

FISHTOWN HOCKEY RINK

1302-32 E. MONTGOMERY AVENUE
PHILADELPHIA, PA 19125



1515 ARCH STREET, 10TH FLOOR
PHILADELPHIA PA 19122



LIST OF ABBREVIATIONS

| | | |
|--------------------------------|---|-------------------------------------|
| AB ANCHOR BOLT | GA GALVANIZED | S SOUTH |
| ABU ADJUSTABLE | GALV GROUND FAULT CIRCUIT | SC SOLID CORE |
| ADJ ABOVE FINISHED FLOOR | GFCI GROUND FAULT CIRCUIT | SECT SECTION |
| AHU AIR HANDLING UNIT | GL GLASS | SF SQUARE FEET |
| ALUM ALUMINUM | GR GROUND | SFRM SPRAY FIRE RESISTIVE |
| ALT ALTERNATE | GYP GYPSUM | SPEC SPECIFICATION |
| APPROX APPROXIMATE | HB HOSE BIB | SPI SINGLE PLY MEMBRANE |
| ARCH ARCHITECTURAL | HC HOLLOW CORE | SO SQUARE |
| | HDW HARDWARE | SS STAINLESS STEEL |
| BD BOARD | HDWM HOLLOW METAL | STA STATION |
| BTUM BUTTUMS | HR HORIZONTAL | STD STANDARD |
| BS BOTH SIDES | HP HIGH POINT | SHT SHEET |
| BLDG BUILDING | HR HOUR | STL STEEL |
| BLKG BLOCKING | HRS HOURS | STOR STORAGE |
| BSM BEARING | HT HORIZONTAL STRUCTURAL | STRUCT STRUCTURAL |
| BN BETWEEN | HT HORIZONTAL | SUSP SUSPENDED |
| BSMB BEARING | HT HORIZONTAL | SYM SYMMETRICAL |
| BSMT BASEMENT | ID INSIDE DIAMETER | |
| BUR BUILD UP ROOF | IN INCHES | T TREAD |
| BW BOTH WAYS | INSUL INSULATION | T&G TONGUE & GROOVE |
| | INT INTERIOR | TEL TELEPHONE |
| CAB CABINET | JAN JANITOR | THR THICK |
| CB CATCH BASIN | JST JOIST | TOC TOP OF CONCRETE |
| CDTV CLOSED CIRCUIT TELEVISION | JT JOINT | TOM TOP OF MASONRY |
| CEM CEMENT | LAB LABORATORY | TOS TOP OF (IS/ELU) SLAB |
| CF/CI CONTRACTOR FURNISHED | LAM LAMINATE | TOW TOP OF WALL |
| CF/OI CONTRACTOR FURNISHED | LAV LAVATORY | TPO THERMOPLASTIC POLYOLEFIN |
| CI OWNER INSTALL | LP LOW POINT | TYP TYPICAL |
| CIIP CAST IRON | LTH LONG TERM THERMAL RESISTANCE | UNO UNLESS NOTED OTHERWISE |
| CLG CEILING | LLR LONG LEG HORIZONTAL | VAN VANITY |
| CLR CLEAR | LVL LAMINATED VENEER LUMBER | VERT VERTICAL |
| CFM COLD FORM METAL | LT LIGHT | VEST VESTIBULE |
| CMU CONCRETE MASONRY UNIT | | VF VERIFY IN FIELD |
| COL COLUMN | | W WEST |
| CONC CONCRETE | MAX MASONRY | W/O WITHOUT |
| CONT CONTINUOUS | MOF MEDIUM DENSITY FIBERBOARD | W/ WITH |
| COV COVER | MECH MECHANICAL | WC WATER CLOSET |
| CSP CARPET | MEP MECHANICAL ELECTRICAL PLUMBING | WC/WALK-IN CLOSET |
| CT CERAMIC TILE | MFR MINIMUM | WP WORKING POINT |
| | MIS MISCELLANEOUS | W/ WEIGHT |
| | MISC MASONRY OPENING | W/WF WELDED WIRE FABRIC |
| | MOD MODIFIED BITUMINOUS | XPS EXTRUDED POLYSTYRENE INSULATION |
| | MODB MODIFIABLE THRESHOLD | |
| | MT MOUNTED | |
| | MTD METAL | |
| | MUL MILLION | |
| | MEZZ MEZZANINE | |
| | MTL METAL | |
| | N NORTH | |
| | NA NOT APPLICABLE | |
| | NIC NOT IN CONTRACT | |
| | NO NUMBER | |
| | NOM NOMINAL | |
| | NTS NOT TO SCALE | |
| | OC ON CENTER | |
| | OC (OCCUPANTS) | |
| | OC OUTSIDE DIAMETER | |
| | OF/CI OWNER FURNISHED/ CONTRACTOR INSTALLED | |
| | OCI OWNER FURNISHED/ CONTRACTOR INSTALLED | |
| | OFF OFFICE | |
| | OH OVERHEAD HAND | |
| | OP OPENING | |
| | OPP OPPOSITE | |
| | OSB ORIENTED STRAND BOARD | |
| | PCC PRECAST CONCRETE | |
| | PCFS PERIMETER FIRE CONTAINMENT SYSTEM | |
| | PL PLATE | |
| | PLAM PLASTIC LAMINATE | |
| | PLWD PLYWOOD | |
| | PR PAIR | |
| | PRS POUNDS PER SQUARE FOOT | |
| | PSL PARALLEL STRAND LUMBER | |
| | PSI POUNDS PER SQUARE INCH | |
| | PTD PAINTED | |
| | PVMT PAVEMENT | |
| | R RISER OR RADIUS | |
| | RD ROOF DRAIN | |
| | REF REFERENCE | |
| | REFR REFRIGERATOR | |
| | REIN REINFORCING | |
| | REQ REQUIRED | |
| | RES RESILIENT | |
| | RM ROOM | |
| | RO ROUGH OPENING | |
| | RR ROOF RATHERS | |
| | RWC RAIN WATER CONDUCTOR | |

TENANT PROTECTION

OCCUPANCY: THE STRUCTURE WILL NOT BE OCCUPIED DURING THE COURSE OF THE WORK.

- EGRESS: PROPOSED WORK SHALL NOT IMPACT EXISTING EGRESS FACILITIES FROM FLOOR OR SHALL CONSTRUCTION OPERATIONS BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE ADJACENT BUILDING. AT ALL TIMES IN THE COURSE OF WORK PROVISION SHALL BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY CODE AND REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHERE APPROVED BY THE COMMISSIONER.
- FIRE SAFETY: ALL NECESSARY LAWS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLINGS SHALL BE STRICTLY OBSERVED.
- HEALTH REQUIREMENTS: CONSTRUCTION WORK WILL BE CONFINED TO THE OUTDOORS AND WILL NOT CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCE WITHIN THE BUILDING. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS.
- STRUCTURAL SAFETY: NO STRUCTURAL WORK SHALL BE DONE THAT MAY ENDANGER THE USERS.
- CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 7 a.m. TO 3 p.m., MONDAY THROUGH FRIDAY, EXCEPT LEGAL HOLIDAYS.

GENERAL NOTES

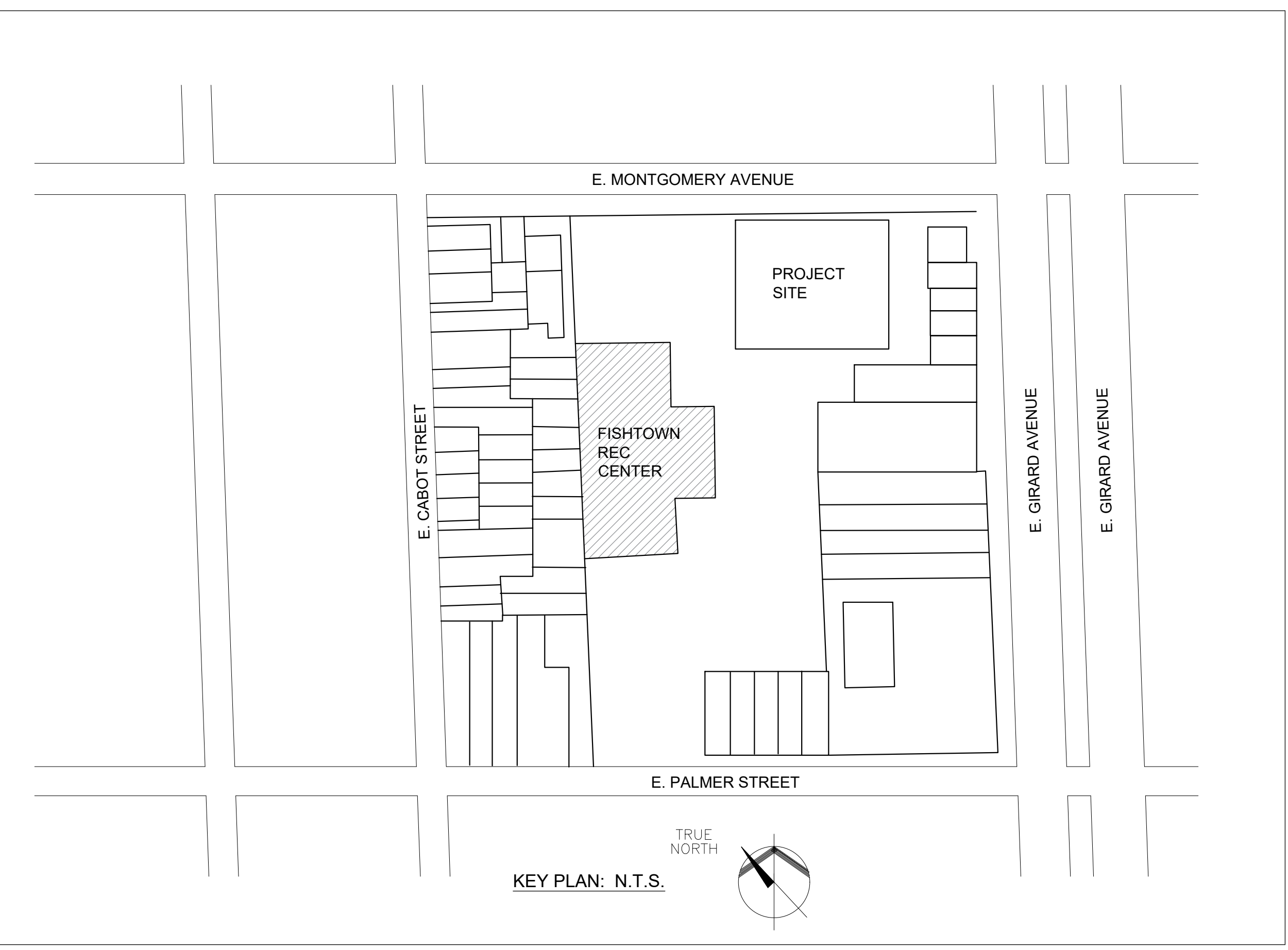
- CONSTRUCTION SHOWN AND SPECIFIED SHALL CONFORM TO ALL CODES, REGULATIONS, AND ORDINANCES OF FEDERAL, STATE, AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT AND, IN THE EVENT OF CONFLICT, SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN AND SPECIFIED ON THESE NOTES, SPECIFICATIONS OR DRAWINGS.
- ALL CONSTRUCTION SHALL BE OF GOOD QUALITY AND FREE FROM FAULTS AND DEFECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, AND SEQUENCES REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AND OBTAIN RESOLUTION IN WRITING OF ANY CONFLICTS, DISCREPANCIES OR DEVIATIONS BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE DRAWINGS WERE PREPARED BY THE ARCHITECT/ENGINEER BY VISUAL ASSESSMENT OF THE SITE AND STRUCTURES (IF ANY). ONLY OBSERVATION OF GENERAL BUILDING AND SITE CONDITIONS AND EXISTING UTILITIES WERE PERFORMED. NO INTRUSIVE PROCEDURES WERE PERFORMED. CONCEALED AND INACCESSIBLE AREAS WERE NOT ASSESSED. THIS CONSTRUCTION DOCUMENT SET REFERENCES THE EXISTING CONDITIONS PLAN, V.I. BY RODRIGUEZ, DATED 3/20/20. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR ADDITIONAL COSTS INCURRED AS A RESULT OF FORMERLY HIDDEN CONDITIONS UNCOVERED DURING CONSTRUCTION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, CONSTRUCTION METHODS, AND SAFETY AND SECURITY AT THE PROJECT SITE. THE OWNER AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ARCHITECT, HIS AGENTS, AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING LEGAL FEES, ARISING OUT OF OR RESULTING FROM WORK PERFORMED BY THE CONTRACTOR.
- MODIFICATIONS TO THE DRAWINGS BY THE OWNER OR THE CONTRACTOR SHALL NOT BE MADE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT/ENGINEER. ANY MODIFICATIONS MADE WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION SHALL BE THE SOLE RESPONSIBILITY OF THE PARTY ENACTING SUCH MODIFICATIONS.
- ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE TO ADHERE TO THE REQUIREMENTS AS SHOWN IN ALL NOTES, SPECIFICATIONS, AND DRAWINGS. ALL PARTIES MUST CAREFULLY STUDY ALL NOTES, SPECIFICATIONS, AND DRAWINGS FOR ALL ITEMS WHICH MAY PERTAIN TO THEIR TRADES. FAILURE TO READ THE NOTES, SPECIFICATIONS, AND DRAWINGS DOES NOT PERMIT ANY CONTRACTOR TO DEVIATE FROM THEIR REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A FULL SET OF DRAWINGS TO ALL CONTRACTORS AND SUBCONTRACTORS. ALL CONTRACTORS AND SUBCONTRACTORS SHALL WORK WITH A FULL SET OF DRAWINGS, INCLUDING THOSE WITH ITEMS ESTABLISHED AND DESIGNED BY OTHERS (THAN THE ARCHITECT).
- THE FOLLOWING, UNLESS PROVIDED FOR IN THESE DRAWINGS, ARE TO BE FURNISHED BY THE OWNER.
 - STANDARDS OF QUALITY AND ACCEPTABLE MANUFACTURERS FOR PREFABRICATED ITEMS.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, FEES, TEST, AND SERVICES FROM ALL FEDERAL, STATE AND/OR LOCAL AUTHORITIES HAVING JURISDICTION TO CONSTRUCT AND OCCUPY THIS PROJECT AND SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY AT ITS COMPLETION. THE ARCHITECT IS TO OBTAIN THE UTILITY PLAN PERMIT APPROVAL.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES AND SAFETY PRECAUTIONS AND STRICTLY ADHERE TO LOCAL, STATE, AND OSHA SAFETY REQUIREMENTS.
 - THE CONTRACTOR SHALL PROTECT ALL WORK (NEW AND EXISTING) FROM DAMAGE. THE CONTRACTOR SHALL REPAIR ANY DAMAGED WORK AT NO ADDITIONAL COST TO THE OWNER.
 - ALL CONTRACTORS AND SUBCONTRACTORS SHALL MAINTAIN CONTRACTOR'S LIABILITY, PROPERTY DAMAGE, AND WORKER'S COMPENSATION INSURANCE.

CONSTRUCTION NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL AND MUNICIPAL BUILDING CODES AS WELL AS ANY AND ALL REGULATORY AGENCIES INCLUDING BUT NOT LIMITED TO OSHA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION AND AS ANTICIPATED OR INFERRED PRIOR TO PRICING AND BIDDING. THE ARCHITECT/ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ALL WORK.
- ALL WORK WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON DRAWINGS.
- DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS GOVERN.
- ALL WORK IS TO CONFORM TO THE DRAWINGS AND SPECIFICATIONS AND SHALL BE NEW AND BEST QUALITY OF THE KINDS SPECIFIED.
- OWNER RESERVES THE RIGHT TO HIRE OTHER CONTRACTS IN CONNECTION WITH THE WORK OF THE PROJECT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK AND ESTABLISHING SCHEDULES FOR ALL TRADES. HE SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE PRODUCTION AND STORAGE OF THEIR MATERIALS AND EQUIPMENT AND THE EXECUTION OF THEIR WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE MANUFACTURER'S INSTRUCTIONS, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
- EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING HIS WORK AS APPLICABLE WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN SUBCONTRACTOR'S COSTS SAME SHALL APPLY TO GENERAL CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO OWNER FOR REVIEW AND APPROVAL. NO WORK SHALL PROCEED UNTIL A SIGNED PROPOSAL IS RETURNED TO THE GENERAL CONTRACTOR.
- ALL WORKMEN PERFORMING UNDER THIS WORK SHALL BE SKILLED WORKMEN IN THEIR RESPECTIVE TRADES.
- UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION. (AA DOCUMENT #2-704)
- GENERAL CONTRACTOR IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPAGE, AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR THE DELIVERY AND INSTALLATION OF CARPET, WOODWORK, FURNITURE, EQUIPMENT, OR OTHER TRADES EMPLOYED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN AN OPERATING CELL PHONE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION.
- GENERAL CONTRACTOR MUST PROVIDE AND ASSUME ALL COST ASSOCIATED WITH SCHEDULING INSPECTIONS FROM ALL JURISDICTIONS HAVING AUTHORITY AND CORRECTING ANY DISCREPANCY/CONSTRUCTION ERRORS.
- GENERAL CONTRACTOR MUST PROVIDE AND ASSUME ALL COST INCLUDING ANY OVERTIME, TO MEET THE REQUIREMENTS OF THE SCHEDULE WHICH IS SUBMITTED AND PART OF THE CONTRACT DOCUMENTS.
- G.C. SHALL BE RESPONSIBLE TO PICK UP THE BUILDING PERMIT AT THE PLANNING/ZONING OFFICES AND PAY ALL OUTSTANDING FEES.
- FIRE EXTINGUISHERS MUST BE KEPT AT THE JOB SITE DURING CONSTRUCTION.
- G.C. SHALL BE RESPONSIBLE FOR ALL COST INCURRED FOR DAMAGES BY HIS CONTRACTORS.
- G.C. SHALL HAVE A COMPETENT SUPERINTENDENT ON THE PREMISES AT ALL TIMES WHEN WORK IS IN PROGRESS.

APPLICABLE CODES:

REFERENCE CODE INFORMATION SHEET ON SHEET C-2



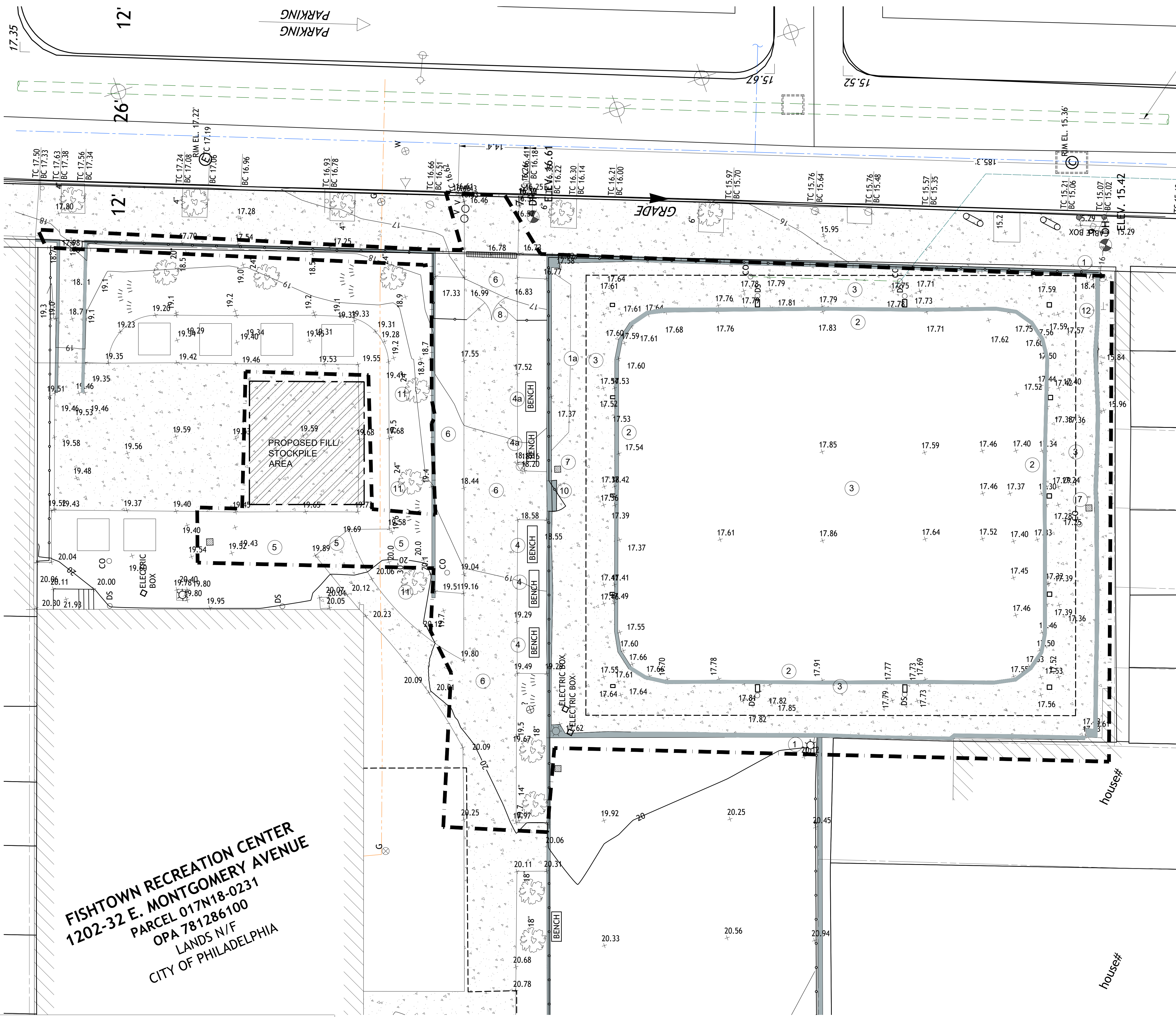
| | |
|-----------------------------|---|
| DRAWING LIST: | SITE PLUMBING: |
| C-1 COVER SHEET | PD-100 PLUMBING - DEMOLITION SITE PLAN |
| C-2 CODE SHEET | P101 PLUMBING - NEW WORK SITE PLAN |
| | P102 PLUMBING - CONSTRUCTION DETAILS |
| | P103 PLUMBING - STORM WATER PROFILE |
| CIVIL: | ELECTRICAL: |
| C001 EXISTING GRADING PLAN | E100 ELECTRICAL PLAN, NOTES AND SCHEDULES |
| C002 NEW GRADING PLAN | E101 ELECTRICAL SPECIFICATIONS |
| C003 SITE DETAILS | E102 ELECTRICAL SPECIFICATIONS |
| C004 SITE DETAILS | |
| SITE ARCHITECTURAL: | |
| S100 NEW WORK PLAN | |
| S101 ENLARGED SIDEWALK PLAN | |
| S102 FOUNDATION PLAN | |
| S103 STAIR DETAILS | |

APPROVALS

"THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES."

CD SET 6/17/2022 - NOT FOR CONSTRUCTION

| ISSUE REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>COPIES</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>6/11/22</td> <td></td> <td>100 % CD SET ISSUED TO REBUILD / PRA</td> <td></td> </tr> <tr> <td>7/12/21</td> <td></td> <td>ISSUED TO REBUILD FOR REVIEW</td> <td></td> </tr> <tr> <td>4/21/21</td> <td></td> <td>RESPONSE TO REBUILD COMMENTS</td> <td></td> </tr> <tr> <td>3/29/21</td> <td></td> <td>ISSUED TO OWNER FOR REVIEW/PRICING</td> <td></td> </tr> </tbody> </table> | NO. | DATE | COPIES | DESCRIPTION | 6/11/22 | | 100 % CD SET ISSUED TO REBUILD / PRA | | 7/12/21 | | ISSUED TO REBUILD FOR REVIEW | | 4/21/21 | | RESPONSE TO REBUILD COMMENTS | | 3/29/21 | | ISSUED TO OWNER FOR REVIEW/PRICING | | <table border="1"> <tr> <td rowspan="2"> </td> <td> SABIR, RICHARDSON & WEISBERG ENGINEERING & ARCHITECTURE NEW YORK: 37 WEST 39TH STREET, SUITE 1005, NEW YORK, NY 10018, PHONE: 646-863-6160 NEW JERSEY: 531 HILLGROVE, SPARKLEVILLE, NJ 08881, PHONE: 908-310-5009 PENNSYLVANIA: 417 N. 48TH STREET, SUITE 204, PHILADELPHIA, PA 19122, PHONE: 267-385-2812 EMAIL: INFO@SRW-ENG.COM, WWW.SRW-ENG.COM </td> </tr> <tr> <td> Design Firm: License Information: Copy: E.A. Sabir PA SA #RA009001, Copy: E.A. Sabir PA PE #PE071604, PA Certification of Authorization #A0014475 </td> </tr> </table> | | SABIR, RICHARDSON & WEISBERG ENGINEERING & ARCHITECTURE NEW YORK: 37 WEST 39TH STREET, SUITE 1005, NEW YORK, NY 10018, PHONE: 646-863-6160 NEW JERSEY: 531 HILLGROVE, SPARKLEVILLE, NJ 08881, PHONE: 908-310-5009 PENNSYLVANIA: 417 N. 48TH STREET, SUITE 204, PHILADELPHIA, PA 19122, PHONE: 267-385-2812 EMAIL: INFO@SRW-ENG.COM, WWW.SRW-ENG.COM | Design Firm: License Information: Copy: E.A. Sabir PA SA #RA009001, Copy: E.A. Sabir PA PE #PE071604, PA Certification of Authorization #A0014475 | CLIENTS: | PROJECT: | <table border="1"> <tr> <td>PROJECT NUMBER 2020-501</td> <td rowspan="2">COVER SHEET</td> </tr> <tr> <td>SCALE NO SCALE</td> </tr> <tr> <td>DATE 08/14/2020</td> <td rowspan="2"> FISHTOWN HOCKEY RINK 1202-32 E. MONTGOMERY AVENUE PHILADELPHIA, PA 19125 </td> </tr> <tr> <td>PROJECT MANAGER</td> </tr> <tr> <td>PROJECT ARCHITECT CS</td> <td rowspan="2"> SHEET X OF X C-1 </td> </tr> <tr> <td>DRAWN BY MM</td> </tr> <tr> <td>CHECKED BY CS</td> <td></td> </tr> <tr> <td>CADD FILE</td> <td></td> </tr> </table> | PROJECT NUMBER 2020-501 | COVER SHEET | SCALE NO SCALE | DATE 08/14/2020 | FISHTOWN HOCKEY RINK 1202-32 E. MONTGOMERY AVENUE PHILADELPHIA, PA 19125 | PROJECT MANAGER | PROJECT ARCHITECT CS | SHEET X OF X C-1 | DRAWN BY MM | CHECKED BY CS | | CADD FILE | |
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| DRAWN BY MM | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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FISHTOWN RECREATION CENTER
1202-32 E. MONTGOMERY AVENUE
PARCEL 017N18-0231
OPA 781286100
LANDS N/F
CITY OF PHILADELPHIA

DEMOLITION KEY NOTES

| | |
|----|--|
| 1 | REMOVE CHAINLINK FENCE AND POST WHERE INDICATED FOR STAIRRAMP OPENING. |
| 1a | REMOVE CHAINLINK AND POSTS FOR CONSTRUCTION SITE ACCESS FOR EQUIPMENT. LOCATION TBD. |
| 2 | REMOVE EXISTING DASHBOARDS. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. |
| 3 | CONCRETE SLAB TO BE EXCAVATED. CUT CONCRETE TO EXPOSE COLUMN FOOTINGS AND EXISTING PIPING. |
| 4 | REMOVE BENCH SLATS. SALVAGE/PROTECT BASE IN PLACE. |
| 4a | REMOVE BENCH SLATS. REMOVE AND SALVAGE BENCH BASE. |
| 5 | REMOVE SIDEWALK ASPHALT WHERE INDICATED. REMOVAL TO BE TO THE ADJACENT EXISTING CONCRETE BREAK. COORDINATE IN FIELD. |
| 6 | REMOVE CONCRETE. AND EXCAVATE THIS AREA TO EXISTING PIPING. |
| 7 | REMOVE EXISTING STORM DRAINS. REFER TO PLUMBING DRAWINGS. |
| 8 | REMOVE ENTRANCE GATE. |
| 9 | REMOVE TRENCH DRAIN. REFER TO PLUMBING DRAWINGS. |
| 10 | REMOVE CONCRETE STEP. |
| 11 | PROTECT EXISTING TREE. |
| 12 | REMOVE CONCRETE. EXCAVATE TO PREPARE FOR NEW RAMP THIS AREA. |

LEGEND

| | |
|-------------------|--|
| X | DEMOLITION MARKER |
| 17.61 | EXISTING SPOT ELEVATION |
| BENCH | EXISTING BENCH |
| --- (dashed line) | EXTENT OF PROJECT WORK |
| ▨ (hatched area) | DESIGNATED STOCK PILE AREA FOR RINK EXCAVATION |

1. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF PHILADELPHIA CODES AND STANDARDS
2. THE CITY SHALL BE NOTIFIED PRIOR TO ANY CONSTRUCTION WORK.
3. LOCATION OF ALL WATER VALVES, MANHOLES, AND CLEANOUTS MUST BE REFERENCED AT ALL TIMES THROUGHOUT CONSTRUCTION AND MADE AVAILABLE TO THE WATER AND WASTEWATER DIVISION.
4. NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT, AND SIDEWALKS HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS AND ALL SURVEY MONUMENTS ARE INSTALLED ACCORDING TO THE PLANS.
5. ALL ON-SITE UTILITIES AND DETAILS SHOWN IN THESE PLANS ARE FOR REFERENCE ONLY AND ARE NOT APPROVED ON THESE DRAWINGS. SEE PLANS THAT ARE APPROVED BY BUILDING SAFETY FOR ON-SITE UTILITIES.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OR RELOCATION OF ALL OBSTRUCTIONS WITHIN THE RIGHT OF WAY PRIOR TO STARTING NEW CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING THE RELOCATION OF ALL UTILITIES.
8. THE CONTRACTOR SHALL BARRICADE CONSTRUCTION SITES AT ALL TIMES.
9. ALL CITY FACILITIES, ALLEYS AND ROADWAY SURFACES DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED/RESTORED TO THE SATISFACTION OF THE CITY AND AT THE EXPENSE OF THE CONTRACTOR.

- DEMOLITION NOTES**
1. IT IS THE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR TO COORDINATE ALL WORK WITHIN THIS PROJECT SCOPE WITH THE GENERAL CONTRACTOR AND OTHER TRADES PRIOR TO WORK. CONTRACTOR IS TO BECOME FAMILIAR WITH THE LOCATIONS OF ALL UNDERGROUND SERVICES AND IMPROVEMENTS.
 2. CONTRACTOR SHALL BE ADDITIONALLY RESPONSIBLE FOR STOCKPILING MATERIALS WHERE NOTED AND REMOVING ALL OTHER OFF SITE. SEE PLUMBING AND CIVIL ENGINEERING PLANS FOR ADDITIONAL INFORMATION.
 3. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS BEFORE CONSTRUCTION.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING GRADES AS ESTABLISHED BY THE PROJECT ENGINEER. RUNOFF AND DRAINAGE FLOWS SHALL NOT BE ALTERED OR IMPEDED. SEE CIVIL PLANS IN THIS SET.
 5. RESTORE ALL EXISTING LANDSCAPE AREAS OR SITE FEATURES TO REMAIN WHICH ARE DISTURBED BY ANY CONSTRUCTION ACTIVITY UNDER THIS CONTRACT. INCLUDE ALL LANDSCAPE AREAS OR FEATURES DISTURBED AS A RESULT OF GRADING, UTILITY TRAFFIC OR OTHER DISTURBANCE OR ACTIVITY OCCURRING AS A RESULT OF ANY CONSTRUCTION ACTIVITY UNDER THIS CONTRACT.
 6. RESTORATION SHALL INCLUDE BUT IS NOT LIMITED TO THE COMPLETE RESTORATION OF ALL DISTURBED LANDSCAPE SURFACES, INCLUDING INSTALLATION OF NEW OR REPLACEMENT IRRIGATION SYSTEMS AND PLANTS AS WELL AS ALL FINISH GRADING AND ROCK GROUND COVER TO MATCH ADJACENT UNDISTURBED LANDSCAPE AREAS.
 7. LIMIT OF RESTORATION SHALL BE DETERMINED BY THE LIMIT OF DISTURBANCE OR EXTENT OF WORK NECESSARY TO COMPLETE THE REQUIRED RESTORATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY PROTECTIVE DEVICES TO PREVENT OR RESTRICT ENCROACHMENT OF OPERATIONS OR TRAFFIC FROM ACCESS AND DISTURBANCE OF ANY ADJACENT AREAS NOT SHOWN TO BE DISTURBED AS A RESULT OF WORK UNDER THIS CONTRACT.
 8. ANY AND ALL PLANTS, NOT DESIGNATED TO BE REMOVED, WHICH ARE DISTURBED OR DAMAGED AS A RESULT OF WORK UNDER THIS CONTRACT SHALL BE REPLACED WITH A PLANT OF EQUAL OR BETTER QUALITY AND OF THE SAME SIZE AND SPECIES AS THE ORIGINAL EXISTING PLANT UNLESS OTHERWISE DIRECTED BY THE OWNERS REPRESENTATIVE.
 9. DAMAGE TO EXISTING TURF CAUSED BY THE CONTRACTOR SHALL BE REPAIRED. (RUTS FILLED WITH CLEAN SOIL COMPACTED TO MATCH ADJACENT GRASSES, AND SOODED)
 10. ALL EXISTING FEATURES NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR DURING CONSTRUCTION.
 11. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR'S CONSTRUCTION ACTIVITY AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE CITY.

EXISTING TREE NOTE
 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE HEALTH OF ALL TREES THAT ARE TO REMAIN DURING CONSTRUCTION. CONTRACTOR SHALL PHOTO INVENTORY ALL TREES TO REMAIN ON SITE AND PROVIDE DIGITAL PHOTOS TO THE C.O.T. FOR REFERENCE AT THE BEGINNING OF THE CONTRACT. PHOTOS SHALL BE KEPT IN A BINDER IN THE ON-SITE CONSTRUCTION TRAILER. THESE PHOTOS WILL ACT AS THE BENCHMARK FOR THE HEALTH AT THE END OF THE CONSTRUCTION PERIOD. CONTRACTOR SHALL USE ALL MEANS POSSIBLE TO MAINTAIN THE TREES IN A HEALTHY CONDITION INCLUDING, BUT NOT LIMITED TO WATERING, SPRAYING AND SUPPLEMENTAL FERTILIZER. ADDITIONALLY THE CONTRACTOR SHALL INSTALL A 6" HIGH CHAINLINK FENCE AROUND THE ENTIRE PERIMETER AT THE DRIFLINE. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR AND CITY SHALL REEVALUATE THE TREES AND DETERMINE IF ANY WILL NEED REPLACING, AND TREES THAT REQUIRE REPLACEMENT WILL BE SAME LIKE AND KIND.

PATH NOTES
 1. GRADES ON ADA PATH (AS NOTED ON PLANS) SHALL NOT EXCEED 4.5% LONGITUDINAL SLOPES AND 1.5% CROSS SLOPE. 2. ALL GARDEN SIDE SLOPES SHALL BE AT 4:1 MAX UNLESS OTHERWISE STATED. 3. CAULK ALL EXPANSION JOINTS.

PAVING NOTES
 CONTRACTOR SHALL PROVIDE A 6" X 9" SAMPLE OF ALL FLAT WORK. ALL WORK SHALL BE REVIEWED BY ARCHITECT/OWNER. THAT SAMPLE WILL REMAIN ON SITE AND ACT AS A BENCHMARK FOR ALL SIMILAR WORK INCLUDES BUT NOT LIMITED TO FINISH, BROOM FINISHES, HEAVY SANDBLAST, TOOL JOINTING, SAWCUT JOINTS AND DECORATIVE PAVING.

UTILITY NOTES
 GENERAL

ALL EXISTING SITE CONDITIONS ARE OBTAINED BY LAND SURVEY PRODUCED BY RODRIGUEZ, DRAWING REFERENCE: V-1, EXISTING CONDITIONS PLAN, DATED 3/08/2020.

APPROVALS

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| NO. | DATE | COPIES | DESCRIPTION |
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| 61722 | | | 10% CD SET ISSUED TO REBUILD / PRA |
| 71221 | | | ISSUED TO REBUILD FOR REVIEW |
| 42121 | | | RESPONSE TO REBUILD COMMENTS |
| 92325 | | | ISSUED TO OWNER FOR REVIEW/PROG |

ALL EXISTING CONDITIONS, DIMENSIONS AND SPOT ELEVATIONS TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION OR DEMOLITION.

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THESE DRAWINGS ARE THE INSTRUMENTS OF THE DESIGNER & ARE NOT TO BE REPRODUCED WITHOUT THE DESIGNER'S CONSENT

SRW SABIR, RICHARDSON & WEISBERG
 ENGINEERING & ARCHITECTURE

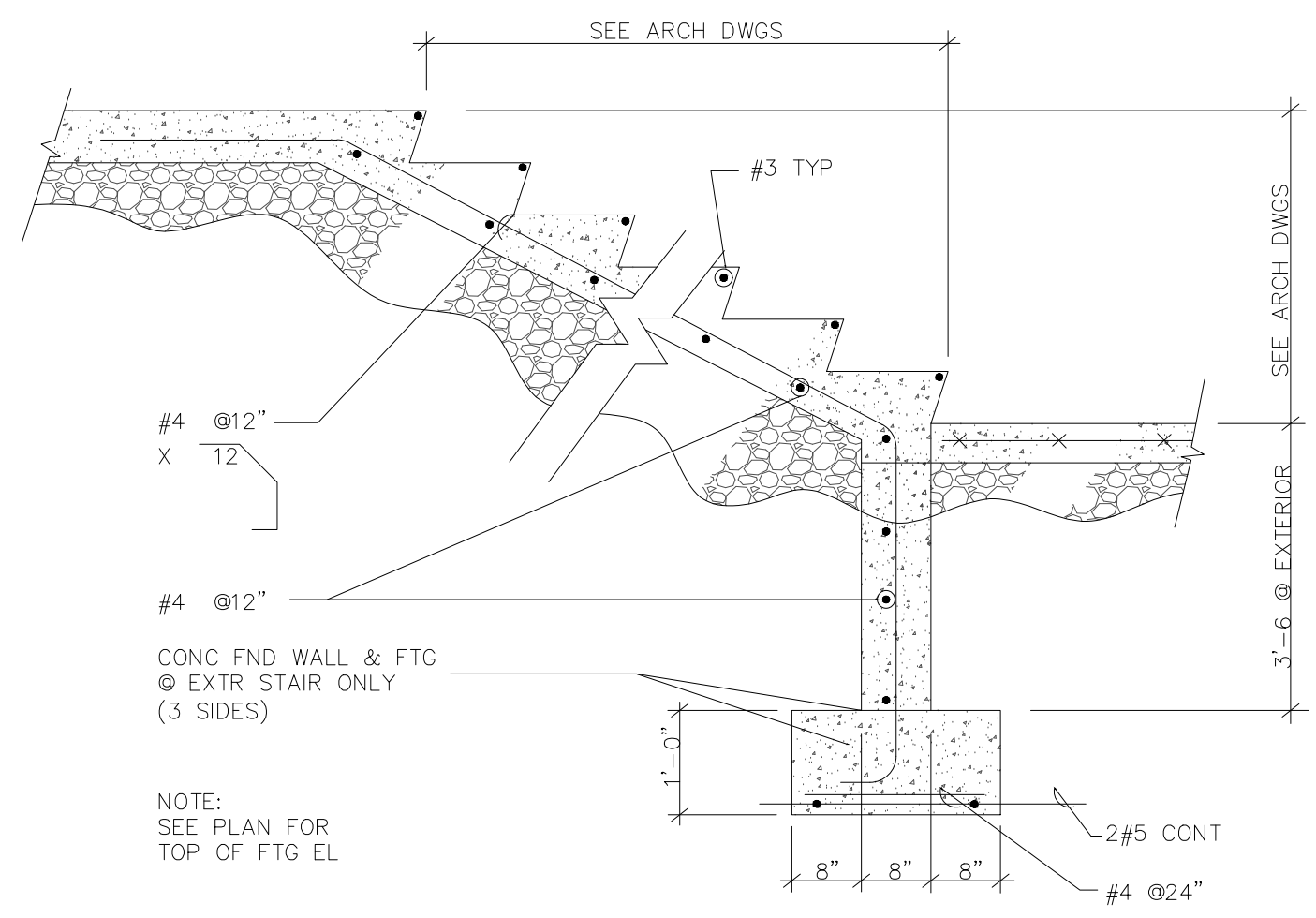
NEW YORK: 37 WEST 30TH STREET, SUITE 1305, NEW YORK, NY 10018
 NEW JERSEY: 331 WALLTOWN SQUARE, SUITE 204, PHILADELPHIA, PA 19123
 PENNSYLVANIA: 417 N. 40TH STREET, SUITE 204, PHILADELPHIA, PA 19123

CLIENTS:

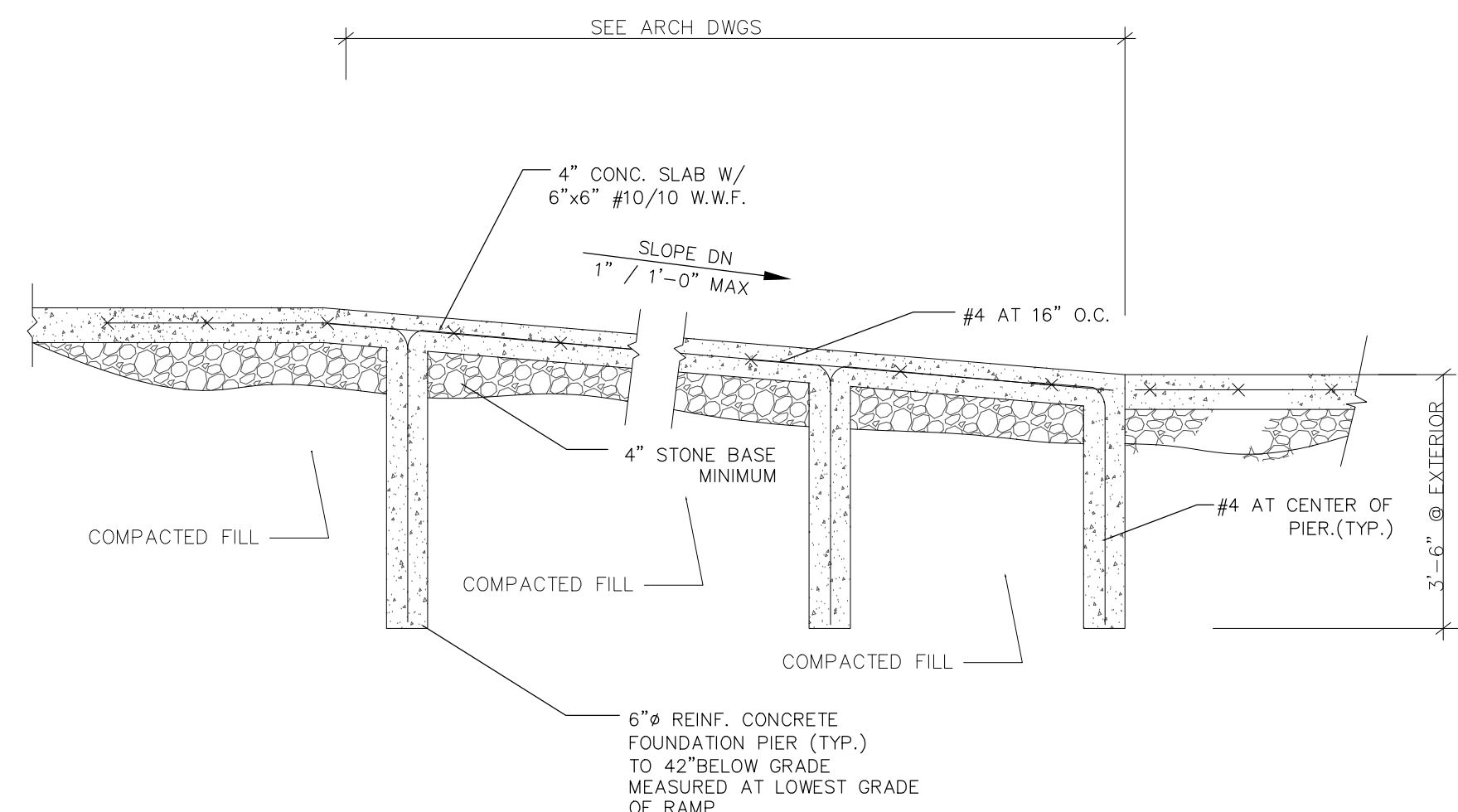
PROJECT:

FISHTOWN HOCKEY RINK
 1202-32 E. MONTGOMERY AVENUE
 PHILADELPHIA, PA 19125

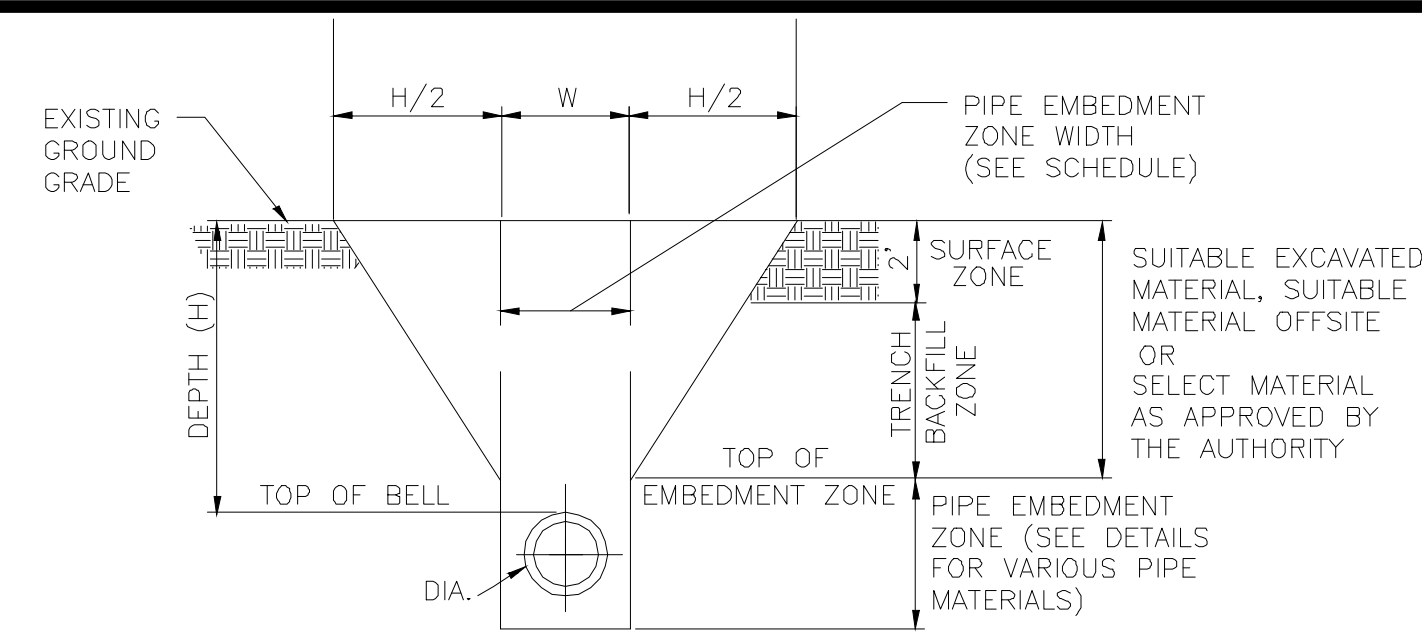
| | |
|----------------------------|--|
| PROJECT NUMBER 2020-601 | EXISTING GRADING PLAN |
| SCALE 1" = 10'-0" | FISHTOWN HOCKEY RINK |
| DATE 08/14/2020 | 1202-32 E. MONTGOMERY AVENUE PHILADELPHIA, PA 19125 |
| PROJECT MANAGER | Municipal Stamp |
| PROJECT ARCHITECT CS | C001 |
| DRAWN BY MM | |
| CHECKED BY CS | |
| CADD FILE | |



CONCRETE STAIR DETAIL



REINFORCED CONCRETE ADA RAMP DETAIL

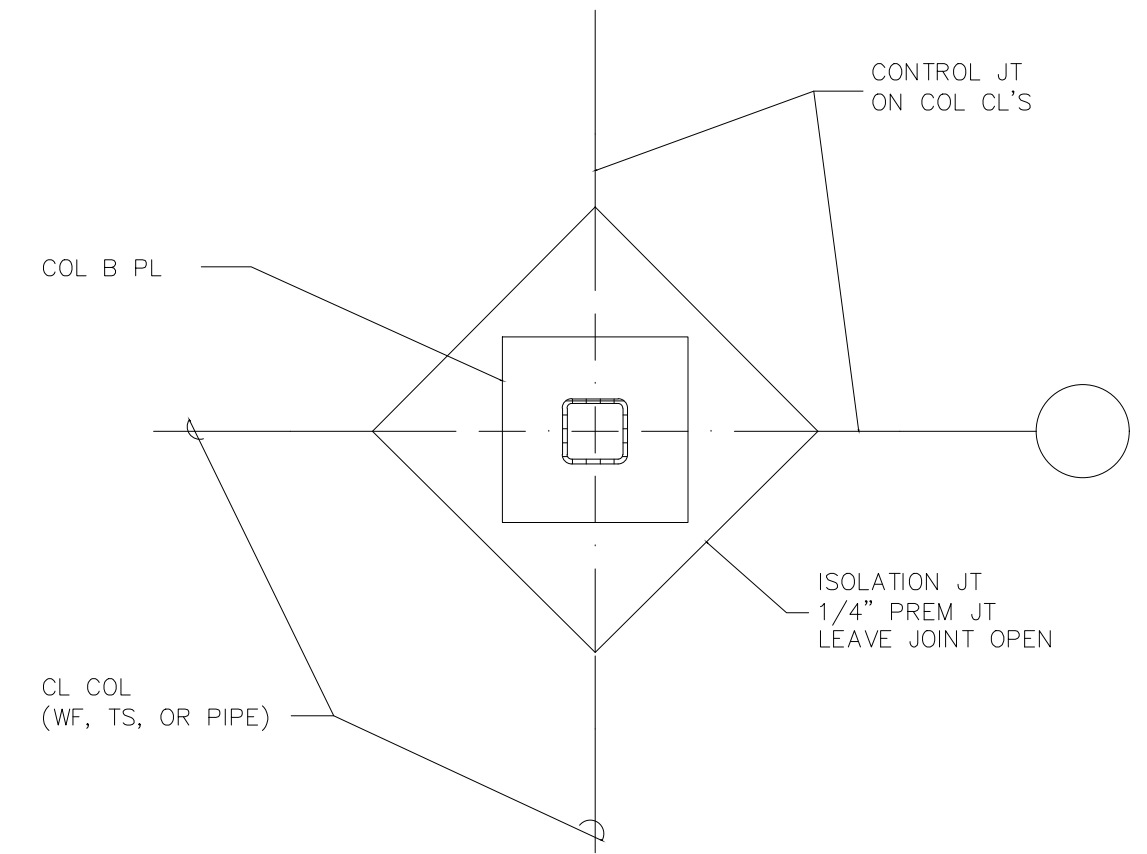


TRENCH DETAIL
TRENCH EXCAVATION AND BACKFILL NOTES

- THE MAXIMUM DRY DENSITIES SHALL BE DETERMINED IN ACCORDANCE WITH ASTM DESIGNATION D1557. THE MINIMUM PERCENTAGE OF COMPACTION TO BE ACHIEVED BY THE CONTRACTOR IN THE VARIOUS ZONES IS AS FOLLOWS:

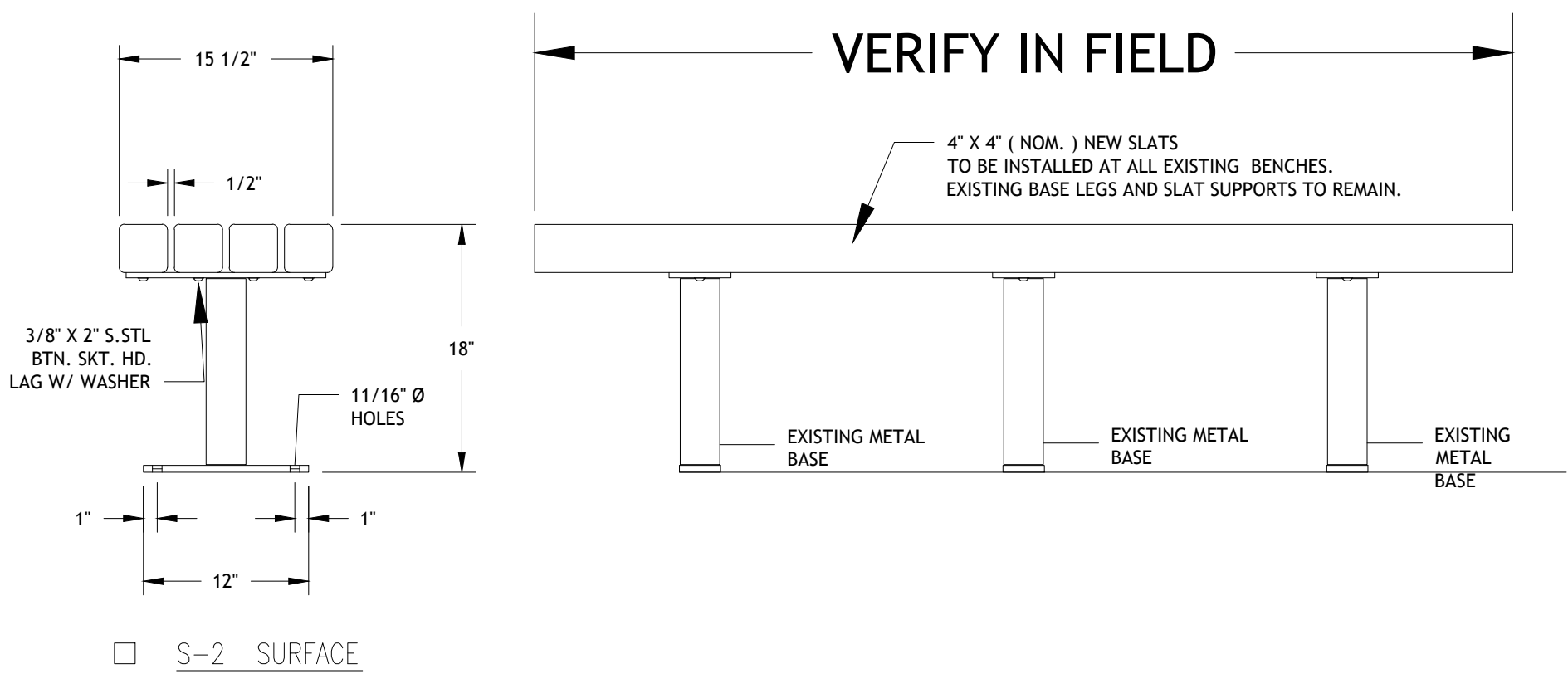
| PIPE MATERIAL | LOCATION | COMPACTION |
|----------------------|----------|------------|
| SURFACE ZONE | ALL | 95% |
| TRENCH BACKFILL ZONE | ALL | 95% |
| PIPE EMBEDMENT ZONE | INITIAL | 95% |
| PIPE EMBEDMENT ZONE | FINAL | 95% |

 THE MINIMUM COMPACTION IN EMBANKMENTS SHALL BE 95%.
- THE PIPE EMBEDMENT ZONE WIDTH AND THE MAXIMUM TRENCH WIDTH SHALL NOT EXCEED THE PERMISSIBLE WIDTHS SHOWN. IF THE PERMISSIBLE WIDTH IS EXCEEDED, THE PIPE SHALL BE INSTALLED IN A HIGHER CLASS BEDDING THAN SHOWN ON THIS DRAWING OR THE SPECIFIED PIPE SHALL BE REPLACED WITH PIPE OF GREATER CRUSHING STRENGTH OR BOTH, TO ACHIEVE SUITABLE CONDITIONS.
- SUITABLE MATERIAL FROM EXCAVATION SHALL BE FREE FROM OBJECTIONABLE QUANTITIES OF ORGANIC MATTER, CLAY, TREES, STUMPS, FROZEN MATERIAL, RUBBLE, CINDERS, ROCKS, AND OTHER MATERIALS CONSIDERED DELETERIOUS BY THE AUTHORITY AND SHALL NOT HAVE FINES IN EXCESS OF 10 PERCENT PASSING THE NO. 200 SIEVE NOR STONE OR GRAVEL LARGER THAN 2 INCHES.

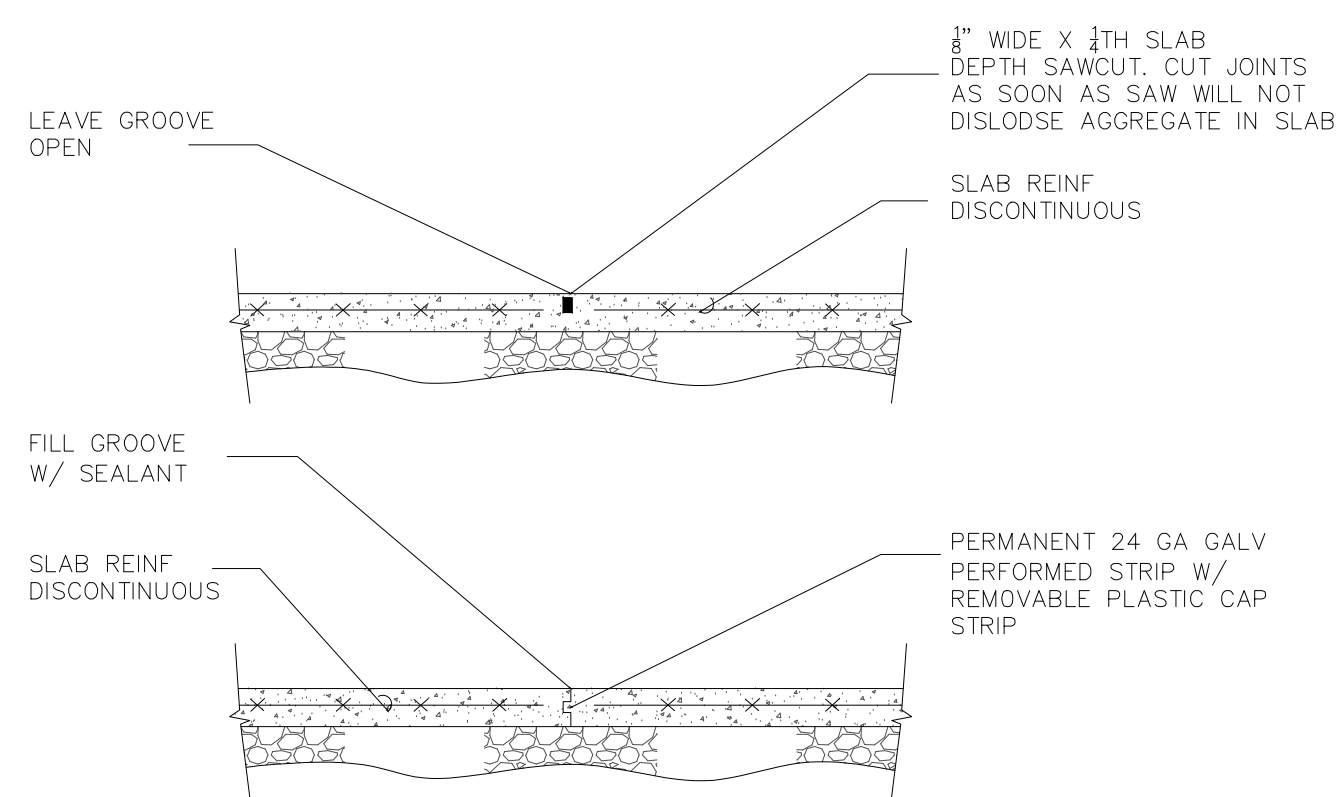


- NOTE:
- POUR CONC WITHIN ISOLATION JT DOWN TO TOP OF PIER.
 - ISOLATION JOINT SIMILAR @ PERIMETER COLS.

SLAB ISOLATION JT @ COLS

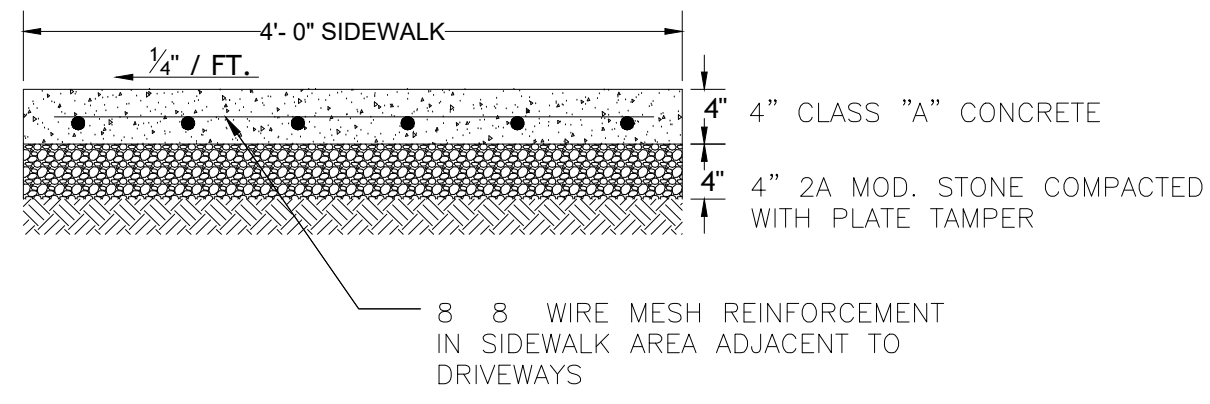


RE-PURPOSED BENCH DETAIL



- NOTE:
- PROVIDE CONTROL JOIST @ 10'-0" C/C MAX-UNG.
 - CONTRACTOR TO ADEQUATELY BRACE AND MAINTAIN TO MAINTAIN STRAIGHT ALIGNMENT OF SOLED.

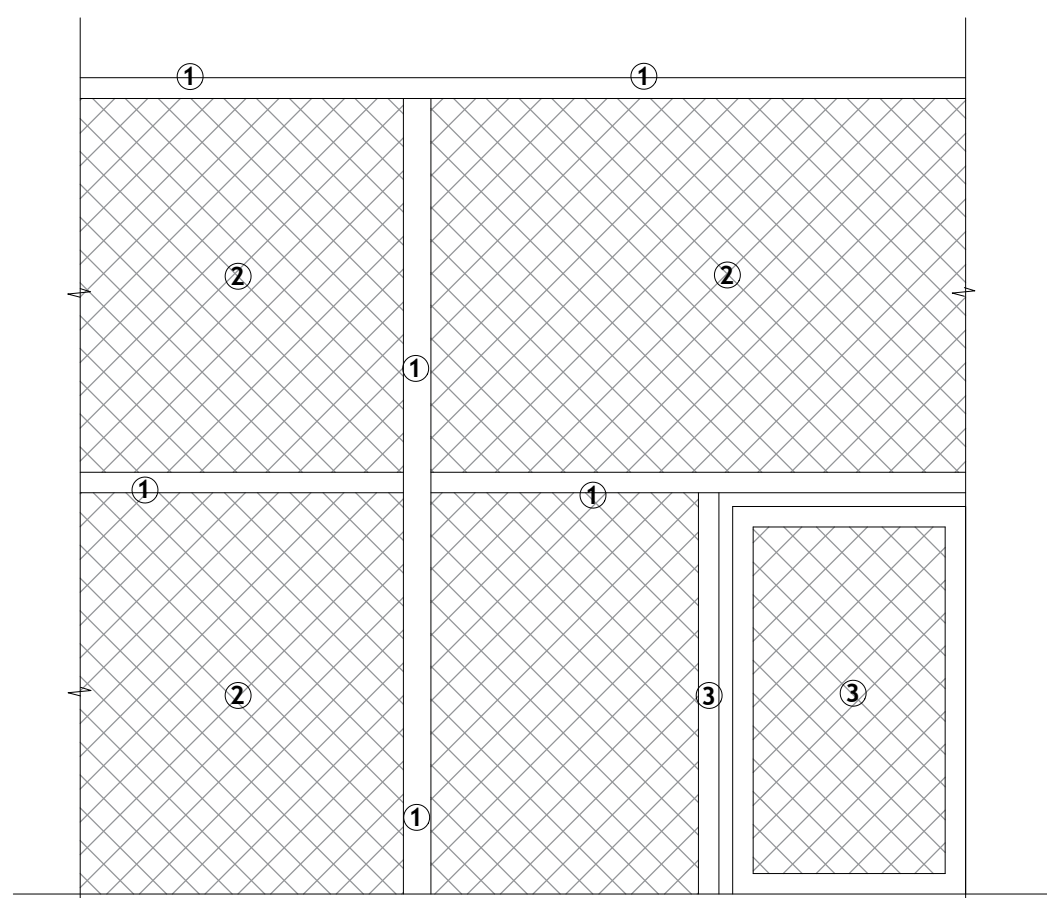
SLAB CONST/CONTROL JOIST



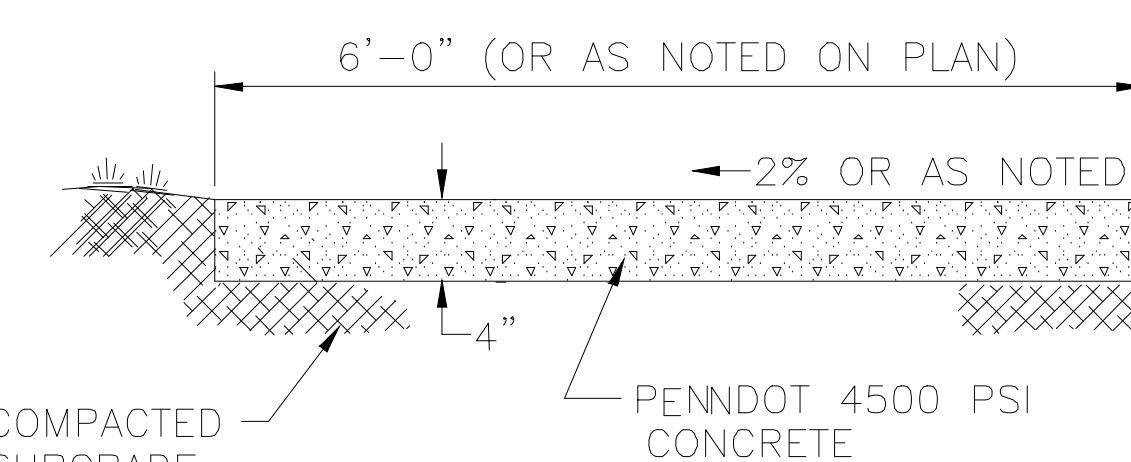
- NOTES:
- PROVIDE TRAVERSE CONSTRUCTION JOINTS EVERY 4'-0", 3" EXPANSION JOINT EVERY 20'-0" OF SIDEWALK.
 - ALL SIDEWALKS SHALL BE 4000 PSI STRENGTH CONCRETE.

TYPICAL SIDEWALK DETAIL
N.T.S.

- EXISTING CHAINLINK TO BE REMOVED. KEEP HORIZONTAL AND VERTICAL POST FRAMING. CLEAN, PREP POST FRAMING TO BE PAINTED (COLOR: BLACK)
- NEW MESH TO BE INSTALLED. REFERENCE SPECIFICATIONS FOR DETAILS.
- INSTALL NEW CHAINLINK DOOR OPENINGS AS SHOWN ON SITE ARCHITECTURE PLANS. PROVIDE NEW SUPPLEMENTAL HORIZONTAL AND VERTICAL POSTS TO EXISTING SYSTEM AS NEEDED.

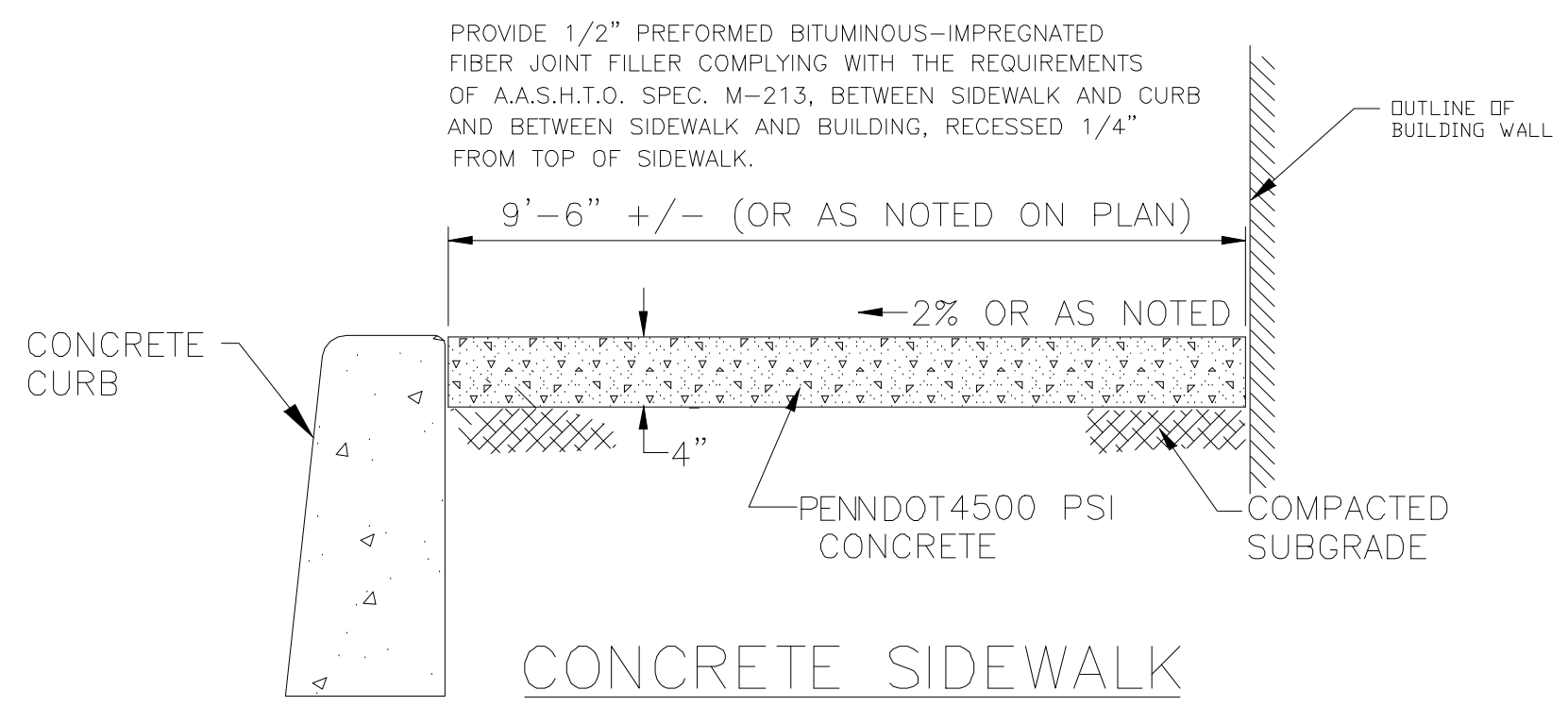


EXISTING POST FRAMING / NEW CHAINLINK/ NEW DOOR OPENINGS
N.T.S.

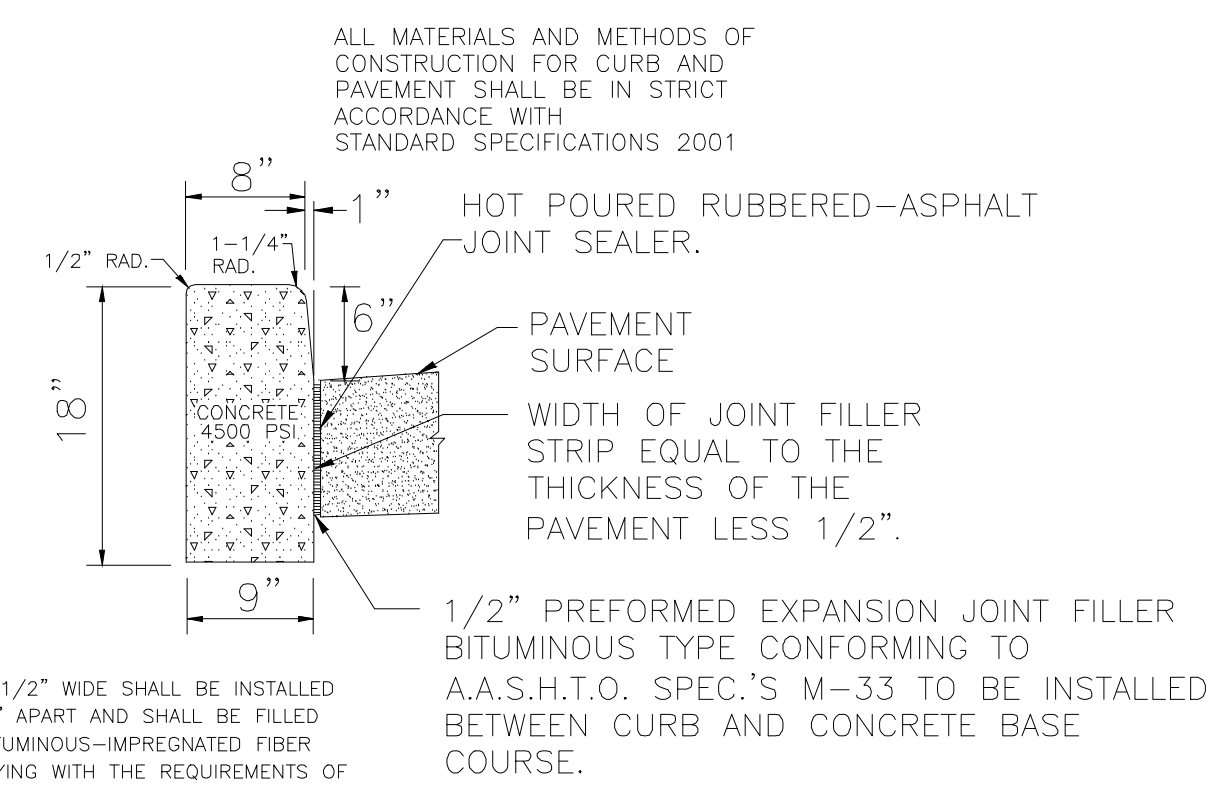


CONCRETE SIDEWALK
N.T.S.

ALL MATERIALS AND METHODS OF CONSTRUCTION FOR CURB AND PAVEMENT SHALL BE IN STRICT ACCORDANCE WITH PENNDOT STANDARD SPECIFICATIONS 2001



CONCRETE SIDEWALK
N.T.S.



CONCRETE VERTICAL CURB
N.T.S.

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srw Design Firm

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NEW JERSEY: 331 WILLIAMSTOWN, SICKLEVILLE, NJ 08061, PHONE: 856-310-5000

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CLIENTS

PROJECTA

FISHTOWN HOCKEY RINK
1202-32 E. MONTGOMERY AVENUE
PHILADELPHIA, PA 19125

| PROJECT NUMBER | 2020-501 |
|-------------------|------------|
| SCALE | |
| DATE | 08/14/2020 |
| PROJECT MANAGER | |
| PROJECT ARCHITECT | CS |
| DRAWN BY | MM |
| CHECKED BY | CS |
| CADD FILE | |

| SITE DETAILS | |
|--|-------------|
| FISHTOWN HOCKEY RINK | |
| 1202-32 E. MONTGOMERY AVENUE PHILADELPHIA, PA 19125 | |
| Municipal Stamp | C004 |

