

# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

MAYOR - CHERELLE PARKER

MANAGING DIRECTOR - ADAM THIEL

COMMISSIONER - DEPARTMENT OF PARKS & RECREATION - SUSAN SLAWSON

# CHRISTY RECREATION CENTER RENOVATION - PHASE 1

PROJECT NO. 16-21-7053-01

728 SOUTH 55TH STREET PHILADELPHIA, PA 19143

## CONSTRUCTION DOCUMENTS

SMPARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

ARORA ENGINEERS
1600 Market Street, Suite 1630
Philadelphia, Pennsylvania 19103
215 372 1365

CIVIL ENGINEER:
KS ENGINEERS, P.C.
530 Walnut Street, Suite 460
Philadelphia, Pennsylvania 19102
215 925 0425

GROUND RECONSIDERED
230 South Broad Street
Philadelphia, Pennsylvania 19102
215 790 0727

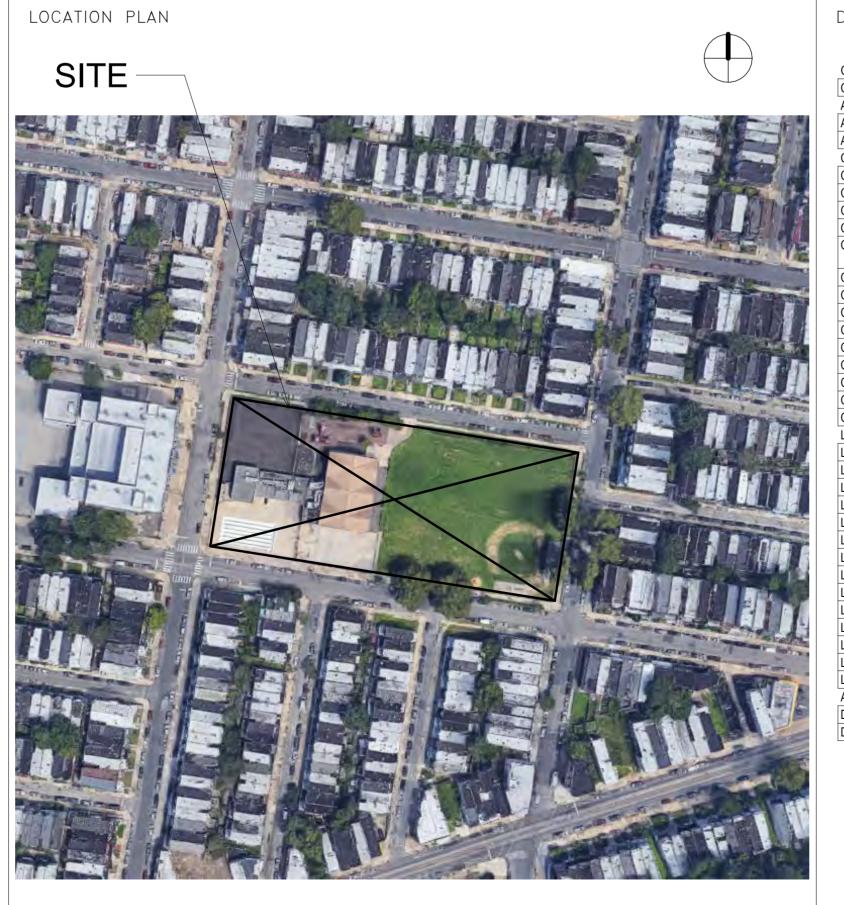
DHARAM CONSULTING

107 Magnolia Drive
Chester Springs, Pennsylvania 19425
610 554 6560

ANN ROTHMAN
STRUCTURAL ENGINEER

100 East Lancaster Avenue, Suite 203
Wayne, Pennsylvania 19087
610 213 3657

## **DRAWING LIST:**



DRAWING	LIST			PROJECT APPROVED
GENERAL				COMMISSIONER/PARKS AND RECREATION
CS(1)	COVER SHEET	D2.2(1)	DEMOLITION RCP	
ARCHITECTURE		D2.3(1)	DEMOLITION ELEVATION	
A0.1(1)	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS	A2.0(1)	FLOOR PLAN	DEPUTY COMMISSIONER/CAPITAL PROJECTS
A0.2(1)	BUILDING CODE INFORMATION	A2.1(1)	ROOF PLAN	
CIVIL - PHASE 1		A3.0(1)	EXTERIOR ELEVATIONS	PROJECT DIRECTOR
C1.01	EXISTING SITE PLAN	A5.0(1)	ENLARGED PLANS AND INTERIOR ELEVATIONS	TROSECT BIRECTOR
C1.02(1)	UTILITY PLAN - PHASE 1	A6.0(1)	REFLECTED CEILING PLANS	
C1.03(1)	GRADING PLAN - PHASE 1	A8.0(1)	EXTERIOR DETAILS	
C1.04(1)	STORMWATER MANAGEMENT SUBSURFACE INFILTRATION BASIN DETAIL	A9.0(1)	DOOR AND FINISH SCHEDULES	
C1.05(ALT)	STORMWATER MANAGEMENT SUBSURFACE DETENTION BASIN DETAIL -	A9.1(1)	WINDOW TYPES, DETAILS, & ALSF	
	ALT	STRUCTURAL - PHASE	1	
C5.01	CONSTRUCTION DETAILS	S1.0(1)	STRUCTURAL PLANS, DETAILS, AND NOTES	
C5.02	CONSTRUCTION DETAILS	MECHANICAL - PHASE	1	
C5.03	CONSTRUCTION DETAILS	M0.0(1)	MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES	
C5.04	CONSTRUCTION DETAILS	MD2.1(1)	MECHANICAL DEMOLITION FLOOR PLAN	
C5.05	CONSTRUCTION DETAILS	MD2.2(1)	MECHANICAL DEMOLITION ROOF PLAN	
CE1.01	EROSION AND SEDIMENT CONTROL PLAN	M2.1(1)	MECHANICAL PROPOSED FLOOR PLAN	
CE1.02	EROSION AND SEDIMENT CONTROL PLAN	M2.2(1)	MECHANICAL PROPOSED ROOF PLAN	SEALS
CE5.01	EROSION AND SEDIMENT CONTROL DETAILS	M8.1(1)	MECHANICAL DETAILS	
CE7.01	EROSION AND SEDIMENT CONTROL NOTES	M9.1(1)	MECHANICAL SCHEDULES	
LANDSCAPE - PH	IASE 1	ELECTRICAL - PHASE		
L1.0(1)	SITE DEMOLITION AND TREE PROTECTION	E0.0(1)	ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES	
L2.0(1)	MATERIALS AND FURNISHINGS PLAN	E2.0(1)	ELECTRICAL PROPOSED SITE PLAN	
L2.1(1)	DETAIL PLANS	ED2.1(1)	ELECTRICAL DEMOLITION FLOOR PLAN	
L3.0(1)	LAYOUT PLAN	ED2.2(1)	ELECTRICAL DEMOLITION ROOF PLAN	
L4.0(1)	DESIGN GRADING PLAN	ED2.3(1)	ELECTRICAL DEMOLITION LIGHTING PLAN	
L5.0(1)	SOILS PLAN	E2.1(1)	ELECTRICAL PROPOSED FLOOR PLAN	
L6.0(1)	PLANTING PLAN	E2.2(1)	ELECTRICAL PROPOSED ROOF PLAN	
L7.0(1)	PAVING DETAILS	E2.3(1)	ELECTRICAL PROPOSED LIGHTING PLAN	
L7.1(1)	WALL, STAIR AND RAMP DETAILS	E6.1(1)	DEMOLITION ELECTRICAL SINGLE LINE DIAGRAM	CITY OF PHILADELPHIA
L7.2(1)	WALL, STAIR AND RAMP DETAILS		ELECTRICAL DETAILS	CITT OF THIEADELITHA
L7.3(1)	FENCE DETAILS	E8.1(1)	ELECTRICAL DETAILS ELECTRICAL SCHEDULES	DEPARTMENT OF PARKS AND RECREATION
L7.4(1)	FURNISHING DETAILS	E9.1(1) PLUMBING - PHASE 1	ELECTRICAL SCHEDULES	
L7.5(1)	FURNISHING DETAILS		DILIMBING APPREVIATIONS SYMPOLS LECEND AND SENEDAL MOTES	1515 ARCH STREET
L7.6(1)	PLANTING DETAILS	P0.0(1)	PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND, AND GENERAL NOTES	11TH FLOOR, ONE PARKWAY BUILDING
ARCHITECTURE -		P2.0(1)	PLUMBING PROPOSED FLOOR PLAN	PHILADELPHIA PENNSYLVANIA
D2.0(1)	DEMOLITION PLAN	PD2.1(1)	PLUMBING DEMOLITION FLOOR PLAN	THICADELTHA
D2.1(1)	DEMOLITION ROOF PLAN	P2.1(1)	PLUMBING PROPOSED FLOOR PLAN	PROJECT NO. DRAWING NO.
D2. I(1)	DEMOCITION ROOF LAW	P6.1(1)	PLUMBING RISER DIAGRAMS	16 21 7052 01
		P8.1(1)	PLUMBING DETAILS	16-21-7053-01
		P9.1(1)	PLUMBING SCHEDULES	DATE
				03/15/2024
				SCALE

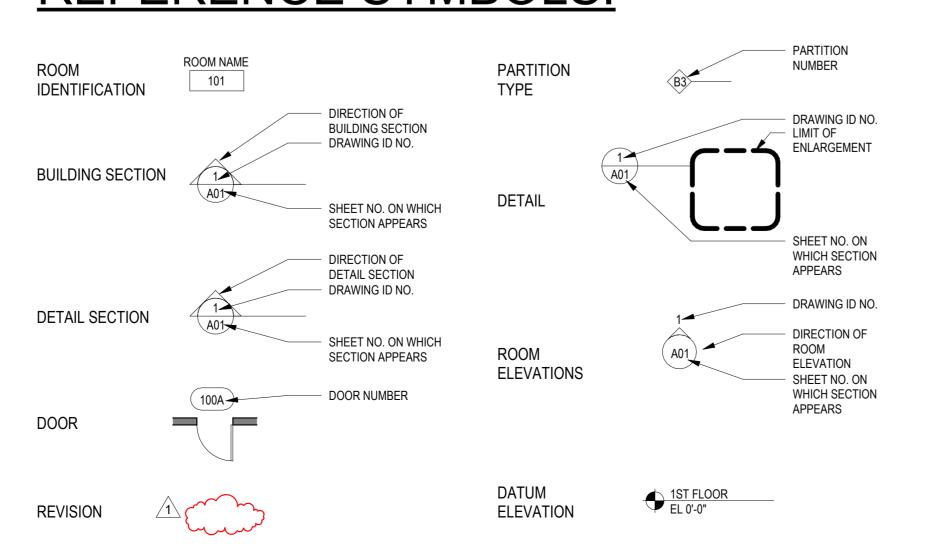
## GENERAL NOTES:

- 1. DO NOT SCALE DRAWINGS.
- 2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.
- 3. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.
- 4. THE CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.
- 6. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROVIDE A SKETCH OF THE CONDITION.
- 7. DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- 8. THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS WITH ALL TRADES PRIOR TO INSTALLATION.
- 9. DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.
- 10. UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING NIC, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT WORK.
- 11. THE GENERAL CONTRACTOR SHALL COORDINATE ALL SLEEVING WORK, UNO. COORDINATE LOCATION AND SIZE OF ALL OPENINGS, INTERIOR AND/OR EXTERIOR WITH ALL TRADES PRIOR TO INSTALLATION.

## ABBREVIATIONS:

<u>ABE</u>	BREVIATIONS	<u>).</u>			
Α		F		Р	
A/E	ARCHITECT/ENGINEER	FA	FIRE ALARM	PAC	PRECAST ARCHITECTURAL CONCRET
AB\/	ANCHOR BOLT	FCB	FIBER CEMENT BOARD FAN COIL UNIT	PERF	PERFORATED
ABV ACT	ABOVE ACOUSTIC CEILING TILE	FCU FD	FLOOR DRAIN	PLAM PLAS	PLASTIC LAMINATE PLASTER
ADJ	ADJACENT/ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	PNL	PANEL
AFF	ABOVE FINISH FLOOR	FF	FACTORY FINISH	PNLG	PANELING
AGG	AGGREGATE	FFE	FINISHED FLOOR ELEVATION	PNT	PAINT(ED)
ALCW	ALUMINUM CURTAINWALL ALUMINUM	FIN FLG	FINISH(ED) FLASHING	POL PROJ	POLISHED PROJECTION
AL(ALUM) ALSF	ALUMINUM STOREFRONT	FLG FLR	FLOOR(ING)	P.T.	PRESSURE TREATED
ALW	ALUMINUM WINDOW	FND	FOUNDATION	PT	PORCELAIN TILE
ANOD	ANODIZED	F.O.	FACE OF	PTN	PARTITION
APPROV	ACCESS PANEL	FP	FILLER PANEL	PWD	PLYWOOD
APPROX ARCH	APPROXIMATE ARCHITECTURAL	FT FTG	FOOT (FEET) FOOTING	PV	PIPE VENT
AITOH	AROTTECTORAL	FTR	FIN TUBE RADIATOR	R	
В				RA	RETURN AIR
B&B	BOARD AND BATTEN	G		RAD	RADIUS
BCAB	BASE CABINET	GA	GAUGE	RB	RUBBER BASE
BD BLDG	BOARD BUILDING	GALV GF	GALVANIZED GROUND FACE	RBT RCP	RUBBER STAIR TREAD REFLECTED CEILING PLAN
BLKG	BLOCKING	GLAZ	GLAZED, GLAZING, GLASS	RD	ROOF DRAIN
BLW	BELOW	GRG	GLASS REINFORCED GYPSUM	REF	REFER; REFERENCE
B.O.	BOTTOM OF	GWB	GYPSUM WALLBOARD	REQ'D	REQIURED
BC	BROADLOOM CARPET			REV	REVISION, REVISE(D)
BM BRK	BEAM BRICK	<b>H</b> HDPE	HIGH DENSITY POLYETHYLENE	RSF RT	RESILIENT FLOORING RESILIENT TILE FLOORING
BTW	BETWEEN	HM	HOLLOW METAL	RM	ROOM
		HOR	HORIZONTAL	R.O.	ROUGH OPENING
С		HR	HOUR	RTF	RESILIENT RUBBER TILE FLOORING
CAB	CABINET	HRWD	HARDWOOD	RWC	RAINWATER CONDUCTOR
CB CERT	CEMENTBOARD CERTIFIED	HSS HT	HOLLOW STEEL SECTION HEIGHT	S	
CFMF	COLD FORMED METAL FRAMING	HVAC	HEAVING/VENTILATION/AIR CONDITIONING	S	SOUTH
CJ	CONSTRUCTION/CONTROL JOINT	HWH	HOT WATER HEATER	SA	SUPPLY AIR
CL	CENTERLINE			SBC	SINK BASE CABINET
CLG	CEILING	<b> </b>	INOLULATED OLAZINO LINUT	SBO SFI	SUPPLIED BY OTHERS SPRAY FOAM INSULATION
CLR CMU	CLEAR/ CLEARANCE CONCRETE MASONRY UNIT	IGU INCL	INSULATED GLAZING UNIT INCLUDING/INCLUDED	SGT	STRUCTURAL GLAZED TILE
COL	COLUMN	INFO	INFORMATION	SIM	SIMILAR
COMP	COMPOSITE	INSUL	INSULATED, INSULATION	SIP	STRUCTURAL INSULATED PANEL
CONC	CONCRETE	INT	INTERIOR	SL	SLOPED/SLOPE
CONT	CONTINUOUS			SOG SSTL	SLAB ON GRADE STAINLESS STEEL
COORD COR	COORDINATE CORRUGATED	<b>J</b> JT	JOINT	STD	STANDARD
CPT	CARPET TILE	JI	JOINT	STL	STEEL
CT	CERAMIC TILE	L		STN	STAIN(ED)
CUH	CABINET UNIT HEATER	LAM	LAMINATED	STRUC	STRUCTURAL
CW	CURTAINWALL	LF	LINEAR FEET	SUSP	SUSPENDED
D		LG LIN	LONG LINOLEUM	Т	
DEMO	DEMOLISH/DEMOLITION	LLV	LONG LEG VERTICAL	TER	TERRAZZO
DIA	DIAMETER	LTL	LINTEL	TF	TRANSPARENT FINISH
DIM	DIMENSION	LT	LIGHT	THK	THICKNESS
DN DR	DOWN DOOR	LOUV	LOUVER	TLT TPTN	TOILET TOILET PARTITION
DS	DOWNSPOUT	М		T.O.	TOP OF
DTL	DETAIL	MAS	MASONRY	TYP	TYPICAL
DWG(S)	DRAWING(S)	MAS DIM	MASONRY DIMENSION	T&G	TONGUE AND GROOVE
_		MATL	MATERIAL	U	
<b>E</b> E	EAST	MAX	MAXIMUIM	UNO	UNLESS NOTED OTHERWISE
EA	EACH	MDF MECH	MEDIUM DENSITY FIBERBOARD MECHANICAL	0110	CIVELOG NOTED OTHERWISE
EJ	EXPANSION JOINT	MFR	MANUFACTURER	V	
EL	ELEVATION	MIN	MINIMUM	VAR	VARIES/VARIOUS
ELEC	ELECTRICAL	M.O.	MASONRY OPENING	VERT	VERTICAL
ELEV EMER	ELEVATOR EMERGENCY	MR	MOISTURE RESISTANT	VEST VIF	VESTIBULE VERIFY IN FIELD
EP	ELECTRICAL PANEL	MTD MTL	MOUNTED METAL	VII VTR	VENT THROUGH ROOF
EPX	EPOXY	MULL	MULLION		
EQ	EQUAL			W	
EQPM	EQUIPMENT	N		W	WEST
ES ETR	EXPOSED STRUCTURE EXISTING TO REMAIN	N	NORTH	W/ W/O	WITH WITHOUT
EWC	ELECTRIC WATER COOLER	NA NAT	NOT APPLICABLE NATURAL	WB	WALL BASE
EXP	EXPOSED	NAT NIC	NOT IN CONTRACT	WC	WATER CLOSET
EXG	EXISTING	NOM	NOMINAL	WCAB	WALL CABINET
EXT	EXTERIOR	NTS	NOT TO SCALE	WDD	WOOD DANIEL
		•		WDP WF	WOOD PANEL WIDE FLANGE
		<b>o</b> oc	ON CENTER	WIN	WINDOW
		OFE	OWNER FURNISHED EQUIPMENT	WOM	WALK OFF MAT
		OH	OPPOSITE HAND	WSCT	WAINSCOT

# REFERENCE SYMBOLS:



# MATERIAL SYMBOLS:

OH

OPP

OPG

OSB

OTLN

OPPOSITE HAND

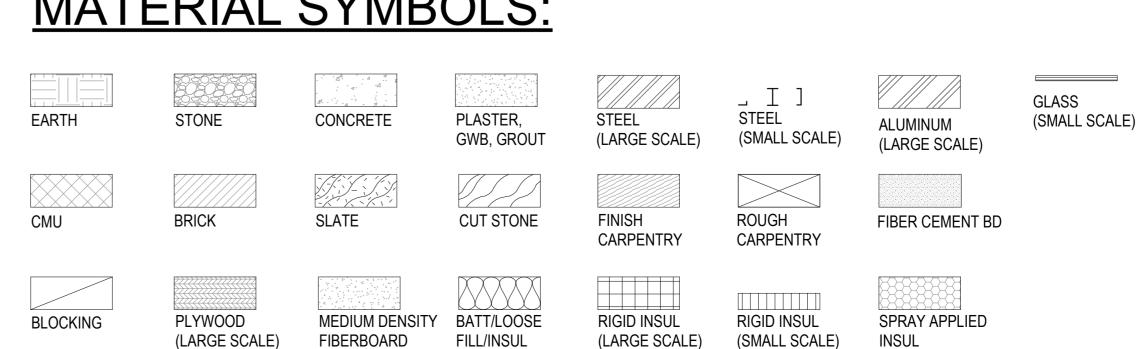
ORIENTED STRAND BOARD

FILL/INSUL

**OPPOSITE** 

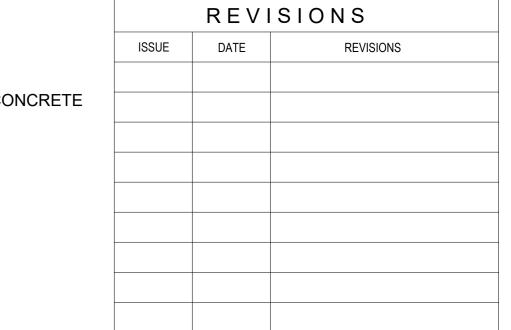
**OPENING** 

OUTLINE



**XPS** 

EXTRUDED POLYSTYRENE





#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR PRIYANKA MALIK

### **SMP**ARCHITECTS

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

#### MEP ENGINEER: **ARORA ENGINEERS**

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#### **CIVIL ENGINEER:** KS ENGINEERS, P.C. 530 Walnut Street, Suite 460

Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS

#### GROUND RECONSIDERED 230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727 COST CONSULTANT

DHARAM CONSULTING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

#### STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087

610 213 3657

#### CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS

PROJECT NO.		DRAWING NO.
73217		
DATE	03/15/2024	A0.1(1)
SCALE	AS NOTED	
DRAWN BY	ED	
CHECKED B	Y MS	FILE:
NOTE:		

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

CODE CHART		
CONSTRUCTION	TYPE	IIIA, NON-SPRINKLERED
USE OR OCCUPA	NCY	USE GROUP A-3 ASSEMBLY
TOTAL OCCUPAN	T LOAD	303 PERSONS
		GENERAL BUILDING LIMITATIONS
		ACTUAL HEIGHT AND AREA
AREA - FIRST FLO	OOR	13,876 SF
HEIGHT		1 STORY (26'-0")
		ALLOWABLE HEIGHT AND AREA TABLE 504.3/504.4/506.2
ODOLID A 2	STORIES	2 STORIES (65' ABOVE GRADE PLANE)
GROUP A-3	AREA	14,000 SF PER FLOOR

FIRE-RATING REQUIREMENTS - TABLE 601				
PRIMARY STRUCTURAL FRAME	1-HOUR			
BEARING WALLS (INTERIOR)	1-HOUR			
BEARING WALLS (EXTERIOR)	2-HOUR			
NONBEARING WALLS AND PARTITIONS (EXTERIOR AND INTERIOR)	0-HOUR			
FLOOR CONSTRUCTION	1-HOUR			
ROOF CONSTRUCTION	1-HOUR			

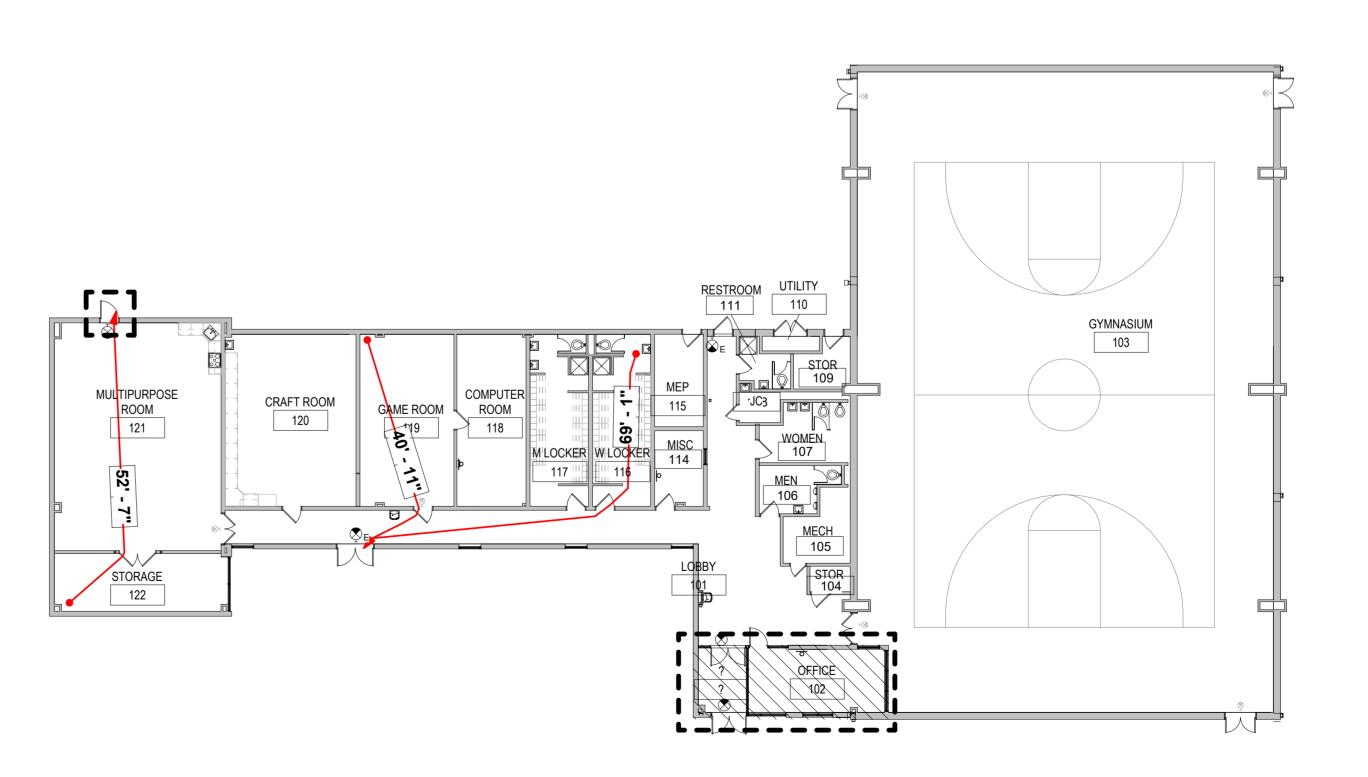
OCCUPANCY COUNT					
PROGRAM SPACE	USE	AREA	REQ'D. OCC/SF	OCCUPANT LOAD	
121	ASSEMBLY	1,047 SF	15 NSF/occ.	69	
118, 119, 120	EDUCATIONAL - CLASSROOM	1,397 SF	20 NSF/occ.	69	
116, 117	LOCKER ROOMS	539 SF	50 GSF/occ.	10	
103	EXERCISE ROOMS	7,327 SF	50 GSF/occ.	145	
102	BUSINESS	239 SF	150 GSF/occ.	1	
103, 104, 105, 109,110, 113, 114, 115, 122	ACCESSORY STORAGE/MECH	528 SF	300 GSF/occ.	9	
TOTAL				303	

CLASSIFICATION OF WORK				
TOTAL BUILDING AREA	13,876 SF			
ALTERATION LEVEL 1	0 SF			
ALTERATION LEVEL 2	6,131 SF			
ADDITION	0 SF			
WORK AREA (ALT. LEVEL 2 + ADDITION)	6,131 SF			

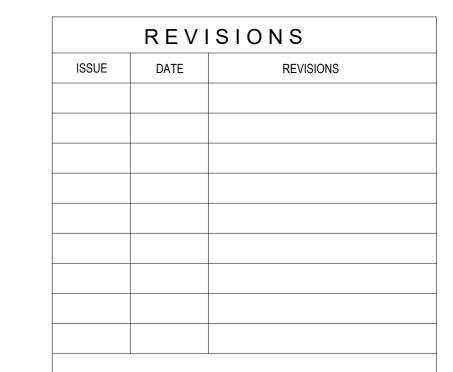
PLUMBING FIXTURE COUNTS - PHILADELPHIA PLUMBING CODE 2018					
	WATER CLOSETS	URINALS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
FOTAL OCCUPANTS: 303 151 MEN. 152, WOMEN					
REQUIRED	2 male, 3 female	1	1 male, 1 female	1	1
PROVIDED	2 male, 3 female	1	2 male, 2 female	2	1

APPLICABLE CODES	
INTERNATIONAL BUILDING CODE (IBC) 2018	
INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018	
INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018	
ICC/ANSI 117.1 2009	
PHILADELPHIA PLUMBING CODE 2018	
INTERIOR FINISHES (803.13)	RATING REQUIREMENTS FOR GROUP A-3, NON- SPRINKLERED: EXIT ENCLOSURES AND
	EXIT PASSAGEWAYS: CLASS A  CORRIDORS: CLASS A
	LOBBIES: CLASS B
	ROOMS AND ENCLOSED SPACES: CLASS C
DEAD-END CORRIDORS (IEBC 805.6)	DEAD-END CORRIDORS IN ANY WORK AREA SHALL NOT EXCEED 35 FEET.
AUTOMATIC SPRINKLER SYSTEM (IBEC 803.2.2)	NOT REQUIRED.
SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY (1006.2.1)	OCCUPANCY GROUP A: 49 MAXIMUM OCCUPANT LOAD, 75 FEET MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE
EXIT SIGNS (IEBC 805.8.1)	MEANS OF EGRESS IN ALL WORK AREAS PROVIDED WITH EXIT SIGNS PER IBC

SYMBOLS	
NEW CLG MOUNTED EXIT SIGN	
NEW WALL MOUNTED EXIT SIGN	
EXISTING EXIT SIGN	
FIRE EXTINGUISHER CABINET (SEMI-RECESSED, UNO)	
FIRE EXTINGUISHER	
CLASSIFICATION OF WORK KEY	
.1	
	NEW CLG MOUNTED EXIT SIGN  NEW WALL MOUNTED EXIT SIGN  EXISTING EXIT SIGN  FIRE EXTINGUISHER CABINET (SEMI-RECESSED, UNO)  FIRE EXTINGUISHER









#### CONSTRUCTION DOCUMENTS

PRIYANKA MALIK

**SMP**ARCHITECTS

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

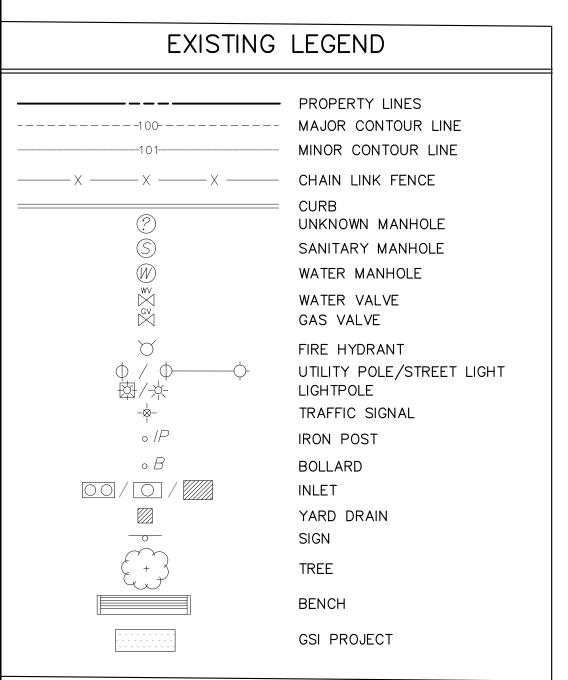
PROJECT TITLE CHRISTY RECREATION CENTER

BUILDING CODE INFORMATION

**RENOVATION - PHASE 1** 

PROJECT NO. 73217 03/15/2024 AS NOTED DRAWN BY ED CHECKED BY MS

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



#### **GENERAL NOTES:**

- SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY KS ENGINEERS P.C. IN AUGUST THRU SEPTEMBER 2022. SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN AND DEED OF RECORD. ELEVATIONS ARE
- 2. SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.

REFERENCED TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88).

- 3. IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
- UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NOS. 20222363625, 20222363650, 20222363671, 20222363966). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
- 5. INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- 6. SITE LIES WITHIN THE MAPPED LIMITS OF FLOOD ZONE X, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570178G, DATED 01/17/2007 FOR THE CITY OF PHILADELPHIA.

AND BLOCK OFF ENTRANCES TO WORK AREA. CONSTRUCTION FENCE TO BE SECURED WITH THE USE OF

CONTRACTOR TO MONITOR EXISTING PARKING LOT AREA AT ALL TIMES TO PREVENT CONFLICT BETWEEN

CONSTRUCTION VEHICLES, STAFF VEHICLES, DELIVERY TRUCKS AND PEDESTRIANS. CONTRACTOR TO

PUBLIC ROW THAT IS DAMAGED BY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

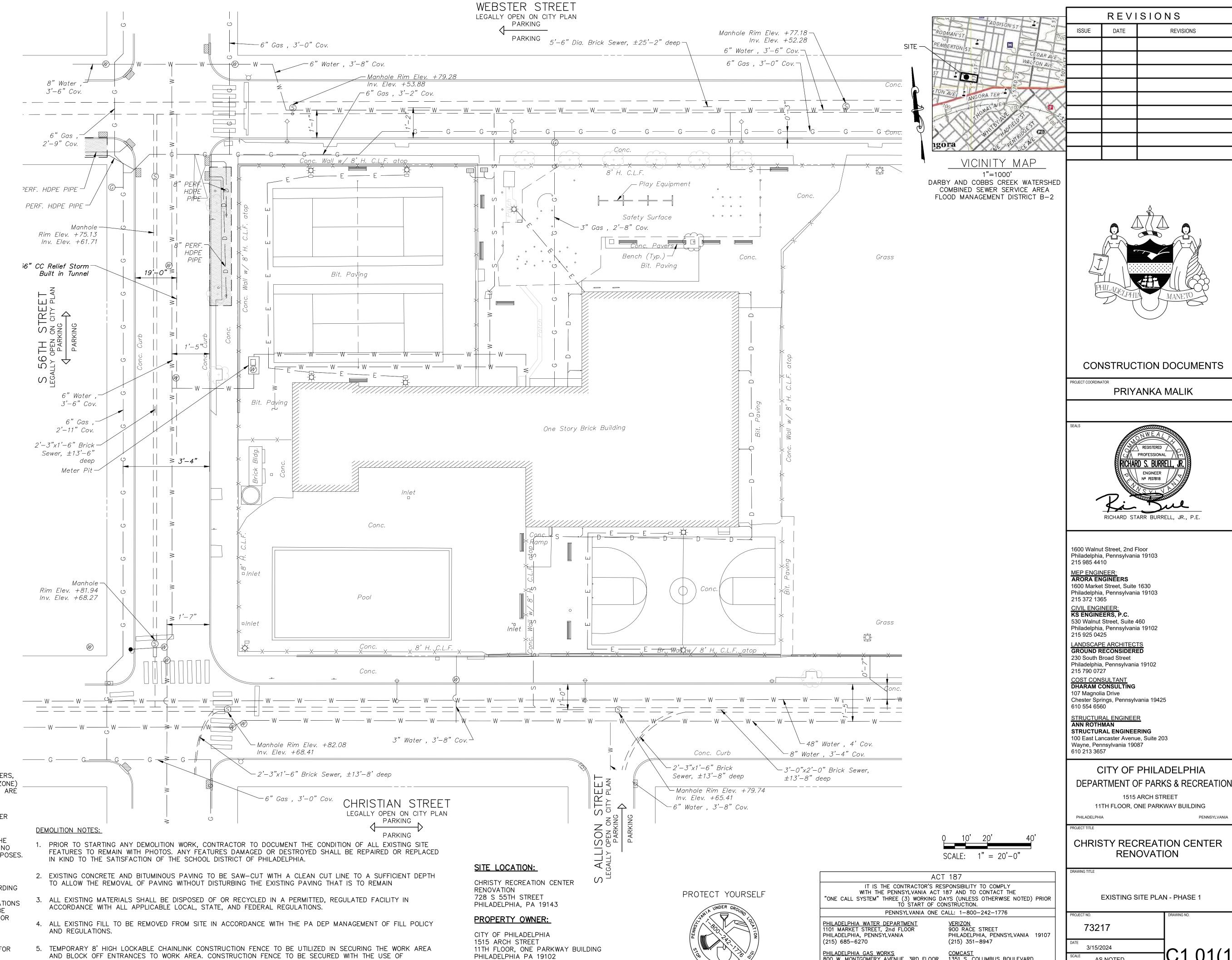
MATERIALS ARE TO BE KEPT INSIDE LOCKED AREA WHEN NOT IN USE.

7. PAVEMENT SUBBASE NOT TO BE EXPOSED DURING THE MILLING PROCESS.

CONCRETE BLOCKS AND TO BE LOCKED WHEN NOT IN USE. ALL CONSTRUCTION VEHICLES, EQUIPMENT, AND

REPAIR/REPLACE ANY CONCRETE, ASPHALT, LAWN OR PLANTED AREAS WITHIN THIS AREA AND WITHIN THE

7. PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.



OPA NUMBER:

GROSS AREA = 115,927 S.F.

IMPERVIOUS AREA = 53,928 S.F.

783752400

<u>AREA:</u>

REVISIONS

CONSTRUCTION DOCUMENTS

PRIYANKA MALIK

CITY OF PHILADELPHIA

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

RENOVATION

**EXISTING SITE PLAN - PHASE 1** 

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

73217

3/15/2024

AS NOTED

1351 S. COLUMBUS BOULEVARD

(215) 952-4935

PHILADELPHIA, PENNSYLVANIA 19147

800 W. MONTGOMERY AVENUE, 3RD FLOOR

PHILADELPHIA, PENNSYLVANIA 19122

PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET

PHILADELPHIA, PENNSYLVANIA 19103

(215) 684-6796

(215) 731-3264

WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR

CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE

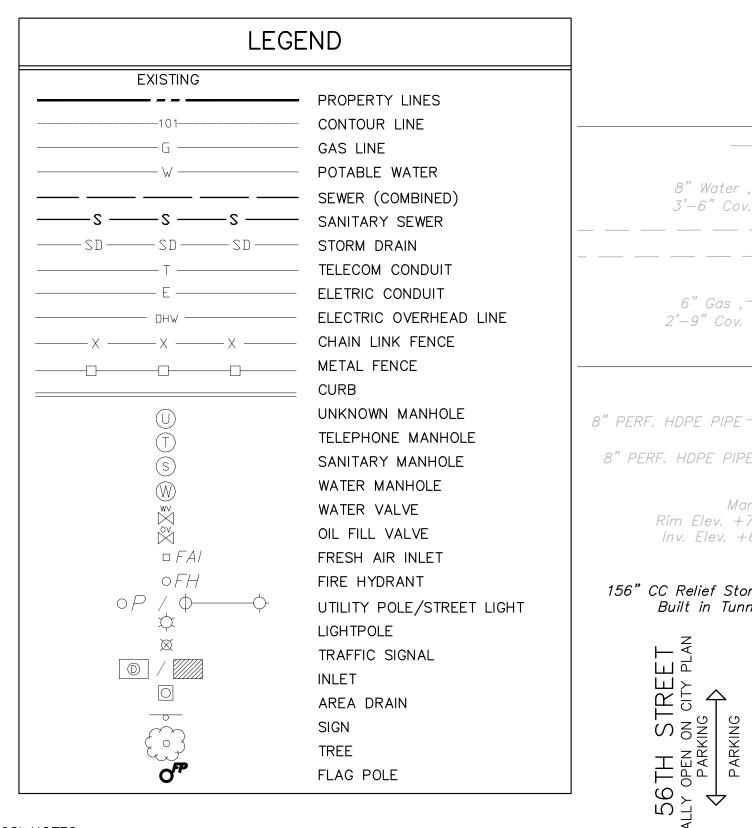
Pennsylvania One Call System, Inc.

1-800-242-1776

PENNSYLVANIA

REVISIONS

DATE



8" Water

8" PERF. HDPE PIPE -

156" CC Relief Storm

Rim Elev. +75.13

Inv. Elev. +61.7

Built in Tunnel

6" Water

3'-6" Cov.

6" Gas

2'-11" Cov.

Meter Pit-

Manhole

Rim Elev. +81.94

Inv. Elev. +68.27

2'-3"x1'-6" Brick-

Sewer, ±13'-6"

3'-6" Cov.

PROJECT -

#50027

PROJECT

- 1. THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD
- 2. THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY PWD'S GREEN STORMWATER OPERATIONS AT LEAST 7 DAYS PRIOR TO STARTING WORK TO SCHEDULE AN INSPECTOR (ATTN. GERALD BRIGHT, 215-300-9079). 3. APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE PROTECTION OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
- 4. ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY PWD.
- 5. CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY OF THE PWD GREEN STROMWATER INFRASTRUCTURE.
- CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS DURING CONSTRUCTION. SEE PWD REGULATION 501.3
- AND 600.4, PHILA CODE S. 13-603, AND 25 PA CODE CHAPTER 102 7. SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREEN STORMWATER INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED AND THEREBY COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND INCLUDING FULL REPLACEMENT) AT NO ADDITIONAL COST TO PWD.
- 8. CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE, TO PREVENT EROSIVE CONDITIONS, AND TO SUPPRESS DUST ON THE SITE AND SURROUNDING AREAS. CONTRACTOR MUST COVER SURROUND STOCKPILES WITH EROSION CONTROL MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR ENTER THE PUBLIC SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEEP WORK.
- 9. CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS ADJACENT TO OR WITHIN WORK AREA. INLET PROTECTION MEASURES MUST INSPECTED DAILY TO ENSURE PROPER PLACEMENT AND MAINTAINED POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNCTION AND TO PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PROTECTION METHODS FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS,
- AND CURB-CUT INLETS. 10. THERE SHALL BE NO CONFLICT BETWEEN THE EXISTING GSI AND THE PROPOSED DESIGNS SHOWN ON THE PLAN.

#### **GENERAL NOTES:**

- 1. PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
- 2. SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
- 3. IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
- 4. UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
- 5. INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- 6. THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
- 7. PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
- 8. THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKING AND OPEN SPACE ZONING DISTRICT (SP-PO-A).

1. SITE WILL BE OWNER MANAGED.

 $---- \lor ---- \lor ----- \lor ---- \lor ----- \lor ---- \lor ----- \lor ---- \lor ----- \lor ---- \lor --$ 

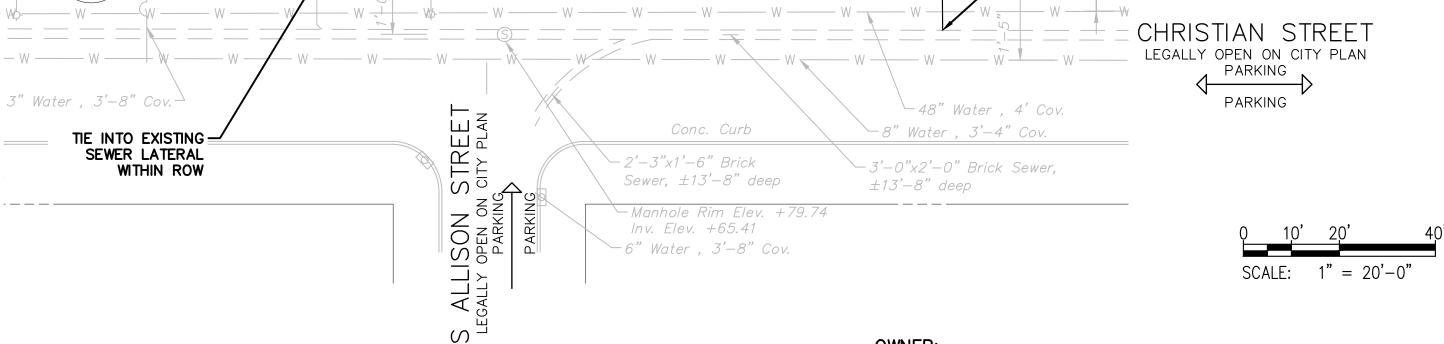
≥ 3'-4"

- 2. THERE WILL BE NO PROPOSED UTILITY EASEMENTS FOR WATER OR
- 3. THERE WILL BE NO PROPOSED CRANE FOOTING LOCATION.
- 4. LOCATION OF CONSTRUCTION ENTRANCE IS SHOWN ON THE PLAN.
- 5. LOCATION OF SOIL STOCKPILE IS SHOWN ON THE PLAN.
- 6. CONTRACTOR WILL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND OR REUSE OF WATER SERVICE LINES AND SEWER LATERALS. PROOF OF ABANDONMENT AND OR WATER DISCONTINUANCE MUST BE PROVIDED UPON REQUEST.

LIST OF UTILITY CONNECTIONS						
I.D.	TYPE	SIZE	MATERIAL	CONNECTION TYPE		
S1	STORM SEWER CONNECTION	12"	DIP	SADDLE CONNECTION INV. 63.32		

─ 6" Gas , 3'-0" Cov.

PWD TRACKING NO.: FY23-REHA-7188-01 UTILITY PLAN REVIEW TRACKING NO.: UPR-FY24-REHA-6309



STANDARD MANHOLE -

-EXISTING ELECTRIC TO BE RELOCATED

SUBSURFACE STORMWATER MANAGEMENT

(SMP-1)

One Story Brick Building

- SEWER VENT

Manhole Rim Elev. +77.18-

6" Water , 3'-6" Cov.¬

6" Gas , 3'-0" Cov. ¬

Inv. Elev. +52.28

WEBSTER STREET 5'-6" Dia. Brick Sewer, ±25'-2" deep-

LEGALLY OPEN ON CITY PLAN

PARKING

TD-3-

10" HDPE @ 1.0% MIN. —

1.67' x 11.5'

1.2' x 22.0'

Manhole Rim Elev. +79.28

Inv. Elev. +53.88

-6" Gas , 3'-2" Cov.

#### SITE DATA INFORMATION

SITE AREA	118,146 S.F.	2.71 ACRES
LIMIT OF DISTURBANCE	37,430 S.F.	0.86 ACRES

INLET NUMBER	GRATE TYPE
I-5	YARD 2'x2'
TD-1	20 LF VEHICLE RATED TRENCH DRAIN
TD-2	22 LF PLASTIC TRENCH DRAIN
TD-3	9 LF PLASTIC TRENCH DRAIN

#### PHILADELPHIA PARKS & RECREATION ADDRESS: 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BLDG

PHILADELPHIA, PA 19102 PHONE: 215-683-0202 EMAIL: PRIYANKA.MALIK@PHILA.GOV PPR PROJECT MANAGER PRIYANKA MALIK

#### **ENGINEER:** KS ENGINEERS, P.C.

ADDRESS: 530 WALNUT STREET, SUITE 460 PHILADELPHIA, PA 19106 PHONE: 215-925-0425 RBURRELL@KSENG.COM EMAIL: PHILADELPHIA BRANCH MANAGER RICHARD BURRELL, P.E.

#### PROJECT DESCRIPTION: RECREATIONAL SITE, RENOVATIONS PROJECT

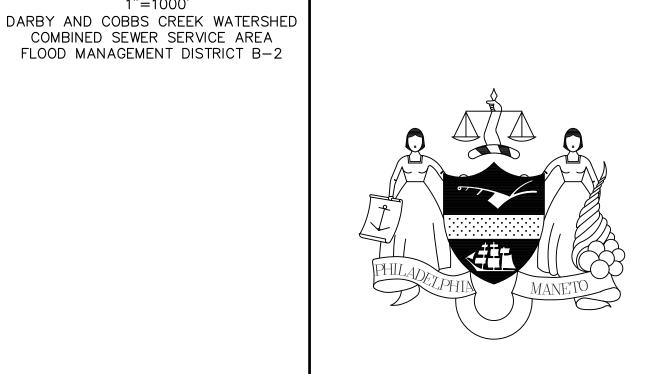
**SITE GOVERNANCE:** PHILADELPHIA PARKS & RECREATION

### SITE LOCATION:

CHRISTY RECREATION CENTER RENOVATION 728 S 55TH STREET PHILADELPHIA. PA 19143

# PROPERTY OWNER:

CITY OF PHILADELPHIA 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PA 19102



REVISIONS

REVISIONS

DATE

VICINITY MAP 1"=1000'

COMBINED SEWER SERVICE AREA FLOOD MANAGEMENT DISTRICT B-2

-SMP-1 OUTLET CONTROL STRUCTURE

-12" HDPE @ 1.0% MIN.

SADDLE CONNECTION TO

3' x 2' BRICK SEWER

-SEWER VENT

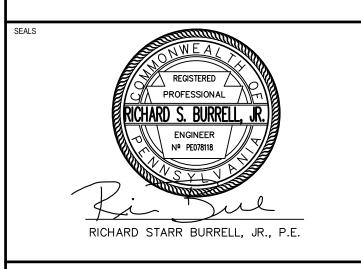
(S1) 12" DIP

INV. = 63.32

Grass

#### CONSTRUCTION DOCUMENTS

PRIYANKA MALIK



1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103

215 985 4410

215 372 1365

MEP ENGINEER: ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103

CIVIL ENGINEER: KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425

ANDSCAPE ARCHITECTS GROUND RECONSIDERED 230 South Broad Street Philadelphia, Pennsylvania 19102

215 790 0727 COST CONSULTANT DHARAM CONSULTING 107 Magnolia Drive

Chester Springs, Pennsylvania 19425 610 554 6560 STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING

#### 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION** 

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

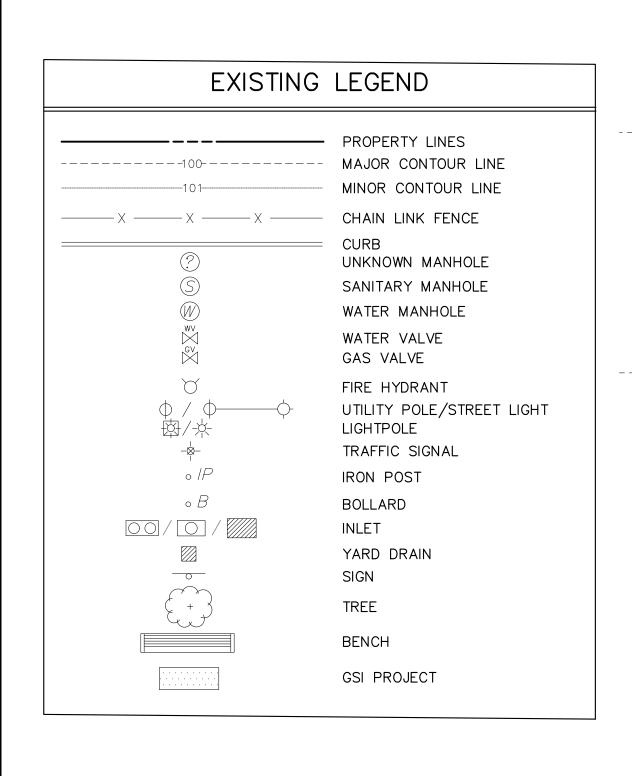
PHILADELPHIA PENNSYLVANIA

CHRISTY RECREATION CENTER RENOVATION

**UTILITY PLAN - PHASE 1** 

73217 C1.02(1)3/15/2024 AS NOTED TN

RB ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



#### PROPOSED LEGEND WATER SERVICE ELECTRIC SERVICE TRENCH DRAIN INLET OBSERVATION WELL O Obs.Well O OP OBSERVATION PORT CLEAN OUT O CO STONE INFILTRATION AREA SUBSURFACE MODULAR INFILTRATION BASIN

#### **GENERAL NOTES:**

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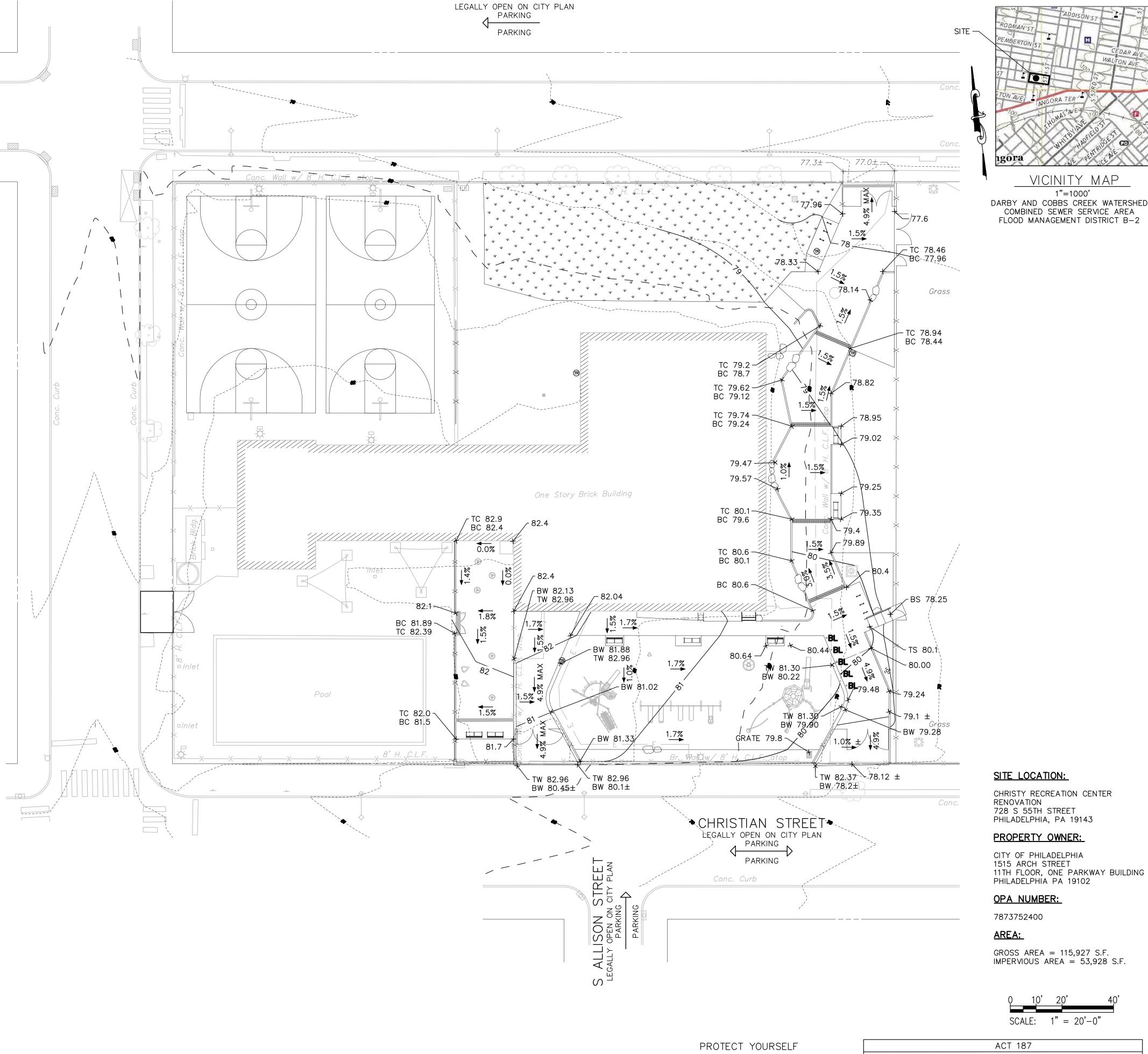
STREET ON CITY PLAN

56TH

- 2. SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
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- PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
- B. THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-P0-A).
- 9. PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

#### CONSTRUCTION NOTES:

IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE, CLEANOUTS SHALL BE INSTALLED ON ALL SANITARY AND STORM DRAIN PIPES AT INTERVALS NOT TO EXCEED 100 FEET AND AT ALL CHANGES IN HORIZONTAL DIRECTION GREATER THAN 45 DEGREES.



WEBSTER STREET



WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE Pennsylvania One Call System, Inc. 1-800-242-1776

# SCALE: 1" = 20'-0"

ACT 187 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.

PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2nd FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270

(215) 351-8947 PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19147 PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796 (215) 952-4935

PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264

PENNSYLVANIA ONE CALL: 1-800-242-1776 <u>VERIZON</u> 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 COMCAST 1351 S. COLUMBUS BOULEVARD

**GRADING PLAN - PHASE 1** 

CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

CHRISTY RECREATION CENTER RENOVATION

PENNSYLVANIA

REVISIONS

CONSTRUCTION DOCUMENTS

PRIYANKA MALIK

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103

1600 Market Street, Suite 1630

Philadelphia, Pennsylvania 19103

Philadelphia, Pennsylvania 19102

Philadelphia, Pennsylvania 19102

Chester Springs, Pennsylvania 19425

100 East Lancaster Avenue, Suite 203

215 985 4410

215 372 1365

215 925 0425

215 790 0727

610 554 6560

610 213 3657

PHILADELPHIA

MEP ENGINEER: ARORA ENGINEERS

CIVIL ENGINEER: KS ENGINEERS, P.C.

530 Walnut Street, Suite 460

LANDSCAPE ARCHITECTS
GROUND RECONSIDERED

230 South Broad Street

COST CONSULTANT
DHARAM CONSULTING

STRUCTURAL ENGINEER ANN ROTHMAN

STRUCTURAL ENGINEERING

Wayne, Pennsylvania 19087

107 Magnolia Drive

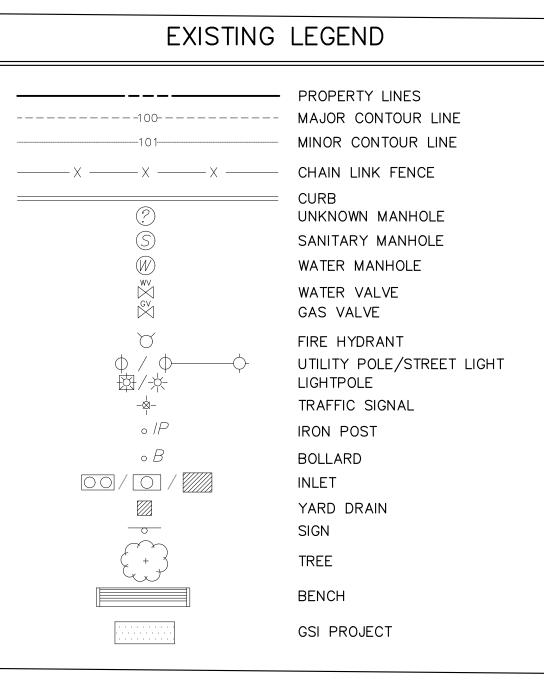
REVISIONS

DATE

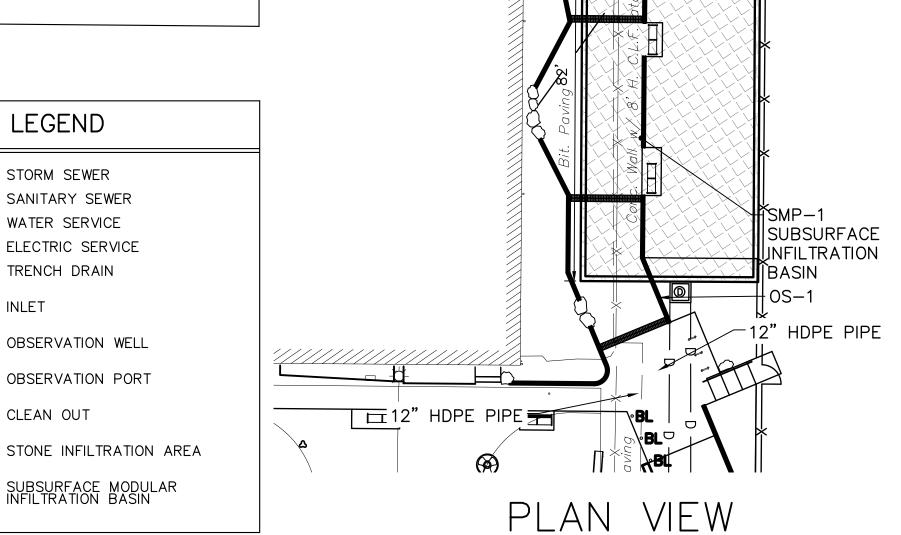
VICINITY MAP

1"=1000'

73217 C1.03(1)3/15/2024 AS NOTED TN ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



PROPOSED LEGEND



12"HDPE PIPE

# **GENERAL NOTES:**

O Obs.Well

O OP

O CO

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ELECTRIC SERVICE

OBSERVATION WELL

OBSERVATION PORT

SUBSURFACE MODULAR INFILTRATION BASIN

CLEAN OUT

TRENCH DRAIN

INLET

- 2. SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
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- 7. PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
- 8. THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-PO-A).
- 9. PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

#### **CONSTRUCTION NOTES:**

1. IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE, CLEANOUTS SHALL BE INSTALLED ON ALL SANITARY AND STORM DRAIN PIPES AT INTERVALS NOT TO EXCEED 100 FEET AND AT ALL CHANGES IN HORIZONTAL DIRECTION GREATER THAN 45 DEGREES.

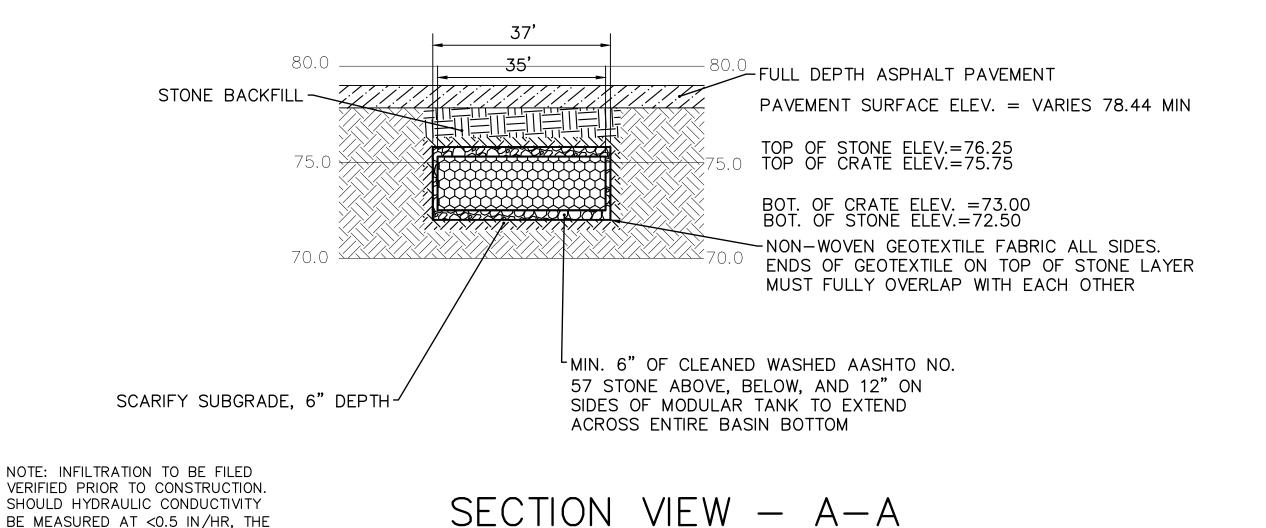
#### GREEN STORMWATER MANAGEMENT NOTES:

SCALE: 1"=20'

- 1. THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR.
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Grass

- 3. APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE PROTECTION OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
- 4. ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY PWD.
- 5. CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY OF THE PWD GREEN STORMWATER INFRASTRUCTURE.
- 6. CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS DURING CONSTRUCTION. SEE PWD REGULATION 501.3 AND 600.4, PHILA CODE S. 13-603, AND 25 PA CODE CHAPTER 102.
- 7. SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREEN STORMWATER INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED AND THEREBY COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND INCLUDING FULL REPLACEMENT) AT NO ADDITIONAL COST TO PWD.
- 8. CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE, TO PREVENT EROSIVE CONDITIONS. AND TO SUPPRESS DUST ON THE SITE AND SURROUNDING AREAS. CONTRACTOR MUST COVER AND SURROUND STOCKPILES WITH EROSION CONTROL MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR ENTER THE PUBLIC SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEEP WORK SITE AT THE END OF EACH WORKDAY. THE CITY MAY REQUIRE THE CONTRACTOR / OWNER TO CLEAN CITY-OWNED INLETS AND SYSTEMS AFFECTED BY NONCOMPLIANT OR FAILED E&S CONTROLS.
- 9. CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS ADJACENT TO OR WITHIN THE WORK AREA. INLET PROTECTION MEASURES MUST BE INSPECTED DAILY TO ENSURE PROPER PLACEMENT, AND MAINTAINED, POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNCTION AND TO PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PROTECTION METHODS FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS AND CURB-CUT INLETS.



SCALE: HOR. 1"=20'

VER. 1"=5"

STONE BACKFILL-FULL DEPTH ASPHALT PAVEMENT 82' PAVEMENT SURFACE ELEV. = VARIES 78.44 MIN TOP OF STONE ELEV.=76.25 TOP OF CRATE ELEV.=75.75 75.0 BOT. OF CRATE ELEV.=73.00 BOT. OF STONE ELEV.=72.50 NON-WOVEN GEOTEXTILE FABRIC ALL SIDES. ENDS OF GEOTEXTILE ON TOP OF STONE LAYER MUST FULLY OVERLAP WITH EACH OTHER SCARIFY SUBGRADE, 6" DEPTH-SUBGRADE MUST BE UNCOMPACTED MIN. 6" OF CLEANED WASHED AASHTO NO. 57 STONE ABOVE, BELOW, AND 12" ON SIDES OF MODULAR TANK TO EXTEND

ACROSS ENTIRE BASIN BOTTOM

## SECTION VIEW - B-B SCALE: HOR. 1"=20'

VER. 1"=5"

10. GEOTEXTILE MUST CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS (AASHTO CLASS 1 OR CLASS 2 GEOTEXTILE IS RECOMMENDED):

a. GRAB TENSILE STRENGTH (ASTM-D4632): ≥120 LBS b. MULLEN BURST STRENGTH (ASTM-D3786): ≥225 PSI

c. FLOW RATE (ASTM-D4491): ≥95 GAL/MIN/FT2 d. UV RESISTANCE AFTER 500 HRS (ASTM-D4355): ≥70%

e. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED

11. STORAGE PIPES:

BE MEASURED AT <0.5 IN/HR. THE CONTRACTOR SHALL CONSTRUCT

SMP-1-ALT INSTEAD

- a. PIPE USED WITHIN THE SUBSURFACE INFILTRATION SMP MUST BE CONTINUOUSLY PERFORATED AND HAVE A SMOOTH INTERIOR WITH A
- MINIMUM INNER DIAMETER OF FOUR INCHES. b. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE MUST MEET THE SPECIFICATIONS
- OF AASHTO M252, TYPE S OR AASHTO M294, TYPE S. c. ANY PIPE MATERIALS OUTSIDE THE SMP ARE TO MEET CITY PLUMBING CODE STANDARDS.
- 12. STONE SHALL BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. CLEAN-WASHED STONE IS DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION.

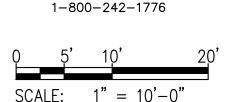


DARBY AND COBBS CREEK WATERSHED

COMBINED SEWER SERVICE AREA

FLOOD MANAGEMENT DISTRICT B-2

WHAT YOU DON'T KNOW CAN HURT YOU. CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAG Pennsylvania One Call System, Inc.



#### SITE LOCATION:

CHRISTY RECREATION CENTER RENOVATION 728 S 55TH STREET PHILADELPHIA, PA 19143

#### PROPERTY OWNER:

CITY OF PHILADELPHIA 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PA 19102

#### **OPA NUMBER:**

7873752400

#### AREA:

GROSS AREA = 115,927 S.F. IMPERVIOUS AREA = 53,928 S.F.

ACT 187 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION. PENNSYLVANIA ONE CALL: 1-800-242-1776 <u>PHILADELPHIA WATER DEPARTMENT</u> 101 MARKET STREET, 2nd FLOOR VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 PHILADELPHIA, PENNSYLVANIA (215) 685-6270 (215) 351-8947 PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 PHILADELPHIA, PENNSYLVANIA 19122

(215) 684-6796 (215) 952-4935 PECO-CONSTRUCTION DEPARTMENT PHILADELPHIA. PENNSYLVANIA 19103

(215) 731-3264

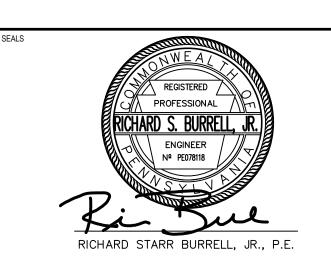
CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

REVISIONS DATE REVISIONS VICINITY MAP



#### CONSTRUCTION DOCUMENTS

PRIYANKA MALIK



1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103

MEP ENGINEER: ARORA ENGINEERS

215 985 4410

1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365 CIVIL ENGINEER:

KS ENGINEERS, P.C.

530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425

LANDSCAPE ARCHITECTS GROUND RECONSIDERED

230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727

**COST CONSULTANT DHARAM CONSULTING** 107 Magnolia Drive Chester Springs, Pennsylvania 19425

610 554 6560 STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING

100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA

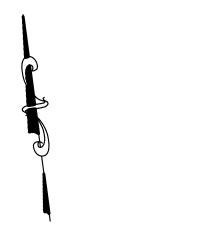
PENNSYLVANIA

#### CHRISTY RECREATION CENTER RENOVATION

STORMWATER MANAGEMENT SUBSURFACE **INFILTRATION BASIN DETAIL** 

73217 3/15/2024 AS NOTED TN RB ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

PWD TRACKING NO.: FY23-REHA-7188-01



**GENERAL NOTES:** 

STREET, ELEVATION 81.01.

FOR INFORMATIONAL PURPOSES ONLY.

ACTIVE ZONING DISTRICT (SP-PO-A).

**CONSTRUCTION NOTES:** 

45 DEGREES.

11/18/2015 FOR THE CITY OF PHILADELPHIA.

LOCATED WITHIN 100 FEET OF THE PROPERTY.

OTHER PURPOSES.

1. PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON

DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM.

2. SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD

3. IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR

4. UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY

THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS

ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY

OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE

AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES

NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE

PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT

LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION

ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.

CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION

5. INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN

7. PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE

8. THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE

1. IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE, CLEANOUTS SHALL BE

INSTALLED ON ALL SANITARY AND STORM DRAIN PIPES AT INTERVALS NOT TO

EXCEED 100 FEET AND AT ALL CHANGES IN HORIZONTAL DIRECTION GREATER THAN

9. PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

6. THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE

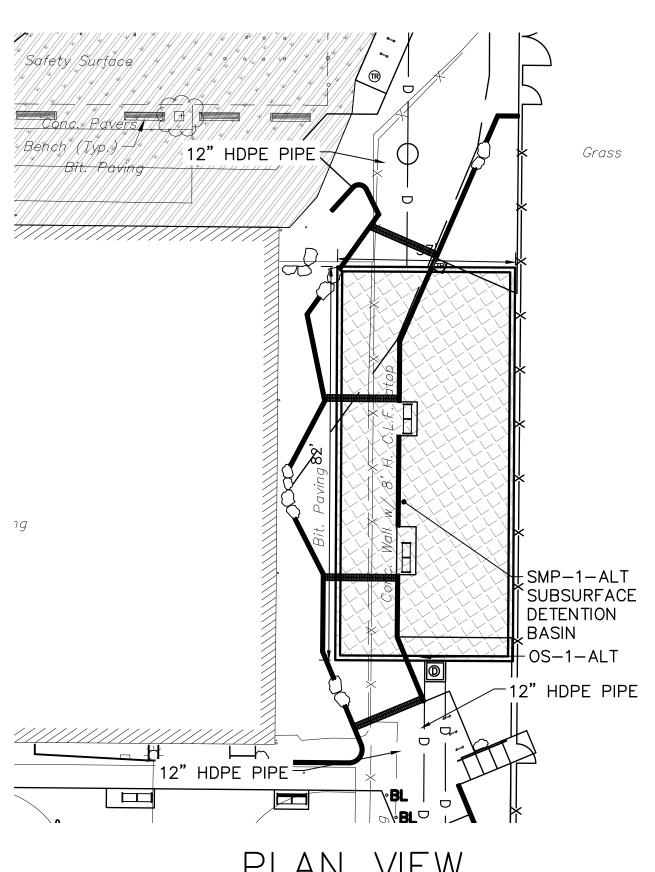
FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED

ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER

EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.

PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK

P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125

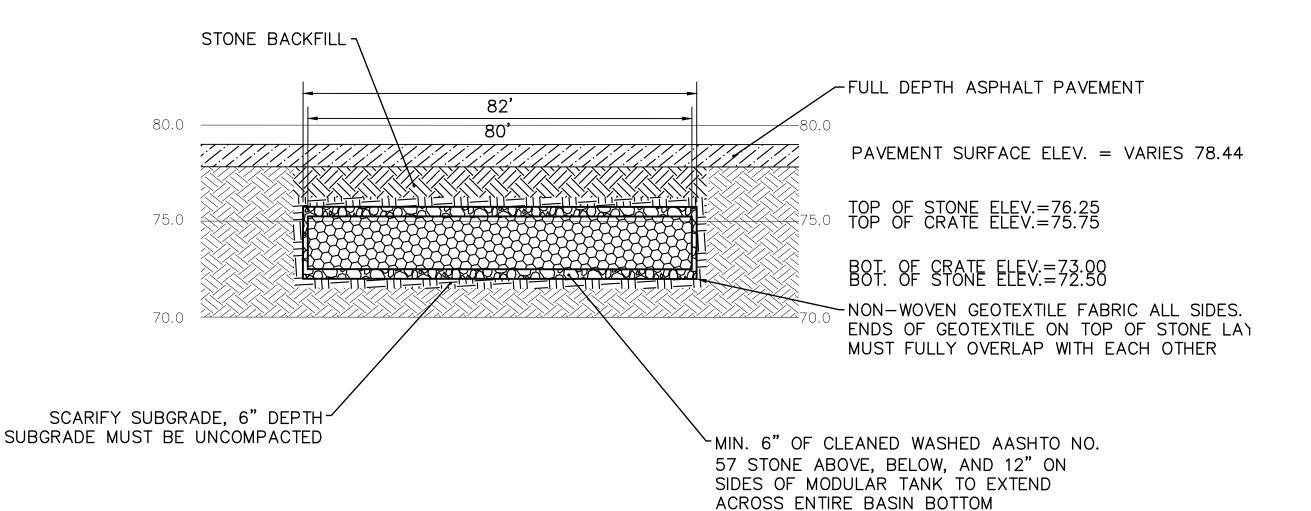


85.0 FULL DEPTH ASPHALT PAVEMENT PAVEMENT SURFACE ELEV. = VARIES 78.44 MIN TOP OF STONE ELEV.=76.25 TOP OF CRATE ELEV.=75.75 75.0 BOT. OF CRATE ELEV. =73.00 BOT. OF STONE ELEV.=72.50 -NON-WOVEN GEOTEXTILE FABRIC ALL SIDES. 70.0 ENDS OF GEOTEXTILE ON TOP OF STONE LAYER MUST FULLY OVERLAP WITH EACH OTHER <sup>L</sup>MIN. 6" OF CLEANED WASHED AASHTO NO. 57 STONE ABOVE, BELOW, AND 12" ON SCARIFY SUBGRADE, 6" DEPTH SIDES OF MODULAR TANK TO EXTEND ACROSS ENTIRE BASIN BOTTOM

### SECTION VIEW - A-A SCALE: HOR. 1"=20'

VER. 1"=5"

NOTE: INFILTRATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. SMP-1-ALT SHALL ONLY BE CONSTRUCTED SHOULD HYDRAULIC CONDUCTIVITY BE MEASURED AT <0.5 IN/HR.



#### SECTION VIEW - B-B SCALE: HOR. 1"=20"

VER. 1"=5"

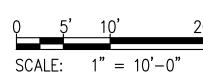
#### GREEN STORMWATER MANAGEMENT NOTES:

- 1. THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR.
- 2. THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY PWD'S GREEN STORMWATER OPERATIONS AT LEAST 7 DAYS PRIOR TO STARTING WORK TO SCHEDULE AN INSPECTOR (ATTN: GERALD BRIGHT, 215-300-9079).
- 3. APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE PROTECTION OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
- 4. ANY CHANGE TO. OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY PWD.
- 5. CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY OF THE PWD GREEN STORMWATER INFRASTRUCTURE.
- 6. CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS DURING CONSTRUCTION. SEE PWD REGULATION 501.3 AND 600.4, PHILA CODE S. 13-603, AND 25 PA CODE CHAPTER 102.
- 7. SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREEN STORMWATER INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED AND THEREBY COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND INCLUDING FULL REPLACEMENT) AT NO ADDITIONAL COST TO PWD.
- B. CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE, TO PREVENT EROSIVE CONDITIONS, AND TO SUPPRESS DUST ON THE SITE AND SURROUNDING AREAS. CONTRACTOR MUST COVER AND SURROUND STOCKPILES WITH EROSION CONTROL MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR ENTER THE PUBLIC SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEEP WORK SITE AT THE END OF EACH WORKDAY. THE CITY MAY REQUIRE THE CONTRACTOR / OWNER TO CLEAN CITY-OWNED INLETS AND SYSTEMS AFFECTED BY NONCOMPLIANT OR FAILED E&S CONTROLS.
- 9. CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS ADJACENT TO OR WITHIN THE WORK AREA. INLET PROTECTION MEASURES MUST BE INSPECTED DAILY TO ENSURE PROPER PLACEMENT, AND MAINTAINED, POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNCTION AND TO PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PROTECTION METHODS FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS AND CURB-CUT INLETS

- 10. GEOTEXTILE MUST CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS (AASHTO CLASS 1 OR CLASS 2 GEOTEXTILE IS
- RECOMMENDED): a. GRAB TENSILE STRENGTH (ASTM-D4632): ≥120 LBS
- b. MULLEN BURST STRENGTH (ASTM-D3786): ≥225 PSI c. FLOW RATE (ASTM-D4491): ≥95 GAL/MIN/FT2
- d. UV RESISTANCE AFTER 500 HRS (ASTM-D4355): ≥70% e. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED
- 11. STORAGE PIPES:
- a. PIPE USED WITHIN THE SUBSURFACE INFILTRATION SMP MUST BE CONTINUOUSLY PERFORATED AND HAVE A SMOOTH INTERIOR WITH A MINIMUM INNER DIAMETER OF FOUR INCHES.
- b. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE MUST MEET THE SPECIFICATIONS OF AASHTO M252, TYPE S OR AASHTO M294, TYPE S.
- c. ANY PIPE MATERIALS OUTSIDE THE SMP ARE TO MEET CITY PLUMBING CODE STANDARDS.
- 12. STONE SHALL BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. CLEAN-WASHED STONE IS DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION.



WHAT YOU DON'T KNOW CAN HURT YOU. CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE Pennsylvania One Call System, Inc. 1-800-242-1776



VERIZON 900 RACE STREET

(215) 952-4935

SITE LOCATION:

CHRISTY RECREATION CENTER RENOVATION 728 S 55TH STREET PHILADELPHIA, PA 19143

#### **PROPERTY OWNER:**

CITY OF PHILADELPHIA 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PA 19102

**OPA NUMBER:** 

7873752400

IMPERVIOUS AREA = 53,928 S.F.

ACT 187

IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TÒ START OF CONSTRÙCTION. PENNSYLVANIA ONE CALL: 1-800-242-1776

PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2nd FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270

PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947 PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19122 PHILADELPHIA, PENNSYLVANIA 19147

PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET

(215) 684-6796

REVISIONS ISSUE DATE **REVISIONS** 12/15/23 PER PWD REVIEW COMMENT PER PWD REVIEW COMMENT 3/21/24 PER PWD REVIEW COMMENT VICINITY MAP 1"=1000'

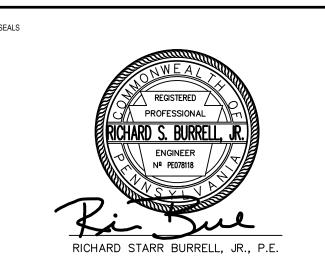
DARBY AND COBBS CREEK WATERSHED COMBINED SEWER SERVICE AREA

FLOOD MANAGEMENT DISTRICT B-2



#### DESIGN DEVELOPMENT

PRIYANKA MALIK



**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor hiladelphia, Pennsylvania 19103 215 985 4410

CIVIL ENGINEER
KS Engineers, P.C.
530 Walnut St, Suite 460 Philadelphia, PA 19106 215 925 0425

ANDSCAPE ARCHITECTS Fround Reconsidered 230 South Broad St Philadelphia, Pennsylvania 19102 215 790 0727

> Arora Engineers 1600 Market St, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365 COST CONSULTANT 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

> > CITY OF PHILADELPHIA

PHILADELPHIA PARKS & RECREATION 1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA

CHRISTY RECREATION CENTER RENOVATION

STORMWATER MANAGEMENT SUBSURFACE DETENTION BASIN

DETAIL - ALT

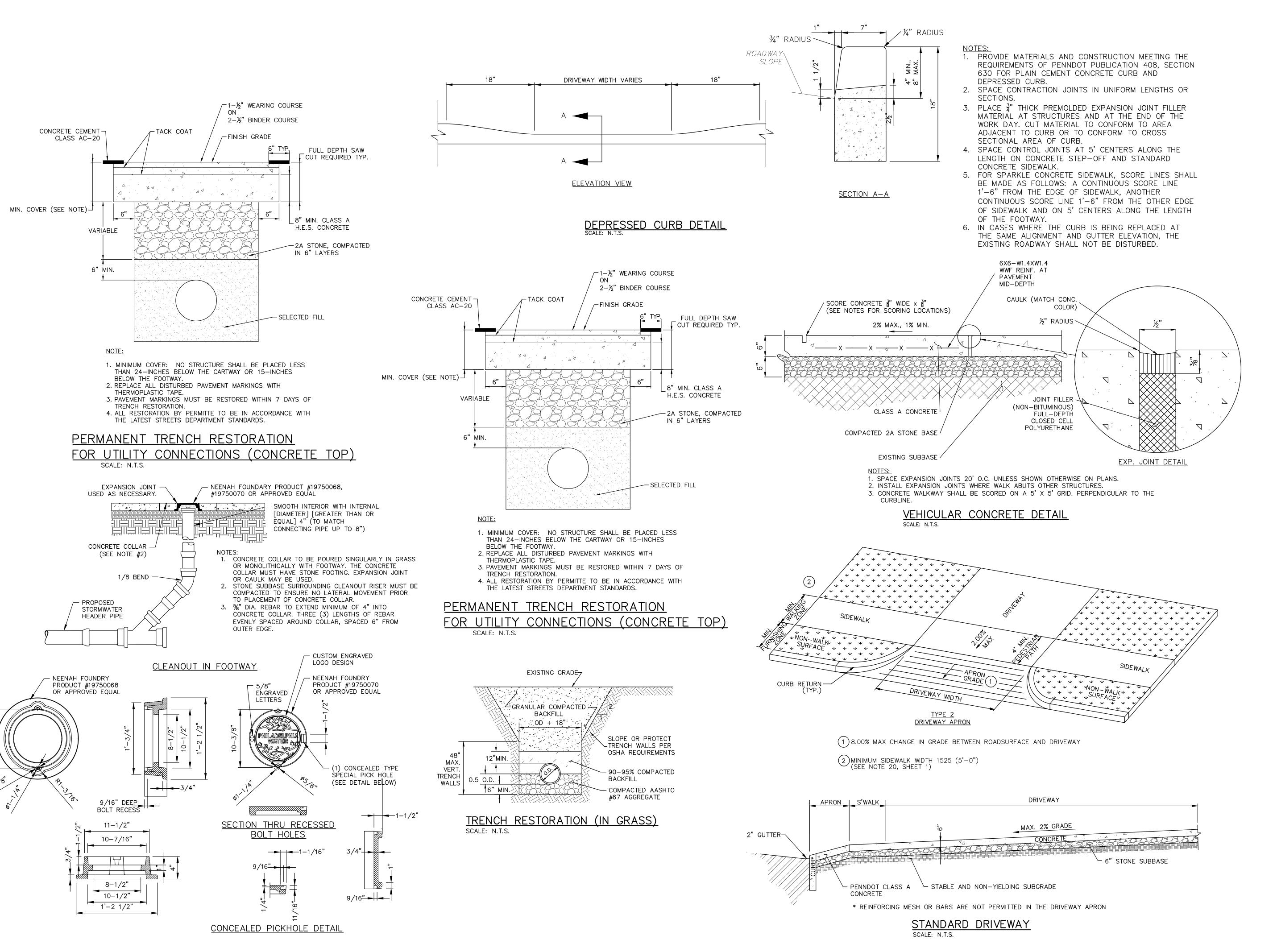
2020-2443-01 9/22/2023 AS NOTED TN

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

PWD TRACKING NO.: FY23-REHA-7188-01

GROSS AREA = 115,927 S.F.

PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264

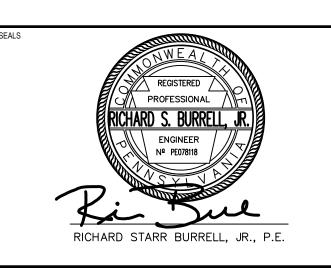


REVISIONS DATE REVISIONS



CONSTRUCTION DOCUMENTS

PRIYANKA MALIK



1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

MEP ENGINEER:
ARORA ENGINEERS

1600 Market Street, Suite 1630

Philadelphia, Pennsylvania 19103

215 372 1365

CIVIL ENGINEER: KS ENGINEERS, P.C.

530 Walnut Street, Suite 460

Philadelphia, Pennsylvania 19102 215 925 0425

LANDSCAPE ARCHITECTS
GROUND RECONSIDERED

230 South Broad Street Philadelphia, Pennsylvania 19102

215 790 0727

COST CONSULTANT
DHARAM CONSULTING

107 Magnolia Drive Chester Springs, Pennsylvania 19425

610 554 6560

STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING

100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

## CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

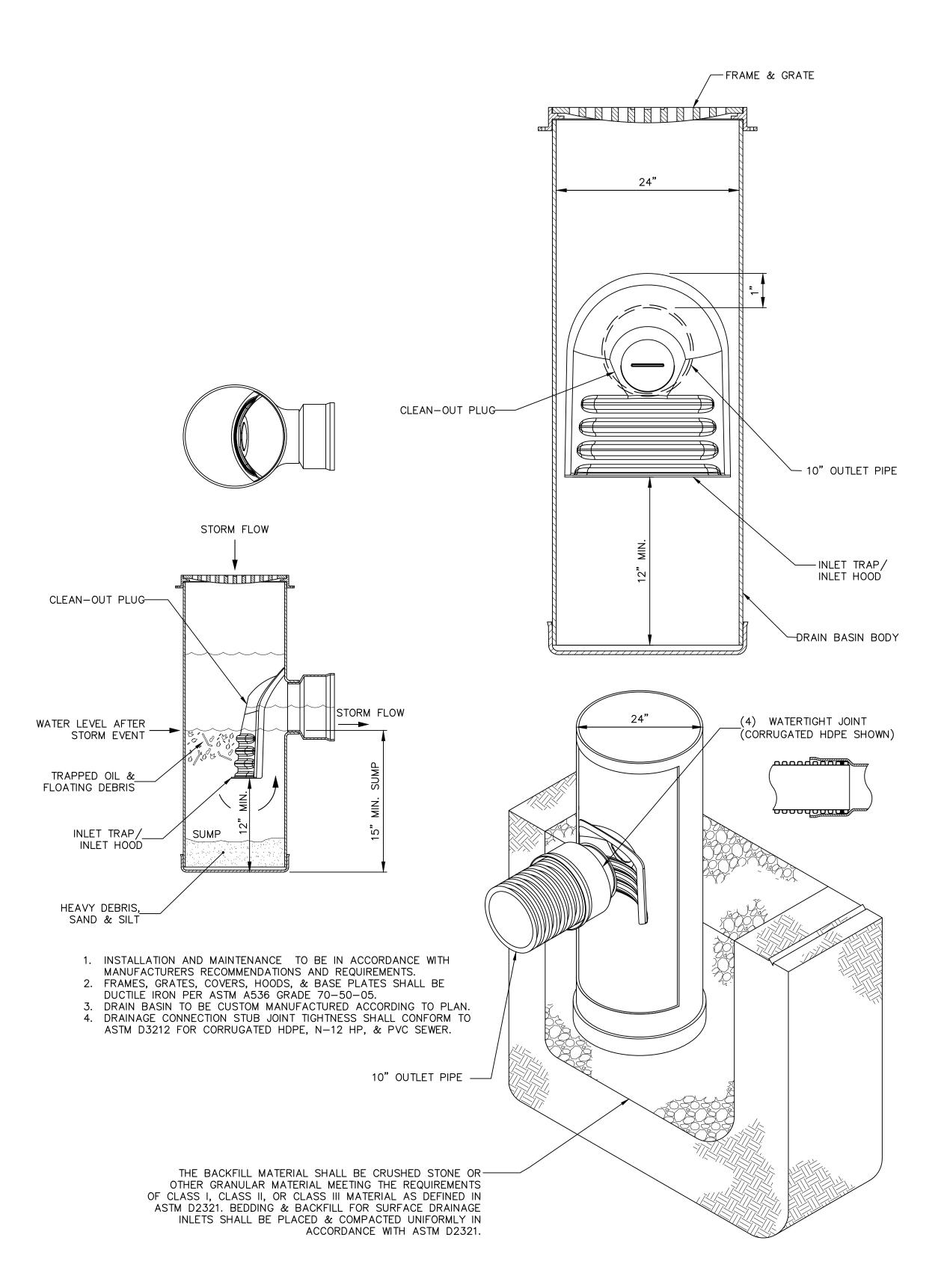
PHILADELPHIA PENNSYLVANIA

CHRISTY RECREATION CENTER

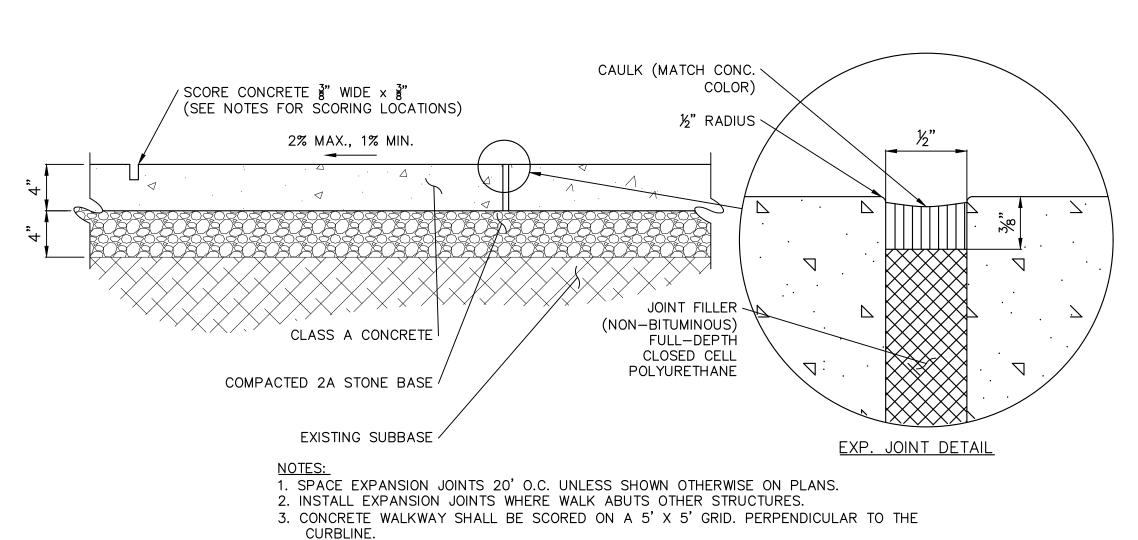
RENOVATION

**CONSTRUCTION DETAILS** 

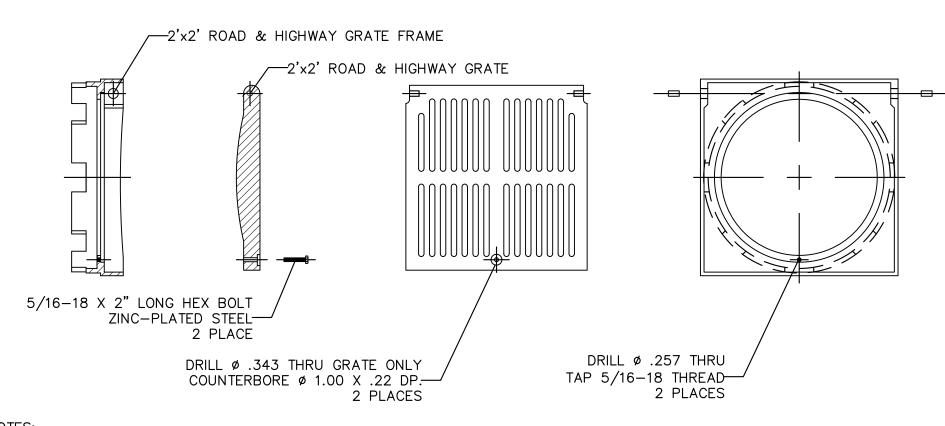
73217 C5.01(1) 3/15/2024 AS NOTED TN ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



YARD DRAIN SCALE: N.T.S.



CONCRETE SIDEWALK DETAIL SCALE: N.T.S.

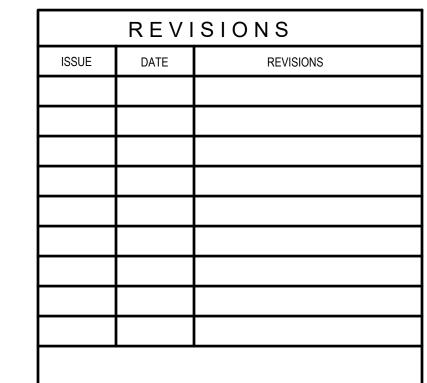


NOTES:

1. DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL

- DIMENSIONS MAY VARY.
- QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
- 3. PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

2'x2' GRATE SCALE: N.T.S.

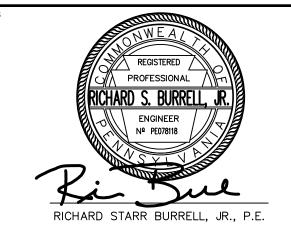




#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK



1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

## MEP ENGINEER: ARORA ENGINEERS

1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365

#### CIVIL ENGINEER: KS ENGINEERS, P.C. 530 Walnut Street, Suite 460

Philadelphia, Pennsylvania 19102 215 925 0425

### LANDSCAPE ARCHITECTS GROUND RECONSIDERED

230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727

### COST CONSULTANT DHARAM CONSULTING

107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

#### STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING

100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

#### 1515 ARCH STREET

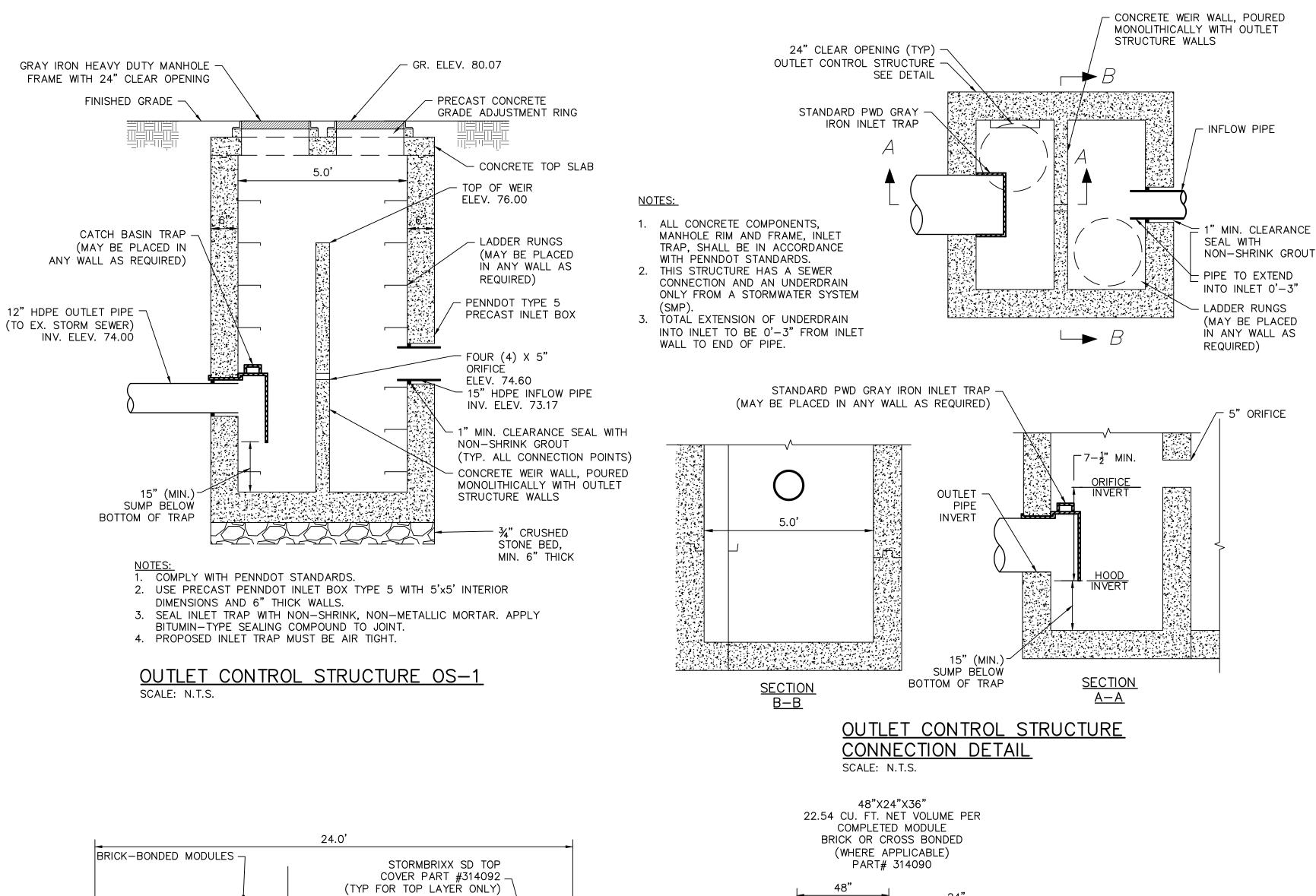
11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA

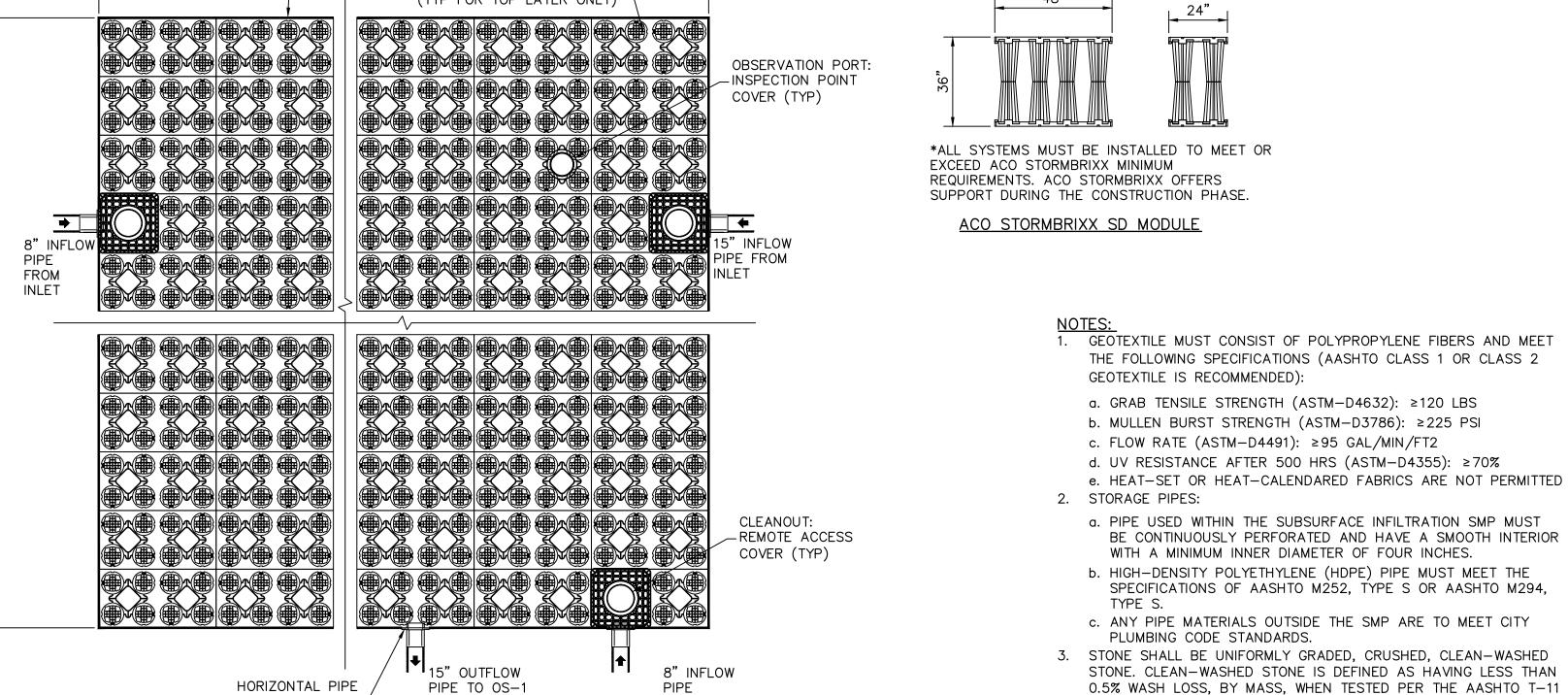
#### CHRISTY RECREATION CENTER RENOVATION

CONSTRUCTION DETAILS

PROJECT NO.	DRAWING NO.
73217	
DATE 3/15/2024	□C5.02(1)
AS NOTED	
DRAWN BY TN	
CHECKED BY RB	FILE:
NOTE: ALL DIMENSIONS AND CONDIT	IONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





FROM

INLET

CONNECTORS (TYP)

GRADE ADJUSTMENT RING CONCRETE TOP SLAB TOP OF WEIR ELEV. 75.10 CATCH BASIN TRAP - LADDER RUNGS (MAY BE PLACED IN (MAY BE PLACED ANY WALL AS REQUIRED) IN ANY WALL AS REQUIRED) PENNDOT TYPE 5 12" HDPE OUTLET PIPE PRECAST INLET BOX (TO EX. STORM SEWER) INV. ELEV. 73.25 Three(3) 5" ORIFICE @ ELEV. 73.50 - 15" HDPE INFLOW PIPE INV. ELEV. 73.17 - 1" MIN. CLEARANCE SEAL WITH NON-SHRINK GROUT 3" CAPPED PIPE W/ 1.25"-(TYP. ALL CONNECTION POINTS) ORIFICE DRILLED INTO CAP @ ELEV. 73.25 CONCRETE WEIR WALL, POURED MONOLITHICALLY WITH OUTLET 15" (MIN.) SUMP BELOW STRUCTURE WALLS BOTTOM OF TRAP ¾" CRUSHED STONE BED, MIN. 6" THICK . COMPLY WITH PENNDOT STANDARDS. 2. USE PRECAST PENNDOT INLET BOX TYPE 5 WITH 5'x5' INTERIOR DIMENSIONS AND 6" THICK WALLS. 3. SEAL INLET TRAP WITH NON-SHRINK, NON-METALLIC MORTAR. APPLY

GRAY IRON HEAVY DUTY MANHOLE

FRAME WITH 24" CLEAR OPENING

FINISHED GRADE

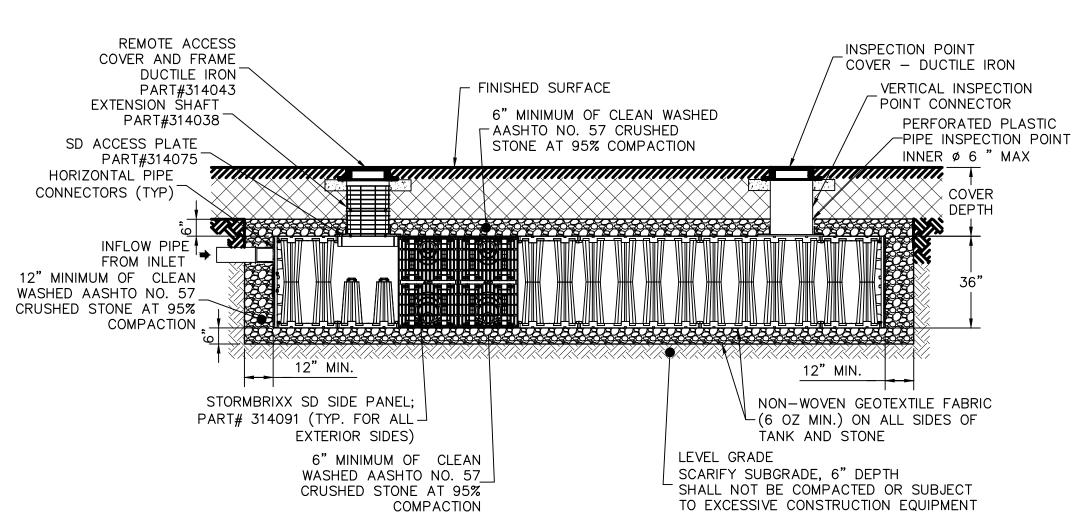
GR. ELEV. 80.07

PRECAST CONCRETE

OUTLET CONTROL STRUCTURE OS-1-ALT SCALE: N.T.S.

BITUMIN-TYPE SEALING COMPOUND TO JOINT.

4. PROPOSED INLET TRAP MUST BE AIR TIGHT.



SECTION PROFILE

ISSUE DATE CONSTRUCTION DOCUMENTS PROJECT COORDINATOR PRIYANKA MALIK ENGINEER RICHARD STARR BURRELL, JR., P.E. 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 MEP ENGINEER:
ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365 CIVIL ENGINEER: KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS
GROUND RECONSIDERED 230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727 COST CONSULTANT DHARAM CONSULTING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560 STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657 CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA CHRISTY RECREATION CENTER RENOVATION **CONSTRUCTION DETAILS** 73217 3/15/2024 AS NOTED TN

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

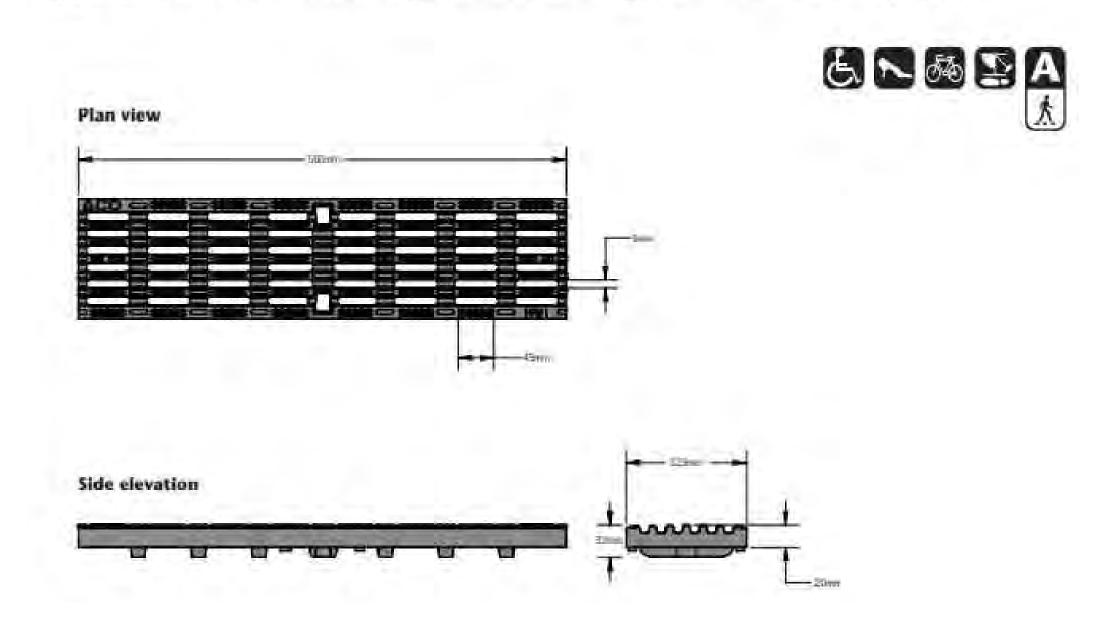
REVISIONS

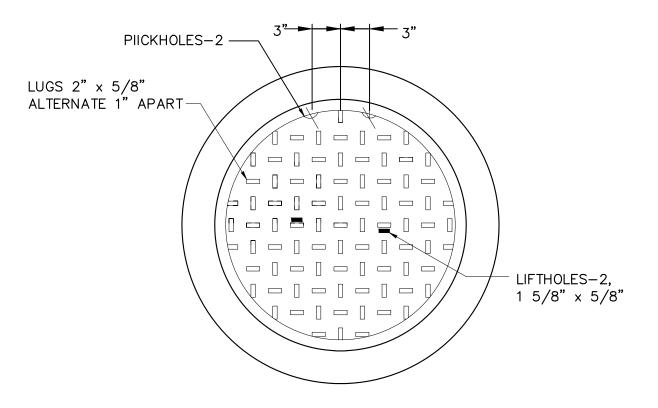
STORMWATER MANAGEMENT MODULE DETAILS
SCALE: N.T.S.

THIS SPECIFICATION.

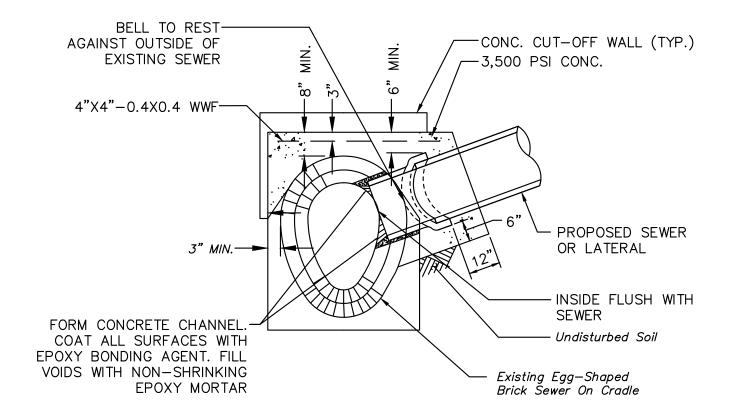
WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET

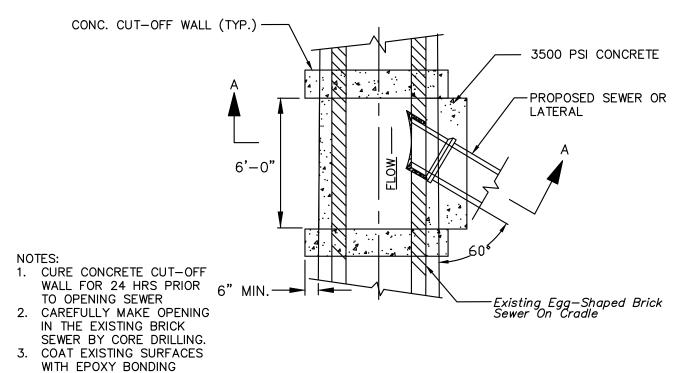
#### Type 494D/495D Black/Grey Plastic Intercept Heelsafe® Anti-Slip grate



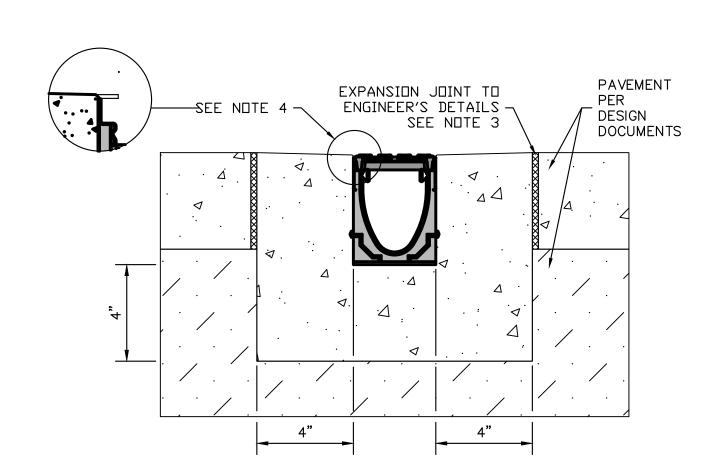


GRAY MANHOLE FRAME AND COVER SCALE: N.T.S.





1. USES 'DRAINLOK' BOLTLESS LOCKING SYSTEM



NOTES:

1. IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.

2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.

3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.

4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" ABOVE THE TOP OF THE CHANNEL EDGE.

5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. 6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

#### SPECIFICATION CLAUSE

K100 KLASSIKDRAIN "DRAINLOK" LOAD CLASS A

THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS,

CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS: COMPRESSIVE STRENGTH: FLEXURAL STRENGTH: 4,000 PSI TENSILE STRENGTH: 1,500 PSI WATER ABSORPTION: 0.07% FROST PROOF: YES DILUTE ACID AND ALKALI RESISTANT B117 SALT SPRAY TEST COMPLIANT YES

THE SYSTEM SHALL BE 4" NOMINAL INTERNAL WIDTH WITH A 5.1" OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'DRAINLOK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

ACO S300K POWER DRAIN SEE NOTE 4 -∠ WITH L□AD CLASS F SL□TTED PER GRATE OR APPROVED EQUAL **D**COMENTS -SEE NOTE 7 12" 12"

IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN

ARE SUITABLE FOR EXISTING GROUND CONDITIONS. 2. MINIMUM CONCRETE STRENGTH OF 4,000 PSI. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.

3. EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.

4. THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" ABOVE THE TOP OF THE CHANNEL EDGE. 5. CONCRETE BASE THICKNESS SHOULD MATCH SLAB

THICKNESS. 6. REFER TO ACO'S LATEST INSTALLATION INSTRUCTION FOR FURTHER DETAILS.

7. ACD, INC. RECOMMENDS USING THE POWERDRAIN CONCRETE ANCHORS (PART #97496) FOR LOAD CLASS F APPLICATIONS. TWO ANCHORS REQUIRED PER HALF METER LENGTH.

> VEHICLE RATED TRENCH DRAIN SCALE: N.T.S.

#### SADDLE CONNECTION INSTALLATION PROCEDURE:

1. THE CONNECTIONS SHOULD NOT JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE EXISTING SEWER LINES NOR JEOPARDIZE OR COMPROMISE THE OPERATION AND FLOW OF THE EXISTING SEWER LINES.

2. EXCAVATE SAFELY TO EXPOSE THE EXISTING SEWER PIPE WITHOUT DAMAGING IT. 3. EXCAVATE A DITCH WIDE ENOUGH TO ACCOMMODATE CORING THE EXISTING SEWER PIPE AND CONCRETING THE CONNECTION JOINT TO 1-FOOT PAST THE EDGE OF THE CORED OPENING IN ALL

4. CONTRACTORS SHOULD PERFORM THE CONNECTION IN A SAFE MANNER AND PER OSHA REGULATIONS. 5. SHORING SHALL BE INSTALLED IN DITCHES AND TRENCHES AS PER OSHA REGULATIONS OR AS REGULATED BY PWD. VIOLATION OF THIS PROVISION WILL RESULT IN A STOP WORK ORDER AND/OR PENALTIES PRESCRIBED BY LAW. (REFER TO PHILADELPHIA PLUMBING CODE 2004 SECTION P- 1503.2 SHORING).

6. CORE DRILL A HOLE NOT MORE THAN 1-INCH LARGER THAN THE OD OF THE CONNECTING PIPE OR SADDLE.

7. PREVENT ANY PIECES OF CORED SECTION OR DEBRIS TO FALL INTO THE SEWER. 8. REMOVE ALL THE BROKEN PIECES OR DEBRIS THAT FALL INTO THE SEWER.

9. CAULK THE INTERIOR SURFACE OF THE CORED AREA WITH NON-SHRINK OR EPOXY MORTAR. 10. CUT A SADDLE LONG ENOUGH ON THE BELL-END SIDE SO THAT WHEN INSERTED INTO THE CORED HOLE, IT WILL BE FLUSH WITH THE INSIDE FACE OF THE SEWER WALL OR WITH NOT MORE THAN 1-INCH

PROTRUSION INTO THE SEWER PIPE AND ALSO THE BELL END WILL REST ON THE SEWER PIPE. 11. FILL THE ANNULAR SPACE BETWEEN THE SADDLE AND THE SEWER PIPE WITH APPROVED CAULK OR NON-SHRINK MORTAR.

12. SECURE THE SADDLE. 13. CONNECT THE FIRST PIECE OF THE LATERAL PIPE TO THE SADDLE.

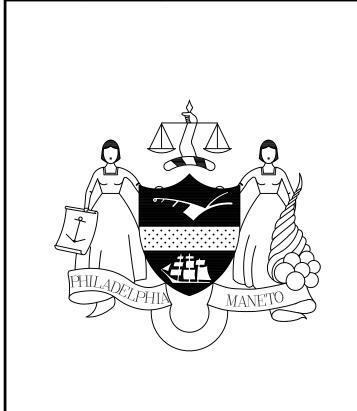
14. FORM THE OUTSIDE OF THE CONNECTION JOINT SO THAT A 12-INCH THICK CONCRETE COLLAR COULD

BE PLACED AROUND THE CONNECTION JOINT.

15. PLACE A MINIMUM OF 3,000 PSI CONCRETE COLLAR EXTENDING 12 INCH AROUND THE JOINT. 16. ALLOW AT LEAST 24 HOURS FOR THE CONCRETE TO HARDEN BEFORE BACKFILLING.

17. ANY OTHER PIPELINE EXPOSED AND UNDERMINED DURING THIS OPERATION MUST BE SUPPORTED IMMEDIATELY AND BACKFILLED WITH CONTROLLED LOW STRENGTH MATERIAL (CLSM) AFTER THE COMPLETION OF THE CONNECTION.

> SEWER LATERAL CONNECTION DETAIL TO BRICK SEWER SCALE: N.T.S.



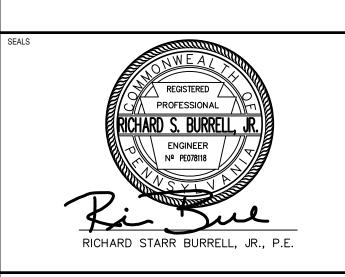
REVISIONS

REVISIONS

ISSUE

CONSTRUCTION DOCUMENTS

PRIYANKA MALIK



1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103

215 985 4410 MEP ENGINEER:

ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365

CIVIL ENGINEER: KS ENGINEERS, P.C.

530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425

LANDSCAPE ARCHITECTS
GROUND RECONSIDERED

230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727

COST CONSULTANT DHARAM CONSULTING

107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087

610 213 3657

CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

PENNSYLVANIA

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA

CHRISTY RECREATION CENTER

RENOVATION

**CONSTRUCTION DETAILS** 

73217 C5.04 3/15/2024 AS NOTED TN

> ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

PLASTIC TRENCH DRAIN SCALE: N.T.S.

#### **CONSTRUCTION SEQUENCE:**

#### **GENERAL:**

- 1. AT LEAST SEVEN (7) DAYS PRIOR TO ANY EARTH DISTURBANCE, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE A PRECONSTRUCTION MEETING.
- AT LEAST THREE (3) DAYS PRIOR TO SMP-DR-1, SMP-DR-2, SMP-DR-3, SMP-DR-4, SMP-DR-5, SMP-DR-5-ALT SMP-DR-6, SMP-DR-6-ALT, SMP-DR-7 AND SMP-DR-7-ALT INSTALLATION, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE AN INSPECTION FOR EACH SMP.
- ALL STONE THAT MAKES UP THE SMP-1 MUST REMAIN FREE OF SEDIMEN IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN-WASHED STONE.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.
- AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- THE NPDES NOTICE OF TERMINATION (N.O.T.) MUST BE SUBMITTED TO PA DEP UPON COMPLETION OF CONSTRUCTION.
- WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT
- REMOVAL PRIOR TO DISCHARGING TO A "SURFACE WATER". AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. THE CONTRACTOR INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
- CONSTRUCTION FENCE SHALL BE INSTALLED AS NEEDED TO PROTECT THE PUBLIC FROM LAND DISTURBANCE ACTIVITIES AND TO MAINTAIN PEDESTRIAN ACCESS WHERE APPLICABLE.
- CONTRACTOR SHALL PROVIDE PROTECTION OF ANY EXISTING UTILITIES. SURFACE FEATURES AND PAVEMENTS THAT ARE TO REMAIN THROUGHOUT THE DURATION OF PROJECT CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TREE PROTECTION TO ANY TREES OR SHRUBS, ADJACENT TO THE WORK, WHICH WILL REMAIN AT THE COMPLETION
- THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AROUND
- AREAS THAT WILL NOT BE DISTURBED BY THE WORK ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH
- THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. 14. THE CONTRACTOR SHALL UTILIZE THE EXISTING CART PATHS THROUGHOUT THE SITE TO THE GREATEST EXTENT POSSIBLE.

#### STAGE 1:

- STAKE OUT AND INSTALL CONSTRUCTION FENCING AROUND LOCATIONS OF PROPOSED STORMWATER MANAGEMENT BASINS SMP-1. AREAS FOR PROPOSED SMPS MUST BE PHYSICALLY MARKED AS HEAVY EQUIPMENT EXCLUSION ZONES PRIOR TO ANY LAND-DISTURBING ACTIVITIES TO AVOID SOIL DISTURBANCE AND COMPACTION DURING CONSTRUCTION. IF AREAS ARE COMPACTED DURING CONSTRUCTION, ADDITIONAL INFILTRATION TESTING AND POTENTIAL REDESIGN EFFORTS MAY BE REQUIRED
- INSTALL COMPOST FILTER SOCK DOWNHILL FROM ALL EARTH MOVING ACTIVITIES AS SHOWN ON THE PLANS. PERIMETER FILTER SOCK SHALL REMAIN AND BE MAINTAINED FOR THE DURATION OF THE WORK.
- INSTALL INLET PROTECTION ON ALL EXISTING INLETS WITHIN 1 BLOCK OF THE PROJECT SITE. INLETS SHALL REMAIN, BE PROTECTED, AND BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION.
- INSTALL RUMBLE PADS AND ROCK CONSTRUCTION ENTRANCES AS SHOWN AND IN ACCORDANCE WITH THE EROSION CONTROL PLANS AND DETAILS. RUMBLE PADS AND ROCK CONSTRUCTION ENTRANCES SHALL REMAIN AND BE MAINTAINED FOR THE DURATION OF THE WORK.
- CLEAR AND GRUB THE SITE, DEMOLISH EXISTING PAVING, AND REMOVE EXISTING TREES AND ROOT SYSTEMS, AS NEEDED. DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISCARDED IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
- EXCAVATE AND GRADE TEMPORARY SEDIMENT BASIN TO ELEVATIONS AS SHOWN ON THE E&S PLANS. PROPOSED BERMS SHALL BE COMPACTED WITH MAXIMUM 6-INCH LIFTS.
- MANUALLY GRADE AND SCARIFY THE EXISTING SOIL SURFACE AT THE BOTTOM OF THE PROPOSED SEDIMENT BASIN AS SHOWN ON THE PLANS. THE BOTTOM OF THE BASIN SHALL BE AT A LEVEL GRADE. THE EXISTING SUBGRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE
- CONSTRUCTION EQUIPMENT. ROUGH GRADE SITE TO SUBBASE ELEVATION FOR PAVEMENTS. EXCAVATED MATERIAL SHALL BE STOCKPILED AS SHOWN AND IN ACCORDANCE WITH THE EROSION CONTROL PLANS AND DETAILS.

- UPON ACHIEVING FINAL SUBGRADE ELEVATIONS, A MINIMUM OF THREE INFILTRATION TESTS MUST BE PERFORMED WITHIN THE FOOTPRINTS OF SMP-1. THE PROCEDURE USED MUST BE THE DOUBLE-RING INFILTROMETER TEST, SOIL SAMPLING AND CHARACTERIZATION ARE ALSO REQUIRED, AND ALL MUST BE IN COMPLIANCE WITH THE CURRENT PHILADELPHIA STORMWATER MANAGEMENT GUIDANCE MANUAL. PRIOR TO INFILTRATION TESTING, PWD MUST BE CALLED (215-685-6387) TO SCHEDULE AN OBSERVATION. THE ENGINEER MUST PROVIDE A SIGNED AND SEALED GEOTECHNICAL REPORT. ALL INFORMATION, ALONG WITH A PCSMP FIELD CHANGE SUBMISSION PACKAGE, MUST BE SUBMITTED TO PWD FOR REVIEW AND APPROVAL BEFORE PROCEEDING WITH CONSTRUCTION OF THE SMP AND ASSOCIATED PIPING AND STRUCTURES. ONCE THE PCSMP FIELD CHANGE IS REVIEWED AND APPROVED, PROCEED WITH INSTALLATION OF THE SMP PURSUANT TO THE APPROVED PCSMP FIELD CHANGE PLAN SET.
- EXCAVATE TRENCHES FOR PROPOSED UTILITY AND STORMWATER MANAGEMENT CONNECTIONS. INSTALL STORMWATER AND SEWER PIPELINES AND MANHOLES IN ACCORDANCE WITH THE DRAWINGS.
- TO PREVENT SOIL FROM ENTERING THE PIPES. INSTALL PROPOSED SITE INLETS, TRENCH DRAINS, AND PIPE CONNECTIONS CAP INLETS AND TRENCH DRAINS AS NEEDED TO PREVENT STORMWATER FROM ENTERING THE SYSTEM. INSTALL TEMPORARY INLET PROTECTION ON INLETS THAT WILL BE ACTIVATED DURING CONSTRUCTION. INSTALL TEMPORARY PIPING AS NEEDED TO CONVEY STORMWATER FLOWS THROUGH THE PROJECT SITE.

TEMPORARILY CAP ALL SEWER AND STORMWATER MANAGEMENT CONDUITS

- INSTALL PROPOSED ROOF LEADERS AND ROOF CONDUITS. INSTALL CONNECTIONS TO THE DRAINAGE SYSTEM AS INDICATED ON THE PLANS.
- BACKFILL TRENCHES AS THE INSTALLATION IS COMPLETED.
- INSTALL STORMWATER CONDUIT FROM OS-1.
- BEGIN INSTALLATION OF SUBSURFACE INFILTRATION (OR DETENTION) BASIN SMP-1 (OR SMP-1-ALT) AFTER UP-GRADIENT SITE HAS BEEN SUFFICIENTLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE. INSTALL SMP-1 (OR SMP-1-ALT) IN ACCORDANCE WITH THE SEQUENCE DESCRIBED HEREIN.
- INSTALL PROPOSED CURB IN ACCORDANCE WITH PLAN DRAWINGS. INSTALL PROPOSED STEPS, CONCRETE PADS, BOLLARDS, AND OTHER PROPOSED SITE FEATURES IN ACCORDANCE WITH THE PLAN DRAWINGS.
- PLACE TOPSOIL, SEEDING, AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPING PLAN DRAWINGS.
- PAVEMENTS IN ACCORDANCE WITH THE PLAN DRAWINGS. UPON PERMANENT STABILIZATION OF THE SITE, REMOVE TEMPORARY INLET, TRENCH DRAIN, AND ROOF DRAIN CAPS. INSTALL TEMPORARY INLET

INSTALL PROPOSED SIDEWALKS, FULL DEPTH PAVEMENT, AND CART PATH

- PROTECTION ON ALL INLETS UNTIL ALL SITE WORK IS COMPLETED. ACTIVATE THE PROPOSED MEDIA FILTER, IF NEEDED, AS OUTLINED IN THE
- MANUFACTURER'S SPECIFICATIONS. SWEEP PAVED AREAS DAILY TO PREVENT TRACKING OF SOIL OFF-SITE UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE CONTRACTOR SHALL

CONTACT THE INSPECTION COORDINATOR OF PWD (OFFICE: 215-685-6387)

FOR A FINAL INSPECTION PRIOR TO REMOVAL OF ALL EROSION CONTROL

#### STAGE 3:

DEVICES.

- 11. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE CONTRACTOR SHALL CONTACT THE INSPECTION COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL OF ALL EROSION CONTROL
- 12. UPON APPROVAL FROM THE PWD INSPECTOR, REMOVE ALL SOIL EROSION CONTROL MEASURES.
- THE NPDES NOTICE OF TERMINATION (N.O.T.) MUST BE SUBMITTED TO PA DEP UPON COMPLETION OF CONSTRUCTION.

#### SMP SEQUENCE

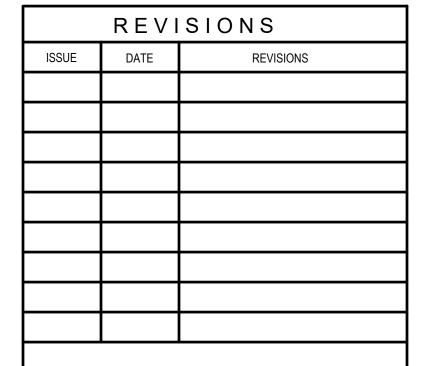
- 1. AT LEAST 3 DAYS PRIOR TO THE INSTALLATION OF THE STORMWATER MANAGEMENT BASINS, THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE AN INSPECTION.
- 2. STAKE OUT UNDERGROUND STORMWATER INFILTRATION BASIN SMP-1 LOCATION AND PROTECT THE AREA FROM COMPACTION DURING CONSTRUCTION. INSTALL COMPOST FILTER SOCK ON THE SITE SUCH THAT CONSTRUCTION RUNOFF IS DIRECTED AWAY FROM THE PROPOSED SUBSURFACE INFILTRATION SMP. PHOTOGRAPH THAT THE BASIN LOCATION IS STAKED AND SEDIMENT CONTROL DEVICES ARE IN PLACE IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT
- 3. EXCAVATE SUBSURFACE INFILTRATION AREA TO PROPOSED DEPTH AS SHOWN ON THE PLANS, PROVIDING APPROPRIATE SHORING AND SHEETING FOR DEEP EXCAVATIONS
- 4. MANUALLY GRADE AND SCARIFY THE EXISTING SOIL SURFACE AT THE BOTTOM OF THE SUBSURFACE INFILTRATION BASIN. THE BOTTOM OF THE BASIN SHALL BE AT A LEVEL GRADE. THE EXISTING SUBGRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT. EXISTING SUBGRADE MUST NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT PRIOR TO PLACEMENT OF GEOTEXTILE AND STONE BED. THE USE OF MACHINERY TO LOAD STONE FROM OUTSIDE OF THE INFILTRATION BED FOOTPRINT IS RECOMMENDED. STONE SHOULD BE CAREFULLY PLACED, NOT DUMPED, IN THE INFILTRATION BED. IF IT IS ESSENTIAL THAT EQUIPMENT BE USED IN THE EXCAVATED AREA, ALL EQUIPMENT MUST BE LOW GROUND PRESSURE EQUIPMENT AND APPROVED BY PWD. USE OF EQUIPMENT WITH NARROW TRACKS OR TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION AND MUST NOT BE USED. SHOULD THE SUBGRADE BE COMPACTED DURING CONSTRUCTION, ADDITIONAL TESTING OF SOIL INFILTRATION RATES AND SMP REDESIGN MAY BE REQUIRED.
- 5. MEASURE THE LEVEL BOTTOM ELEVATION AND THE BOTTOM FOOTPRINT AREA (LENGTHS AND WIDTHS) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE.
- PHOTOGRAPH THE BOTTOM OF THE SUBSURFACE INFILTRATION BASIN, SHOWING THE LEVEL, SCARIFIED, AND NON-COMPACTED BOTTOM IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP
- 7. IMMEDIATELY AFTER APPROVAL OF THE SUBGRADE, REMOVE ANY ACCUMULATED SEDIMENT OR DEBRIS THAT HAS OCCURRED. HAND-RAKE BOTTOM OF THE SUBSURFACE BASIN TO SCARIFY THE SURFACE.
- 8. PLACE GEOTEXTILE FILTER FABRIC IMMEDIATELY UPON COMPLETION OF THE PREVIOUS STEP, ENSURING ADEQUATE OVERLAP OF 16 INCHES AND IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. PREVENT RUNOFF AND SEDIMENT FROM ENTERING THE INFILTRATION BED DURING THE PLACEMENT OF THE GEOTEXTILE. SECURE GEOTEXTILE AT LEAST FOUR FEET OUTSIDE BED. PHOTOGRAPH BOTTOM OF BASIN AFTER INSTALLATION OF GEOTEXTILE IN ACCORDANCE WITH THE
- CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP. 9. PLACE A LAYER OF CLEAN-WASHED STONE IN SIX- TO EIGHT-IN LIFTS ACROSS THE BASIN BOTTOM. LIGHTLY COMPACT EACH LAYER WITH EQUIPMENT, KEEPING EQUIPMENT MOVEMENT OVER STORAGE BED SUBGRADES TO A MINIMUM. ENSURE BASIN DIMENSIONS PRIOR TO MOVING TO THE NEXT STEP. ALL STONE THAT MAKES UP THE INFILTRATION SMP MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE SEDIMENT AND REPLACE WITH CLEAN WASHED STONE.
- 10. INSTALL STORMWATER STORAGE PRODUCTS AND OBSERVATION WELL IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. PHOTOGRAPH, MEASURE, AND CONFIRM THAT SURFACE AREA AND INVERTS OF STORMWATER STORAGE PRODUCTS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PHOTOGRAPH THE INSTALLATION OF THE STORMWATER STORAGE PRODUCTS, SHOWING STONE FILLED AROUND THEM IN ACCORDANCE WITH THE PLANS AND THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP
- 11. INSTALL ALL PROPOSED CONNECTION PORTS FOR CONNECTIONS TO INCOMING PIPES AND OUTLET PIPES. CONFIRM ALL INVERTS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL TEMPORARY PROTECTION FOR ALL CONNECTIONS INTO THE UNDERGROUND INFILTRATION
- BASIN TO ENSURE THAT NO SEDIMENT ENTERS THE SYSTEM. 12. INSTALL OUTLET CONTROL STRUCTURE OS-1 IN ACCORDANCE WITH THE PLAN DRAWINGS. MEASURE OUTLET STRUCTURE BOTTOM INVERT, PIPE INVERTS AND SIZES, WEIR INVERTS AND LENGTHS, ORIFICE INVERTS AND LENGTHS, AND RISER INVERTS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PHOTOGRAPH OUTLET CONTROL STRUCTURE. INCLUDING INTERNAL WEIR. OUTLET PIPS (WITH TAPE MEASURE FOR REFERENCE), AND HOOD/TRAP (INCLUDING GROUTING) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP.
- 13. INSTALL REMAINING CLEAN-WASHED STONE IN SIX- TO EIGHT-FOOT LIFTS AND LIGHTLY COMPACT TO THE SUBSURFACE BASIN TOP ELEVATION AS SHOWN ON THE PLANS. WRAP NON-WOVEN GEOTEXTILE ON TOP OF STONE STORAGE AS INDICATED ON THE PLANS. ENSURING ADEQUATE OVERLAP OF 16 INCHES. PHOTOGRAPH, MEASURE, AND CONFIRM THE TOP OF STONE ELEVATION, SURFACE AREA, AND VOLUME IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP.
- 14. BACKFILL TO FINISHED GRADE. ENSURE BACKFILL IS PROPERLY COMPACTED, USING SUITABLE EQUIPMENT TO AVOID EXCESS COMPACTION IN ACCORDANCE WITH SPECIFICATIONS. ENSURE BACKFILL PROCESS DOES NOT DISRUPT STORMWATER STORAGE PRODUCT OR STONE PLACEMENT AND CONFIGURATION.
- 15. INSTALL FENCING OR OTHER PROTECTIVE MEASURES TO PREVENT CONSTRUCTION VEHICLES FROM TRAVERSING THE UNDERGROUND INFILTRATION BASIN PRIOR TO FINAL SURFACE IS COMPLETED.

#### SMP-1-ALT

- 1. AT LEAST 3 DAYS PRIOR TO THE INSTALLATION OF THE STORMWATER MANAGEMENT BASINS, THE INSPECTIONS COORDINATOR OF PWD (OFFICE:
- 215-685-6387) MUST BE CALLED TO SCHEDULE AN INSPECTION STAKE OUT UNDERGROUND STORMWATER DETENTION BASIN SMP-1-ALT LOCATION AND PROTECT THE AREA FROM COMPACTION DURING CONSTRUCTION. INSTALL COMPOST FILTER SOCK ON THE SITE SUCH THAT CONSTRUCTION RUNOFF IS DIRECTED AWAY FROM THE PROPOSED SUBSURFACE DETENTION SMP. PHOTOGRAPH THAT THE BASIN LOCATION IS STAKED AND SEDIMENT CONTROL DEVICES ARE IN PLACE IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT
- EXCAVATE SUBSURFACE DETENTION AREA TO PROPOSED DEPTH AS SHOWN ON THE PLANS, PROVIDING APPROPRIATE SHORING AND SHEETING FOR DEEP
- 4. MANUALLY GRADE AND SCARIFY THE EXISTING SOIL SURFACE AT THE BOTTOM OF THE SUBSURFACE DETENTION BASIN. THE BOTTOM OF THE BASIN SHALL BE AT A LEVEL GRADE. THE EXISTING SUBGRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT.
- MEASURE THE LEVEL BOTTOM ELEVATION AND THE BOTTOM FOOTPRINT AREA (LENGTHS AND WIDTHS) IN ACCORDANCE WITH THE CONSTRUCTION
- CERTIFICATION PACKAGE. PHOTOGRAPH THE BOTTOM OF THE SUBSURFACE DETENTION BASIN, SHOWING THE LEVEL, SCARIFIED, AND NON-COMPACTED BOTTOM IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO
- THE NEXT STEP. IMMEDIATELY AFTER APPROVAL OF THE SUBGRADE, REMOVE ANY ACCUMULATED SEDIMENT OR DEBRIS THAT HAS OCCURRED. HAND-RAKE
- BOTTOM OF THE SUBSURFACE BASIN TO SCARIFY THE SURFACE. PLACE GEOTEXTILE FILTER FABRIC IMMEDIATELY UPON COMPLETION OF THE PREVIOUS STEP, ENSURING ADEQUATE OVERLAP OF 16 INCHES AND IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. PREVENT RUNOFF AND SEDIMENT FROM ENTERING THE DETENTION BED DURING THE PLACEMENT OF THE GEOTEXTILE. SECURE GEOTEXTILE AT LEAST FOUR FEET OUTSIDE BED. PHOTOGRAPH BOTTOM OF BASIN AFTER INSTALLATION OF GEOTEXTILE IN ACCORDANCE WITH THE
- CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP. PLACE A LAYER OF CLEAN-WASHED STONE IN SIX- TO EIGHT-IN LIFTS ACROSS THE BASIN BOTTOM AND LIGHTLY COMPACT. ENSURE BASIN DIMENSIONS PRIOR TO MOVING TO THE NEXT STEP.
- 10. INSTALL PERFORATED UNDERDRAIN PIPE IN ACCORDANCE WITH THE PLANS. 11. INSTALL STORMWATER STORAGE PRODUCTS AND OBSERVATION WELL IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. PHOTOGRAPH, MEASURE, AND CONFIRM THAT SURFACE AREA AND INVERTS OF STORMWATER STORAGE PRODUCTS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PHOTOGRAPH THE INSTALLATION OF THE STORMWATER STORAGE PRODUCTS, SHOWING STONE
- CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP 12. INSTALL ALL PROPOSED CONNECTION PORTS FOR CONNECTIONS TO INCOMING PIPES AND OUTLET PIPES. CONFIRM ALL INVERTS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL TEMPORARY PROTECTION FOR ALL CONNECTIONS INTO THE UNDERGROUND DETENTION BASIN TO ENSURE THAT NO SEDIMENT ENTERS THE SYSTEM.

FILLED AROUND THEM IN ACCORDANCE WITH THE PLANS AND THE

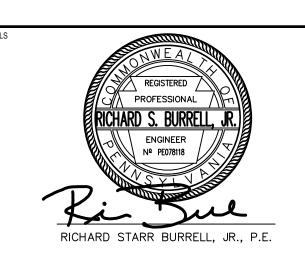
- 13. INSTALL OUTLET CONTROL STRUCTURE OS-1-ALT IN ACCORDANCE WITH THE PLAN DRAWINGS. MEASURE OUTLET STRUCTURE BOTTOM INVERT, PIPE INVERTS AND SIZES, WEIR INVERTS AND LENGTHS, ORIFICE INVERTS AND LENGTHS, AND RISER INVERTS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PHOTOGRAPH OUTLET CONTROL STRUCTURE, INCLUDING INTERNAL WEIR, OUTLET PIPS (WITH TAPE MEASURE FOR REFERENCE), AND HOOD/TRAP (INCLUDING GROUTING) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP.
- 14. PREPARE SUBGRADE FOR PROPOSED MEDIA FILTER MF-1 AND ENSURE THAT THE PROPER COMPACTION HAS BEEN MET IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. PLACE STONE SUBBASE IN SIX-INCH
- 15. INSTALL MEDIA FILTER ON SOLID SUBGRADE IN ACCORDANCE WITH THE
- MANUFACTURER'S RECOMMENDATIONS. 16. CONNECT PROPOSED UNDERDRAIN TO THE MEDIA FILTER WITH A SOLID PIPE. INSTALL SOLID PIPE CONNECTION BETWEEN THE MEDIA FILTER AND THE
- OUTLET STRUCTURE AS SHOWN ON THE PLANS. 17. BACKFILL AROUND MEDIA FILTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- 18. MEDIA FILTER IS TO BE ACTIVATED ONCE THE SITE HAS BEEN STABILIZED AND ALL PROPOSED PAVEMENTS AND LANDSCAPING HAS BEEN INSTALLED. 19. INSTALL REMAINING CLEAN-WASHED STONE IN SIX- TO EIGHT-FOOT LIFTS
- AND LIGHTLY COMPACT TO THE SUBSURFACE BASIN TOP ELEVATION AS SHOWN ON THE PLANS. WRAP NON-WOVEN GEOTEXTILE ON TOP OF STONE STORAGE AS INDICATED ON THE PLANS. ENSURING ADEQUATE OVERLAP OF 16 INCHES, PHOTOGRAPH, MEASURE, AND CONFIRM THE TOP OF STONE ELEVATION, SURFACE AREA, AND VOLUME IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT STEP.
- 20. BACKFILL TO FINISHED GRADE. ENSURE BACKFILL IS PROPERLY COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. ENSURE BACKFILL PROCESS DOES NOT DISRUPT STORMWATER STORAGE PRODUCT OR STONE PLACEMENT AND CONFIGURATION.
- 21. INSTALL FENCING OR OTHER PROTECTIVE MEASURES TO PREVENT CONSTRUCTION VEHICLES FROM TRAVERSING THE UNDERGROUND DETENTION BASIN PRIOR TO FINAL SURFACE IS COMPLETED.





CONSTRUCTION DOCUMENTS

PRIYANKA MALIK



1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

MEP ENGINEER

ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103

215 372 1365 CIVIL ENGINEER: KS ENGINEERS. P.C.

Philadelphia, Pennsylvania 19102 215 925 0425 I ANDSCAPE A<u>RCHITECTS</u>

530 Walnut Street, Suite 460

GROUND RECONSIDERED 230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727

610 554 6560

PHILADELPHIA

COST CONSULTANT DHARAM CONSULTING 107 Magnolia Drive Chester Springs, Pennsylvania 19425

STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

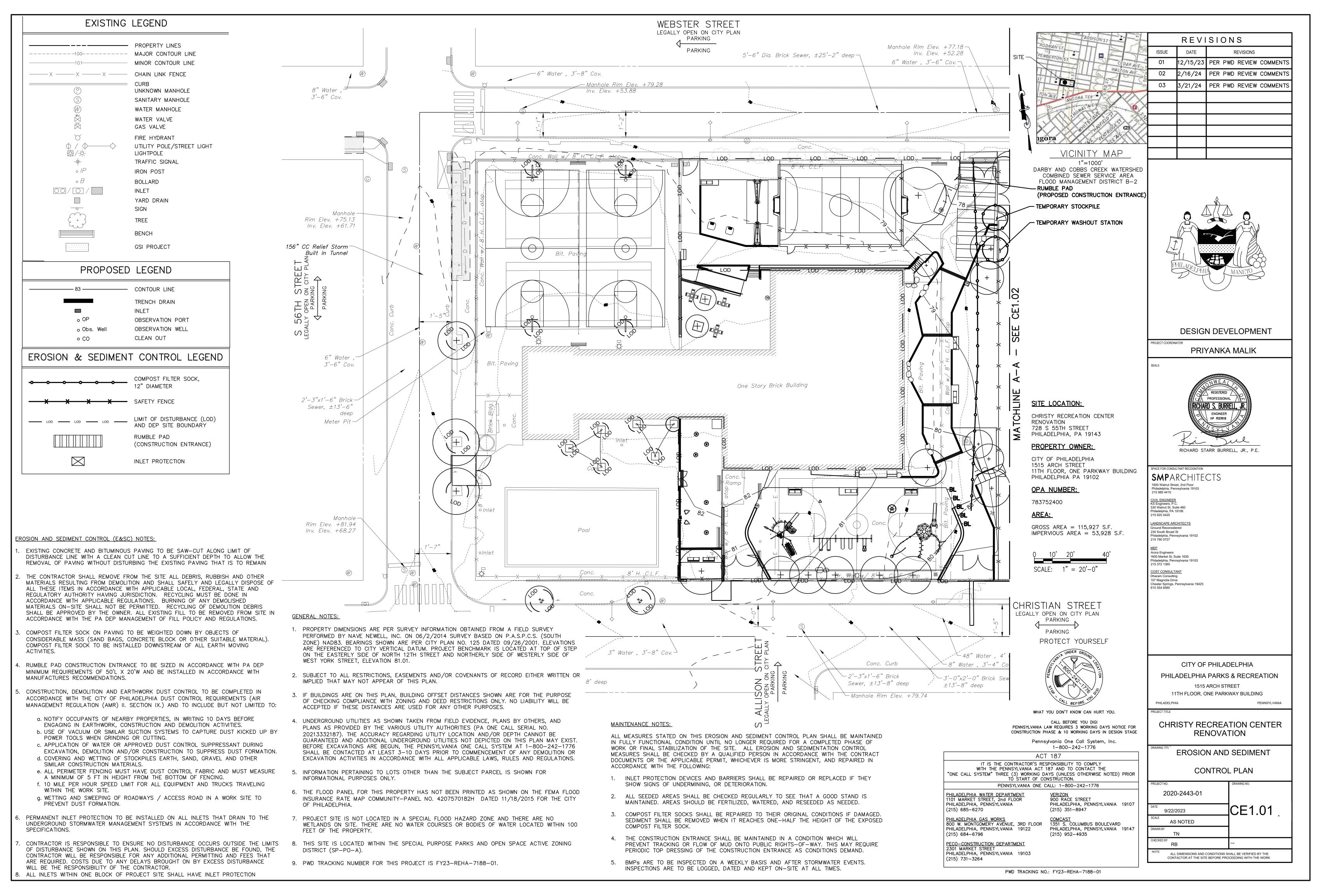
PENNSYLVANIA

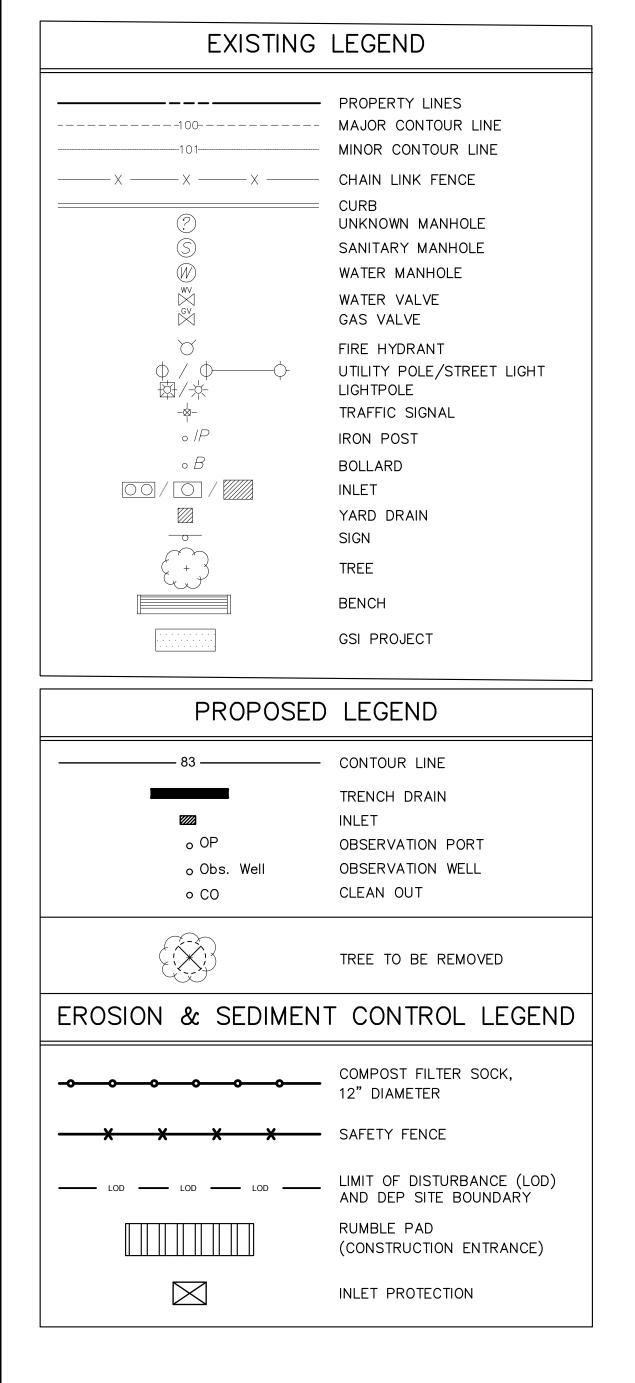
CHRISTY RECREATION CENTER RENOVATION

**CONSTRUCTION DETAILS - PHASE 1** 

73217 C5.05 3/15/2024 AS NOTED TN ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORL





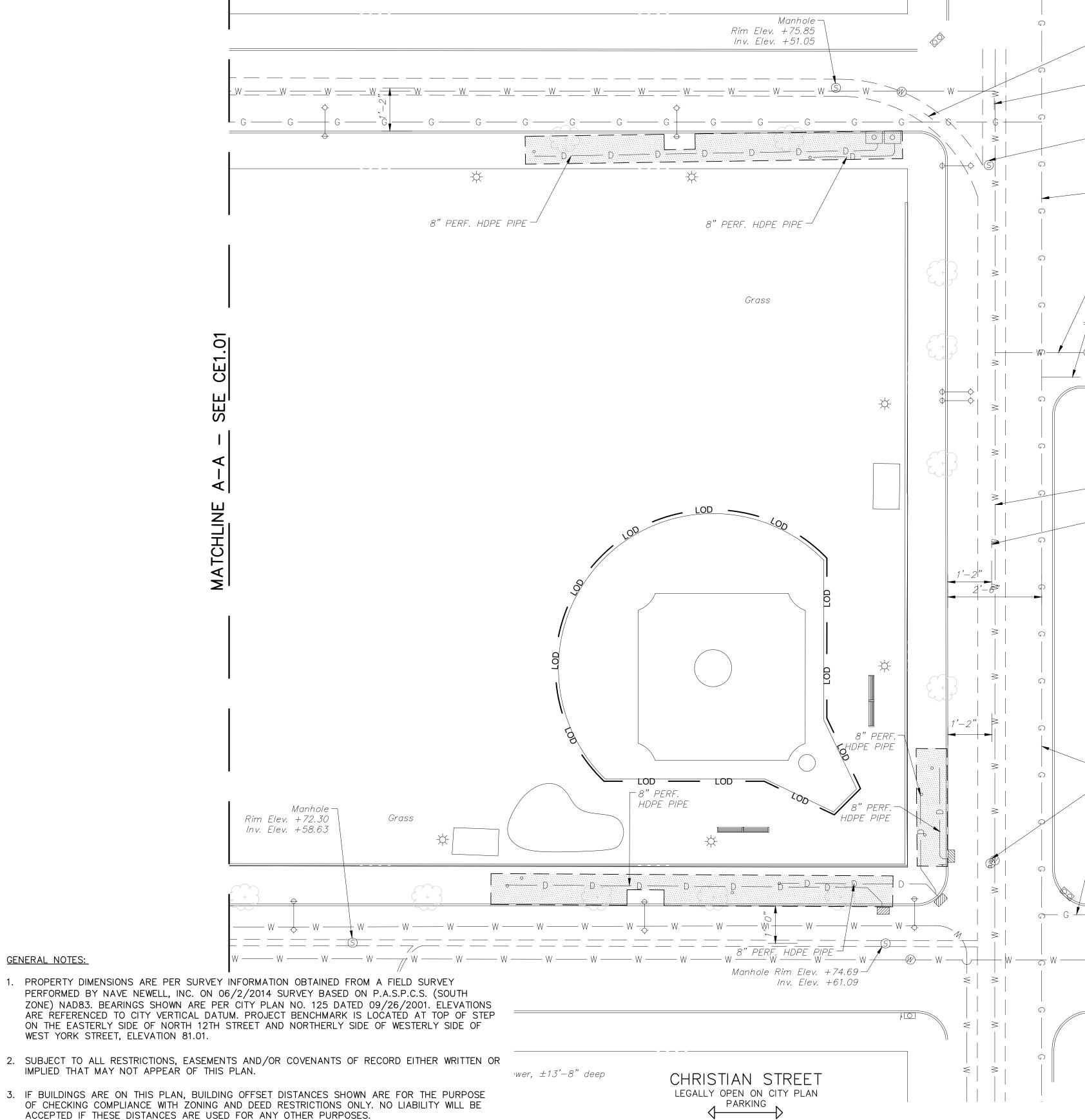
#### <u>EROSION AND SEDIMENT CONTROL (E&SC) N</u>OTES:

- EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT ALONG LIMIT OF DISTURBANCE LINE WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND SHALL SAFELY AND LEGALLY DISPOSE OF ALL THESE ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND REGULATORY AUTHORITY HAVING JURISDICTION. RECYCLING MUST BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS. BURNING OF ANY DEMOLISHED MATERIALS ON-SITE SHALL NOT BE PERMITTED. RECYCLING OF DEMOLITION DEBRIS SHALL BE APPROVED BY THE OWNER. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
- COMPOST FILTER SOCK ON PAVING TO BE WEIGHTED DOWN BY OBJECTS OF CONSIDERABLE MASS (SAND BAGS, CONCRETE BLOCK OR OTHER SUITABLE MATERIAL). COMPOST FILTER SOCK TO BE INSTALLED DOWNSTREAM OF ALL EARTH MOVING
- RUMBLE PAD CONSTRUCTION ENTRANCE TO BE SIZED IN ACCORDANCE WITH PA DEP MINIMUM REQUIREMENTS OF 50'L X 20'W AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS.

POWER TOOLS WHEN GRINDING OR CUTTING.

SIMILAR CONSTRUCTION MATERIALS.

- CONSTRUCTION, DEMOLITION AND EARTHWORK DUST CONTROL TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DUST CONTROL REQUIREMENTS (AIR MANAGEMENT REGULATION (AMR) II. SECTION IX.) AND TO INCLUDE BUT NOT LIMITED TO:
  - a. NOTIFY OCCUPANTS OF NEARBY PROPERTIES, IN WRITING 10 DAYS BEFORE ENGAGING IN EARTHWORK, CONSTRUCTION AND DEMOLITION ACTIVITIES. b. USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY
  - c. APPLICATION OF WATER OR APPROVED DUST CONTROL SUPPRESSANT DURING EXCAVATION, DEMOLITION AND/OR CONSTRUCTION TO SUPPRESS DUST FORMATION. d. COVERING AND WETTING OF STOCKPILES EARTH, SAND, GRAVEL AND OTHER
  - e. ALL PERIMETER FENCING MUST HAVE DUST CONTROL FABRIC AND MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF FENCING.
  - f. 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
  - g. WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.
- PERMANENT INLET PROTECTION TO BE INSTALLED ON ALL INLETS THAT DRAIN TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH THE
- CONTRACTOR IS RESPONSIBLE TO ENSURE NO DISTURBANCE OCCURS OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN. SHOULD EXCESS DISTURBANCE BE FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY ADDITIONAL PERMITTING AND FEES THAT ARE REQUIRED. COSTS DUE TO ANY DELAYS BROUGHT ON BY EXCESS DISTURBANCE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.



WEBSTER STREET

LEGALLY OPEN ON CITY PLAN PARKING

PARKING

4. UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND

20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE

GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST

BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776

SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR

EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.

6. THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD

INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY

WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100

THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING

PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO.

INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR

PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO

9. PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

INFORMATIONAL PURPOSES ONLY.

OF PHILADELPHIA.

FEET OF THE PROPERTY.

DISTRICT (SP-PO-A).

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- COMPOST FILTER SOCKS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE-HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
- 4. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
- BMPs ARE TO BE INSPECTED ON A WEEKLY BASIS AND AFTER STORMWATER EVENTS. INSPECTIONS ARE TO BE LOGGED, DATED AND KEPT ON-SITE AT ALL TIMES.

PROTECT YOURSELF

SITE LOCATION:

728 S 55TH STREET PHILADELPHIA. PA 19143

**PROPERTY OWNER:** 

CITY OF PHILADELPHIA

**OPA NUMBER:** 

783752400

PHILADELPHIA PA 19102

GROSS AREA = 115,927 S.F.

SCALE: 1" = 20'-0"

IMPERVIOUS AREA = 53,928 S.F.

RENOVATION

CHRISTY RECREATION CENTER

11TH FLOOR, ONE PARKWAY BUILDING

WHAT YOU DON'T KNOW CAN HURT YOU. CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE

Pennsylvania One Call System, Inc.

1-800-242-1776

ACT 187 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION. PENNSYLVANIA ONE CALL: 1-800-242-1776

PHILADELPHIA WATER DEPARTMENT 101 MARKET STREET, 2nd FLOOR PHILADELPHIA. PENNSYLVANIA (215) 685-6270

-5'-6" Dia. Brick Sewer,

7'-6" Dia. Brick Sewer,

 $\pm 24$ '-8" deep

 $\pm 24'-6"$  deep

Rim Elev. +75.57

Inv. Elev. +51.05

├ 6" Gas , 3'-0" Cov.

\_6" Water , 3' Cov.

┌─6" Gas , 3'—0" Cov.

— G — G PARKING

-10" Water , 3'-6" Cov.

9'-0" Dia. Brick Sewer,

±24'-7" deep

(A)

-6" Gas , 2'-9" Cov.

Rim Elev. +74.54

\_6" Gas , 2'-6" Cov.

Inv. Elev. +49.94

NORFOLK STREET

LEGALLY OPEN ON CITY PLAN

900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947

PHILADELPHIA GAS WORKS
800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796

1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935

PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264

CITY OF PHILADELPHIA PHILADELPHIA PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA

REVISIONS

REVISIONS

2/15/23 PER PWD REVIEW COMMENT

2/16/24 | PER PWD REVIEW COMMENT

3/21/24 PER PWD REVIEW COMMENT

**DESIGN DEVELOPMENT** 

PRIYANKA MALIK

RICHARD STARR BURRELL, JR., P.E.

**SMP**ARCHITECTS

1600 Walnut Street, 2nd Floor

30 Walnut St, Suite 460 Philadelphia, PA 19106

ANDSCAPE ARCHITECTS

600 Market St, Suite 1630 hiladelphia, Pennsylvania 1910

hiladelphia, Pennsylvania 19102

hester Springs, Pennsylvania 19425

ound Reconsidered 230 South Broad St

215 985 4410

215 925 0425

15 790 0727

215 372 1365

10 554 6560

COST CONSULTANT Dharam Consulting

07 Magnolia Drive

Philadelphia, Pennsylvania 1910

PROJECT COORDINATOR

DATE

VICINITY MAP

1"=1000'

DARBY AND COBBS CREEK WATERSHED

COMBINED SEWER SERVICE AREA

FLOOD MANAGEMENT DISTRICT B-2

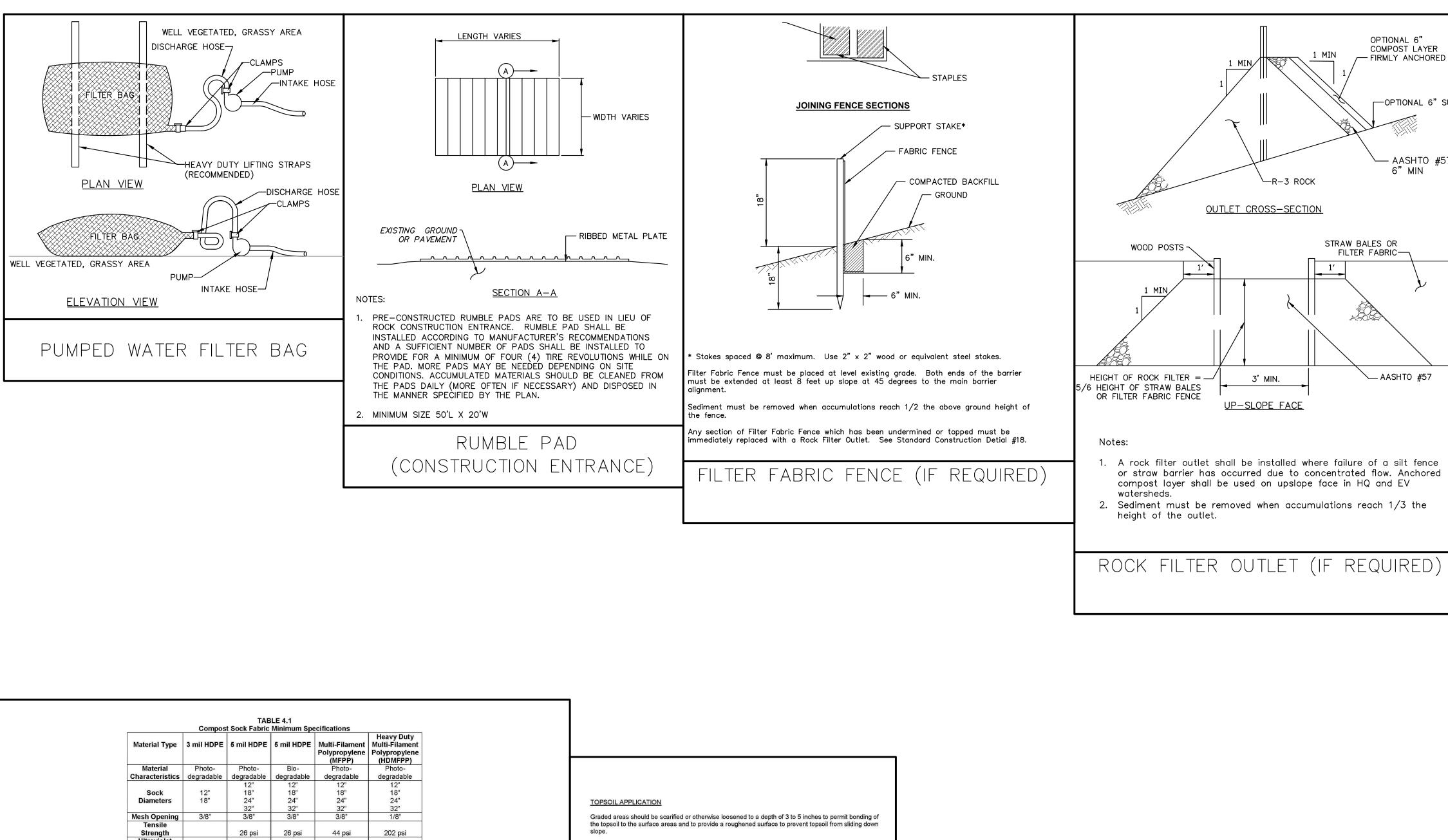
CHRISTY RECREATION CENTER RENOVATION

EROSION AND SEDIMENT CONTROL PLAN

2020-2443-01 9/22/2023 AS NOTED

TN ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

PWD TRACKING NO.: FY23-REHA-7188-01



TEMPORARY STOCKPILE

Stability %

Original Strength (ASTM G-155)

**Functional** 

Longevity

12" COMPOST FILTER SOCK-

BLOWN/PLACED/

FILTER MEDIA

DISTURBED

SECTION VIEW

4. ALL DIMENSIONS ARE IN U.S. CUSTOMARY UNITS.

8. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

MANUFACTURER, WHICHEVER IS LESS.

23% at

1000 hr.

6 months

**Inner Containment Netting** 

Outer Filtration Mesl

pH Moisture Content

-2" x 2" WOOD STAKE

SOCK AT LEAST 8'-0" UPSLOPE AT 45 DEGREES TO THE MAIN ALIGNMENT.

23% at

1000 hr.

9 months 6 months

Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

TABLE 4.2

Continuously wound

usion-welded junctures

/4" X 3/4" Max. aperture size

98% pass through 1" screen 5.0 dS/m (mmhos/cm) Maximui

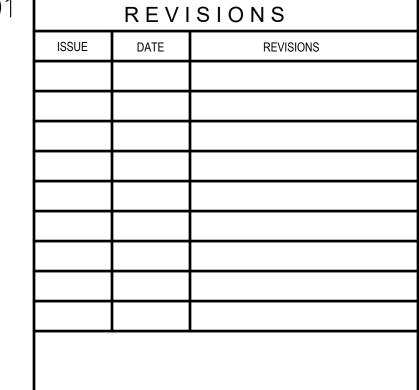
FILTER

SOCK

OPTIONAL 6" COMPOST LAYER FIRMLY ANCHORED -OPTIONAL 6" SUMF AASHTO #57 1. A rock filter outlet shall be installed where failure of a silt fence or straw barrier has occurred due to concentrated flow. Anchored

PWD TRACKING NO.: FY23-REHA-7188-01

COMPOST SOCK WASHOUT STATION

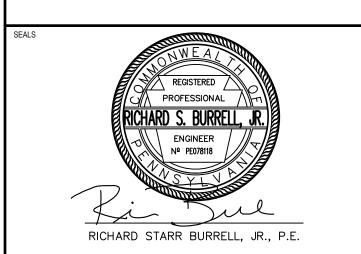


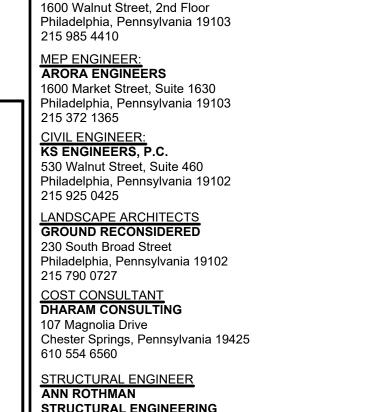


CONSTRUCTION DOCUMENTS

PRIYANKA MALIK

PROJECT COORDINATOR





### CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

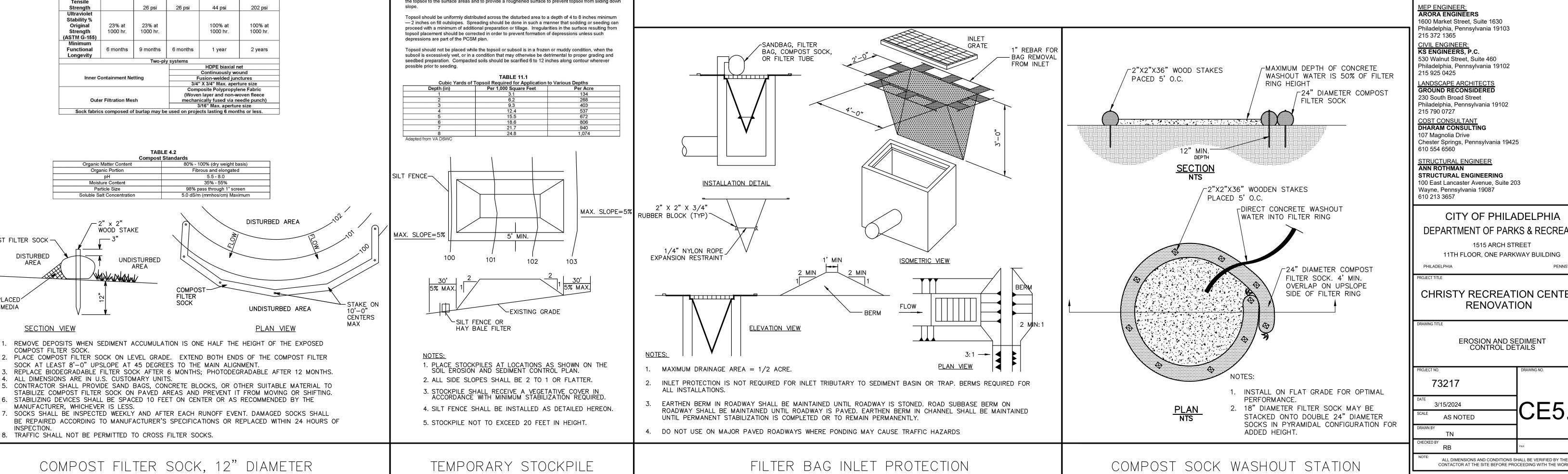
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

CHRISTY RECREATION CENTER RENOVATION

EROSION AND SEDIMENT CONTROL DETAILS

ı	PROJECT NO.	DRAWING NO.
	73217	
	DATE 3/15/2024	
l	SCALE AS NOTED	CE5.01
١	DRAWN BY TN	
1	CHECKED BY RB	FILE:

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



FILTER BAG INLET PROTECTION

#### STANDARD EROSION AND SEDIMENT CONTROL NOTES:

- AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION. ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- 2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
- PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE FUNCTIONING IN ACCORDANCE WITH THE APPROVED
- INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
- 5. THE MAXIMUM HEIGHT FOR STOCKPILES AREAS SHALL BE 20 FEET. THE MAXIMUM SIDE SLOPE FOR STOCKPILE AREAS SHALL NOT EXCEED 2:1.
- 6. THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON-SITE. A STOCKPILE SHALL BE MAINTAINED ON-SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. IN NO CASE SHALL

THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM

- SEWER, OR SURFACE WATER. FILTER FABRIC FENCE SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. SUPPORT STAKES SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE
- GROUND HEIGHT OF THE FILTER FENCE. B. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.
- . EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPEF WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED 30. E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- 10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR SPRINGED TO BEDIALITY BOLL TO A SECURITY BOLD TO EROSION AND SEDIMENT POLLUTION AND NOTIFY PWD AND PA DEP.
- II. UNTIL THE SITE IS STABILIZED. ALL E&S BMP'S SHALL BE MAINTAINED PROPERLY MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL E&S BMP'S PRIOR TO ANY ANTICIPATED STORM EVENT, AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- 12. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS, SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. PWD SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. PWD MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 13. AT LEAST THREE (3) DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- 14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE
- MUST BE APPROVED IN WRITING BY PWD AND THE PA DEP PRIOR TO IMPLEMENTATION. 15. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO
- REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. 16. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING
- GRUBBING, AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OF THE PROJECT 37. A DUST CONTROL PERMIT WILL BE REQUIRED WHEN COMPLETELY DEMOLISHING A BUILDING 7 UNTIL THE E&S BMP'S SPECIFIED BY THE BMP'S SEQUENCE FOR THAT STAGE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN. 17. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE
- LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS
- 18. A LOG SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON 1. STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE. THE SITE AND BE MADE AVAILABLE TO PWD AT THE TIME OF INSPECTION.
- 19. ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE FOLLOWING MANNER: REMOVAL AND DISPOSAL TO BE AT AN OFF-SITE LOCATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 20. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF THREE TO FIVE INCHES -- SIX TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM FOUR INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF TWO INCHES OF TOPSOIL.

- 21. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 22. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED NINE INCHES IN THICKNESS.
- 23. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- 24. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT
- BE INCORPORATED INTO FILLS. 25. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 26. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR
- 27. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS
- 28. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUB-AREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN ONE YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN ONE YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION
- 29. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP'S APPROVED BY PWD AND PA DEP.
- MANAGEMENT PRACTICES. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE E&S BMP'S SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- 32. SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS. (WHEN APPLICABLE)
- 33. DURING CONSTRUCTION, THE SELECTED CONTRACTOR IS EXPECTED TO FOLLOW THE PCSMP APPROVED BY PWD (WHERE APPLICABLE). NO CHANGE OR DEVIATION FROM THE APPROVED PCSMP IS PERMITTED WITHOUT PRIOR APPROVAL FROM PWD. 34. ALL WORK ASSOCIATED WITH PWD WATER CONVEYANCE AND SEWER INFRASTRUCTURE SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PHILADELPHIA WATER DEPARTMENT
- "WATER MAIN STANDARD DETAILS AND CORROSION CONTROL SPECIFICATIONS", 1985 EDITION, AND "STANDARD DETAILS AND STANDARD SPECIFICATIONS FOR SEWERS", 1985 35. CONTACT PWD WATER TRANSPORT RECORDS (1101 MARKET STREET, 2ND FLOOR,
- PHONE: 215-685-6271) FOR ADDITIONAL APPROVALS AND PERMITS REQUIRED FOR ALL WATER SERVICES, METERS, AND CONNECTIONS TO THE EXISTING AND/OR PROPOSED PWD
- 36. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- OR STRUCTURE THAT IS MORE THAN THREE (3) STORIES, GREATER THAN FORTY (40) FEET TALL. OR ENCOMPASSES MORE THAN TEN THOUSAND (10.000) SQUARE FEET: COMPLETELY OR PARTIALLY DEMOLISHING ANY BUILDING OR STRUCTURE BY IMPLOSION; OR ENGAGING IN EARTHWORKS, DEFINED AS "CLEAING, GRUBBING, OR EARTH DISTURBANCE OF ANY LAND EXCESS OF 5,000 SQUARE FEET."
- <u>SITE STABILIZATION METHODS (TEMPORARY & PERMANENT STABILIZATION)</u>
- 2. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.
- 3. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY MAINTENANCE PROGRAM

#### TEMPORARY SEEDING

1. THE FOLLOWING SURFACES OF THE SITE SHALL BE TEMPORARILY SEEDED AND

- A. THE SURFACE OF TOPSOIL STOCKPILES. B. THE SURFACE OF EXPOSED EARTH AREAS THAT WILL BE EXPOSED WITHOUT CONSTRUCTION ACTIVITY THEREON.
- SEEDING SHALL OCCUR IMMEDIATELY AFTER ESTABLISHMENT OF THE TOPSOIL STOCKPILES OR ROUGH GRADED AREAS. THE FOLLOWING SHALL BE PLANTED: A. 40 LBS. /ACRE ANNUAL RYE GRASS - COMMON, 100% P.L.S.
- PREPARE AREAS TO BE SEEDED AS FOLLOWS: A. REMOVE ALL DEBRIS, INCLUDING LARGE STONES. APPLY LIME AT A RATE OF 3
- TONS PER ACRE AND FERTILIZER AT THE RATE OF 50-50-50 PER ACRE AND WORK INTO SOIL B. SOW SEED AT THE INDICATED RATE. DIVIDE SEED INTO TWO EQUAL LOTS. SOW ONE LOT IN ONE DIRECTION. SOW SECOND LOT AT RIGHT ANGLE TO FIRST. RAKE SEEDED AREA SLIGHTLY. ROLL SURFACE LIGHTLY TO FIRM SOIL
- 4. PLACE CLEAN DRY STRAW OR HAY MULCH WITHIN 48 HOURS AFTER SEEDING. PLACE AT THE RATE OF 3 TONS PER ACRE.
- 5. SEEDING DATES SHALL BE BETWEEN MARCH 1 AND NOVEMBER 15.

#### TEMPORARY MULCHING

- MULCH PROPOSED LANDSCAPE AREAS OR TOPSOIL STOCKPILES IF EARTHWORK IS COMPLETED OUTSIDE OF THE RECOMMENDED PLANTING SEASONS FOR TEMPORARY SEEDING OR DUE TO UNFAVORABLE WEATHER CONDITIONS.
- MULCH SHALL BE APPLIED IMMEDIATELY FOLLOWING THE ESTABLISHMENT OF THE TOPSOIL STOCKPILE OR ROUGH GRADING.
- MULCH WITH SUITABLE FIBROUS GROUND, SHREDDED AGED HARDWOOD, PINE WOOD BARK OR STRAW, UNIFORMLY AND CONTINUOUSLY TO A LOOSE DEPTH OF 3 INCHES MINIMUM. ANCHOR AS REQUIRED.
- PROPERLY MAINTAIN MULCHED AREAS UNTIL PERMANENT STABILIZATION MEASURES ARE COMPLETE. REAPPLY MULCH MATERIALS WHICH BECOME DISLODGED AS INITIAL OR MODIFIED RATES AS NECESSARY. IF A SLOPE FAILURE OCCURS WHICH REQUIRES REDRESSING, EXCAVATION, OR THE ESTABLISHMENT OF A NEW SLOPE, REPLACE MULCH AS NECESSARY

#### <u>PERMANENT SEEDING</u>

- PERMANENT SEEDING SHALL OCCUR IMMEDIATELY AFTER THE FINAL GRADING IS COMPLETED. THE FOLLOWING SEED SHALL BE PLACED UNLESS OTHERWISE SPECIFIED ON THE PLANS OR DIRECTED IN THE FIELD.
- THE FOLLOWING SEED MIX SHALL BE USED: A. 40% PENNLAWN FINE FESCUE
- C. 20% CHAMPION PERENNIAL RYE GRASS QUANTITIES ARE OF PURE LIVE SEED (P.L.S.) SPREAD AT A RATE OF 63 LBS. PER ACRE.
- 2. REMOVE ALL DEBRIS, INCLUDING LARGE STONES. TILL SOIL TO A DEPTH OF FOUR INCHES TO SIX INCHES. APPLY LIME AT A RATE OF 4 TONS PER ACRE. APPLY COMMERCIAL 10-20-20 FERTILIZER AT A RATE OF 930 LBS. PER ACRE. WORK FERTILIZER INTO TOP INCH OF SOIL.
- 3. SEED ONLY AT THE FOLLOWING TIMES: A. SPRING: MARCH 1 TO APRIL 30
- B. LATE SUMMER/EARLY FALL: AUGUST 15 TO NOVEMBER 15
- 4. DIVIDE SEED INTO TWO EQUAL LOTS. SOW ONE LOT IN ONE DIRECTION. SOW SECOND LOT AT RIGHT ANGLE TO FIRST LOT. RAKE SEEDED AREA SLIGHTLY. ROLL SURFACE LIGHTLY TO FIRM SOIL AROUND SEED.
- 5. MULCH SEEDED AREAS WITH STRAW OR HAY AT THE RATE OF 3 TONS PER ACRE. ANCHOR MULCH. COMPLY WITH THE REQUIREMENTS OF SECTION 805 - MULCHING, PENNDOT PUBLICATION 408. ANCHOR MULCH AS SPECIFIED.
- 6. MULCHING SHALL BE DONE AT THE MINIMUM RATE OF 3 TONS PER ACRE WITH SALT HAY, HAY OR STRAW MULCHES. PLACE MULCH IMMEDIATELY AFTER SEEDING OR WITHIN 48 HOURS AFTER SEEDING IS COMPLETED. PROPERLY MAINTAIN MULCHED AREAS UNTIL THE ENTIRE PROJECT HAS BEEN COMPLETED. PROMPTLY REAPPLY MULCH MATERIALS WHICH BECOME DISLODGED OR LOST DUE TO WIND, RAIN, OR OTHER CAUSES AT INITIAL RATES
- LIQUID MULCH BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCHES. A. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREAS SHOULD BE UNIFORM IN
- APPEARANCE B. USE ONE OF THE FOLLOWING: EMULSIFIED ASPHALT. CLASS E-1 OR E-6. APPLY 31 GALLONS PER 1,000 SQUARE YARDS ON SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET HIGH OR MORE, USE 58 GALLONS PER 1,000 SQUARE YARDS. CUTBACK ASPHALT. CLASS RC-250. APPLY 31 GALLONS PER 1,000 SQUARE YARDS ON FLAT AREAS AND ON SLOPES LESS THAN 8 FEET HIGH. ON SLOPES 8 FEET HIGH OR MORE, USE 58 GALLONS PER 1,000 SQUARE YARDS. NON-ASPHALTIC EMULSION -NATURAL VEGETABLE GUM BLENDED WITH GELLING AND HARDENING AGENTS (TERRA TACK, AR) AS MANUFACTURED BY GRASS GROWERS COMPANY OR EQUAL. APPLY 25 LBS. PER 1,000 SQUARE YARDS.

1. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION STABILIZATION AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN.

- 2. THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT CONTROL
- 3. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALI PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS TO THOSE INSTALLED WILL BE
- 4. SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF AT AN OFF-SITE LOCATION IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- SOIL SEDIMENT REMOVED FROM SILT FENCE DURING REGULAR MAINTENANCE WILL BE INCORPORATED BACK INTO THE EARTHWORK AS FILL ON THE SITE. SOIL SEDIMENT MATERIAL SHALL BE DISTRIBUTED ON-SITE WITHOUT CHANGING DRAINAGE PATTERNS DURING A SPECIFIC CONSTRUCTION STAGE. SILT FENCE INSTALLED ON THE PROJECT SITE SHALL BE MAINTAINED AS FOLLOWS:
- A. THE FENCE CONDITION WILL BE INSPECTED ONCE A WEEK OR AFTER EVERY STORM EVENT, WHICHEVER COMES FIRST. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY. B. ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE FENCE
- FUNCTIONAL. DEPOSITS WILL BE REMOVED WHERE ACCUMULATIONS REACH ONE-HALF THE ABOVE-GROUND HEIGHT OF THE FENCE. C. UNDERCUTTING OR EROSION OF THE TOE ANCHOR WILL BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS. D. ANY MANUFACTURER'S RECOMMENDATIONS WILL BE ADHERED TO WHEN REPLACING
- FILTER FABRIC FENCE DUE TO WEATHERING. 6. AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON PUBLIC ROADWAYS, WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER WILL NOT BE PERMITTED.
- A. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH

#### **CONSTRUCTION SEQUENCE:**

- 1. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES. THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN EARTH MOVING ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE CITY OFFICIALS. THE EROSION AND SEDIMENT CONTROL PREPARER, AND REPRESENTATIVE OF THE CITY OF PHILADELPHIA EROSION AND SEDIMENT CONTROL OFFICE TO AN ON-SITE MEETING. INCLUDE A REPRESENTATIVE FROM PWD'S EROSION AND SEDIMENT CONTROL INSPECTION GROUP BY CONTACTING THE INSPECTIONS COORDINATOR OF PWD (OFFICE 215-685-6387).
- 2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
- 3. CONSTRUCTION FENCE TO BE INSTALLED AROUND THE PERIMETER OF THE WORK AREA. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE FENCE WITH THE OWNER AND/OR ENGINEER. CONSTRUCTION FENCE LOCATION SHALL BE INSTALLED TO PROTECT THE PUBLIC FROM LAND DISTURBANCE ACTIVITIES AND TO MAINTAIN PEDESTRIAN ACCESS. 4. INSTALL COMPOST FILTER SOCK DOWNHILL FROM ALL EARTH MOVING ACTIVITIES AND AS

SHOWN ON THE PLAN. ALTHOUGH OFF SITE AREAS ARE PAVED, COMPOST FILTER SOCK

- OR OTHER EROSION CONTROL PRACTICES SHALL BE INSTALLED AROUND THE PERIMETER OF THE WORK AREA AS SHOWN ON THE PLAN. INSTALL INLET PROTECTION AS SHOWN ON THE PLAN. EXISTING INLETS SHALL BE
- PROTECTED THROUGHOUT THE DURATION OF THE CONSTRUCTION. 6. INSTALL CONSTRUCTION ENTRANCE AS SHOWN AND IN ACCORDANCE WITH THE
- CONSTRUCTION ENTRANCE DETAIL. 7. INSTALL SAFETY FENCE AROUND PERIMETER OF PROPOSED STORMWATER MANAGEMENT FACILITY. COMPACTION OF SOILS WITHIN SMP FOOTPRINT WILL REQUIRE THE CONTRACTOR
- TO PERFORM ADDITIONAL INFILTRATION TESTING DURING CONSTRUCTION. CLEAR AND GRUB SITE, DEMOLISH EXISTING PAVING, CURBING, AND FENCING AS REQUIRED. SAWCUT PAVED AREAS AS NEEDED TO MINIMIZE EARTH DISTURBANCE. EXCAVATE TRENCHES FOR PROPOSED SEWER CONNECTIONS. DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISCARDED IN ACCORDANCE WITH APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS.
- ROUGH GRADE SUBBASE TO REQUIRED DEPTHS.
- 10. PRIOR TO SMP-1 INSTALLATION, EXCAVATION, OR SOIL TESTING. THE INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) MUST BE CALLED TO SCHEDULE AN INSPECTION OF SMP-1. SMP INSTALLATION MUST BE OBSERVED BY THE PWD INSPECTOR PROVIDE THE PWD INSPECTOR WITH AN ESTIMATED SCHEDULE FOR THE EXCAVATION. SOIL TESTING, AND PLACEMENT OF ANY OF THE FOLLOWING: GEOTEXTILE, STONE, STORAGE MEDIA, PIPING, SOIL.
- 11. STAKE OUT BASIN LOCATION. PHOTOGRAPH THAT THE BASIN LOCATION IS STAKED AND SEDIMENT CONTROL DEVICES IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION
- 12. EXCAVATE FOR INSTALLATION OF SUBSURFACE STORMWATER MANAGEMENT BMP (SMP-1) TO THE BASIN INVERT ELEVATION AS SHOWN ON THE PLANS.
- 13. MANUALLY GRADE AND SCARIFY THE EXISTING SOIL SURFACE. THE BOTTOM OF THE BASIN SHALL BE AT A LEVEL GRADE. THE EXISTING SUBGRADE SHALL NOT BE COMPACTED OR

- SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT. PHOTOGRAPH THE BOTTOM OF THE OVEREXCAVATION AREA, SHOWING THE FLAT, SCARIFIED, NON-COMPACTED BOTTOM IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE PRIOR TO THE NEXT
- 14. SUBGRADES SHALL NOT BE SUBJECT TO COMPACTION DURING THE EXCAVATION, INSTALLATION OF GEOTEXTILES, STONE AGGREGATE, OR STORAGE MEDIA.
- 15. PHOTOGRAPH BOTTOM OF BASIN SHOWING THE FLAT, SCARIFIED, NON-COMPACTED BASIN IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. MEASURE THE LEVEL BOTTOM ELEVATION AND THE BOTTOM FOOTPRINT AREA (LENGTHS AND WIDTHS) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PLACE GEOTEXTILE FILTER FABRIC IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. PHOTOGRAPH BOTTOM OF BASIN AFTER INSTALLATION OF GEOTEXTILE IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE.
- INSTALL ALL INLETS AND PIPING IN ACCORDANCE WITH THE PLAN DRAWINGS. PHOTOGRAPH INLETS SHOWING THE PROPERLY INSTALLED SUMP (WITH TAPE MEASURE AS SIZE REFERENCE) AND TRAP/HOOD (INCLUDING GROUTING) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. CONFIRM, MEASURE, AND PHOTOGRAPH INLET AND INLET SUMP DEPTHS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL AND PHOTOGRAPH TRAPS/HOODS AS INDICATED ON THE PLANS IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL INLET PROTECTION ON INLETS AS THEY BECOME FUNCTIONAL.
- 17. REMOVE ANY ACCUMULATED DEBRIS OR SEDIMENT THAT HAS TAKEN PLACE AFTER THE APPROVAL OF THE SUBGRADE. HAND-RAKE BOTTOM OF SMP-1 TO SCARIFY THE SURFACE, CONFIRM AND MEASURE BASIN INVERT FLEVATION IS IN ACCORDANCE WITH THE PLAN, CONFIRM AND MEASURE THE BASIN FOOTPRINT SURFACE AREA IS IN ACCORDANCE WITH THE PLAN, AND PHOTOGRAPH THE BASIN BOTTOM IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PLACE NON-WOVEN GEOTEXTILE ON BOTTOM AND SIDES OF SMP-1 FOOTPRINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. PHOTOGRAPH BASIN AFTER INSTALLATION OF GEOTEXTILE IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE.
- 18. PLACE BOTTOM LAYER OF CLEAN-WASHED STONE ACROSS SMP-1 BASIN BOTTOM.
- 19. INSTALL STORAGE TANKS, OBSERVATION WELLS, AND CLEAN-WASHED STONE AS SHOWN ON THE PLAN. MEASURE INVERTS OF STORAGE TANKS, OUTFLOW PIPE, AND OBSERVATION WELL IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PHOTOGRAPH, MEASURE. AND CONFIRM INVERTS AND INSTALLATION OF PIPES AND OBSERVATION WELLS ARE IN ACCORDANCE WITH THE PLAN IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PHOTOGRAPH THE INSTALLATION OF THE PIPES AND OBSERVATION WELLS AS WELL AS THE TOPS OF THE PIPES SHOWING STONE FILLED AROUND THEM IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE.
- 20. INSTALL OUTLET CONTROL STRUCTURE IN ACCORDANCE WITH THE PLAN DRAWINGS. MEASURE OUTLET STRUCTURE BOTTOM INVERT, OUTFLOW PIPE INVERT, WEIR LENGTH, AND WEIR ELEVATION IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. PHOTOGRAPH OUTLET CONTROL STRUCTURE, INCLUDING INTERNAL WEIR, OUTLET PIPE (WITH TAPE MEASURE AS SIZE REFERENCE), AND HOOD/TRAP (INCLUDING GROUTING) IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE. INSTALL ALL PIPING TO AND FROM OUTLET CONTROL STRUCTURE AS OUTLINED IN THE PLANS. PHOTOGRAPH, MEASURE. AND CONFIRM BASIN OUTFLOW PIPE INVERT AND THE FOLLOWING FEATURES OF THE OUTLET STRUCTURE: BOTTOM INVERT. OUTFLOW PIPE INVERT. ORIFICE INVERT. ORIFICE DIAMETER, WEIR LENGTH, AND WEIR ELEVATION, ARE ALL IN ACCORDANCE WITH THE PLANS AND IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE.
- 21. INSTALL REMAINING CLEAN-WASHED STONE TO THE BASIN TOP ELEVATION AS SHOWN ON THE PLAN. WRAP NON-WOVEN GEOTEXTILE ON TOP OF STONE STORAGE AS INDICATED ON THE PLANS. PHOTOGRAPH, MEASURE AND CONFIRM TOP OF STONE ELEVATION IN ACCORDANCE WITH THE CONSTRUCTION CERTIFICATION PACKAGE.
- ENTERS THE STONE, THE CONTRACTOR MAY BE REQUIRED TO REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN-WASHED STONE. 23. INSTALL PROPOSED SITE IMPROVEMENTS, INCLUDING PLAY SURFACE, PLAY EQUIPMENT,

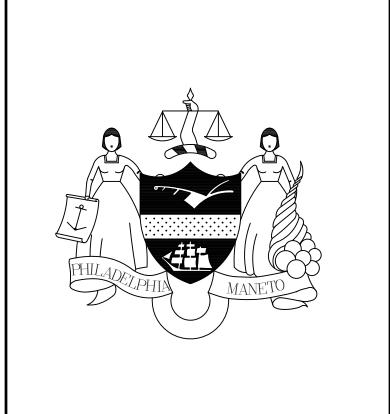
22. ALL STONE THAT MAKES UP SMP-1 MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT

- MINI PITCH, RAMPS, AND BENCHES. 24. WATER PUMPED FROM WORK AREAS SHOULD BE TREATED FOR SEDIMENT REMOVAL PRIOR
- 25. AS SOON AS SLOPES, CHANNEL DITCHES AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- 26. TOPSOIL AND SEED GRASSED AREAS. INSTALL PLANTS AND TREES.
- 27. SWEEP PAVED AREAS DAILY TO PREVENT TRACKING OF SOIL OFF-SITE.

TO DISCHARGING TO A "SURFACE WATER".

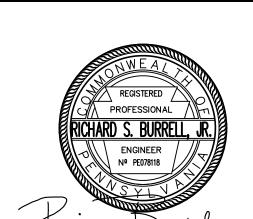
- 28. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT INSPECTIONS COORDINATOR OF PWD (OFFICE: 215-685-6387) FOR A FINAL INSPECTION PRIOR TO REMOVAL ON THE E&SC BMPS.
- 29. REMOVE SOIL EROSION MEASURES AFTER SITE HAS BEEN INSPECTED AND STABILIZED.

REVISIONS 12/15/23|PER PWD REVIEW COMMENT 2/16/24 ∣PER PWD REVIEW COMMENT 3/21/24 PER PWD REVIEW COMMENT



DESIGN DEVELOPMENT

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CITY OF PHILADELPHIA

PHILADELPHIA PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

CHRISTY RECREATION CENTER RENOVATION

PENNSYLVANIA

**EROSION AND SEDIMENT** CONTROL NOTES 2020-2443-01

9/22/2023 CE7.01 AS NOTED

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORL

PWD TRACKING NO.: FY23-REHA-7188-01

#### **DEMOLITION NOTES**

- 1. REMOVE ALL PAVEMENT, BASE MATERIALS AND/OR CONSTRUCTION DEBRIS AND EXCAVATE REMAINING SOIL/FILL TO A MINIMUM OF 24" BELOW EXISTING GRADE IN ALL AREAS WHERE EXISTING PAVEMENTS ARE TO BE REMOVED AND REPLACED WITH LAWN AND/OR PLANTING.
- 2. REMOVE ROOTS OF TREES AND SHRUBS TO 24" BELOW GRADE
- NOTIFY OWNER AND RECEIVE APPROVAL PRIOR TO REMOVAL OF SIGNS.

#### TREE PROTECTION NOTES

- 1. CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS OF EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH DIGITAL PHOTOS AND/OR VIDEO, WHICH ESTABLISHES PRECONSTRUCTION CONDITIONS THAT MIGHT BE MISCONTRUED AS DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. INCLUDE PLANS AND NOTATIONS TO INDICATE SPECIFIC WOUNDS AND DAMAGE CONDITIONS OF EACH TREE OR OTHER PLANTS DESIGNATED TO REMAIN.
- 2. LOCATE AND CLEARLY IDENTIFY TREES, SHRUBS AND OTHER VEGETATION TO REMAIN. FLAG EACH TREE TO REMAIN AT A HEIGHT OF 6-FEET +/- WITH DISTINCTIVE, HIGHLY VISIBLE COLOR FLAGGING TAPE. SUPERVISING CONTRACTOR AND/OR SITE FOREMAN IS RESPONSIBLE TO INSTRUCT AND MONITOR ALL LABORERS AND WORKERS AND IT THE TREE PROTECTION REQUIREMENTS.
- WORKERS ABOUT THE TREE PROTECTION REQUIREMENTS.

  3. DEPARTMENT OF PARKS & RECREATION ARBORIST SHALL BE CONSULTED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. CONTRACTORS MUST COORDINATE ALL CONSTRUCTION ACTIVITY AFFECTING EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH THE ARBORIST. ALL CONTRACTORS SHALL COMPLY WITH THE PROTECTION REQUIREMENTS SET FORTH BY THE CERTIFIED ARBORIST.
- 4. BRING ANY UNFORESEEN SITE CONDITIONS, SUCH AS STRUCTURAL ROOTS, THAT WILL IMPACT NEW CONSTRUCTION TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. DO NOT PROCEED WITH WORK WITHOUT WRITTEN AUTHORIZATION.

- 5. PROTECTION FENCING MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH ANY DEMOLITION
- OR CONSTRUCTION WORK.

  6. INSTALL PROTECTION FENCING BEFORE INSTALLING EROSION AND SEDIMENTATION CONTROLS. SILT FENCE IS PROHIBITED WITHIN PROTECTION ZONE. TRENCHING IS PROHIBITED IN TREE PROTECTION ZONES. FLOWS OF WATER REDIRECTED FROM CONSTRUCTION AREAS OR GENERATED BY CONSTRUCTION ACTIVITY ARE PROHIBITED FROM ENTERING OR CROSS
- PROTECTION ZONES.

  7. WORK WITHIN PROTECTION FENCING, UNLESS NOTED HEREIN, MUST BE APPROVED BY AND SUPERVISED BY OWNER'S REPRESENTATIVE.
- 8. WHEN WORKING WITHIN TREE PROTECTION ZONES, USE CARE TO AVOID DAMAGE TO TREE TRUNKS AND ROOTS SUCH AS, BUT NOT LIMITED TO, IMPACT WOUNDS CAUSED BY EQUIPMENT. CONSULT A CERTIFIED ARBORIST IS DAMAGED TO AN PROTECTED TREE OCCURS.
- LIMIT EXTENT OF EXCAVATION WITHIN PROTECTION ZONES TO THE GREATEST EXTENT FEASIBLE.
- 10. WHERE EXCAVATION IS REQUIRED IN PROTECTION ZONES TO INSTALL UTILITIES, HAND EXCAVATE AND/OR AIR-SPADE AROUND TREE ROOTS OR TUNNEL UNDER ROOTS BY DRILLING, AUGER BORING, OR PIPE JACKING. DO NOT CUT MAIN LATERIAL TREE ROOTS OR TAPROOTS. CUTTING OF SMALLER ROOTS BY A CERTIFIED ARBORIST THAT INTERFERE WITH INSTALLATION OF

UTILITIES IS PERMITTED.

11. TRENCHING OR EXCAVATION WITHIN THE DRIPLINE OF EXISTING TREES SHALL BE COMPLETED WITH EXTREME CARE AND UNDER THE SUPERVISION OF A CERTIFIED ARBORIST. USE HAND TOOLS ONLY. ARBORIST SHALL BE PRESENT DURING ALL WORK DONE WITHIN DRIPLINE OF EXISTING TREES. NOTIFY OWNER PRIOR TO COMMENCEMENT OF WORK WITHIN DRIPLINE OF TREES.
12. WHERE EXSITING ROOTS OF TREES TO REMAIN ARE ENCOUNTERED WITHIN EXCAVATION AREAS, DO NOT ALLOW EXPOSED ROOTS TO

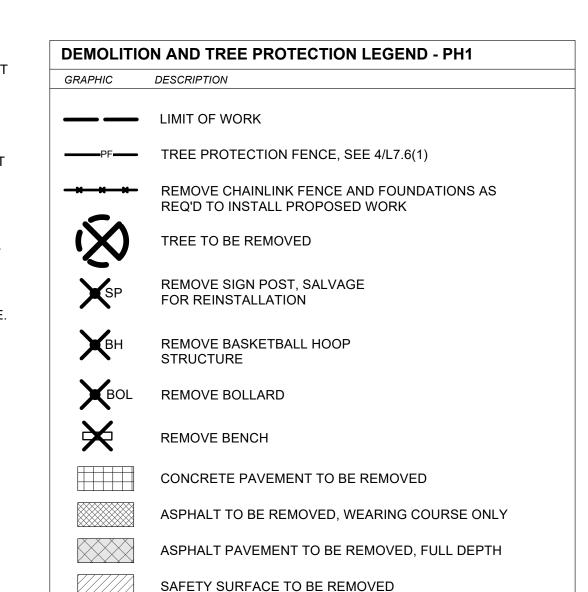
DRY OUT PRIOR TO PLACING PERMANENT BACKFILL.

- 13. EXERCISE EXTREME CAUTION IN REMOVING PAVEMENT WITHIN DRIPLINE OF EXISTING TREES TO REMAIN.
- 14. MAINTAIN EXISTING GRADES WITHIN THE PROTECTION ZONE TO THE GREATEST EXTENT FEASIBLE. DO NOT LOWER OR RAISE GRADES MORE THAN 2-INCHES WITHIN PROTECTION ZONE. HAND-GRADE TO REQUIRED FINISHED ELEVATIONS WITH PROTECTION ZONES.
- 15. WHEN DIRECTED BY CERTIFIED ARBORIST, AERATE SURFACE SOIL COMPACTED DURING CONSTRUCTION. AERATE TO EXTENT AS DIRECTED BY ARBORIST AND NO CLOSER THAN 36-INCHES TO TREE TRUNK. DRILL 2-INCH DIAMETER HOLES A MINIMUM OF 12-INCHES DEEP AT 24-INCHES ON CENTER. BACKFILL HOLES WITH APPROVED COMPOST.
- 16. REPLACE TREES, SHRUBS AND OTHER VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE WHEN GREATER THAN OR EQUAL TO 25% OF THE PLANT IS DEAD OR IN AN UNHEALTHY CONDITION AND OWNER'S REPRESENTATIVE DETERMINES ARE INCAPABLE OF RESTORING TO NORMAL GROWTH. PROVIDE NEW TREES OF THE SAME SIZE AND APPROVED SPECIES FOR EACH TREE THAT MEASURES 6-INCHES IN CALIPER SIZE OR SMALLER. WHERE THE TREE TO BE REPLACED EXCEEDS 6-INCHES IN CALIPER, PROVIDE TWO (2) 8-INCH CALIPER TREES OF AN APPROVED SPECIES AT A LOCATION DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 17. PROTECT ROOT SYSTEMS FROM PONDING, ERODING, OR EXCESSIVE WETTING CAUSED BY DEWATERING OPERATIONS.
- 18. DO NOT PARK VEHICLES OR EQUIPMENT WITH PROTECTION ZONES.
  19. CERTIFIED ARBORIST MAY REQUIRE CROWN PRUNING TO COMPENSATE FOR ROOT LOSS CAUSED BY DAMAGING OR CUTTING
- DURING CONTRACT PERIOD AS RECOMMENDED BY ARBORIST.

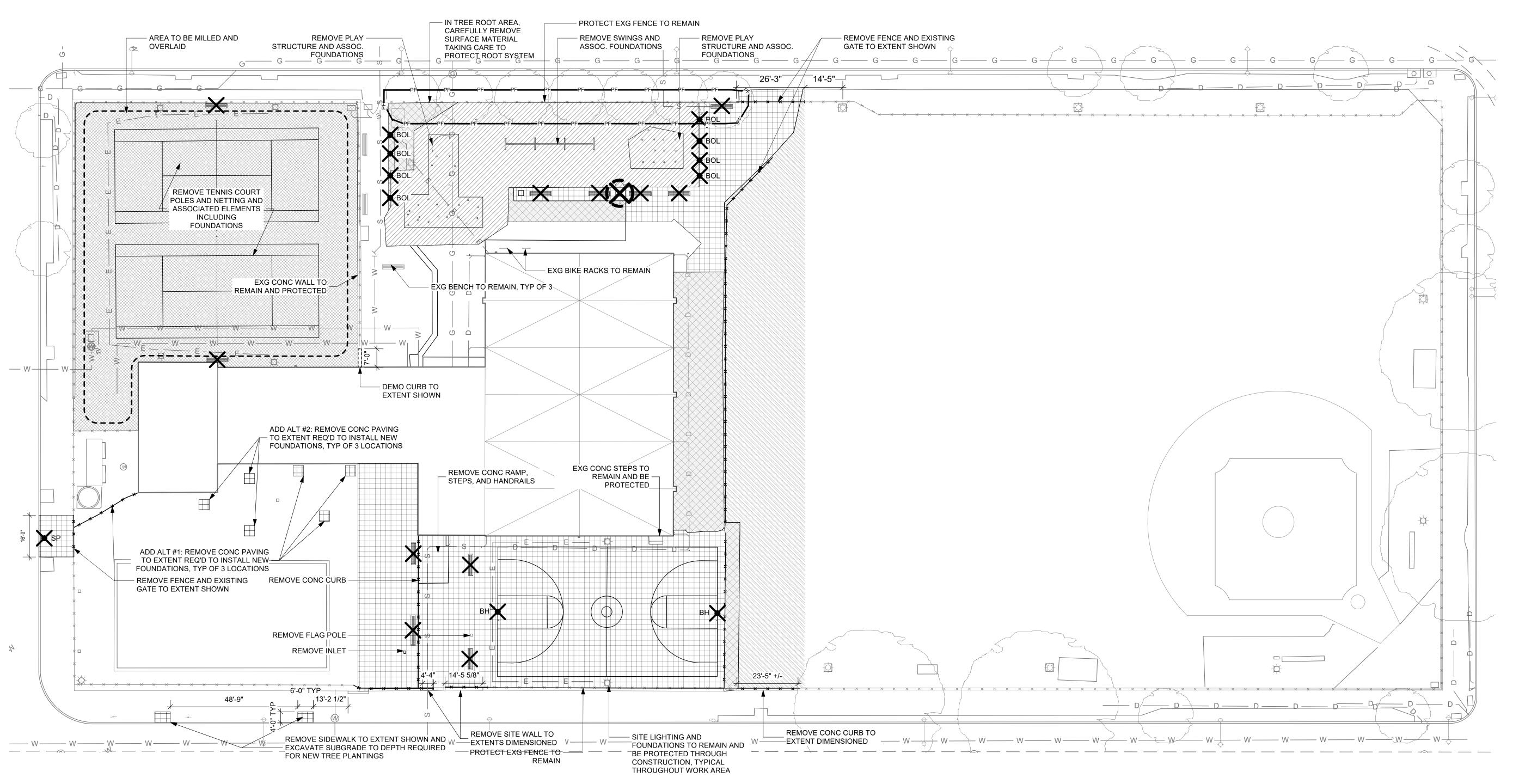
  20. OWNER'S REPRESENTATIVE MAY REQUIRE ADDITIONAL PROTECTION FENCING OR RELOCATION OF FENCING AS WORK PROGRESSES.

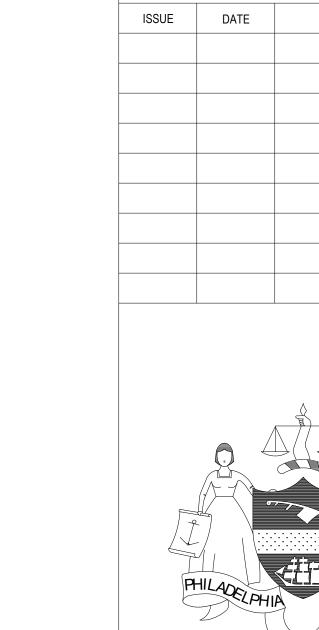
OF THE ROOT SYSTEM. PROVIDE SUBSEQUENT MAINTENANCE

- 21. AVOID DAMAGING EXISTING TREES. DAMAGE INCLUDES BUT IS NOT LIMITED TO: CUTTING, BREAKING, SKINNING OR COMPACTING OF ROOTS, SKINNING AND BRUISING OF BARK AND BREAKING OF BRANCHES AND LIMBS.
- 22. DO NOT ATTACH SIGNS TO OR AROUND TREES OR PLANTS TO REMAIN UNLESS OTHERWISE INDICATED.
- 23. DO NOT ALLOW ROOTS TO DRY OUT BEFORE PLACING PERMANENT BACKFILL. PROVIDE TEMPORARY EARTH COVER AND/OR WRAP WITH MOIST BURLAP. WATER AND MAINTAIN IN MOIST CONDITION. TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY RELOCATED AND/OR COVERED WITH SOIL.
- 24. PROTECTION-ZONE SIGNAGE: "TREE PROTECTION AREA DO NOT ENTER"
  3-INCH HIGH MINIMUM LETTER SIZE, RED CHARACTERS ON WHITE
- 3-INCH HIGH MINIMUM LETTER SIZE, RED CHARACTERS ON WHITE BACKGROUND. INSTALL ALONG TOP OF PROTECTION FENCING SPACED EVERY 50-FEET AND/OR EACH SIDE OF PROTECTION ZONE.



SOD TO BE REMOVED





#### CONSTRUCTION DOCUMENTS

REVISIONS

REVISIONS

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# CITY OF PHILADELPHIA

**DEPARTMENT OF PARKS & RECREATION** 

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

CHRISTY RECREATION CENTER RENOVATION - PHASE 1

DRAWING TITLE

PROJECT TITLE

SITE DEMOLITION AND TREE PROTECTION

DRAWING NO.

16-21-7053-01

DATE

03/15/24

SCALE

1" = 20'

DRAWN BY

SJE

CHECKED BY

JB

NOTE:

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



FERENCE	GRAPHIC	DESCRIPTION
		LIMIT OF WORK
SEE CIVIL	4 4	VEHICULAR CONCRETE, CAST IN PLACE
1/L7.0(1)	A 4 A A	STANDARD CONCRETE, CAST IN PLACE
2/L7.0(1)		ASPHALT PAVING, FULL DEPTH
3/L7.0(1)		ASPHALT PAVING, OVERLAY ONLY
4-6,10/ L7.0(1)		RUBBER SAFETY SURFACE, POURED IN PLACE
2/L7.3(1)	-00	8' CHAIN LINK FENCE
1/L7.3(1)	<del></del>	6' CHAIN LINK FENCE

FURNISHIN	FURNISHINGS SCHEDULE			
REFERENCE	GRAPHIC	DESCRIPTION		
SIM 6/L7.4(1)		BENCH, BACKLESS		
6/L7.4(1)		BENCH WITH BACK		
3/L7.4(1)		PLAYERS BENCH		
5/L7.4(1)	TR	TRASH RECEPTACLE		
7/L7.4(1)	<b>6</b>	BICYCLE RACK		
1/L7.4(1)	●BL	BOLLARD		

REFERENCE	GRAPHIC	DESCRIPTION
8/L7.4(1)	P1	5-12 PLAY STRUCTURE
8/L7.4(1)	P2	2-5 PLAY STRUCTURE
8/L7.4(1)	Р3	5" ARCH SWING FRAME WITH 3 BAYS; (2) BELT SEATS, (2) BUCKET SEATS, (1) ADA SWING
8/L7.4(1)	P4	GROUND SPINNER TYPE 1
8/L7.4(1)	P5	GROUND SPINNER TYPE 2
N/A	<b>S</b> 1	SOLO SPURT
N/A	<b>S2</b>	STEADY STREAM
N/A		MORNING GRASS 1

**GENERAL NOTES** 

DO NOT SCALE DRAWINGS.

- 2. THE CONTRACTOR SHALL VERIFY ALL INVERTS, DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
- 3. DRAWINGS FOR DESIGN INTENT ONLY. FIELD ADJUSTMENTS MAY BE REQUIRED WITH WRITTEN AUTHORIZATION BY OWNER.
- THE CONTRACTOR SHALL NOTFIY THE LANDSCAPE ARHITECT OF UNFORESEEN CONDITIONS THAT ARE UNCOVERED OR EXPOSED DURING THE WORK.
- 5. FIELD CHANGES REQUIRE OWNER, OWNER REPRESENTATIVE AND DESIGN PROFESSIONAL REVIEW. WRITTEN CONFIRMATION IS REQUIRE TO PROCEED WITH FIELD CHANGES.
- 6. THE CONTRACTOR SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING THE WORK OR ORDERING
- MATERIALS.
  7. THE CONTRACTOR SHALL PROVIDE THE LAYOUT, LINE AND GRADE
- UNLESS OTHERWISE NOTED.

  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY,
- PROCEDURES, MEANS AND METHODS, SEQUENCING, SCHEDULE AND COORDINATION FOR WORK SHOWN IN THE DOCUMENTS.
- 9. MAINTAIN FIRE DEPARTMENT ACCESS TO ALL FIRE DEPARTMENT

  ONLY TO THE DEPARTMENT ACCESS TO ALL FIRE DEPARTMENT
- CONNECTIONS AND HYDRANTS AT ALL TIMES.

  10. PROVIDE AND MAINTAIN PROTECTION FOR PEDESTRIAN AND VEHICULAR TRAFFIC.

- 11. INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE CLEARING OR DEMOLITION ACTIVITIES. SEE EROSION AND SEDIMENT CONTROL PLANS.
- 12. DO NOT DRIVE OR PARK, STORE MATERIAL OR DEBRIS ON THE SITE EXCEPT IN AREAS APPROVED BY OWNER. STAGING AREAS SHALL BE APPROVED BY OWNER. DO NOT STAGE MATERIALS IN AREAS OTHER THAN THOSE THAT ARE PREVIOUSLY DESIGNATED BY THE
- 13. DISPOSE OF OR RECYCLE ALL DEMOLITION MATERIALS IN A PERMITTED, REGULATED FACILITY IN ACCORDANCE WITH ALL APPLICABLE LOCAL. STATE AND FEDERAL REGULATION.
- 14. REMOVE EXISTING SOIL TO DEPTHS REQUIRED FOR NEW WORK INCLUDING FULL DEPTH REPLACEMENT OF PLANTING IN NEW BEDS.
  15. PRESERVE AND PROTECT ALL EXISTING FEATURES TO REMAIN: STRUCTURES, LIGHTING, SURFACE MATERIALS, ABOVE AND BELOW GRADE UTILITIES, FOOTING AND VEGETATION WITHIN AND
- ADJACENT TO CONSTRUCTION AREA DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.

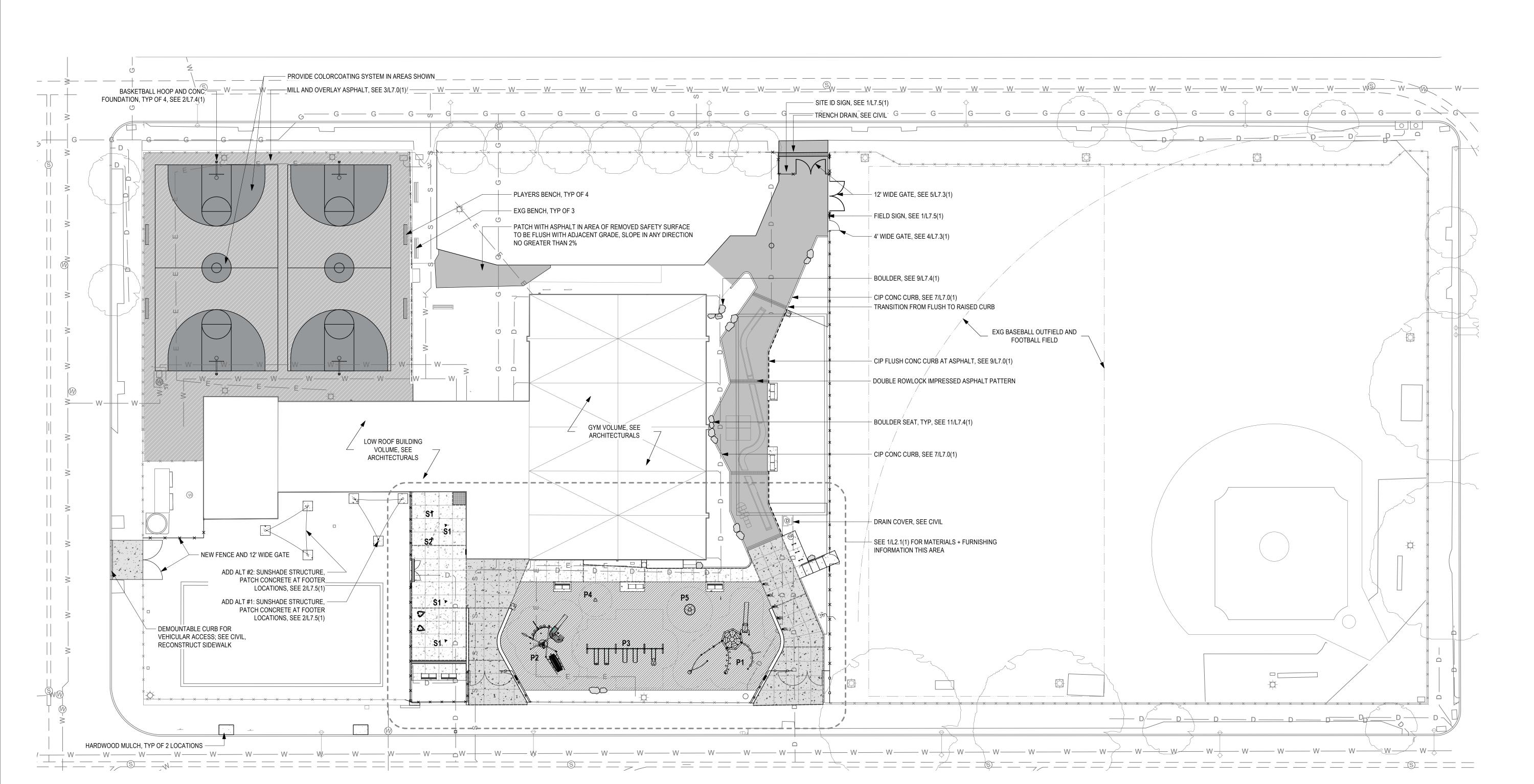
  16. REMOVE AND SALVAGE SITE FURNITURE AS INDICATED. PROTECT

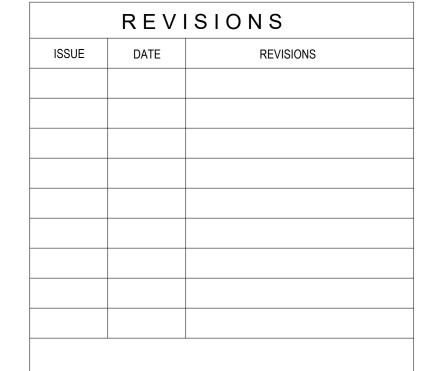
SITE FURNITURE AGAINST DAMAGE AND TRANSPORT TO LOCATION

- AS DIRECTED BY OWNER.

  17. MEET ALL EXISTING GRADES AT ALL EDGES OF PROJECT WITHIN
- GRADING REQUIREMENTS.

  18. NOTICY OWNER ONE WEEK PRIOR TO REMOVING EXISTING PLANT
- 18. NOTIFY OWNER ONE WEEK PRIOR TO REMOVING EXISTING PLANTS FROM PLANT BEDS.
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT TO ANY SIDEWALK, LAWN, TREES, PAVING, AND OTHER IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONSTRUCTION OR DEMOLITION ACTIVITIES PROPOSED HEREIN.







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# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA F

CHRISTY RECREATION CENTER RENOVATION - PHASE 1

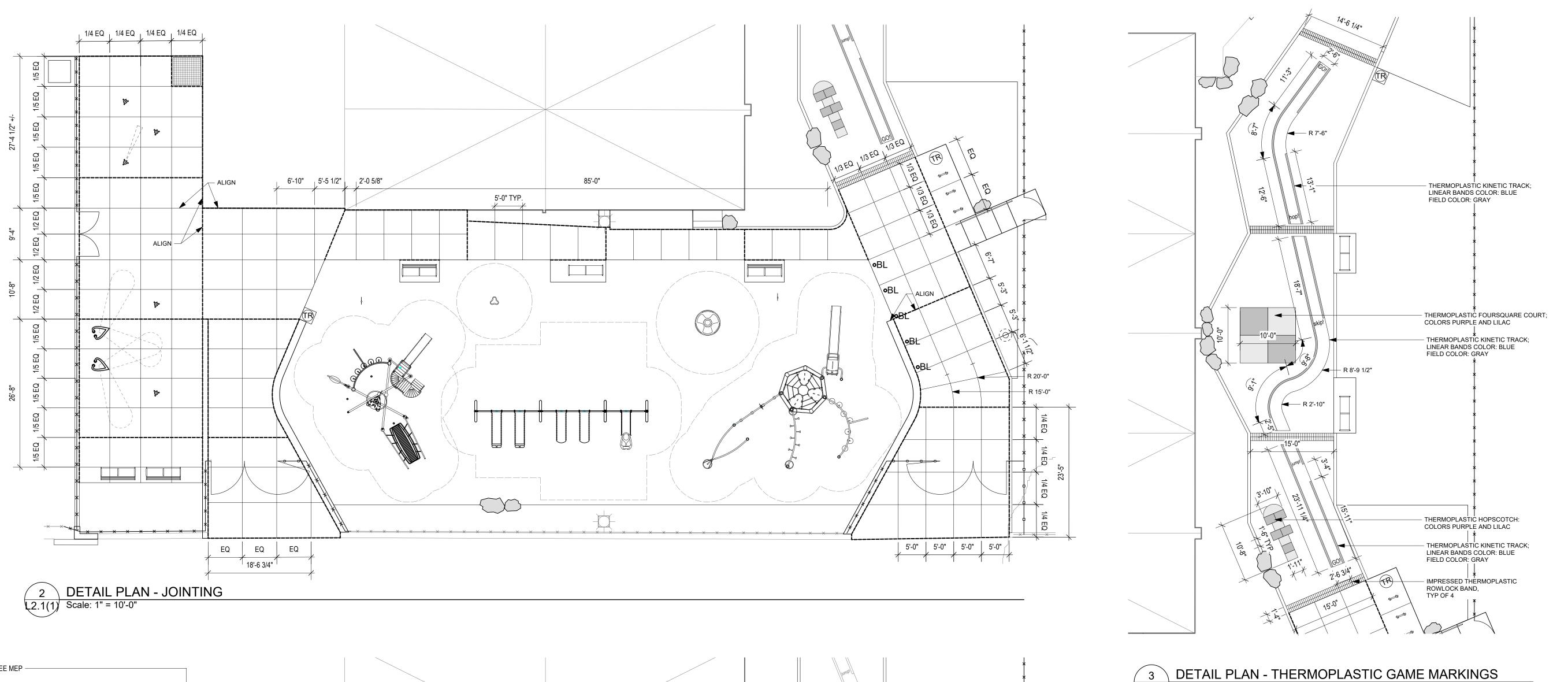
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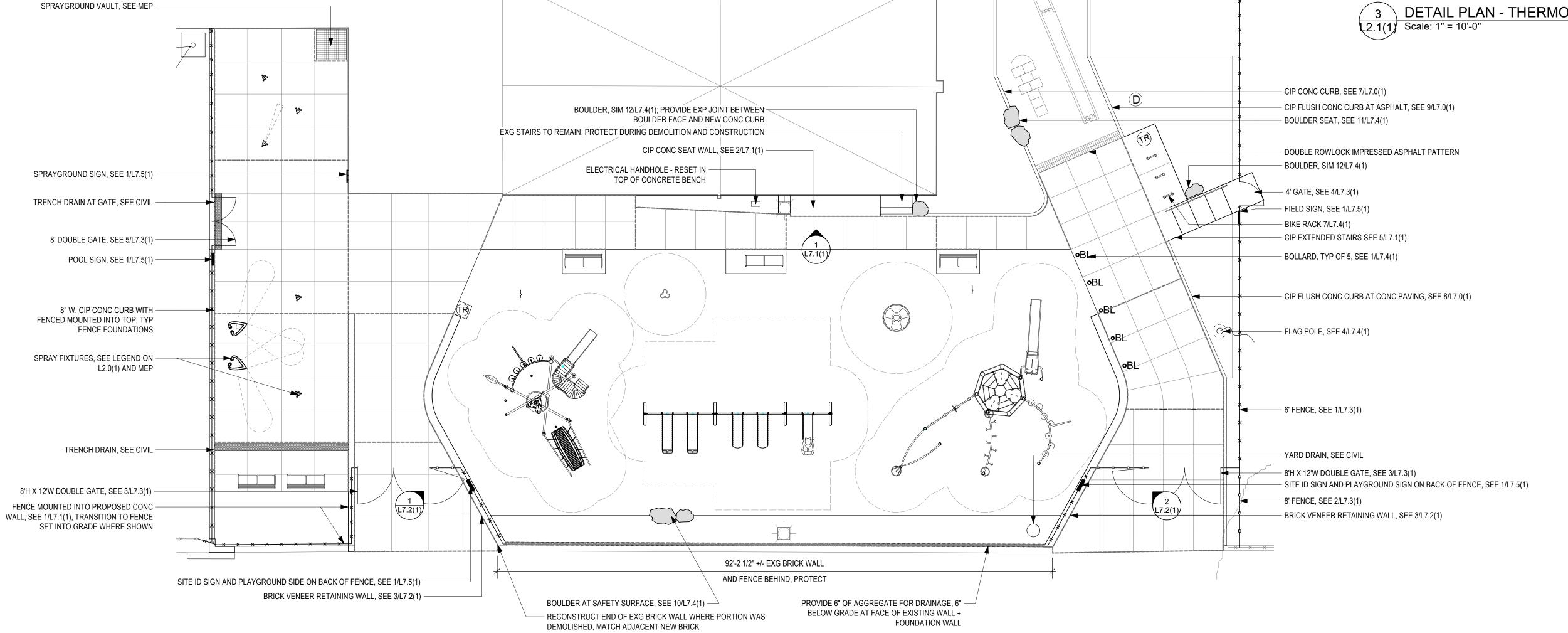
610 554 6560

MATERIALS AND FURNISHINGS PLAN

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK







REVISIONS ISSUE REVISIONS CONSTRUCTION DOCUMENTS PROJECT COORDINATOR PRIYANKA MALIK

> **SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 MEP ENGINEER:

ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365 **CIVIL ENGINEER:** KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS GROUND RECONSIDERED 915 Spring Garden Street, Suite 403 Philadelphia, Pennsylvania 19123

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> CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PENNSYLVANIA

PHILADELPHIA PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

DRAWING TITLE

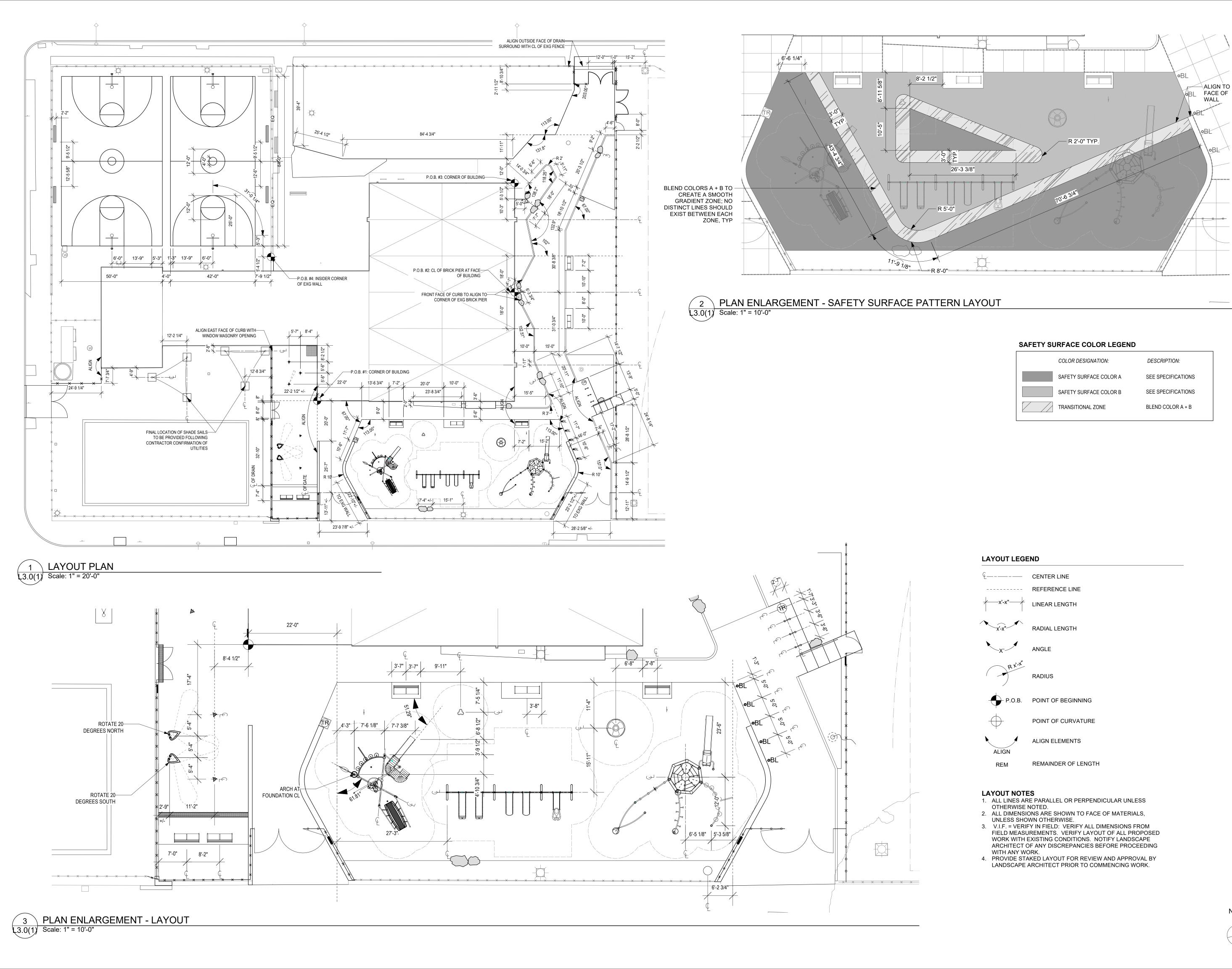
DETAIL PLANS

16-21-7053-01 L2.1(1) 03/15/24 AS NOTED SJE CHECKED BY

> ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

DRAWING NO.

1 DETAIL PLAN - MATERIALS + FURNISHINGS 2.1(1) Scale: 1" = 10'-0"



REVISIONS ISSUE REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

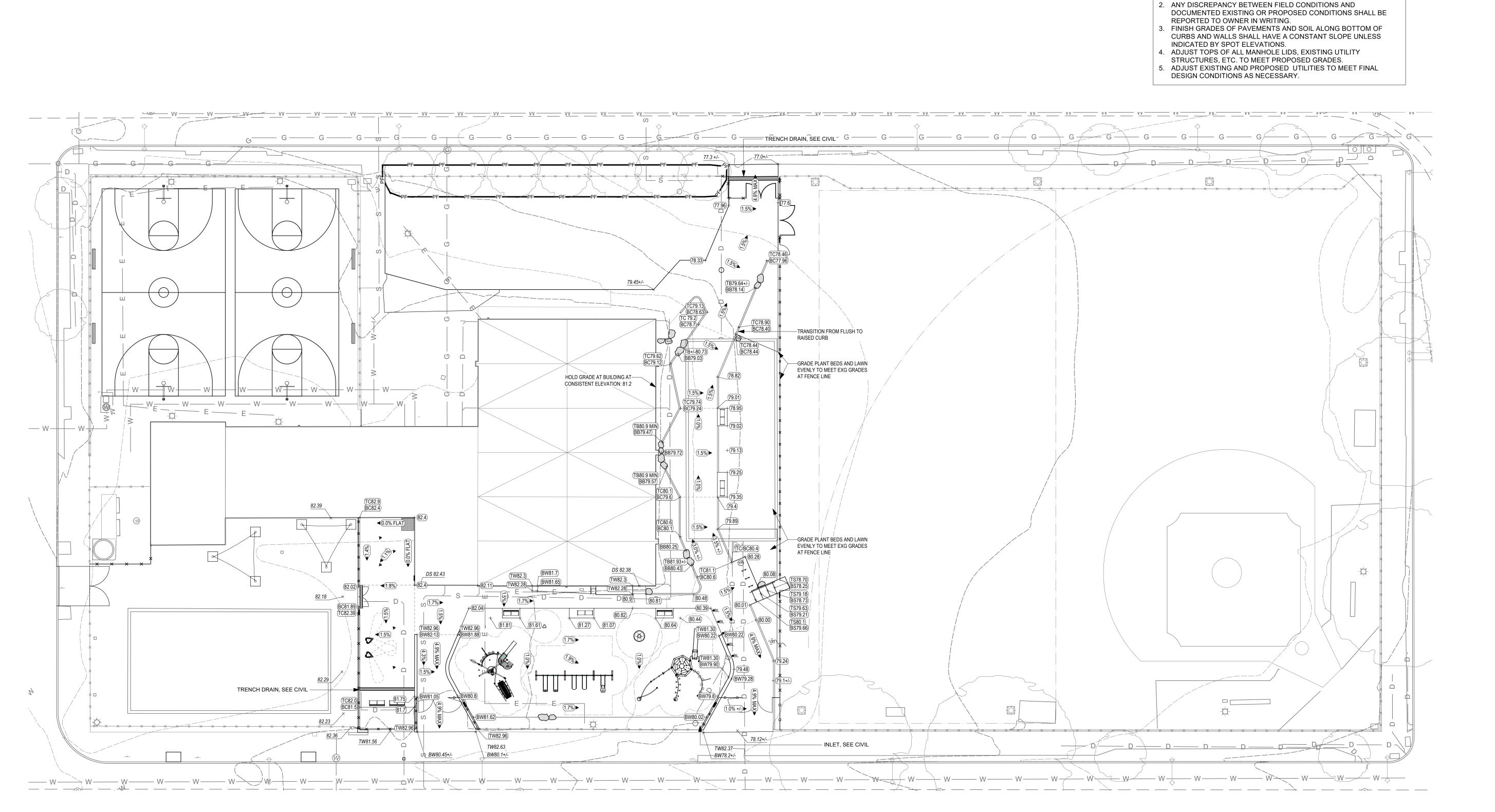
PENNSYLVANIA

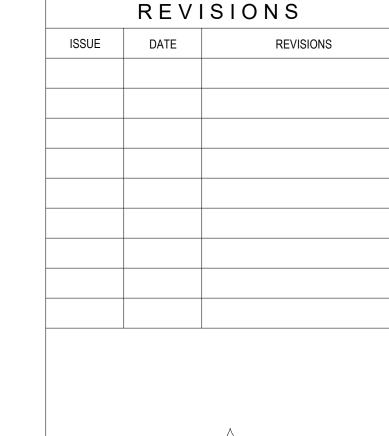
LAYOUT PLAN

16-21-7053-01 L3.0(1)03/15/24 AS NOTED

SJE CHECKED BY ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





GRADING LEGEND

GRAPHIC DESCRIPTION

+(TW0.00) TOP OF WALL

+(TW0.00) TOP OF STEP

\_\_\_\_(0)\_\_\_\_ CONTOUR

**GRADING NOTES** 

+BW0.00 BOTTOM OF WALL

+BS0.00 BOTTOM OF STEP

**▼**0.0% PERCENT SLOPE

V.I.F. VERIFY IN FIELD

HIGH POINT

SITE ENCLOSURE FENCE / LIMIT OF WORK

PROPOSED SPOT ELEVATION

1. REFER TO CIVIL ENGINEERING PLAN FOR LOCATIONS OF INLETS.

TREE PROTECTION FENCE

× 0.00 EXISTING SPOT ELEVATION



#### CONSTRUCTION DOCUMENTS

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# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNS

CHRISTY RECREATION CENTER

RENOVATION - PHASE 1

DESIGN GRADING PLAN

PROJECT NO. 16-21-7053-01

1-21-7053-01 03/15/24 L4.0(1)

1" = 20'

DRAWN BY

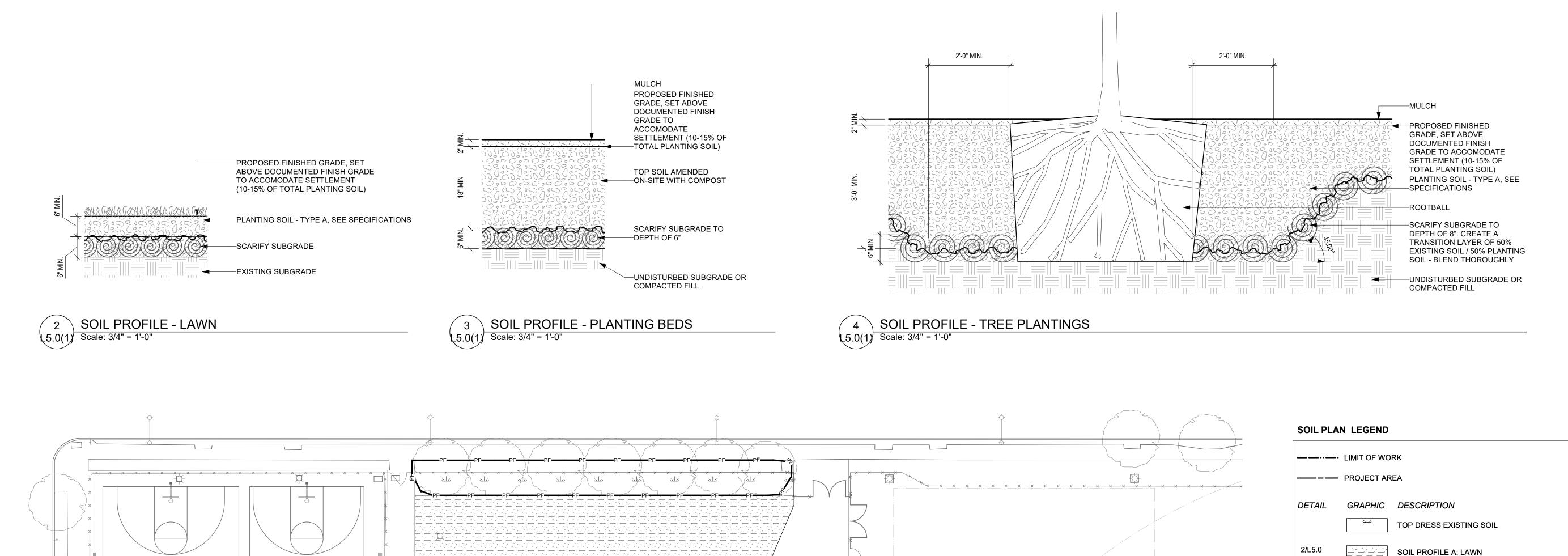
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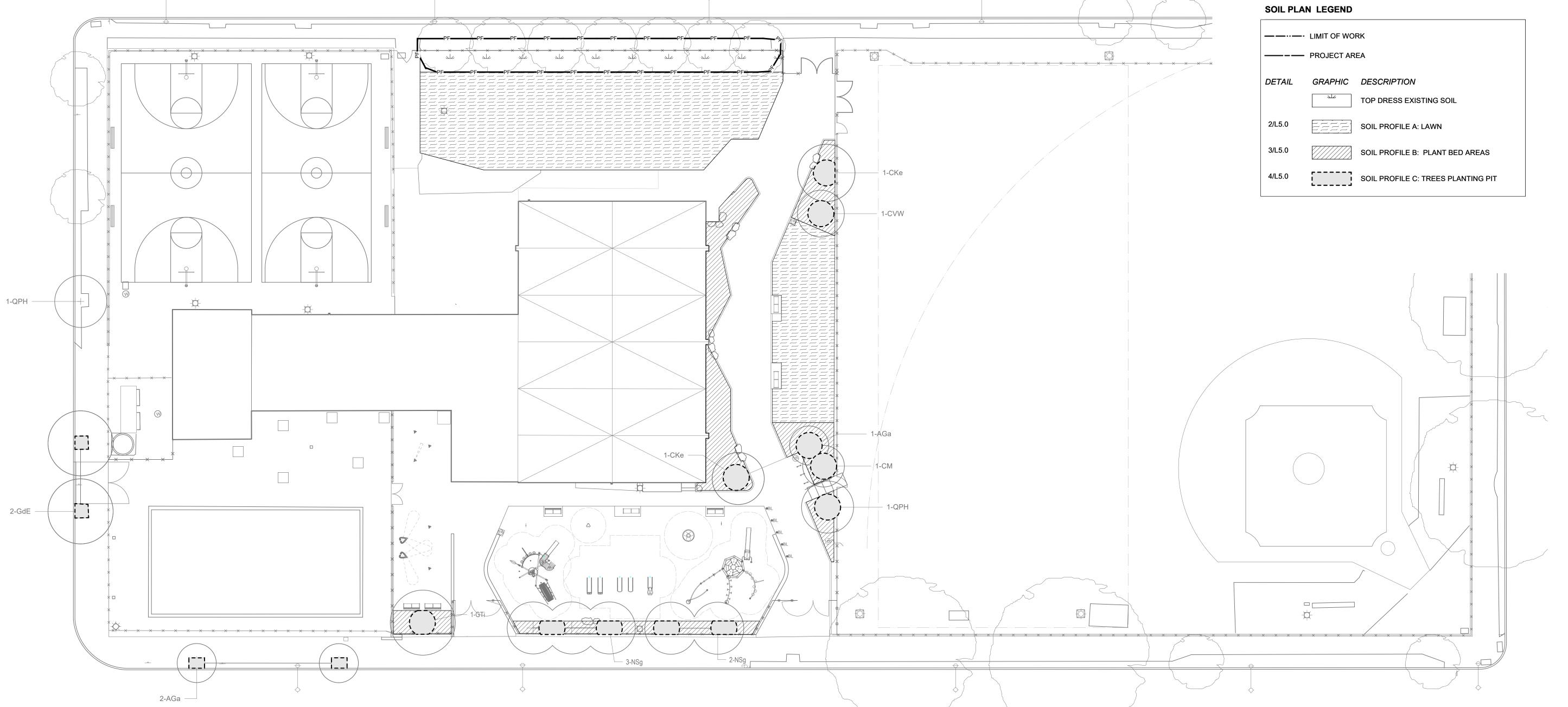
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JB

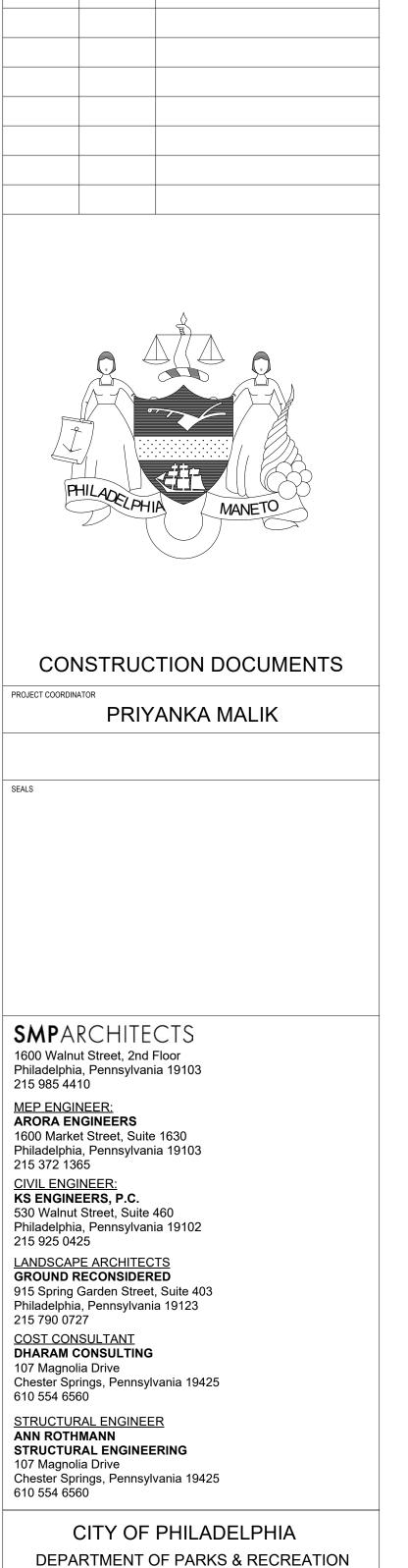








1 SOILS PLAN L5.0(1) Scale: 1" = 20'-0"



1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

SOILS PLAN

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

PENNSYLVANIA

L5.0(1)

PHILADELPHIA

DRAWING TITLE

16-21-7053-01

03/15/24

CHECKED BY

AS NOTED

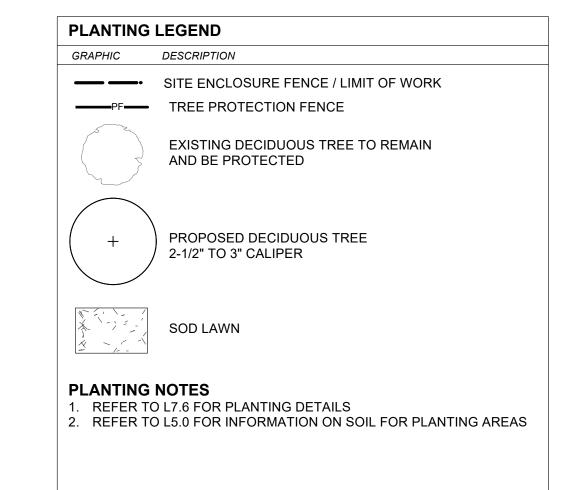
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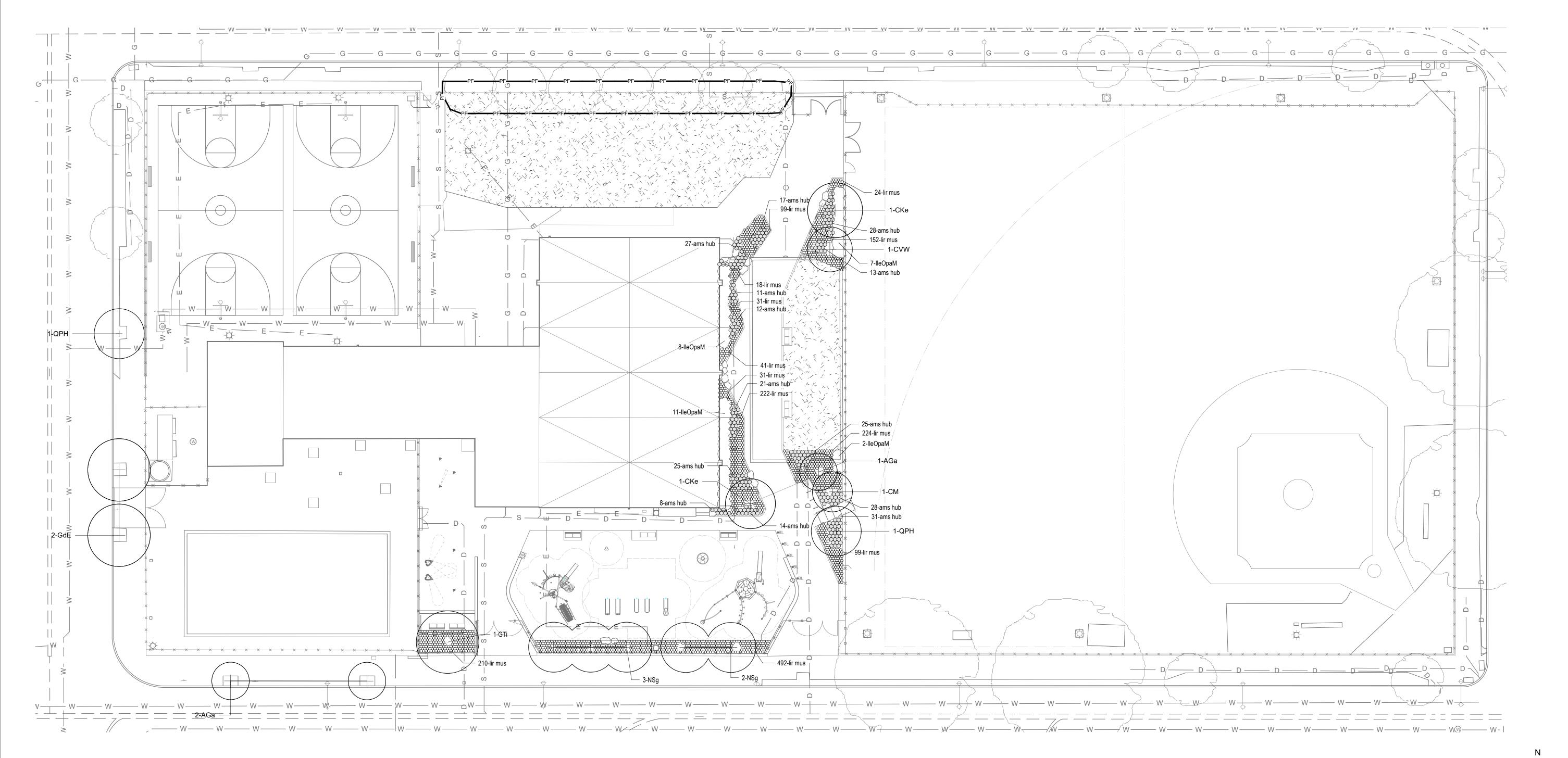
REVISIONS

REVISIONS

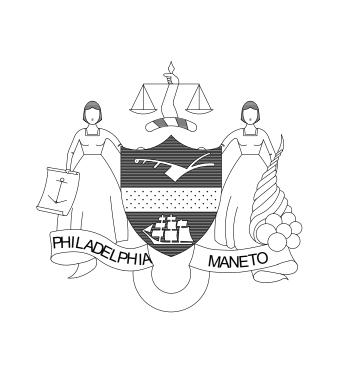
ISSUE

PLANT S	SCHEDULE					
Qty	ld	Botanical Name	Common Name	Size	Spacing	Notes
Canop	y Trees					
2	GdE	Gymnocladus dioicus 'Espresso'	Espresso Kentucky Coffeetree	2.5" - 3" cal.	As Shown	Speciman Quality, B&B
1	GTi	Gleditsia triacanthos inermis 'Impcole'	Imperial Honeylocust	#3	As Shown	Specimen Quality, B&B
5	NSg	Nyssa sylvatica	Green Sables Blackgum	#3	As Shown	Specimen Quality, B&B
2	QPH	Quercus phellos 'Hightower'	Hightower Willow Oak	2.5" - 3" cal.	As Shown	Specimen Quality, B&B
Unders	story Trees					
3	AGa	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" - 3" cal.	As Shown	Specimen Quality, B&B, Single stem
)	CKe	Cladrastis kentukea	Yellowwood	2.5" - 3" cal.	As Shown	Specimen Quality, B&B
]	СМ	Cornus mas	Cornelian-cherry dogwood	8' - 10' ht.	As Shown	Specimen Quality, B&B
1	CVW	Crataegus viridis 'Winter King'	Winter King Hawthorn	8' - 10' ht.	As Shown	Specimen Quality, B&B
Shrubs	s + Herbace	ous				
28	IleOpaM	llex opaca 'Maryland Dwarf'	Maryland Dwarf American Holly	#3	As Shown	
260	ams hub	Amsonia hubrichtii	Arkansas Bluestar	#1	18" o.c.	
1643	lir mus	Liriope muscari	Big Blue Lily Turf	#1	12" o.c.	





REVISIONS				
ISSUE	DATE	REVISIONS		



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# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA
PROJECT TITLE

CHRISTY RECREATION CENTER RENOVATION - PHASE 1

DRAWING TITLE

PLANTING PLAN

PROJECT NO.

16-21-7053-01

DATE 03/15/24

1" = 20'

L6.0(1)

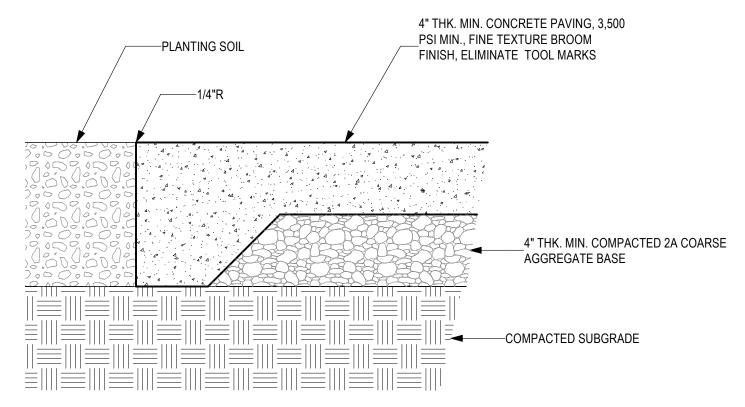
CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

CHECKED BY

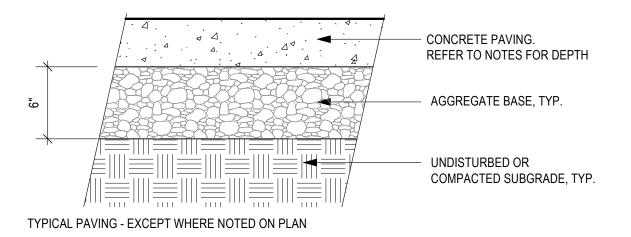
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NOTE:

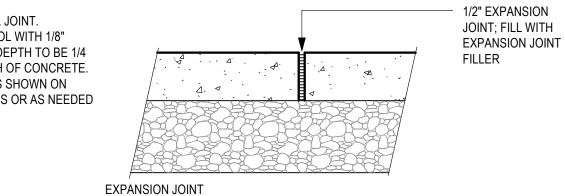
ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE



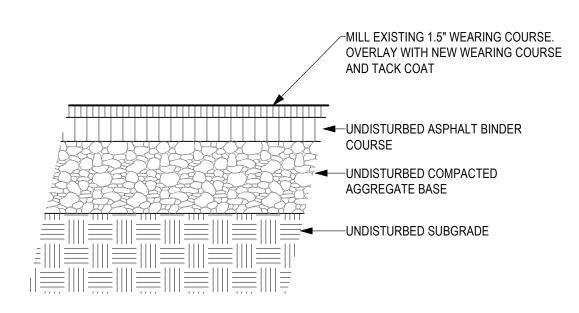
**CONCRETE PAVING** 



CONTROL JOINT. HAND TOOL WITH 1/8" RADIUS. DEPTH TO BE 1/4 OF DEPTH OF CONCRETE. SPACE AS SHOWN ON DRAWINGS OR AS NEEDED CONTROL JOINT



—2" ASPHALT BINDER COURSE € COMPACTED AGGREGATE BASE PREPARED SUBGRADE NOTE: INSTALL COLORED ATHLETIC SURFACE COATING



NOTE: INSTALL COLORED ATHLETIC SURFACE COATING AT COURT LOCATIONS

**CONCRETE PAVING GENERAL NOTES:** 1. STANDARD CONCRETE PAVING TO BE 4" DEPTH. 2. SEE CIVIL FOR VEHICULAR PAVING INFORMATION.

3. INSTALL PRE-MOLDED EXPANSION JOINT FILLER OR BACKER ROD WITH SEALANT WHERE CONCRETE PAVING MEETS CURBS, STAIR AND OTHER STRUCTURES.

STANDARD CONCRETE PAVING, TYP

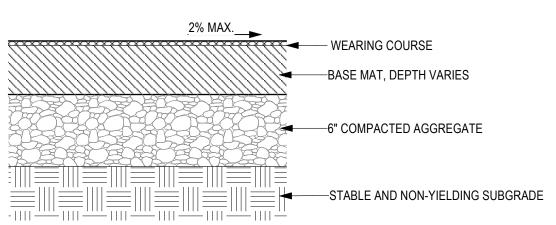
L7.0(1) Scale: 1 1/2" = 1'-0"



AT COURT LOCATIONS

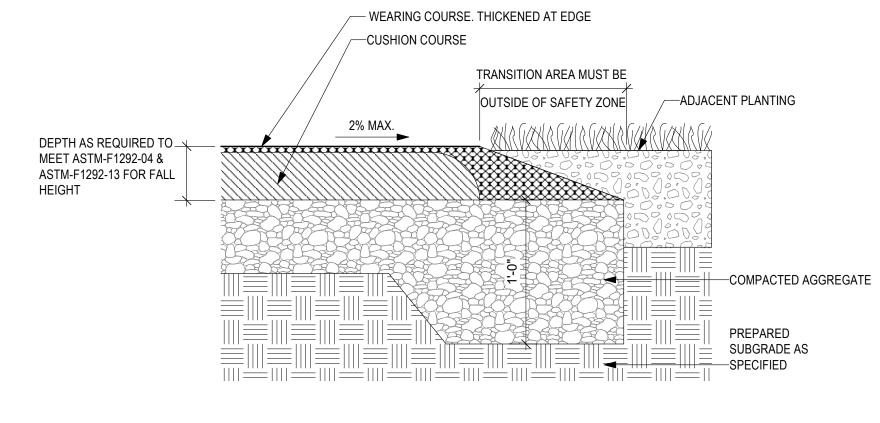


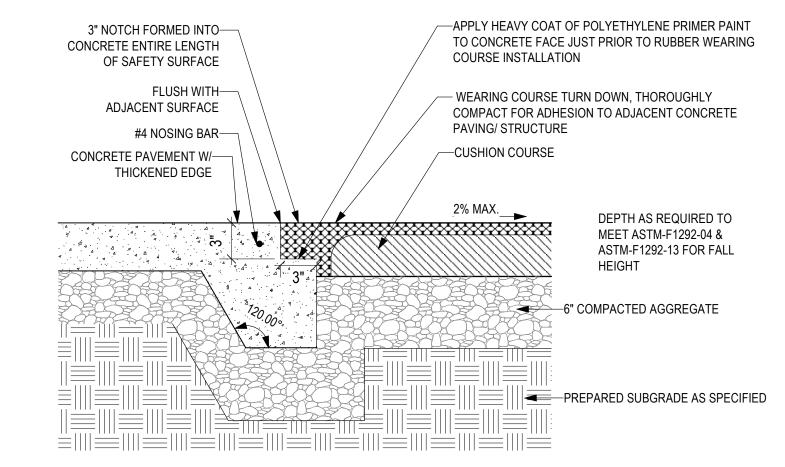
NOTE: SAFETY SURFACE DEPTH MUST MEET OR EXCEED THAT WHICH IS REQUIRED TO MEET THE CRITICAL FALL HEIGHT CRITERIA OF EACH PIECE OF EQUIPMENT, PPR STANDARDS, ASTM-F1292-04 & ASTM-F1292-13, OR MOST RECENT EDITION STANDARD.



POURED IN PLACE SAFETY SURFACE

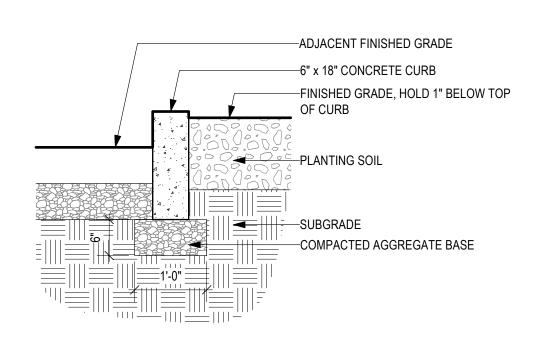
L7.0(1) Scale: 1 1/2" = 1'-0"

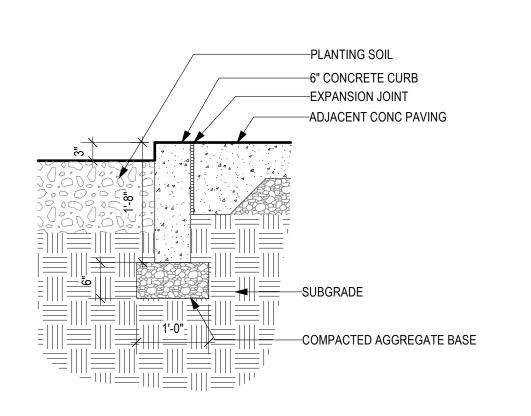


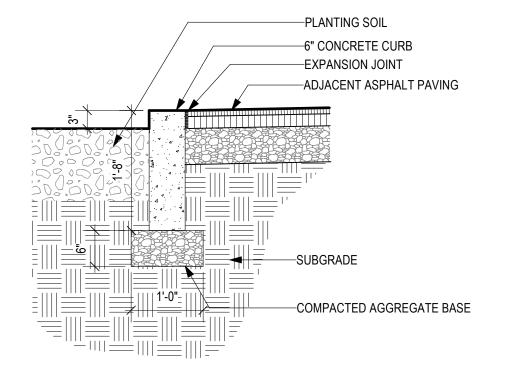


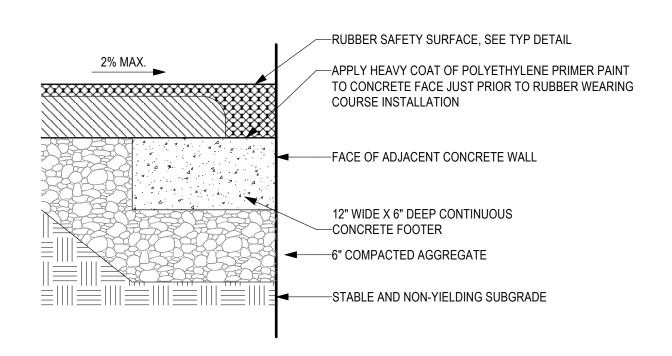
SAFETY SURFACE TO LAWN / PLANT BED TRANSITION L7.0(1) Scale: 1 1/2" = 1'-0"

SAFETY SURFACE TO ADJACENT PAVING TRANSITION L7.0(1) Scale: 1 1/2" = 1'-0"







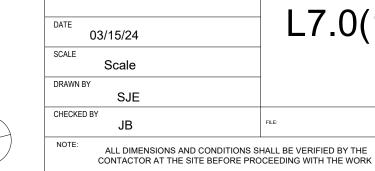


RAISED CONCRETE CURB AT PLANT BED L7.0(1) Scale: 3/4" = 1'-0"











REVISIONS

REVISIONS

DATE

ISSUE

CONSTRUCTION DOCUMENTS PROJECT COORDINATOR

PRIYANKA MALIK

**SMP**ARCHITECTS

SEALS

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 MEP ENGINEER: ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365 **CIVIL ENGINEER:** KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS **GROUND RECONSIDERED** 915 Spring Garden Street, Suite 403

Philadelphia, Pennsylvania 19123 215 790 0727 COST CONSULTANT DHARAM CONSULTING 107 Magnolia Drive Chester Springs, Pennsylvania 19425

STRUCTURAL ENGINEER ANN ROTHMANN STRUCTURAL ENGINEERING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

610 554 6560

#### CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

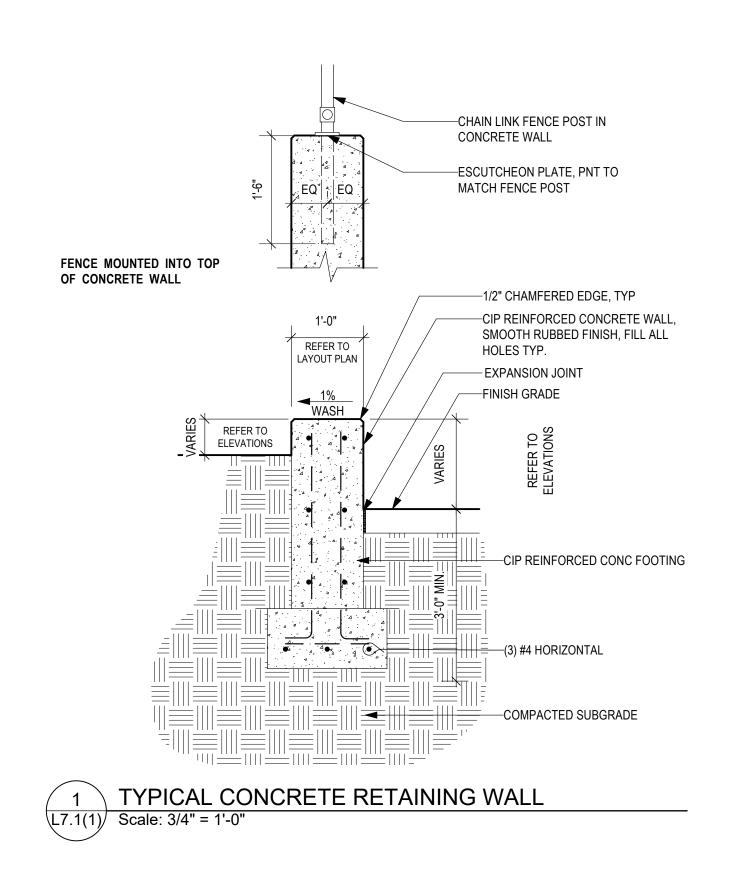
PHILADELPHIA PENNSYLVANIA

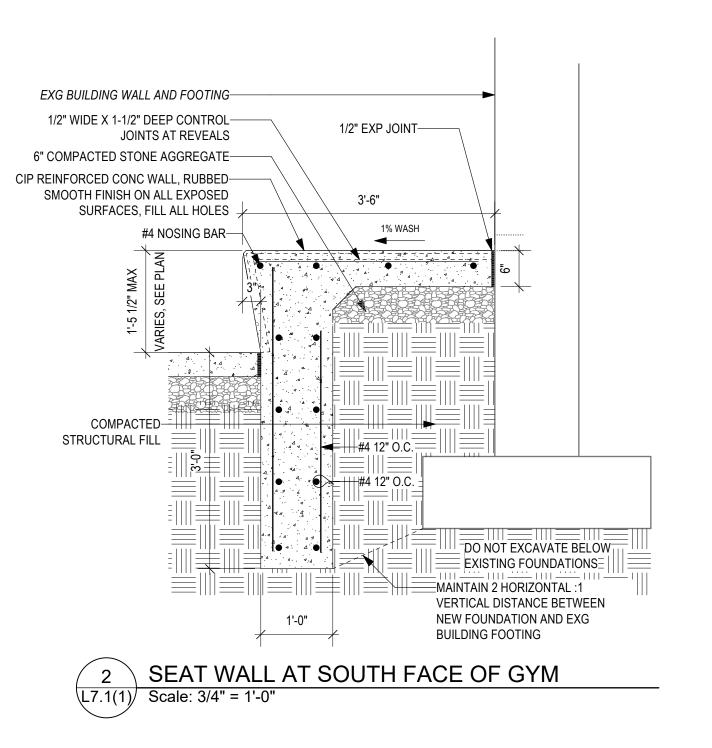
PROJECT TITLE CHRISTY RECREATION CENTER

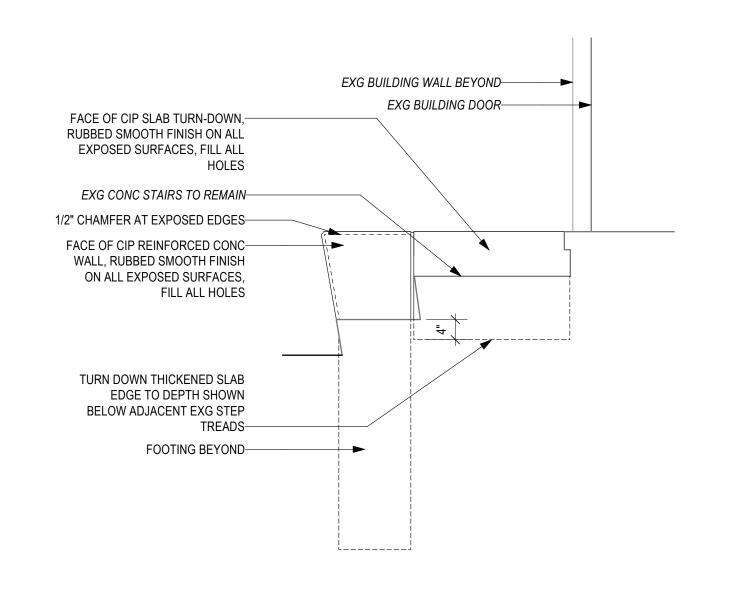
**RENOVATION - PHASE 1** 

PAVING DETAILS

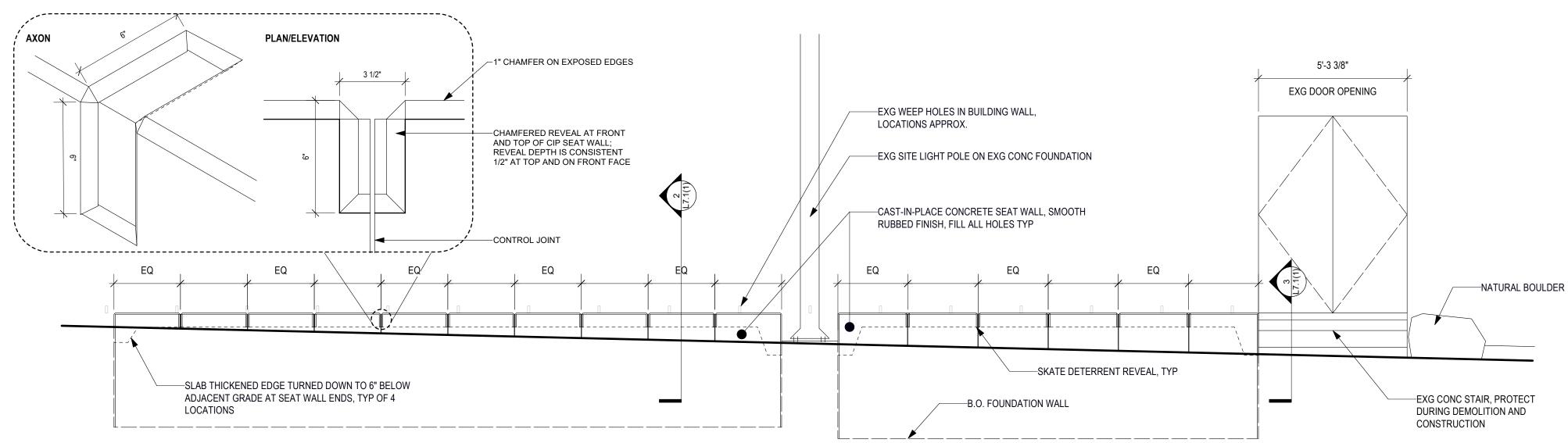
PROJECT NO. DRAWING NO. 16-21-7053-01 L7.0(1)ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE



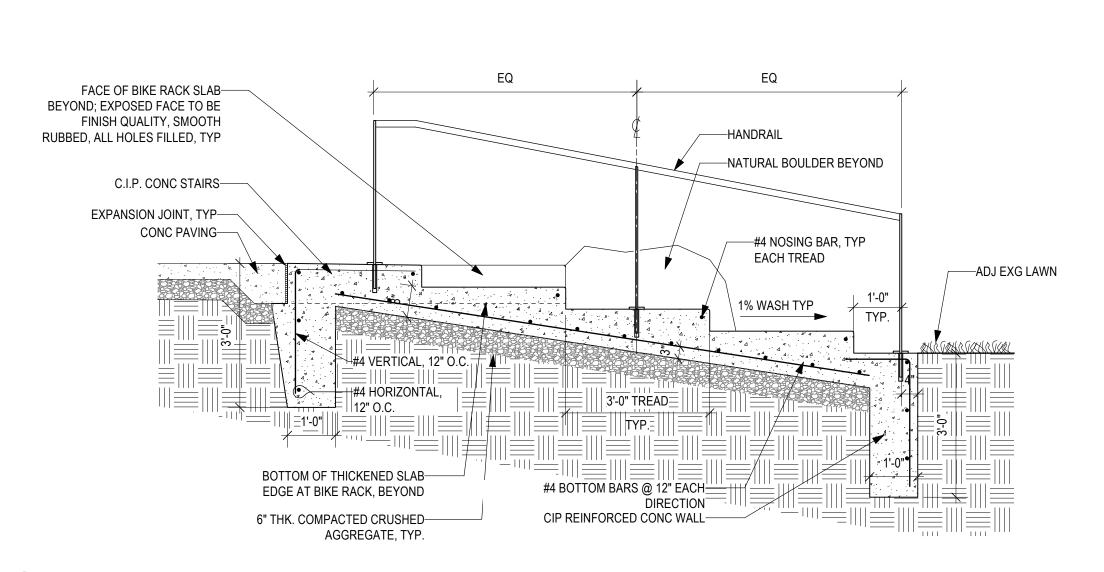




SEAT WALL ELEVATION AT EXG STAIRS L7.1(1) Scale: 3/4" = 1'-0"



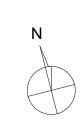
SEAT WALL ELEVATION AT SOUTH FACE OF GYM L7.1(1) Scale: 3/8" = 1'-0"

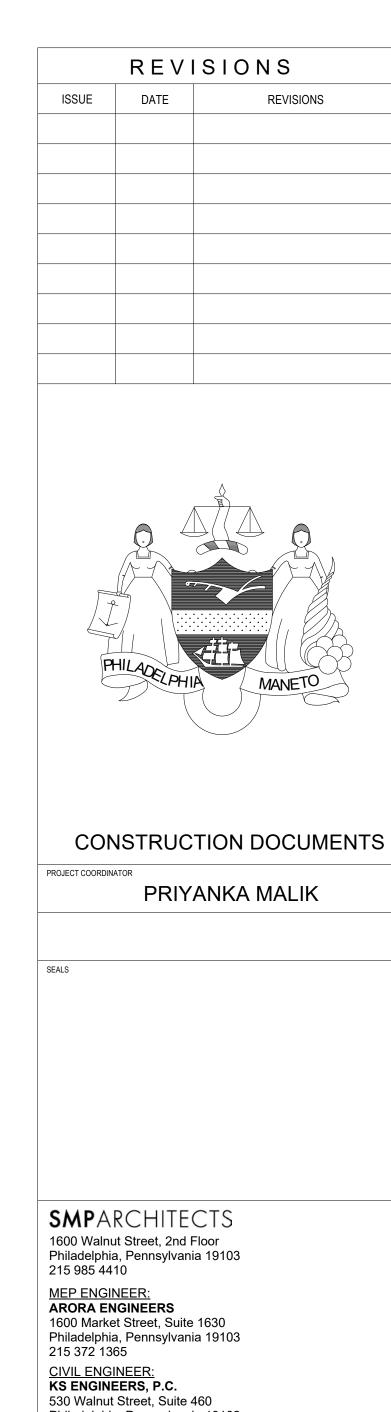


SKATE DETERRENT 1/4" DIA. STEEL ROD @ 30" | O.C. TYP. CONT. FILLET WELD, GROUND SMOOTH AND 6" RADIUS, TYP.— -1-1/2" WIDE X 1/2" THICK STEEL FLAT FINISHED TO MATCH BAR POSTS, ROUNDED AT TOP TO RAILING 1-1/2" O.D. STEEL HANDRAIL, MATCH HANDRAIL, WELD AND GRIND 3/4"R +\- BLEND ENDS INTO-TYP. POWDERCOAT SMOOTH, PAINTED RAILING 4-1/2" RADIUS,-**ELEVATION** SECTION L\_\_\_\_\_\_\_ —3" DIA. STEEL FLANGE AT ALL POSTS, PAINTED FINISH, PAINT PRIOR TO INSTALLING ON POSTS 3" DIA. STEEL FLANGE AT ALL-POSTS, PAINTED FINISH —FINISHED GRADE 1/2" GROUT POCKET, ANNULAR-SPACE FILLED COMPLETELY WITH GROUT, TYP. FINISHED GRADE NOTE: HANDRAILS ONLY WHERE SHOWN AND NOTED IN DOCUMENTS NOTE: WHERE INSTALLED IN CONCRETE, POST HOLES SHALL BE 3" CLEAR FROM ANY EDGE

TYPICAL PAINTED STEEL HANDRAIL L7.1(1) Scale: 3/4" = 1'-0"

EXTENDED STAIRS AT SPORTS FIELD GATE L7.1(1) Scale: 1/2" = 1'-0"





REVISIONS

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 Philadelphia, Pennsylvania 19103 Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS **GROUND RECONSIDERED** 915 Spring Garden Street, Suite 403 Philadelphia, Pennsylvania 19123 215 790 0727 COST CONSULTANT DHARAM CONSULTING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560 STRUCTURAL ENGINEER ANN ROTHMANN STRUCTURAL ENGINEERING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

#### CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

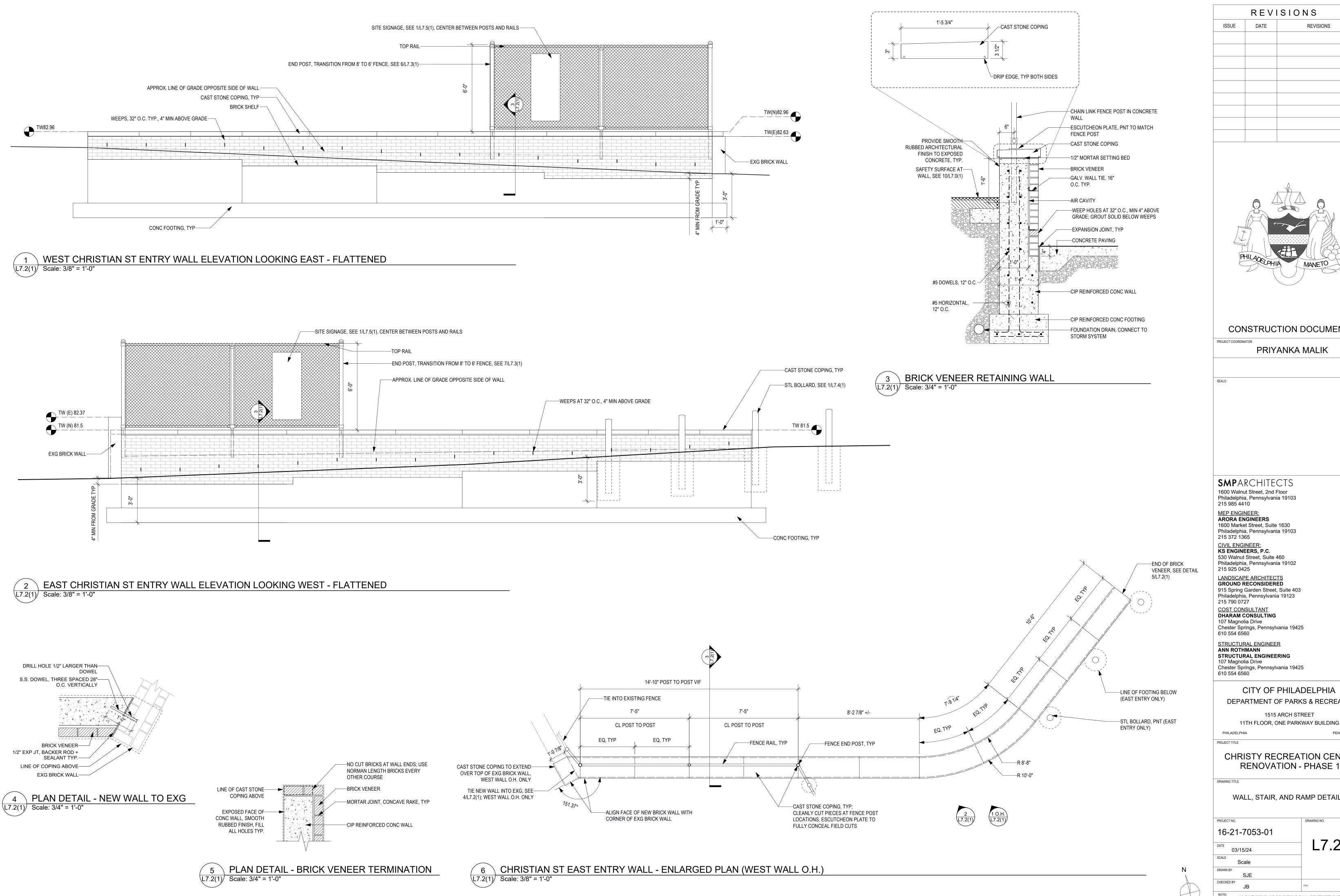
PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

PENNSYLVANIA

WALL, STAIR AND RAMP DETAILS

PROJECT NO.	DRAWING NO.
16-21-7053-01	
DATE 03/15/24	T L7.1(1)
SCALE Scale	
DRAWN BY SJE	
CHECKED BY JB	FILE:



REVISIONS REVISIONS CONSTRUCTION DOCUMENTS PROJECT COORDINATOR PRIYANKA MALIK 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103

**SMP**ARCHITECTS

215 985 4410 MEP ENGINEER: ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365 **CIVIL ENGINEER:** 

KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS GROUND RECONSIDERED

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STRUCTURAL ENGINEER ANN ROTHMANN STRUCTURAL ENGINEERING 107 Magnolia Drive Chester Springs, Pennsylvania 19425

> CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

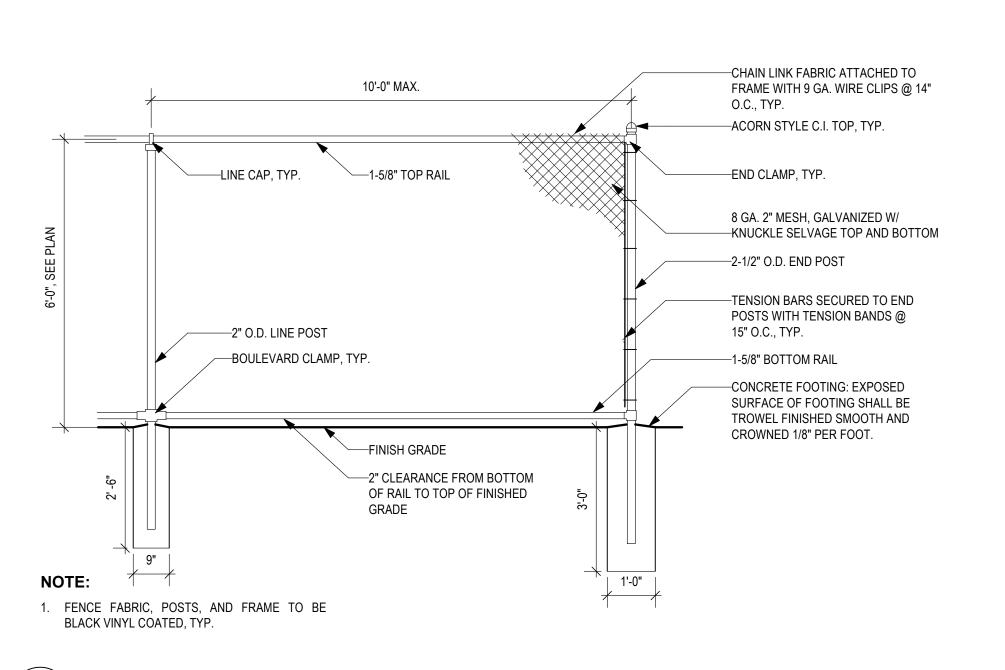
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

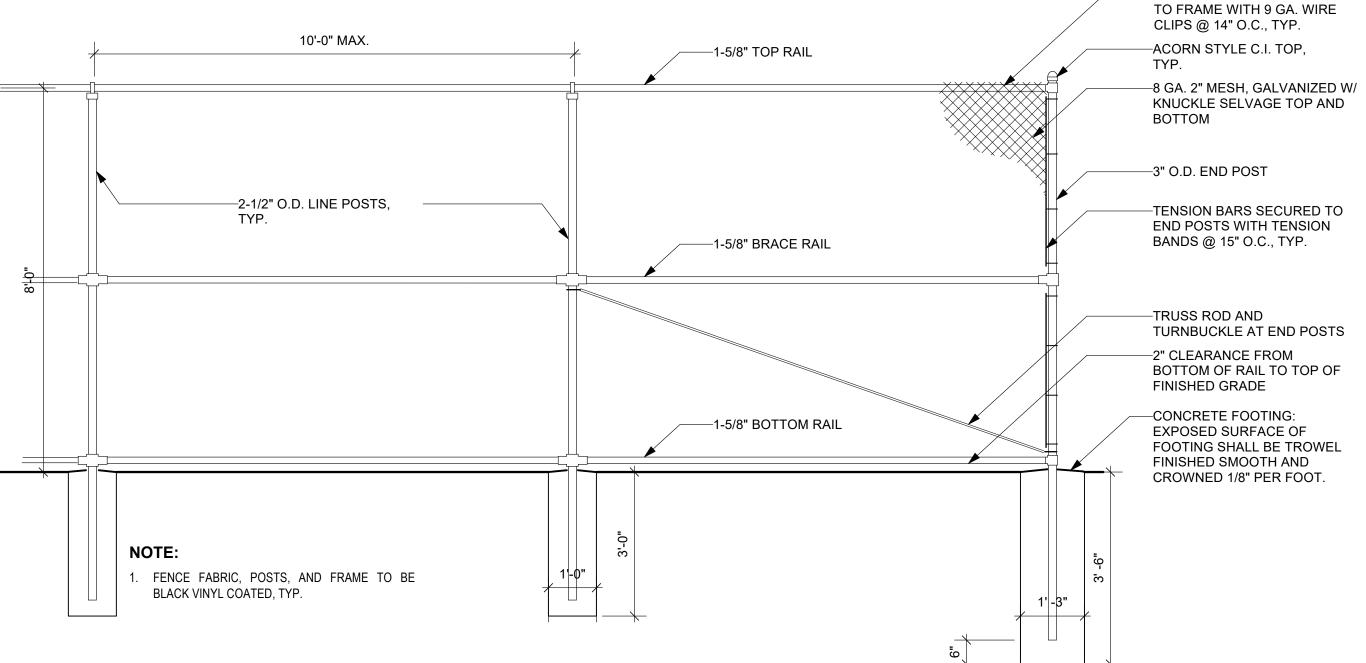
PENNSYLVANIA

CHRISTY RECREATION CENTER

WALL, STAIR, AND RAMP DETAILS

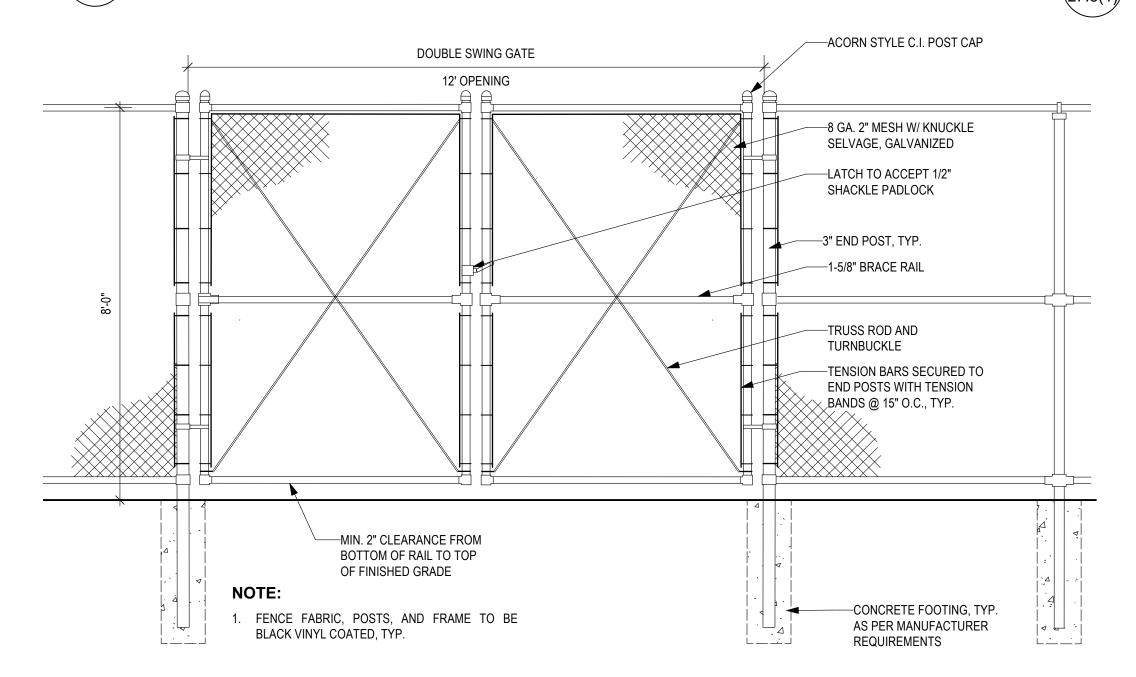
PROJECT NO.	DRAWING NO.
16-21-7053-01	170(4)
DATE 03/15/24	L7.2(1)
SCALE Scale	
DRAWN BY SJE	
CHECKED BY JB	FILE:
NOTE: ALL DIMENSIONS AND CONDITIONS SI CONTACTOR AT THE SITE BEFORE PRO	

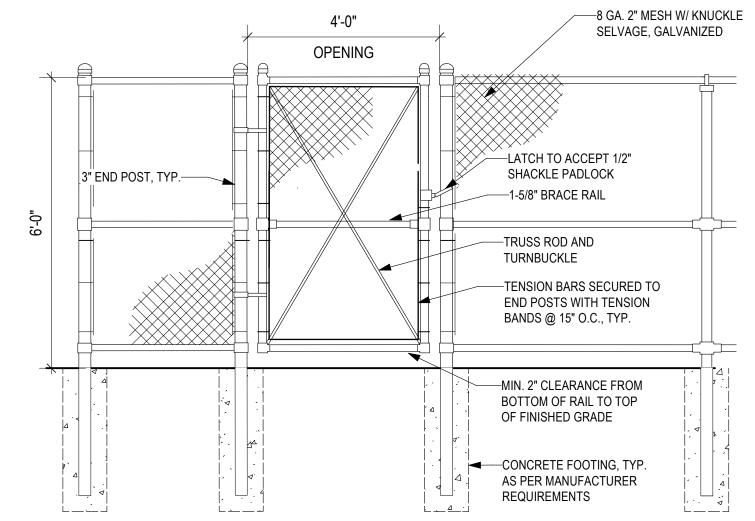


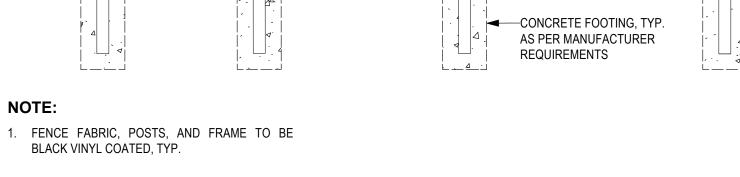


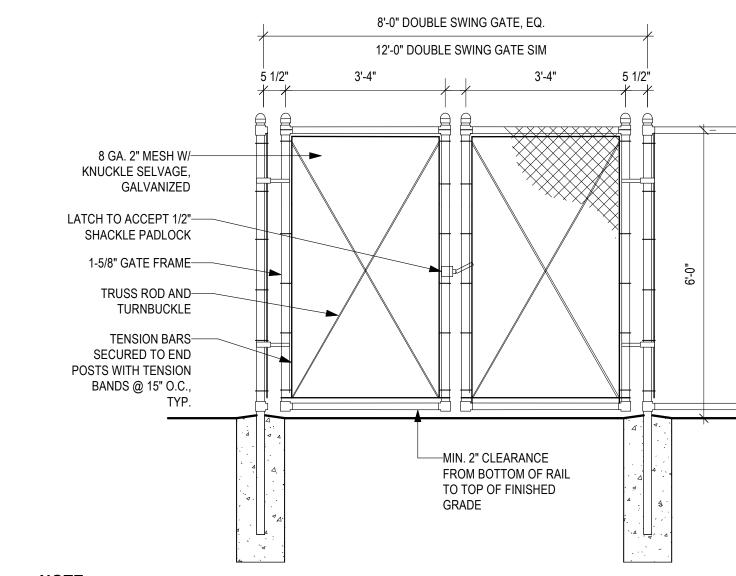
TYP CHAIN LINK FENCE - 6'-0" L7.3(1) Scale: 1/2" = 1'-0"

TYP CHAIN LINK FENCE - 8'-0" L7.3(1) Scale: 1/2" = 1'-0"









#### NOTE:

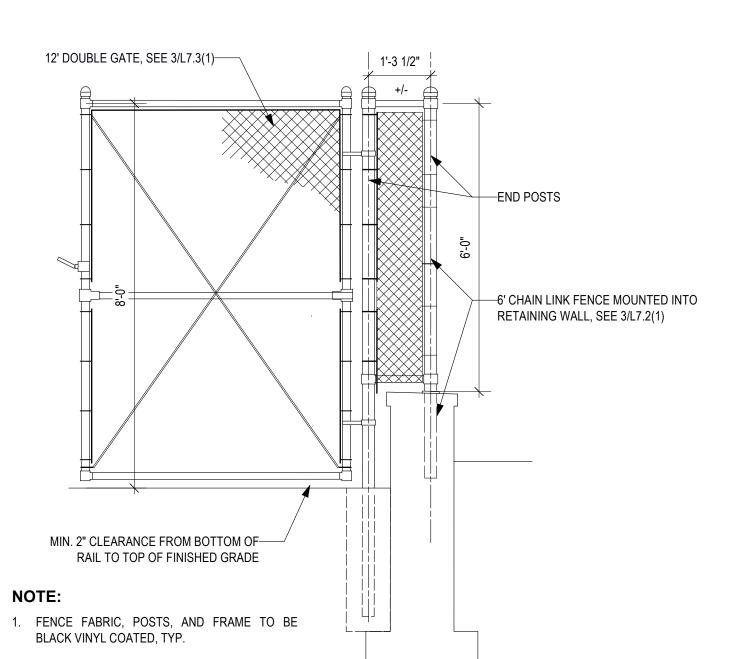
1. PROVIDE ADDITIONAL SUPPORT AND REINFORCING AS NECESSARY FOR 12' WIDE DOUBLE GATE

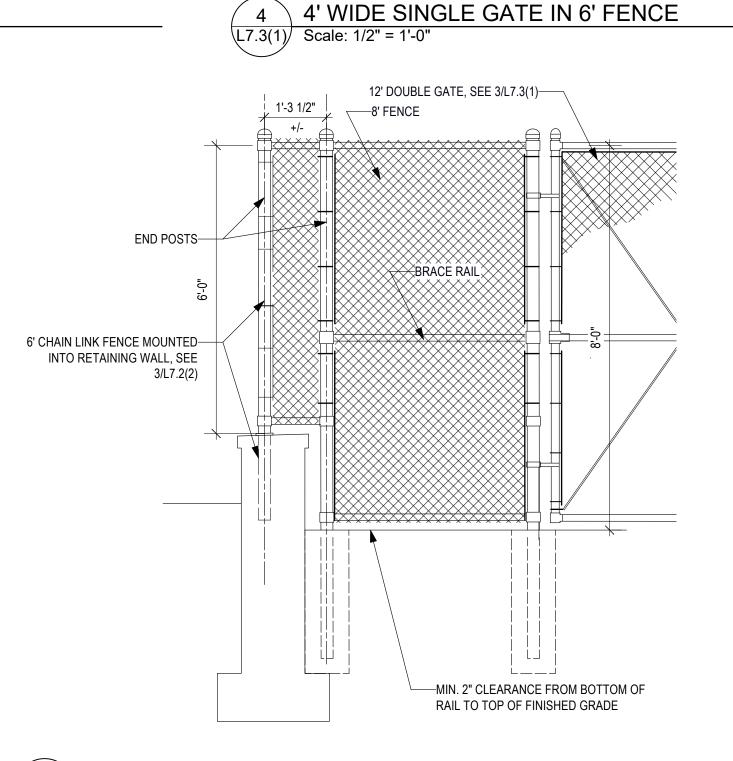
-CHAIN LINK FABRIC ATTACHED

2. FENCE FABRIC, POSTS, AND FRAME TO BE BLACK VINYL COATED,

8' +12' WIDE DOUBLE GATE IN 6' FENCE L7.3(1) Scale: 1/2" = 1'-0"

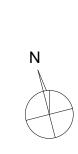
12' WIDE DOUBLE GATE IN 8' FENCE L7.3(1) Scale: 1/2" = 1'-0"



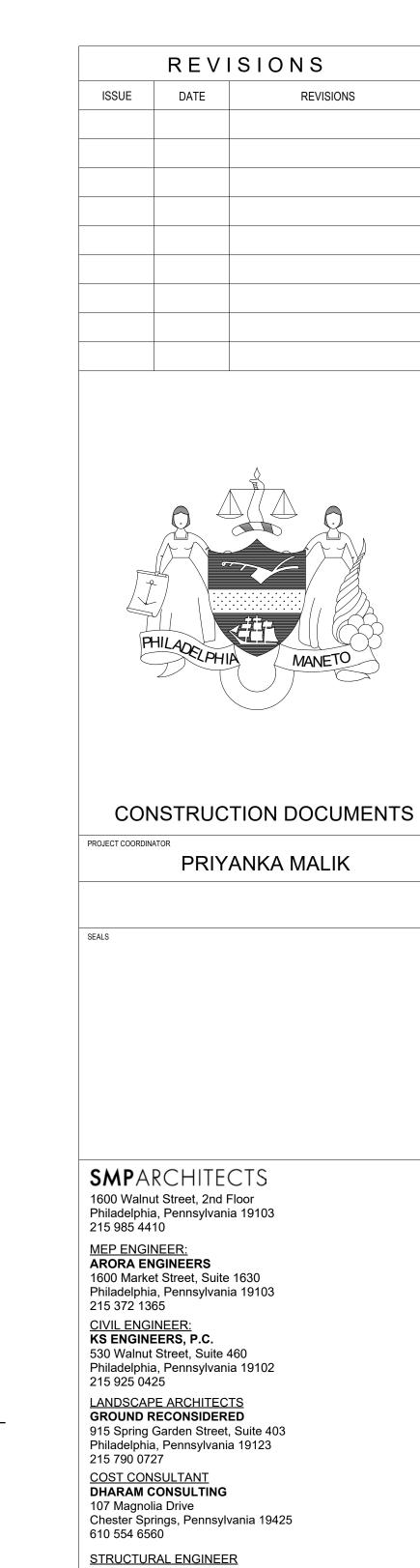


CHAIN LINK GATE/FENCE TRANSITION - WEST CHRISTIAN ST BRICK WAL L7.3(1) Scale: 1/2" = 1'-0"

CHAIN LINK GATE/FENCE TRANSITION - EAST CHRISTIAN ST BRICK WALL L7.3(1) Scale: 1/2" = 1'-0"



PROJECT NO.



REVISIONS

ANN ROTHMANN STRUCTURAL ENGINEERING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560 CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION** 1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

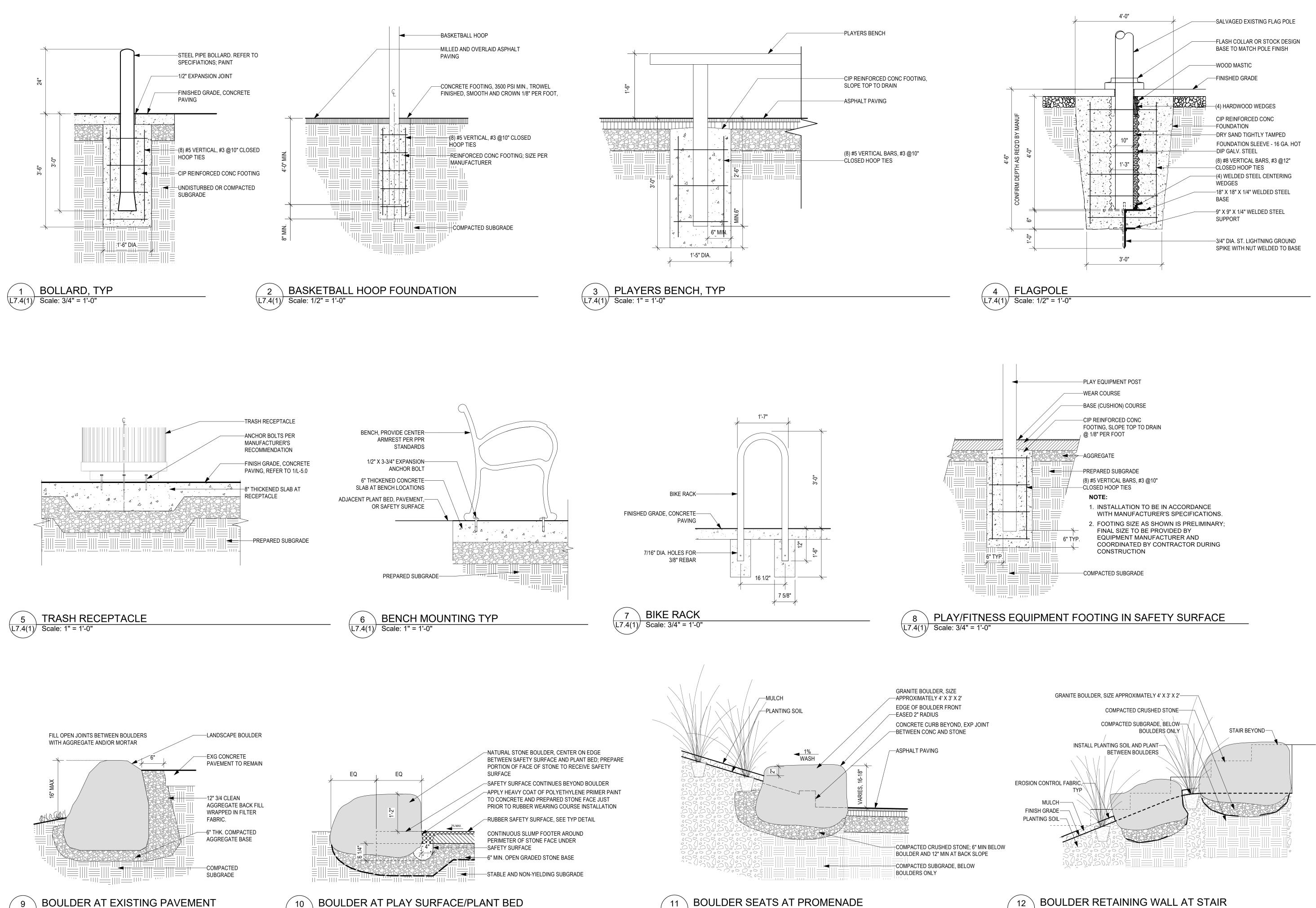
FENCE DETAILS

16-21-7053-01 L7.3(1)03/15/24 SJE CHECKED BY

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

DRAWING NO.



Scale: 3/4" = 1'-0"

L7.4(1) Scale: 3/4" = 1'-0"

Scale: 3/4" = 1'-0"

REVISIONS ISSUE DATE REVISIONS CONSTRUCTION DOCUMENTS PROJECT COORDINATOR PRIYANKA MALIK

**SMP**ARCHITECTS

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

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**CIVIL ENGINEER:** KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425

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STRUCTURAL ENGINEER ANN ROTHMANN STRUCTURAL ENGINEERING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

> CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PENNSYLVANIA PHILADELPHIA PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

FURNISHING DETAILS

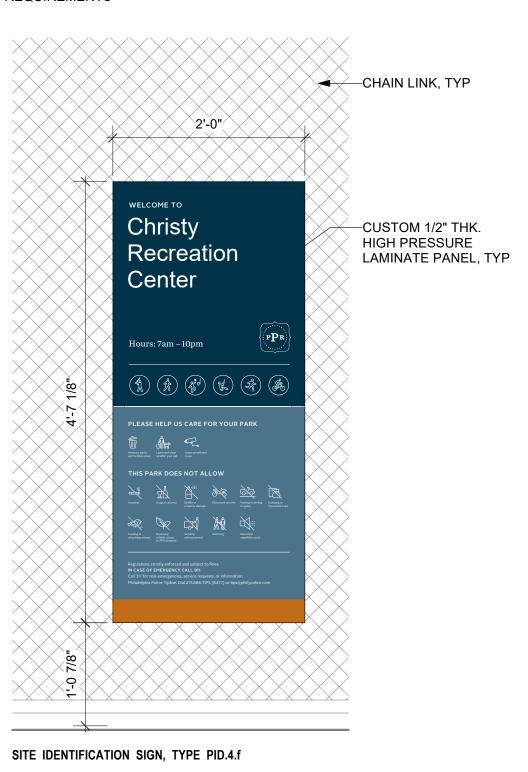
DRAWING NO. 16-21-7053-01 L7.4(1) 03/15/24 Scale SJE

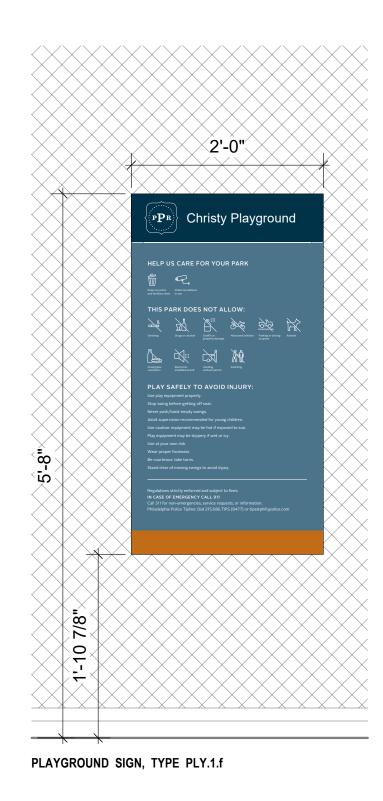
> ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

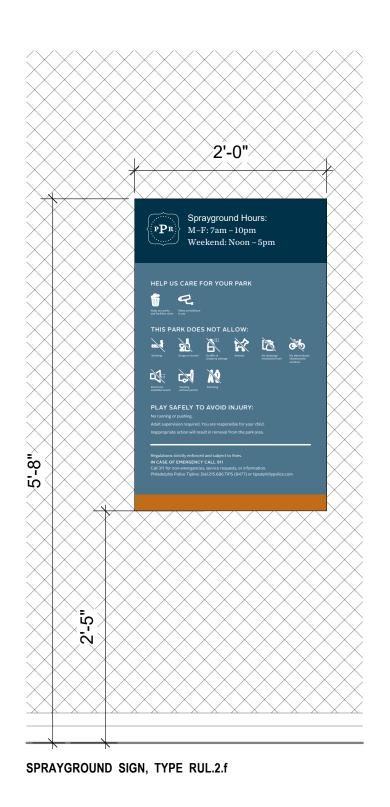
CHECKED BY

L7.4(1) Scale: 3/4" = 1'-0"

NOTE: REFERENCE PPR SIGNAGE STANDARDS MANUAL TO CONFIRM FINAL SIGNAGE GRAPHICS, MOUNTING REQUIREMENTS, AND SUBMITTAL/SPECIFICATION REQUIREMENTS



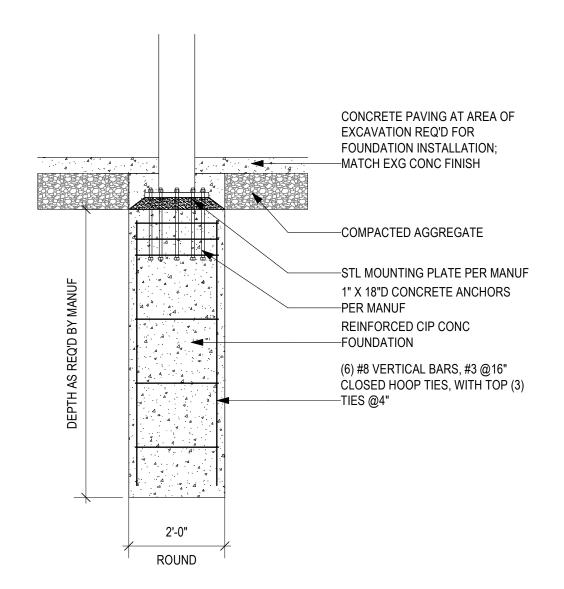








1 PPR STANDARD SIGN TYPES
L7.5(1) Scale: 1" = 1'-0"





**SMP**ARCHITECTS

PROJECT COORDINATOR

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

REVISIONS

CONSTRUCTION DOCUMENTS

PRIYANKA MALIK

REVISIONS

ISSUE

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GROUND RECONSIDERED 915 Spring Garden Street, Suite 403 Philadelphia, Pennsylvania 19123 215 790 0727 COST CONSULTANT

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STRUCTURAL ENGINEER ANN ROTHMANN STRUCTURAL ENGINEERING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

PENNSYLVANIA

DRAWING TITLE

FURNISHING DETAILS

PROJECT NO. 16-21-7053-01

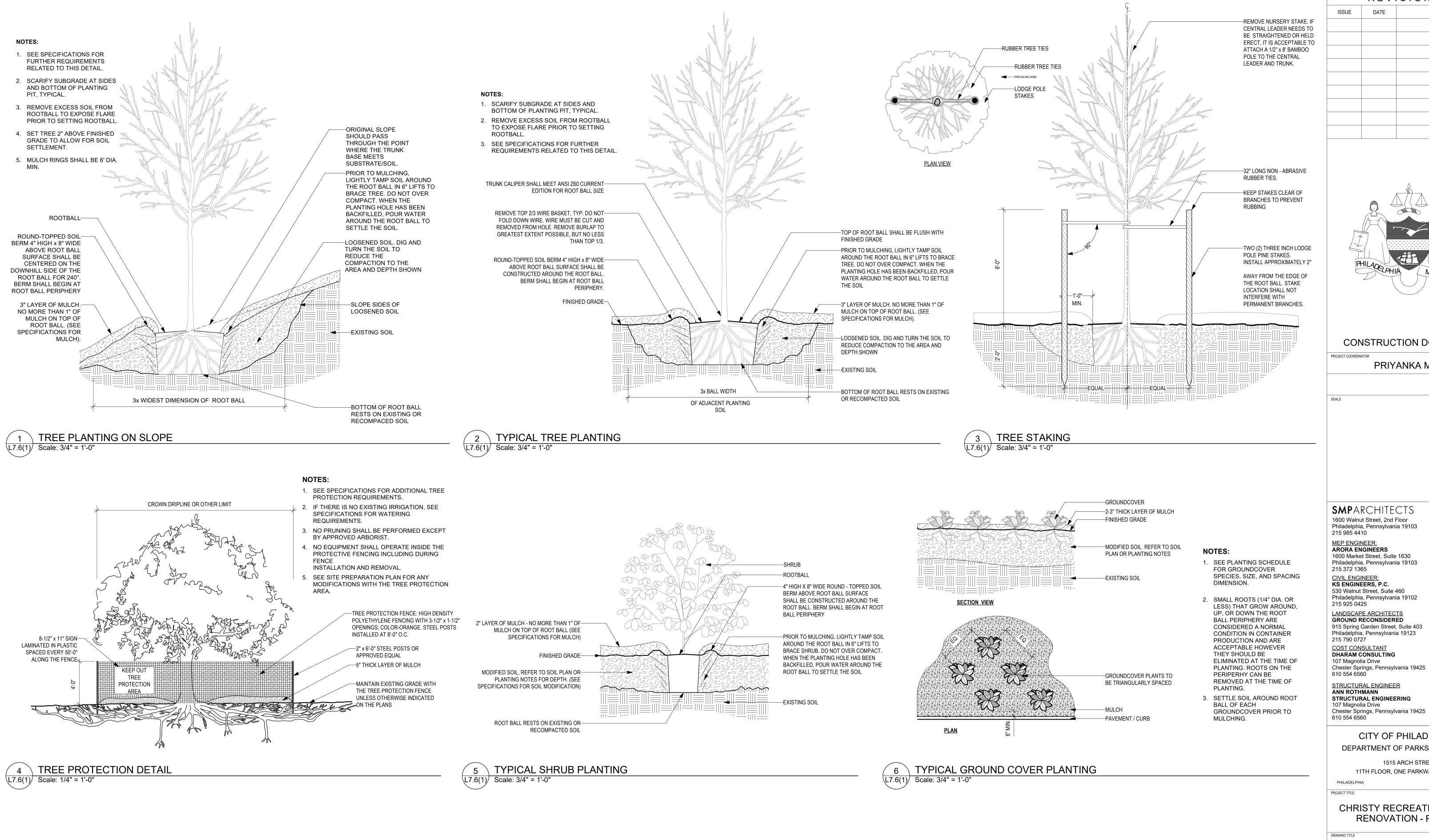
L7.5(1) 03/15/24 Scale

DRAWING NO.

SJE CHECKED BY

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





REVISIONS ISSUE DATE REVISIONS CONSTRUCTION DOCUMENTS PROJECT COORDINATOR PRIYANKA MALIK **SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 MEP ENGINEER: ARORA ENGINEERS 1600 Market Street, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365 **CIVIL ENGINEER:** KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425 **LANDSCAPE ARCHITECTS GROUND RECONSIDERED** 915 Spring Garden Street, Suite 403 Philadelphia, Pennsylvania 19123

215 790 0727 **COST CONSULTANT DHARAM CONSULTING** 107 Magnolia Drive

Chester Springs, Pennsylvania 19425 610 554 6560 STRUCTURAL ENGINEER ANN ROTHMANN STRUCTURAL ENGINEERING

> CITY OF PHILADELPHIA **DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

PENNSYLVANIA

PLANTING DETAILS

PROJECT NO.	DRAWING NO.
16-21-7053-01	1.7.0(4)
DATE 03/15/24	L7.6(1)
scale Scale	
DRAWN BY	
SJE	
CHECKED BY	FILE:

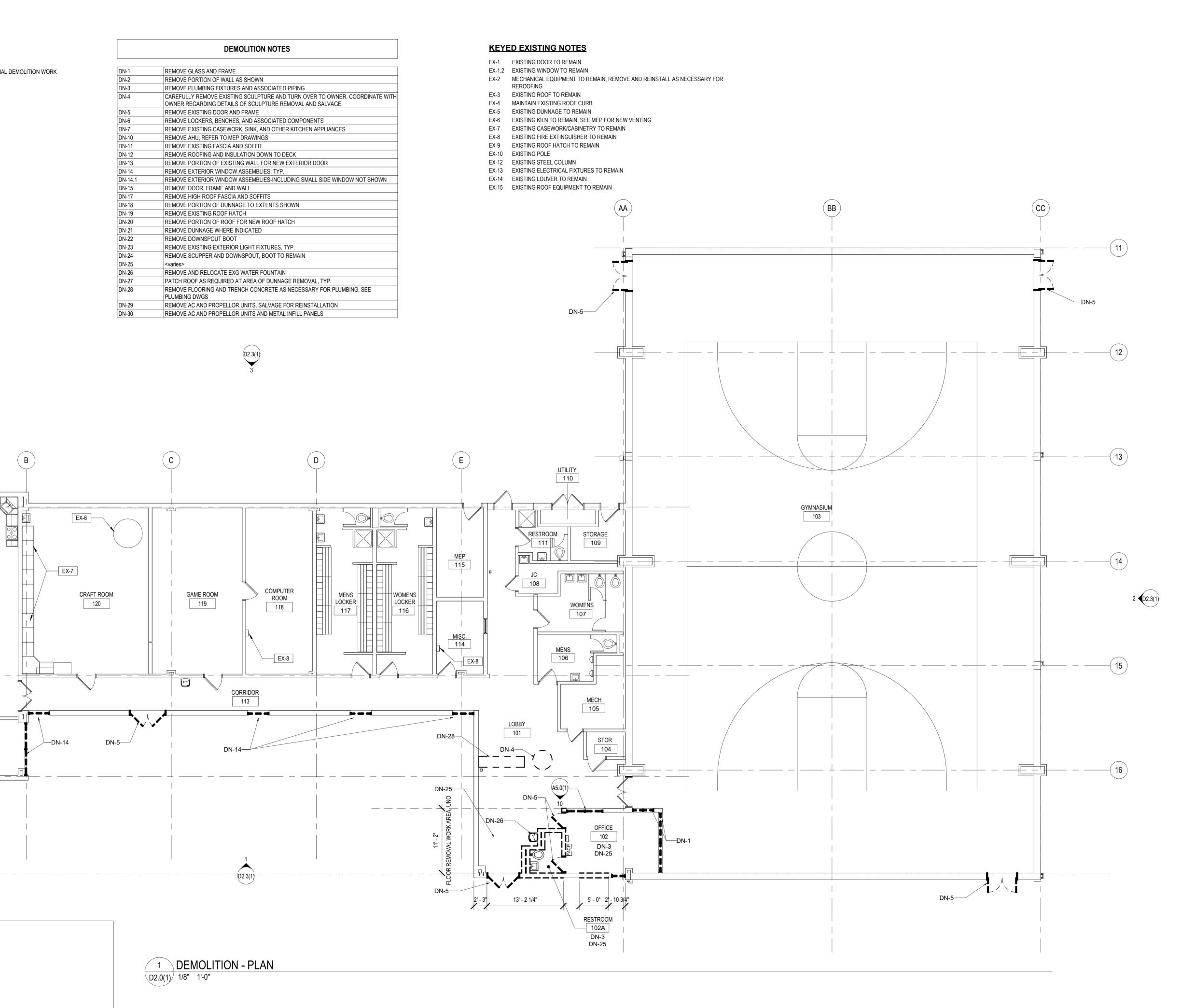
ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

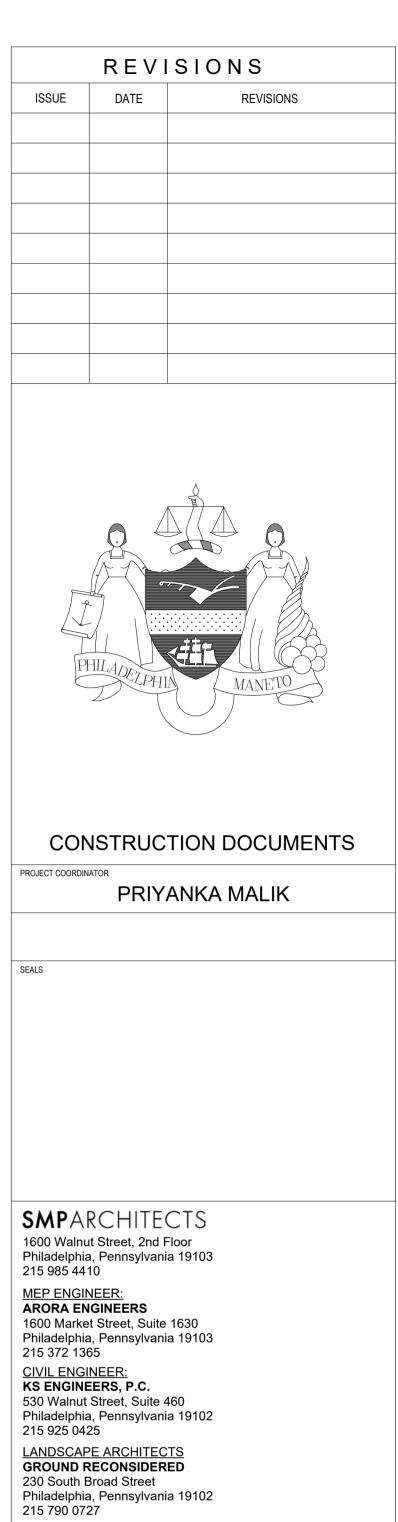
# **GENERAL DEMOLITION NOTES** REMOVE RESILIENT FLOORING IN WORK AREA REFER TO SITE AND MEP DOCUMENTS FOR ADDITIONAL DEMOLITION WORK **DEMOLITION KEY:** EXISTING CONSTRUCTION TO REMAIN ITEMS TO BE DEMOLISHED MULTIPURPOSE ROOM 121 D2.3(1) 1 02

STORAGE

122

03







Wayne, Pennsylvania 19087

610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

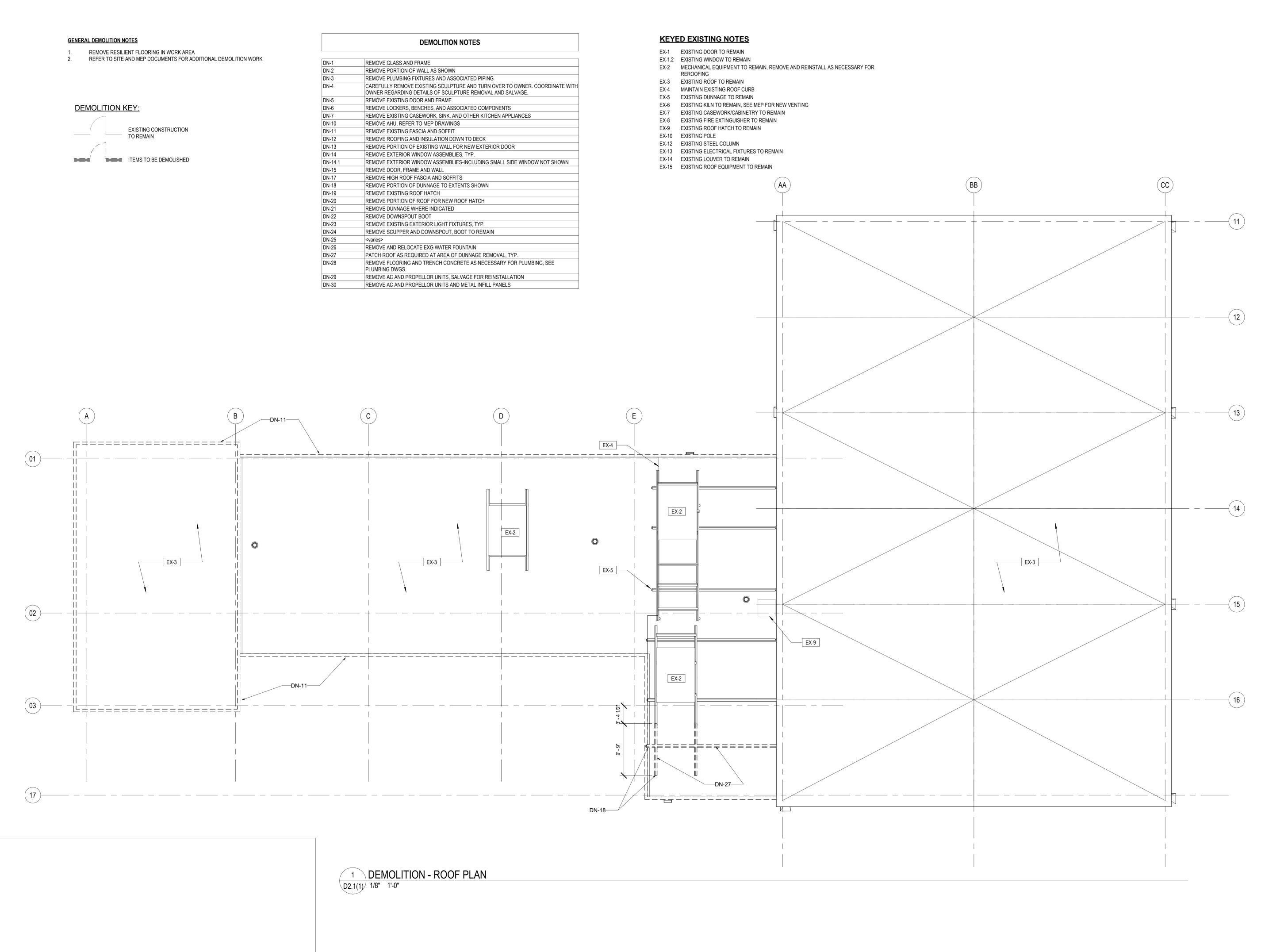
PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

DEMOLITION PLAN

PROJECT NO.		DRAWING NO.
73	3217	
DATE	03/15/2024	D2.0(1)
SCALE	AS NOTED	
DRAWN BY	ED	
CHECKED BY	MS	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS : CONTACTOR AT THE SITE BEFORE PR	





ISSUE DATE REVISIONS



#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK

SEALS

SMPARCHITECTS

1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103

215 985 4410

MEP ENGINEER:

ARORA ENGINEERS

ARORA ENGINEERS
1600 Market Street, Suite 1630
Philadelphia, Pennsylvania 19103
215 372 1365

CIVIL ENGINEER:

KS ENGINEERS, P.C.
530 Walnut Street, Suite 460

Philadelphia, Pennsylvania 19102 215 925 0425 <u>LANDSCAPE ARCHITECTS</u>

GROUND RECONSIDERED
230 South Broad Street

Philadelphia, Pennsylvania 19102 215 790 0727 COST CONSULTANT

DHARAM CONSULTING
107 Magnolia Drive
Chester Springs, Pennsylvania 19425
610 554 6560

STRUCTURAL ENGINEER
ANN ROTHMAN
STRUCTURAL ENGINEERING
100 East Lancaster Avenue, Suite 203

Wayne, Pennsylvania 19087

610 213 3657

# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PROJECT TITLE

CHRISTY RECREATION CENTER RENOVATION - PHASE 1

RAWING TITLE

DEMOLITION ROOF PLAN

PROJECT NO.

73217

DATE 03/15/2024

SCALE AS NOTED

DRAWN BY ED

CHECKED BY MC

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



#### **GENERAL DEMOLITION NOTES**

**DEMOLITION KEY:** 

02

03

REMOVE RESILIENT FLOORING IN WORK AREA
 REFER TO SITE AND MEP DOCUMENTS FOR ADDITIONAL DEMOLITION WORK

CEILING DEMOLITION NOTES

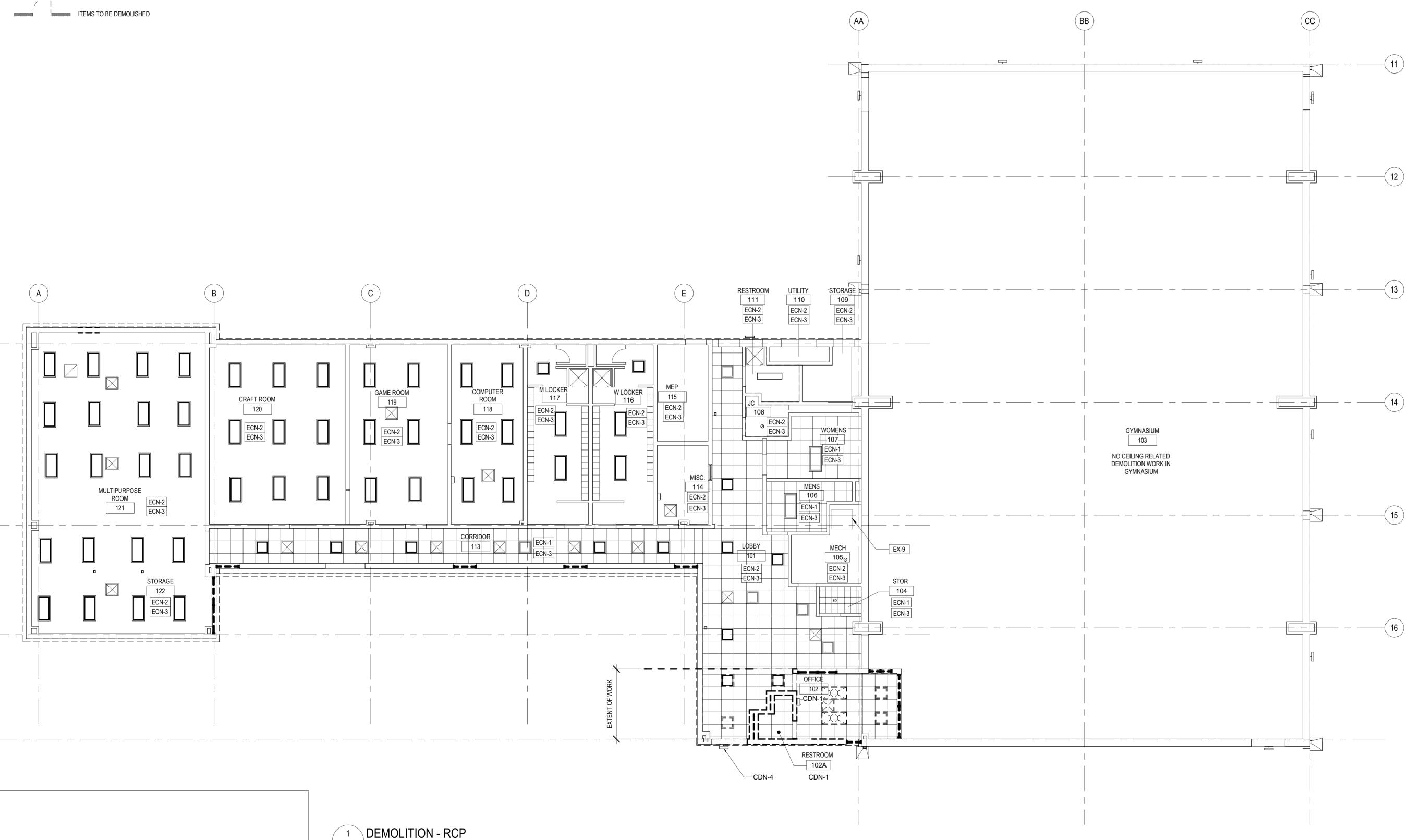
N-1 REMOVE CEILINGS, LIGHT FIXTURES AND ASSOCIATED COMPONENTS, MEP EQUIPMENT IN WORK AREA
N-2 REMOVE EXISTING ROOF ACCESS HATCH
N-3 REMOVE PORTION OF CEILING AND ROOF FOR NEW ROOF ACCESS HATCH
N-4 REMOVE EXTERIOR LIGHT FIXTURE

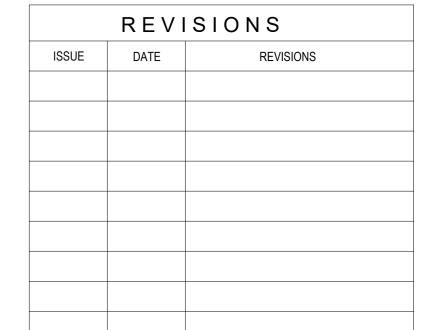
#### **EXISTING CEILING NOTES**

D2.2(1) 1/8" 1'-0"

	EXISTING CONSTRUCTION TO REMAIN
/ T	

ECN-1 EXISTING ACT CEILING TO REMAIN
ECN-2 EXISTING GWB CEILING TO REMAIN
ECN-3 EXISTING LIGHT FIXTURES TO REMAIN







#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK

SMPARCHITECTS
1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103

215 985 4410

MEP ENGINEER:

ARORA ENGINEERS

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Philadelphia, Pennsylvania 19103 215 372 1365 CIVIL ENGINEER: KS ENGINEERS, P.C.

530 Walnut Street, Suite 460

Philadelphia, Pennsylvania 19102 215 925 0425 <u>LANDSCAPE ARCHITECTS</u> **GROUND RECONSIDERED** 230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727

COST CONSULTANT
DHARAM CONSULTING
107 Magnolia Drive
Chester Springs, Pennsylvania 19425
610 554 6560

STRUCTURAL ENGINEER
ANN ROTHMAN
STRUCTURAL ENGINEERING
100 East Lancaster Avenue, Suite 203
Wayne, Pennsylvania 19087
610 213 3657

# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PROJECT TITLE

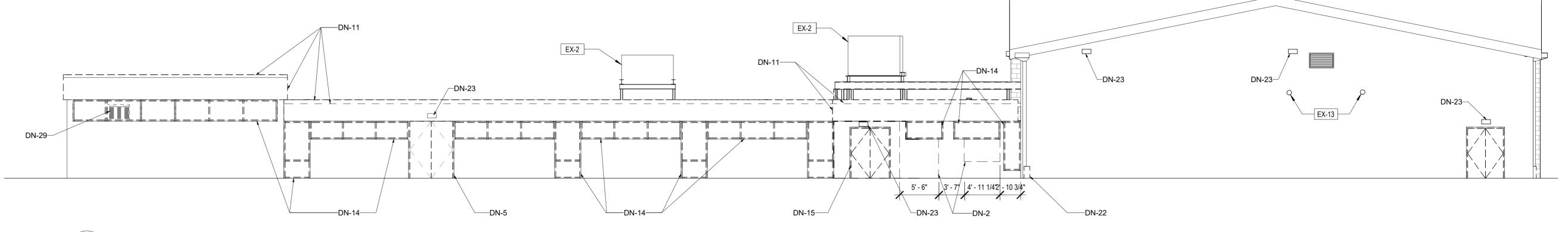
CHRISTY RECREATION CENTER RENOVATION - PHASE 1

DEMOLITION RCP

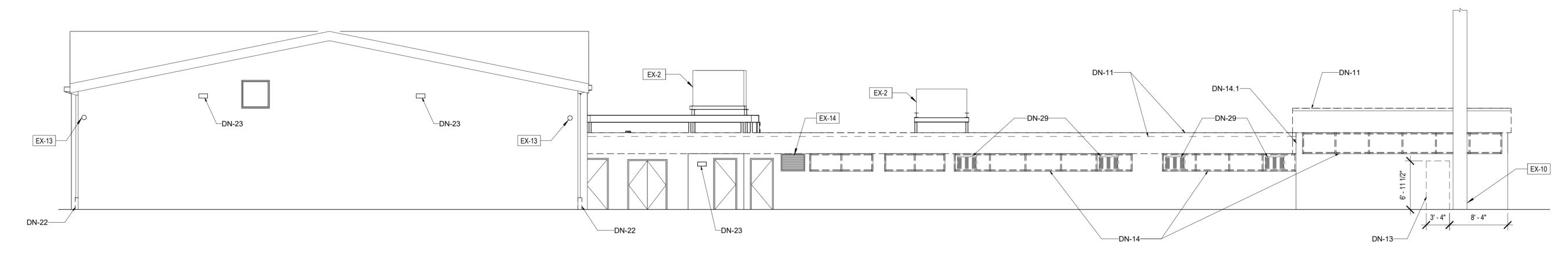
PROJECT NO		DRAWING NO.
7:	3217	
DATE	03/15/2024	D2.2(1)
SCALE	AS NOTED	,
DRAWN BY	ED	

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





4 DEMOLITION - SOUTH ELEVATION D2.3(1) 1/8" 1'-0"

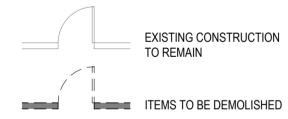


3 DEMOLITION - NORTH ELEVATION D2.3(1) 1/8" 1'-0"

#### GENERAL DEMOLITION NOTES

REMOVE RESILIENT FLOORING IN WORK AREA
REFER TO SITE AND MEP DOCUMENTS FOR ADDITIONAL DEMOLITION WORK

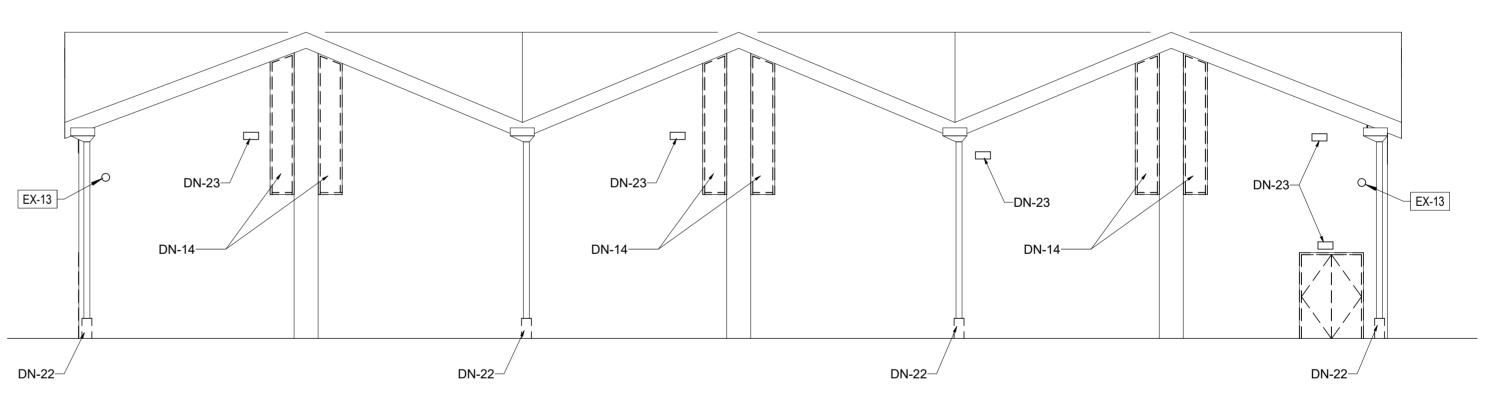
#### **DEMOLITION KEY:**



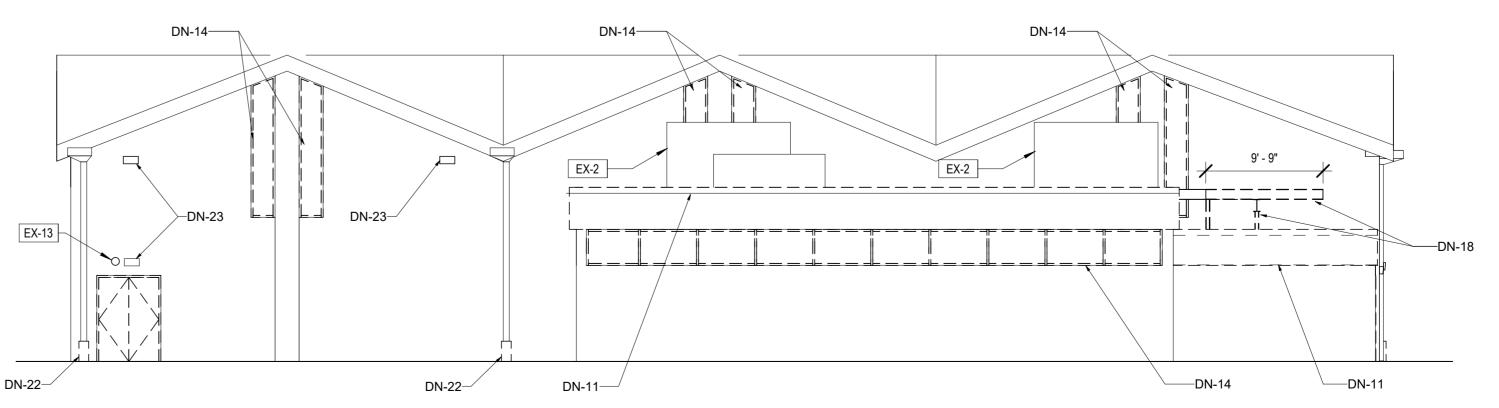
#### **KEYED EXISTING NOTES**

- EX-1 EXISTING DOOR TO REMAIN
- EX-1.2 EXISTING BOOK TO REMAIN
- EX-2 MECHANICAL EQUIPMENT TO REMAIN, REMOVE AND REINSTALL AS NECESSARY FOR
- EX-3 EXISTING ROOF TO REMAIN
- EX-4 MAINTAIN EXISTING ROOF CURB
- EX-5 EXISTING DUNNAGE TO REMAIN
  EX-6 EXISTING KILN TO REMAIN, SEE MEP FOR NEW VENTING
- EX-7 EXISTING CASEWORK/CABINETRY TO REMAIN EX-8 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-9 EXISTING ROOF HATCH TO REMAIN
- EX-10 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
  EX-13 EXISTING ELECTRICAL FIXT
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN

DEMOLITION NOTES		
DN-1	REMOVE GLASS AND FRAME	
DN-2	REMOVE PORTION OF WALL AS SHOWN	
DN-3	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING	
DN-4	CAREFULLY REMOVE EXISTING SCULPTURE AND TURN OVER TO OWNER. COORDINATE WITH OWNER REGARDING DETAILS OF SCULPTURE REMOVAL AND SALVAGE.	
DN-5	REMOVE EXISTING DOOR AND FRAME	
DN-6	REMOVE LOCKERS, BENCHES, AND ASSOCIATED COMPONENTS	
DN-7	REMOVE EXISTING CASEWORK, SINK, AND OTHER KITCHEN APPLIANCES	
DN-10	REMOVE AHU, REFER TO MEP DRAWINGS	
DN-11	REMOVE EXISTING FASCIA AND SOFFIT	
DN-12	REMOVE ROOFING AND INSULATION DOWN TO DECK	
DN-13	REMOVE PORTION OF EXISTING WALL FOR NEW EXTERIOR DOOR	
DN-14	REMOVE EXTERIOR WINDOW ASSEMBLIES, TYP.	
DN-14.1	REMOVE EXTERIOR WINDOW ASSEMBLIES-INCLUDING SMALL SIDE WINDOW NOT SHOWN	
DN-15	REMOVE DOOR, FRAME AND WALL	
DN-17	REMOVE HIGH ROOF FASCIA AND SOFFITS	
DN-18	REMOVE PORTION OF DUNNAGE TO EXTENTS SHOWN	
DN-19	REMOVE EXISTING ROOF HATCH	
DN-20	REMOVE PORTION OF ROOF FOR NEW ROOF HATCH	
DN-21	REMOVE DUNNAGE WHERE INDICATED	
DN-22	REMOVE DOWNSPOUT BOOT	
DN-23	REMOVE EXISTING EXTERIOR LIGHT FIXTURES, TYP.	
DN-24	REMOVE SCUPPER AND DOWNSPOUT, BOOT TO REMAIN	
DN-25	<varies></varies>	
DN-26	REMOVE AND RELOCATE EXG WATER FOUNTAIN	
DN-27	PATCH ROOF AS REQUIRED AT AREA OF DUNNAGE REMOVAL, TYP.	
DN-28	REMOVE FLOORING AND TRENCH CONCRETE AS NECESSARY FOR PLUMBING, SEE PLUMBING DWGS	
DN-29	REMOVE AC AND PROPELLOR UNITS, SALVAGE FOR REINSTALLATION	
DN-30	REMOVE AC AND PROPELLOR UNITS AND METAL INFILL PANELS	



2 DEMOLITION - EAST ELEVATION - NO WORK D2.3(1) 1/8" 1'-0"



1 DEMOLITION - WEST ELEVATION
D2.3(1) 1/8" 1'-0"

ISSUE DATE REVISIONS



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CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

ADELPHIA PE

PROJECT TITLE

CHRISTY RECREATION CENTER

RENOVATION - PHASE 1

DEMOLITION ELEVATION

PROJECT NO.

73217

DATE 03/15/2024

SCALE AS NOTED

DRAWN BY ED

CHECKED BY MS

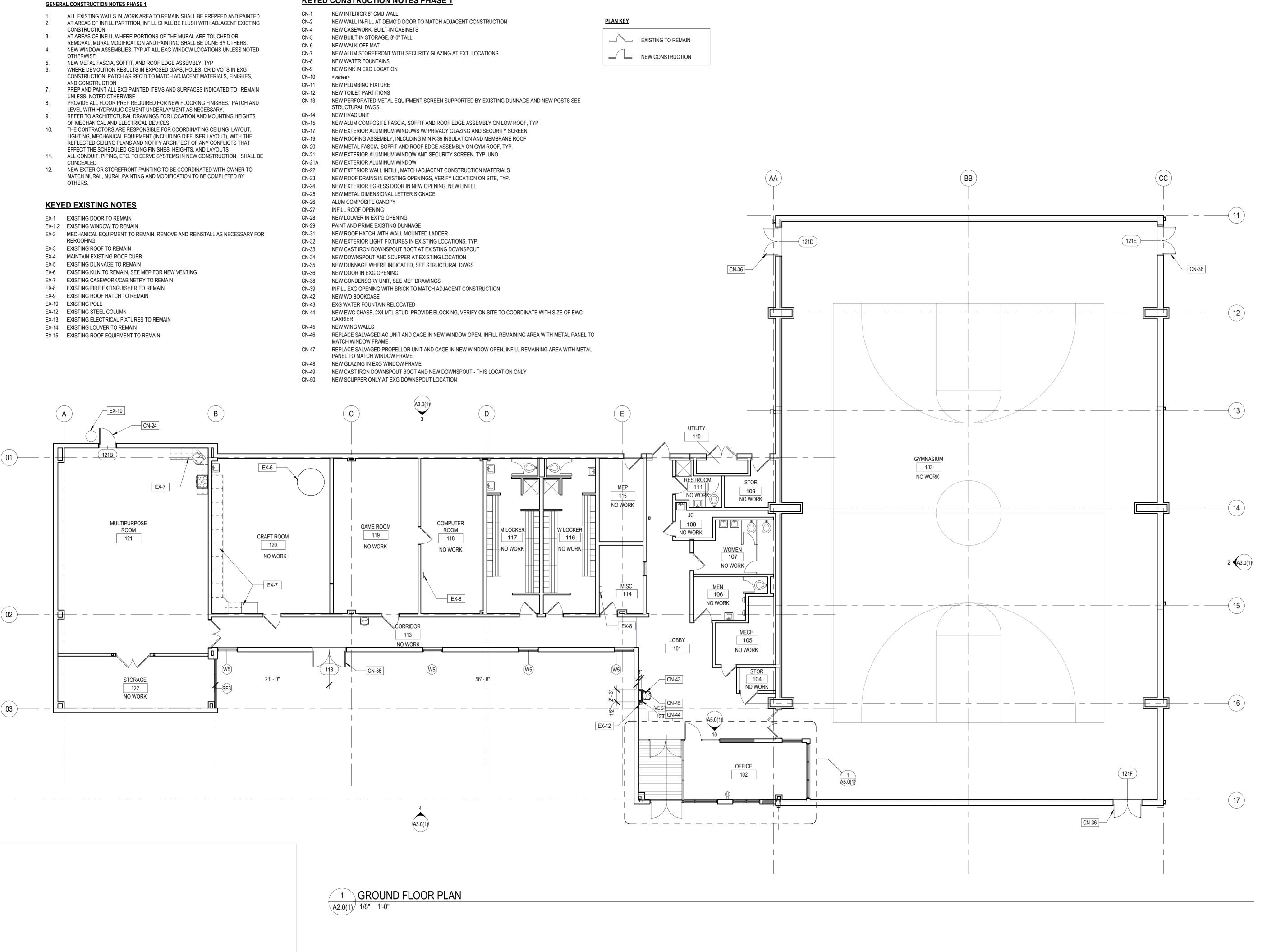
DRAWING NO.

DRAWING NO.

DRAWING NO.

NOTE:

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE
CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**KEYED CONSTRUCTION NOTES PHASE 1** 

A3.0(1) 1



REVISIONS

ISSUE DATE REVISIONS



#### CONSTRUCTION DOCUMENTS

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# CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PROJECT TITLE

CHECKED BY

CHRISTY RECREATION CENTER RENOVATION - PHASE 1

FLOOR PLAN

PROJECT NO.

73217

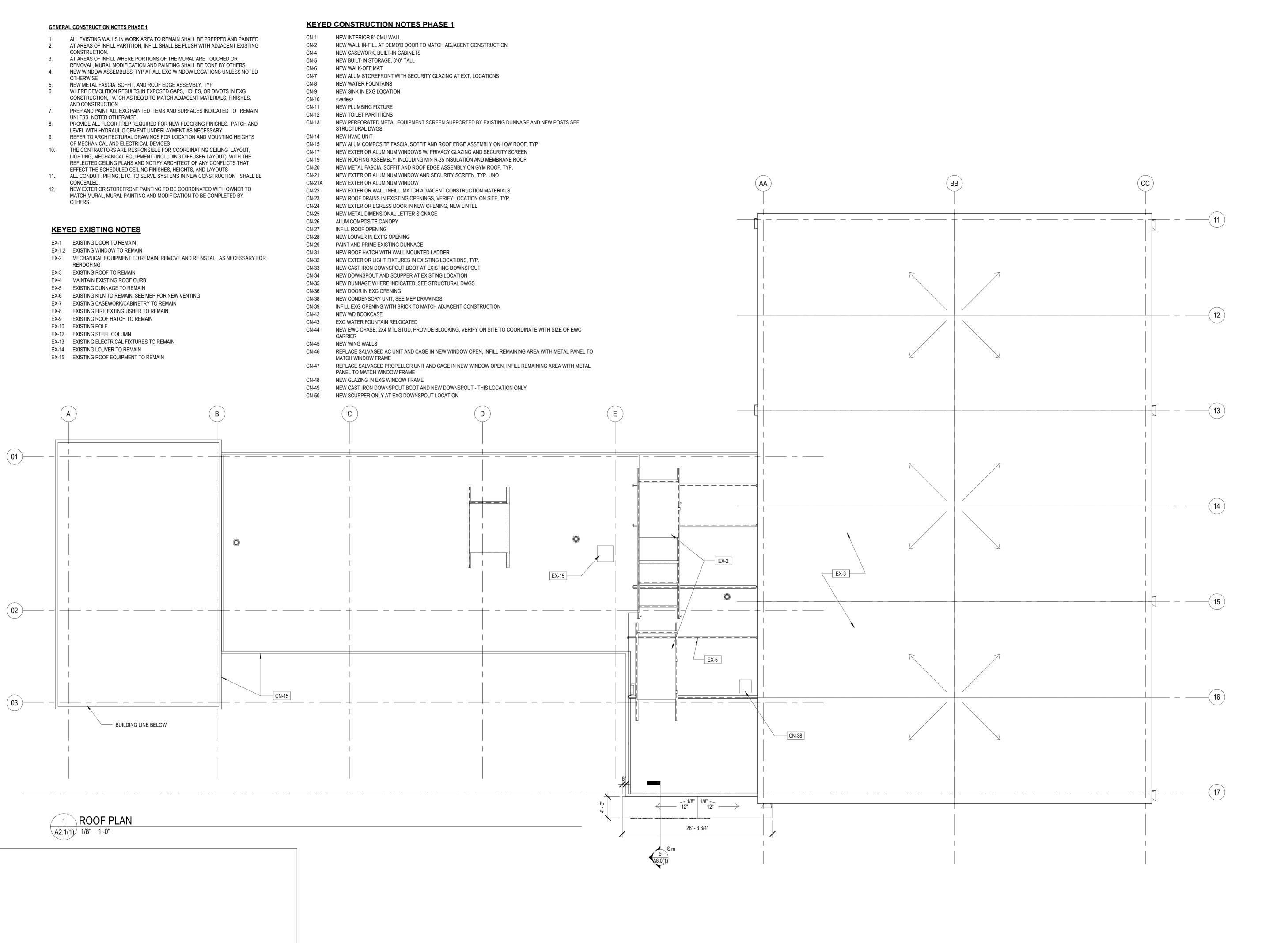
DATE 03/15/2024

SCALE AS NOTED

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REVISIONS

ISSUE DATE REVISIONS



#### CONSTRUCTION DOCUMENTS

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## CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

DELPHIA

PROJECT TITLE

CHRISTY RECREATION CENTER RENOVATION - PHASE 1

ROOF PLAN

PROJECT NO.

73217

DATE 03/15/2024

SCALE AS NOTED

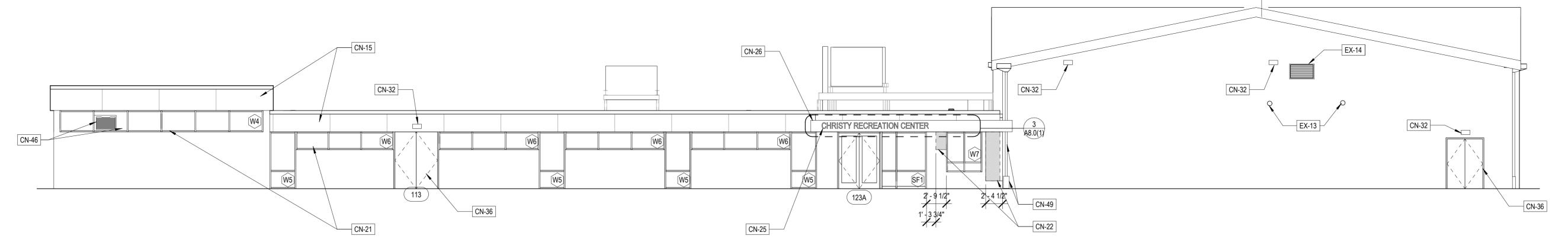
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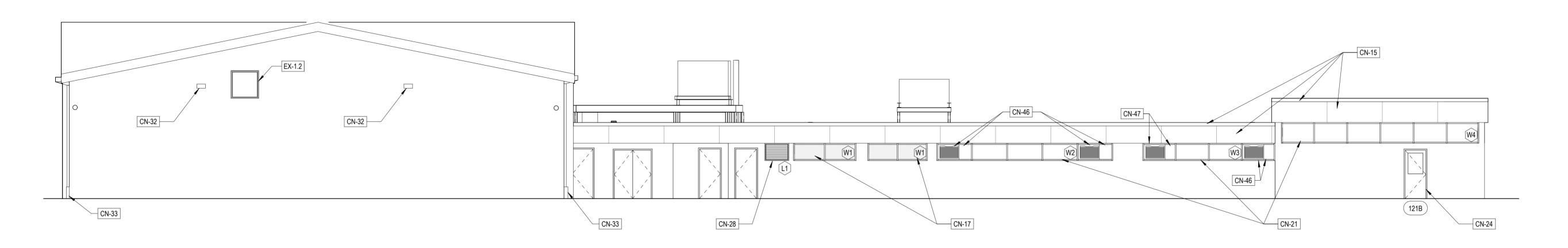
DRAWING NO.

A2.1(1





4 SOUTH ELEVATION A3.0(1) 1/8" 1'-0"



<sup>2</sup> EAST ELEVATION

#### **GENERAL CONSTRUCTION NOTES PHASE 1**

ALL EXISTING WALLS IN WORK AREA TO REMAIN SHALL BE PREPPED AND PAINTED AT AREAS OF INFILL PARTITION, INFILL SHALL BE FLUSH WITH ADJACENT EXISTING

A3.0(1) 1/8" 1'-0"

3 NORTH ELEVATION

- CONSTRUCTION. AT AREAS OF INFILL WHERE PORTIONS OF THE MURAL ARE TOUCHED OR
- REMOVAL, MURAL MODIFICATION AND PAINTING SHALL BE DONE BY OTHERS. NEW WINDOW ASSEMBLIES, TYP AT ALL EXG WINDOW LOCATIONS UNLESS NOTED
- OTHERWISE NEW METAL FASCIA, SOFFIT, AND ROOF EDGE ASSEMBLY, TYP WHERE DEMOLITION RESULTS IN EXPOSED GAPS, HOLES, OR DIVOTS IN EXG
- CONSTRUCTION, PATCH AS REQ'D TO MATCH ADJACENT MATERIALS, FINISHES, AND CONSTRUCTION
- PREP AND PAINT ALL EXG PAINTED ITEMS AND SURFACES INDICATED TO REMAIN UNLESS NOTED OTHERWISE
- PROVIDE ALL FLOOR PREP REQUIRED FOR NEW FLOORING FINISHES. PATCH AND LEVEL WITH HYDRAULIC CEMENT UNDERLAYMENT AS NECESSARY.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND MOUNTING HEIGHTS OF MECHANICAL AND ELECTRICAL DEVICES
- THE CONTRACTORS ARE RESPONSIBLE FOR COORDINATING CEILING LAYOUT, LIGHTING, MECHANICAL EQUIPMENT (INCLUDING DIFFUSER LAYOUT), WITH THE REFLECTED CEILING PLANS AND NOTIFY ARCHITECT OF ANY CONFLICTS THAT
- EFFECT THE SCHEDULED CEILING FINISHES, HEIGHTS, AND LAYOUTS ALL CONDUIT, PIPING, ETC. TO SERVE SYSTEMS IN NEW CONSTRUCTION SHALL BE
- CONCEALED. NEW EXTERIOR STOREFRONT PAINTING TO BE COORDINATED WITH OWNER TO MATCH MURAL, MURAL PAINTING AND MODIFICATION TO BE COMPLETED BY

#### **KEYED EXISTING NOTES**

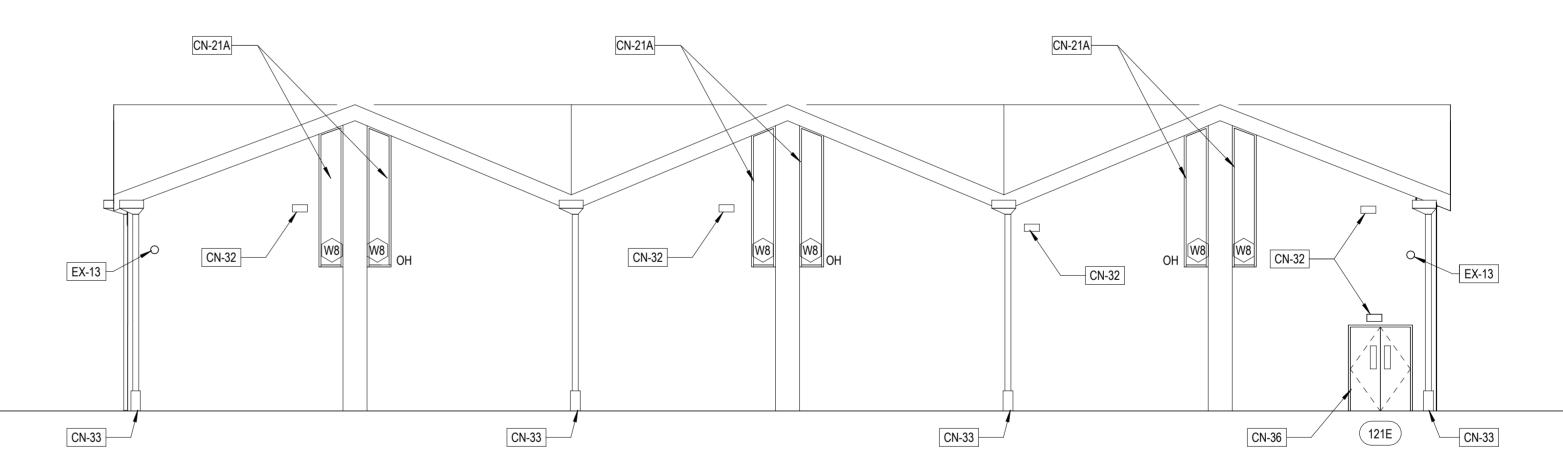
- EX-1 EXISTING DOOR TO REMAIN
- EX-1.2 EXISTING WINDOW TO REMAIN
- EX-2 MECHANICAL EQUIPMENT TO REMAIN, REMOVE AND REINSTALL AS NECESSARY FOR REROOFING
- EX-3 EXISTING ROOF TO REMAIN
- EX-4 MAINTAIN EXISTING ROOF CURB EX-5 EXISTING DUNNAGE TO REMAIN
- EX-6 EXISTING KILN TO REMAIN, SEE MEP FOR NEW VENTING
- EX-7 EXISTING CASEWORK/CABINETRY TO REMAIN EX-8 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-9 EXISTING ROOF HATCH TO REMAIN
- EX-10 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN

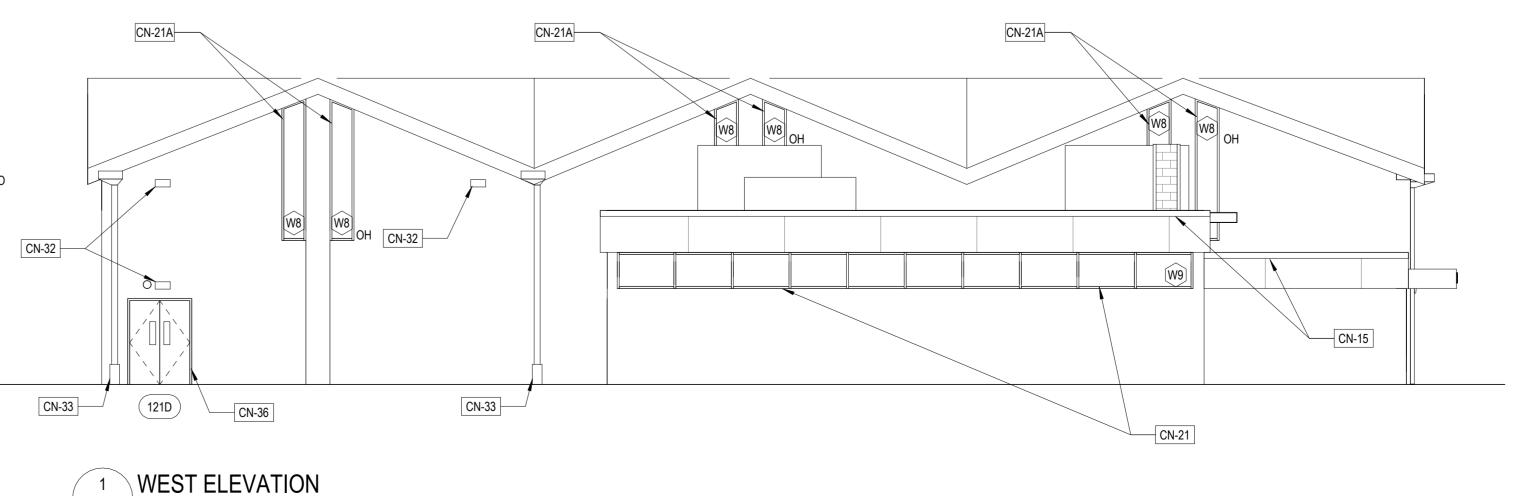
#### **KEYED CONSTRUCTION NOTES PHASE 1**

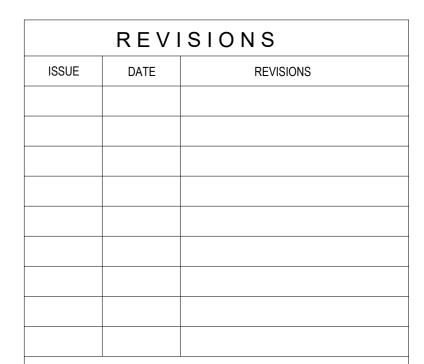
- **NEW INTERIOR 8" CMU WALL** CN-2 NEW WALL IN-FILL AT DEMO'D DOOR TO MATCH ADJACENT CONSTRUCTION
- NEW CASEWORK, BUILT-IN CABINETS
- NEW BUILT-IN STORAGE, 8'-0" TALL CN-6 **NEW WALK-OFF MAT**
- CN-7 NEW ALUM STOREFRONT WITH SECURITY GLAZING AT EXT. LOCATIONS
- CN-8 NEW WATER FOUNTAINS CN-9 NEW SINK IN EXG LOCATION
- CN-10 <varies> CN-11 NEW PLUMBING FIXTURE
- CN-12 **NEW TOILET PARTITIONS**
- NEW PERFORATED METAL EQUIPMENT SCREEN SUPPORTED BY EXISTING DUNNAGE AND NEW POSTS SEE
- STRUCTURAL DWGS CN-14 **NEW HVAC UNIT**
- NEW ALUM COMPOSITE FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON LOW ROOF, TYP NEW EXTERIOR ALUMINUM WINDOWS W/ PRIVACY GLAZING AND SECURITY SCREEN
- NEW ROOFING ASSEMBLY, INLCUDING MIN R-35 INSULATION AND MEMBRANE ROOF
- NEW METAL FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON GYM ROOF, TYP. CN-20 CN-21 NEW EXTERIOR ALUMINUM WINDOW AND SECURITY SCREEN, TYP. UNO
- CN-21A NEW EXTERIOR ALUMINUM WINDOW CN-22
- NEW EXTERIOR WALL INFILL, MATCH ADJACENT CONSTRUCTION MATERIALS NEW ROOF DRAINS IN EXISTING OPENINGS, VERIFY LOCATION ON SITE, TYP.
- NEW EXTERIOR EGRESS DOOR IN NEW OPENING, NEW LINTEL
- CN-25 NEW METAL DIMENSIONAL LETTER SIGNAGE ALUM COMPOSITE CANOPY
- CN-27 INFILL ROOF OPENING
- NEW LOUVER IN EXT'G OPENING PAINT AND PRIME EXISTING DUNNAGE
- CN-31 NEW ROOF HATCH WITH WALL MOUNTED LADDER
- NEW EXTERIOR LIGHT FIXTURES IN EXISTING LOCATIONS, TYP.
- CN-33 NEW CAST IRON DOWNSPOUT BOOT AT EXISTING DOWNSPOUT CN-34 NEW DOWNSPOUT AND SCUPPER AT EXISTING LOCATION
- CN-35 NEW DUNNAGE WHERE INDICATED, SEE STRUCTURAL DWGS
- CN-36 NEW DOOR IN EXG OPENING CN-38 NEW CONDENSORY UNIT, SEE MEP DRAWINGS
- CN-39 INFILL EXG OPENING WITH BRICK TO MATCH ADJACENT CONSTRUCTION CN-42
- **NEW WD BOOKCASE** CN-43 EXG WATER FOUNTAIN RELOCATED
- NEW EWC CHASE, 2X4 MTL STUD, PROVIDE BLOCKING, VERIFY ON SITE TO COORDINATE WITH SIZE OF EWC
- CN-45 **NEW WING WALLS**

CN-44

- CN-46 REPLACE SALVAGED AC UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- REPLACE SALVAGED PROPELLOR UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- NEW GLAZING IN EXG WINDOW FRAME
- NEW CAST IRON DOWNSPOUT BOOT AND NEW DOWNSPOUT THIS LOCATION ONLY
- NEW SCUPPER ONLY AT EXG DOWNSPOUT LOCATION









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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

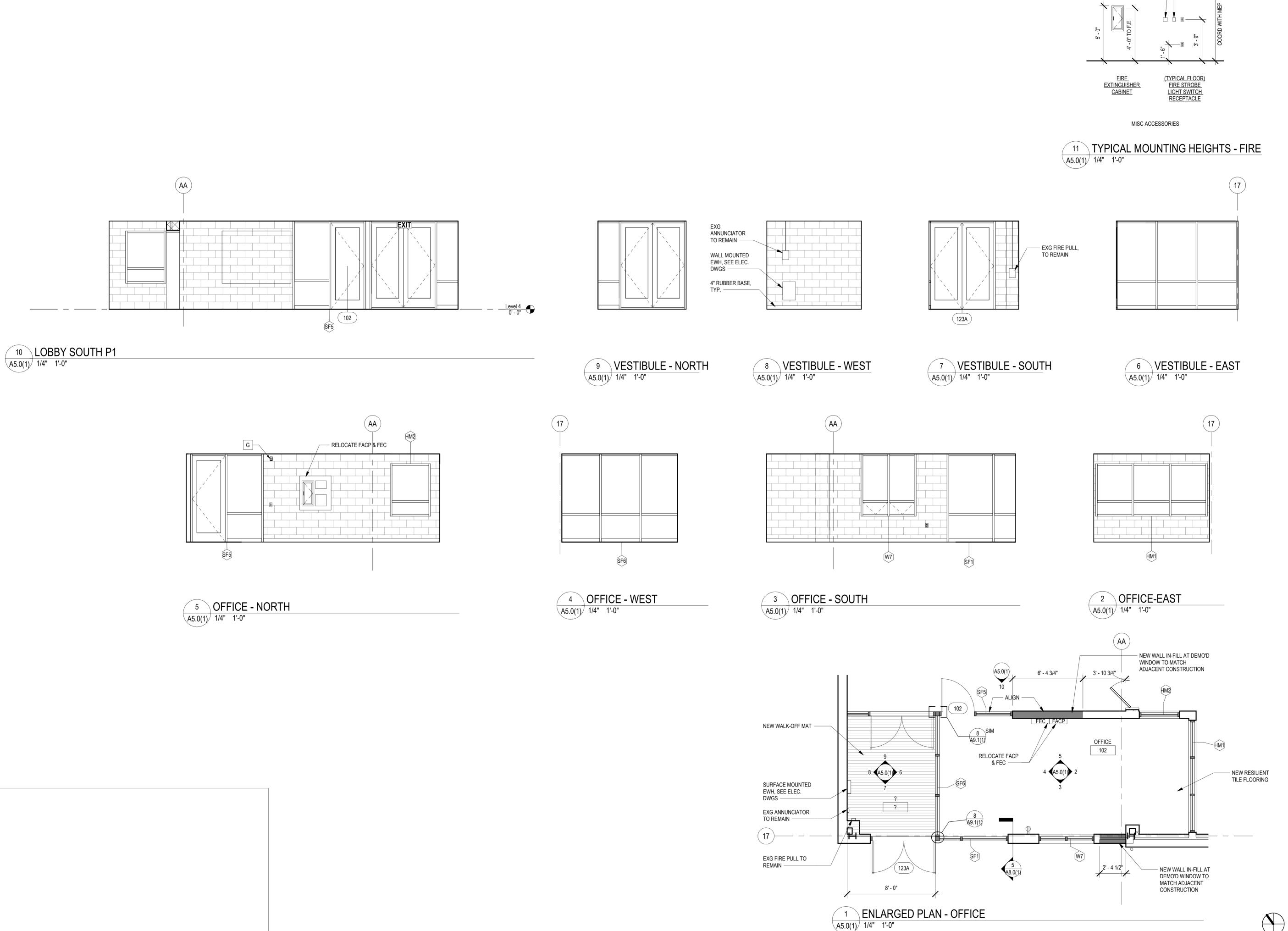
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

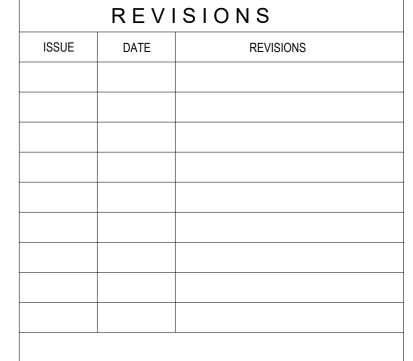
PHILADELPHIA PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

DRAWING TITLE **EXTERIOR ELEVATIONS** 

PROJECT NO. 73217 03/15/2024 AS NOTED DRAWN BY CHECKED BY







#### CONSTRUCTION DOCUMENTS

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G FIRE ALARM STROBE
H FIRE ALARM PULL
I DR ACTIVATOR

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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

ENLARGED PLANS AND INTERIOR **ELEVATIONS** 

PROJECT NO.		DRAWING NO.
73	3217	
DATE	03/15/2024	A5.0(1)
SCALE	AS NOTED	1 1010(1)
DRAWN BY	ED	
CHECKED BY	MS	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS S	

#### **GENERAL CONSTRUCTION NOTES PHASE 1**

MULTIPURPOSE ROOM

121

02

03

ECN-2

ECN-3

122

- ALL EXISTING WALLS IN WORK AREA TO REMAIN SHALL BE PREPPED AND PAINTED AT AREAS OF INFILL PARTITION, INFILL SHALL BE FLUSH WITH ADJACENT EXISTING
- CONSTRUCTION. AT AREAS OF INFILL WHERE PORTIONS OF THE MURAL ARE TOUCHED OR
- REMOVAL, MURAL MODIFICATION AND PAINTING SHALL BE DONE BY OTHERS. NEW WINDOW ASSEMBLIES, TYP AT ALL EXG WINDOW LOCATIONS UNLESS NOTED
- NEW METAL FASCIA, SOFFIT, AND ROOF EDGE ASSEMBLY, TYP WHERE DEMOLITION RESULTS IN EXPOSED GAPS, HOLES, OR DIVOTS IN EXG
- CONSTRUCTION, PATCH AS REQ'D TO MATCH ADJACENT MATERIALS, FINISHES, AND CONSTRUCTION
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- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND MOUNTING HEIGHTS OF MECHANICAL AND ELECTRICAL DEVICES THE CONTRACTORS ARE RESPONSIBLE FOR COORDINATING CEILING LAYOUT,
- LIGHTING, MECHANICAL EQUIPMENT (INCLUDING DIFFUSER LAYOUT), WITH THE REFLECTED CEILING PLANS AND NOTIFY ARCHITECT OF ANY CONFLICTS THAT EFFECT THE SCHEDULED CEILING FINISHES, HEIGHTS, AND LAYOUTS

ALL CONDUIT, PIPING, ETC. TO SERVE SYSTEMS IN NEW CONSTRUCTION SHALL BE

120

- CONCEALED. NEW EXTERIOR STOREFRONT PAINTING TO BE COORDINATED WITH OWNER TO
- MATCH MURAL, MURAL PAINTING AND MODIFICATION TO BE COMPLETED BY OTHERS.

#### KEYED REFLECTED CEILING CONSTRUCTION NOTES

NEW DRYWALL CEILING WITH NEW LIGHT FIXTURES RCN-1

RCN-2 PAINT EXISTING EXPOSED PAINTED STRUCTURE, DECK, AND OTHER

PAINTED ITEMS IN GYM RCN-3 **NEW ROOF HATCH** 

RCN-4 **GWB CONTROL JOINT** RCN-6 NEW RECESSED LIGHT FIXTURES IN CANOPY

ECN-2 ECN-3

A6.0(1) 1/8" 1'-0"

#### **EXISTING CEILING NOTES**

EXISTING ACT CEILING TO REMAIN ECN-2 EXISTING GWB CEILING TO REMAIN EXISTING LIGHT FIXTURES TO REMAIN

#### RCP FIXTURE KEY

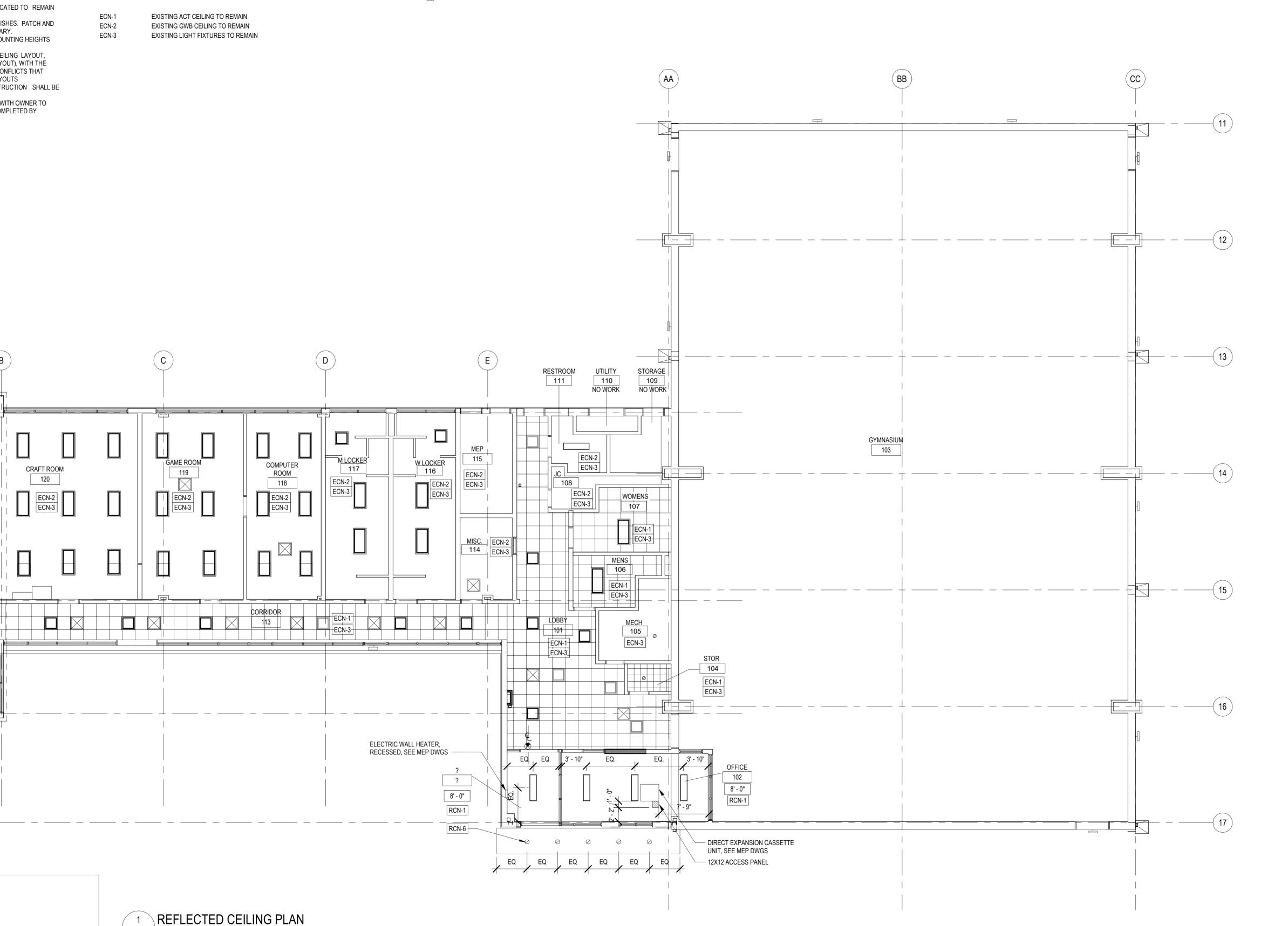
RECESSED LINEAR LED FIXTURE

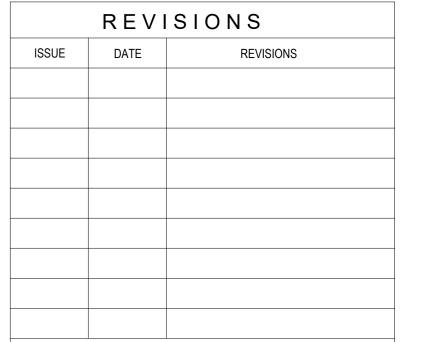
SURFACE MOUNTED LED FIXTURE

RECESSED LINEAR SQUARE DECORATIVE LED FIXTURE

EXIT SIGN - WALL MOUNTED EMERGENCY LIGHTING

12"x12" ACCESS PANEL







#### CONSTRUCTION DOCUMENTS

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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

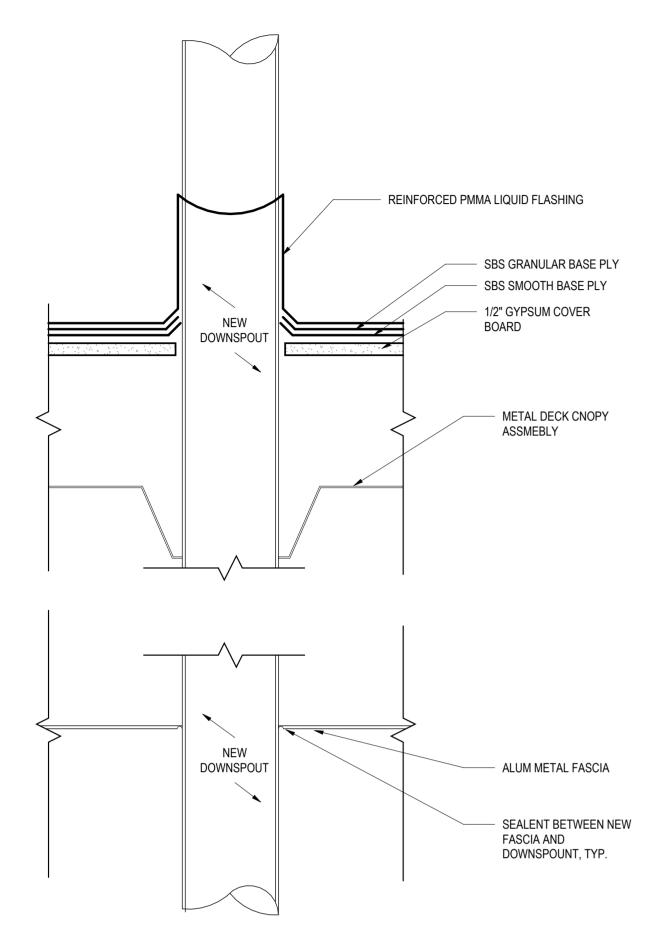
PROJECT TITLE

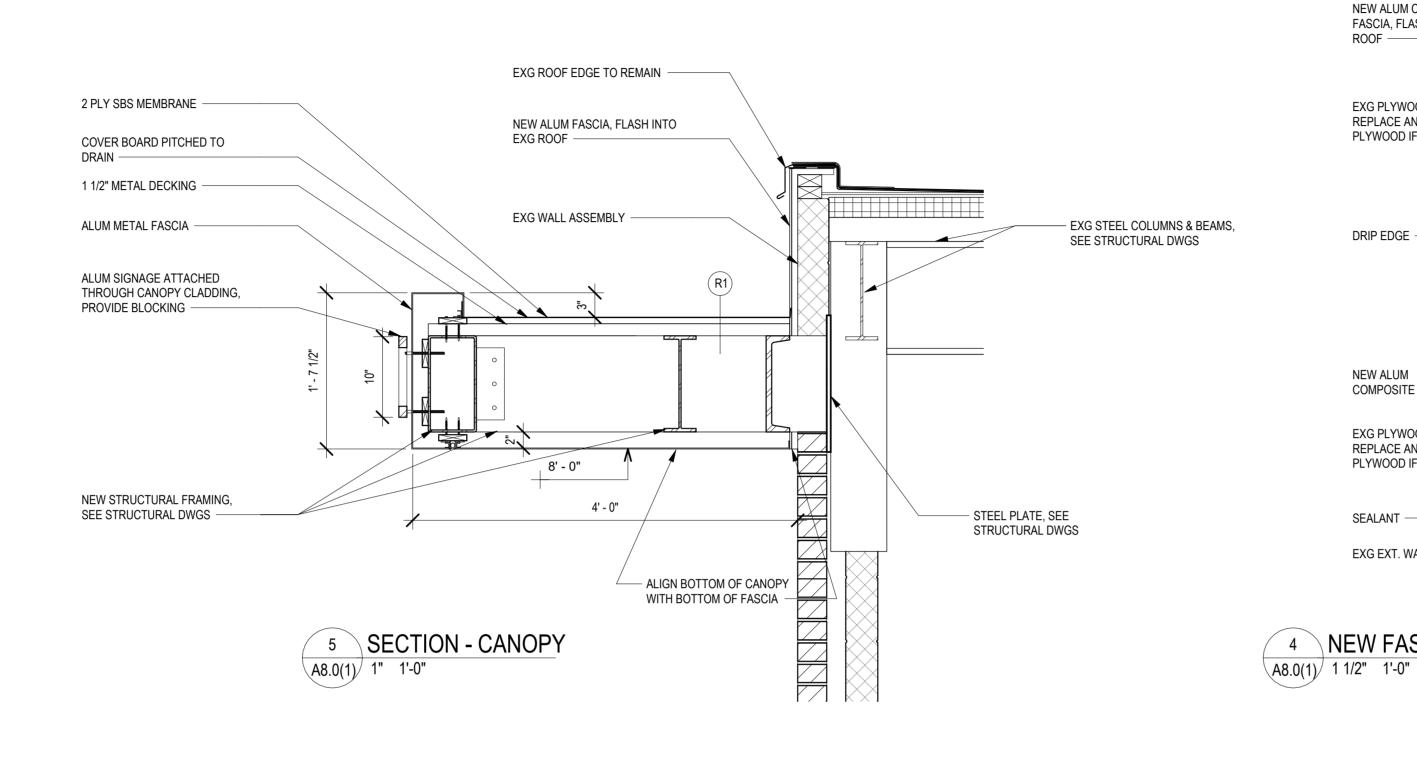
CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

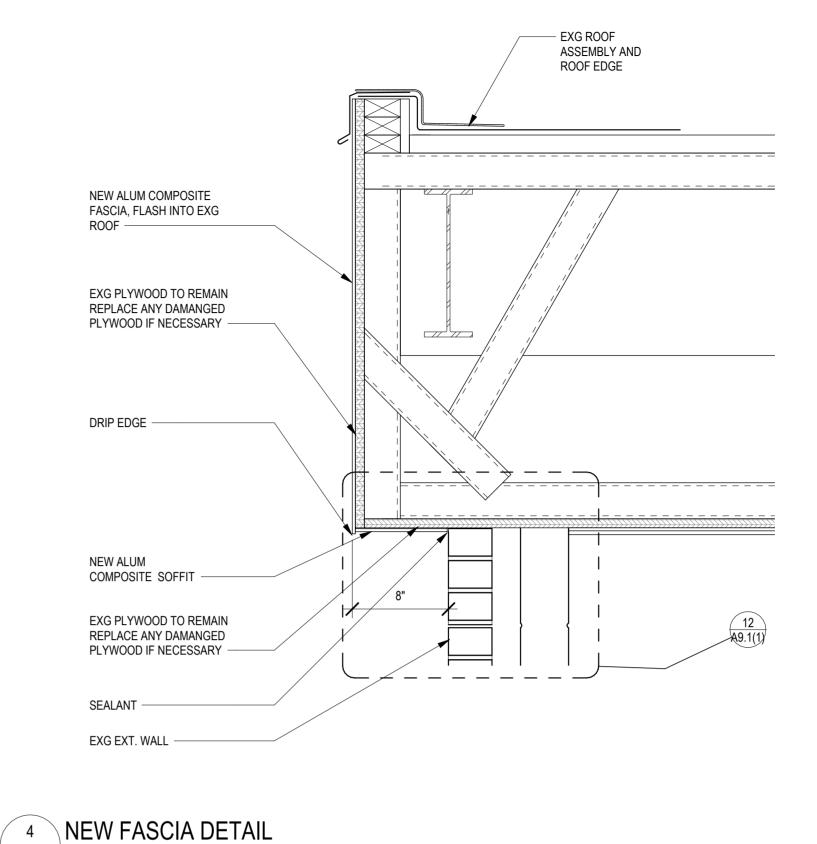
REFLECTED CEILING PLANS

73217 A6.0(1)03/15/2024 AS NOTED









6 DOWNSPOUT PENETRATION@ CANOPY

A8.0(1) 3" 1'-0"



### 3 CANOPY SIGNAGE ELEVATION A8.0(1) 1/2" 1'-0"

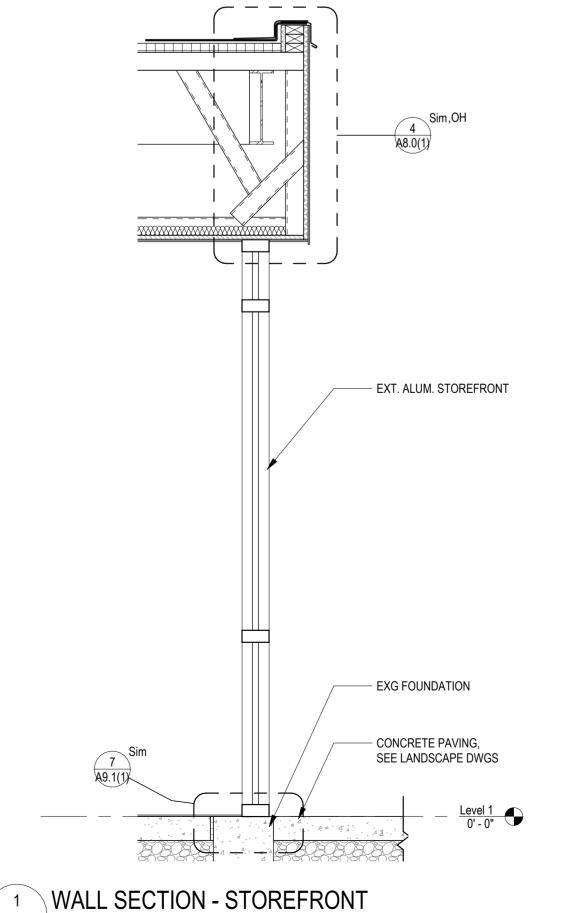
ROOF TY	PE				
TYPE	DESCRIPTION	CODE-REQ'D INSUL MIN R-VALUE	CALCULATED U-VALUE	DETAIL	SPECIFICATION
R1	LOW-SLOPE MEMBRANE ROOF ON MTL DECK	N/A	N/A		MEMBRANE ROOFING PER SPECIFICATIONS, 1/2" INSUL COVER BOARD, MTL ROOF DECK.

#### **GENERAL ROOF NOTES:**

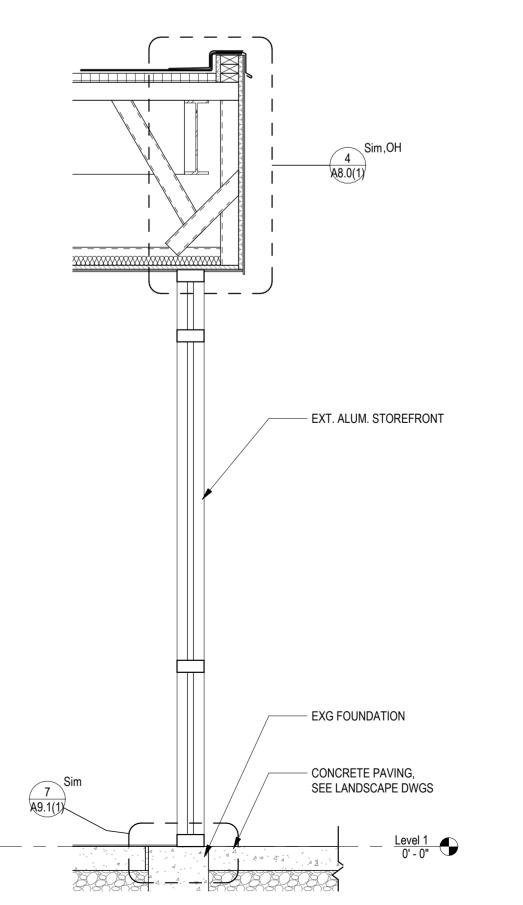
SEE STRUC DWGS FOR ROOF DECK & STRUCTURE.
SEE ROOF PLAN DWG AND A-8 SERIES DWGS FOR ADDITIONAL DETAILS.

MINIMUM INSUL R-VALUES ARE BASED ON YEAR IECC TABLE C402.13. PROJECT INSUL R-VALUES ARE BASED ON THE SPECIFIED B.O.D. AS FOLLOWS: 5" RIGID POLYISO INSUL R-30 - CONTINUOUS INSULATION

<sup>2</sup> CANOPY ROOF TYPE A8.0(1) 1/2" 1'-0"



A8.0(1) 3/4" 1'-0"



REVISIONS ISSUE REVISIONS



CONSTRUCTION DOCUMENTS

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CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

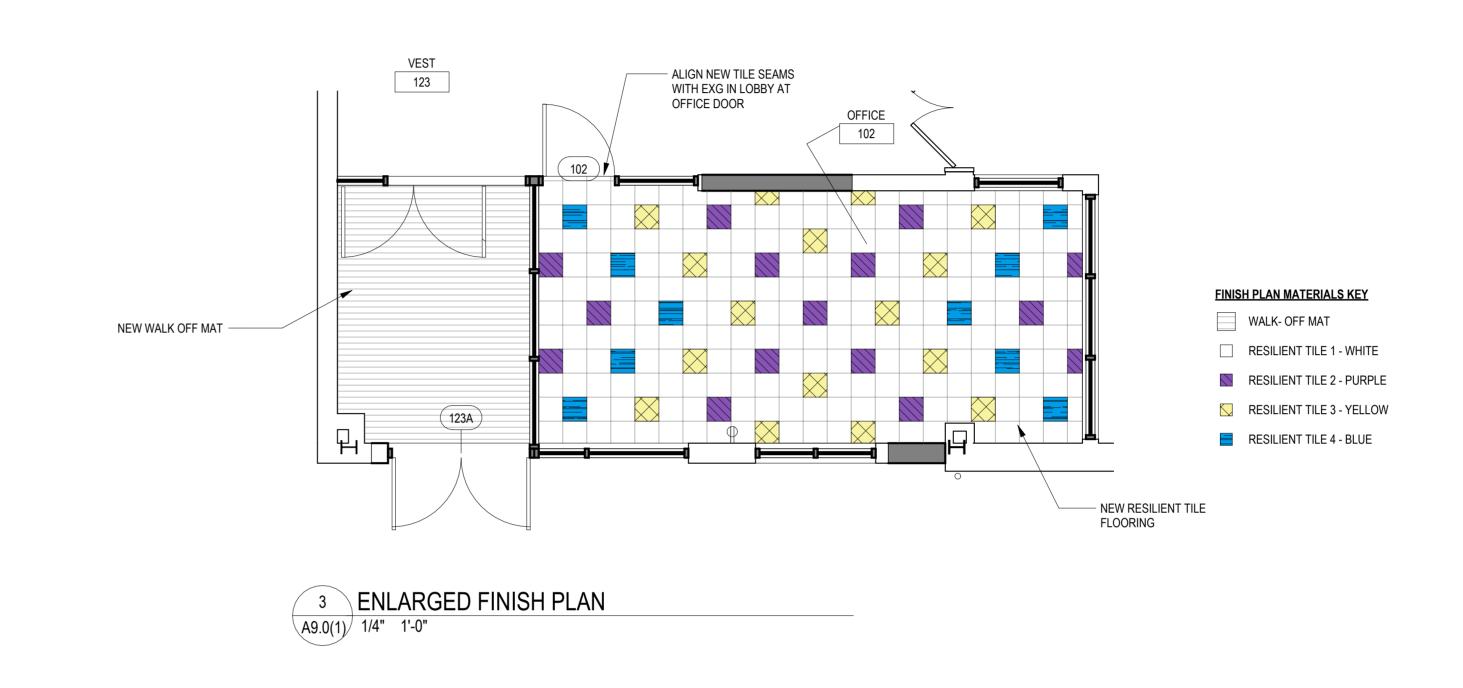
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PROJECT TITLE

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

**EXTERIOR DETAILS** 

PROJECT NO. 73217 A8.0(1)03/15/2024 AS NOTED DRAWN BY ED CHECKED BY MS

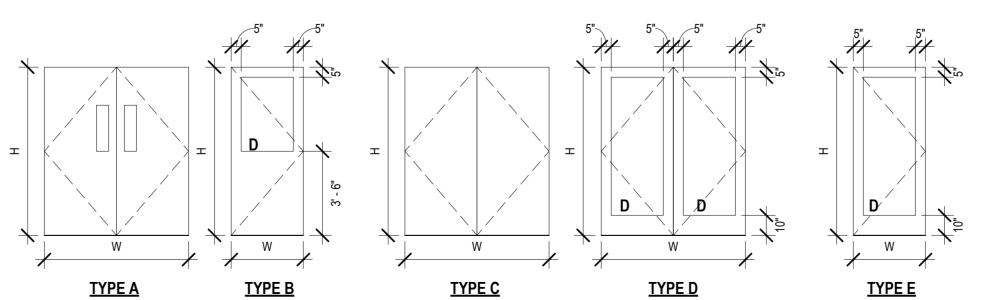


	FINISH SCHEDULE PHASE 1																
	ROOM FLOOR BASE								NORTH EAST			JTH	WE	ST	CEII		
NO	NAME	MAT	FIN	MAT	FIN	HT	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	NOTES
102	OFFICE	RT	FF	RB	FF	4	CMU	PNT	EXG CMU	PNT	EXG CMU	PNT	ALSF	FF	GWB	PNT	
123	VEST	WOM	FF	RB	FF	4	ALSF	FF	SF	FF	ALSF	FF	EXG CMU	PNT	GWB	PNT	

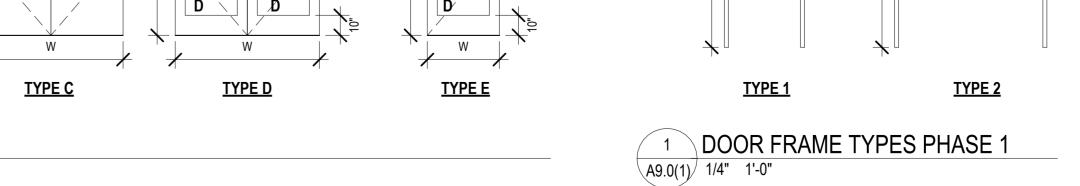
	DOOR SCHEDULE PHASE1																	
	DOOR												FRAME					
OOR NO.	ROOM	NEW	INT	EXT	TYPE	MAT	RATING	WIDTH	HEIGHT	FIN	GLAZING	TYPE	MAT	FIN	HEAD	JAMB	SILL	HARDWARE
102	OFFICE	•			E	AL		3' - 0"	7' - 10"	FF	GL	ALSF	AL	FF	С	Α	-	05
113	CORRIDOR	•		•	С	SSTL	-	6' - 0"	8' - 0"	PNT		EXG	HM	PNT	F	Е	-	01
121B	MULTIPURPOSE ROOM	•		•	В	SSTL		3' - 0"	7' - 0"	FF	GL	F1	HM	FF	F	E		02
121D	GYMNASIUM	•		•	A	SSTL	-	5' - 0"	7' - 0"	FF	-	EXG	HM	PNT	F	Е	-	06
121E	GYMNASIUM	•		•	A	SSTL	-	5' - 0"	7' - 0"	FF	-	EXG	HM	PNT	F	E	-	06
121F	GYMNASIUM	•		•	A	SSTL	-	5' - 0"	7' - 0"	FF	-	EXG	HM	PNT	F	E	-	03
123A		•		•	D	AL		5' - 9"	7' - 10"	FF	GL	ALSF	AL	FF	С	Α	-	01
130		•	•		D	AL	-	5' - 9"	7' - 8"	ST	GL	ALSF	AL	FF	С	Α	-	00

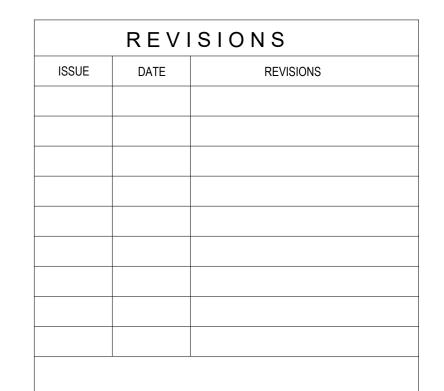
#### **GLAZING TYPES**

A: LOW-E INSULATED GLAZING UNITS (IGU) B: PRIVACY LOW-E INSULATED GLAZING UNITS (IGU) C: INTERIOR MONOLITHIC, CLEAR TEMPERED GLAZING D: LAMINATED, INSULATED SECURITY GLAZING UNITS FOR MAIN ENTRANCE STOREFRONT APPLICATION.



2 DOOR TYPES PHASE 1 A9.0(1) 1/4" 1'-0"







#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK

**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

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1600 Market Street, Suite 1630
Philadelphia, Pennsylvania 19103 215 372 1365

<u>CIVIL ENGINEER:</u> KS ENGINEERS, P.C.

530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425

LANDSCAPE ARCHITECTS
GROUND RECONSIDERED
230 South Broad Street

Philadelphia, Pennsylvania 19102 215 790 0727

COST CONSULTANT
DHARAM CONSULTING 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

STRUCTURAL ENGINEER
ANN ROTHMAN

STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

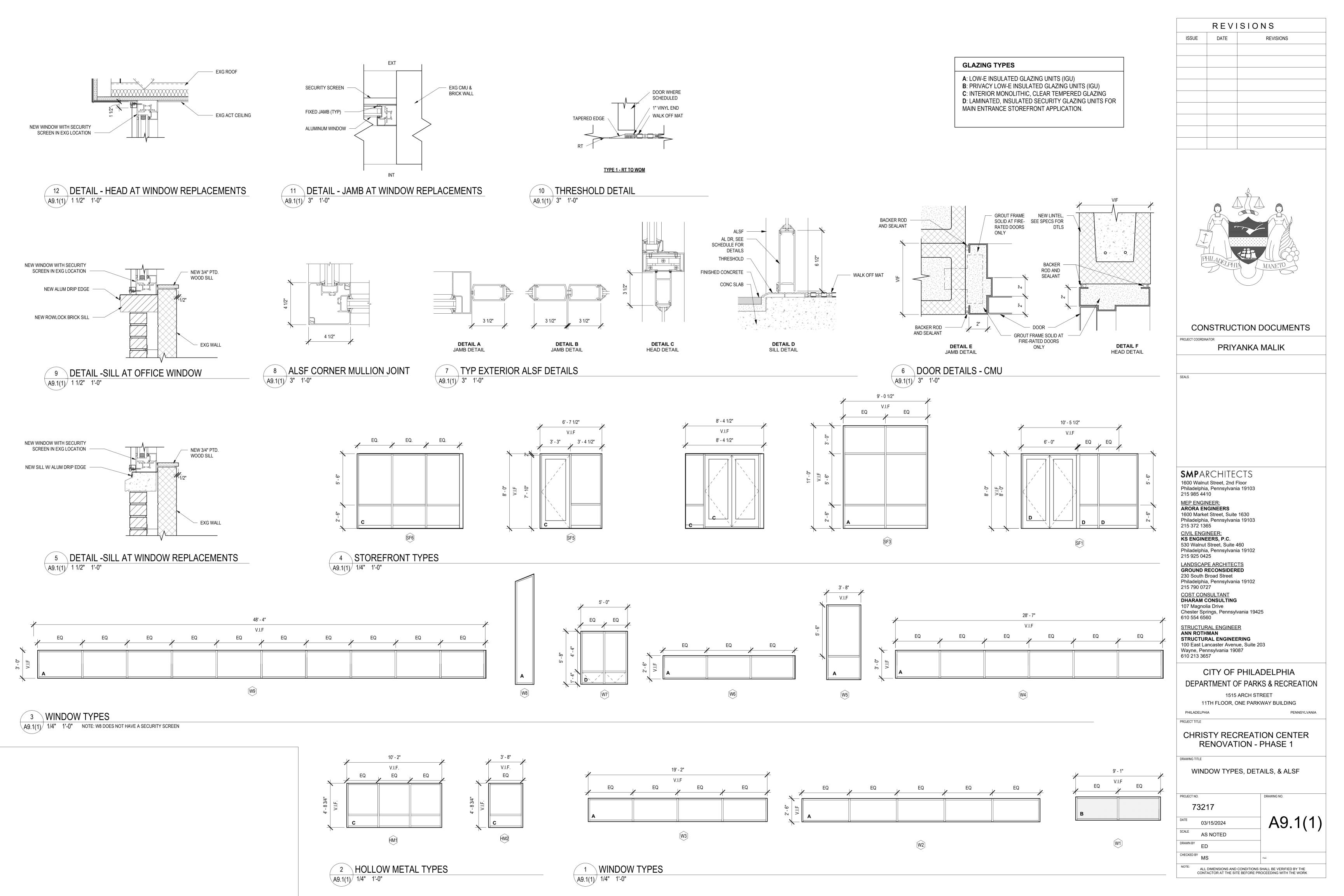
PROJECT TITLE

DR WIDTH

#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

DOOR AND FINISH SCHEDULES

PROJECT NO.		DRAWING NO.
73	3217	
DATE	03/15/2024	A9.0(1)
SCALE	AS NOTED	
DRAWN BY	ED	
CHECKED BY	MS	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS	



- 1. THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND APPLICABLE LOCAL REGULATIONS.
- 2. STRUCTURAL SPECIAL INSPECTIONS ARE A REQUIREMENT FOR THIS PROJECT. A QUALIFIED INDEPENDENT INSPECTION AGENCY REGISTERED WITH THE CITY OF PHILADELPHIA SHALL BE SELECTED TO PERFORM THESE SERVICES. ALL INSPECTIONS AS REQUIRED BY CHAPTER 17 OF THE IBC ARE REQUIRED, AS A MINIMUM. SEE MATERIAL NOTES FOR SPECIFIC
- OF THE IBC ARE REQUIRED, AS A MINIMUM. SEE MATERIAL NOTES FOR SPECIFIC INSPECTIONS REQUIRED.

  3. THIRD PARTY SPECIAL INSPECTIONS SHALL BE PERFORMED FOR THIS PROJECT AS FOLLOWS,
- STRUCTURAL STEEL (AISC 360) VISUAL INSPECTION OF FIELD CONNECTIONS PERIODIC STRUCTURAL STEEL (AISC 360) VISUAL INSPECTION OF FABRICATION, UNLESS

AND IN ACCORDANCE WITH PROJECT SPECIFICATIONS:

- FABRICATOR IS AISC CERTIFIED PERIODIC
- 4. THE INDEPENDENT INSPECTIONS AGENCY SHALL PERFORM INSPECTIONS AND SUBMIT REPORTS THE ENGINEER OF RECORD (EOR) WITHIN 72 HOURS OF INSPECTION. ANY INADEQUACIES FOUND BY THE INSPECTOR SHALL BE REPORTED TO THE EOR WITHIN 24 HOURS. THE CONTRACTOR SHALL FACILITATE THESE INSPECTIONS BY SCHEDULING THE INSPECTIONS TO COORDINATE WITH THE WORK BEING PERFORMED BY THEIR SUB-CONTRACTORS.
- 5. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION OF FALSE WORK, FORMWORK, STAGING, BRACING, SHEETING, AND SHORING, ETC.
- 6. WHERE NEW LOADS ARE BEING ADDED TO EXISTING STRUCTURE, THE INTEGRITY OF THE EXISTING STRUCTURE AND FOUNDATIONS SHALL BE VERIFIED BY THE CONTRACTOR. REPORT ANY CRACKING, SETTLEMENT, DETERIORATION, AND SUBSTANDARD QUALITY OF EXISTING CONSTRUCTION OR MATERIALS SHALL BE REPORTED TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION.
- 7. TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS ON DRAWINGS BEFORE ORDERING
- MATERIALS.

  8. NOTIFY ENGINEER IMMEDIATELY IF ANY EXISTING CONDITIONS CONFLICT WITH STRUCTURAL
- INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS.

  9. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 10. ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR TO CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS. SURVEY LAYOUT FOR THE BUILDING SHALL BE CHECKED AND CLOSED BEFORE WORK IS
- 11. SECTIONS AND DETAILS SHOWN, WHILE DRAWN FOR SPECIFIC LOCATIONS, ARE INTENDED TO ESTABLISH THE GENERAL TYPES OF DETAILS TO BE USED THROUGHOUT. IF THE CONTRACTOR WISHES TO USE DETAILS OTHER THAN THOSE SHOWN ON THE DRAWINGS, SUCH DETAILS SHALL BE SUBMITTED FOR APPROVAL, AND APPROVAL CONFIRMED, BEFORE SHOP DRAWINGS ARE COMMENCED.
- 12. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS. ANY QUESTIONS OR DISCREPANCIES FOUND WITH REGARD TO THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND STRUCTURAL ENGINEER.
- 13. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR WORK THAT SHE DOES NOT REVIEW AND/OR WORK NOT COMPLETED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S PLANS AND /OR SPECIFICATIONS.
- 14. ALL COSTS OF INVESTIGATION AND /OR REDESIGN, DUE TO CONTRACTOR MIS-LOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE A THE CONTRACTOR'S EXPENSE.
- 15.IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR CLARIFICATION.
- 16.THE STRUCTURAL ENGINEER'S REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO FOLLOW THE INTENT OF THE CONTRACT DRAWINGS, UNLESS A WRITTEN REQUEST FOR A CHANGE HAS BEEN PREVIOUSLY SUBMITTED AND APPROVED BY THE STRUCTURAL ENGINEER.

#### STEEL

- 1. REFER TO SPECIFICATION SECTION 051200 FOR ADDITIONAL INFORMATION.
- 2. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS: A. PLATES AND ANGLES: ASTM A36, FY=36 KSI.
- B. W, WT & C SHAPES: ASTM A992, FY=50 KSI.
- B. HSS STRUCTURAL TUBING: ASTM A500 GRADE B, FY=46 KSI.
  C. STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E GRADE B SPECIFICATIONS.
  [STD. = SCHEDULE 40; XS = SCHEDULE 80; DS = SCHEDULE 160]
- D. BOLTED CONNECTIONS (STEEL TO STEEL): ASTM A325-N, (3/4" DIAM.), U.N.O.
- E. ANCHOR BOLTS AND CONNECTORS IN WOOD FRAMING: ASTM A307, (3/4" DIAM.), U.N.O.3. BOLTS TO BE USED ON THE EXTERIOR SHALL BE HOT DIPPED GALVANIZED AND FIELD PAINTED.
- 4. ANCHORAGE BOLTS AND FITTINGS IN MASONRY SHALL BE GALVANIZED.
- 5. WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE A.W.S. SUBMIT WELDER CERTIFICATES TO ENGINEER FOR RECORD.
- 6. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX. ALL WELDING SHALL CONFORM TO THE A.W.S. STANDARD CODE.
- 7. ALL SHOP AND FIELD WELDS SHALL BE 1/4" FILLET WELDS MINIMUM, U.N.O.8. MINIMUM CENTER-CENTER SPACING BETWEEN BOLTS SHALL BE 3". MINIMUM EDGE
- DISTANCE SHALL BE 1-1/4" FROM CENTER OF BOLTS TO EDGE OF STEEL.
- 9. GAS CUTTING OF MAIN STRUCTURAL MEMBERS IN THE FIELD SHALL NOT BE PERMITTED.
- 10. ALL STEEL SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP. 11. BATCH HOT-DIP GALVANIZE ALL STEEL IN ACCORDANCE WITH ASTM A123.

- 12.PRIOR TO FIELD WELDING, GALVANIZED MEMBERS SHALL HAVE ZINC COATING GROUND SMOOTH IN WELD AREAS, (ZINC COATING IS NOT TO CONTAMINATE WELD FUSION METAL). AFTER WELDING, COAT AFFECTED SURFACE WITH ZINC RICH COATING.
- 13.TOUCH UP FIELD WELDS AND ANY DAMAGED AREAS OF PAINT WITH A ZINC RICH PAINT, IN FIELD AFTER WELDING.
- 1. ALL STEEL DECK WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION.
- 2. DECK GAGE AND TYPE SHALL BE AS INDICATED ON PLANS.
- 3. ALL STEEL DECK UNITS AND ACCESSORY ITEMS SHALL BE FORMED FROM STEEL SHEETS CONFORMING TO ASTM A446 OR A611 WITH A MINIMUM YIELD STRENGTH OF 33 KSI. BEFORE FORMING, THE STEEL SHEET SHALL RECEIVE A PROTECTIVE METAL COATING OR ZINC CONFORMING TO ASTM A525, GRADE 60.
- ALL UNFRAMED DECK OPENINGS LARGER THAN 6" SHALL BE REINFORCED AS FOLLOWS:

   A. HOLES 6" 12": 16 GAUGE FLAT SHEET EXTENDING 6" BEYOND HOLE ON ALL SIDES.
   B. HOLES 12"- 18": 1-3/4" X 1-3/4" X 1/4" STEEL ANGLES EXTENDING 16" BEYOND HOLE IN BOTH DIRECTIONS.
- DIRECTIONS.
  NOTE: ALL REINFORCEMENT SHALL BE WELDED ALL AROUND TO TOP SIDE OF DECK.

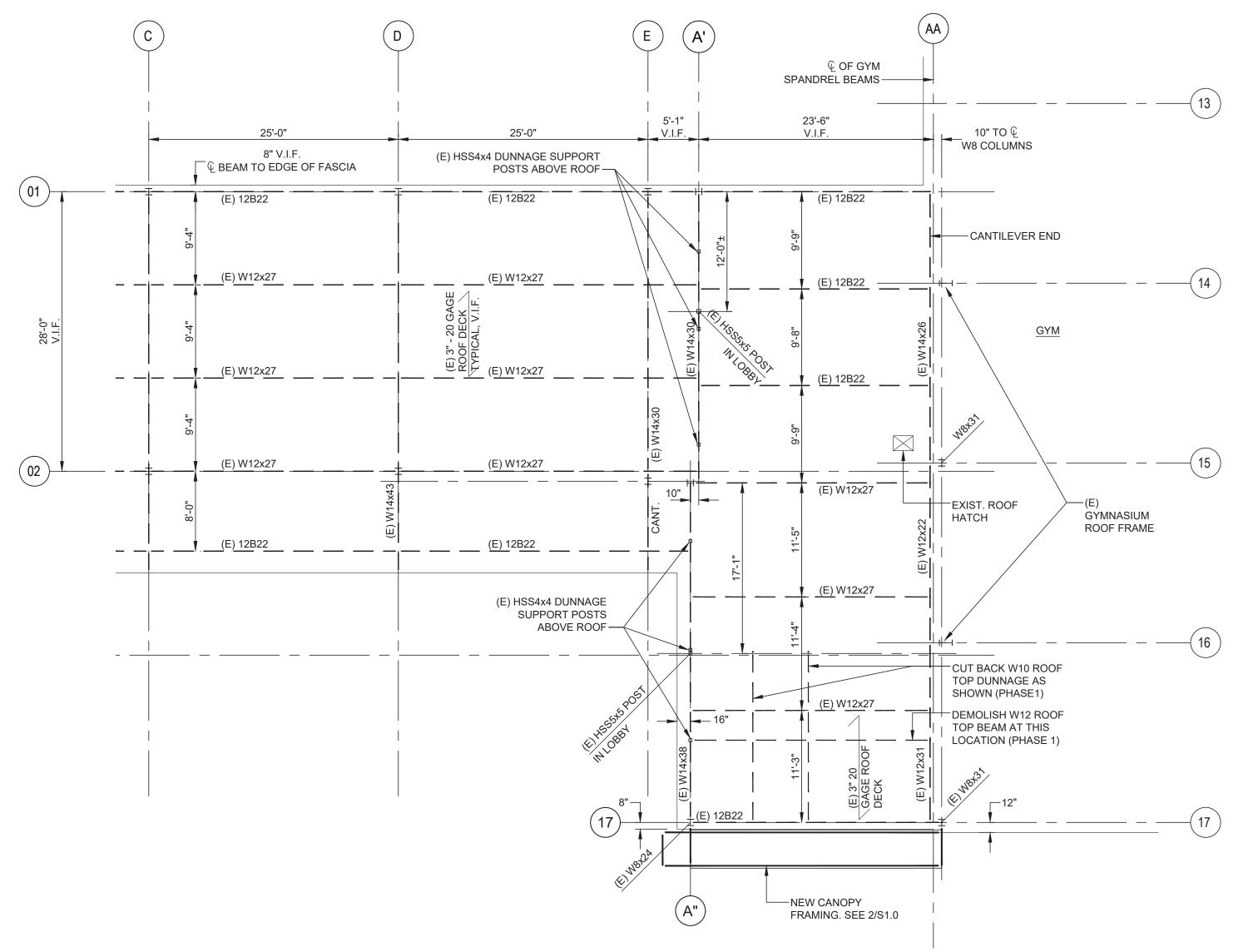
  5. ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STEEL DECK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A
- RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE

  6. PLACE DECK PANELS ON SUPPORTING FRAMING AND ADJUST TO FINAL POSITION WITH ENDS ACCURATELY ALIGNED AND BEARING ON SUPPORTING FRAMING BEFORE BEING PERMANENTLY FASTENED. DO NOT STRETCH OR CONTRACT SIDE LAP INTERLOCKS.
- 7. INSTALL DECK ENDS OVER SUPPORTING FRAMING WITH A MINIMUM END BEARING OF 1-1/2
- INCHES
  8. SUPPORT DECK SIDE EDGES WITH POUR STOP
- 9. FASTEN TO SUPPORTING FRAMING WITHOUT WARP OR DEFLECTION WITH 5/8" PUDDLE WELDS OR MECHANICAL FASTENERS @ 12" OC, AND AT BEARING ENDS, AND AT EVERY OTHER TRANSVERSE FLUTE.
- 10. SIDE LAP FASTENERS: MANUFACTURER'S STANDARD, CORROSION-RESISTANT, HEXAGONAL WASHER HEAD; SELF-DRILLING, CARBON STEEL SCREWS, NO. 10 MINIMUM DIAMETER AT 24" OC.
- 11.PREPARE AND REPAIR DAMAGED GALVANIZED COATINGS ON BOTH SURFACES WITH GALVANIZED REPAIR PAINT ACCORDING TO ASTM A 780 AND THE MANUFACTURER'S INSTRUCTIONS.
- 12.DO NOT USE WELD WASHERS FOR STEEL 22 GAGE OR THICKER.

#### DESIGN LOADS

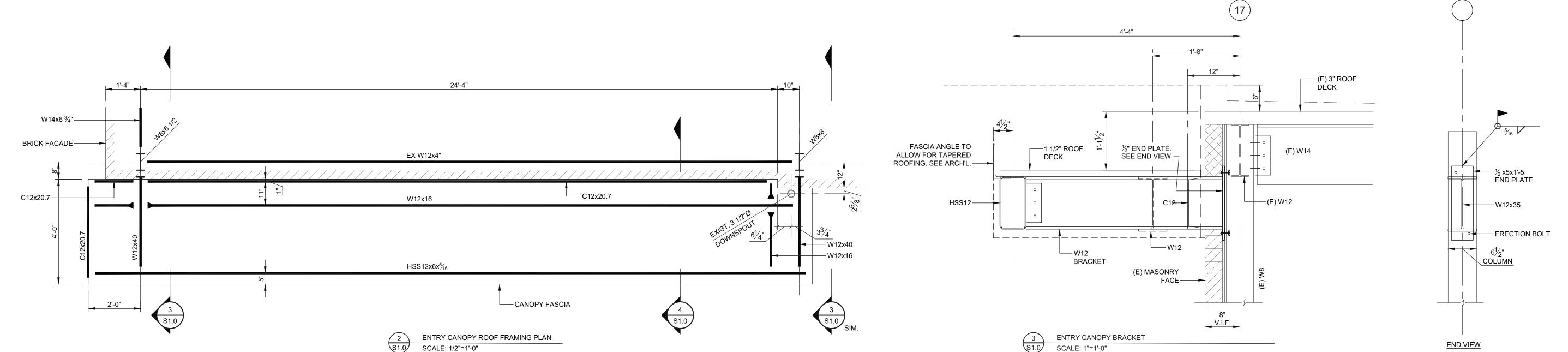
STEEL DECK

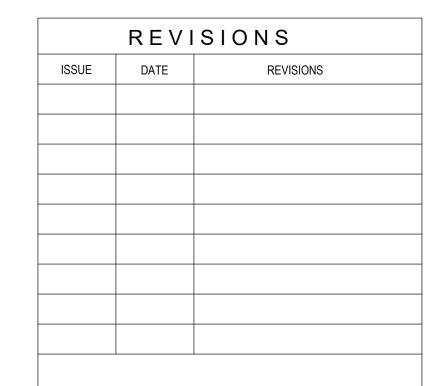
- ROOF LIVE LOAD = 20 PSF
- WIND SPEED: 115 MPH, EXPOSURE C



1 STRUCTURAL ROOF FRAMING PLAN (REF: 1973 STRUCTURAL PLANS) - VERIFY IN FIELD

- SCALE: 1/8"=1'-0" NOTES:
- 1. (E) DENOTES EXISTING STEEL.
  2. (N) DENOTES NEW PHASE 1 STEEL.







## CONSTRUCTION DOCUMENTS PROJECT COORDINATOR

PRIYANKA MALIK

ANN ROTHMANN

ENGINEER

NO.

PE-041577-R

Ann Rothmann

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Arora Engineers 1600 Market St, Suite 1630 Philadelphia, Pennsylvania 19103 215 372 1365

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CITY OF PHILADELPHIA

PHILADELPHIA PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA
PROJECT TITLE

RENOVATION - PHASE 1

CHRISTY RECREATION CENTER

Structural Plans, Details and Notes

DATE

15 March, 2024

SCALE
AS NOTED

DRAWN BY

CHECKED BY

- ALL SYMBOLS AND ABBREVIATIONS MAY NOT APPLY TO THIS
- BOUNDARY LINES SHOWN ON THE DRAWINGS DO NOT LIMIT THE SCOPE OF WORK FOR THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NOTED ON THE DRAWINGS.
- CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND LAWS OF AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES.
- ALL PENETRATIONS THROUGH DESIGNATED FIRE RATED WALLS, CEILINGS AND FLOOR SLABS (WHICH ARE 2-HOUR RATED) SHALL BE PROPERLY SEALED WITH AN APPROVED RATED FIRE AND SMOKE STOPPING MATERIAL. ALL FIRE AND SMOKE STOPPING MATERIAL SHALL BE SUPPLIED AND WORK PERFORMED AS PER PROJECT SPECIFICATIONS. CONTRACTOR SHALL SUBMIT MANUFACTURER'S CATALOG DATA AND INSTALLATION DETAIL AS PER SPECIFICATIONS FOR FIRE AND SMOKE STOPPING TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR INSTALLATION.
- THE CONTRACTOR SHALL NOT BE ALLOWED ANY STORAGE AREA OTHER THAN THAT AVAILABLE WITHIN THE LIMITS OF THE STAGING AREA, CONFINES OF THE WORK AREA, OR AS DESIGNATED BY THE
- ALL WORK AND MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
- A COPY OF THE CURRENT SET OF CONTRACT DOCUMENTS (WITH AS-BUILT INFORMATION) SHALL BE KEPT AT THE JOB SITE AT ALL TIMES BY THE CONTRACTOR.
- EACH CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS OF ALL TRADES FOR A THOROUGH UNDERSTANDING OF PROJECT AND ANY CROSS REFERENCING OF WORK. REVIEW ALL PROJECT REQUIREMENTS PRIOR TO BIDDING. IN CASE OF DISCREPANCIES, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE. ANY DEFECTS, IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER WORK OR PARTS OF THE BUILDING DAMAGED THEREBY, AS A RESULT OF THE WORK OF THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PAY ALL REPAIR COSTS ACCORDINGLY WITHOUT ADDITIONAL COSTS TO OWNER.
- IN ADDITION TO SPECIFICATIONS, AS MAY BE DEFINED HEREAFTER, THE CONTRACTOR SHALL PROTECT THE WORK SITE AND ALL HIS OR HER WORK AGAINST ANY DAMAGE (INCLUDING BUT NOT LIMITED TO WATER, DUST, HEAT, FREEZING, ETC.) UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, SUBMIT AS-BUILT RECORD DRAWINGS SHOWING ALL CHANGES FROM THE CONTRACT DRAWINGS MADE IN THE INSTALLATION, AND SHOWING DIMENSION LOCATIONS OF CONCEALED EQUIPMENT.
- PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE, THE CONTRACTOR SHALL PROVIDE MATERIAL SAFETY DATA SHEETS FOR ALL ITEMS AND MATERIALS USED IN THIS WORK.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL CAPACITIES AND LOCATIONS OF EQUIPMENT TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO DETERMINE ACTUAL PHYSICAL SIZE, CAPACITIES, AND LOCATIONS OF EXISTING EQUIPMENT TO BE REMOVED.
- 15. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, COORDINATE ALL REQUIRED EQUIPMENT AND SYSTEMS SHUTDOWN WITH OWNER, AND PROVIDE OWNER TWO WEEKS NOTICE OF THE SAME.
- COORDINATE DEMOLITION WORK WITH ALL OTHER TRADES. PHASE WORK IN CONJUNCTION WITH OTHER TRADE PHASING AND PHASING DRAWINGS.
- CONTRACTOR SHALL FIELD VERIFY OTHER EQUIPMENT/UTILITIES NOT ASSOCIATED WITH THIS WORK BUT LYING WITHIN THE WORK AREA, AND WILL NOT DISTURB THOSE EQUIPMENT/UTILITIES. THOSE EQUIPMENT/UTILITIES SHALL BE PROTECTED SO THAT THE SERVICE IS NOT INTERRUPTED. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO THE EQUIPMENT/UTILITIES IN PERFORMANCE OF THE WORK.
- CONTRACTOR SHALL KEEP WORK AREA CLEAN, ORDERLY, AND WORKMAN LIKE, AND REMOVE ALL DEMOLISHED TRASH/ RUBBLE/CONSTRUCTION DEBRIS ON A DAILY BASIS FROM THE WORK AREA AND OFF OWNERS PROPERTY. ALL TRASH/RUBBLE/CONSTRUCTION DEBRIS DEEMED AS HAZARDOUS WASTE/MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH EPA OR ANY OTHER PERTINENT GOVERNING AGENCY AND DISPOSED OF ACCORDINGLY AT AN APPROVED HAZARDOUS WASTE DUMPSITE WITH ALL OF THE APPROVED/REQUIRED DOCUMENTATION.
- COORDINATE AND PHASE WORK IN CONJUNCTION WITH OTHER TRADE PHASING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL HIS EMPLOYEES WITH SAFE AND HEALTHY WORKING CONDITIONS AS PRESCRIBED IN THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION OF THE U.S. DEPARTMENT OF LABOR.
- SECURE AND DELIVER TO THE OWNER'S REPRESENTATIVE ALL CERTIFICATES OF COMPLIANCE REQUIRED BY LOCAL AUTHORITIES.

#### **MECHANICAL GENERAL NOTES:**

- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES.
- CONTRACTOR SHALL FURNISH AND COMPLETE ALL PIPING SYSTEMS TO ALL EQUIPMENT REQUIRING SUCH. VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING LOCATIONS WITH WORK UNDER OTHER DISCIPLINES AND DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS.
- CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE HVAC DUCT SYSTEM TO ALL DIFFUSERS AND/OR EQUIPMENT REQUIRING SUCH. VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE HVAC LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, INSPECTION CERTIFICATES, ETC. REQUIRED UNDER THE
- CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION, AND NOTIFY ENGINEERS OF ANY DISCREPANCIES BETWEEN THE PLAN AND CONDITIONS AND/OR POTENTIAL PROBLEMS OBSERVED PRIOR TO CONTINUING WORK.
- DO NOT SCALE THE PLANS. FIELD VERIFY EXACT LOCATIONS OF DOORS, WINDOWS, WALL DIMENSIONS, ETC.
- CONTRACTOR WILL GIVE SUITABLE NOTICE TO ALL APPLICABLE UTILITY COMPANIES AND OWNER PRIOR TO PERFORMING WORK INVOLVING UTILITIES.
- ALL EQUIPMENT SHALL BE HANDLED, STORED, AND PROTECTED TO PREVENT DAMAGE BEFORE AND DURING INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ALL EQUIPMENT SHALL BE LOCATED AND INSTALLED IN A READILY ACCESSIBLE LOCATION SO AS TO PERMIT ACCESS FOR SERVICE WITHOUT DAMAGE TO BUILDING OR FINISHED MATERIALS. PER MANUFACTURER'S INSTRUCTIONS AND
- ALL MATERIALS SHALL BE NEW AND SHALL FIT THE SPACE AVAILABLE. VERIFY DIMENSIONS AT SITE.
- ALL PIPING, APPARATUS, AND EQUIPMENT, ETC. SHALL BE PROPERLY SUPPORTED, BRACED VERTICALLY AND HORIZONTALLY IN ACCORDANCE WITH APPLICABLE CODES.
- VALVES AND FITTINGS SHALL BE OF THE SAME SIZE AS THE PIPING FOR WHICH THEY ARE INSTALLED, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY AND CORRECT SYSTEMS AS REQUIRED TO MEET ALL CODES AND REGULATIONS AND VERIFY AND CORRECT ANY/ALL POSSIBLE DISCREPANCIES BETWEEN TYPE AND SIZE OF CONNECTIONS SPECIFIED IN THE EQUIPMENT SCHEDULES AND EQUIPMENT ACTUALLY INSTALLED.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL EQUIPMENT SHOWN ON PLANS, INCLUDING COORDINATION OF ANY EQUIPMENT OF ALTERNATE MANUFACTURER. CONTRACTOR SHALL PROVIDE COMPOSITE DRAWINGS AS REQUIRED FOR INSTALLATION OF EQUIPMENT SHOWN ON PLAN FOR APPROVAL BY ENGINEER.
- 15. ALL ROOF ACCESSORIES SHALL BE COMPATIBLE WITH ROOFING SYSTEMS AS REQUIRED.
- CONTRACTOR SHALL BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL OTHER DISCIPLINES.
- PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE TESTED, BALANCED, AND OPERATED TO DEMONSTRATE TO THE OWNER, OR HIS OR HER DESIGNATED REPRESENTATIVE, THAT THE INSTALLATION AND PERFORMANCE OF THESE SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE DESIGN INTENT.
- 18. CONTRACTOR SHALL INSTALL DUCTWORK SYSTEMS PER LATEST SMACNA MANUALS, DUCT WORK SYSTEMS SHALL BE GALVANIZED G90 SHELL STEEL RATED FOR A PRESSURE CLASS OF 2" WG.
- CONTRACTOR SHALL REPAIR/PATCH ALL SURFACES/WALLS DAMAGED BY CONSTRUCTION.

COOLING

CONTROL

**CLEAN OUT** 

CONDENSATE

CONTINUED

DECIBEL

DIAMETER

DIMENSION

**EXISTING** 

**CONDENSATE PUMP** 

**CABINET UNIT HEATER** 

DECIBEL A-WEIGHTED

DRY BULB TEMPERATURE

CONSTRUCTION MANAGER

CM

CNTRL

COND

CONT

CUH

DB

DIM

DN

DSD

DWG

- **ABBREVIATIONS:** ABV ABOVE AIR CONDITIONING UNIT AC ACCESS DOOR ABOVE FINISHED FLOOR **ACCESS PANEL BUILDING AUTOMATION SYSTEM** BAS BALANCING (VOLUME) DAMPER BDD BACKDRAFT DAMPER BLW BOD BOTTOM OF DUCT **BOTTOM OF PIPE** BRITISH THERMAL UNITS PER HOUR CFM **CUBIC FEET PER MINUTE** CLG
  - OED OPEN END DUCT **REMOVE RETURN GRILLE** RPM **REVOLUTIONS PER MINUTE** SCHEDULE SEASONAL ENERGY EFFICIENCY RATIO SEER SENS SENSIBLE
  - SG SUPPLY GRILLE

MOCP

SHEET METAL & AIR-CONDITIONING CONTRACTOR NATIONAL ASSOCIATION SPECS SPECIFICATIONS

VARIABLE FREQUENCY DRIVE

WET BULB TEMPERATURE

WIRE MESH SCREEN

APPLICABLE CODES:

MAXIMUM OVERCURRENT PROTECTION

NORMALLY CLOSED

NOT IN CONTRACT

NORMALLY OPEN

OUTSIDE DIAMETER

NOT TO SCALE

OUTSIDE AIR

- STAINLESS STEEL STA STATION STANDARD
- SUCTION TYP **TYPICAL** UNIT HEATER
- UON UNLESS OTHERWISE NOTED VENT LINE

WITH

WITHOUT

- VOLTS/PHASE/HERTZ V/PH/HZ VARIABLE AIR VOLUME
- **VOLUME DAMPER**
- **EXHAUST AIR** EAT **ENTERING AIR TEMPERATURE**
- ELECTRICAL CONTRACTOR

DUCT SMOKE DETECTOR

- ENTERING DRY BULB TEMPERATURE **ENERGY EFFICIENCY RATIO**
- EER EXHAUST FAN
- EXHAUST GRILLE
- **ELEVATION** ELEC
- EQUIPMENT
- EXHAUST REGISTER EST **ESTIMATED**
- ELECTRIC UNIT HEATER
- ENTERING WET BULB TEMPERATURE EXT
- EXTERNAL **DEGREES FAHRENHEIT**
- FIRE DAMPER
- FLR FLOOR FEET PER MINUTE
- FSD FIRE/SMOKE DAMPER
- FT FEET
- NATURAL GAS PIPING
- GΑ GAUGE **GALLONS PER HOUR**
- GALVANIZED STEEL
- **HORSEPOWER** HTG HEATING
- INTEGRATED ENERGY EFFICIENCY RATIO **IEER**
- **INCHES WATER GAGE** IN WG
- INV EL INVERT ELEVATION
- JAN JANITOR'S
- ΚW **KILOWATTS**
- LEAVING AIR TEMPERATURE
- LBS POUNDS
- LRA
- LOCKED ROTOR AMPS LV LOUVER
- LWB LEAVING WET BULB TEMPERATURE
- BTU-H IN 1000'S MAXIMUM CIRCUIT AMPACITY
- MAXIMUM FUSE SIZE
- MISCELLANEOUS

#### **DUCT SYMBOLS:**

 $\mathbf{L}$ 

SUPPLY DUCT TURNING UP (ROUND OR

RETURN DUCT TURNING UP

RETURN DUCT TURNING DOWN

EXHAUST DUCT TURNING DOWN

EXHAUST DUCT TURNING UP

CEILING SUPPLY DIFFUSER

TO ROUND DUCT TRANSITION

FLEXIBLE DUCT CONNECTOR

VOLUME BALANCING DAMPER

INDICATES ROUND DUCTWORK (DIAMETER)

FLEXIBLE DUCT

MOTORIZED DAMPER

SUPPLY AIR FLOW

FIRE DAMPER

SUPPLY DUCT TURNING DOWN (ROUND OR

CEILING RETURN, EXHAUST OR TRANSFER

MITERED ELBOW WITH TURNING VANES

SQUARE OR RECTANGULAR DUCTWORK

RECTANGULAR)

RECTANGULAR)

**VALVES AND ACCESSORIES: AUTOMATIC AIR VENT** AUTOMATIC FLOW CONTROL VALVE BALANCING VALVE WITH TEST PORTS **BLIND FLANGE BOTTOM CONNECTION** CAPPED PIPE **CHECK VALVE** CONCENTRIC REDUCER **DIRECTION OF FLOW ECCENTRIC REDUCER ——** FLANGED CONNECTION **EXPANSION COMPENSATOR** RECTANGULAR TO ROUND DUCT TRANSITION FLOW MEASURING DEVICE FLOW METER RECTANGULAR TO RECTANGULAR TO ROUND —₩ GLOBE VALVE MANUAL AIR VENT PRESSURE/TEMPERATURE TEST PLUG PIPE ANCHOR PRESSURE REDUCING VALVE PRESSURE RELIEF VALVE RETURN, EXHAUST OR TRANSFER AIR FLOW PRESSURE GAUGE WITH GAUGE COCK SHUTOFF VALVE (SEE SPECIFICATIONS FOR STRAINER STRAINER W/BLOW DOWN VALVE TWO WAY CONTROL VALVE THREE WAY CONTROL VALVE

#### CONTROLS

ANALOG INPUT (TO PANEL) ANALOG OUTPUT (OUT OF PANEL)

AIR FLOW DIRECTION ARROW

**DIGITAL INPUT (TO PANEL)** DIGITAL OUTPUT (OUT OF PANEL)

CARBON DIOXIDE SENSOR

- NFPA-90B STANDARD FOR THE INSTALLATION OF WARM AIR HEATING AND AIR-CONDITIONING SYSTEMS NFPA-72 NATIONAL FIRE ALARM AND SIGNALING CODE
- 2018 INTERNATIONAL FUEL GAS CODE (2018 IFGC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (2018 IECC)
- 2018 INTERNATIONAL BUILDING CODE (2018 IBC)

2018 INTERNATIONAL MECHANICAL CODE (2018 IMC)

CONDITIONING AND VENTILATION SYSTEMS

NFPA-90A STANDARD FOR THE INSTALLATION OF AIR

2018 INTERNATIONAL EXISTING BUILDING CODE (2018 IEBC)

### **SPECIFICATIONS:**

IN ADDITION TO BELOW, PLEASE REFER TO BOOK SPECIFICATION

#### **DUCTWORK:**

COMPLY WITH SMACNA'S "HVAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE" FOR ACCEPTABLE MATERIALS, MATERIAL THICKNESS, AND DUCT CONSTRUCTION METHODS UNLESS OTHERWISE INDICATED. SHEET METAL MATERIALS SHALL BE FREE OF PITTING, SEAM MARKERS, ROLLER MARKS, STAINS, DISCOLORATIONS, AND OTHER IMPERFECTIONS.

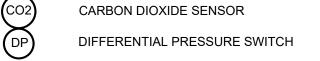
- 1. GALVANIZED SHEET STEEL SHALL COMPLY WITH ASTM A653/A653M WITH COATING DESIGNATION OF G90. DUCTWORK FINISHES FOR SURFACES EXPOSED TO VIEW SHALL BE MILL PHOSPHATIZED.
- DUCTWORK SHALL HAVE A PRESSURE CLASS OF POSITIVE 3 INCHES WITH MINIMUM SMACNA SEAL CLASS A.
- 3. DUCTWORK SHALL COMPLY WITH ASTM A653/A GALVANIZED STEEL

#### CONDENSATE DRAIN PIPING:

CONDENSATE DRAIN PIPING SHALL BE TYPE M, DRAWN-TEMPER COPPER TUBING, WROUGHT COPPER FITTINGS, AND SOLDERED JOINTS. ROUTE PIPE TO SPLASH BLOCK.

#### NATURAL GAS PIPING

NATURAL GAS PIPING SHALL BE STEEL PIPE COMLPYING WITH ASTM A53/A53M, BLACK STEEL, SCHEDULE 40, TYPE E OR S, GRADE B.



DIFFERENTIAL PRESSURE SENSOR DUCT SMOKE DETECTOR

CONTROL WIRING (SIGNAL PATH)

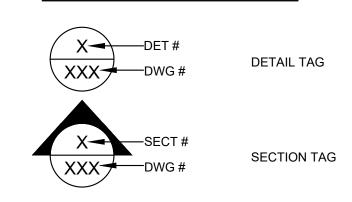
- **FAN ON-OFF SWITCH FIRESTAT**
- **FREEZESTAT**
- MOTOR
- MOTORIZED DAMPER NORMALLY CLOSED
- NORMALLY OPENED
- STATIC PRESSURE SENSOR S SWITCH
- ZONE TEMPERATURE SENSOR
- TEMPERATURE TRANSMITTER

VARIABLE SPEED DRIVE

THERMOSTAT

## **GENERAL SYMBOLS**

THERMOMETER



—EQUIP TYPE EQUIP#

**EQUIPMENT TAG** 

MEP ENGINEER: **ARORA ENGINEERS** 1600 Market Street, Suite 1630

KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 215 925 0425 LANDSCAPE ARCHITECTS

GROUND RECONSIDERED 230 South Broad Street 215 790 0727

Chester Springs, Pennsylvania 19425 610 554 6560 STRUCTURAL ENGINEER ANN ROTHMAN

## CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

MECHANICAL ABBREVIATIONS.

73217 03/15/24 AS NOTED CY ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



REVISIONS

09/15/2023 CD PROGRESS SET

REVISIONS

DATE

ISSUE

PROJECT COORDINATOR PRIYANKA MALIK

CONSTRUCTION DOCUMENTS

**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

Philadelphia, Pennsylvania 19103 215 372 1365

CIVIL ENGINEER:

Philadelphia, Pennsylvania 19102

Philadelphia, Pennsylvania 19102 COST CONSULTANT
DHARAM CONSULTING

107 Magnolia Drive

STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wavne, Pennsylvania 19087 610 213 3657

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

SYMBOLS, LEGEND & GENERAL NOTES

- REFER TO DRAWING M0.0(1) FOR MECHANICAL
   ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL
   NOTES
- NOT ALL DEMOLITION KEYED NOTES ARE USED. DEMOLITION KEYED NOTES LISTED ARE USED FOR PHASE 1 AND PHASE 2
- 3. PATCH FLOOR, WALL, AND CEILING OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.
- REMOVE EXISTING FINNEDTUBE OR CONVECTOR IN ITS ENTIRETY INCLUDING SUPPORTS, COVERS, COILS, PIPING, VALVES,

**KEYED NOTES:** 

- CONTROLS AND ACCESSORIES.

  ACTUATORS, POWER WIRING PIPING, INSULATION, AND ACCESSORIES

  ACTUATORS, POWER WIRING PIPING, INSULATION, AND ACCESSORIES

  ACTUATORS, POWER WIRING PIPING, INSULATION, AND ACCESSORIES

  ACTUATORS, POWER WIRING PIPING, INSULATION, AND ACCESSORIES
- REMOVE EXISTING SUPPLY AIR DEVICE IN ITS ENTIRETY INCLUDING HANGERS, DAMPERS, DUCTWORK, INSULATION, SUPPORTS AND HANGERS AND ACCESSORIES.
- REMOVE EXISTING THERMOSTAT IN ITS ENTIRETY INCLUDING HANGERS, SUPPORTS, AIR TUBING, WIRING, CONTROLS AND ACCESSORIES.
- REMOVE EXISTING HEATING WATER SUPPLY PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES.
- REMOVE EXISTING HEATING WATER RETURN PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES.
- 7 REMOVE EXISTING THRU-WALL AIR CONDITIONER IN ITS ENTIRETY. MECHANICAL CONTRACTOR TO CLEAN AND STORE FOR FUTURE USE. THE EXISTING THRU-WALL AIR CONDITIONER SHALL BE STORED FOR RE-INSTALLATION IN PHASE 1 NEW WORK.
- REMOVE EXISTING WALL PROPELLER FAN IN ITS ENTIRETY.
  MECHANICAL CONTRACTOR TO CLEAN AND STORE FOR FUTURE
  USE. THE EXISTING THRU-WALL AIR CONDITIONER SHALL BE
  STORED FOR RE-INSTALLATION IN PHASE 1 NEW WORK.

ISSUE DATE REVISIONS

09/15/2023 CD PROGRESS SET



#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK

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## CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

PENNSYLVANIA

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENN

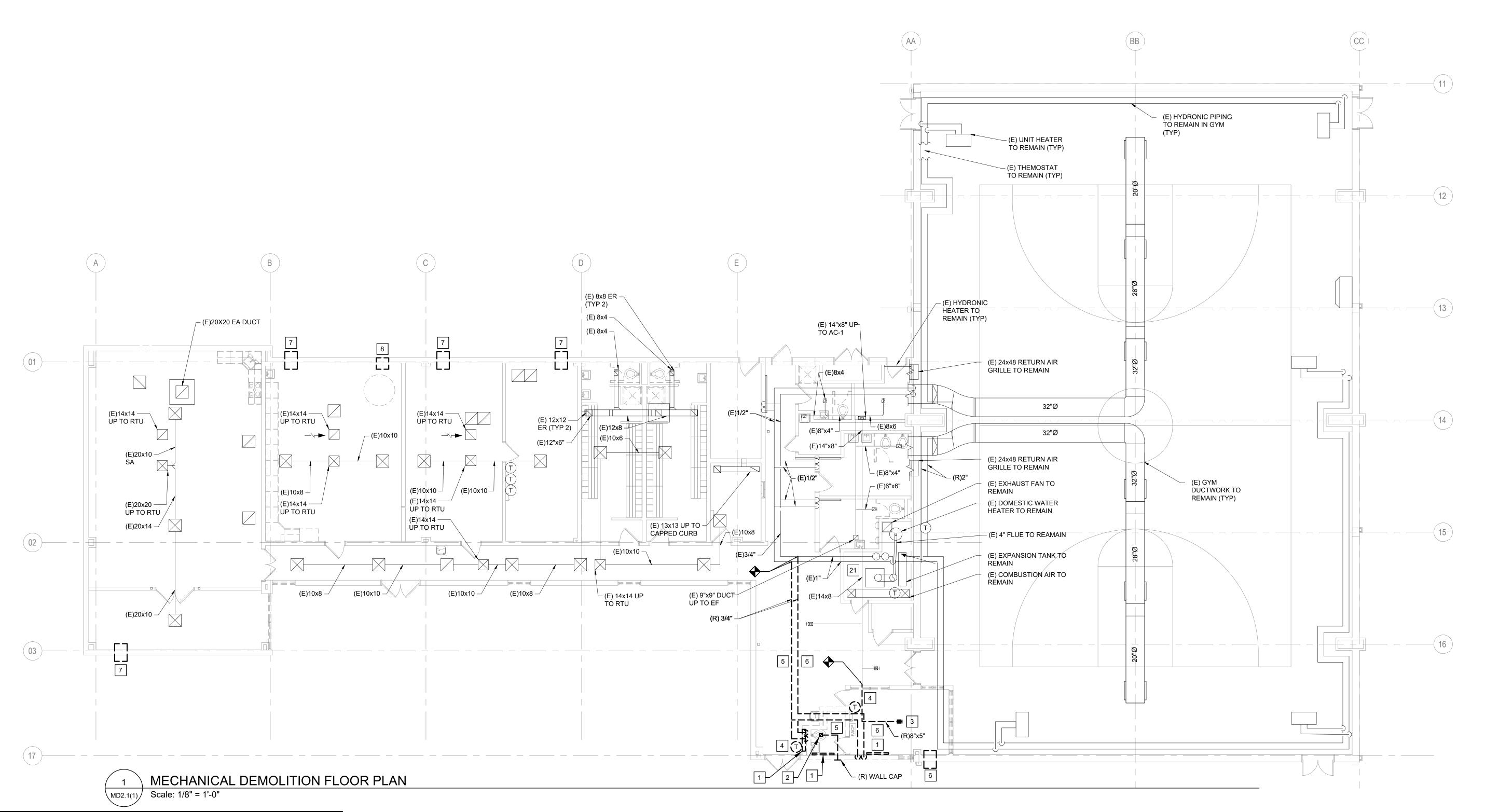
PROJECT TITLE

CHRISTY RECREATION CENTER RENOVATION - PHASE 1

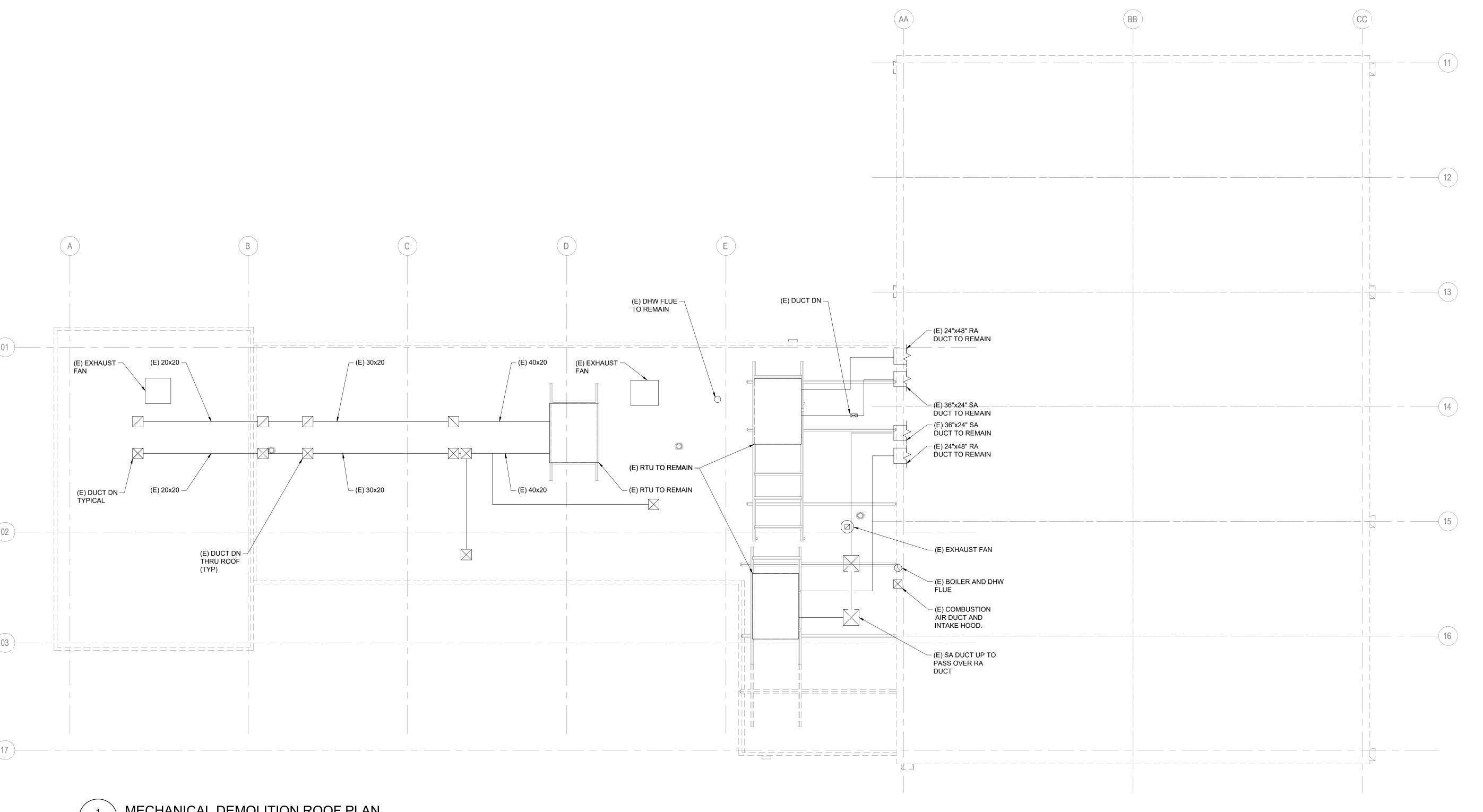
DRAWING TITLE

MECHANICAL DEMOLITION FLOOR PLAN

PROJECT N	10.	DRAWING NO.
7	<b>7</b> 3217	
DATE	03/15/24	MD2.1(1)
SCALE	AS NOTED	
DRAWN BY	CY	
CHECKED I	DM	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS S CONTACTOR AT THE SITE BEFORE PRO	

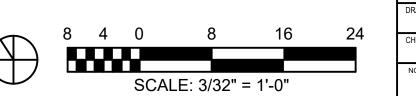


REFER TO DRAWING M0.0(1) FOR MECHANICAL
 ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL
 NOTES



1 MECHANICAL DEMOLITION ROOF PLAN

MD2.2(1) Scale: 1/8" = 1'-0"



	REVI	SIONS
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



#### CONSTRUCTION DOCUMENTS

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## CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

PENNSYLVANIA

DEPARTMENT OF PARKS & REGI

11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENN

DIFCT TITLE

## CHRISTY RECREATION CENTER RENOVATION - PHASE 1

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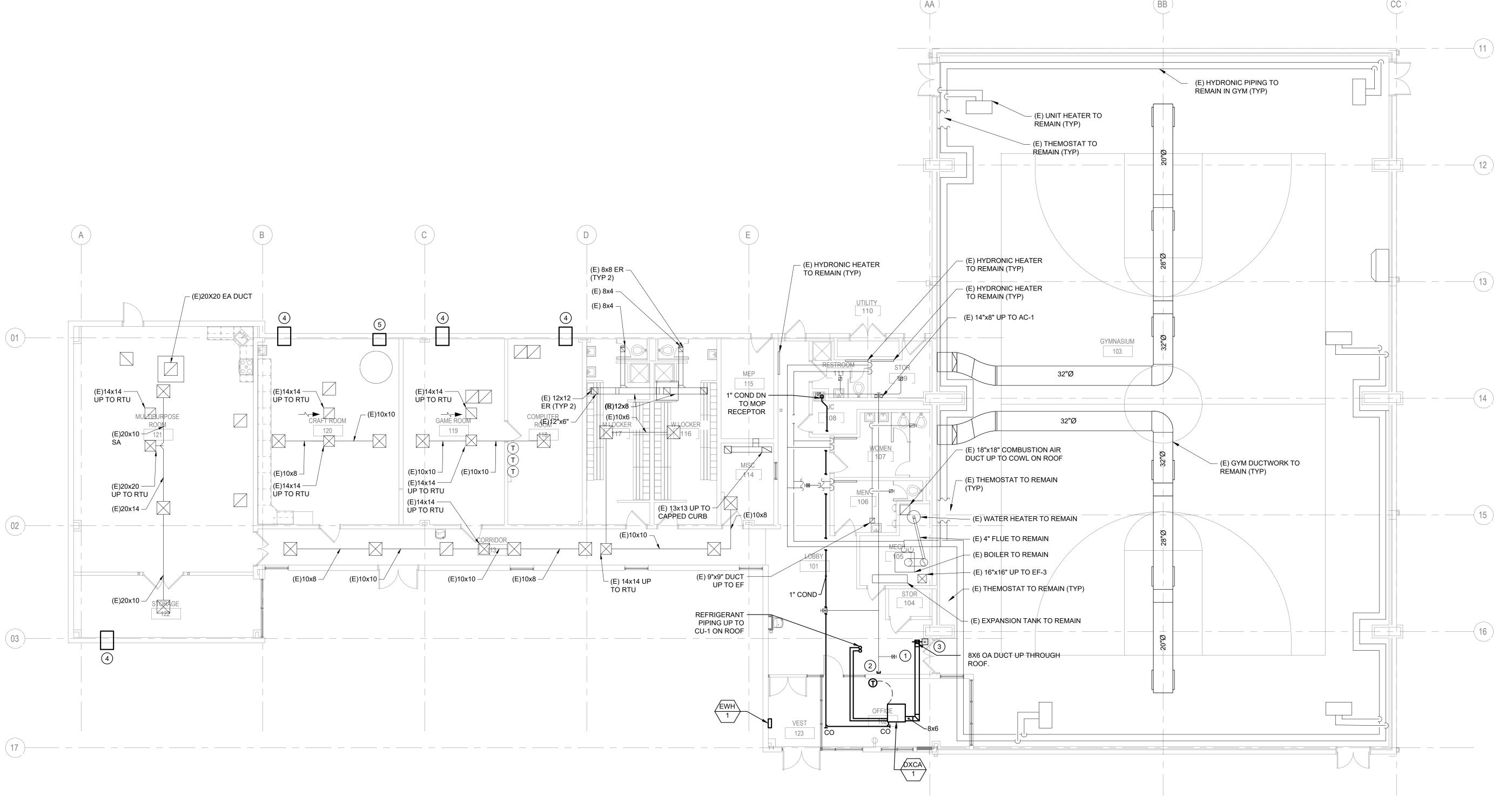
MECHANICAL DEMOLITION ROOF PLAN

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1. REFER TO DRAWING M0.0(1) FOR MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL

## **KEYED NOTES:**

- 1) TRANSFER AIR DUCT OPEN TO EXHAUST AIR PLENUM ABOVE CORRIDOR CEILING.
  - (2) CAP SA DUCT.
- (3) MOD SHALL BE INTERLOCKED WITH CEILING CASSETTE DXCA-1.
- 4) RE-INSTALL EXISTING THRU-WALL AIR CONDITIONER. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
- (5) RE-INSTALL EXISTING PROPELLER FAN. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.



√ M2.1(1) /

MECHANICAL PROPOSED FLOOR PLAN

Scale: 1/8" = 1'-0"

REVISIONS ISSUE DATE 09/15/2023 | CD PROGRESS SET



#### CONSTRUCTION DOCUMENTS

PRIYANKA MALIK

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#### 215 790 0727 COST CONSULTANT DHARAM CONSULTING 107 Magnolia Drive Chester Springs, Pennsylvania 19425

610 554 6560 STRUCTURAL ENGINEER
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Wayne, Pennsylvania 19087

## CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA

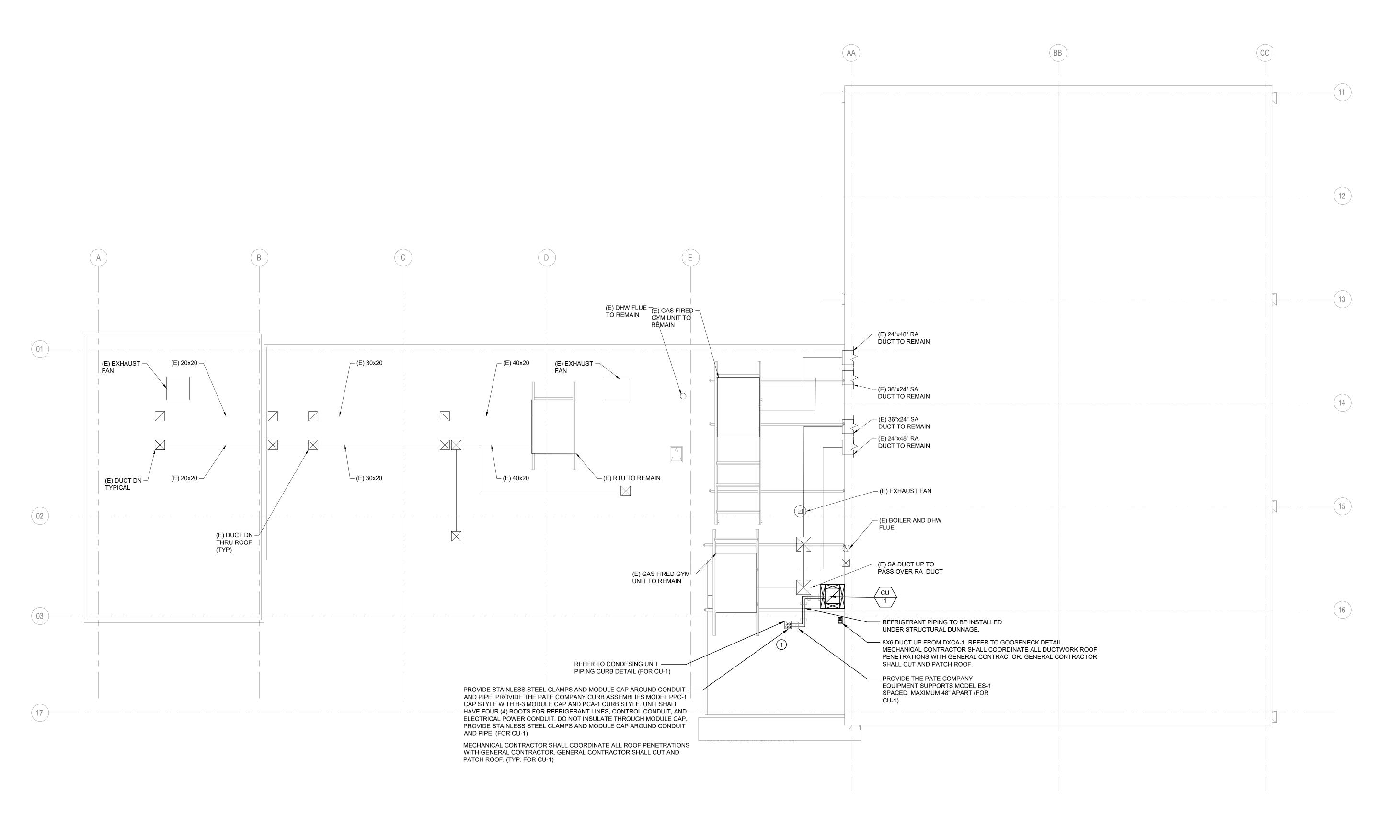
610 213 3657

#### **CHRISTY RECREATION CENTER RENOVATION - PHASE 1**

PENNSYLVANIA

MECHANICAL PROPOSED FLOOR PLAN

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NOTE:	ALL DIMENSIONS AND CONDITIONS SI CONTACTOR AT THE SITE BEFORE PRO	



M2.2(1)

MECHANICAL PROPOSED ROOF PLAN

Scale: 1/8" = 1'-0"

### **GENERAL NOTES:**

#### 1. REFER TO DRAWING M0.0(1) FOR MECHANICAL

ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.

#### **KEYED NOTES:**

1 ALL EXTERIOR HVAC EQUIPMENT SHALL BE PROTECTED BY STEEL COMMERCIAL THEFT/VANDALISM SECURITY PROTECTION CAGES. THE PHYSICAL SIZE, ETC. OF EACH SECURITY CAGE SHALL BE UNIQUELY DETERMINED BY THE SECURITY CAGE PROVIDER TO MATCH THE DIMENSIONS AND OPERATING REQUIREMENTS OF EACH UNIT PROTECTED. THE SECURITY CAGES SHALL BE OF SUFFICIENTLY ROBUST CONSTRUCTION AND SECURELY ATTACHED TO THE STEEL DUNNAGE OR ROOF TO PROTECT THE EQUIPMENT FROM ALL THEFT AND VANDALISM. THE SECURITY CAGES SHALL HAVE SUFFICIENT OPEN FREE AREA FOR ALL REQUIRED AIR MOVEMENT FOR PROPER EQUIPMENT OPERATION. THE SECURITY CAGES SHALL BE PROVIDED WITH SUFFICIENTLY LARGE OPERABLE OR DEMOUNTABLE NORMALLY SECURED ACCESS MEAN TO PREFORM ALL REQUIRED EQUIPMENT MAINTENANCE, WHILE PREVENTING UNAUTHORIZED ENTRY. THE ACTUAL DESIGN OF THE SECURITY CAGES SHALL BE PERFORMED BY THE SECURITY CAGE PROVIDED AS A DELEGATED DESIGN AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. THE DESIGN OF THE SECURITY CAGES SHALL BE BASED UPON THE REQUIREMENTS OF THE ACTUAL EQUIPMENT (MAKE/MODEL) INSTALLED UNDER THIS PROJECT.



	REVI	SIONS
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR PRIYANKA MALIK

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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

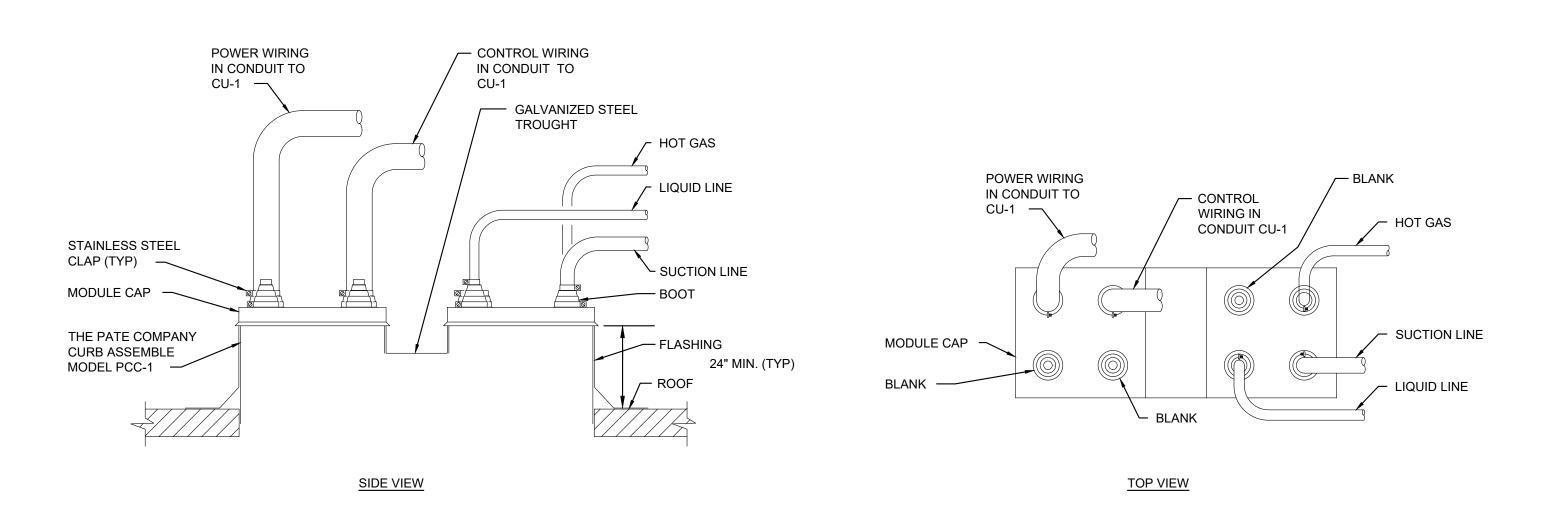
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

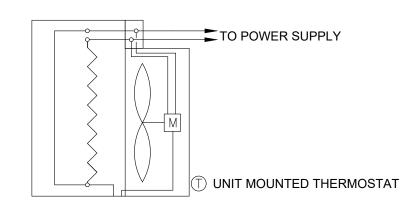
MECHANICAL PROPOSED ROOF PLAN

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NOTE:	ALL DIMENSIONS AND CONDITIONS S CONTACTOR AT THE SITE BEFORE PRO	



1 CONDENSING UNIT REFRIGERANT PIPING CURB DETAIL

M8.1(1) NOT TO SCALE

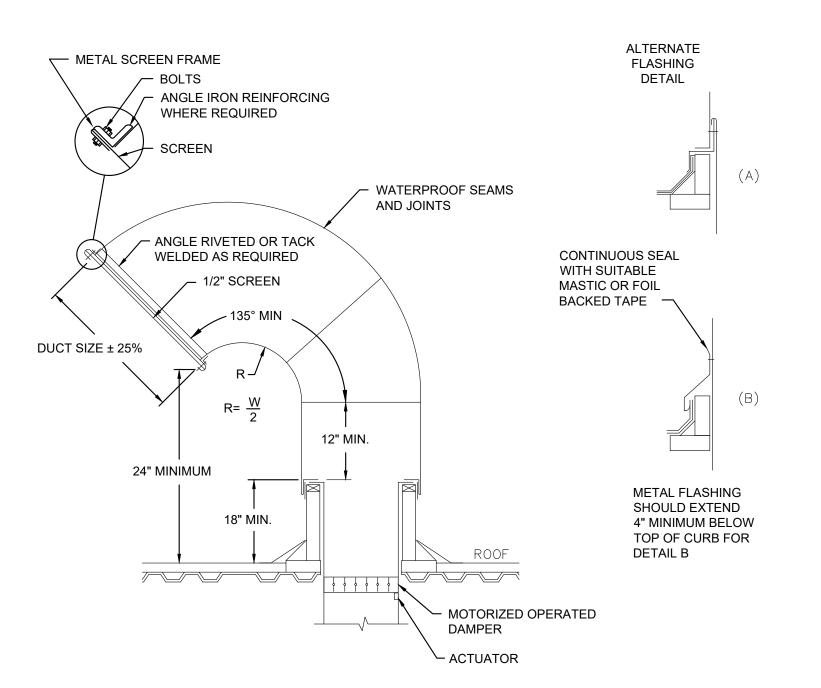


NOTE: PROVIDE SUPPORTS AND CLEARANCES FOR UNIT HEATER PER MANUFACTURER INSTALLATION INSTRUCTIONS.



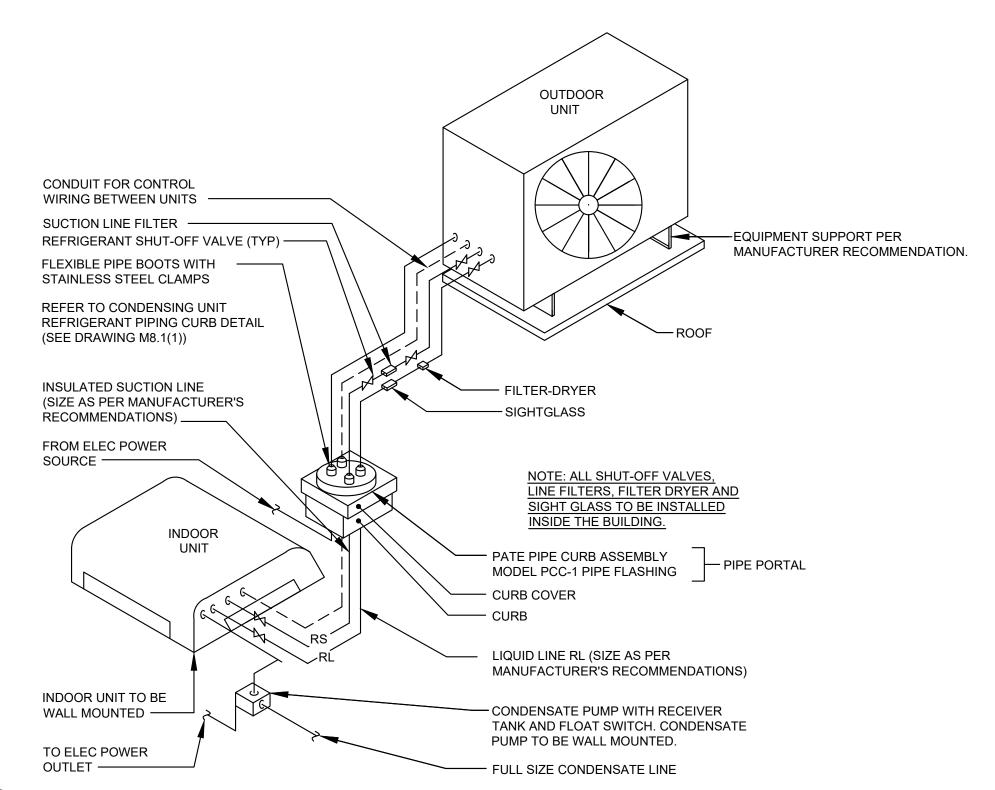
#### **GENERAL NOTES:**

REFER TO DRAWING M0.0(1) FOR MECHANICAL
 ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL
 NOTES



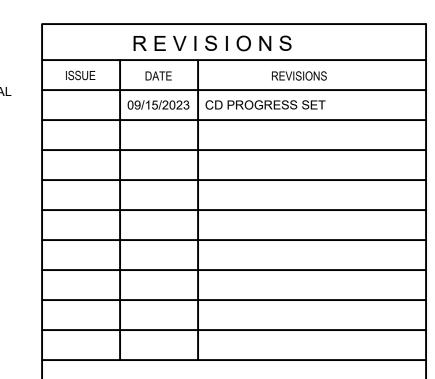
2 RECTANGULAR GOOSENECK DETAIL

NOT TO SCALE



4 DX DUCTLESS SPLIT SYSTEM DETAIL

M8.1(1) NOT TO SCALE





#### CONSTRUCTION DOCUMENTS

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Chester Springs, Pennsylvania 19425

## CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

610 213 3657

## CHRISTY RECREATION CENTER RENOVATION - PHASE 1

IG TITLE

MECHANICAL DETAILS

PROJECT NO.

73217

DATE 03/15/24

SCALE AS NOTED

DRAWN BY CY

CHECKED BY DM

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

	DIRECT-EXPANSION CASSETTE UNIT SCHEDULE (INDOOR)																							
MARK	MAKE	MODEL	LOCATION	SERVICE	MOTOR	T	CFM DX COOLING COIL Electric Heat											HEAT F	PUMP		ELECTRICAL	OPER	REMARKS	
		NUMBER	!	'		SA	RA	OA	TOT	SENS	REFRIG	ENT	ENT	LEAV	LEAV	TOT	ELECTRIC	TOT	FLOW	EAT	LAT	1	WT	1
			!	'		1	1		CAP	CAP		DB	WB	DB	WB	CAP	HEATER	CAP	MAX			ļ	1	1
			!	'		1	1															ļ	1	1
			!	,	HP	,			MBH	MBH		°F	°F	°F	°F	MBH	KW	MBH	CFM	°F	°F		LB	1
DXCA-1	MODINE	CSH30BAEABNDN	OFFICE 102	OFFICE 102	(2) 1/6	590	565	25	31	25.4	R-410A	80.0	67.0	55.0	54.0	17.0	5.0	27	590.0	60.0	95.0	208/60/1	215	SEE NOTES
										•	•			•	•	•								

PROVIDE DISCONNECT SWITCH

- 2. PROVIDE SEPARATE WALL-MOUNTED 120-V COOLING-COIL CONDENSATE PUMP (MFR: BLUE
- DIAMOND, MODEL X87-11, WITH MFR'S SAFETY OVERFLOW SWITCH, CHECK VALVE, ANTI-SWEAT S/S WALL BRACKET AND ANTI-SWEAT TANK SLEEVE). 2-YR WARRANTY.
- WIRE TO POWER SOURCE. EXTEND DISCHARGE PIPE TO CONDENSATE DRAIN PIPING SYSTEM. WIRE SAFETY OVERFLOW SWITCH TO SHUT-OFF A/C UNIT.
- 3. PROVIDE DX COIL AND HEAT PUMP OPERATION W/ ELECTRIC HEATER
- 4. PROVIDE INSULATED REFRIGERATION-PIPE LINE SETS FROM UNIT MFR. SIZES APPROVED BY MANUFACTURER.
- 5. PROVIDE POWER AND CONTROL WIRING BETWEEN INDOOR AND OUTDOOR UNITS.
- 6. PROVIDE Merv 10 FILTER.
- 7. PROVIDE PROVIDE THEMOSTAT (1 STAGE COOLING AND 2 STAGE HEATING).
- 8. PROVIDE OUTSIDE AIR KIT.

O. I NO VIDE OUT OIDE / III	X 1 X1
9. PROVIDE SPARE FILT	ER

			co	NDENSING	UNIT SCHED	ULE					
TAG	BASIS OF DESIGN MANUFACTURER	MODEL NUMBER	LOCATION	SERVING	CAPACITY	AMB MAX	IENT DB MIN	REFRIGERANT	ELEC SERVICE	OPER WT	REMARKS
					TONS	°F	°F			LB	
CU-1	MODINE	YH2E30	ROOF ABOVE OFFICE 102	DXCA-1	2	120	47	R-410A	208/60/1	140	SEE NOTES

- 1. INCLUDE LOW-AMBIENT CONTROL AND ACCESSORIES TO ALLOW COOLING AT SCHEDULED MINIMUM AMBIENT DB.
- 2. CAPACITY CONTROL BY VARIABLE-SPEED COMPRESSOR WITH INVERTER.
- 3. PROVIDE POWER AND CONTROL WIRING BETWEEN INDOOR AND OUTDOOR UNITS.
- 4. PROVIDE WIRING FROM OUTDOOR UNIT TO POWER INDOOR UNIT. REFER TO DIRECT- EXPANSION CASSETTE UNIT SCHEULE.

				E	LECTRIC WALL HE	ATER SCH	HEDULE						
TAG	BASIS OF DESIGN		LOCATION	SERVICE	ARRANGEMENT	FA		CAPACITY	CONTROL	EAT	LAT	ELECTRICAL	REMARKS
	MANFACTURER	NUMBER				AIRFLOW CFM	SPEED	WATTS		°F	°F		
EWH-1	MARKEL	HF3324TD-RP	VESTIBULE	VESTIBULE	WALL-MOUNTED	125	SINGLE	2000	ON/OFF BY TSTAT	65	95	SEE ELEC DWGS	1, 2

- . PROVIDE THE FOLLOWING:
  - A. COLOR AS SELECTED BY ARCHITECT
- B. DISCONNECT SWITCH
- C. UNIT TO BE SURFACE MOUNTED D. TOTALLY-ENCLOSED STEEL FIN SHEALTH ELEMENT
- PROVIDE THERMOSTAT/SENSOR.

	REVI	SIONS
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



#### CONSTRUCTION DOCUMENTS

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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

610 213 3657

#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

PENNSYLVANIA

MECHANICAL SCHEDULES

PROJECT N	0.	DRAWING NO.
7	3217	
DATE	03/15/24	M9.1(1)
SCALE	AS NOTED	
DRAWN BY	CY	
CHECKED B	y DM	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS S	HALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

#### **ELECTRICAL GENERAL NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS ADOPTED BY MUNICIPAL, COUNTY, STATE, AND FEDERAL AUTHORITIES, INCLUDING THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) NFPA 70. AND WITH THE REQUIREMENTS/AMENDMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ).
- CONTRACT DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO CONVEY SCOPE, DESIGN INTENT, AND GENERAL ARRANGEMENT ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK OF ALL TRADES INCLUDING RESOLUTION OF FIELD CONFLICTS THAT MAY ARISE.
- EACH FEEDER AND BRANCH CIRCUIT SHALL INCLUDE AN INSULATED EQUIPMENT GROUNDING CONDUCTOR. BOND ALL ELECTRICAL EQUIPMENT, OUTLET BOXES, GROUNDING TYPE RECEPTACLES, ETC., IN ACCORDANCE WITH NEC ARTICLE 250.
- MULTI-WIRE BRANCH CIRCUITS SHALL NOT BE PERMITTED. EACH 120V AND 277V BRANCH CIRCUIT SHALL INCLUDE DEDICATED NEUTRAL AND INSULATED GROUNDING CONDUCTORS. BOND ALL ELECTRICAL EQUIPMENT, OUTLET BOXES, GROUNDING TYPE RECEPTACLES, ETC., IN ACCORDANCE WITH NEC ARTICLE 250.
- TRUNKING OR GROUPING OF BRANCH CIRCUITS AND FEEDERS SHALL BE PERMITTED, PROVIDED THAT THE NEC RULES PERTAINING TO MAXIMUM ALLOWABLE PERCENT FILL OF RACEWAYS, AND AMPACITY OF ADJUSTMENT FACTORS FOR MORE THAN 3 CURRENT CARRYING CONDUCTORS IN A RACEWAY ARE STRICTLY COMPLIED WITH. THE ELECTRICAL CONTRACTOR SHALL EXERCISE GREAT CAUTION IN PROVIDING AN EQUAL NUMBER OF A. B. AND C PHASE CONDUCTORS WHEN GROUPING CIRCUITS.
- TROUGHS, JUNCTION AND PULL BOXES ARE NOT NECESSARILY INDICATED. BUT SHALL BE PROVIDED WHERE MANDATED BY THE NEC. AND AS REQUIRED FOR EASE OF INSTALLATION. BOXES SHALL BE SIZED (MINIMUM) IN ACCORDANCE WITH NEC ARTICLE 314. TROUGHS SHALL BE SIZED PER NEC ARTICLE 366.
- FEEDER AND BRANCH CIRCUIT WIRING ARE DEPICTED BY ASSIGNMENT OF CIRCUIT NUMBERS, INTERCONNECTING WIRING AND HOMERUNS, OR HOMERUNS ONLY (FOR SINGULAR LOADS). ALL FEEDERS AND BRANCH CIRCUITS ARE NEW TO BE PROVIDED UNDER THIS CONTRACT UNLESS OTHERWISE NOTED. INTERIOR WIRING SHALL BE INSTALLED IN RIGID METALLIC CONDUIT AND/OR EMT, 3/4" MINIMUM. FLEXIBLE METAL CONDUIT, LIQUID-TIGHT FLEXIBLE METAL CONDUIT SHALL BE UTILIZED IN LIMITED LENGTHS AS NECESSARY, OR AS REQUIRED/ALLOWED BY CODE.
- ALL NEW 600V OVER-CURRENT PROTECTIVE DEVICES SHALL HAVE INTERRUPTING CAPABILITIES OR RATINGS (AIC OR AIR) IN RMS AMPERES SYMMETRICAL. ALL DEVICES SHALL BE FULLY RATED FOR AVAILABLE FAULT CURRENT. ALL PANELBOARDS, SWITCHBOARDS, MDPS, DEVICES, ETC. SHALL BE FULLY RATED.
- ALL BUILDING WIRE SHALL BE COPPER CONDUCTORS, TYPE THHN/THWN-2 (DUAL LISTED) 90 DEGREE CELSIUS RATED INSULATION, #12 AWG MINIMUM. UTILIZE #10 AWG WIRE FOR ANY 15A OR 20A, 120V CIRCUIT THAT EXCEEDS 100 FEET FROM SOURCE TO LAST DEVICE OR OUTLET.
- 10. ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL AN APPROVED, UL LISTED, FIRE STOP SEALANT, TOTALLY ENCLOSING ALL PENETRATIONS THROUGH RATED CEILINGS, WALLS, ROOFS, FLOORS, ETC. ALL FLOOR PENETRATIONS SHALL BE CORE-DRILLED, SLEEVED AND SEALED WITH AN APPROVED FIRE RATED SEALANT. ELECTRICAL CONTRACTOR SHALL SUBMIT LETTER TO OWNER THAT THE REQUIRED FIRE SEALANT WAS INSTALLED PER MANUFACTURER'S REQUIREMENTS. ALL EXISTING PENETRATIONS BETWEEN FLOORS AND WALLS MUST BE CLOSED TO MAINTAIN FIRE RATING.
- THE ELECTRICAL CONTRACTOR SHALL PERFORM THE WORK AS INDICATED ON THE DRAWINGS. ANY DEVIATIONS FROM THE DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL IN WRITING. IF CHANGES ARE MADE WITHOUT THE ENGINEER'S WRITTEN CONSENT, THE ELECTRICAL CONTRACTOR SHALL BE LIABLE FOR ANY ISSUES THAT MAY ARISE DUE TO THE CHANGES.
- 12. UNLESS OTHERWISE NOTED, ALL WIRE SIZES SHALL BE BASED ON THE
  - a. #12 THROUGH #1 OR 100A OR LESS TABLE 310.16 60° COLUMN b. #1/0 AND GREATER OR 101A OR GREATER - TABLE 310.16 75° COLUMN
- c. OTHER ALLOWANCES OF 110.14(C)

THE LOCAL UTILITY COMPANY.

- UNLESS OTHERWISE NOTED, FEEDER TAPS AND TRANSFORMER SECONDARY CONDUCTOR TAPS ARE DESIGNED BASED ON THE 10' RULE OF 240.21(B)(1) & 240.21(C)(2).
- 16. UNLESS OTHERWISE NOTED, ALL CONDUIT SIZES SHALL BE BASED ON EMT, RMC, OR RNC (PVC SCHEDULE 40).
- 17. ALL ELECTRICAL MATERIALS, DEVICES, APPLIANCES AND EQUIPMENT SHALL BE NEW, LABELED AND LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY OR AGENCY (E.G. UL), UNLESS OTHERWISE
- 18. THE ELECTRICAL CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF ALL EQUIPMENT IF NOT INDICATED ON DRAWINGS. IF THERE IS A DISCREPANCY, MANUFACTURER'S INSTRUCTIONS TAKE PRECEDENCE.
- 19. THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL EQUIPMENT. LABOR, SERVICES, AND MATERIALS REQUIRED FOR COMPLETE INSTALLATION OF THE WORK INDICATED. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE NEW.
- 20. ALL WIRING, EQUIPMENT, STARTERS AND CONTROLS SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND TO THE REQUIREMENTS OF
- 21. DO NOT SCALE DRAWINGS. ELECTRICAL CONTRACTOR SHALL VERIFY AND CONFIRM ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES ON THE DRAWINGS. COPIES OF THIS DRAWING WITHOUT A PROFESSIONAL ENGINEER'S SEAL AND ORIGINAL SIGNATURE SHALL NOT BE CONSIDERED VALID AND ARE FOR CONVENIENCE TO THE USER AT THEIR OWN RISK.

- 22. ALL WORK SHALL COMPLY WITH THE LATEST REVISION OF THE LOCAL UTILITY'S ELECTRICAL SERVICE REQUIREMENTS (PECO ENERGY'S BLUE BOOK) - COORDINATE ALL SERVICE WORK WITH UTILITY PRIOR TO INSTALLATION. OBTAIN UTILITY APPROVAL BEFORE ENERGIZING NEW WORK. NOTIFY PECO'S NEW BUSINESS SERVICES (FORMERLY CBS) VIA S&M APPLICATION. OBTAIN PECO REQUIREMENTS & DELINEATION OF RESPONSIBILITIES IN WRITING.
- 23. CALL BEFORE YOU DIG (PA ONE CALL SYSTEM 1-800-242-1776 OR DIAL 811). ELECTRICAL CONTRACTOR TO HIRE AN INDEPENDENT UTILITY LOCATING COMPANY TO MARK-OUT CUSTOMER OWNED/PRIVATE PROPERTY FACILITIES BEFORE DIGGING AT ELECTRICAL CONTRACTOR'S EXPENSE.
- 24. THE ELECTRICAL CONTRACTOR TO PLACE NEW EQUIPMENT, RELOCATE CURRENTLY INSTALLED EQUIPMENT, OR RE-WORK EXISTING ROOM AS REQUIRED TO COMPLY WITH WORKING CLEARANCE ISSUES, DEDICATED SPACE ISSUES, AND WITH APPLICABLE CODES.
- 25. ALL NEW BREAKERS AND/OR DEVICES BEING INSTALLED IN EXISTING ELECTRICAL PANELS OR EQUIPMENT SHALL MATCH THE CHARACTERISTICS OF THE EXISTING EQUIPMENT IN MANUFACTURER, TYPE, MINIMUM SHORT CIRCUIT RATING, ETC.
- 26. ELECTRICAL CONTRACOTR TO RE-FEED AND/OR CONNECT NEW FEEDERS TO EXISTING EQUIPMENT AS REQUIRED. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO MAKE ANY REQUIRED AND/OR NECESSARY CHANGES TO THE EXISTING INSTALLATION TO ALLOW FOR NEW SERVICE/FEEDER CONFIGURATION.
- 27. WITH RESPECT TO CONSTRUCTION BASED ON THESE DRAWINGS, THE ELECTRICAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL INSTALLED MEANS AND METHODS MEETING ALL APPLICABLE CODES
- 28. ALL SWITCHES AND CIRCUIT BREAKERS INSTALLED IN WET AND DAMP LOCATIONS SHALL MEET NEC 404.4.
- 29. UNLESS OTHERWISE NOTED, ALL CIRCUIT BREAKERS ARE BASED ON INVERSE TIME TYPE AND ALL FUSES ARE BASED ON DUAL ELEMENT TIME-DELAY TYPE.
- 30. ALL WORK SHALL BE SCHEDULED AND COORDINATED WITH THE OWNER SO THAT DISRUPTION TO THE AREAS INVOLVED OR OTHER PARTS OF THE BUILDING ARE KEPT TO A MINIMUM. ELECTRICAL CONTRACTOR SHALL GIVE OWNER A MINIMUM OF FIVE (5) WORKING DAYS NOTICE OF ANY AND ALL WORK THAT WILL INTERFERE WITH OWNER'S OPERATIONS SO A SCHEDULE SUITABLE TO THE OWNER CAN BE ARRANGED.
- 31. PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE TESTED, BALANCED AND OPERATED TO DEMONSTRATE TO THE OWNER THAT THE INSTALLATION AND PERFORMANCE OF THE INSTALLED SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE
- 32. THE ELECTRICAL CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A MINIMUM PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE. ANY DEFECTS IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER PARTS OF THE BUILDING DAMAGED THEREBY, SHALL BE REPAIRED, REPLACED OR OTHERWISE REMEDIED WITHOUT EXPENSE TO THE OWNER. SUCH REPAIRS OR REPLACEMENTS SHALL BE MADE IN A TIMELY MANNER AND AT THE CONVENIENCE OF THE OWNER.
- 33. ALL ITEMS MARKED WITH A AN (R) ON PLAN SHALL BE DISCONNECTED AND REMOVED BY THE ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED. REMOVE EXISTING CONDUCTORS/CABLES WHERE NO LONGER REQUIRED. REMOVE WIRE FROM ALL ABANDONED CONDUIT. RECONNECT DISTURBED FACILITIES WHICH ARE TO REMAIN AND PLACE IN OPERATING CONDITION.
- 34. UPON COMPLETION OF THE CONTRACT, THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH THREE (3) COMPLETE SETS OF MANUFACTURERS' OPERATING, MAINTENANCE AND PREVENTIVE MAINTENANCE INSTRUCTIONS (IN BOUND BOOK FORM) INCLUDING PARTS LIST, AND COMPLETE PROCUREMENT INFORMATION SPECIFYING EQUIPMENT NUMBERS AND DESCRIPTIONS. OPERATING STAFF PERSONNEL SHALL BE INSTRUCTED AS TO PROPER OPERATING AND SERVICE REQUIREMENTS OF THE SYSTEMS AND EQUIPMENT.
- 35. ELECTRICAL CONTRACTOR SHALL UPON COMPLETION OF THE WORK, SUBMIT A SET OF RECORD DRAWINGS SHOWING ALL BURIED OR CONCEALED EQUIPMENT OF PARTS OF THE WORK.
- 36. UPON COMPLETION OF ALL WORK, THOROUGHLY CLEAN ALL SYSTEMS OF OBSTRUCTIONS, DEBRIS, SCALE, DUST, DIRT, ETC. AND PLACE SYSTEMS IN OPERATION.
- 37. THE ELECTRICAL CONTRACTOR SHALL APPLY FOR AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, ETC.
- 38. MAINTAIN CONTINUITY OF EXISTING SYSTEMS. PROVIDE TEMPORARY SERVICE AS NECESSARY. COORDINATE SHUTDOWNS WITH OWNER. RELOCATE, REROUTE, REMOVE OR ABANDON EXISTING WORK THAT INTERFERES WITH THE NEW ARRANGEMENT. REMOVE EXISTING ITEMS AS REQUIRED TO ACCOMMODATE NEW WORK.

### **ELECTRICAL SYMBOLS:**

 $\Rightarrow$ DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER

DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH

(GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION (+) INDICATES MOUNTING HEIGHT IN INCHES

DUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V WITH (GFCI) GROUND FAULT CURRENT INTERRUPTER PROTECTION IN A WEATHER-PROOF ENCLOSURE

SIMPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V  $\longrightarrow$ 

QUADRUPLEX RECEPTACLE, NEMA 5-20R, 20A, 125V

SPECIAL RECEPTACLE, CONFIGURATION NOTED ON PLANS

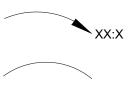
20A, 120/277 VAC, SINGLE POLE TOGGLE SWITCH WEATHER PROOF SWITCH

OCCUPANCY SENSOR SWITCH 20A, 120/277 VAC, THREE-WAY SWITCH

MANUAL MOTOR RATED SWITCH

NON-FUSIBLE DISCONNECT SWITCH, 30A/3P, 600V UNLESS OTHERWISE NOTED

FUSIBLE DISCONNECT SWITCH, SIZE AS NOTED



BRANCH CIRCUIT HOMERUN INDICATES PANEL AND CIRCUIT BREAKER NUMBER

COMBINATION MAGNETIC STARTER, SIZE AS REQUIRED

LOOP LINE INDICATES CIRCUIT CONDUCTORS AND CONDUIT CONNECTING IDENTIFIED DEVICES.

CEILING MOUNTED OCCUPANCY SENSOR

PANELBOARD

CIRCUIT BREAKER, RATINGS AS INDICATED

LINE VOLTAGE THERMOSTAT FURNISHED BY HVAC CONTRACTOR

DUCT SMOKE DETECTOR

METER

**POWER POLE** HANDHOLE

**TRANSFORMER** 



360 DEGREE PAN TILT ZOOM (PTZ) CAMERA



DAYLIGHT SENSOR, "Z#" INDICATES ZONES CONTROLLED

#### **GENERAL DEMOLITION NOTES:**

- 1. ELECTRICAL CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL
- 2. THE EXISTING CONDITION/DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT.
- 3. DEMOLITION IS NOT SHOWN IN COMPLETE DETAIL AND IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REMOVE EXISTING CONSTRUCTION AS REQUIRED FOR COMPLETE DEMOLITION.
- 4. REFER TO WORK SHOWN ON OTHER DRAWINGS IN THE SET FOR THE EXTENT OF DEMOLITION REQUIRED TO PERFORM WORK INTENT. (I.E. ARCHITECTURAL, MECHANICAL, ELECTRICAL DEMOLITION SHEETS/NOTES).
- 5. THE GENERAL CONTRACTOR OR ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION DEBRIS GENERATED FROM HIS WORK, TAKING CARE TO PREVENT OVERLOADING OF FLOOR ASSEMBLY AND PROTECTION OF ADJACENT EXISTING CONSTRUCTION.
- 6. DURING DEMOLITION, TAKE ALL PRECAUTIONS NECESSARY TO PREVENT STRUCTURAL AND OTHER DAMAGE TO THE BUILDINGS EXISTING WALLS AND FINISHES.
- 7. PRIOR TO DEMOLITION, ELECTRICAL CONTRACTOR SHALL VERIFY BY MEANS OF VOLTAGE TESTING THAT ALL DEVICES, EQUIPMENT, ETC, TO BE REMOVED BY GENERAL CONTRACTOR ARE DE-ENERGIZED AND SAFE-OFF.
- 8. ELECTRICAL CONTRACTOR SHALL UPDATE PANELBOARD DIRECTORIES INDICATING WHICH CIRCUIT BREAKERS BECOME SPARES DUE TO DEMOLITION.

#### FIRE ALARM SYMBOLS

MANUAL PULL STATION WITH WIRE GUARD

SMOKE DETECTOR, PHOTOELECTRIC WITH WIRE GUARD

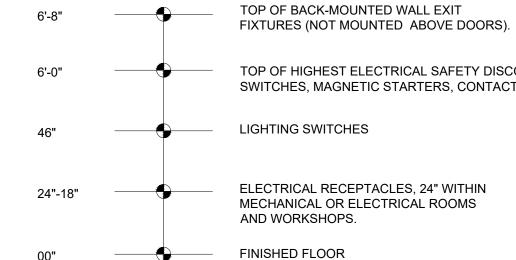
ANN

FACP

FIRE ALARM ANNUNCIATOR PANEL

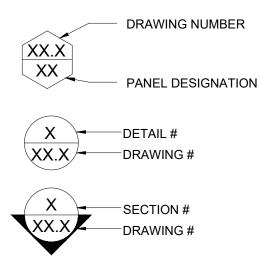
FIRE ALARM CONTROL PANEL

#### STANDARD MOUNTING HEIGHTS:



- 1. MOUNTING HEIGHTS TO CENTER OF OUTLETS UNLESS OTHERWISE NOTED.
- 2. THE ABOVE MOUNTING HEIGHTS SHALL BE DRAWINGS OR SPECIFICATION.

#### **DETAIL CALLOUT SYMBOLS:**



#### PRESENTATION:

ELECTRICAL EQUIPMENT DESIGNATED BY SOLID HEAVY LINE WEIGHT INDICATES NEW WORK TO BE FURNISHED AND INSTALLED.

ELECTRICAL EQUIPMENT DESIGNATED BY SOLID LIGHT LINE WEIGHT INDICATES EXISTING EQUIPMENT TO REMAIN, UNLESS OTHERWISE INDICATED.

HEAVY LINE WEIGHT REPRESENTS EXISTING EQUIPMENT TO BE REMOVED AND DISPOSED, UNLESS INDICATED TO BE REMOUNTED, RELOCATED, OR TURNED OVER TO OWNER.

#### TELECOMMUNICATION GENERAL NOTES:

- 1. INSTALLATION OF CATEGORY 6 UTP CABLE SHALL BE IN ACCORDANCE NOT COMPLY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 1.1. THE MAXIMUM PULLING FOR A SINGLE CABLE SHALL NOT EXCEED 25 POUNDS. 1.2. THE MINIMUM BENDING RADIOS OF THE CABLE SHALL NOT BE LESS
- 1.3. THE CABLE SHALL BE INSTALLED WITHOUT KINKS OR TWISTS AND THE APPLICATION OF THE CABLE TIES SHALL NOT DEFORM THE CABLE BUNDLE. CONDUITS SHALL TRANSITION INTO CABLE TRAYS USING CONDUIT AND BELLS, NO CABLE SHALL BE INSTALLED OVER ROUGH **EDGES IN ANY TRANSITION**
- TERMINATE THE CABLE. CABLE PAIRS SHALL NOT BE UNTWISTED MORE THAN 1/2 INCH. 1.5. CABLES SHALL BE TESTED PER THE SPECIFICATIONS, CABLES WHICH
- CONTRACTOR AT NO ADDITIONAL COST. AT LENGTHS GRATER THAN 90 METERS FROM PATCH PANEL TO OUTLET BOX. THE CONTRACTOR SHALL BRING ANY CONDITIONS

EXCEEDING THE CABLE LIMIT DISTANCE TO THE ENGINEER.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING CABLING. CONTRACTOR SHALL ALSO BE RESPONSIBLE FIR FURNISHING AND INSTALLING CONDUIT FROM EQUIPMENT DEVICE LOCATIONS TO DESIGNATED TERMINATION ROOMS. ALL NEW CABLING SHALL BE

#### ELECTRICAL ABBREVIATIONS:

A, AMP AMPERES ALTERNATING CURRENT ARC FAULT CIRCUIT INTERRUPTER TOP OF HIGHEST ELECTRICAL SAFETY DISCONNECT AFF ABOVE FINISHED FLOOR SWITCHES, MAGNETIC STARTERS, CONTACTORS. ABOVE FINISHED GRADE AMP INTERRUPTING CAPACITY AMP TRIP AMP FRAME ATC AUTOMATIC TEMPERATURE CONTROL AWG AMERICAN WIRE GAUGE BKR **BREAKER** C, CND CONDUIT

C.B.

CKT

CU

DC

DDC

DWG

(E)

(ER)

ELEC

G, GND

ΗZ

KVA

KW

LFMC

MCB

MCA

MIN

MISC

MOCP

MOCD

(N)

NEC

NTS

PH, Ø

PWR

(R)

(RE)

RCPT

SCCR

SW

TBD

TS

TYP.

UE

UH

UON

UPS

VFD

WP

XFMR

TVSS

SPECS

GFCI, GFI

CIRCUIT BREAKER

DIRECT CURRENT

DIGITAL DATA CONTROL

ELECTRICAL CONTRACTOR

EXISTING WORK/EQUIPMENT TO REMAIN

EXISTING WORK/EQUIPMENT TO BE REMOVED AND RELOCATED

CIRCUIT

COPPER

DRAWING

**EXHAUST FAN** 

**ELECTRICAL** 

**EQUIPMENT** 

**EMERGENCY** 

FOOT (FEET)

JUNCTION BOX

KILOWATTS

MINIMUM

NEW

POLE

PHASE

POWER

SWITCH

**TYPICAL** 

VOLTS

UNIT HEATER

WEATHER PROOF

TRANSFORMER

**SPECIFICATIONS** 

TO BE DETERMINED

TWISTED SHIELDED

UNDERGROUND ELECTRIC

**UNLESS OTHERWISE NOTED** 

VARIABLE FREQUENCY DRIVE

UNINTERRUPTIBLE POWER SUPPLY

**MISCELLANEOUS** 

MAIN LUG ONLY

NOT IN CONTRACT

NOT TO SCALE

RECEPTACLE

KILO VOLTS AMPERES

MECHANICAL CONTRACTOR

MAXIMUM CIRCUIT AMPACITY

NATIONAL ELECTRIC CODE

RELOCATED EXISTING WORK

RIGID NON-METALLIC CONDUIT

SURFACE METAL RACEWAY

SHORT CIRCUIT CURRENT RATING

TRANSIENT VOLTAGE SURGE SUPPRESSION

RIGID GALVANIZED STEEL

RIGID METAL CONDUIT

MAIN CIRCUIT BREAKER

GROUND

HERTZ

**ELECTRICAL MANHOLE** 

**ELECTRIC UNIT HEATER** 

**ELECTRICAL METALLIC TUBING** 

GROUND FAULT CIRCUIT INTERRUPTER

KILO AMPERES INTERRUPTING CURRENT

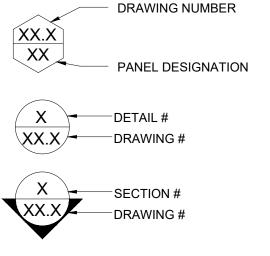
LIQUID TIGHT FLEXIBLE METAL CONDUIT

MAXIMUM OVER CURRENT PROTECTION

MAXIMUM OVER CURRENT PROTECTIVE DEVICE

**EXISTING EQUIPMENT TO BE DISCONNECTED & REMOVED** 

ADHERED TO UNLESS NOTED OTHERWISE ON THE



# ELECTRICAL EQUIPMENT DESIGNATED BY DASHED

- WITH TIA GUIDELINES. CABLE INSTALLATION AND TERMINATIONS THAT DO
- THAN 4X THE OUTSIDE DIAMETER OF THE CABLE.
- 1.4. STRIP BACK ONLY AS MUCH CABLE JACKET AS IS REQUIRED TO
- DO NOT PASS TESTS SHALL BE REPLACED, OR RECTIFIED BY THE THE CONTRACTOR SHALL NOT INSTALL ANY NEW CATEGORY 6 CABLE
- INSTALLED IN CONDUIT UNLESS OTHER

REVISIONS

09/15/2023 | CD PROGRESS SET

DATE

ISSUE

#### PROJECT COORDINATOR

PRIYANKA MALIK

CONSTRUCTION DOCUMENTS

**SMP**ARCHITECTS

1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410

MEP ENGINEER:

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KS ENGINEERS, P.C.

530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS **GROUND RECONSIDERED** 

230 South Broad Street

Philadelphia, Pennsylvania 19102 215 790 0727 COST CONSULTANT DHARAM CONSULTING 107 Magnolia Drive

610 554 6560 STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087

Chester Springs, Pennsylvania 19425

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA PROJECT TITLE

CHRISTY RECREATION CENTER

**RENOVATION - PHASE 1** DRAWING TITLE

610 213 3657

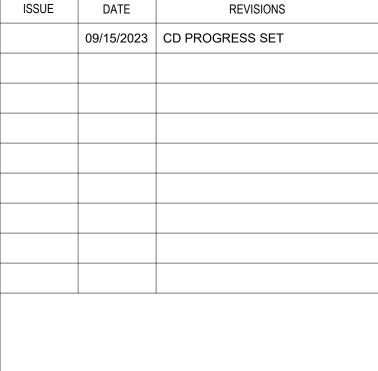
ELECTRICAL ABBREVIATIONS. SYMBOLS, LEGEND & GENERAL NOTES

PROJECT NO. DRAWING NO 73217 03/15/24 SCALE AS NOTED DRAWN BY TM CHECKED BY

- 1. REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL
- 2. SEE TELECOMM GENERAL NOTES ON DRAWING E0.0(1) FOR ADDITIONAL CAMERA INSTALLATION INFORMATION.
- 3. EC SHALL COORDINATE ROUTING WITHIN THE BUILDING WITH REC CENTER STAFF. THE INTENT IS TO COORDINATE ROUTING IN THE FIELD TO LIMIT DISTURBANCES TO EXISTING SPACES TO REMAIN.
- 4. REFER TO DRAWING E8.1(1) FOR CCTV SYSTEM INSTALLATION DETAILS FOR WIRELESS SYSTEM.

#### **KEYED NOTES:**

- 1 NEW BUILDING SURFACE MOUNT PTZ CAMERA. ROUTE NEW CAT6 CABLE IN 1"C OVERHEAD AND CONCEALED WHERE AT ALL POSSIBLE FOR CONNECTIONS BACK AT THE EXISTING CAMERA SYSTEM RACK IN THE FRONT OFFICE. SEE DETAIL 4/E8.1(1) FOR ADDITIONAL INFORMATION.
- (2) NEW POLE MOUNT PTZ CAMERA ON EXISTING LIGHTING POLE. ROUTE CAT6 CABLING IN 1"C WITHIN EXISTING POLE AND TRANSITION TO ROUTING UNDERGROUND IN DIRECT BURIAL CONDUIT AS INDICATED. CONDUIT SHALL STUB UP AT BUILDING EXTERIOR AND PENETRATION LOW ON EXISTING BUILDING WALL USING AN LB FITTING. CONDUIT SHALL THEN TRANSITION TO OVERHEAD WITHIN BUILDING. ROUTE CONDUIT AND WIRING IN 1"C OVERHEAD AND CONCEALED WHERE AT ALL POSSIBLE IN BUILDING FOR CONNECTIONS BACK AT THE EXISTING CAMERA SYSTEM RACK IN THE FRONT OFFICE. SEE DETAIL 4/E8.1(1) FOR ADDITIONAL INFORMATION.
- (3) EC SHALL PROVIDE NEW POLE MOUNTED WEATHRPROOF LOCKING 18" X 18" ENCLOSURE AT 10FT AFG TO HOUSE WIRELESS ETHERNET SYSTEM DEVICES REQUIRED FOR POLE MOUNTED CAMERA(S). PROVIDE (2) 36-INCH CAT 6 PATCH CORDS PER CAMERA TO DPP FOR FINAL CONNECTIONS. FURNISH AND INSTALL CAMERA, CAMERA MOUNTS AND WIRELESS ETHERNET DEVICES. SEE DETAIL 4 ON SHEET E8.1(1) FOR ENCLOSURE INFORMATION AND INTENT FOR POWER SUPPLY.
- (4) FURNISH AND INSTALL NEMA 4X RATED WALL MOUNTED JUNCTION BOX FOR POINT TO MULTIPOINT WIRELESS OMNI DIRECTIONAL ANTENNA FOR WIRELESS ETHERNET CONNECTION FOR POLE MOUNTED CAMERAS. FURNISH AND INSTALL (1) CAT 6 CABLE IN 3/4" CONDUIT BACK TO EXISTING PATCH PANEL IN EXISTING COMM CABINET IN THE OFFICE. TERMINATE CAT 6 CABLE ON 1-PORT RJ45 SURFACE MOUNTED BISCUIT JACK IN THE JUNCTION BOX. PROVIDE (2) 36-INCH CAT 6 PATCH CORDS TO OWNER FOR FINAL CONNECTIONS.



REVISIONS



PROJECT COORDINATOR PRIYANKA MALIK

**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103

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CIVIL ENGINEER: KS ENGINEERS, P.C. 530 Walnut Street, Suite 460 Philadelphia, Pennsylvania 19102 215 925 0425

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STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING PENNSYLVANIA PHILADELPHIA

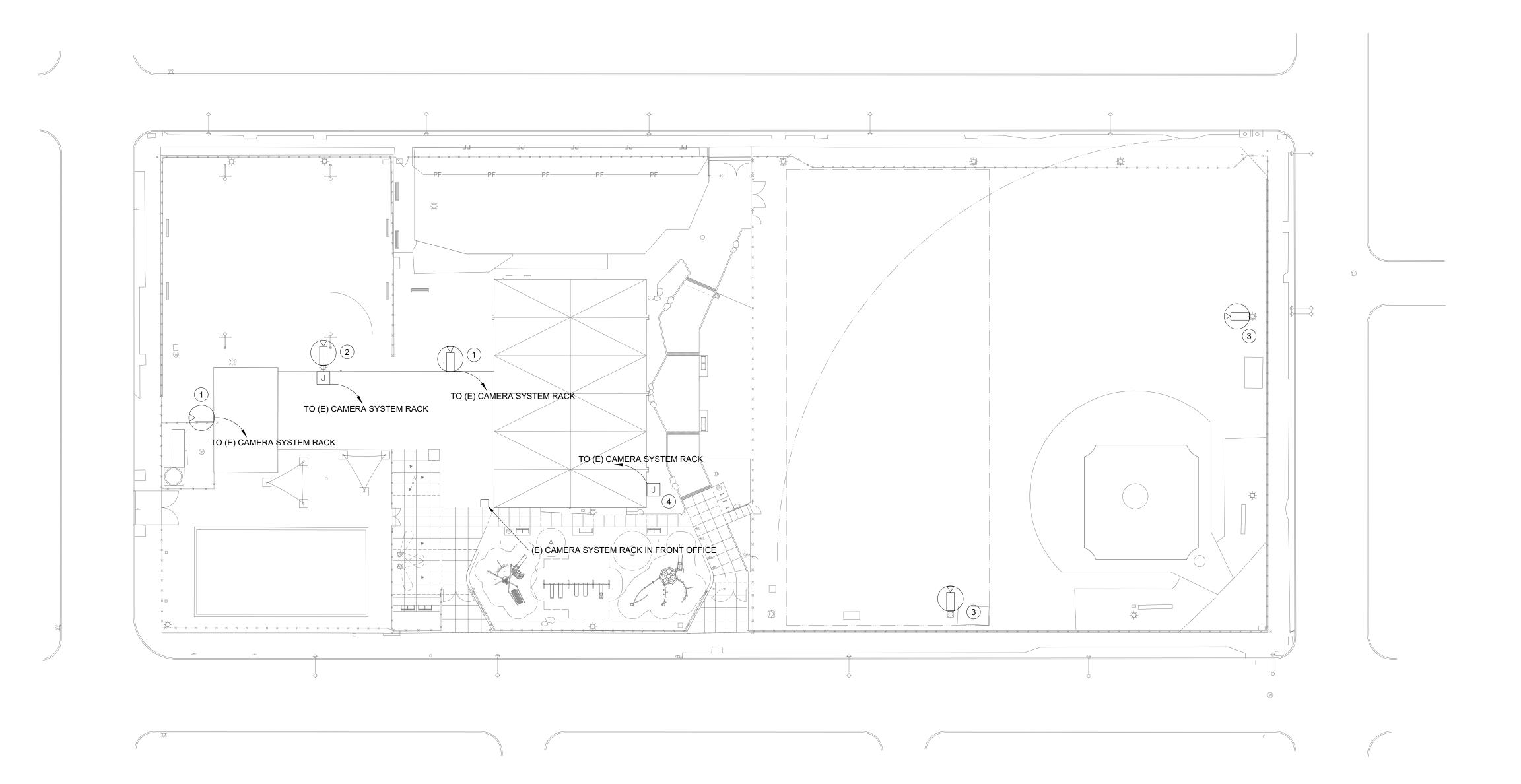
**CHRISTY RECREATION CENTER RENOVATION - PHASE 1** 

DRAWING TITLE

ELECTRICAL PROPOSED SITE PLAN

73217 03/15/24 SCALE AS NOTED TM ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

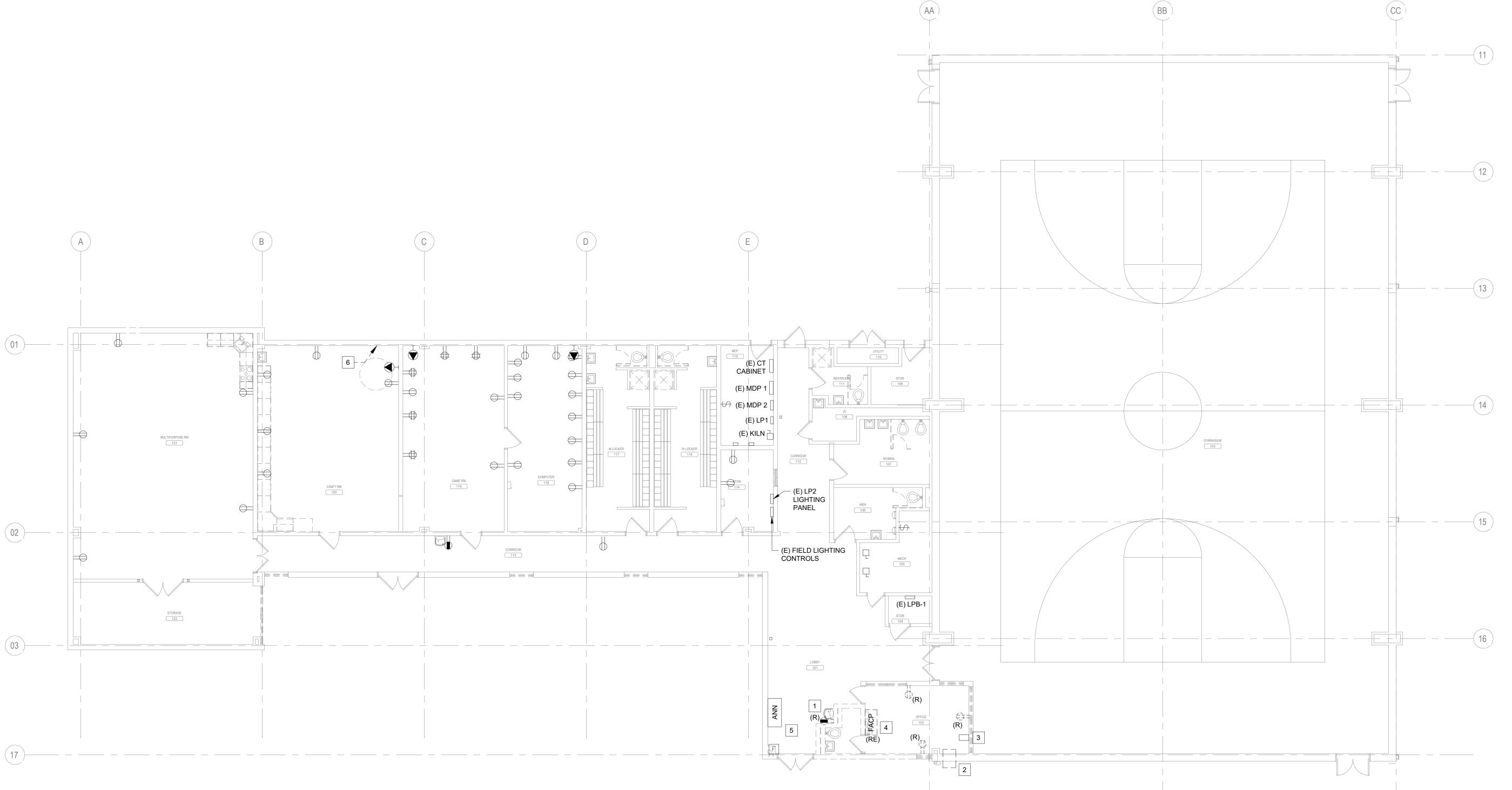
CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



- 1. REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL
- 2. CONTRACTOR SHALL UPDATE ALL PANELBOARD CIRCUIT DIRECTORIES UPON COMPLETION OF DEMOLITION.

#### **KEYED NOTES:**

- 1 DISCONNECT AND REMOVE POWER FROM EXISTING WATER FOUNTAIN. RETAIN CIRCUIT FOR EXTENSION TO NEW WATER FOUNTAIN LOCATION.
- DISCONNECT AND REMOVE POWER WIRING BACK TO SOURCE PANEL FROM FROM EXISTING AC UNIT.
- 3 PRESERVE EXISTING SECURITY CAMERA SYSTEM RACK AND POWER SUPPLY.
- RELOCATE FIRE ALARM CONTROL PANEL WITHIN THE OFFICE. REFER TO E2.1 FOR NEW LOCATION.
- THE EXISTING MANUAL PULL STATION AND FIRE ALARM ANNUNCIATOR PANEL SHALL REMAIN AT THE ENTRANCE.
- 6 EXISTING PROP FAN TO BE TEMPORARILY DISCONNECTED WHILE WINDOWS ARE REPLACED. DISCONNECT AND LOCK OUT / TAG OUT BREAKER. COORDINATE TIMING WITH MECHANICAL CONTRACTOR AND ARCHITECT.



ELECTRICAL DEMOLITION FLOOR PLAN ED2.1(1) Scale: 1/8" = 1'-0"

SCALE: 3/32" = 1'-0"

REVISIONS ISSUE DATE REVISIONS 09/15/2023 | CD PROGRESS SET



#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR PRIYANKA MALIK

**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103

215 985 4410 MEP ENGINEER:

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CIVIL ENGINEER:

KS ENGINEERS, P.C.

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LANDSCAPE ARCHITECTS
GROUND RECONSIDERED
230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727

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STRUCTURAL ENGINEER
ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PENNSYLVANIA PHILADELPHIA

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

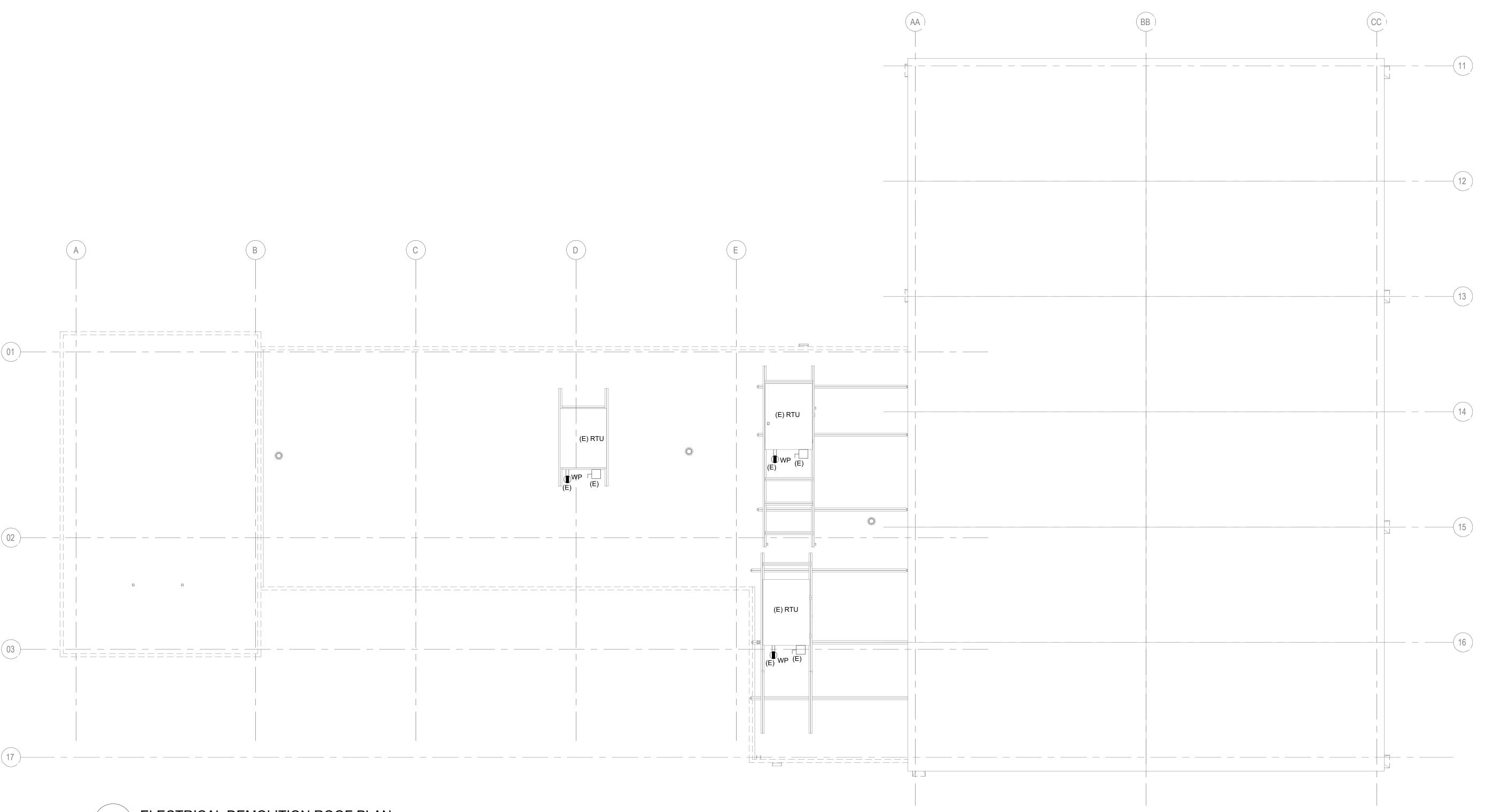
DRAWING TITLE

ELECTRICAL DEMOLITION FLOOR PLAN

PROJECT NO. 73217 ED2.1(1) 03/15/24 SCALE AS NOTED TM CHECKED BY ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

- REFER TO DRAWING E0.0(1) FOR ELECTRICAL
   ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL
   NOTE:
- CONTRACTOR SHALL UPDATE ALL PANELBOARD CIRCUIT DIRECTORIES UPON COMPLETION OF DEMOLITION.







	REVISIONS				
ISSUE	DATE	REVISIONS			
	09/15/2023	CD PROGRESS SET			



#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK

SMPARCHITECTS

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215 372 1365

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530 Walnut Street, Suite 460

Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS GROUND RECONSIDERED

230 South Broad Street
Philadelphia, Pennsylvania 19102
215 790 0727

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DHARAM CONSULTING

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Chester Springs, Pennsylvania 19425
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610 213 3657

## CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

PENNSYLVANIA

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

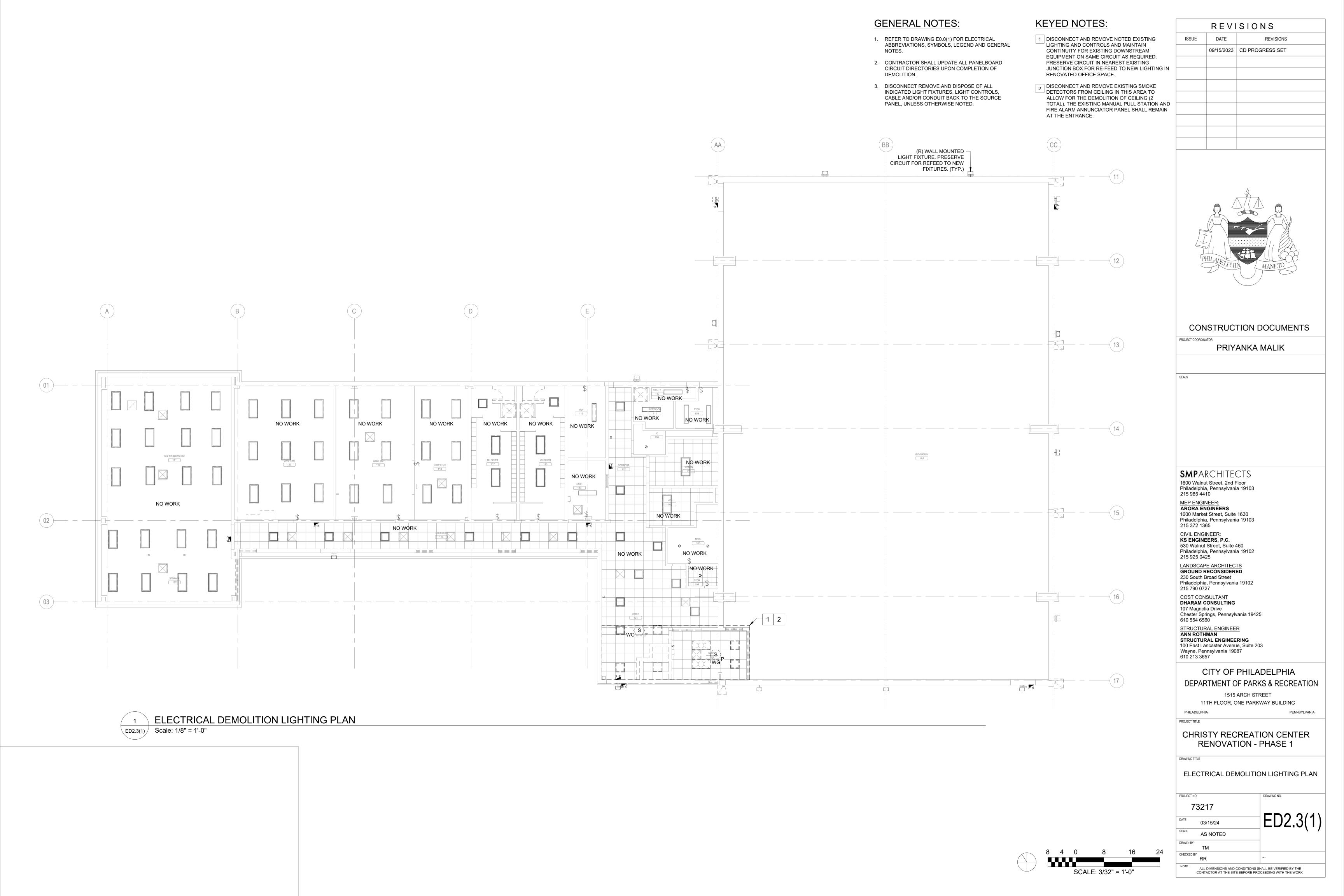
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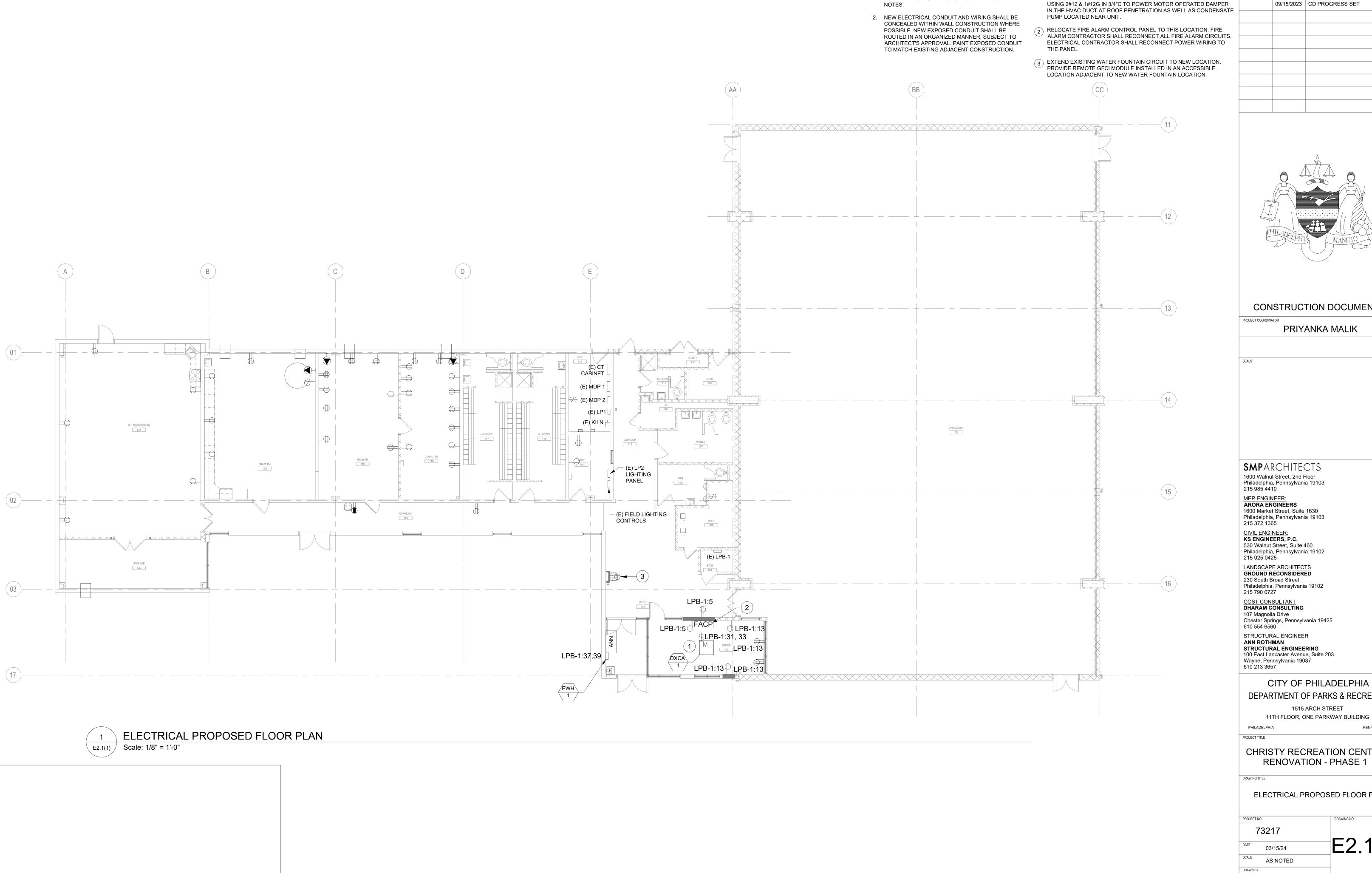
## CHRISTY RECREATION CENTER RENOVATION - PHASE 1

DRAWING TITLE

ELECTRICAL DEMOLITION ROOF PLAN

PROJECT NO	).	DRAWING NO.
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DATE	03/15/24	ED2.2(1)
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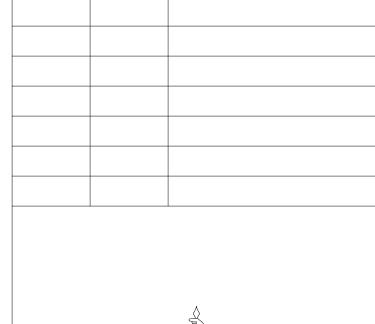


#### **KEYED NOTES:**

1. REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL

**GENERAL NOTES:** 

1 PROVIDE POWER TO INDOOR UNIT VIA LOCAL 2 POLE, 30A, 208V MOTOR RATED TOGGLE SWITCH. EC SHALL EXTEND CIRCUIT LPB-1:5 USING 2#12 & 1#12G IN 3/4"C TO POWER MOTOR OPERATED DAMPER

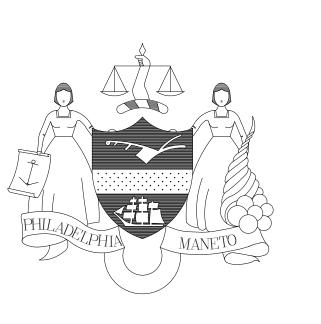


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#### CONSTRUCTION DOCUMENTS

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

PENNSYLVANIA

SCALE: 3/32" = 1'-0"

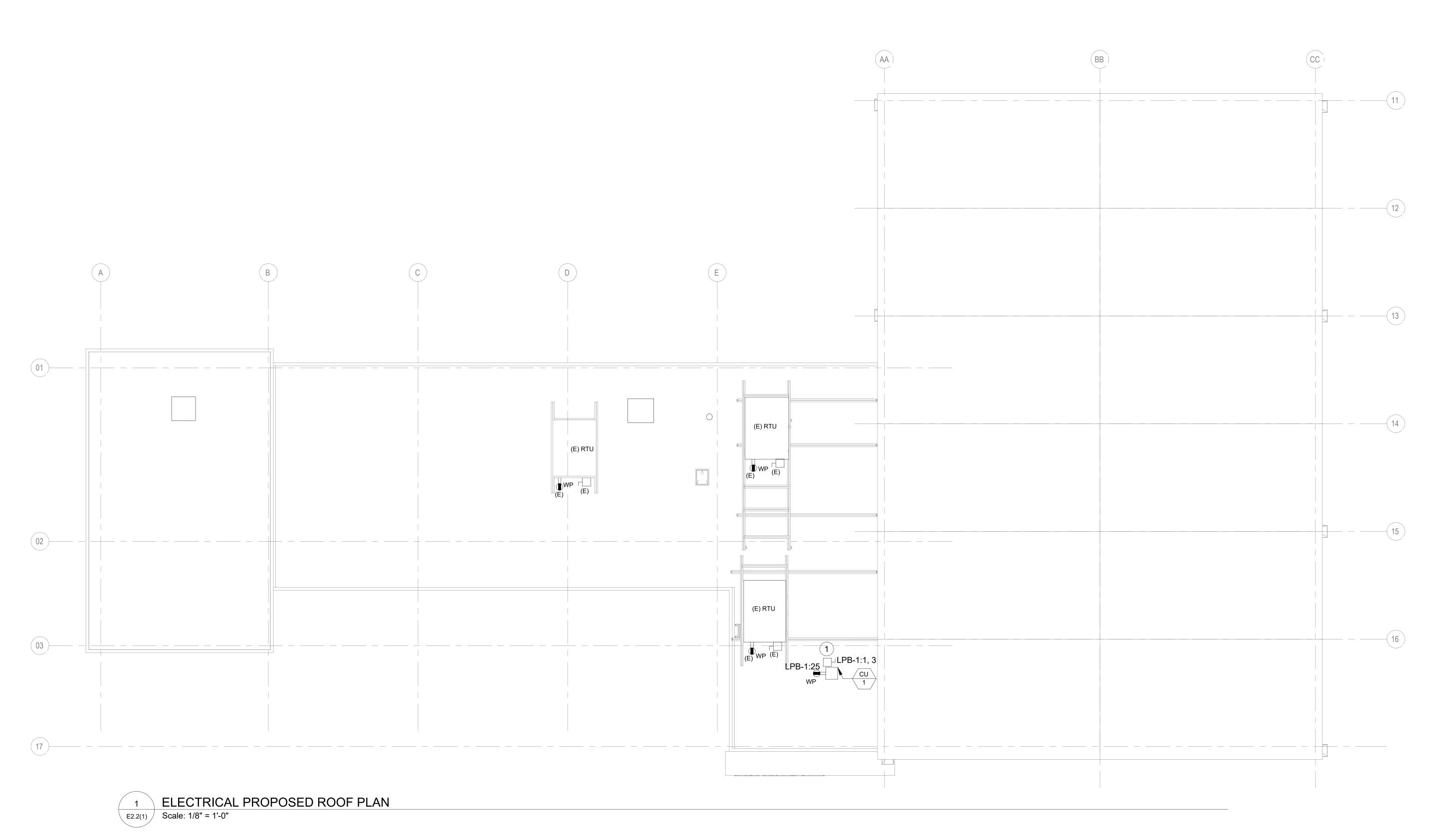
#### **CHRISTY RECREATION CENTER RENOVATION - PHASE 1**

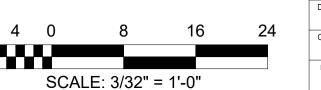
ELECTRICAL PROPOSED FLOOR PLAN

E2.1(1) CHECKED BY ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

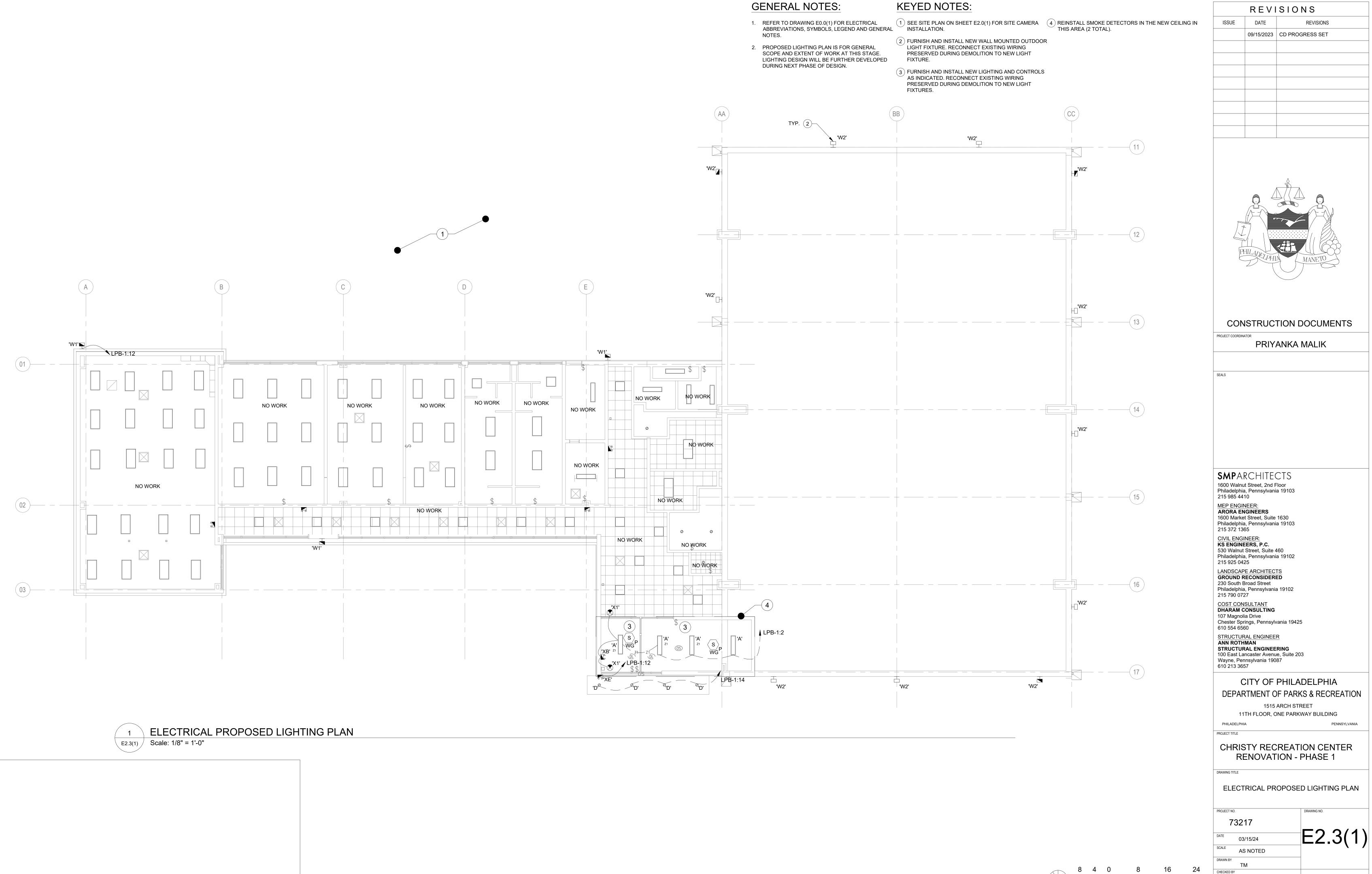
 REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.

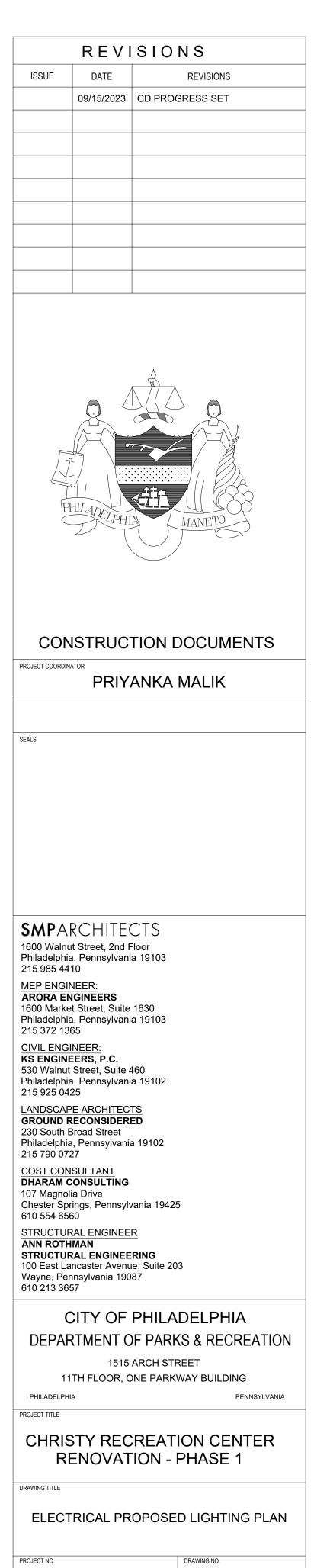




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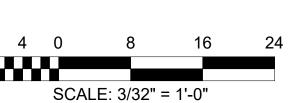
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NOTE:	ALL DIMENSIONS AND CONDITIONS S CONTACTOR AT THE SITE BEFORE PRO	

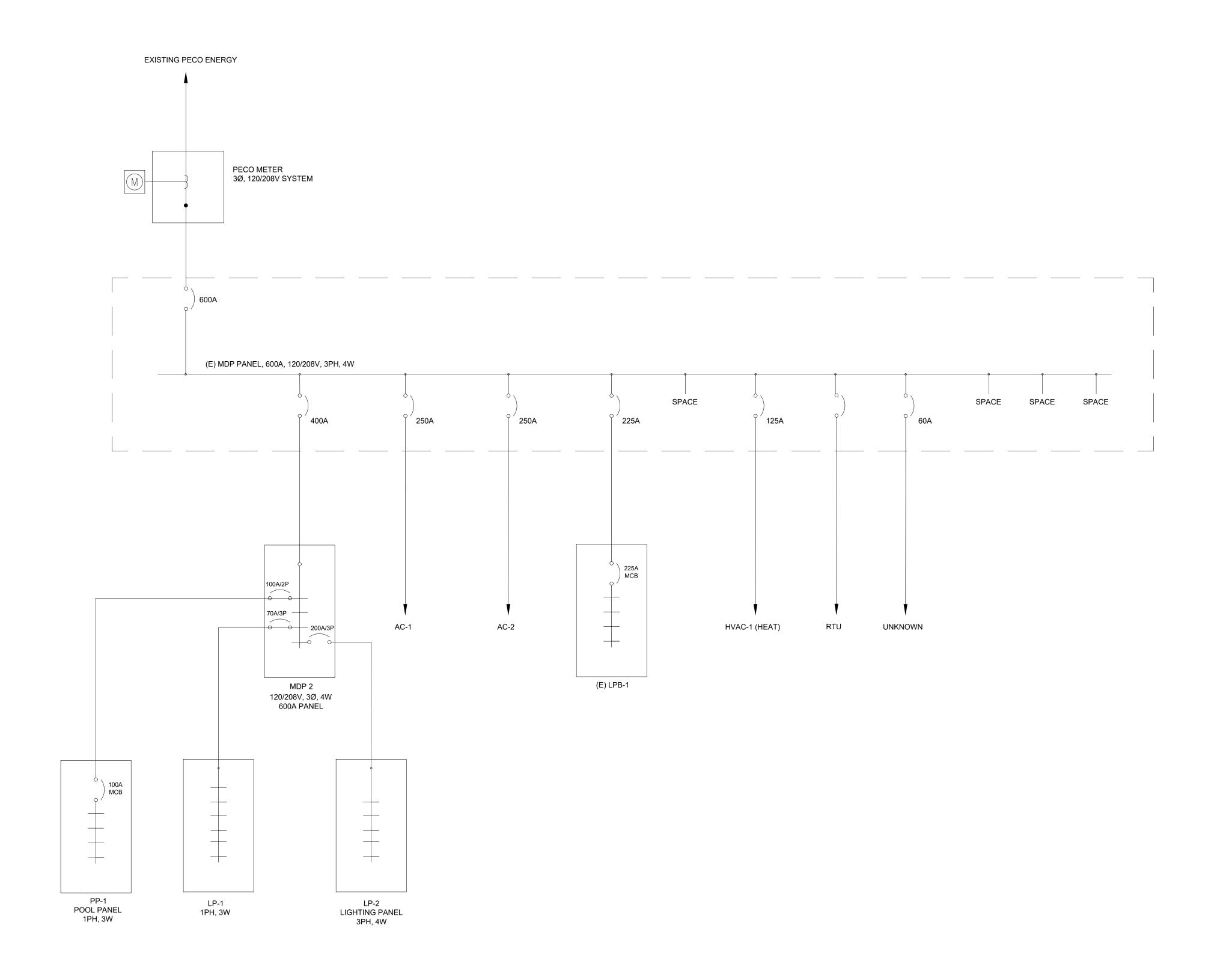




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### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR PRIYANKA MALIK

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## LANDSCAPE ARCHITECTS GROUND RECONSIDERED 230 South Broad Street

Philadelphia, Pennsylvania 19102 215 790 0727

## COST CONSULTANT DHARAM CONSULTING

107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560

#### STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

PENNSYLVANIA

1515 ARCH STREET

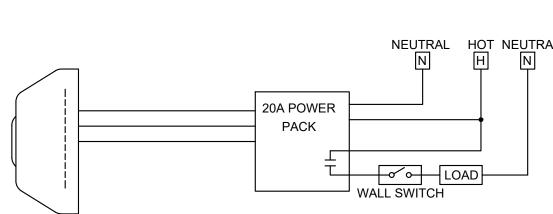
11TH FLOOR, ONE PARKWAY BUILDING

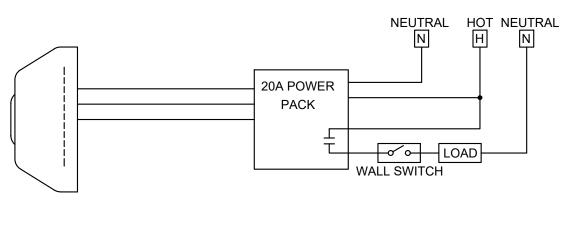
PHILADELPHIA

#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

DEMOLITION ELECTRICAL SINGLE LINE DIAGRAM

PROJECT NO.		DRAWING NO.
73	3217	
DATE	03/15/24	<b>L6.1(1)</b>
SCALE	AS NOTED	
DRAWN BY	TM	
CHECKED BY	RR	FILE:

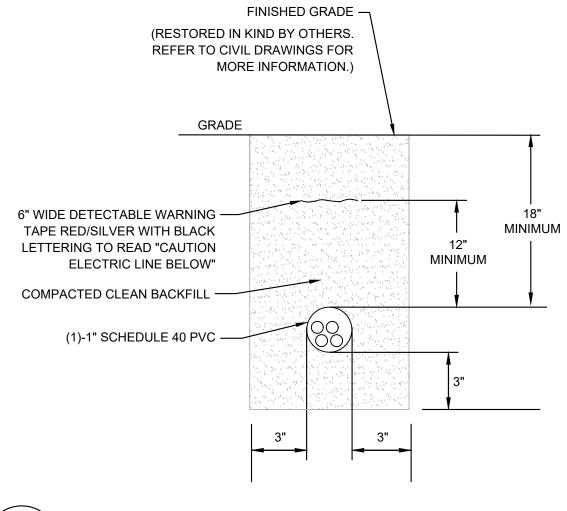




#### Scale: NTS E8.1(1)

### TYPICAL LV OCCUPANCY SENSOR WIRING DIAGRAM

- 1. LOW VOLTAGE OCCUPANCY SENSOR WIRING DIAGRAM IS BASED ON SENSORSWITCH CM SERIES. CONTRACTOR SHALL MAKE ANY FIELD WIRING MODIFICATIONS NECESSARY TO ACHIEVE DESIGN INTENT.
- 2. COORDINATE WITH EMERGENCY LIGHTING REQUIREMENTS.



### TYPICAL DUCT BANK DETAIL

Scale: NTS E8.1(1)

#### **DUCT BANK NOTES:**

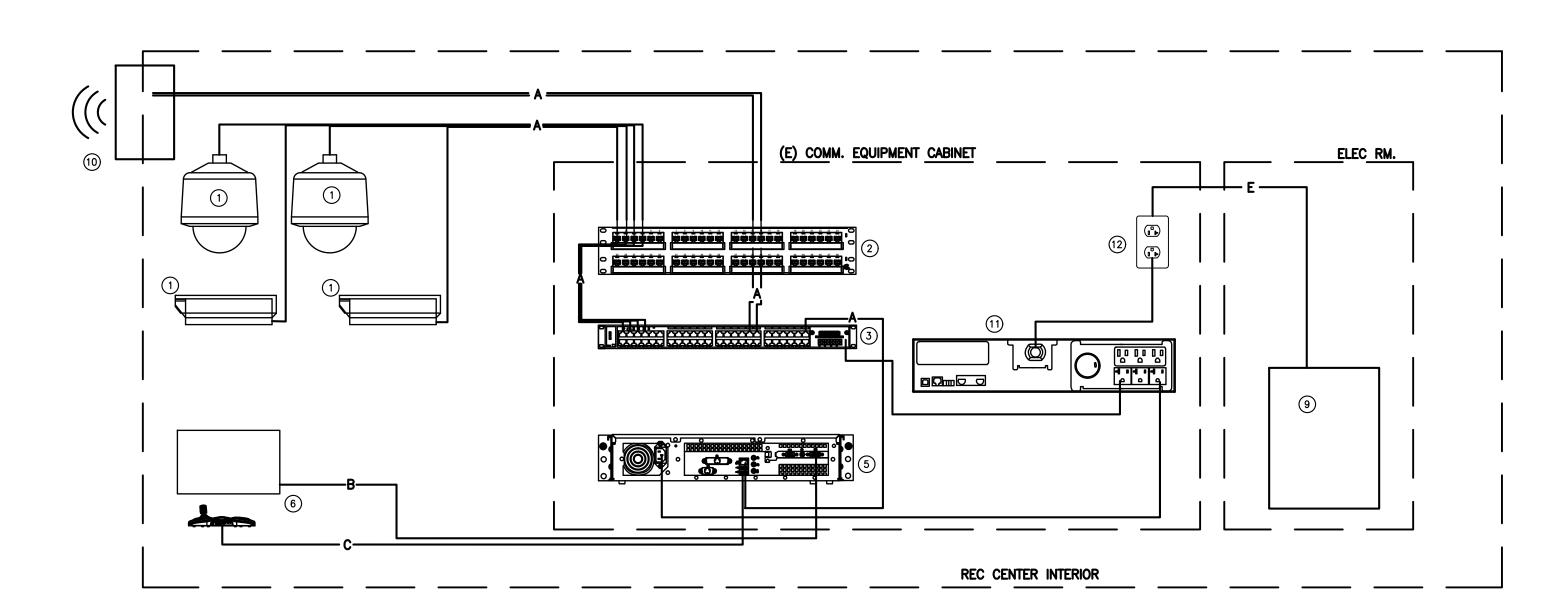
- EC SHALL TAKE EXTREME CARE IN EXCAVATING AREA. HAND-DIG IF NECESSARY. MODIFY/RE-ROUTE DUCT BANK AS REQUIRED TO MINIMIZE CONFLICT WITH EXISTING UTILITIES.
- 2. COORDINATE ALL CONDUIT ROUTING WITH EXISTING CONDITIONS AND WALKWAY CUTTING AND TRENCHING.
- 3. ADJUST TRENCH DETAIL FOR MULTIPLE CONDUITS WHEN REQUIRED. OBTAIN ENGINEER'S APPROVAL.
- 4. REMOVE ALL SHARP STONES AND OBJECTS FROM COMPACTED BEDDING, SIDE SUPPORTS, AND FILL.

EQUIPMENT ID DESCRIPTION

HDMI 100' MAX

#10 THHN

FIBER OPTIC, MM OR SM



#### **EQUIPMENT AND CABLE TYPE LIST:**

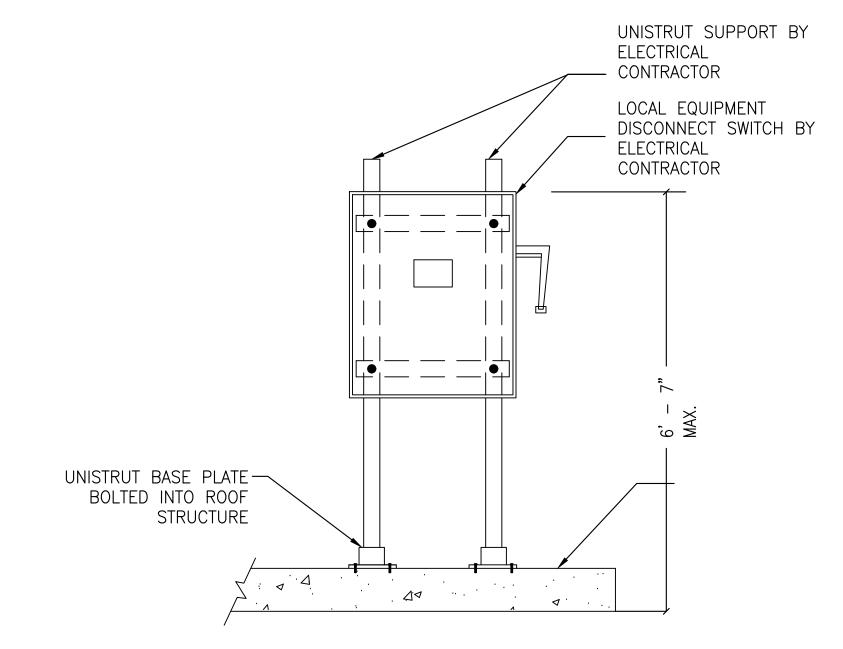
#### EQUIPMENT ID DESCRIPTION

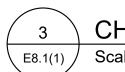
- (E) CCTV CAMERA, TYPE TO BE DETERMINED BY LOCATIONS (E) CAT6 PATCH PANEL
- (E) REC CENTER P.O.E. SWITCH
- NOT USED
- (E) CCTV NVR, DDNS ENABLED
- (E) CCTV WORKSTATION DIRECTLY CONNECTED TO NVR
- NOT USED
- NOT USED
- (E) 120/208V ELECTRICAL PANEL
- KBC NETWORK (OR EQUAL) POINT TO MULTIPOINT WIRELESS KIT W/5 dBi OMNI DIRECTIONAL ANTENNA, MOUNTED TO BUILDING FASCIA.
- (E) 2000VA RACK MOUNT UPS
- (E) 120V 20A DUPLEX RECEPTACLE

#### SYSTEM DIAGRAM NOTES:

1. CAMERA QUANTITY AND TYPE INDICATED ON DRAWINGS AND SCHEDULE.





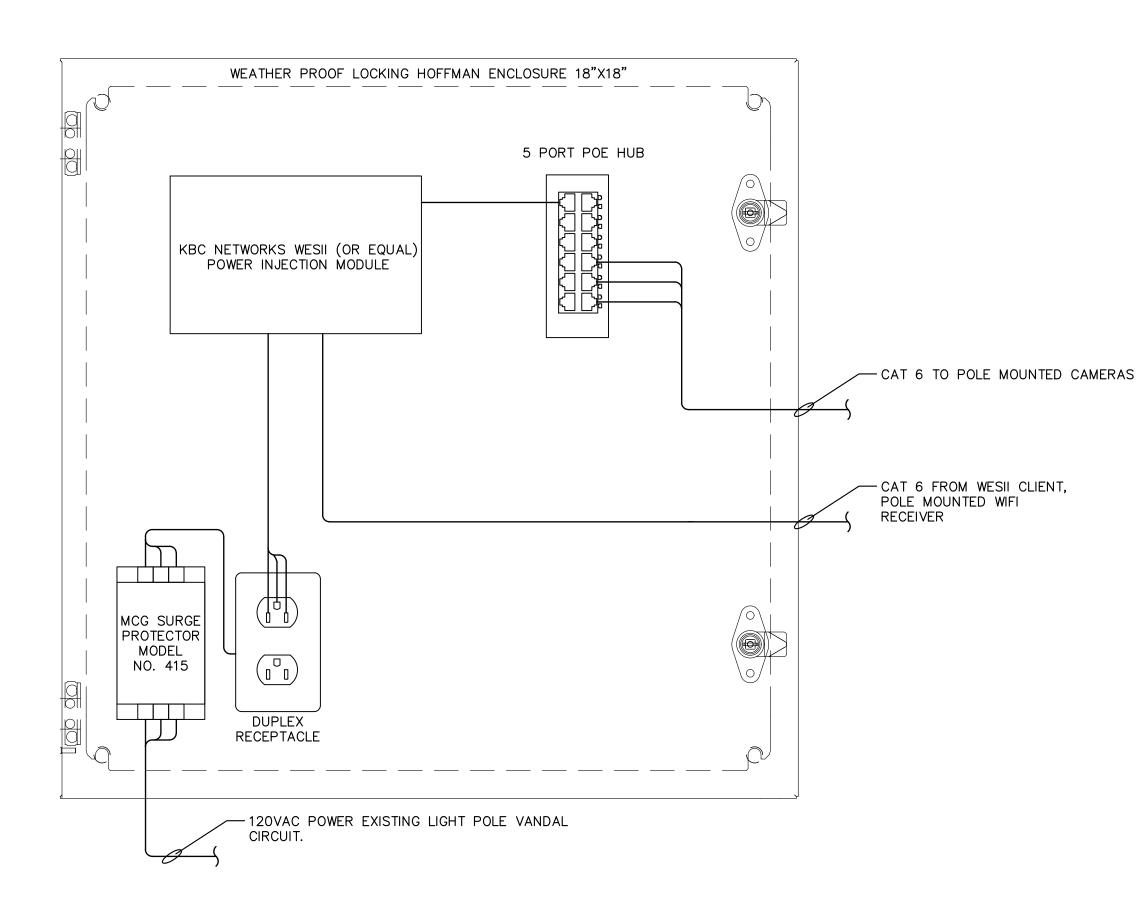


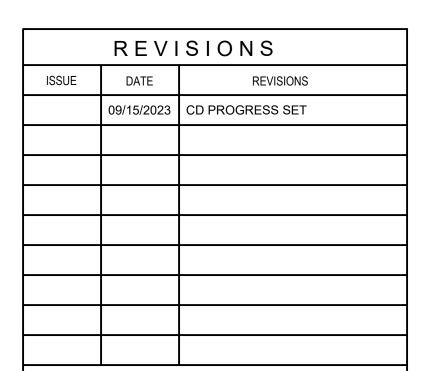
### CHANNEL STRUT-MOUNTED DISCONNECT SWITCH

Scale: NTS

#### NOTES:

MOUNT DISCONNECT SWITCH ADJACENT TO MECHANICAL EQUIPMENT CONTROL PANELS AND MOTORS AS CLOSE AS POSSIBLE. COORDINATE W/ MECHANICAL CONTRACTOR.







#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK

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215 372 1365 CIVIL ENGINEER: KS ENGINEERS, P.C. 530 Walnut Street, Suite 460

Philadelphia, Pennsylvania 19102 215 925 0425 LANDSCAPE ARCHITECTS
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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING PENNSYLVANIA PHILADELPHIA

#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

ELECTRICAL DETAILS

PROJECT N	0.	DRAWING NO.
7	'3217	
DATE	03/15/24	E8.1(1)
SCALE	AS NOTED	] ' '
DRAWN BY	TM	
CHECKED B	RR	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS	SHALL BE VERIFIED BY THE

CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

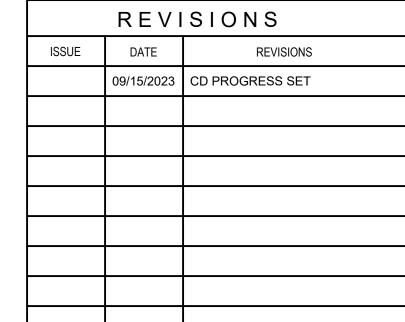
**CCTV SYSTEM DIAGRAM** 

	MAIN: 225A MCE						22	J NATING.	KRUPTING	L: LPB-1 INTERRUPTIN			PANEL: LPB-1
PRAGE 104			250A	MPS:	WIRE: 4 BUS AMPS: 250A				PHASE: 3		PHASE:	VOLTAGE: 208Y/120V	
	DCATION: STORAGE											NEUTRAL:	NEMA 1
ESCRIPTION	CIRCUIT DESCRI	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	E C	/A / PHAS B	A	VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION
ND LAV LTS	(R) OFFICE AND LA	(E)	1	20	0			0	0	20	1	(E)	(R) BOILER RM LTS
LER	WATER COOLER	(E)	1	20	0		0		0	20	1	(E)	(R) BOILER RM EXHAUST
	GYM LTS	(E)	1	20	0	0			0	20	1	(E)	(R) OFFICE RECEPT
	GYM LTS	(E)	1	20	0			0	0	20	1	(E)	GYM LTS
	GYM LTS	(E)	1	20	0		0		0	20	1	(E)	GYM LTS
	(R) SPARE	(E)	1	20	0	0			0	20	1	(E)	GYM LTS
	(R) SPARE	(E)	1	20	0			0	0	20	1	(E)	SPARE
L LAVS	LTS BOY/GIRL LAV	(E)	1	20	0		0		0	20	1	(E)	GYM EXHAUST
Y/GIRL LAVS	EXHAUST BOY/GIR	(E)	1	20	0	0			0	20	1	(E)	EMERGENCY LIGHTS
	GYM LTS	(E)	1	20	0			0	0	20	1	(E)	GYM RECEPT
/ LTS	EMERGENCY LTS	(E)	1	20	0		0		0	20	1	(E)	LOBBY LIGHTS
G PUMP	CIRCULATING PUN	(E)	1	20	0	0			0	20	1	(E)	(R) BUILDING VANDAL LTS
NTROL	HEATER CONTROL	(E)	1	20	0			0	0	20	1	(E)	(R) SPARE
₹	GYM HEATER	(E)	1	20	0		0		0	20	1	(E)	GYM HEATER
	FIRE ALARM	(E)	1	20	0	0			0	20	1	(E)	GYM HEATER
	CIRC PUMP	(E)	1	20	0			0	0	20	1	(E)	(R) OFFICE RECEPT
	CIRC PUMP	(E)	1	20	0		0		0	20	1	(E)	(R) LOBBY HEAT
RECEPT	BOILER RM RECEP	(E)	1	20	0	0			0	20	1	(E)	GYM
LTS	BASKETBALL LTS	(E)	1	20	0			0	0	20	1	(E)	(R)SPARE
LTS	BASKETBALL LTS	(E)	1	20	0		0		0	20	1	(E)	(R)SPARE
	SPACE	-	-	_	0	0			0	-	-	-	1 SPACE
ARM MP MP RM F	FIRE ALA CIRC PU CIRC PU BOILER BASKET BASKET	(E) (E) (E) (E) (E) (E)	1 1 1 1 1 1 1	20 20 20 20 20 20 20	0 0 0 0 0	0	0		0 0 0 0 0	20 20 20 20 20 20 20	1 1 1 1 1 1 1 -	(E) (E) (E) (E) (E)	GYM HEATER  (R) OFFICE RECEPT  (R) LOBBY HEAT  GYM  (R)SPARE (R)SPARE

PANEL: LP-2	INTERRUPTING			G RATING:	(E)	KAIC				MC	DUNTING: SURFACE		
VOLTAGE: 208Y/120V	PHASE		3			WIRE:	4	BUS AN	лРS:	225	A	MAIN: 225A MLO	
NEMA NEMA 1	NEUTRAL	10	0%								LO	LOCATION: STORAGE 114	
CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE  A B C		VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION		
LTS GAME ROOM	(E)	1	20	0	0			0	20	1	(E)	LTS GAME ROOM	
LTS ARTS/CRAFT RM	(E)	1	20	0		0		0	20	1	(E)	LTS MULTIPURP RM	
LTS MULTIPURP RM	(E)	1	20	0			0	0	20	1	(E)	WATER COOLER	
LTS LOCKER RM	(E)	1	20	0	0			0	20	1	(E)	LTS STAIR & SMALL OFF	
EM UNIT	(E)	1	20	0		0		0	20	1	(E)	LTS ARTS/CRAFT RM	•
1 EXIT LTS	(E)	1	20	0			0	0	20	1	(E)	RECEPT ARTS/CRAFT	•
RECEPT ARTS/CRAFTS	(E)	1	20	0	0			0	20	1	(E)	RECEPT MULTIPURP RM	
5 EX FAN #3	(E)	1	20	0		0		0	20	1	(E)	AC COMPUTER RM	
7 RECEPT OFFICE	(E)	1	20	0			0	0	20	1	(E)	RECEPT ARTS/CRAFTS	
9 RECEPT GAME ROOM	(E)	1	20	0	0			0	20	1	(E)	RECEPT GAME RM	
1 NIGHT LTS	(E)	1	20	0		0		0	20	1	(E)	RECEPT MULTIPURP RM	
RECEPT ARTS/CRAFTS	(E)	1	20	0			0	0	20	1	(E)	HEATER	
5 HEATER	(E)	1	20	0	0			0	20	1	(E)	EX FAN #4	
7 SPARE	(E)	1	20	0		0		0	20	1	(E)	LTS MULTIPURP RM/FAN	
9 DIMMER MULTIPURP RM	(E)	1	20	0			0	0	20	1	(E)	LTS MULTIPURP RM	
1 -	-	1	20	0	0			0	20	1	-	-	
3 -	-	1	20	0		0		0	20	1	-	-	
5 -	-	1	20	0			0	0	20	1	-	-	

PANEL: LPB-1			INTE	RRUPTIN	G RATING: 22 KAIC						MOUNTING: SURFACE		
VOLTAGE: 208Y/120V	PHASE		3		WIRE: 4		BUS AMPS: 250A			MAIN: 225A MCB			
NEMA 1	NEUTRAL	NEUTRAL: 100%					LOCATION: STORAGE 104						
CIRCUIT DESCRIPTIO	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	Α	/A / PHAS	E C	- VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT
1	2#12 &1#12 , 3/4"C	1	30	1470	1598			128	20	1	2#12 &1#12 , 3/4"C	(N) OFFICE AND LAV LTS	2
(N) CU-1	2#12 &1#12 , 3/4"C	1	30	1470		1470		0	20	1	(E)	WATER COOLER	4
5 (N) OFFICE RECEPT	2#12 &1#12 , 3/4"C	1	20	540			540	0	20	1	(E)	GYM LTS	6
7 GYM LTS	(E)	1	20	0	0			0	20	1	(E)	GYM LTS	8
9 GYM LTS	(E)	1	20	0		0		0	20	1	(E)	GYM LTS	10
I1 GYM LTS	(E)	1	20	0			129	129	20	1	2#12 &1#12 , 3/4"C	(N) EXTERIOR EMERG LTS	12
3 (N) OFFICE RECEPT	2#12 &1#12 , 3/4"C	1	20	540	605			65	20	1	2#12 &1#12 , 3/4"C	(N) WEST EXTERIOR LTS	14
5 GYM EXHAUST	(E)	1	20	0		0		0	20	1	(E)	LTS BOY/GIRL LAVS	16
7 EMERGENCY LIGHTS	(E)	1	20	0			0	0	20	1	(E)	EXHAUST BOY/GIRL LAVS	18
9 GYM RECEPT	(E)	1	20	0	0			0	20	1	(E)	GYM LTS	20
21 LOBBY LIGHTS	(E)	1	20	0		0		0	20	1	(E)	EMERGENCY LTS	22
(N) EXTERIOR LIGHTS	(E)	1	20	885			885	0	20	1	(E)	CIRCULATING PUMP	24
(N) RECEPT ROOFTOP	CU 2#12 &1#12 , 3/4"C	1	20	180	180			0	20	1	(E)	HEATER CONTROL	20
27 GYM HEATER	(E)	1	20	0		0		0	20	1	(E)	GYM HEATER	28
9 GYM HEATER	(E)	1	20	0			0	0	20	1	(E)	FIRE ALARM	30
(N) DXCA-1	2#0 24#0 2/4"C		30	2500	2500			0	20	1	(E)	CIRC PUMP	32
(N) DACA-1	2#8 &1#8 , 3/4"C	2	30	2500		2500		0	20	1	(E)	CIRC PUMP	34
B5 GYM	(E)	1	20	0			0	0	20	1	(E)	BOILER RM RECEPT	30
(N) EWH-1	2#12 &1#12 , 3/4"C	2	20	1000	1000			0	20	1	(E)	BASKETBALL LTS	3
(N) EVII-1	Z#1Z & 1#1Z , 3/4 C	2	20	1000		1000		0	20	1	(E)	BASKETBALL LTS	4
11 SPACE	-	-	-	0			0	0	-	-	-	SPACE	4
NOTES:						TOTALS							
					5883	4970	1554						
						 12407 VA		-				34.44 AMPS	

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NO.	MOUNTING	WATTS	VOLTS
'A'	1' X 4' SURFACE MOUNT LED FIXTURE, 3500K COLOR TEMPERATURE, 4000 LUMENS	LITHONIA	LBL4-4000LM-80CRI-35K-MIN10-MVOLT	CEILING (SURFACE)	32	120/277
'D'	CIRCULAR EXTERIOR LED CANOPY	LITHONIA	OLCFM-15-DDB	CEILING (SURFACE)	16.6	120/277
'W1'	OUTDOOR WALL PACK LED FIXTURE, 4000K COLOR TEMPERATURE, 7,500 LUMENS	LITHONIA	WDGE3-LED-P1-40K-80CRI-TYPE3-MVOLT	WALL/SURFACE MOUNT	52	120/277
'W2'	OUTDOOR WALL PACK LED FIXTURE, 4000K COLOR TEMPERATURE, 10,000 LUMENS	LITHONIA	WDGE3-LED-P3-40K-80CRI-TYPE3-MVOLT	WALL/SURFACE MOUNT	71	120/277
'X'	RED CLEAR LED EXIT SIGN	LITHONIA	EDGR 1 R	CEILING (RECESSED)	3.8	120/277
'XB'	ARCHITECTURAL EMERGENCY LIGHTING WITH BATTERY BACK UP	LITHONIA	AFB-OEL-DDBTXD-UVLOT-N-WT	SURFACE	2.5	120/277
'XE'	EXTERIOR EMERGENCY LIGHTING UNIT 'BUG EYE'	KENALL	METELHC-24N-MB-2-6.5L-DT-CEL	SURFACE	24	120/277





CONSTRUCTION DOCUMENTS

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CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

PENNSYLVANIA

ELECTRICAL SCHEDULES

PROJECT NO	l.	DRAWING NO.
7	3217	
DATE	03/15/24	<b>∟</b> 9.1(1)
SCALE	AS NOTED	, ,
DRAWN BY	TM	
CHECKED BY	RR	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS SI CONTACTOR AT THE SITE BEFORE PRO	

- ALL SYMBOLS AND ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.
- CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS AND LAWS OF AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ENGINEER AT ONCE OF ANY DISCREPANCIES.
- ALL PENETRATION THROUGH DESIGNATED FIRE RATED WALLS, CEILINGS AND FLOOR SLABS (WHICH ARE 2-HOUR RATED) SHALL BE PROPERLY SEALED WITH AN APPROVED RATED FIRE AND SMOKE STOPPING MATERIAL. ALL FIRE AND SMOKE STOPPING MATERIAL SHALL BE SUPPLIED AND WORK PERFORMED AS PER PROJECT SPECIFICATIONS. CONTRACTOR SHALL SUBMIT MANUFACTURER'S CATALOG DATA AND INSTALLATION DETAIL AS PER SPECIFICATIONS FOR FIRE AND SMOKE STOPPING TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR INSTALLATION.
- THE CONTRACTOR SHALL NOT BE ALLOWED ANY STORAGE AREA OTHER THAN THAT AVAILABLE WITHIN THE LIMITS OF THE STAGING AREA, CONFINES OF THE WORK AREA, OR AS DESIGNATED BY THE OWNER.
- ALL MATERIALS SHALL COMPLY WITH APPLICABLE CODES, ORDINANCES AND REGULATIONS.
- A COPY OF THE CURRENT SET OF CONTRACT DOCUMENTS (WITH AS-BUILT INFORMATION) SHALL BE KEPT AT THE JOB SITE AT ALL TIMES BY THE CONTRACTOR.
- EACH CONTRACTOR SHALL REVIEW ALL PROJECT DOCUMENTS OF ALL TRADES FOR A THOROUGH UNDERSTANDING OF PROJECT AND ANY CROSS REFERENCING OF WORK. REVIEW ALL PROJECT REQUIREMENTS PRIOR TO BIDDING. IN CASE OF DISCREPANCIES, THE MOST STRINGENT SHALL GOVERN.
- THE CONTRACTOR SHALL GUARANTEE THE ENTIRE INSTALLATION FOR A PERIOD OF ONE YEAR (EXCEPT WHERE EXTENSIONS OF THIS ONE YEAR PERIOD ARE NOTED) FROM THE DATE OF ACCEPTANCE OF THE SYSTEM AS A WHOLE. ANY DEFECTS, IN WORKMANSHIP, MATERIALS, MALFUNCTION OF EQUIPMENT OR UNSATISFACTORY PERFORMANCE, AND ALL OTHER WORK OR PARTS OF THE BUILDING DAMAGED THEREBY, AS A RESULT OF THE WORK OF THE CONTRACTOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PAY ALL REPAIR COSTS ACCORDINGLY WITHOUT ADDITIONAL COSTS TO OWNER.
- IN ADDITION TO SPECIFICATIONS. AS MAY BE DEFINED HEREAFTER. THE CONTRACTOR SHALL PROTECT THE WORK SITE AND ALL HIS OR HER WORK AGAINST ANY DAMAGE (INCLUDING BUT NOT LIMITED TO WATER, DUST, HEAT, FREEZING, ETC.) UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL, UPON COMPLETION OF THE WORK, SUBMIT AS-BUILT RECORD DRAWINGS SHOWING ALL CHANGES FROM THE CONTRACT DRAWINGS MADE IN THE INSTALLATION, AND SHOWING DIMENSION LOCATIONS OF CONCEALED EQUIPMENT.
- PRIOR TO DELIVERY OF ANY MATERIALS TO THE SITE, THE CONTRACTOR SHALL PROVIDE MATERIAL SAFETY DATA SHEETS FOR ALL ITEMS AND MATERIALS USED IN
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL CAPACITIES AND LOCATIONS OF EQUIPMENT TO BE REMOVED. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE TO DETERMINE ACTUAL PHYSICAL SIZE, CAPACITIES, AND LOCATIONS OF EXISTING EQUIPMENT TO BE REMOVED.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED EQUIPMENT AND SYSTEMS SHUTDOWN WITH OWNER, AND PROVIDE OWNER TWO WEEKS NOTICE OF THE SAME.
- COORDINATE DEMOLITION WORK WITH ALL OTHER TRADES. PHASE WORK IN CONJUNCTION WITH OTHER TRADE PHASING AND PHASING DRAWINGS.
- CONTRACTOR SHALL FIELD VERIFY OTHER EQUIPMENT/UTILITIES NOT ASSOCIATED WITH THIS WORK BUT LYING WITHIN THE WORK AREA, AND WILL NOT DISTURB THOSE EQUIPMENT/UTILITIES. THOSE EQUIPMENT/UTILITIES SHALL BE PROTECTED SO THAT THE SERVICE IS NOT INTERRUPTED. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO THE EQUIPMENT/UTILITIES IN PERFORMANCE OF THE WORK.
- CONTRACTOR SHALL KEEP WORK AREA CLEAN, ORDERLY, AND WORKMAN LIKE, AND REMOVE ALL DEMOLISHED TRASH/ RUBBLE/CONSTRUCTION DEBRIS ON A DAILY BASIS FROM THE WORK AREA AND OFF OWNERS PROPERTY. ALL TRASH/RUBBLE/CONSTRUCTION DEBRIS DEEMED AS HAZARDOUS WASTE/MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH EPA OR ANY OTHER PERTINENT GOVERNING AGENCY AND DISPOSED OF ACCORDINGLY AT AN APPROVED HAZARDOUS WASTE DUMPSITE WITH ALL OF THE APPROVED/REQUIRED DOCUMENTATION.
- 18. ALL EXISTING ABANDONED PIPING OR PIPING MADE ABANDONED BY THE WORK OF THIS PROJECT SHALL BE REMOVED FROM WITHIN THE PROJECT BOUNDARIES. CUT AND CAP PIPING BACK TO A POINT 6" BEYOND (OUTSIDE OF) THE PROJECT BOUNDARIES, UNLESS OTHERWISE NOTED ON THE DRAWINGS. PROVIDE CUTTING AND PATCHING OF ALL CEILINGS, FLOORS, AND WALLS AS REQUIRED.
- 19. PRIOR TO ACCEPTANCE OF THE SPACE, ALL SYSTEMS SHALL BE TESTED, BALANCED. AND OPERATED TO DEMONSTRATE TO THE OWNER. OR HIS OR HER DESIGNATED REPRESENTATIVE. THAT THE INSTALLATION AND PERFORMANCE OF THESE SYSTEMS AND/OR PARTS THEREOF CONFORM TO THE DESIGN INTENT.
- JUNCTION BOXES OR ANY EQUIPMENT REQUIRING CEILING ACCESS SHALL ONLY BE PERMITTED/LOCATED IN ACCESSIBLE TYPE CEILING AREAS (I.E. LAY-IN TYPE CEILING) OR WHERE ACCESS PANELS HAVE BEEN LOCATED. REFER TO ARCHITECTURAL DRAWINGS.
- COORDIANTE WITH GENERAL CONTRACTOR FOR ITEMS SUCH AS ONE-CALL

#### PLUMBING GENERAL NOTES:

- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL STATE AND LOCAL APPLICABLE CODES.
- CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE PIPING SYSTEM TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING SUCH. VERIFY ALL ROUGH-IN LOCATIONS AND COORDINATE PIPING LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS.
- CONTRACTORS SHALL SECURE AND PAY FOR ALL PERMITS, INSPECTION CERTIFICATES, ETC. REQUIRED UNDER THE PROJECT SCOPE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS AND/OR POTENTIAL PROBLEMS OBSERVED PRIOR TO CONTINUING WORK.
- DO NOT SCALE THE PLANS. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, FIXTURES, WALL DIMENSIONS, ETC.
- CONTRACTOR SHALL GIVE SUITABLE NOTICE TO ALL APPLICABLE UTILITY COMPANIES AND OWNER PRIOR TO PERFORMING WORK INVOLVING UTILITIES.
- ALL EQUIPMENT SHALL BE HANDLED, STORED, AND PROTECTED TO PREVENT DAMAGE BEFORE AND DURING INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- ALL EQUIPMENT, ETC, SHALL BE SO LOCATED AND INSTALLED IN A READILY ACCESSIBLE LOCATION SO AS TO PERMIT ACCESS FOR SERVICE WITHOUT DAMAGE TO BUILDING OR FINISHED MATERIALS, PER MANUFACTURER'S INSTRUCTION AND APPLICABLE CODES.
- CONTRACTOR SHALL SUPPLY ACCESS DOORS FOR ACCESS TO EACH CONCEALED VALVE, PIECE OF EQUIPMENT, ETC. ACCESS DOORS SHALL BE HANDED OVER TO THE GC FOR INSTALLATION.
- 10. ALL MATERIAL SHALL BE NEW AND FIT THE SPACE AVAILABLE. VERIFY DIMENSIONS AT SITE.
- 11. ALL PIPING, APPARATUS, EQUIPMENT, ETC. SHALL BE PROPERLY SUPPORTED, BRACED VERTICALLY AND HORIZONTALLY IN ACCORDANCE WITH APPLICABLE CODES AND AS REQUIRED TO PREVENT EXCESSIVE MOVEMENT DURING SEISMIC CONDITIONS.
- THEY ARE INSTALLED, UNLESS OTHERWISE NOTED.
- STERILIZE DOMESTIC WATER PIPING IN ACCORDANCE WITH HEALTH DEPARTMENT REGULATIONS.

VALVES AND FITTINGS SHALL BE OF THE SAME SIZE AS THE PIPING FOR WHICH

- 14. ALL SANITARY PIPING SHALL BE PITCHED IN ACCORDANCE WITH APPLICABLE CODE.
- WATER PIPING SHALL NOT BE RUN IN AREAS SUBJECT TO FREEZING TEMPERATURES UNLESS OTHERWISE NOTED. WATER PIPING IN EXTERIOR WALLS SHALL BE RUN ON THE SIDE OF THE WALL INSULATION THAT BORDERS THE
- PROVIDE DRAIN VALVES AT ALL LOW POINTS OF DOMESTIC WATER SYSTEMS FOR COMPLETE DRAINAGE AND INDICATE LOCATION OF SAME ON RECORD DRAWINGS.
- PROVIDE VACUUM BREAKERS AND WATER HAMMER ARRESTORS AS REQUIRED BY
- CONTRACTOR SHALL VERIFY AND CORRECT SYSTEMS AS REQUIRED TO MEET ALL CODES AND REGULATIONS AND VERIFY AND CORRECT ANY AND ALL POSSIBLE DISCREPANCIES BETWEEN TYPE AND SIZE OF CONNECTIONS SPECIFIED IN THE EQUIPMENT SCHEDULES AND EQUIPMENT ACTUALLY INSTALLED.
- 19. ALL PIPING SHALL BE ROUTED AS TO BE CONCEALED ABOVE CEILINGS, WITHIN WALLS, OR IN CHASES, EXCEPT FINAL CONNECTIONS TO FIXTURES, OR IN MECHANICAL ROOMS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL VERIFY EXACT INVERT ELEVATIONS OF EXISTING PIPING TO WHICH NEW PIPING IS TO BE CONNECTED BEFORE INSTALLATION OF NEW PIPING.
- 21. CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF ALL EQUIPMENT SHOWN ON PLANS, INCLUDING COORDINATION OF ANY EQUIPMENT OF ALTERNATIVE MANUFACTURER. CONTRACTOR SHALL PROVIDE COMPOSITE DRAWINGS AS REQUIRED FOR INSTALLATION OF EQUIPMENT SHOWN ON PLAN FOR APPROVAL BY ENGINEER.
- CONTRACTOR SHALL BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THIS PROJECT AND COORDINATE WITH ALL OTHER DISCIPLINES.
- PROVIDE A SHUT OFF VALVE ON COLD, HOT AND HOT WATER RETURN PIPING CONNECTION TO EACH PLUMBING FIXTURE AND PIPE BRANCHING FROM THE MAIN.

#### APPLICABLE CODES:

- 2018 PHILADELPHIA PLUMBING CODE.
- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

### **GENERAL DEMOLITION NOTES:**

- ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES AND REQUIREMENTS.
- 2. ITEMS SHOWN DASHED AND BOLD SHALL BE DISCONNECTED AND REMOVED BY THE PLUMBING CONTRACTOR UNLESS OTHERWISE NOTED.
- PRIOR TO THE DEMOLITION OF PLUMBING ITEMS, INCLUDING BUT NOT LIMITED TO PIPE, FIXTURES, EQUIPMENT, ETC. PLUMBING CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING PLUMBING SYSTEMS.

#### **ABBREVIATIONS:**

A D) /	ADOME	10.40	INTERNATIONAL MEQUANION, CORE
ABV	ABOVE	IMC	INTERNATIONAL MECHANICAL CODE
AD	AREA DRAIN	IN	INCHES
ADA	AMERICANS WITH DISABILITIES ACT	INV EL	INVERT ELEVATION
AFF	ABOVE FINISHED FLOOR	IPC	INTERNATIONAL PLUMBING CODE
AFWH	ANTI-FREEZE WALL HYDRANT	IW	INDIRECT WASTE
AG	AIR GAP	KS	KITCHEN SINK
AHJ	AUTHORITIES HAVING JURISDICTION	KW	KILOWATTS
AP	ACCESS PANEL	HTG	HEATING
ASPE	AMERICAN SOCIETY OF PLUMBING ENGINEERS	HTHWR	HIGH TEMPERATURE HOT WATER RETURN
AV	ACID VENT	HTHWS	HIGH TEMPERATURE HOT WATER SUPPLY
AW	ACID WASTE	HWR	HEATING HOT WATER RETURN
BFP	BACK FLOW PREVENTER	HWS	HEATING HOT WATER SUPPLY
BFF	BELOW FINISHED FLOOR	HX	HEAT EXCHANGER
BHP	BRAKE HORSE POWER	IEER	INTEGRATED ENERGY EFFICIENCY RATIO
BLW	BELOW	IN	INCH
BOP	BOTTOM OF PIPE	IN WG	INCHES WATER GAGE
BTU	BRITISH THERMAL UNIT(S)	INV EL	INVERT ELEVATION
CA	COMPRESSED AIR	J	PIPE JOINT
CD	CONDENSATE DRAIN	JAN	JANITOR'S
CI	CAST IRON	KW	KILOWATTS
CL	CENTERLINE	LAV	LAVATORY
CM	CONSTRUCTION MANAGER	M	METERS
CO	CLEANOUT	MAV	MANUAL AIR VENT
COND	CONDENSATE	MC	MECHANICAL CONTRACTOR
CONT	CONTINUED	MFR	MANUFACTURER
СР	CONDENSATE PUMP	MH	MANHOLE
CS	CEILING SUPPORT	MOCP	MAXIMUM OVERCURRENT PROTECTION
CV	CONTROL VALVE	MR	MOP RECEPTOR
CW		N2O	
	DOMESTIC COLD WATER		NITROUS OXIDE
CWFU	COLD WATER FIXTURE UNITS	(N)	NEW
(D)	DEMOLITION	NC	NORMALLY CLOSED
DF	DRINKING FOUNTAIN	NIC	NOT IN CONTRACT
DFU	DRAINAGE FIXTURE UNITS	NO	NORMALLY OPEN (FAIL SAFE OPEN)
DIA	DIAMETER	NPW	NON-POTABLE WATER
DN	DOWN	NTS	NOT TO SCALE
DS	DOWNSPOUT	OC	ON CENTER
DWH	DOMESTIC WATER HEATER	OD	OUTSIDE DIAMETER
(E)	EXISTING	OFD	OVERFLOW DRAIN
EC	ELECTIRCAL CONTRACTOR	OFS	OVERFLOW SPOUT
EP	EJECTOR PUMP	OS&Y	OUTSIDE SCREW AND YOLK
EPD	EJECTRO PUMP DISCHARGE	ows	OIL/WATER SEPARATOR
EQUIP	EQUIPMENT	Р	PUMP
ERD	EMERGENCY ROOF DRAIN	PC	PLUMBING CONTRACTOR
ESD	EMERGENCY STORM DRAIN	PD	PUMP DISCHARGE
ESH 	EMERGEMCY SHOWER	PHT	PIPE HEAT TRACE
ET	EXPANSION TANK	PG	PRESSURE GAUGE
EWC	ELECTRIC WATER COOLER	PHTP	PIPE HEAT TRACE PANEL
EWH	ELECTRIC WATER HEATER	POC	POINT OF CONNECTION
EWS	EMERGENCY WASH STATION	PRV	PRESSURE REDUCING VALVE
(ER)	EXISTING TO REMAIN	PRZ	PRESSURE REDUCING ZONE
FCO	FLOOR CLEANOUT	PW	POTABLE WATER
FD	FLOOR DRAIN	(R)	REMOVE
FLA	FULL LOAD AMPS	(RE)	RELOCATED EXISTING
FS	FLOOR SINK	RAC	RUN ABOVE CEILING
FU	FIXTURE UNITS	RBF	RUN BELOW FLOOR
G	NATURAL GAS	RD	ROOF DRAIN
GAL	GALLONS	RDL	ROOF DRAIN LEADER
GPM	GALLONS PER MINUTE	RH	ROOF HYDRANT
GT	GREASE TRAP	RL	ROOF LEADER
GWH	GAS-FIRED HOT WATER HEATER	RP	RECIRCULATION PUMP
HB		RWL	
	HOSE BIBB		RAIN WATER LEADER
H&CW	HOT AND COLD WATER	S	SANITARY STACK
HP	HORSEPOWER	SA	SHOCK ABSORBER
HS	HAND SINK	SAN	SANITARY
HT	HEAT TRACE	SCD	SCUPPER DRAIN
HTT	HEAT TRACE TAPE	SD	STORM DRAIN
HW	DOMESTIC HOT WATER	SFU	SUPPLY FIXTURE UNITS
HWFU	HOT WATER FIXTURE UNITS	SH	SHOWER
HWR	HOT WATER RETURN	SK	SINK
HWS	HOT WATER SUPPLY	SMH	SANITARY MANHOLF

#### VOLTS/PHASE/HERTZ VACUUM BREAKER VENT STACK VENT TERMINATOR **VENT THROUGH ROOF** WASTE WITH WITHOUT W/O WATER CLOSET WALL CLEANOUT WATER GAUGE WALL HYDRANT WATER HAMMER ARRESTOR WASTE STACK

STAINLESS STEEL

STANDARD

TYPICAL

VENT

UNDER FLOOR

STORM WATER

TRENCH DRAIN

TOTAL DYNAMIC HEAD

THERMOSTATIC MIXING VALVE

TOTAL SUPPLY FIXTURE UNITS

UNDER GROUNG OR UNDER SLAB

UNLESS OTHERWISE NOTED

AUTOMATIC TRAP PRIMER

STD

TD

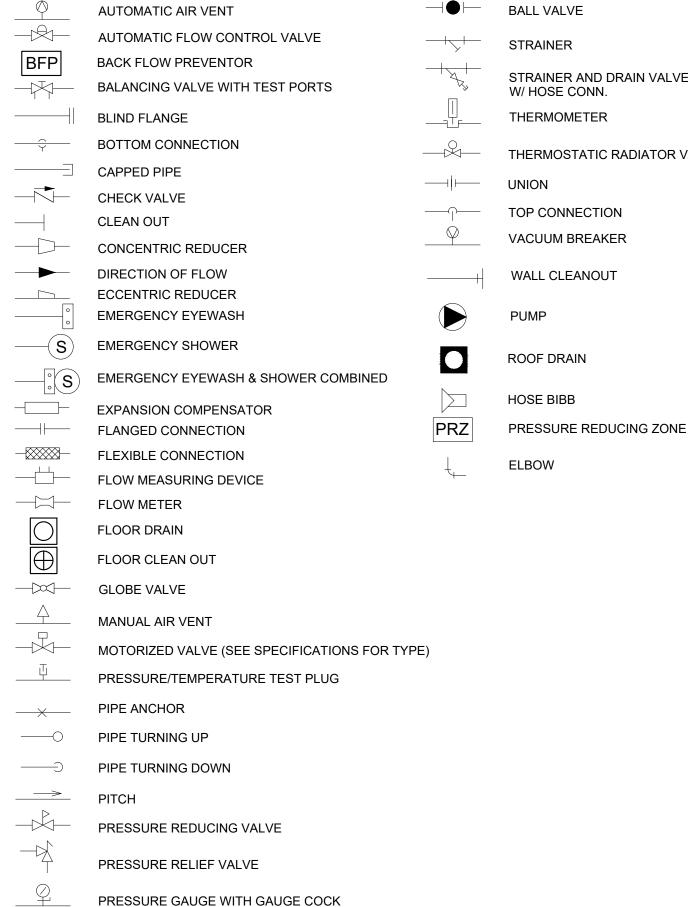
UF

SANITARY SEWER MANHOLE

### PLUMBING SYMBOLS:

 $\longrightarrow$ 

GATE VALVE



REVISIONS ISSUE DATE 09/15/2023 CD PROGRESS SET



CONSTRUCTION DOCUMENTS PROJECT COORDINATOR PRIYANKA MALIK STRAINER AND DRAIN VALVE THERMOSTATIC RADIATOR VALVE

**SMP**ARCHITECTS 1600 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410 MEP ENGINEER: **ARORA ENGINEERS** 

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LANDSCAPE ARCHITECTS **GROUND RECONSIDERED** 230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727 COST CONSULTANT
DHARAM CONSULTING

107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 554 6560 STRUCTURAL ENGINEER STRUCTURAL ENGINEERING

100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087 610 213 3657

#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

PENNSYLVANIA

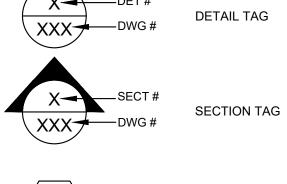
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA

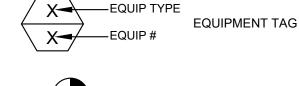
#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

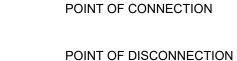
PLUMBING ABBREVIATIONS, SYMBOLS. LEGEND & GENERAL NOTES

PROJECT N	10.	DRAWING NO.
7	'3217	
DATE	03/15/24	P0.0(1)
SCALE	AS NOTED	
DRAWN BY	CY	
CHECKED I	DM	FILE:
NOTE:	ALL DIMENSIONS AND CONDITIONS S CONTACTOR AT THE SITE BEFORE PRO	

#### GENERAL SYMBOLS







### PIPING LEGEND:

HOT WATER SUPPLY

INSIDE DIAMETER

INTERNATIONAL BUILDING CODE

—— – — DOMESTIC COLD WATER ————— DOMESTIC HOT WATER — — — DOMESTIC HOT WATER RETURN 140°F DOMESTIC HOT WATER SUPPLY ----140°F---- 140°F DOMESTIC HOT WATER RETURN ------ SANITARY ---- VENT — CA — COMPRESSED AIR — G — NATURAL GAS

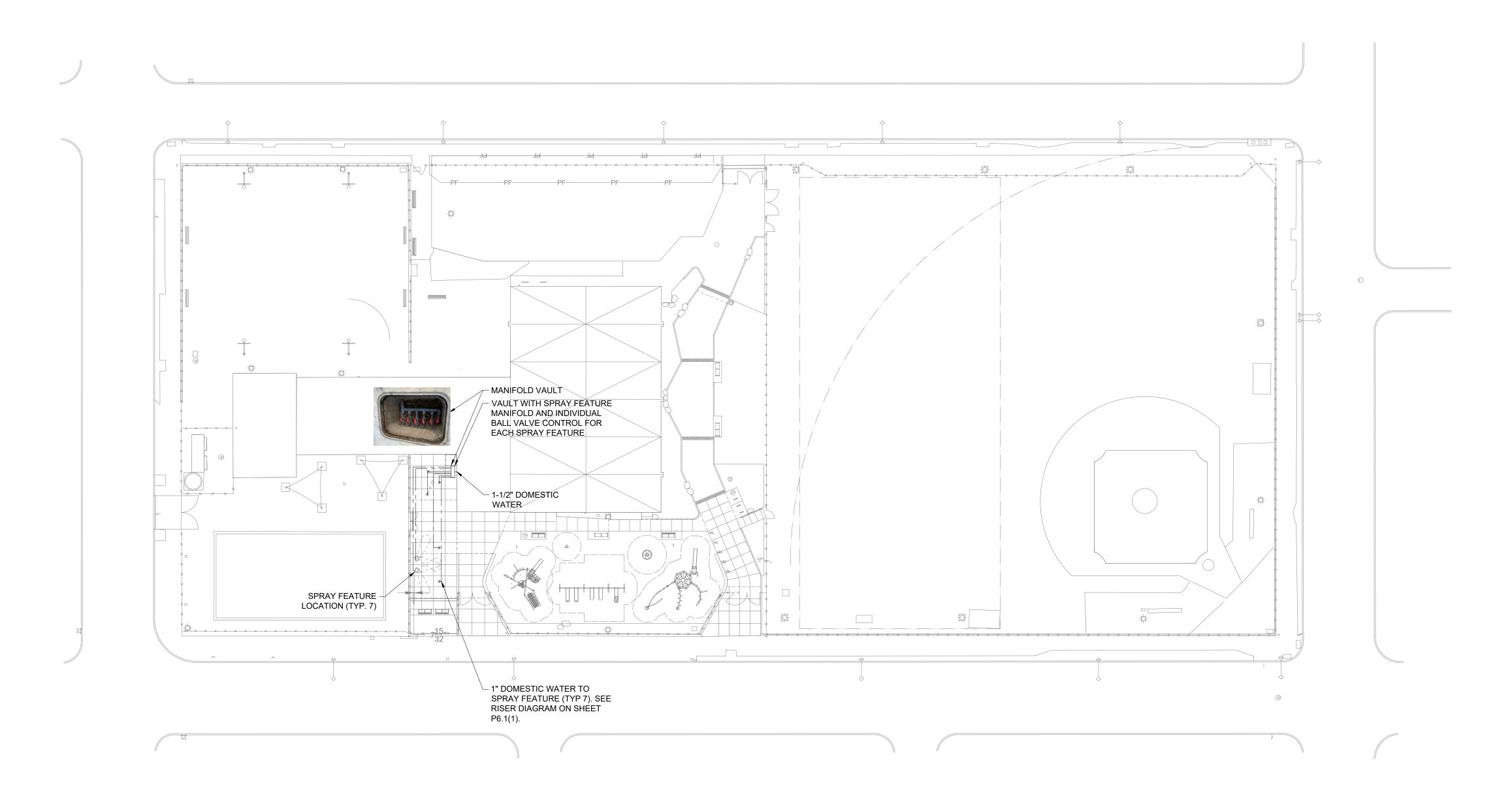
SANITARY MANHOLE

SUMP PUMP

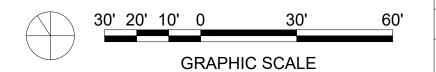
SPECIFICATIONS

SPECS

REFER TO DRAWING P0.0(1) FOR PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL



PLUMBING PROPOSED SITE PLAN P2.0(1) | Scale: 1" = 30'



09/15/2023 | CD PROGRESS SET

REVISIONS



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Wayne, Pennsylvania 19087 610 213 3657 CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION 1515 ARCH STREET

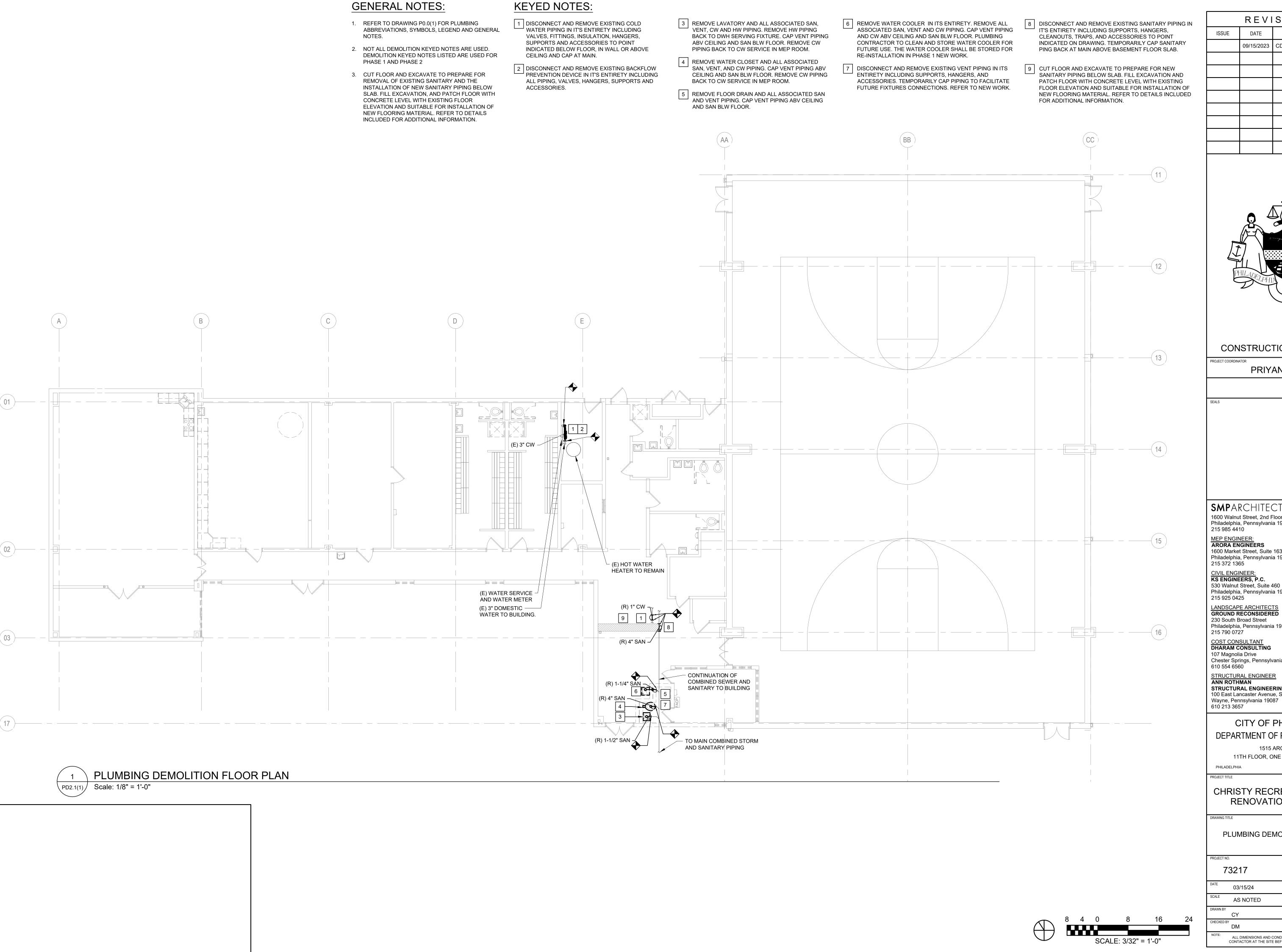
11TH FLOOR, ONE PARKWAY BUILDING PENNSYLVANIA

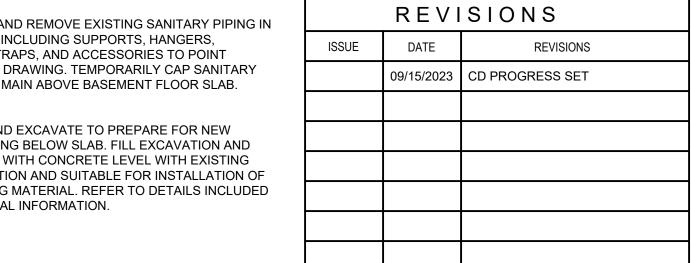
PHILADELPHIA

CHRISTY RECREATION CENTER **RENOVATION - PHASE 1** 

DRAWING TITLE

PLUMBING PROPOSED SITE PLAN







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## CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

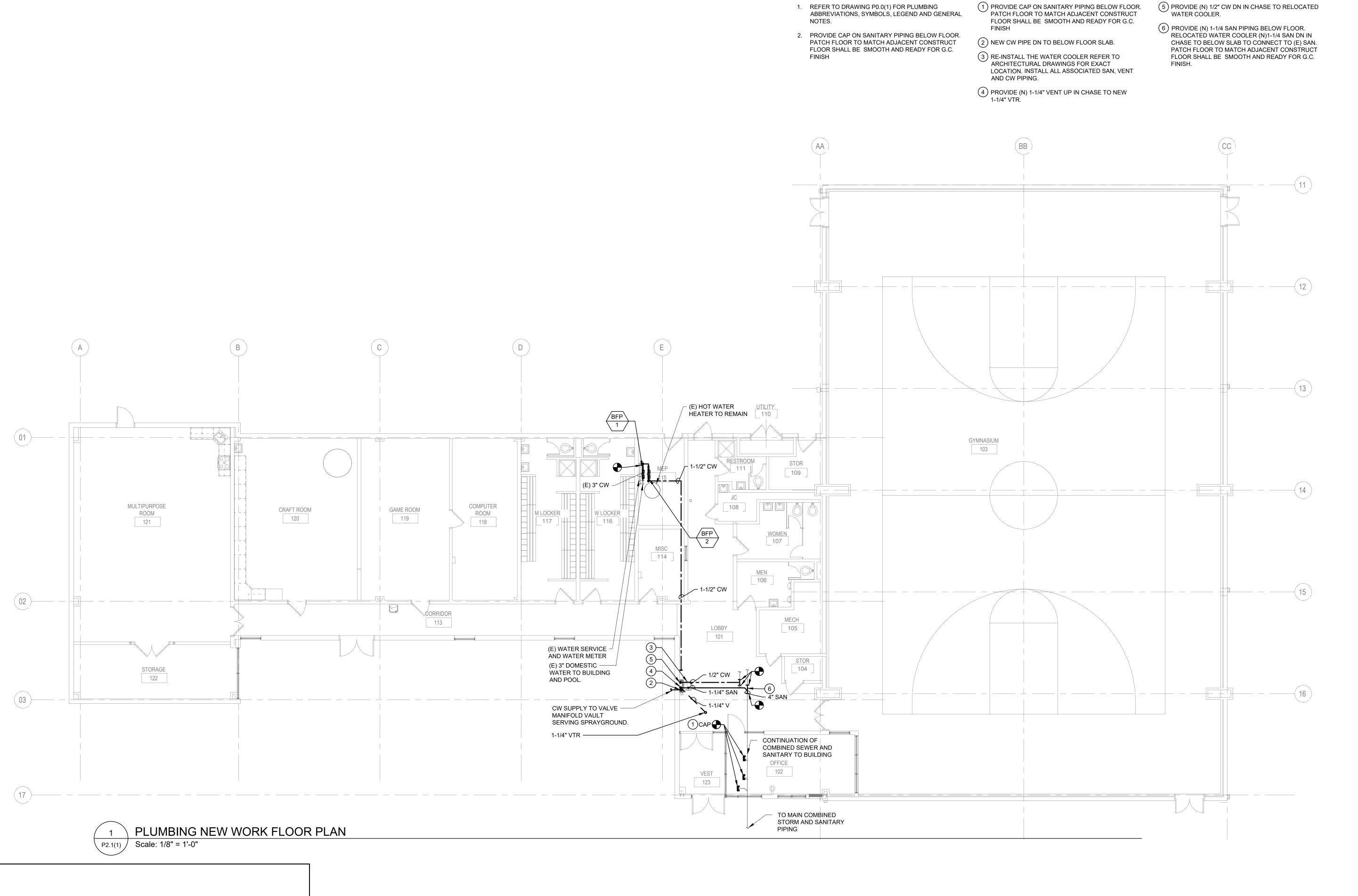
1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PENNSYLVANIA

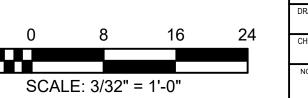
**CHRISTY RECREATION CENTER RENOVATION - PHASE 1** 

PLUMBING DEMOLITION FLOOR PLAN

PROJECT NO.	DRAWING NO.
73217	
03/15/24	PD2.1(1)
AS NOTED	\
RAWN BY CY	
CHECKED BY DM	FILE:
NOTE: ALL DIMENSIONS AND CONDITIONS SI CONTACTOR AT THE SITE BEFORE PRO	



**KEYED NOTES:** 



	REVI	SIONS
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



#### CONSTRUCTION DOCUMENTS

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## CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

PENNSYLVANIA

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

11TH FLOOR, ONE PARKWAY BUIL

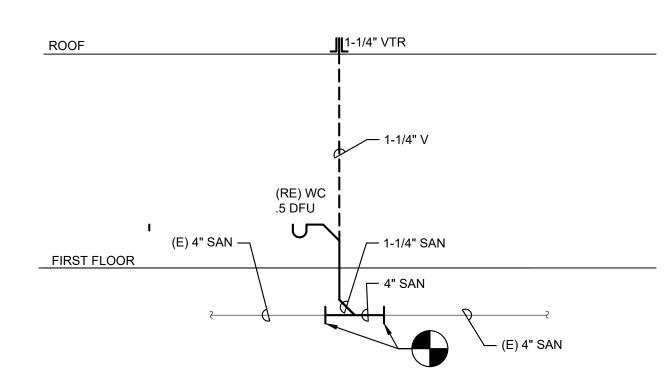
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CHRISTY RECREATION CENTER RENOVATION - PHASE 1

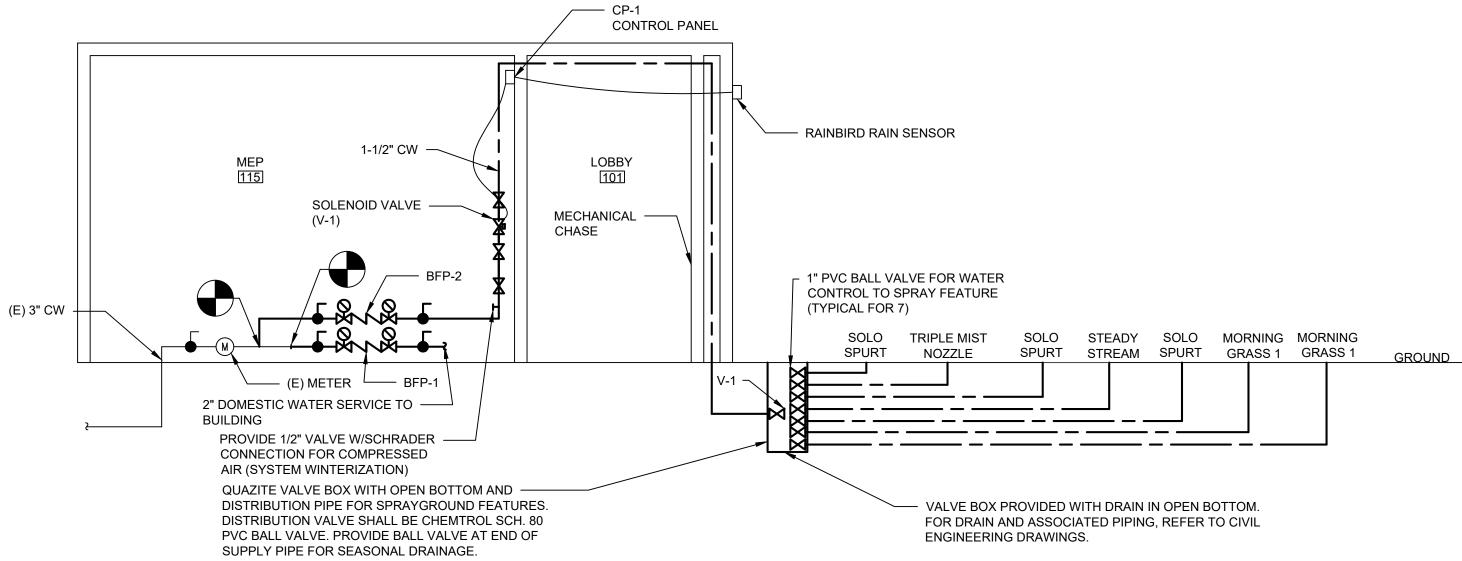
DRAWING TITLE

PLUMBING PROPOSED FLOOR PLAN

ROJECT NO.	DRAWING NO.
73217	
03/15/24	P2.1(1)
AS NOTED	
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OTE: ALL DIMENSIONS AND CONDITIONS S CONTACTOR AT THE SITE BEFORE PRO	



SANITARY AND VENT RISER - 101 P6.1(1) NOT TO SCALE



- 1. PIPING SYSTEM FOR SPRAYGROUND FEATURES SHALL COMPLY WITH CITY OF PHILADELPHIA CROSS CONNECTION CONTROL MANUAL.
- 2. SEE SCHEDULES BELOW FOR FLOW TO INDIVIDUAL FEATURES. VERIFY PIPE SIZE TO EACH FEATURE WITH MANUFACTURER OF SPRAY FEATURE.



CHRISTY RECREAT	CHRISTY RECREATION SPRAYGROUND							
INSTALLED WATER FEATURE	FLOW RATE	PRESSURE	TOTAL					
COMPONENT NAME	QTY	(GPM)	(PSI)	(GPM)				
MORNING GRASS 1	2	3	7	6				
SOLO SPURT	4	1	4	4				
STEADY STREAM	1	1	3.5	1				
TOTAL GPM FOR SP	TOTAL GPM FOR SPRAY GF							

PIPE SCHEE	DULE	
SERVICE	SIZE	MATERIAL
BELOW GROUND	ALL	COPPER TYPE "K" FROM BACK FLOW PREVENTER TO VALVE BOX.
BELOW GROUND	ALL	SCHEDULE 80 PVC FROM CONCRETE MANIFOLD VAULT TO SPRAYGROUND FEATURES.

SPRAY FEATURE CONTROL				
SYMBOL	DESCRIPTION	MANUFACTURER, MODEL, NOTES & ACCESSORIES		
CP-1	RAINBIRD ESP-TM2	PROVIDE CONTROL WIRING FROM CONTROL PANEL WITH TIMER TO RAIN SENSOR RSD-BEX AND WATTS MOTORIZED SOLENOID VALVE (V-1).		

NOTE: COORDINATE TIMER SETTINGS WITH RECREATION CENTER HOURS OF OPERATION.

HYDRANT FLOW TEST DATA	PRESSURE DROP (PSI)	FLOW (GPM)	
LOCATION 1	8" MAIN AT 54TH AND LARCHWOOD		
STATIC	65	65	
RESIDUAL	52	52	
CALCULATED	20	20	
LOCATION 2	6" MAIN AT 54TH A	ND LARCHWOOD	
STATIC	63	0	
RESIDUAL	43	960	
CALCULATED	20	1450	

REVISIONS					
ISSUE	DATE	REVISIONS			
	09/15/2023	CD PROGRESS SET			
	•				



#### CONSTRUCTION DOCUMENTS

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#### CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

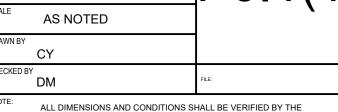
11TH FLOOR, ONE PARKWAY BUILDING PENNSYLVANIA PHILADELPHIA

610 213 3657

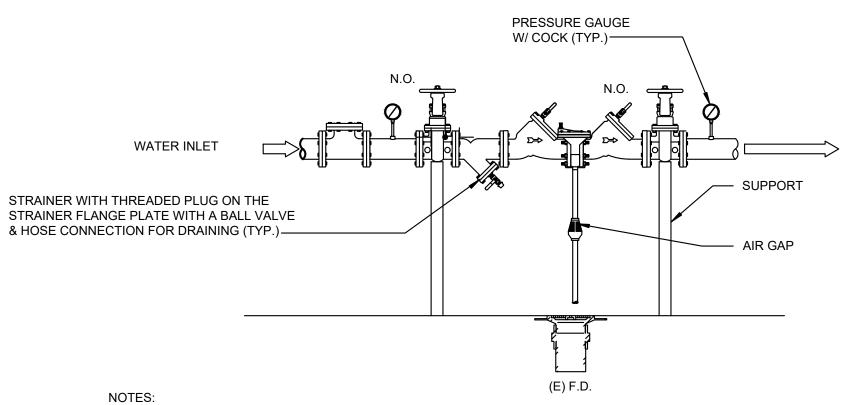
#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

PLUMBING RISER DIAGRAMS

PROJECT NO.	DRAWING NO.
73217	
DATE 03/15/24	P6.1(1)
AS NOTED	
DRAWN BY CY	
CHECKED BY DM	FILE:



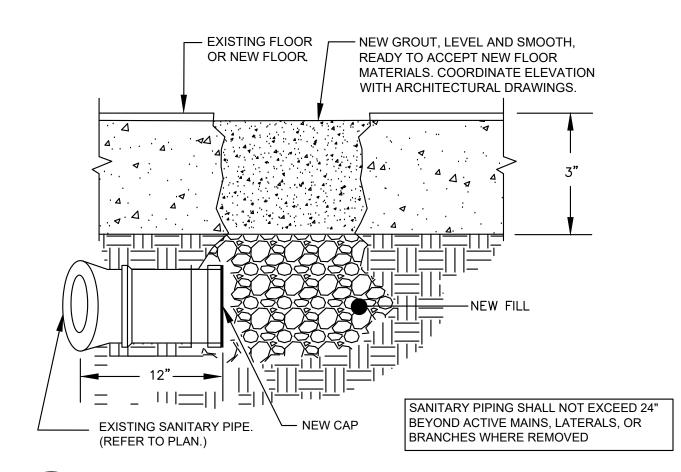
CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



1. REFER TO SCHEDULE SHEET FOR BFP MODEL AND ENLARGED DOMESTIC WATER PLAN FOR LOCATION.

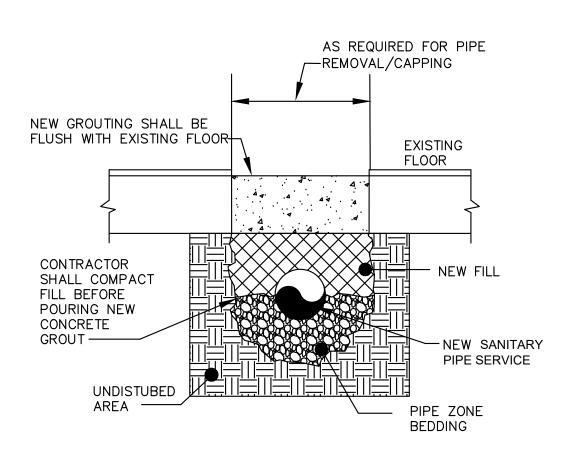
2. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE PHILADELPHIA, PLUMBING CODES AND PROVIDE BACKFLOW PREVENTER TO MEET CROSS CONNECTION CONTROL PER LOCAL GUIDELINES.



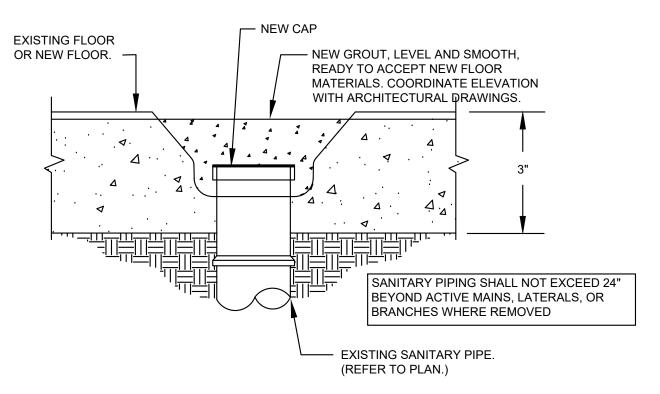


4 TYPICAL CAPPING DETAIL OF EXISTING PIPE

NOT TO SCALE



2 TYPICAL TRENCH PATCHING DETAIL
P8.1(1) NOT TO SCALE

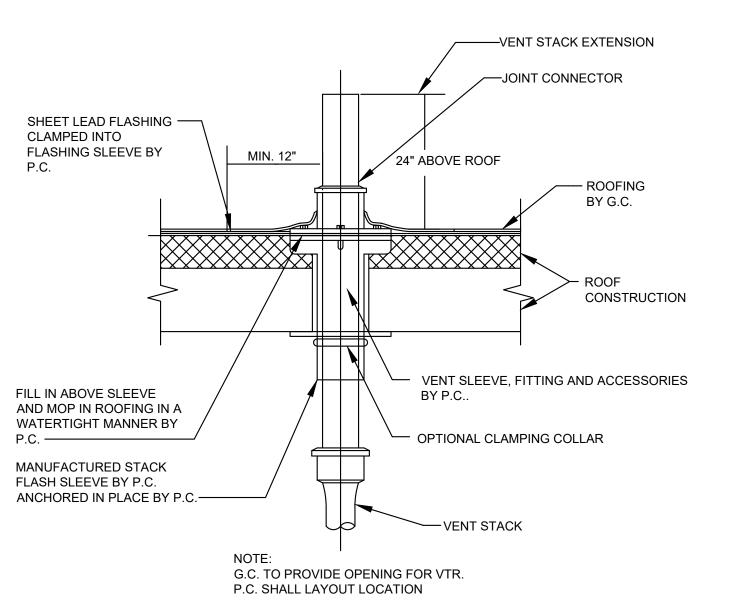


5 TYPICAL CAPPING DETAIL OF EXISTING PIPE

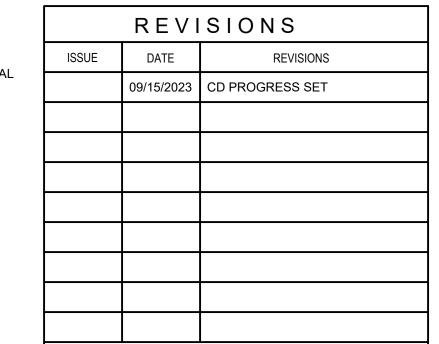
P8.1(1) NOT TO SCALE

#### **GENERAL NOTES:**

1. REFER TO DRAWING P0.0(1) FOR PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.









### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR

PRIYANKA MALIK

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# LANDSCAPE ARCHITECTS GROUND RECONSIDERED 230 South Broad Street Philadelphia, Pennsylvania 19102 215 790 0727

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# STRUCTURAL ENGINEER ANN ROTHMAN STRUCTURAL ENGINEERING 100 East Lancaster Avenue, Suite 203 Wayne, Pennsylvania 19087

## CITY OF PHILADELPHIA DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET

11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA

#### OJECT TITLE

## CHRISTY RECREATION CENTER RENOVATION - PHASE 1

PENNSYLVANIA

AWING TITLE

PLUMBING DETAILS

l	PROJECT NO.	DRAWING NO.
	73217	
İ	DATE 03/15/24	P8.1(1)
İ	AS NOTED	
İ	DRAWN BY CY	
ı	CHECKED BY	

	BACKFLOW PREVENTION DEVICE SCHEDULE							
TAG	BASIS OF DESIGN MANUFACTURER	MODEL NUMBER	LOCATION	DUTY	CAPACITY	PRESSURE DROP	PIPE SIZE INCHES	REMARKS
					GPM	PSI		
BFP-1	WATTS	LF909OSYS-FS	MEP	DOMESTIC	175	12	3"	SEE NOTES
BFP-2	WATTS	LF909QTS-FS	MEP	NON-POTABLE	80	10	2"	SEE NOTES

NOTES: 1. COMPLY WITH AWWA STANDARD - C-511-92

STRAINER REQUIRED
 PROVIDE AIR GAP FITTING RECOMMENDED BY MANUFACTURER - WATTS 909AG-F

PIPE SCHEDULE						
SERVICE	SIZE	MATERIAL	JOINTS	REMARKS		
DOMESTIC WATER	ALL	COPPER TYPE "L" HARD	PRESS CONNECT JOINTS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 605, MATERIALS, JOINTS, AND CONNECTIONS		
SANITARY/STORM	BELOW GRADE	SERVICE WEIGHT CAST IRON	LEAD AND OAKUM	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS		
SANITARY/STORM	ABOVE GROUND	SERVICE WEIGHT CAST IRON	ELASTOMERIC SLEEVE WITH STAINLESS STEEL BANDS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS		
VENT	2" OR LESS	DWV COPPER	PRESS CONNECT JOINTS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS		
VENT	OVER 2"	SERVICE WEIGHT CAST IRON	ELASTOMERIC SLEEVE WITH STAINLESS STEEL BANDS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS		

REVISIONS				
ISSUE DATE		REVISIONS		
	09/15/2023	CD PROGRESS SET		



#### CONSTRUCTION DOCUMENTS

PRIYANKA MALIK

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### CITY OF PHILADELPHIA

DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

#### CHRISTY RECREATION CENTER **RENOVATION - PHASE 1**

PLUMBING SCHEDULES

PROJECT N	0.	DRAWING NO.
7	'3217	
DATE	03/15/24	P9.1(1)
SCALE	AS NOTED	
DRAWN BY	CY	
CHECKED E	DM	FILE:
ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK		