KEPT ON-SITE AT ALL TIMES.

**SITE LOCATION:**  
2400 N 11TH STREET  
PHILADELPHIA, PA 19133

**PROPERTY OWNER:**  
CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PA 19102

**ACT 187**

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.

PENNSYLVANIA ONE CALL: 1-800-242-1776

PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2nd FLOOR PHILADELPHIA, PENNSYLVANIA 19107 (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935

PECO-CONSTRUCTION DEPARTMENT  
2301 MARKET STREET  
PHILADELPHIA, PENNSYLVANIA 19103  
(215) 751-3264

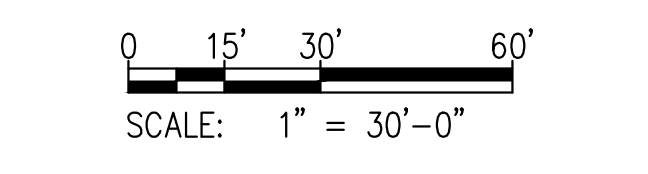
**PROTECT YOURSELF**

WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN PHASE

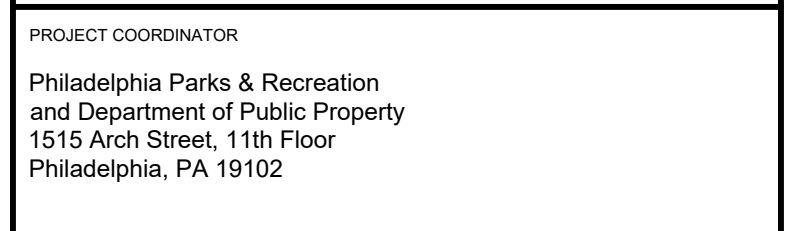
Pennsylvania One Call System, Inc.  
1-800-242-1776



PWD TRACKING NO.: FY22-FOTT-6877-01

**REVISIONS**

ISSUE	DATE	REVISIONS
1	7/15/2022	ADDENDUM 1



PROJECT COORDINATOR  
Philadelphia Parks & Recreation  
and Department of Public Property  
1515 Arch Street, 11th Floor  
Philadelphia, PA 19102

SEAL

**LANDSCAPE ARCHITECT:**  
Ground Reconsidered  
203 S. Broad Street, Suite 604  
Philadelphia, PA 19102  
www.groundreconsidered.com

**CIVIL ENGINEERS:**  
KS Engineers, P.C.  
530 Walnut St., Suite 460  
Philadelphia, PA 19106  
www.kseng.com

**STRUCTURAL ENGINEERS:**  
David Mason Associates  
123 South Broad Street, Suite 1130  
Philadelphia, PA 19109  
www.davidmason.com

**MEP ENGINEERS:**  
SRW  
37 West 39th Street, Suite 1005  
New York, NY 10018  
www.srw-eng.com

SPACE FOR CONSULTANT RECOGNITION

**CITY OF PHILADELPHIA**

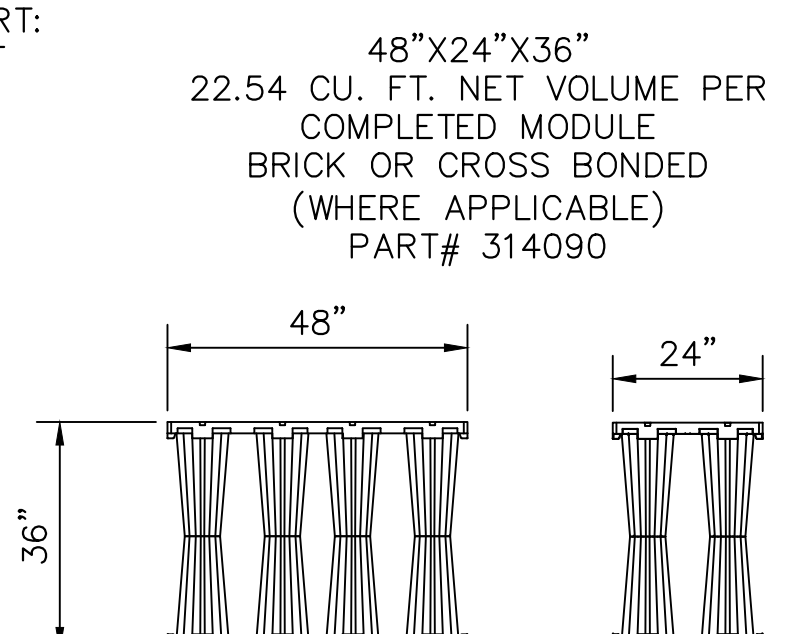
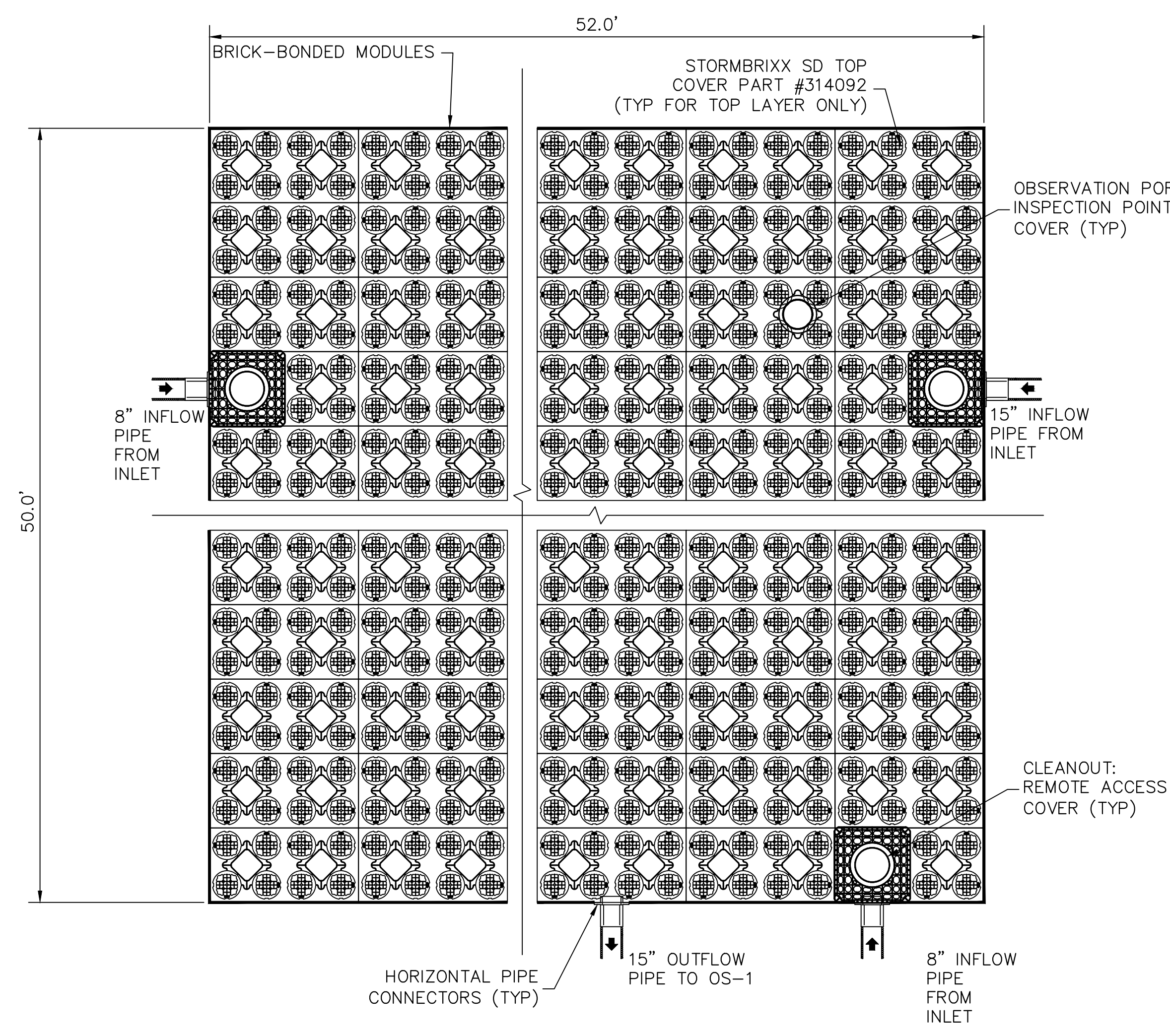
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA, PENNSYLVANIA

**PROJECT TITLE**  
FOTTERAL SQUARE RENOVATIONS

**DRAWING TITLE**  
EROSION AND SEDIMENT CONTROL PLAN

PROJECT NO.	1914.04	DRAWING NO.	C-600
DATE	6/10/2022		
SCALE	AS NOTED		
DRAWN BY	KSE		
CHECKED BY	KSE		
DATE			

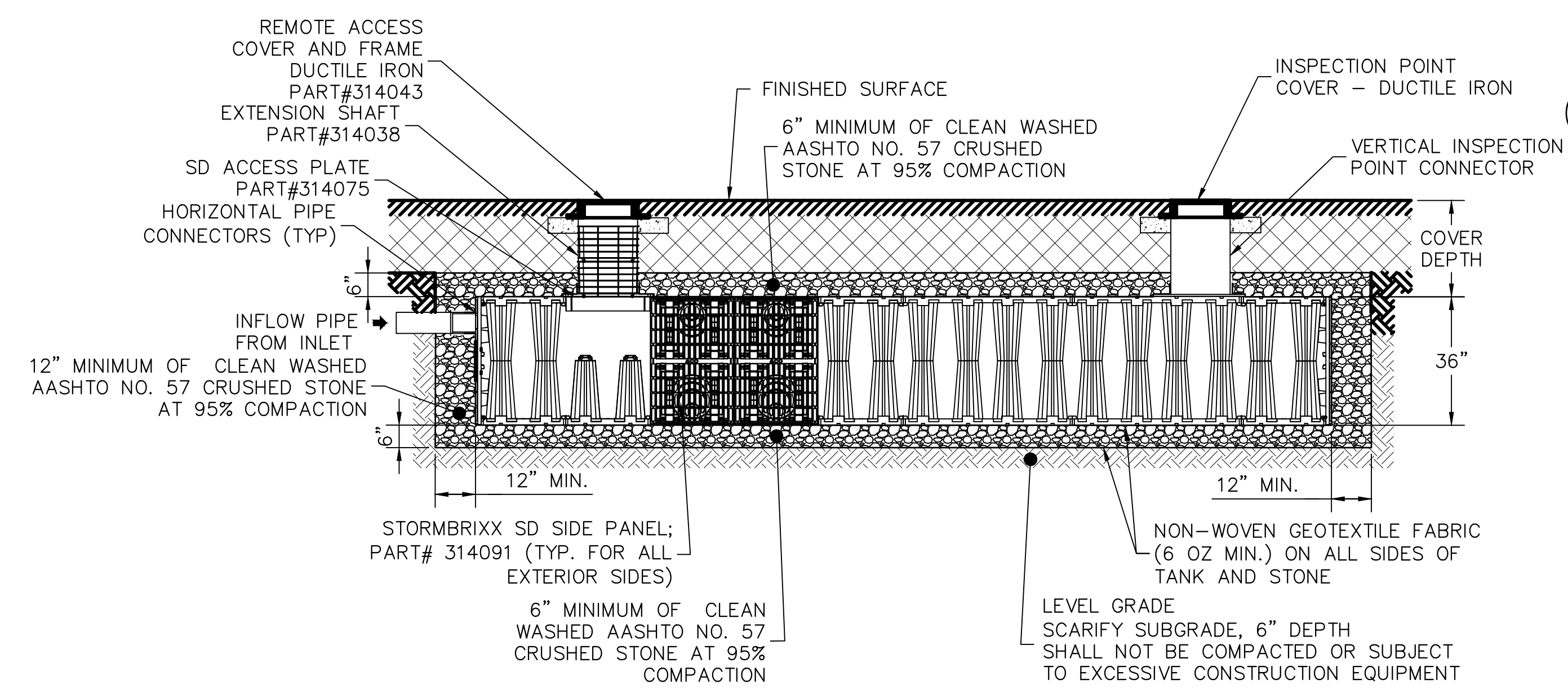




\*ALL SYSTEMS MUST BE INSTALLED TO MEET OR EXCEED ACO STORMBRIXX MINIMUM REQUIREMENTS. ACO STORMBRIXX OFFERS SUPPORT DURING THE CONSTRUCTION PHASE.

ACO STORMBRIXX SD MODULE

- NOTES:**
- GEOTEXTILE MUST CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS (AASHTO CLASS 1 OR CLASS 2 GEOTEXTILE IS RECOMMENDED):
    - GRAB TENSILE STRENGTH (ASTM-D4632):  $\geq 120$  LBS
    - MULLEN BURST STRENGTH (ASTM-D3786):  $\geq 225$  PSI
    - FLOW RATE (ASTM-D4491):  $\geq 95$  GAL/MIN/FT<sup>2</sup>
    - UV RESISTANCE AFTER 500 HRS (ASTM-D4355):  $\geq 70\%$
    - HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED
  - STORAGE PIPES:
    - PIPE USED WITHIN THE SUBSURFACE INFILTRATION SMP MUST BE CONTINUOUSLY PERFORATED AND HAVE A SMOOTH INTERIOR WITH A MINIMUM INNER DIAMETER OF FOUR INCHES.
    - HIGH-DENSITY POLYETHYLENE (HDPE) PIPE MUST MEET THE SPECIFICATIONS OF AASHTO M252, TYPE S OR AASHTO M294, TYPE S.
    - ANY PIPE MATERIALS OUTSIDE THE SMP ARE TO MEET CITY PLUMBING CODE STANDARDS.
  - STONE SHALL BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. CLEAN-WASHED STONE IS DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION.



SECTION PROFILE

**STORMWATER MANAGEMENT MODULE DETAILS**  
SCALE: N.T.S.

REVISIONS		
ISSUE	DATE	REVISIONS
1	7/15/2022	ADDENDUM 1



PROJECT COORDINATOR  
Philadelphia Parks & Recreation  
and Department of Public Property  
1515 Arch Street, 11th Floor  
Philadelphia, PA 19102

SPACE FOR CONSULTANT RECOGNITION

**LANDSCAPE ARCHITECT:**  
Ground Reconsidered  
203 S. Broad Street, Suite 604  
Philadelphia, PA 19102  
www.groundreconsidered.com

**CIVIL ENGINEERS:**  
KS Engineers, P.C.  
530 Walnut St., Suite 460  
Philadelphia, PA 19106  
www.kseng.com

**STRUCTURAL ENGINEERS:**  
David Mason Associates  
123 South Broad Street, Suite 1130  
Philadelphia, PA 19109  
www.davidmason.com

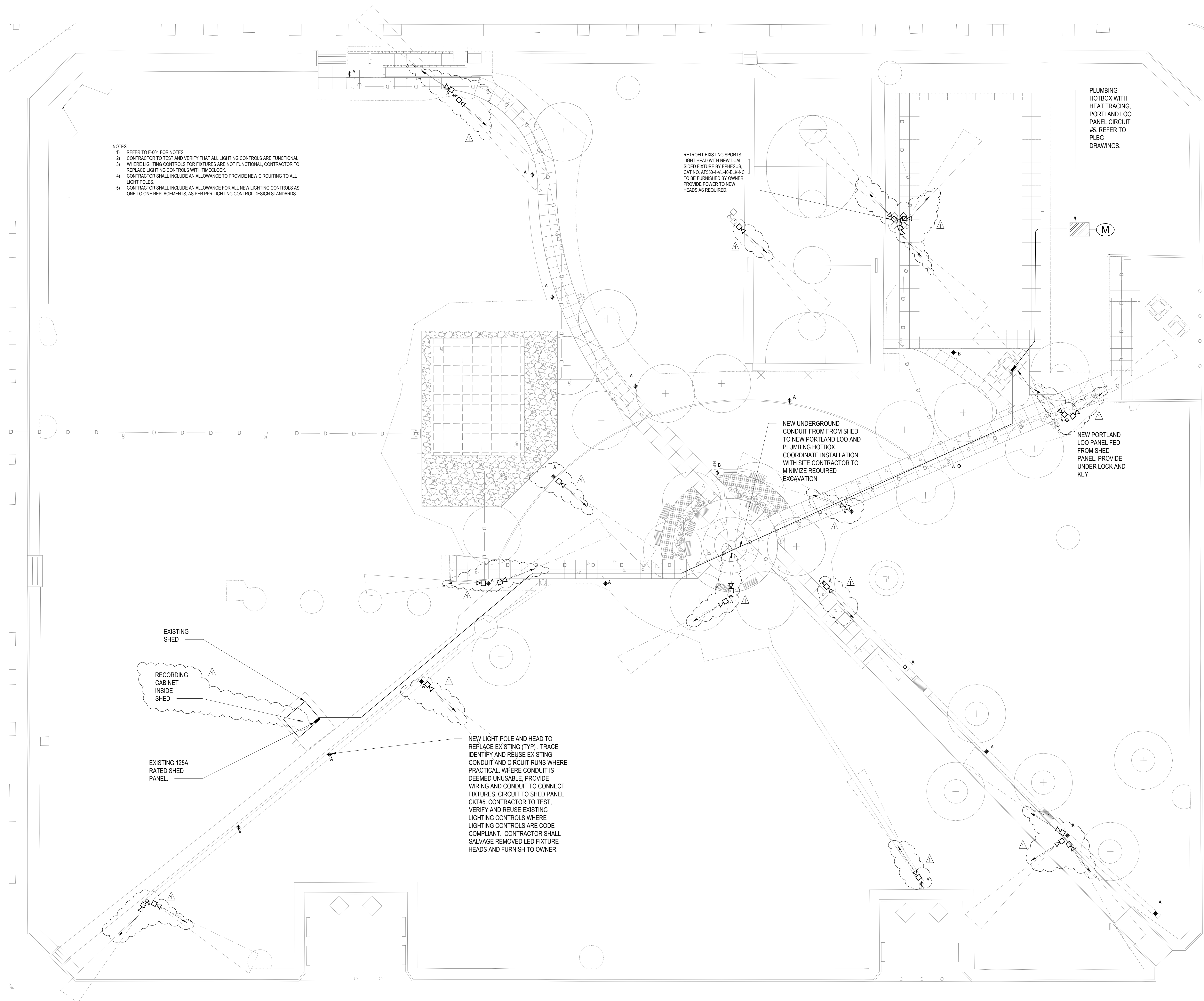
**MEP ENGINEERS:**  
SRW  
37 West 39th Street, Suite 1005  
New York, NY 10018  
www.srw-eng.com

**CITY OF PHILADELPHIA**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA, PENNSYLVANIA

**PROJECT TITLE**  
FOTTERAL SQUARE RENOVATIONS

**DRAWING TITLE**  
UTILITY DETAILS (3)

PROJECT NO. 1914.04	DRAWING NO. C-702
DATE 6/10/2022	
SCALE AS NOTED	
DRAWN BY KSE	
CHECKED BY KSE	



- NOTES:
- 1) REFER TO E-001 FOR NOTES.
  - 2) CONTRACTOR TO TEST AND VERIFY THAT ALL LIGHTING CONTROLS ARE FUNCTIONAL WHERE LIGHTING CONTROLS FOR FIXTURES ARE NOT FUNCTIONAL. CONTRACTOR TO REPLACE LIGHTING CONTROLS WITH TIMELOCK.
  - 3) CONTRACTOR SHALL INCLUDE AN ALLOWANCE TO PROVIDE NEW CIRCUITING TO ALL LIGHT POLES.
  - 4) CONTRACTOR SHALL INCLUDE AN ALLOWANCE FOR ALL NEW LIGHTING CONTROLS AS ONE TO ONE REPLACEMENTS, AS PER PRR LIGHTING CONTROL DESIGN STANDARDS.

RETROFIT EXISTING SPORTS LIGHT HEAD WITH NEW DUAL SIDED FIXTURE BY EPHEUSUS. CAT NO. AF588-4-1L-40-BLK-NC TO BE FURNISHED BY OWNER. PROVIDE POWER TO NEW HEADS AS REQUIRED.

PLUMBING HOTBOX WITH HEAT TRACING, PORTLAND LOO PANEL CIRCUIT #6. REFER TO PLBG DRAWINGS.

NEW UNDERGROUND CONDUIT FROM SHED TO NEW PORTLAND LOO AND PLUMBING HOTBOX. COORDINATE INSTALLATION WITH SITE CONTRACTOR TO MINIMIZE REQUIRED EXCAVATION

NEW PORTLAND LOO PANEL FED FROM SHED PANEL. PROVIDE UNDER LOCK AND KEY.

NEW LIGHT POLE AND HEAD TO REPLACE EXISTING (TYP). TRACE, IDENTIFY AND REUSE EXISTING CONDUIT AND CIRCUIT RUNS WHERE PRACTICAL. WHERE CONDUIT IS DEEMED UNUSABLE, PROVIDE WIRING AND CONDUIT TO CONNECT FIXTURES. CIRCUIT TO SHED PANEL CKT#6. CONTRACTOR TO TEST, VERIFY AND REUSE EXISTING LIGHTING CONTROLS WHERE LIGHTING CONTROLS ARE CODE COMPLIANT. CONTRACTOR SHALL SALVAGE REMOVED LED FIXTURE HEADS AND FURNISH TO OWNER.

EXISTING SHED

RECORDING CABINET INSIDE SHED

EXISTING 125A RATED SHED PANEL

**ELECTRICAL SITE PLAN**  
SCALE: 1/16"=1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS
1	7/15/2022	ADDENDUM 01



PROJECT COORDINATOR  
Philadelphia Parks & Recreation  
and Department of Public Property  
1515 Arch Street, 11th Floor  
Philadelphia, PA 19102

SEAL

SPACE FOR CONSULTANT RECOGNITION

**LANDSCAPE ARCHITECT:**  
Ground Reconsidered  
203 S. Broad Street, Suite 604  
Philadelphia PA 19102  
www.groundreconsidered.com

**CIVIL ENGINEERS:**  
KSE Engineering  
530 Walnut St., Suite 640  
Philadelphia, PA 19106  
www.kseng.com

**STRUCTURAL ENGINEERS:**  
David Mason Associates  
123 South Broad Street, Suite 1130  
Philadelphia PA 19109  
www.davidmason.com

**MEP ENGINEERS:**  
SRW  
37 West 39th Street, Suite 1005  
New York, NY 10018  
www.srw-eng.com

**CITY OF PHILADELPHIA**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA, PENNSYLVANIA 19102

PROJECT TITLE  
**FOTTERAL SQUARE RENOVATIONS**

DRAWING TITLE  
**ELECTRICAL SITE PLAN**

PROJECT NO. <b>2020-513</b>	DRAWING NO. <b>E-200</b>
DATE <b>6/10/2022</b>	
SCALE <b>AS NOTED</b>	
DRAWN BY <b>MS</b>	
CHECKED BY <b>JB</b>	

NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS.