



# CITY OF PHILADELPHIA

## DEPARTMENT OF PARKS & RECREATION

MAYOR - CHERELLE PARKER

MANAGING DIRECTOR - ADAM THIEL

COMMISSIONER - DEPARTMENT OF PARKS & RECREATION - SUSAN SLAWSON

# CHRISTY RECREATION CENTER

## RENOVATION - PHASE 1

PROJECT NO. 16-21-7053-01

728 SOUTH 55TH STREET  
PHILADELPHIA, PA 19143

### CONSTRUCTION DOCUMENTS

**SMP ARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:  
ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:  
KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS  
GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT  
DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER  
ANN ROTHMAN  
STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

### DRAWING LIST:

<p>LOCATION PLAN</p> <p><b>SITE</b></p>		<p>DRAWING LIST</p> <table border="1"> <tr><td>GENERAL</td><td>COVER SHEET</td><td>D2.2(1)</td><td>DEMOLITION RCP</td></tr> <tr><td>ARCHITECTURE - PHASE 1</td><td></td><td>D2.3(1)</td><td>DEMOLITION ELEVATION</td></tr> <tr><td>A0.1(1)</td><td>GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS</td><td>A2.0(1)</td><td>FLOOR PLAN</td></tr> <tr><td>A0.2(1)</td><td>BUILDING CODE INFORMATION</td><td>A2.1(1)</td><td>ROOF PLAN</td></tr> <tr><td>CIVIL - PHASE 1</td><td></td><td>A3.0(1)</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>C1.01</td><td>EXISTING SITE PLAN</td><td>A5.0(1)</td><td>ENLARGED PLANS AND INTERIOR ELEVATIONS</td></tr> <tr><td>C1.02(1)</td><td>UTILITY PLAN - PHASE 1</td><td>A6.0(1)</td><td>REFLECTED CEILING PLANS</td></tr> <tr><td>C1.03(1)</td><td>GRADING PLAN - PHASE 1</td><td>A8.0(1)</td><td>EXTERIOR DETAILS</td></tr> <tr><td>C1.04(1)</td><td>STORMWATER MANAGEMENT SUBSURFACE INFILTRATION BASIN DETAIL</td><td>A9.0(1)</td><td>DOOR AND FINISH SCHEDULES</td></tr> <tr><td>C1.05(ALT)</td><td>STORMWATER MANAGEMENT SUBSURFACE DETENTION BASIN DETAIL - ALT</td><td>A9.1(1)</td><td>WINDOW TYPES, DETAILS, &amp; ALSF</td></tr> <tr><td>C5.01</td><td>CONSTRUCTION DETAILS</td><td>STRUCTURAL - PHASE 1</td><td></td></tr> <tr><td>C5.02</td><td>CONSTRUCTION DETAILS</td><td>S1.0(1)</td><td>STRUCTURAL PLANS, DETAILS, AND NOTES</td></tr> <tr><td>C5.03</td><td>CONSTRUCTION DETAILS</td><td>MECHANICAL - PHASE 1</td><td></td></tr> <tr><td>C5.04</td><td>CONSTRUCTION DETAILS</td><td>M0.0(1)</td><td>MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES</td></tr> <tr><td>C5.05</td><td>CONSTRUCTION DETAILS</td><td>M02.1(1)</td><td>MECHANICAL DEMOLITION FLOOR PLAN</td></tr> <tr><td>CE1.01</td><td>EROSION AND SEDIMENT CONTROL PLAN</td><td>M02.2(1)</td><td>MECHANICAL DEMOLITION ROOF PLAN</td></tr> <tr><td>CE1.02</td><td>EROSION AND SEDIMENT CONTROL PLAN</td><td>M2.1(1)</td><td>MECHANICAL PROPOSED FLOOR PLAN</td></tr> <tr><td>CE5.01</td><td>EROSION AND SEDIMENT CONTROL DETAILS</td><td>M2.2(1)</td><td>MECHANICAL PROPOSED ROOF PLAN</td></tr> <tr><td>CE7.01</td><td>EROSION AND SEDIMENT CONTROL NOTES</td><td>M8.1(1)</td><td>MECHANICAL DETAILS</td></tr> <tr><td>LANDSCAPE - PHASE 1</td><td></td><td>M9.1(1)</td><td>MECHANICAL SCHEDULES</td></tr> <tr><td>L1.0(1)</td><td>SITE DEMOLITION AND TREE PROTECTION</td><td>ELECTRICAL - PHASE 1</td><td></td></tr> <tr><td>L2.0(1)</td><td>MATERIALS AND FURNISHINGS PLAN</td><td>E0.0(1)</td><td>ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES</td></tr> <tr><td>L2.1(1)</td><td>DETAIL PLANS</td><td>E2.0(1)</td><td>ELECTRICAL PROPOSED SITE PLAN</td></tr> <tr><td>L3.0(1)</td><td>LAYOUT PLAN</td><td>ED2.1(1)</td><td>ELECTRICAL DEMOLITION FLOOR PLAN</td></tr> <tr><td>L4.0(1)</td><td>DESIGN GRADING PLAN</td><td>ED2.2(1)</td><td>ELECTRICAL DEMOLITION ROOF PLAN</td></tr> <tr><td>L5.0(1)</td><td>SOILS PLAN</td><td>ED2.3(1)</td><td>ELECTRICAL DEMOLITION LIGHTING PLAN</td></tr> <tr><td>L6.0(1)</td><td>PLANTING PLAN</td><td>E2.1(1)</td><td>ELECTRICAL PROPOSED FLOOR PLAN</td></tr> <tr><td>L7.0(1)</td><td>PAVING DETAILS</td><td>E2.2(1)</td><td>ELECTRICAL PROPOSED ROOF PLAN</td></tr> <tr><td>L7.1(1)</td><td>WALL, STAIR AND RAMP DETAILS</td><td>E2.3(1)</td><td>ELECTRICAL PROPOSED LIGHTING PLAN</td></tr> <tr><td>L7.2(1)</td><td>WALL, STAIR AND RAMP DETAILS</td><td>E6.1(1)</td><td>DEMOLITION ELECTRICAL SINGLE LINE DIAGRAM</td></tr> <tr><td>L7.3(1)</td><td>FENCE DETAILS</td><td>E8.1(1)</td><td>ELECTRICAL DETAILS</td></tr> <tr><td>L7.4(1)</td><td>FURNISHING DETAILS</td><td>E9.1(1)</td><td>ELECTRICAL SCHEDULES</td></tr> <tr><td>L7.5(1)</td><td>FURNISHING DETAILS</td><td>PLUMBING - PHASE 1</td><td></td></tr> <tr><td>L7.6(1)</td><td>PLANTING DETAILS</td><td>P0.0(1)</td><td>PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND, AND GENERAL NOTES</td></tr> <tr><td>ARCHITECTURE - PHASE 1</td><td></td><td>P2.0(1)</td><td>PLUMBING PROPOSED FLOOR PLAN</td></tr> <tr><td>D2.0(1)</td><td>DEMOLITION PLAN</td><td>P02.1(1)</td><td>PLUMBING DEMOLITION FLOOR PLAN</td></tr> <tr><td>D2.1(1)</td><td>DEMOLITION ROOF PLAN</td><td>P2.1(1)</td><td>PLUMBING PROPOSED FLOOR PLAN</td></tr> <tr><td></td><td></td><td>P6.1(1)</td><td>PLUMBING RISER DIAGRAMS</td></tr> <tr><td></td><td></td><td>P8.1(1)</td><td>PLUMBING DETAILS</td></tr> <tr><td></td><td></td><td>P9.1(1)</td><td>PLUMBING SCHEDULES</td></tr> </table>		GENERAL	COVER SHEET	D2.2(1)	DEMOLITION RCP	ARCHITECTURE - PHASE 1		D2.3(1)	DEMOLITION ELEVATION	A0.1(1)	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS	A2.0(1)	FLOOR PLAN	A0.2(1)	BUILDING CODE INFORMATION	A2.1(1)	ROOF PLAN	CIVIL - PHASE 1		A3.0(1)	EXTERIOR ELEVATIONS	C1.01	EXISTING SITE PLAN	A5.0(1)	ENLARGED PLANS AND INTERIOR ELEVATIONS	C1.02(1)	UTILITY PLAN - PHASE 1	A6.0(1)	REFLECTED CEILING PLANS	C1.03(1)	GRADING PLAN - PHASE 1	A8.0(1)	EXTERIOR DETAILS	C1.04(1)	STORMWATER MANAGEMENT SUBSURFACE INFILTRATION BASIN DETAIL	A9.0(1)	DOOR AND FINISH SCHEDULES	C1.05(ALT)	STORMWATER MANAGEMENT SUBSURFACE DETENTION BASIN DETAIL - ALT	A9.1(1)	WINDOW TYPES, DETAILS, & ALSF	C5.01	CONSTRUCTION DETAILS	STRUCTURAL - PHASE 1		C5.02	CONSTRUCTION DETAILS	S1.0(1)	STRUCTURAL PLANS, DETAILS, AND NOTES	C5.03	CONSTRUCTION DETAILS	MECHANICAL - PHASE 1		C5.04	CONSTRUCTION DETAILS	M0.0(1)	MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES	C5.05	CONSTRUCTION DETAILS	M02.1(1)	MECHANICAL DEMOLITION FLOOR PLAN	CE1.01	EROSION AND SEDIMENT CONTROL PLAN	M02.2(1)	MECHANICAL DEMOLITION ROOF PLAN	CE1.02	EROSION AND SEDIMENT CONTROL PLAN	M2.1(1)	MECHANICAL PROPOSED FLOOR PLAN	CE5.01	EROSION AND SEDIMENT CONTROL DETAILS	M2.2(1)	MECHANICAL PROPOSED ROOF PLAN	CE7.01	EROSION AND SEDIMENT CONTROL NOTES	M8.1(1)	MECHANICAL DETAILS	LANDSCAPE - PHASE 1		M9.1(1)	MECHANICAL SCHEDULES	L1.0(1)	SITE DEMOLITION AND TREE PROTECTION	ELECTRICAL - PHASE 1		L2.0(1)	MATERIALS AND FURNISHINGS PLAN	E0.0(1)	ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES	L2.1(1)	DETAIL PLANS	E2.0(1)	ELECTRICAL PROPOSED SITE PLAN	L3.0(1)	LAYOUT PLAN	ED2.1(1)	ELECTRICAL DEMOLITION FLOOR PLAN	L4.0(1)	DESIGN GRADING PLAN	ED2.2(1)	ELECTRICAL DEMOLITION ROOF PLAN	L5.0(1)	SOILS PLAN	ED2.3(1)	ELECTRICAL DEMOLITION LIGHTING PLAN	L6.0(1)	PLANTING PLAN	E2.1(1)	ELECTRICAL PROPOSED FLOOR PLAN	L7.0(1)	PAVING DETAILS	E2.2(1)	ELECTRICAL PROPOSED ROOF PLAN	L7.1(1)	WALL, STAIR AND RAMP DETAILS	E2.3(1)	ELECTRICAL PROPOSED LIGHTING PLAN	L7.2(1)	WALL, STAIR AND RAMP DETAILS	E6.1(1)	DEMOLITION ELECTRICAL SINGLE LINE DIAGRAM	L7.3(1)	FENCE DETAILS	E8.1(1)	ELECTRICAL DETAILS	L7.4(1)	FURNISHING DETAILS	E9.1(1)	ELECTRICAL SCHEDULES	L7.5(1)	FURNISHING DETAILS	PLUMBING - PHASE 1		L7.6(1)	PLANTING DETAILS	P0.0(1)	PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND, AND GENERAL NOTES	ARCHITECTURE - PHASE 1		P2.0(1)	PLUMBING PROPOSED FLOOR PLAN	D2.0(1)	DEMOLITION PLAN	P02.1(1)	PLUMBING DEMOLITION FLOOR PLAN	D2.1(1)	DEMOLITION ROOF PLAN	P2.1(1)	PLUMBING PROPOSED FLOOR PLAN			P6.1(1)	PLUMBING RISER DIAGRAMS			P8.1(1)	PLUMBING DETAILS			P9.1(1)	PLUMBING SCHEDULES	<p>PROJECT APPROVED</p> <p>COMMISSIONER/PARKS AND RECREATION</p> <p>DEPUTY COMMISSIONER/CAPITAL PROJECTS</p> <p>PROJECT DIRECTOR</p> <p>SEALS</p> <p>CITY OF PHILADELPHIA DEPARTMENT OF PARKS AND RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA, PENNSYLVANIA</p> <p>PROJECT NO. 16-21-7053-01</p> <p>DRAWING NO. CS-1</p> <p>DATE 03/15/2024</p> <p>SCALE AS NOTED</p> <p>DRAWN BY ED</p> <p>CHECKED BY MS</p> <p>FILE: C:\PH0000\PH0000\DRAWINGS</p> <p>NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.</p>	
GENERAL	COVER SHEET	D2.2(1)	DEMOLITION RCP																																																																																																																																																																		
ARCHITECTURE - PHASE 1		D2.3(1)	DEMOLITION ELEVATION																																																																																																																																																																		
A0.1(1)	GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS	A2.0(1)	FLOOR PLAN																																																																																																																																																																		
A0.2(1)	BUILDING CODE INFORMATION	A2.1(1)	ROOF PLAN																																																																																																																																																																		
CIVIL - PHASE 1		A3.0(1)	EXTERIOR ELEVATIONS																																																																																																																																																																		
C1.01	EXISTING SITE PLAN	A5.0(1)	ENLARGED PLANS AND INTERIOR ELEVATIONS																																																																																																																																																																		
C1.02(1)	UTILITY PLAN - PHASE 1	A6.0(1)	REFLECTED CEILING PLANS																																																																																																																																																																		
C1.03(1)	GRADING PLAN - PHASE 1	A8.0(1)	EXTERIOR DETAILS																																																																																																																																																																		
C1.04(1)	STORMWATER MANAGEMENT SUBSURFACE INFILTRATION BASIN DETAIL	A9.0(1)	DOOR AND FINISH SCHEDULES																																																																																																																																																																		
C1.05(ALT)	STORMWATER MANAGEMENT SUBSURFACE DETENTION BASIN DETAIL - ALT	A9.1(1)	WINDOW TYPES, DETAILS, & ALSF																																																																																																																																																																		
C5.01	CONSTRUCTION DETAILS	STRUCTURAL - PHASE 1																																																																																																																																																																			
C5.02	CONSTRUCTION DETAILS	S1.0(1)	STRUCTURAL PLANS, DETAILS, AND NOTES																																																																																																																																																																		
C5.03	CONSTRUCTION DETAILS	MECHANICAL - PHASE 1																																																																																																																																																																			
C5.04	CONSTRUCTION DETAILS	M0.0(1)	MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES																																																																																																																																																																		
C5.05	CONSTRUCTION DETAILS	M02.1(1)	MECHANICAL DEMOLITION FLOOR PLAN																																																																																																																																																																		
CE1.01	EROSION AND SEDIMENT CONTROL PLAN	M02.2(1)	MECHANICAL DEMOLITION ROOF PLAN																																																																																																																																																																		
CE1.02	EROSION AND SEDIMENT CONTROL PLAN	M2.1(1)	MECHANICAL PROPOSED FLOOR PLAN																																																																																																																																																																		
CE5.01	EROSION AND SEDIMENT CONTROL DETAILS	M2.2(1)	MECHANICAL PROPOSED ROOF PLAN																																																																																																																																																																		
CE7.01	EROSION AND SEDIMENT CONTROL NOTES	M8.1(1)	MECHANICAL DETAILS																																																																																																																																																																		
LANDSCAPE - PHASE 1		M9.1(1)	MECHANICAL SCHEDULES																																																																																																																																																																		
L1.0(1)	SITE DEMOLITION AND TREE PROTECTION	ELECTRICAL - PHASE 1																																																																																																																																																																			
L2.0(1)	MATERIALS AND FURNISHINGS PLAN	E0.0(1)	ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND, GENERAL NOTES																																																																																																																																																																		
L2.1(1)	DETAIL PLANS	E2.0(1)	ELECTRICAL PROPOSED SITE PLAN																																																																																																																																																																		
L3.0(1)	LAYOUT PLAN	ED2.1(1)	ELECTRICAL DEMOLITION FLOOR PLAN																																																																																																																																																																		
L4.0(1)	DESIGN GRADING PLAN	ED2.2(1)	ELECTRICAL DEMOLITION ROOF PLAN																																																																																																																																																																		
L5.0(1)	SOILS PLAN	ED2.3(1)	ELECTRICAL DEMOLITION LIGHTING PLAN																																																																																																																																																																		
L6.0(1)	PLANTING PLAN	E2.1(1)	ELECTRICAL PROPOSED FLOOR PLAN																																																																																																																																																																		
L7.0(1)	PAVING DETAILS	E2.2(1)	ELECTRICAL PROPOSED ROOF PLAN																																																																																																																																																																		
L7.1(1)	WALL, STAIR AND RAMP DETAILS	E2.3(1)	ELECTRICAL PROPOSED LIGHTING PLAN																																																																																																																																																																		
L7.2(1)	WALL, STAIR AND RAMP DETAILS	E6.1(1)	DEMOLITION ELECTRICAL SINGLE LINE DIAGRAM																																																																																																																																																																		
L7.3(1)	FENCE DETAILS	E8.1(1)	ELECTRICAL DETAILS																																																																																																																																																																		
L7.4(1)	FURNISHING DETAILS	E9.1(1)	ELECTRICAL SCHEDULES																																																																																																																																																																		
L7.5(1)	FURNISHING DETAILS	PLUMBING - PHASE 1																																																																																																																																																																			
L7.6(1)	PLANTING DETAILS	P0.0(1)	PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND, AND GENERAL NOTES																																																																																																																																																																		
ARCHITECTURE - PHASE 1		P2.0(1)	PLUMBING PROPOSED FLOOR PLAN																																																																																																																																																																		
D2.0(1)	DEMOLITION PLAN	P02.1(1)	PLUMBING DEMOLITION FLOOR PLAN																																																																																																																																																																		
D2.1(1)	DEMOLITION ROOF PLAN	P2.1(1)	PLUMBING PROPOSED FLOOR PLAN																																																																																																																																																																		
		P6.1(1)	PLUMBING RISER DIAGRAMS																																																																																																																																																																		
		P8.1(1)	PLUMBING DETAILS																																																																																																																																																																		
		P9.1(1)	PLUMBING SCHEDULES																																																																																																																																																																		

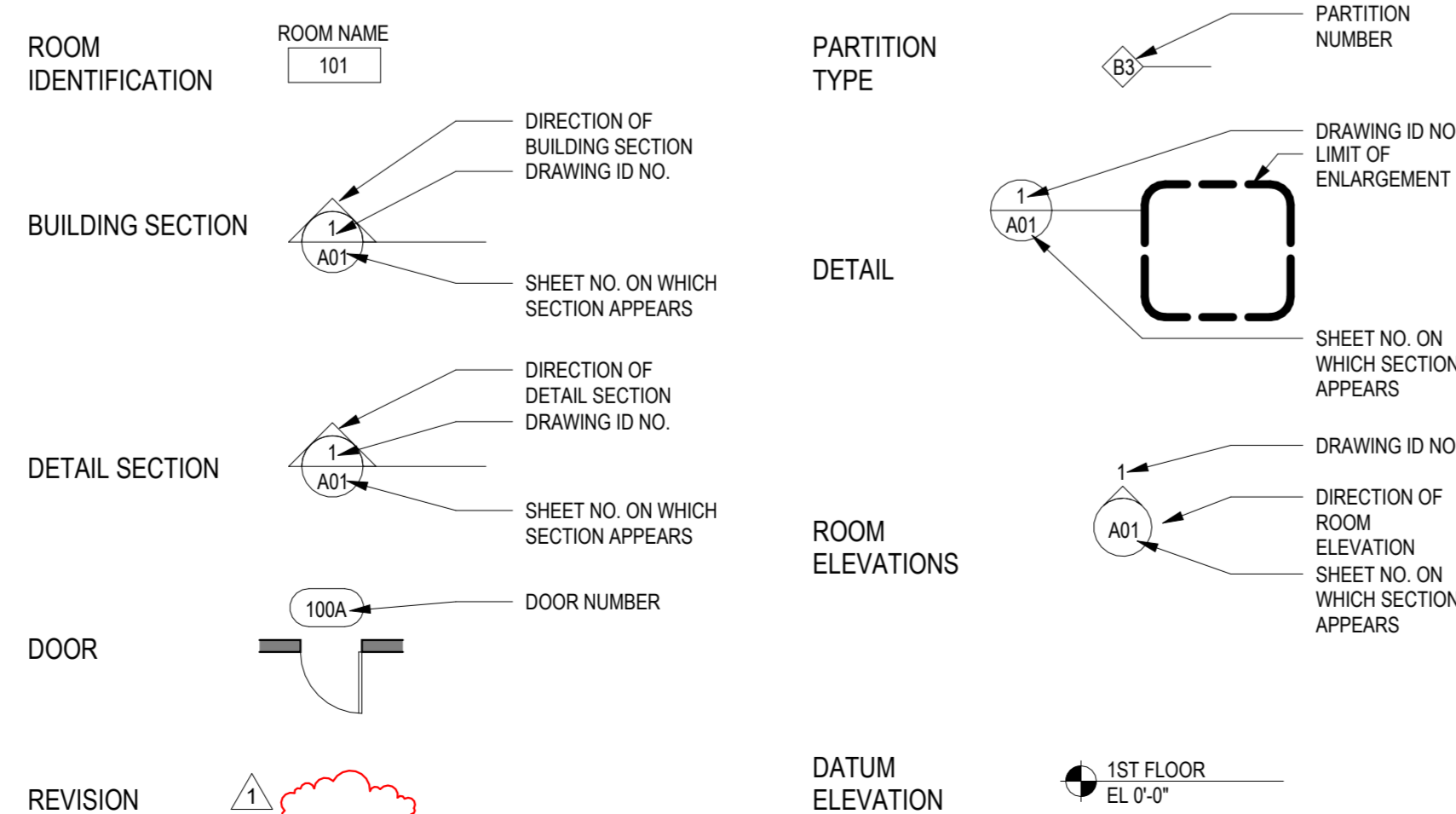
# GENERAL NOTES:

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, CODES AND ORDINANCES.
- THE CONTRACTOR SHALL CONFIRM, LOCATE AND COORDINATE WORK WITH HIDDEN MECHANICAL, PLUMBING AND ELECTRICAL CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, SITE AND EQUIPMENT DURING CONSTRUCTION, INCLUDING DAMAGE FROM THE ELEMENTS. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE EXISTING BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE IMMEDIATELY AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE. IF EXISTING CONDITIONS DO NOT PERMIT INSTALLATION OF WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT AND PROVIDE A SKETCH OF THE CONDITION.
- DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND SIZE OF ALL OPENINGS WITH ALL TRADES PRIOR TO INSTALLATION.
- DETAILS SHOWN ARE INTENDED FOR SPECIFIC LOCATIONS AND CONDITIONS. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT SIMILAR CONDITIONS AND SHALL BE CONSIDERED PART OF THE WORK.
- UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS AS BEING NIC, ALL ITEMS, MATERIALS, ETC. AND INSTALLATION OF SAME ARE A PART OF THE CONTRACT WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL SLEEVING WORK, UNO, COORDINATE LOCATION AND SIZE OF ALL OPENINGS, INTERIOR AND/OR EXTERIOR WITH ALL TRADES PRIOR TO INSTALLATION.

# ABBREVIATIONS:

<b>A</b>	ARCHITECT/ENGINEER	<b>F</b>	FIRE ALARM	<b>P</b>	PRECAST ARCHITECTURAL CONCRETE
A/E	ANCHOR BOLT	FA	FIBER CEMENT BOARD	PERF	PERFORATED
AB	ABOVE	FCB	FAN COIL UNIT	PLAM	PLASTIC LAMINATE
ABV	ACOUSTIC CEILING TILE	FD	FLOOR DRAIN	PLAS	PLASTER
ACT	ADJACENT/ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	PNL	PANEL
ADJ	ABOVE FINISH FLOOR	FF	FACTORY FINISH	PNLG	PANELING
AFF	AGGREGATE	FFE	FINISHED FLOOR ELEVATION	PNT	PAINT(ED)
AGG	ALUMINUM CURTAINWALL	FIN	FINISH(ED)	POL	POLISHED
ALCW	ALUMINUM	FLG	FLASHING	PROJ	PROJECTION
AL(ALUM)	ALUMINUM STOREFRONT	FLR	FLOOR(ING)	P.T.	PRESSURE TREATED
ALSF	ALUMINUM WINDOW	FND	FOUNDATION	PT	PORCELAIN TILE
ALW	ANODIZED	F.O.	FACE OF	PTN	PARTITION
ANOD	ACCESS PANEL	FP	FILLER PANEL	PWD	PLYWOOD
AP	APPROXIMATE	FT	FOOT (FEET)	PV	PIPE VENT
APPROX	ARCHITECTURAL	FTG	FOOTING		
ARCH		FTR	FIN TUBE RADIATOR		
				<b>R</b>	RETURN AIR
<b>B</b>	BOARD AND BATTEN	<b>G</b>	GAUGE	RA	RADIUS
B&B	BASE CABINET	GA	GALVANIZED	RAD	RUBBER BASE
BCAB	BOARD	GALV	GROUND FACE	RB	RUBBER STAIR TREAD
BD	BUILDING	GF	GLAZED, GLAZING, GLASS	RBT	REFLECTED CEILING PLAN
BLDG	BLKING	GLAZ	GLASS REINFORCED GYPSUM	RCP	ROOF DRAIN
BLKG	BELOW	GRG	GYPSUM WALLBOARD	RD	REFER; REFERENCE
BLW	BOTTOM OF	GWB		REF	REQUIRED
B.O.	BROADLOOM CARPET			REQ D	REVISION, REVISE(D)
BC	BEAM	<b>H</b>	HIGH DENSITY POLYETHYLENE	REV	RESILIENT FLOORING
BM	BRICK	HDPE	HOLLOW METAL	RSF	RESILIENT TILE FLOORING
BRK	BETWEEN	HOR	HORIZONTAL	RT	ROOM
BTW		HR	HOUR	RM	ROUGH OPENING
		HRWD	HARDWOOD	R.O.	RESILIENT RUBBER TILE FLOORING
<b>C</b>	CABINET	HSS	HOLLOW STEEL SECTION	RTF	RAINWATER CONDUCTOR
CAB	CEMENTBOARD	HT	HEIGHT	RWC	
CB	CERTIFIED	HVAC	HEAVING/VENTILATION/AIR CONDITIONING		
CERT	COLD FORMED METAL FRAMING	HW	HOT WATER HEATER	<b>S</b>	SOUTH
CFMF	CONSTRUCTION/CONTROL JOINT			S	SUPPLY AIR
CJ	CENTERLINE	<b>I</b>	INSULATED GLAZING UNIT	SA	SINK BASE CABINET
CL	CEILING	IGU	INCLUDING/INCLUDED	SBC	SUPPLIED BY OTHERS
CLG	CLEAR/ CLEARANCE	INCL	INFORMATION	SBO	SPRAY FOAM INSULATION
CLR	CONCRETE MASONRY UNIT	INFO	INSULATED, INSULATION	SFI	STRUCTURAL GLAZED TILE
CMU	COLUMN	INSUL	INTERIOR	SGT	SIMILAR
COL	COMPOSITE	INT		SIM	STRUCTURAL INSULATED PANEL
COMP	CONCRETE	<b>J</b>	JOINT	SIP	SLOPED/SLOPE
CONC	CONTINUOUS	JT		SL	SLAB ON GRADE
CONC	COORDINATE			SOG	STAINLESS STEEL
COORD	CORRUGATED	<b>L</b>	LAMINATED	SSTL	STANDARD
COR	CARPET TILE	LAM	LINEAR FEET	STD	STEEL
CPT	CERAMIC TILE	LF	LONG	STL	STAIN(ED)
CT	CABINET UNIT HEATER	LG	LONG LEG VERTICAL	STN	STRUCTURAL
CUH	CURTAINWALL	LG	LINOLEUM	STRUC	SUSPENDED
CW		LIN	LONG LEG VERTICAL	SUSP	
		LLV	LINTEL	<b>T</b>	TERRAZZO
<b>D</b>	DEMOLISH/DEMOLITION	LT	LIGHT	TER	TRANSPARENT FINISH
DEMO	DIAMETER	LT	LOUVER	TF	THICKNESS
DIA	DIMENSION	LOUV		THK	TOILET
DIM	DOWN	<b>M</b>	MASONRY	TLT	TOILET PARTITION
DN	DOOR	MAS	MASONRY DIMENSION	TPTN	TOP OF
DR	DOWNSPOUT	MAS DIM	MATERIAL	T.O.	TYPICAL
DS	DETAIL	MATL	MAXIMUM	TYP	TONGUE AND GROOVE
DTL	DRAWING(S)	MAX	MEDIUM DENSITY FIBERBOARD	T&G	
DWG(S)		MDF	MECHANICAL	<b>U</b>	UNLESS NOTED OTHERWISE
		MECH	MANUFACTURER	UNO	
<b>E</b>	EAST	MFR	MINIMUM	<b>V</b>	VARIES/VARIOUS
E	EACH	MIN	MASONRY OPENING	VAR	VERTICAL
EA	EXPANSION JOINT	M.O.	MOISTURE RESISTANT	VERT	VESTIBULE
EJ	ELEVATION	MR	MOUNTED	VEST	VERIFY IN FIELD
EJ	ELECTRICAL	MTD	METAL	VIF	VENT THROUGH ROOF
EL	ELEVATOR	MTL	MULLION	VTR	
ELEC	EMERGENCY	MULL		<b>W</b>	WEST
ELEV	ELECTRICAL PANEL	<b>N</b>	NORTH	W	WITH
EMER	EPOXY	NA	NOT APPLICABLE	W/O	WITHOUT
EP	EQUAL	NAT	NATURAL	WB	WALL BASE
EPX	EQUIPMENT	NIC	NOT IN CONTRACT	WC	WATER CLOSET
EQ	EXPOSED STRUCTURE	NOM	NOMINAL	WCAB	WALL CABINET
EQ	EXISTING TO REMAIN	NTS	NOT TO SCALE	WD	WOOD
EQPM	ELECTRIC WATER COOLER	<b>O</b>	ON CENTER	WDP	WOOD PANEL
ES	EXPOSED	OC	OWNER FURNISHED EQUIPMENT	WF	WIDE FLANGE
ES	EXISTING	OFE	OPPOSITE HAND	WIN	WINDOW
ETR	EXISTING EXTERIOR	OH	OPPOSITE	WOM	WALK OFF MAT
EWC		OPP	OPENING	WSC	WAINSCOT
EXP		OPG	ORIENTED STRAND BOARD	<b>X</b>	EXTRUDED POLYSTYRENE
EXP		OSB	OUTLINE	XPS	
EXG		OTLN			
EXT					

# REFERENCE SYMBOLS:



# MATERIAL SYMBOLS:

EARTH	STONE	CONCRETE	PLASTER, GWB, GROUT	STEEL (LARGE SCALE)	STEEL (SMALL SCALE)	ALUMINUM (LARGE SCALE)	GLASS (SMALL SCALE)
CMU	BRICK	SLATE	CUT STONE	FINISH CARPENTRY	ROUGH CARPENTRY	FIBER CEMENT BD	
BLOCKING	PLYWOOD (LARGE SCALE)	MEDIUM DENSITY FIBERBOARD	BATT/LOOSE FILL/INSUL	RIGID INSUL (LARGE SCALE)	RIGID INSUL (SMALL SCALE)	SPRAY APPLIED INSUL	

# REVISIONS

ISSUE	DATE	REVISIONS



# CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR	PRIYANKA MALIK
SEALS	

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 230 South Broad Street  
 Philadelphia, Pennsylvania 19102  
 215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
 100 East Lancaster Avenue, Suite 203  
 Wayne, Pennsylvania 19087  
 610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

**PROJECT TITLE**  
**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

<b>DRAWING TITLE</b> GENERAL NOTES, ABBREVIATIONS, MATERIALS, REFERENCE SYMBOLS	
<b>PROJECT NO.</b> 73217	<b>DRAWING NO.</b> A0.1(1)
<b>DATE</b> 03/15/2024	
<b>SCALE</b> AS NOTED	
<b>DRAWN BY</b> ED	
<b>CHECKED BY</b> MS	
<small>NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.</small>	

CODE CHART		
CONSTRUCTION TYPE	IIIA, NON-SPRINKLERED	
USE OR OCCUPANCY	USE GROUP A-3 ASSEMBLY	
TOTAL OCCUPANT LOAD	303 PERSONS	
<b>GENERAL BUILDING LIMITATIONS</b>		
<b>ACTUAL HEIGHT AND AREA</b>		
AREA - FIRST FLOOR	13,876 SF	
HEIGHT	1 STORY (26'-0")	
<b>ALLOWABLE HEIGHT AND AREA TABLE 504.3/504.4/506.2</b>		
GROUP A-3	STORIES	2 STORIES (65' ABOVE GRADE PLANE)
	AREA	14,000 SF PER FLOOR

FIRE-RATING REQUIREMENTS - TABLE 601	
PRIMARY STRUCTURAL FRAME	1-HOUR
BEARING WALLS (INTERIOR)	1-HOUR
BEARING WALLS (EXTERIOR)	2-HOUR
NONBEARING WALLS AND PARTITIONS (EXTERIOR AND INTERIOR)	0-HOUR
FLOOR CONSTRUCTION	1-HOUR
ROOF CONSTRUCTION	1-HOUR

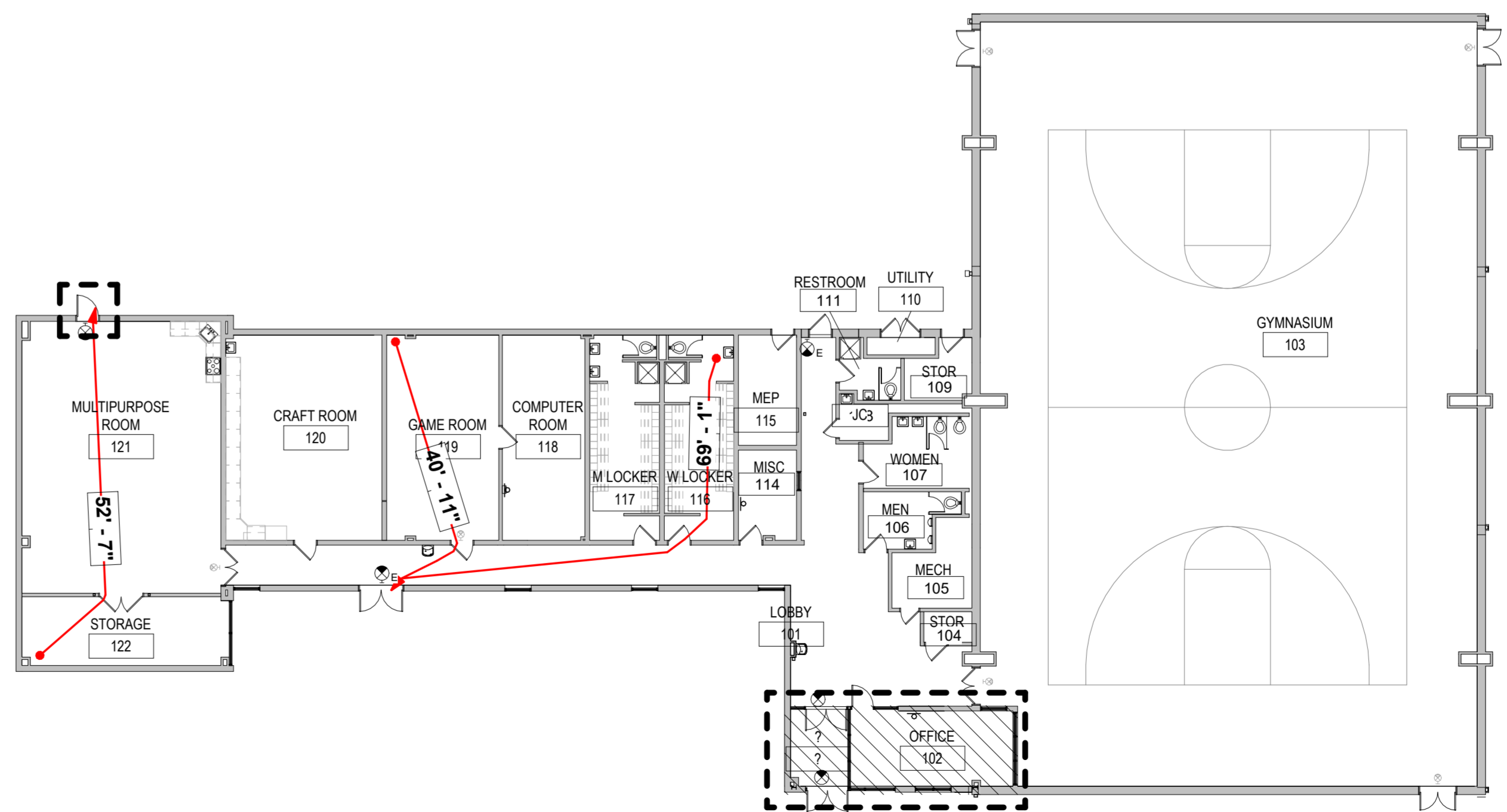
OCCUPANCY COUNT				
PROGRAM SPACE	USE	AREA	REQ'D. OCC/SF	OCCUPANT LOAD
121	ASSEMBLY	1,047 SF	15 NSF/occ.	69
118, 119, 120	EDUCATIONAL - CLASSROOM	1,397 SF	20 NSF/occ.	69
116, 117	LOCKER ROOMS	539 SF	50 GSF/occ.	10
103	EXERCISE ROOMS	7,327 SF	50 GSF/occ.	145
102	BUSINESS	239 SF	150 GSF/occ.	1
103, 104, 105, 109, 110, 113, 114, 115, 122	ACCESSORY STORAGE/MECH	528 SF	300 GSF/occ.	9
<b>TOTAL</b>				<b>303</b>

CLASSIFICATION OF WORK	
TOTAL BUILDING AREA	13,876 SF
ALTERATION LEVEL 1	0 SF
ALTERATION LEVEL 2	6,131 SF
ADDITION	0 SF
WORK AREA (ALT. LEVEL 2 + ADDITION)	6,131 SF

PLUMBING FIXTURE COUNTS - PHILADELPHIA PLUMBING CODE 2018					
	WATER CLOSETS	URINALS	LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
TOTAL OCCUPANTS: 303 151 MEN, 152 WOMEN					
<b>REQUIRED</b>	2 male, 3 female	1	1 male, 1 female	1	1
<b>PROVIDED</b>	2 male, 3 female	1	2 male, 2 female	2	1

APPLICABLE CODES	
INTERNATIONAL BUILDING CODE (IBC) 2018	
INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018	
INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018	
ICC/ANSI 117.1 2009	
PHILADELPHIA PLUMBING CODE 2018	
INTERIOR FINISHES (803.13)	RATING REQUIREMENTS FOR GROUP A-3, NON-SPRINKLERED: EXIT ENCLOSURES AND EXIT PASSAGEWAYS: CLASS A CORRIDORS: CLASS A LOBBIES: CLASS B ROOMS AND ENCLOSED SPACES: CLASS C
DEAD-END CORRIDORS (IEBC 805.6)	DEAD-END CORRIDORS IN ANY WORK AREA SHALL NOT EXCEED 35 FEET.
AUTOMATIC SPRINKLER SYSTEM (IEBC 803.2.2)	NOT REQUIRED.
SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY (1006.2.1)	OCCUPANCY GROUP A: 49 MAXIMUM OCCUPANT LOAD, 75 FEET MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE
EXIT SIGNS (IEBC 805.8.1)	MEANS OF EGRESS IN ALL WORK AREAS PROVIDED WITH EXIT SIGNS PER IBC

SYMBOLS	
	NEW CLG MOUNTED EXIT SIGN
	NEW WALL MOUNTED EXIT SIGN
	EXISTING EXIT SIGN
	FIRE EXTINGUISHER CABINET (SEMI-RECESSED, UNO)
	FIRE EXTINGUISHER
CLASSIFICATION OF WORK KEY	
	ALTERATION LEVEL 1
	WORK AREA



1 LIFE SAFETY - PLAN  
A0.2(1) 1/16" 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

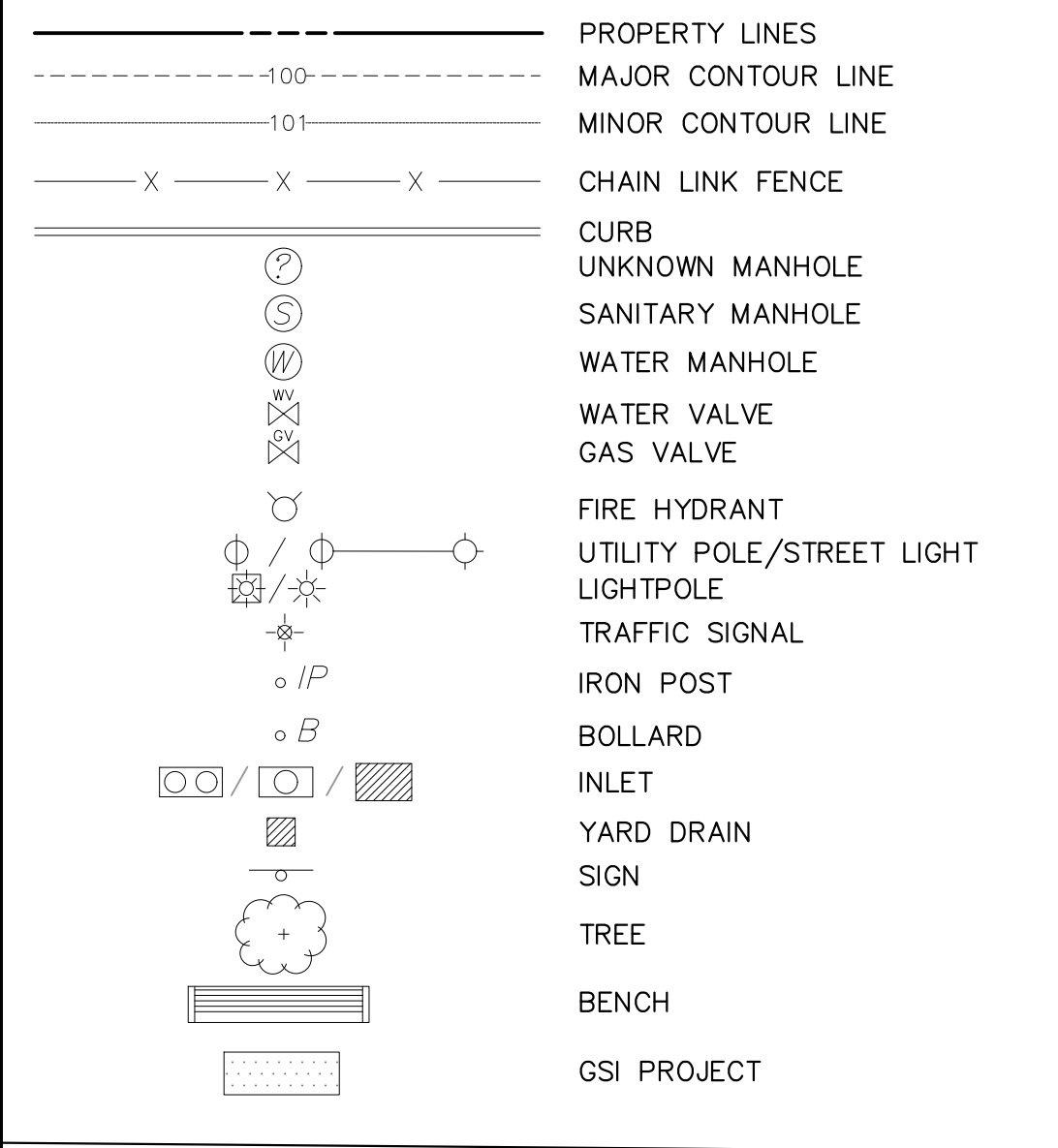
PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**BUILDING CODE INFORMATION**

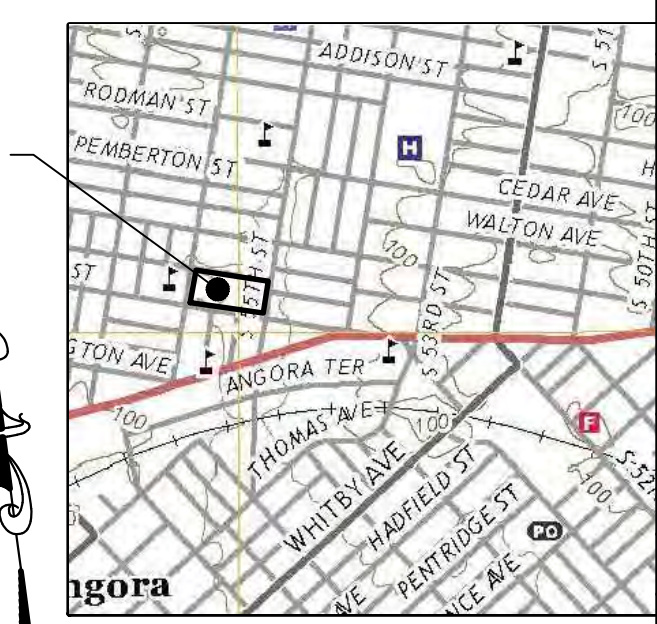
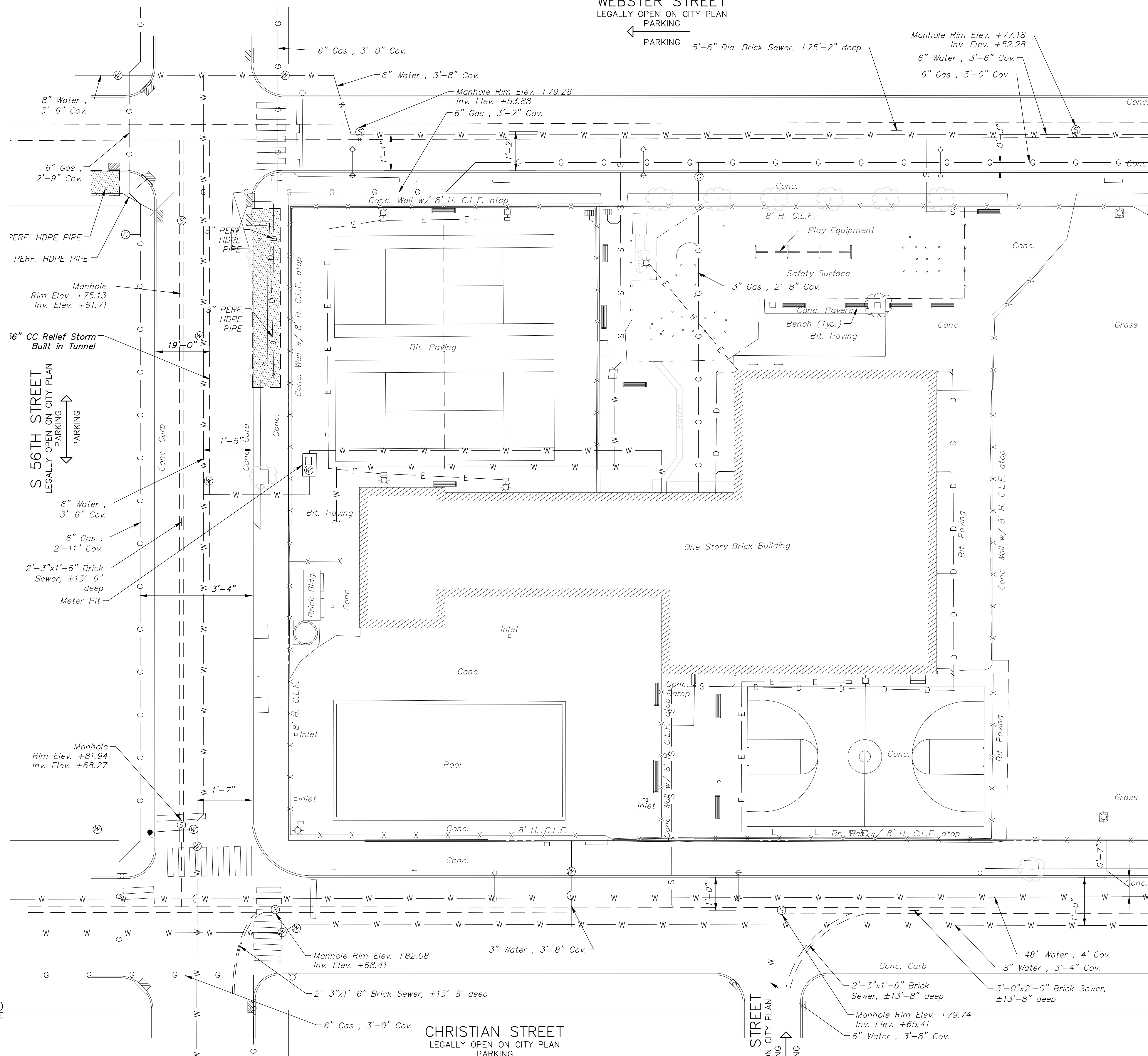
PROJECT NO. <b>73217</b>	DRAWING NO. <b>A0.2(1)</b>
DATE 03/15/2024	
SCALE AS NOTED	
DRAWN BY ED	
CHECKED BY MS	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**EXISTING LEGEND**



**WEBSTER STREET**  
LEGALLY OPEN ON CITY PLAN  
PARKING



REVISIONS		
ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS  
  
**RICHARD STARR BURRELL, JR., P.E.**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION**

DRAWING TITLE <b>EXISTING SITE PLAN - PHASE 1</b>	
PROJECT NO. <b>73217</b>	DRAWING NO. <b>C1.01(1)</b>
DATE 3/15/2024	SCALE AS NOTED
DRAWN BY TN	CHECKED BY RB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

- GENERAL NOTES:**
- SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY KS ENGINEERS, P.C. IN AUGUST THRU SEPTEMBER 2022. SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN AND DEED OF RECORD. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88).
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NOS. 20222363625, 20222363650, 20222363671, 20222363966). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - SITE LIES WITHIN THE MAPPED LIMITS OF FLOOD ZONE X, AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570178G, DATED 01/17/2007 FOR THE CITY OF PHILADELPHIA.
  - PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.

- DEMOLITION NOTES:**
- PRIOR TO STARTING ANY DEMOLITION WORK, CONTRACTOR TO DOCUMENT THE CONDITION OF ALL EXISTING SITE FEATURES TO REMAIN WITH PHOTOS. ANY FEATURES DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED IN KIND TO THE SATISFACTION OF THE SCHOOL DISTRICT OF PHILADELPHIA.
  - EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN
  - ALL EXISTING MATERIALS SHALL BE DISPOSED OF OR RECYCLED IN A PERMITTED, REGULATED FACILITY IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
  - ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
  - TEMPORARY 8' HIGH LOCKABLE CHAINLINK CONSTRUCTION FENCE TO BE UTILIZED IN SECURING THE WORK AREA AND BLOCK OFF ENTRANCES TO WORK AREA. CONSTRUCTION FENCE TO BE SECURED WITH THE USE OF CONCRETE BLOCKS AND TO BE LOCKED WHEN NOT IN USE. ALL CONSTRUCTION VEHICLES, EQUIPMENT, AND MATERIALS ARE TO BE KEPT INSIDE LOCKED AREA WHEN NOT IN USE.
  - CONTRACTOR TO MONITOR EXISTING PARKING LOT AREA AT ALL TIMES TO PREVENT CONFLICT BETWEEN CONSTRUCTION VEHICLES, STAFF VEHICLES, DELIVERY TRUCKS AND PEDESTRIANS. CONTRACTOR TO REPAIR/REPLACE ANY CONCRETE, ASPHALT, LAWN OR PLANTED AREAS WITHIN THIS AREA AND WITHIN THE PUBLIC ROW THAT IS DAMAGED BY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
  - PAVEMENT SUBBASE NOT TO BE EXPOSED DURING THE MILLING PROCESS.

**SITE LOCATION:**  
CHRISTY RECREATION CENTER RENOVATION  
728 S 55TH STREET  
PHILADELPHIA, PA 19143

**PROPERTY OWNER:**  
CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PA 19102

**OPA NUMBER:**  
783752400

**AREA:**  
GROSS AREA = 115,927 S.F.  
IMPERVIOUS AREA = 53,928 S.F.

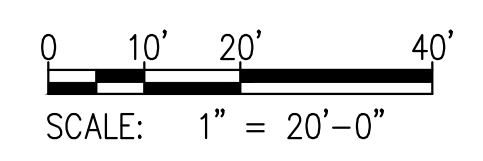
**PROTECT YOURSELF**

WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE

Pennsylvania One Call System, Inc.  
1-800-242-1776

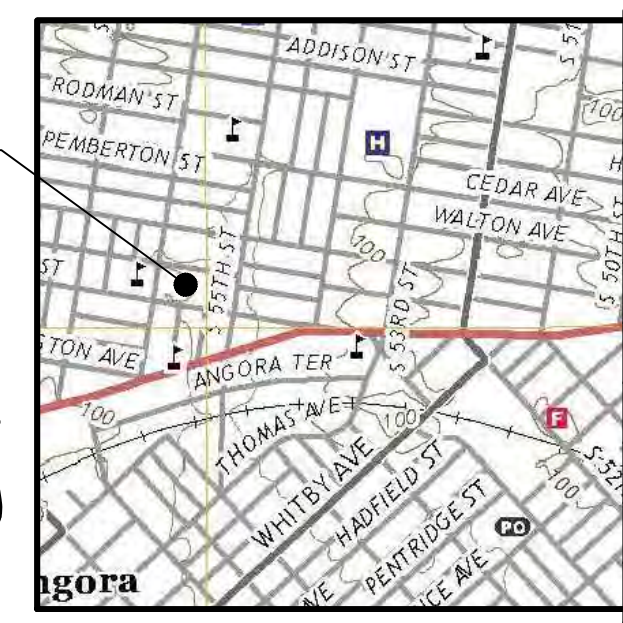
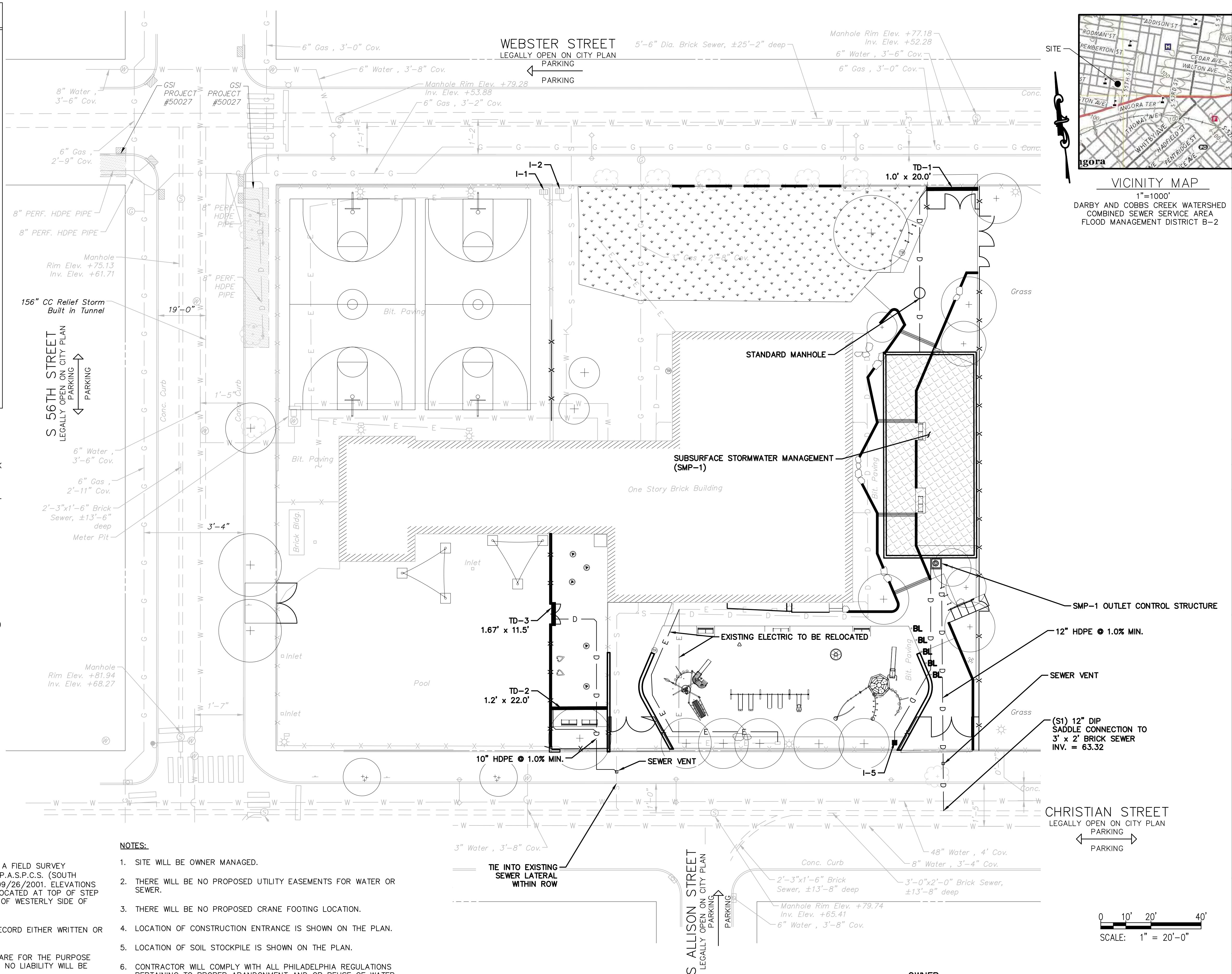
ACT 187 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION. PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	



LEGEND	
EXISTING	
---	PROPERTY LINES
---	CONTOUR LINE
G	GAS LINE
W	POTABLE WATER
---	SEWER (COMBINED)
S	SANITARY SEWER
SD	STORM DRAIN
T	TELECOM CONDUIT
E	ELECTRIC CONDUIT
DHW	ELECTRIC OVERHEAD LINE
X	CHAIN LINK FENCE
X	METAL FENCE
□	CURB
○	UNKNOWN MANHOLE
○	TELEPHONE MANHOLE
○	SANITARY MANHOLE
○	WATER MANHOLE
○	WATER VALVE
○	OIL FILL VALVE
○	FRESH AIR INLET
○	FIRE HYDRANT
○	UTILITY POLE/STREET LIGHT
○	LIGHTPOLE
○	TRAFFIC SIGNAL
○	INLET
○	AREA DRAIN
○	SIGN
○	TREE
○	FLAG POLE

- GENERAL NOTES:**
- THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR.
  - THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY PWD'S GREEN STORMWATER OPERATIONS AT LEAST 7 DAYS PRIOR TO STARTING WORK TO SCHEDULE AN INSPECTOR (ATTN. GERALD BRIGHT, 215-300-9079).
  - APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE PROTECTION OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
  - ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY PWD.
  - CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY OF THE PWD GREEN STORMWATER INFRASTRUCTURE.
  - CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS DURING CONSTRUCTION. SEE PWD REGULATION 501.3 AND 600.4, PHILA CODE S. 13-603, AND 25 PA CODE CHAPTER 102.
  - SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREEN STORMWATER INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED AND THEREBY COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND INCLUDING FULL REPLACEMENT) AT NO ADDITIONAL COST TO PWD.
  - CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE, TO PREVENT EROSION CONDITIONS, AND TO SUPPRESS DUST ON THE SITE AND SURROUNDING AREAS. CONTRACTOR MUST COVER SURROUND STOCKPILES WITH EROSION CONTROL MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR ENTER THE PUBLIC SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEEP WORK.
  - CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS ADJACENT TO OR WITHIN WORK AREA. INLET PROTECTION MEASURES MUST INSPECTED DAILY TO ENSURE PROPER PLACEMENT, AND MAINTAINED POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNCTION AND TO PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PROTECTION METHODS FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS, AND CURB-CUT INLETS.
  - THERE SHALL BE NO CONFLICT BETWEEN THE EXISTING GSI AND THE PROPOSED DESIGNS SHOWN ON THE PLAN.

- GENERAL NOTES:**
- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
  - PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
  - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKING AND OPEN SPACE ZONING DISTRICT (SP-PO-A).



REVISIONS		
ISSUE	DATE	REVISIONS



PROJECT COORDINATOR	PRIYANKA MALIK
SEALS	

- 1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410
- MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365
- CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425
- LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727
- COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560
- STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
DEPARTMENT OF PARKS & RECREATION  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION**

PROJECT NO.	73217	DRAWING NO.	<b>C1.02(1)</b>	
DATE	3/15/2024	SCALE		AS NOTED
DRAWN BY	TN	CHECKED BY		RB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.				

- NOTES:**
- SITE WILL BE OWNER MANAGED.
  - THERE WILL BE NO PROPOSED UTILITY EASEMENTS FOR WATER OR SEWER.
  - THERE WILL BE NO PROPOSED CRANE FOOTING LOCATION.
  - LOCATION OF CONSTRUCTION ENTRANCE IS SHOWN ON THE PLAN.
  - LOCATION OF SOIL STOCKPILE IS SHOWN ON THE PLAN.
  - CONTRACTOR WILL COMPLY WITH ALL PHILADELPHIA REGULATIONS PERTAINING TO PROPER ABANDONMENT AND OR REUSE OF WATER SERVICE LINES AND SEWER LATERALS. PROOF OF ABANDONMENT AND OR WATER DISCONTINUANCE MUST BE PROVIDED UPON REQUEST.

LIST OF UTILITY CONNECTIONS				
I.D.	TYPE	SIZE	MATERIAL	CONNECTION TYPE
S1	STORM SEWER CONNECTION	12"	DIP	SADDLE CONNECTION INV. 63.32

SITE DATA INFORMATION		
SITE AREA	118,146 S.F.	2.71 ACRES
LIMIT OF DISTURBANCE	37,430 S.F.	0.86 ACRES

INLET NUMBER	GRATE TYPE
I-5	YARD 2'x2'
TD-1	20 LF VEHICLE RATED TRENCH DRAIN
TD-2	22 LF PLASTIC TRENCH DRAIN
TD-3	9 LF PLASTIC TRENCH DRAIN

**OWNER:**  
PHILADELPHIA PARKS & RECREATION  
ADDRESS: 1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BLDG  
PHILADELPHIA, PA 19102  
PHONE: 215-683-0202  
EMAIL: PRIYANKA.MALIK@PHILA.GOV  
ATTN: PPR PROJECT MANAGER  
PRIYANKA MALIK

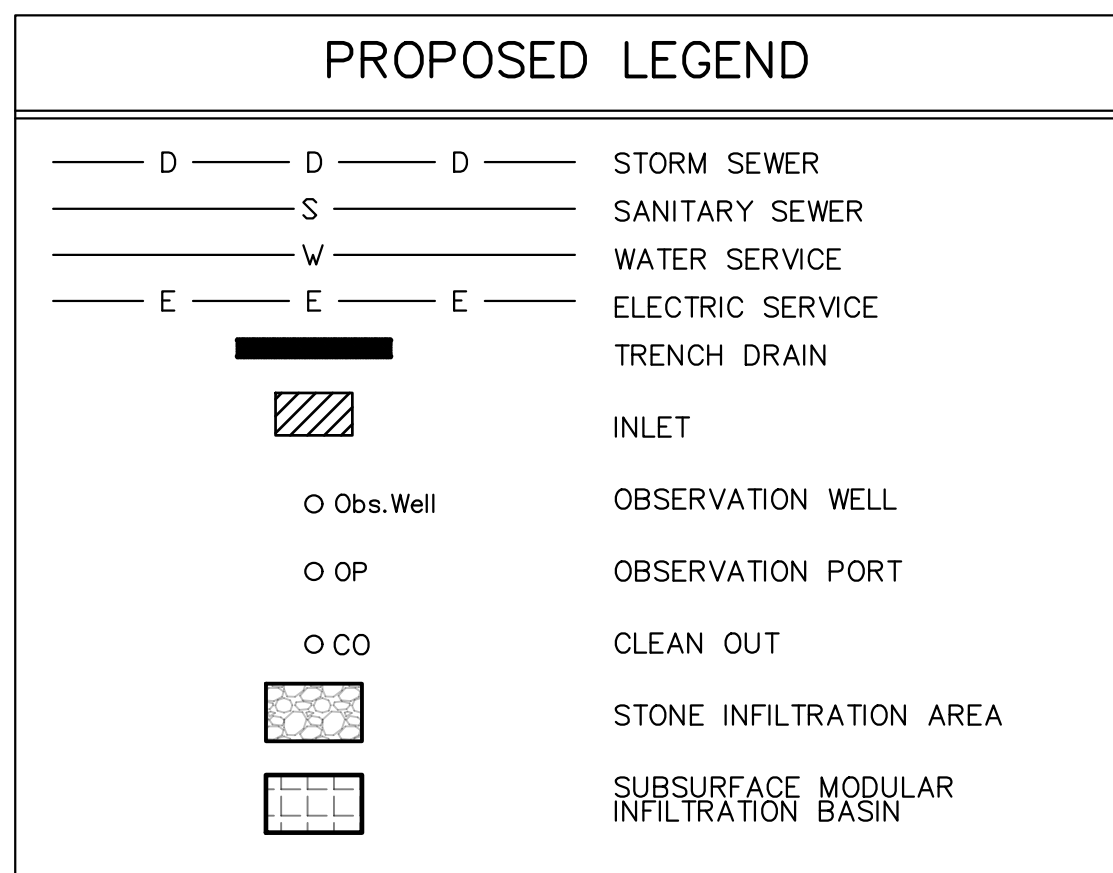
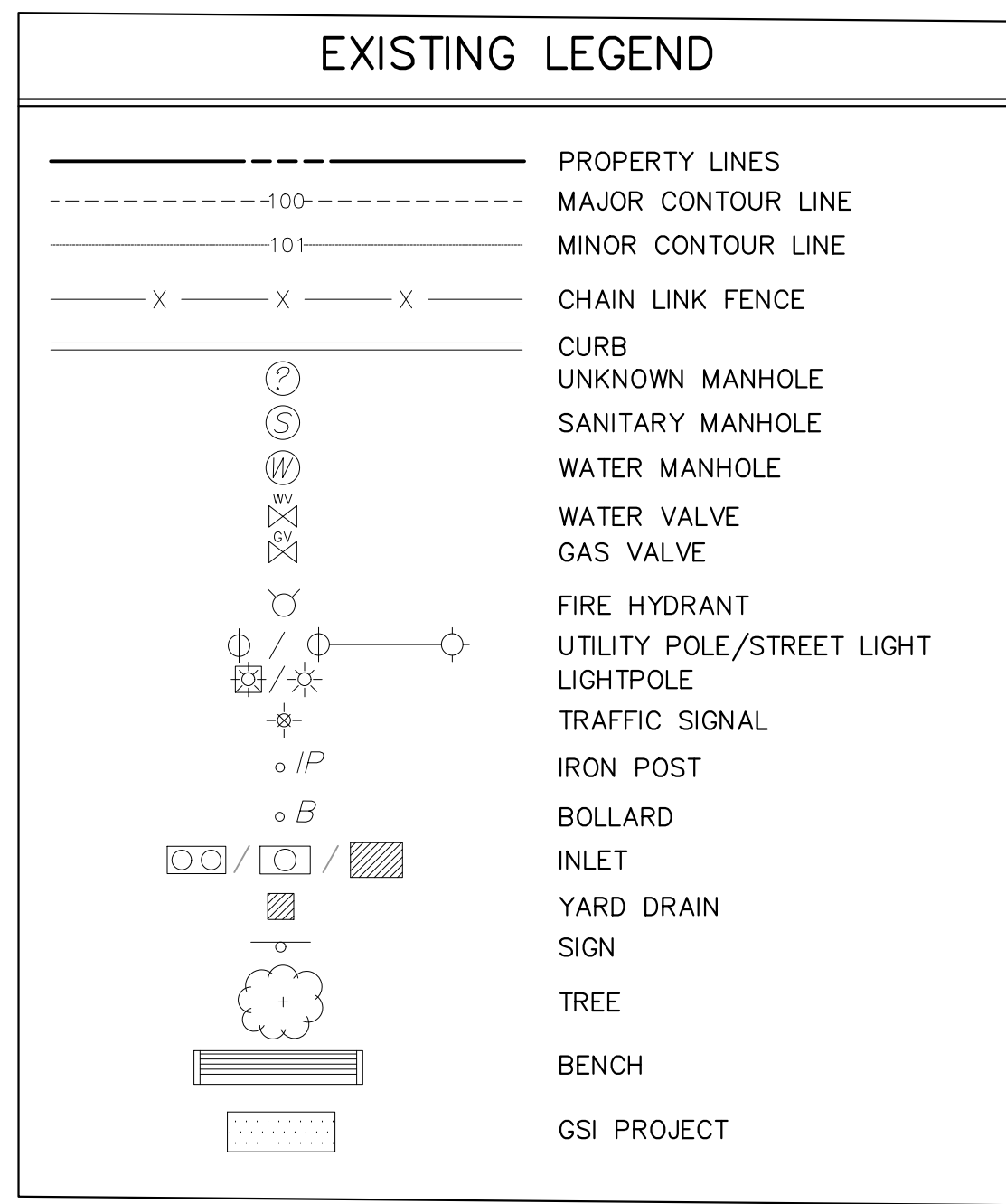
**ENGINEER:**  
KS ENGINEERS, P.C.  
ADDRESS: 530 WALNUT STREET, SUITE 460  
PHILADELPHIA, PA 19106  
PHONE: 215-925-0425  
EMAIL: RBURRELL@KSENG.COM  
ATTN: PHILADELPHIA BRANCH MANAGER  
RICHARD BURRELL, P.E.

**PROJECT DESCRIPTION:**  
RECREATIONAL SITE, RENOVATIONS PROJECT

**SITE LOCATION:**  
CHRISTY RECREATION CENTER  
RENOVATION  
728 S 55TH STREET  
PHILADELPHIA, PA 19143

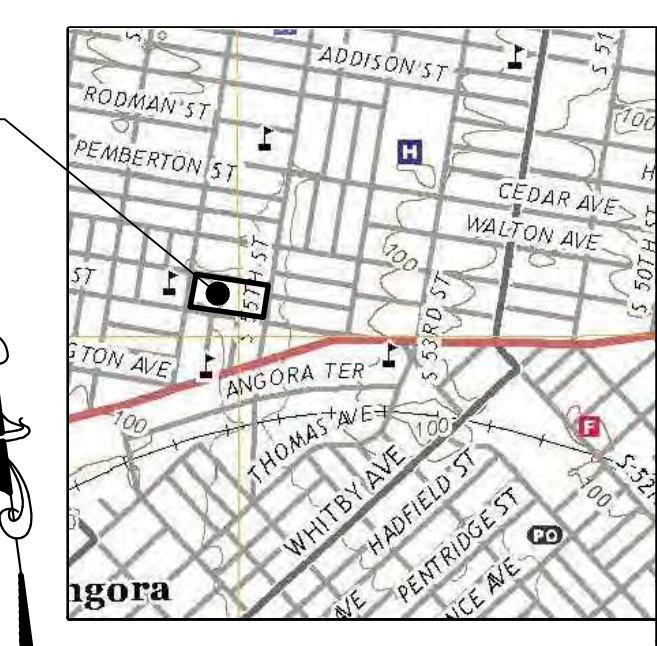
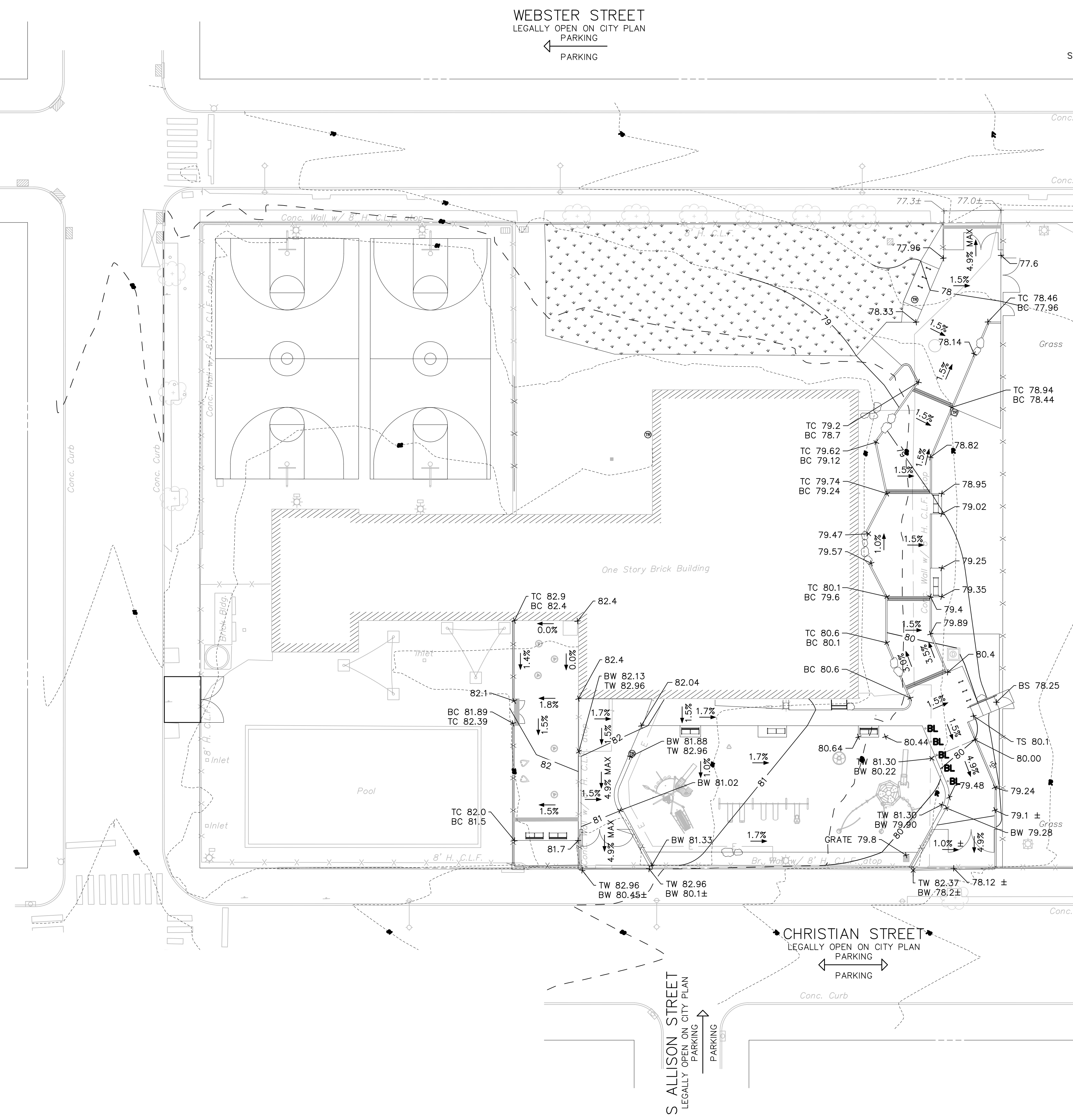
**PROPERTY OWNER:**  
CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PA 19102

PWD TRACKING NO.: FY23-REHA-7188-01  
UTILITY PLAN REVIEW TRACKING NO.: UPR-FY24-REHA-6309



- ### GENERAL NOTES:
- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
  - PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
  - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-PO-A).
  - PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

- ### CONSTRUCTION NOTES:
- IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE, CLEANOUTS SHALL BE INSTALLED ON ALL SANITARY AND STORM DRAIN PIPES AT INTERVALS NOT TO EXCEED 100 FEET AND AT ALL CHANGES IN HORIZONTAL DIRECTION GREATER THAN 45 DEGREES.



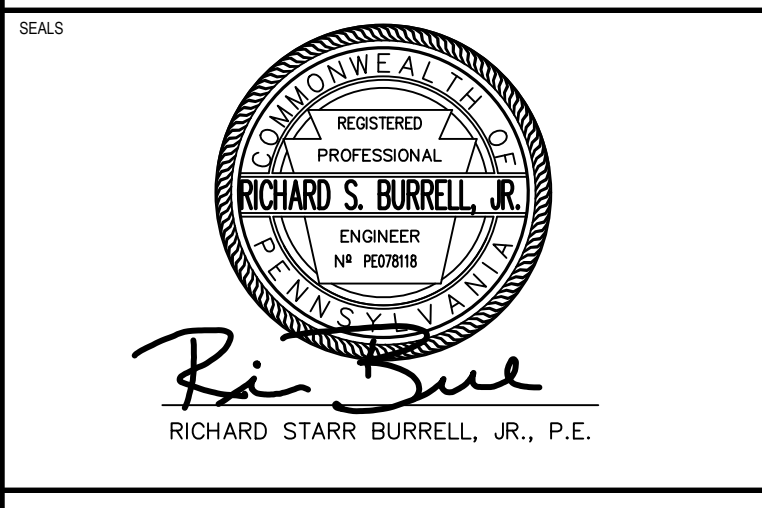
1"=1000'  
DARBY AND COBBS CREEK WATERSHED  
COMBINED SEWER SERVICE AREA  
FLOOD MANAGEMENT DISTRICT B-2

REVISIONS		
ISSUE	DATE	REVISIONS



### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**



1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION**

DRAWING TITLE  
**GRADING PLAN - PHASE 1**

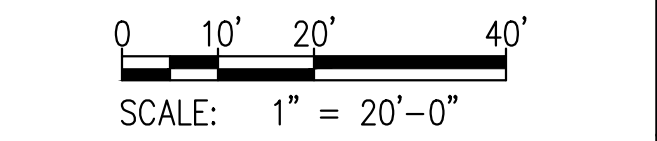
PROJECT NO. <b>73217</b>	DRAWING NO. <b>C1.03(1)</b>
DATE 3/15/2024	SCALE AS NOTED
DRAWN BY TN	CHECKED BY RB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

**SITE LOCATION:**  
CHRISTY RECREATION CENTER  
RENOVATION  
728 S 55TH STREET  
PHILADELPHIA, PA 19143

**PROPERTY OWNER:**  
CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PA 19102

**OPA NUMBER:**  
7873752400

**AREA:**  
GROSS AREA = 115,927 S.F.  
IMPERVIOUS AREA = 53,928 S.F.

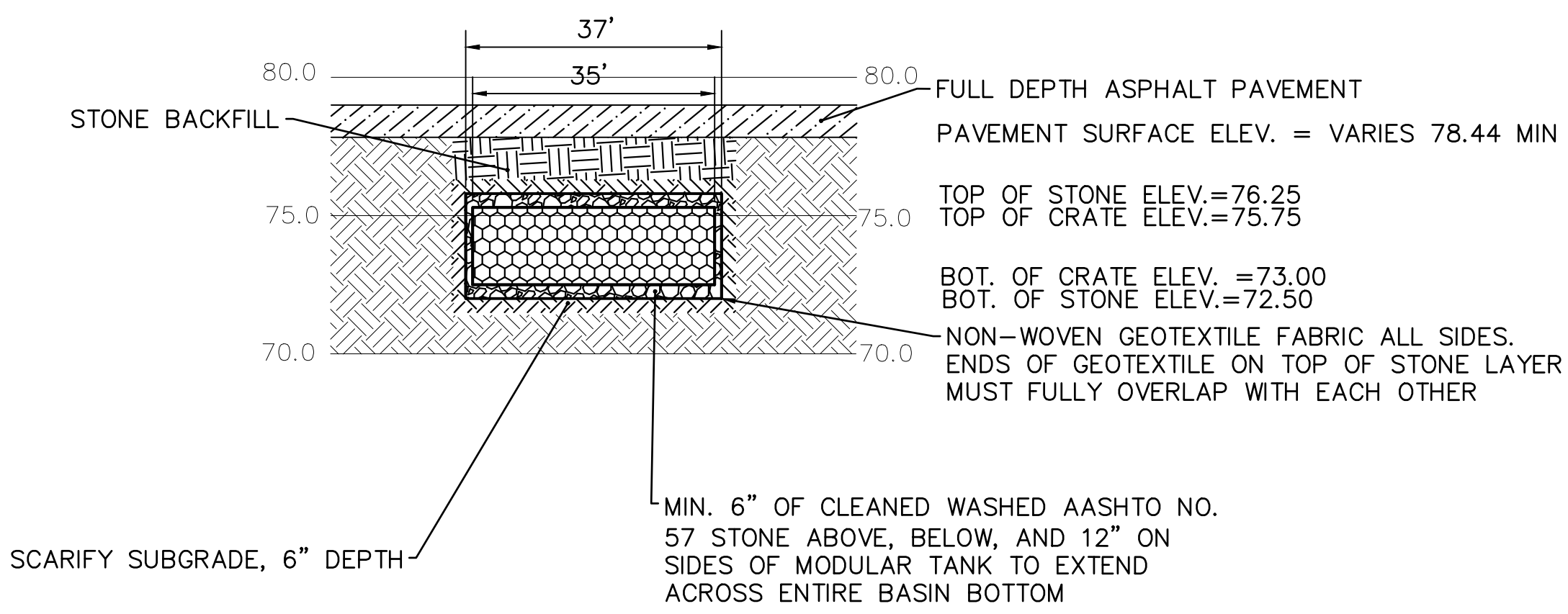
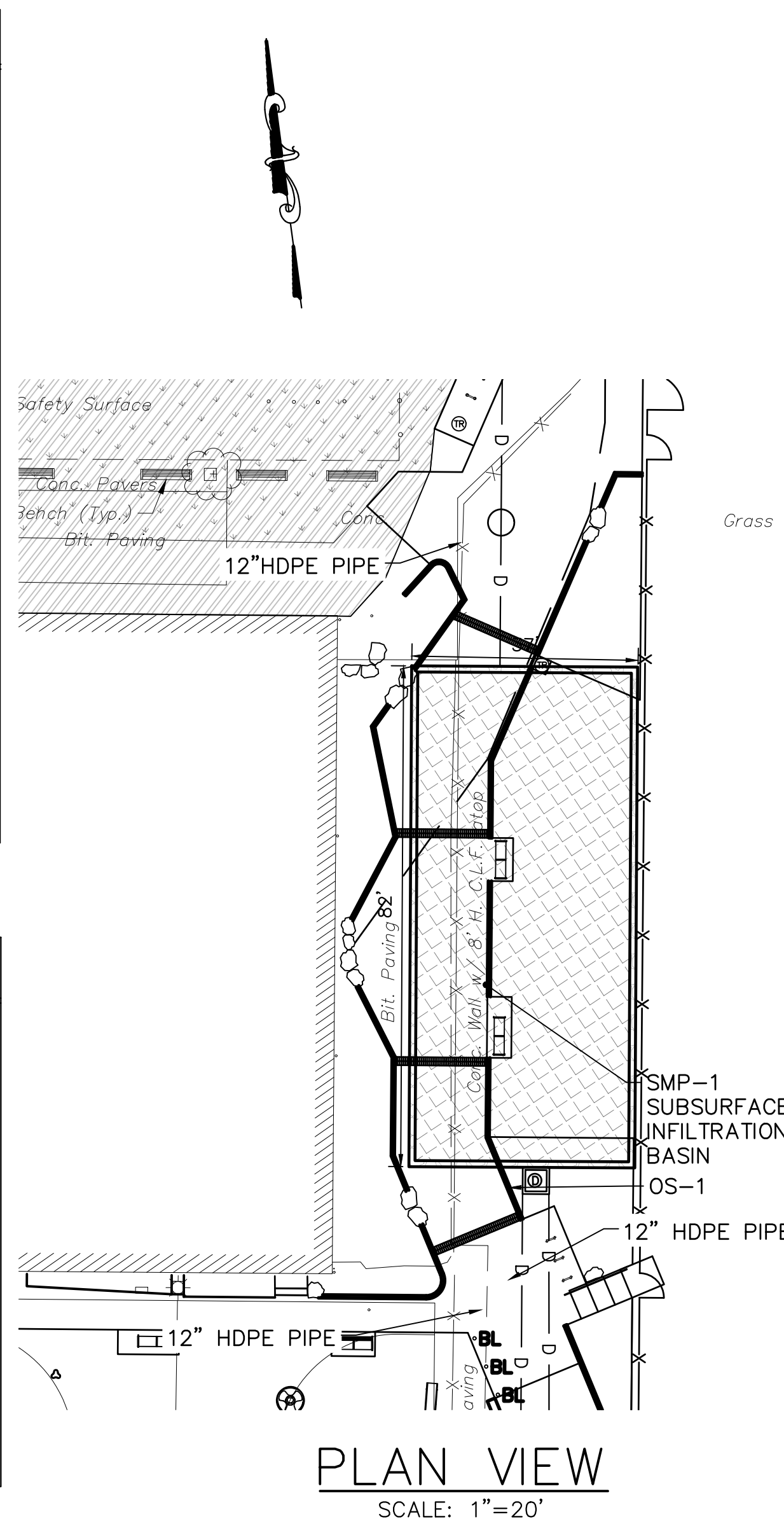
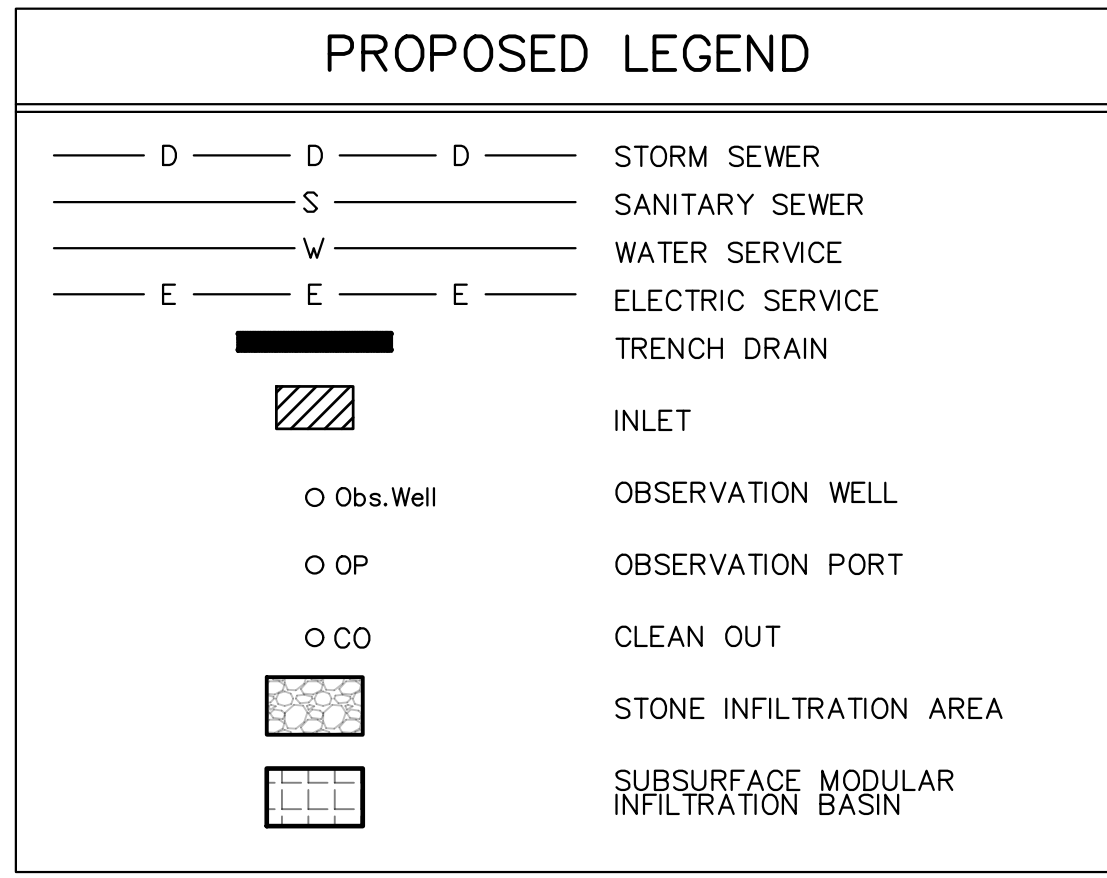
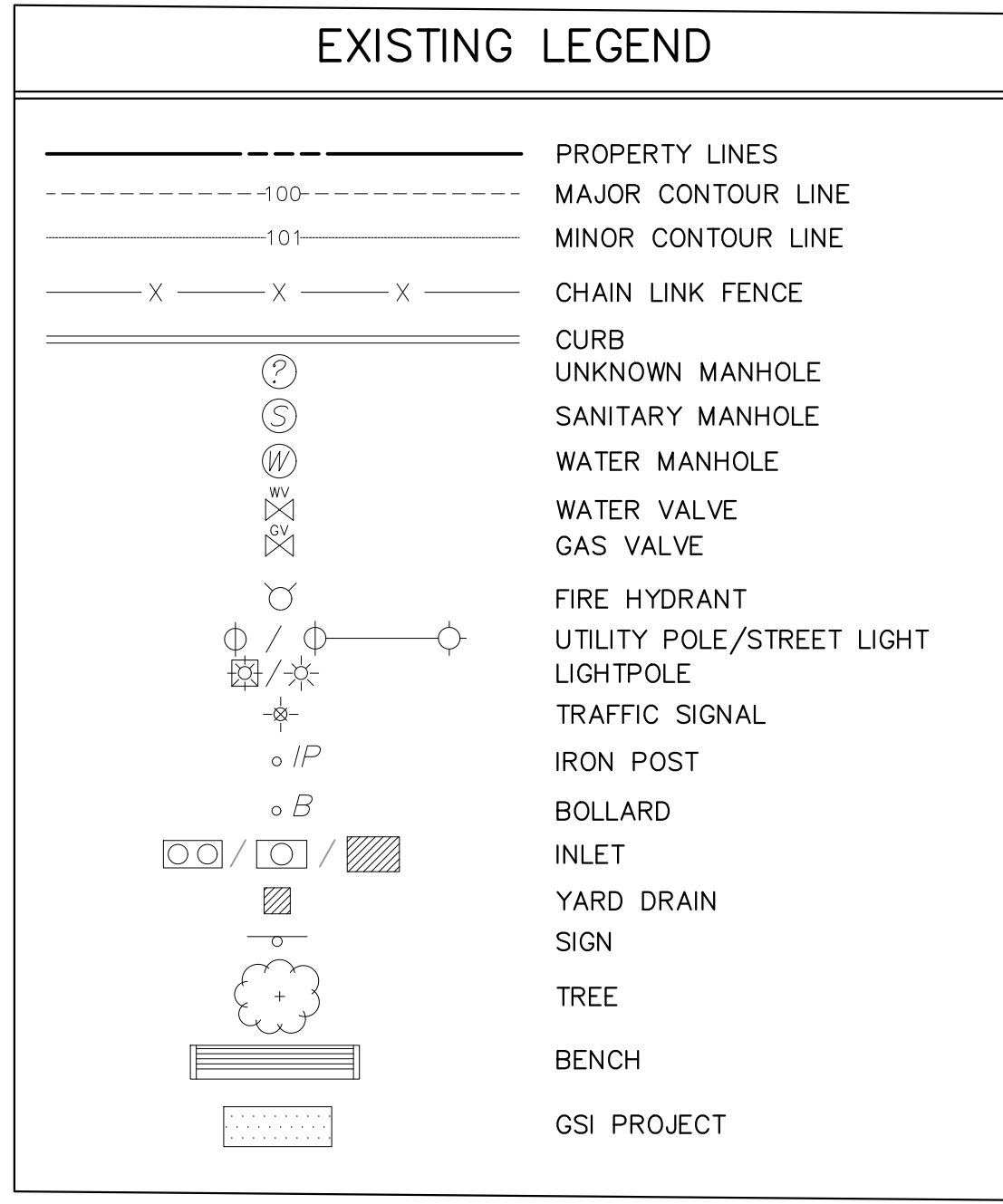


### PROTECT YOURSELF

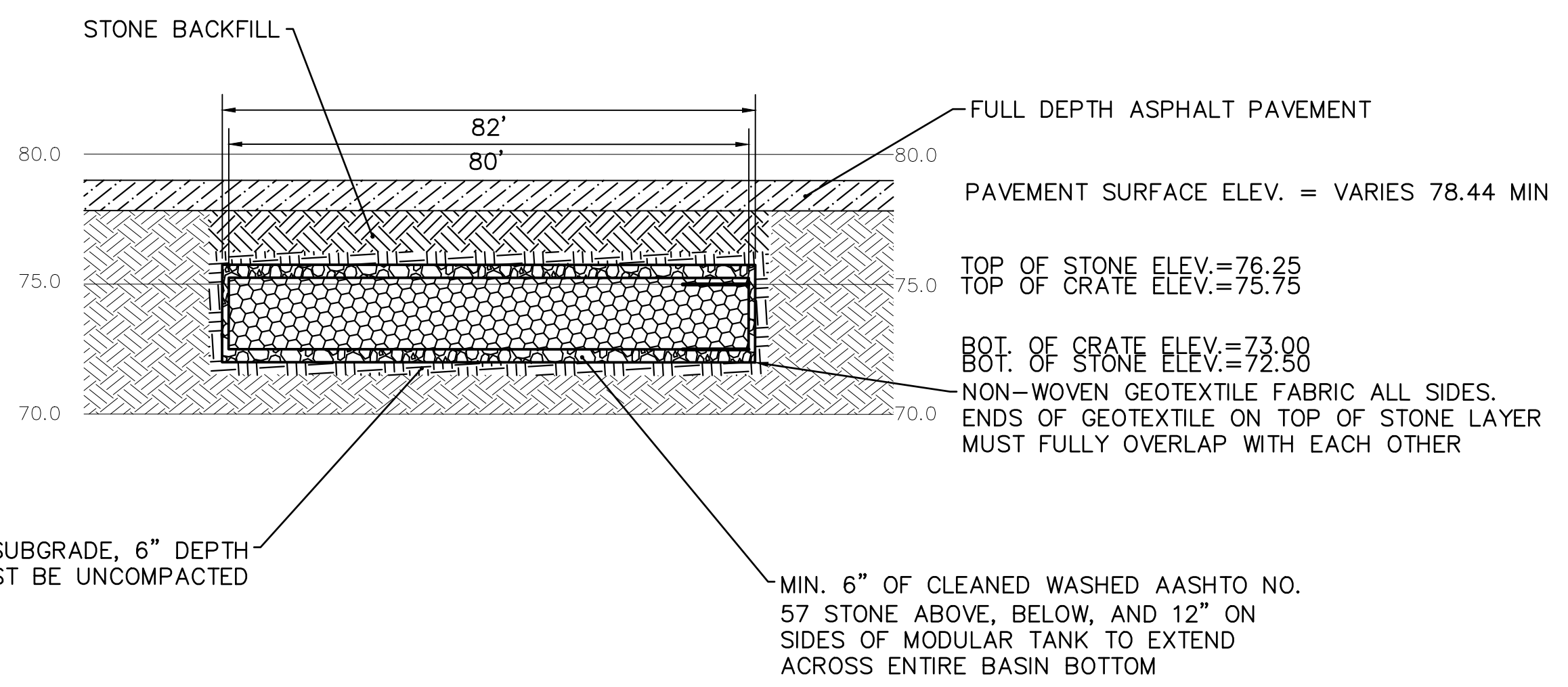


WHAT YOU DON'T KNOW CAN HURT YOU.  
CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE  
Pennsylvania One Call System, Inc.  
1-800-242-1776

ACT 187	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.	
PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2nd FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	



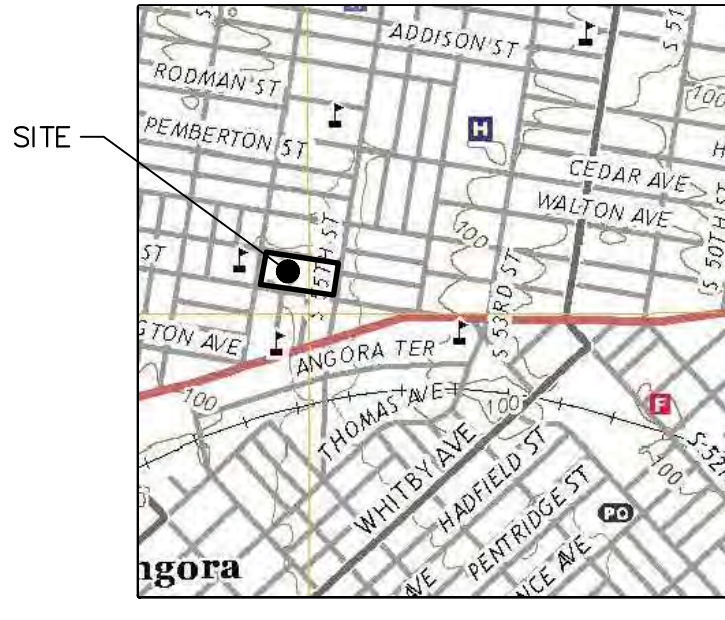
NOTE: INFILTRATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. SHOULD HYDRAULIC CONDUCTIVITY BE MEASURED AT <0.5 IN/HR, THE CONTRACTOR SHALL CONSTRUCT SMP-1-ALT INSTEAD



- #### GENERAL NOTES:
- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
  - PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
  - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-PO-A).
  - PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

- #### GREEN STORMWATER MANAGEMENT NOTES:
- THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR.
  - THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY PWD'S GREEN STORMWATER OPERATIONS AT LEAST 7 DAYS PRIOR TO STARTING WORK TO SCHEDULE AN INSPECTOR (ATTN: GERALD BRIGHT, 215-300-9079).
  - APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE PROTECTION OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
  - ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY PWD.
  - CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY OF THE PWD GREEN STORMWATER INFRASTRUCTURE.
  - CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS DURING CONSTRUCTION. SEE PWD REGULATION 501.3 AND 600.4, PHILA CODE S. 13-603, AND 25 PA CODE CHAPTER 102.
  - SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREEN STORMWATER INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED AND THEREBY COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND INCLUDING FULL REPLACEMENT) AT NO ADDITIONAL COST TO PWD.
  - CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE, TO PREVENT EROSION CONDITIONS, AND TO SUPPRESS DUST ON THE SITE AND SURROUNDING AREAS. CONTRACTOR MUST COVER AND SURROUND STOCKPILES WITH EROSION CONTROL MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR ENTER THE PUBLIC SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEEP WORK SITE AT THE END OF EACH WORKDAY. THE CITY MAY REQUIRE THE CONTRACTOR / OWNER TO CLEAN CITY-OWNED INLETS AND SYSTEMS AFFECTED BY NONCOMPLIANT OR FAILED E&S CONTROLS.
  - CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS ADJACENT TO OR WITHIN THE WORK AREA. INLET PROTECTION MEASURES MUST BE INSPECTED DAILY TO ENSURE PROPER PLACEMENT, AND MAINTAINED, POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNCTION AND TO PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PROTECTION METHODS FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS AND CURB-CUT INLETS.

- #### CONSTRUCTION NOTES:
- IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE, CLEANOUTS SHALL BE INSTALLED ON ALL SANITARY AND STORM DRAIN PIPES AT INTERVALS NOT TO EXCEED 100 FEET AND AT ALL CHANGES IN HORIZONTAL DIRECTION GREATER THAN 45 DEGREES.



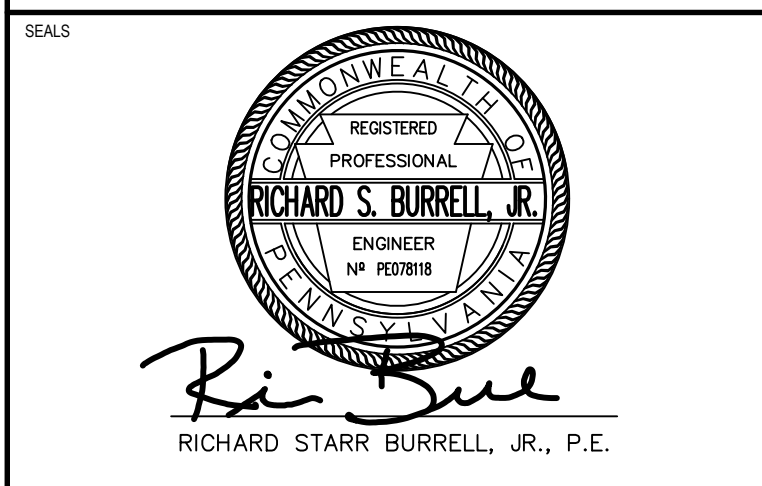
1"=1000'  
DARBY AND COBBS CREEK WATERSHED  
COMBINED SEWER SERVICE AREA  
FLOOD MANAGEMENT DISTRICT B-2

REVISIONS		
ISSUE	DATE	REVISIONS



#### CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**



1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

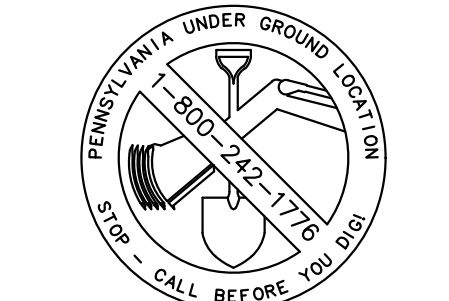
**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

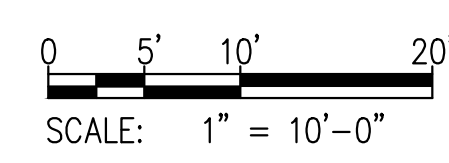
**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

#### PROTECT YOURSELF



WHAT YOU DON'T KNOW CAN HURT YOU.  
CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STATE  
Pennsylvania One Call System, Inc.  
1-800-242-1776



**SITE LOCATION:**  
CHRISTY RECREATION CENTER  
RENOVATION  
728 S 55TH STREET  
PHILADELPHIA, PA 19143

**PROPERTY OWNER:**  
CITY OF PHILADELPHIA  
1515 ARCH STREET  
PHILADELPHIA, PENNSYLVANIA  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PA 19102

**OPA NUMBER:**  
7873752400

**AREA:**  
GROSS AREA = 115,927 S.F.  
IMPERVIOUS AREA = 53,928 S.F.

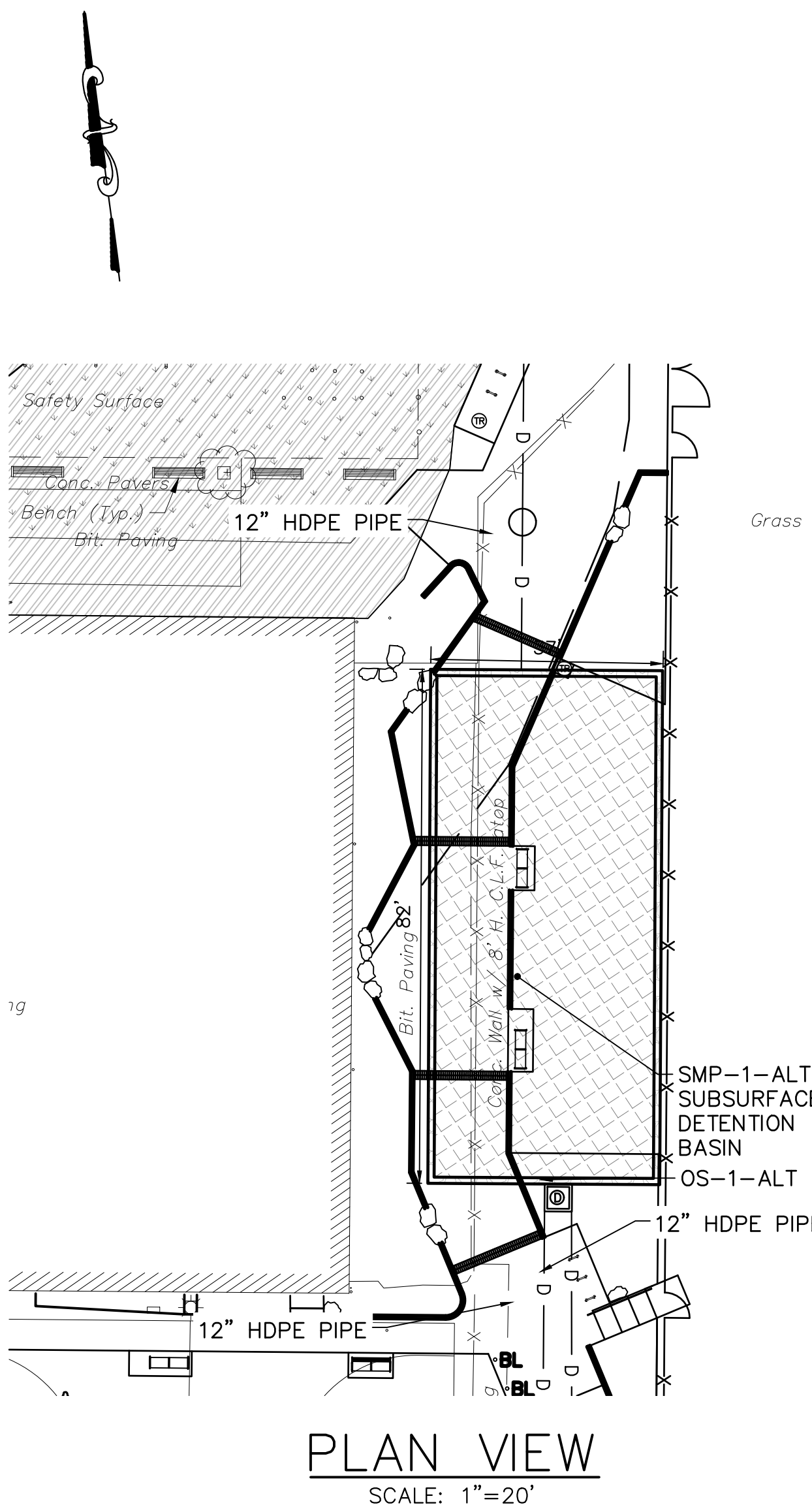
ACT 187	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.	
PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2nd FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

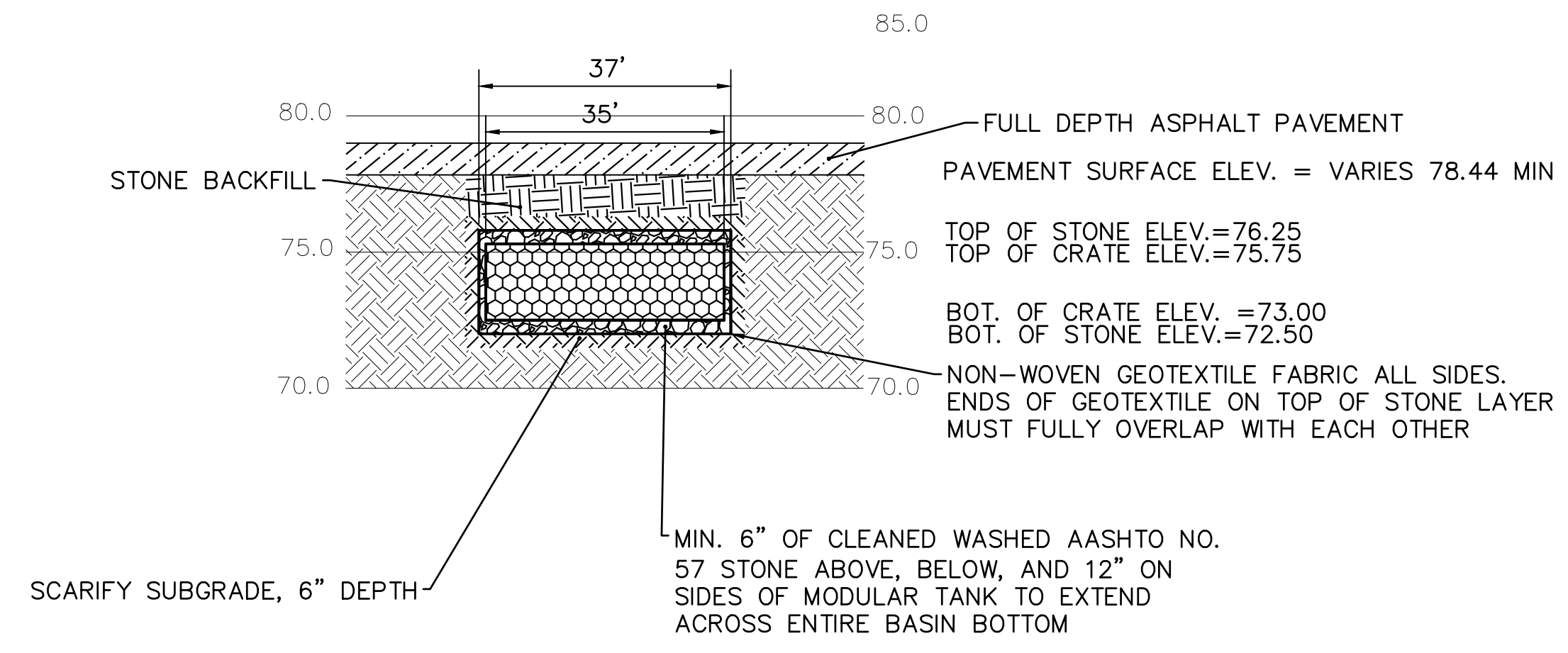
PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION**

DRAWING TITLE  
STORMWATER MANAGEMENT SUBSURFACE  
INFILTRATION BASIN DETAIL

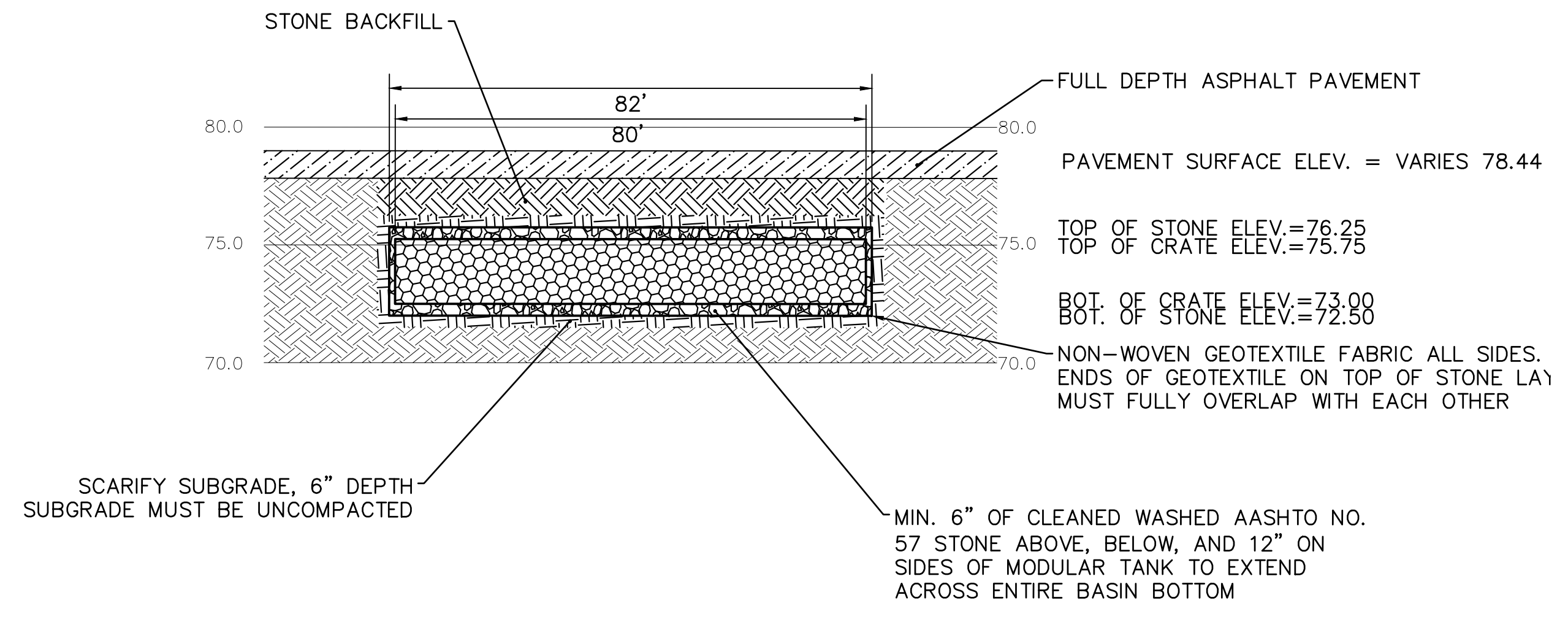
PROJECT NO. <b>73217</b>	DRAWING NO. <b>C1.04</b>
DATE 3/15/2024	SCALE AS NOTED
DRAWN BY TN	CHECKED BY RB



**PLAN VIEW**  
SCALE: 1"=20'



**SECTION VIEW - A-A**  
SCALE: HOR. 1"=20'  
VER. 1"=5'



**SECTION VIEW - B-B**  
SCALE: HOR. 1"=20'  
VER. 1"=5'

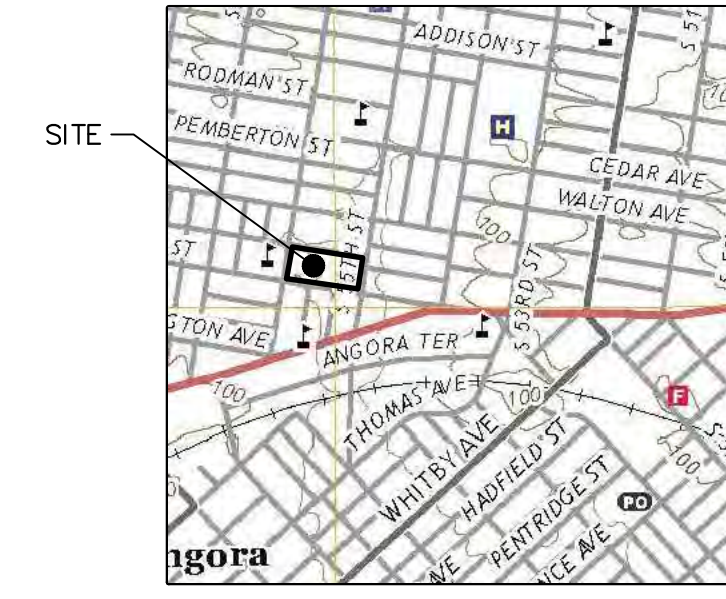
NOTE: INFILTRATION TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. SMP-1-ALT SHALL ONLY BE CONSTRUCTED SHOULD HYDRAULIC CONDUCTIVITY BE MEASURED AT <0.5 IN/HR.

- GENERAL NOTES:**
- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
  - SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
  - IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
  - UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
  - INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
  - PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
  - THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-PO-A).
  - PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

- CONSTRUCTION NOTES:**
- IN ACCORDANCE WITH THE PHILADELPHIA PLUMBING CODE, CLEANOUTS SHALL BE INSTALLED ON ALL SANITARY AND STORM DRAIN PIPES AT INTERVALS NOT TO EXCEED 100 FEET AND AT ALL CHANGES IN HORIZONTAL DIRECTION GREATER THAN 45 DEGREES.

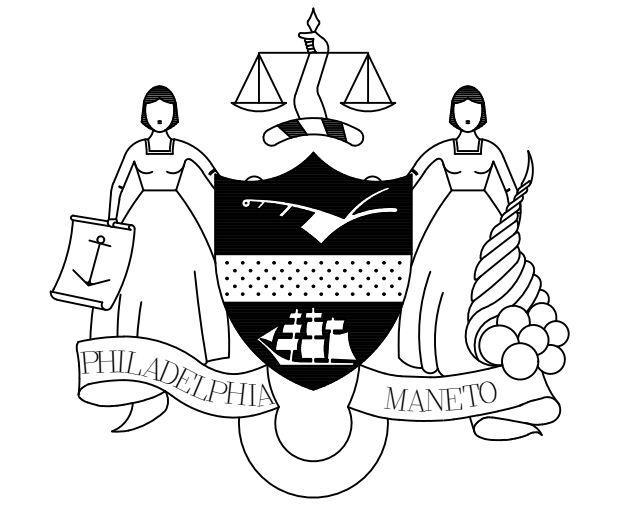
- GREEN STORMWATER MANAGEMENT NOTES:**
- THE APPROVED WORK SHALL BE DONE IN THE PRESENCE OF A PWD INSPECTOR.
  - THE CONTRACTOR PERFORMING THIS WORK IS TO NOTIFY PWD'S GREEN STORMWATER OPERATIONS AT LEAST 7 DAYS PRIOR TO STARTING WORK TO SCHEDULE AN INSPECTOR (ATTN: GERALD BRIGHT, 215-300-9079).
  - APPROVAL OF THESE PLANS BY THE WATER DEPARTMENT IS STRICTLY LIMITED TO THE PROTECTION OF GREEN STORMWATER INFRASTRUCTURE SHOWN WITHIN THE LIMITS OF THE CITY OF PHILADELPHIA PUBLIC RIGHT OF WAY.
  - ANY CHANGE TO, OR DEVIATION FROM, THE FINAL APPROVED DESIGN PLANS DURING CONSTRUCTION MUST BE APPROVED BY PWD.
  - CONTRACTOR MUST UTILIZE ADEQUATE SHORING METHODS TO PROTECT THE STABILITY OF THE PWD GREEN STORMWATER INFRASTRUCTURE.
  - CONTRACTOR MUST COMPLY WITH EROSION AND SEDIMENT CONTROL REQUIREMENTS DURING CONSTRUCTION. SEE PWD REGULATION 501.3 AND 600.4, PHILA CODE S. 13-603, AND 25 PA CODE CHAPTER 102.
  - SUFFICIENT EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR AS TO PREVENT SEDIMENTATION OF STORMWATER SYSTEMS. GREEN STORMWATER INFRASTRUCTURE SYSTEMS DETERMINED BY PWD TO BE INADEQUATELY PROTECTED AND THEREBY COMPROMISED WILL BE REPLACED TO THE EXTENT REQUIRED BY PWD (UP TO AND INCLUDING FULL REPLACEMENT) AT NO ADDITIONAL COST TO PWD.
  - CONTRACTOR IS REQUIRED TO UNDERTAKE NECESSARY MEASURES TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE, TO PREVENT EROSION CONDITIONS, AND TO SUPPRESS DUST ON THE SITE AND SURROUNDING AREAS. CONTRACTOR MUST COVER AND SURROUND STOCKPILES WITH EROSION CONTROL MEASURES TO ENSURE SEDIMENT DOES NOT MIGRATE INTO THE PUBLIC ROW OR ENTER THE PUBLIC SEWER. IF CONTRACTOR IS HAND DIGGING OR EXCAVATING, CONTRACTOR MUST SWEEP WORK SITE AT THE END OF EACH WORKDAY. THE CITY MAY REQUIRE THE CONTRACTOR / OWNER TO CLEAN CITY-OWNED INLETS AND SYSTEMS AFFECTED BY NONCOMPLIANT OR FAILED E&S CONTROLS.
  - CONTRACTOR MUST INSTALL INLET PROTECTION MEASURES AT ALL INLETS ADJACENT TO OR WITHIN THE WORK AREA. INLET PROTECTION MEASURES MUST BE INSPECTED DAILY TO ENSURE PROPER PLACEMENT, AND MAINTAINED, POSITIONED OR REPLACED AS NEEDED TO ENSURE PROPER FUNCTION AND TO PREVENT FLOODING. REFER TO PWD GUIDANCE FOR APPROPRIATE MATERIALS AND PROTECTION METHODS FOR OPEN-MOUTH INLETS, HIGHWAY GRATE INLETS, TRENCH DRAINS AND CURB-CUT INLETS.
  - GEOTEXTILE MUST CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS (AASHTO CLASS 1 OR CLASS 2 GEOTEXTILE IS RECOMMENDED):
    - GRAB TENSILE STRENGTH (ASTM-D4632): ≥120 LBS
    - MULLEN BURST STRENGTH (ASTM-D3786): ≥225 PSI
    - FLOW RATE (ASTM-D4491): ≥95 GAL/MIN/FT2
    - UV RESISTANCE AFTER 500 HRS (ASTM-D4355): ≥70%
    - HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED
  - STORAGE PIPES:
    - PIPE USED WITHIN THE SUBSURFACE INFILTRATION SMP MUST BE CONTINUOUSLY PERFORATED AND HAVE A SMOOTH INTERIOR WITH A MINIMUM INNER DIAMETER OF FOUR INCHES.
    - HIGH-DENSITY POLYETHYLENE (HDPE) PIPE MUST MEET THE SPECIFICATIONS OF AASHTO M252, TYPE S OR AASHTO M294, TYPE S.
    - ANY PIPE MATERIALS OUTSIDE THE SMP ARE TO MEET CITY PLUMBING CODE STANDARDS.
  - STONE SHALL BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. CLEAN-WASHED STONE IS DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION.

PWD TRACKING NO.: FY23-REHA-7188-01



**VICINITY MAP**  
1"=1000'  
DARBY AND COBBS CREEK WATERSHED  
COMBINED SEWER SERVICE AREA  
FLOOD MANAGEMENT DISTRICT B-2

REVISIONS		
ISSUE	DATE	REVISIONS
01	12/15/23	PER PWD REVIEW COMMENTS
02	2/16/24	PER PWD REVIEW COMMENTS
03	3/21/24	PER PWD REVIEW COMMENTS



**DESIGN DEVELOPMENT**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS  
  
 RICHARD STARR BURRELL, JR., P.E.

SPACE FOR CONSULTANT RECOGNITION

**SMP ARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**CONSULTANT**  
KS Engineers, P.C.  
530 Walnut St, Suite 400  
Philadelphia, PA 19106  
215 925 0425

**LANDSCAPE ARCHITECTS**  
Ground Reconstituted  
235 South Broad St  
Philadelphia, Pennsylvania 19102  
215 700 0727

**SEED**  
Astra Engineers  
1600 Market St, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

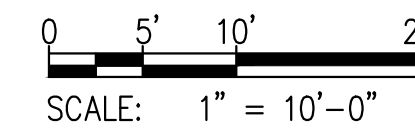
**CONSULTANT**  
Chatham Consulting  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 954 6500

**PROTECT YOURSELF**



WHAT YOU DON'T KNOW CAN HURT YOU.

CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE  
Pennsylvania One Call System, Inc.  
1-800-242-1776



**SITE LOCATION:**

CHRISTY RECREATION CENTER RENOVATION  
728 S 55TH STREET  
PHILADELPHIA, PA 19143

**PROPERTY OWNER:**  
CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PA 19102

**OPA NUMBER:**

7873752400

**AREA:**

GROSS AREA = 115,927 S.F.  
IMPERVIOUS AREA = 53,928 S.F.

ACT 187	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.	
PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

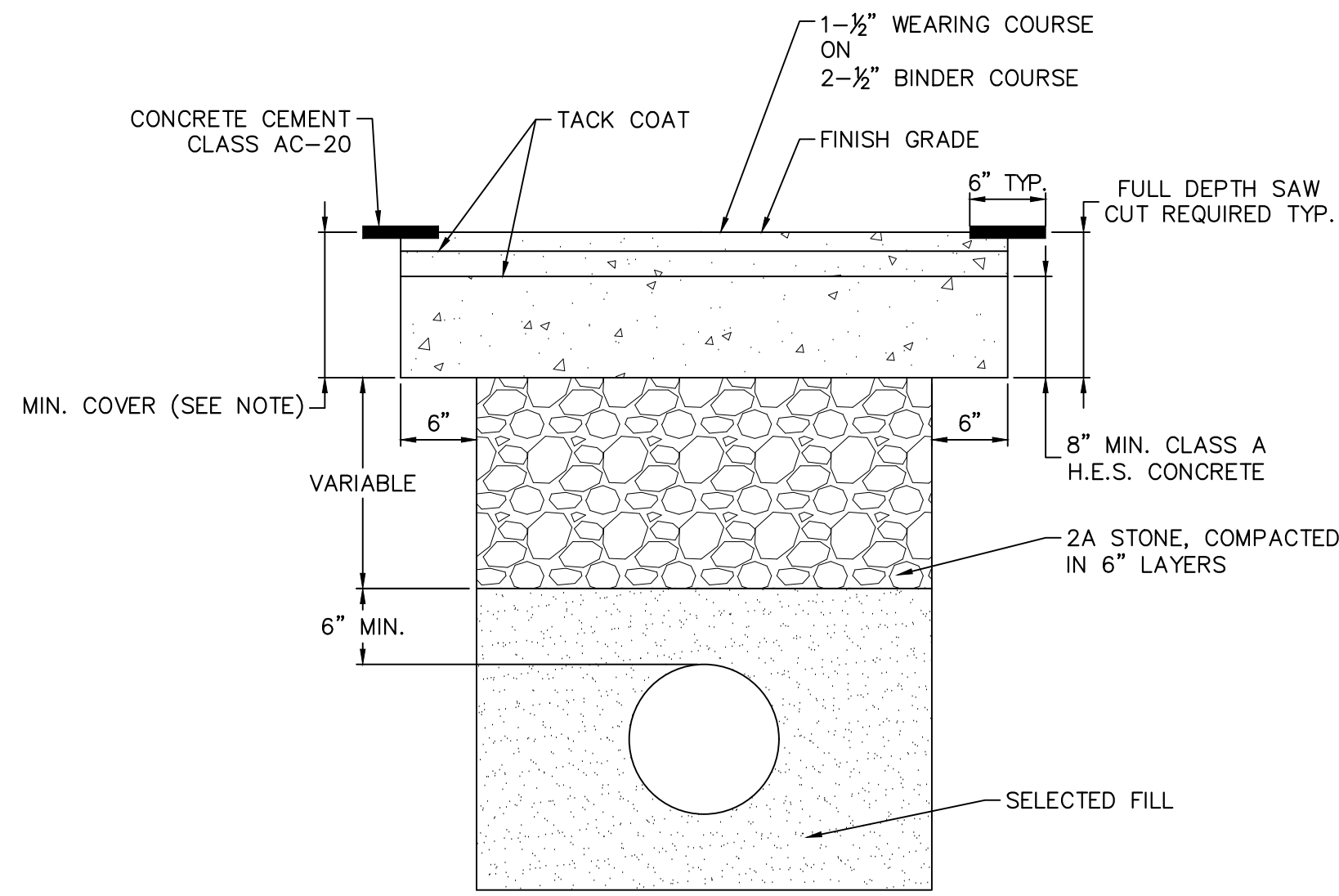
**CITY OF PHILADELPHIA**  
**PHILADELPHIA PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

**CHRISTY RECREATION CENTER RENOVATION**

**STORMWATER MANAGEMENT SUBSURFACE DETENTION BASIN DETAIL - ALT**

PROJECT NO. 2020-2443-01	DRAWING NO. <b>C1.05 (ALT)</b>
DATE 9/22/2023	SCALE AS NOTED
DRAWN BY TN	CHECKED BY RB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

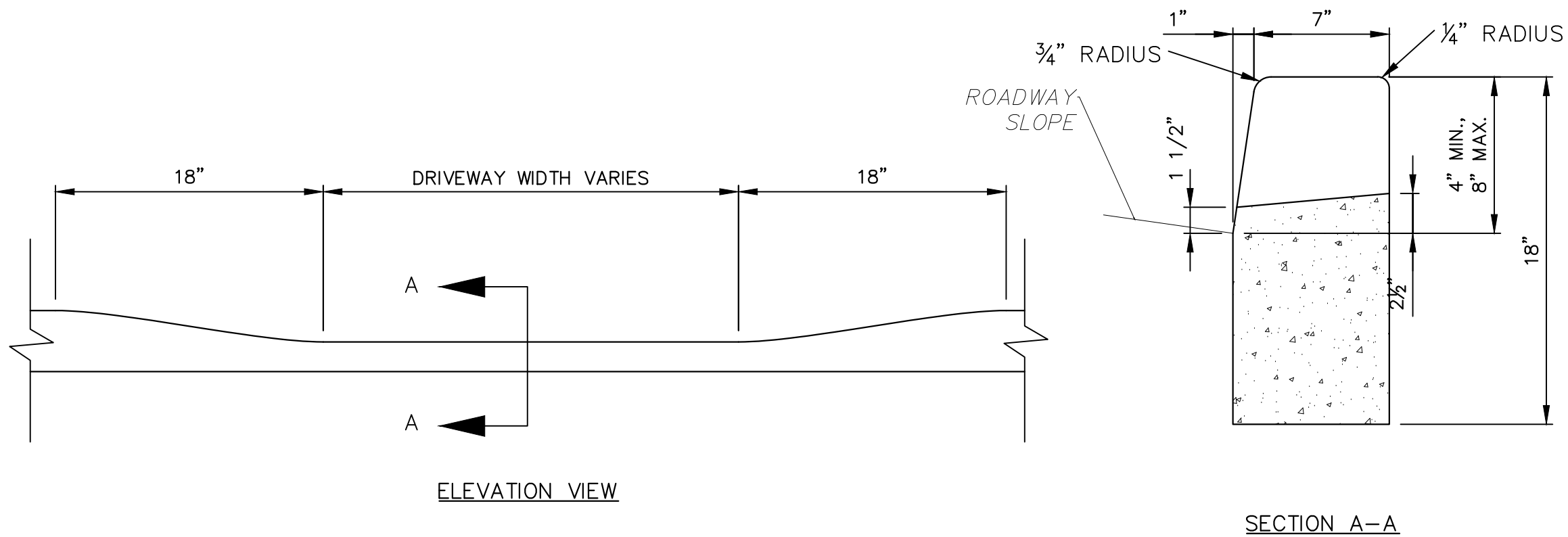
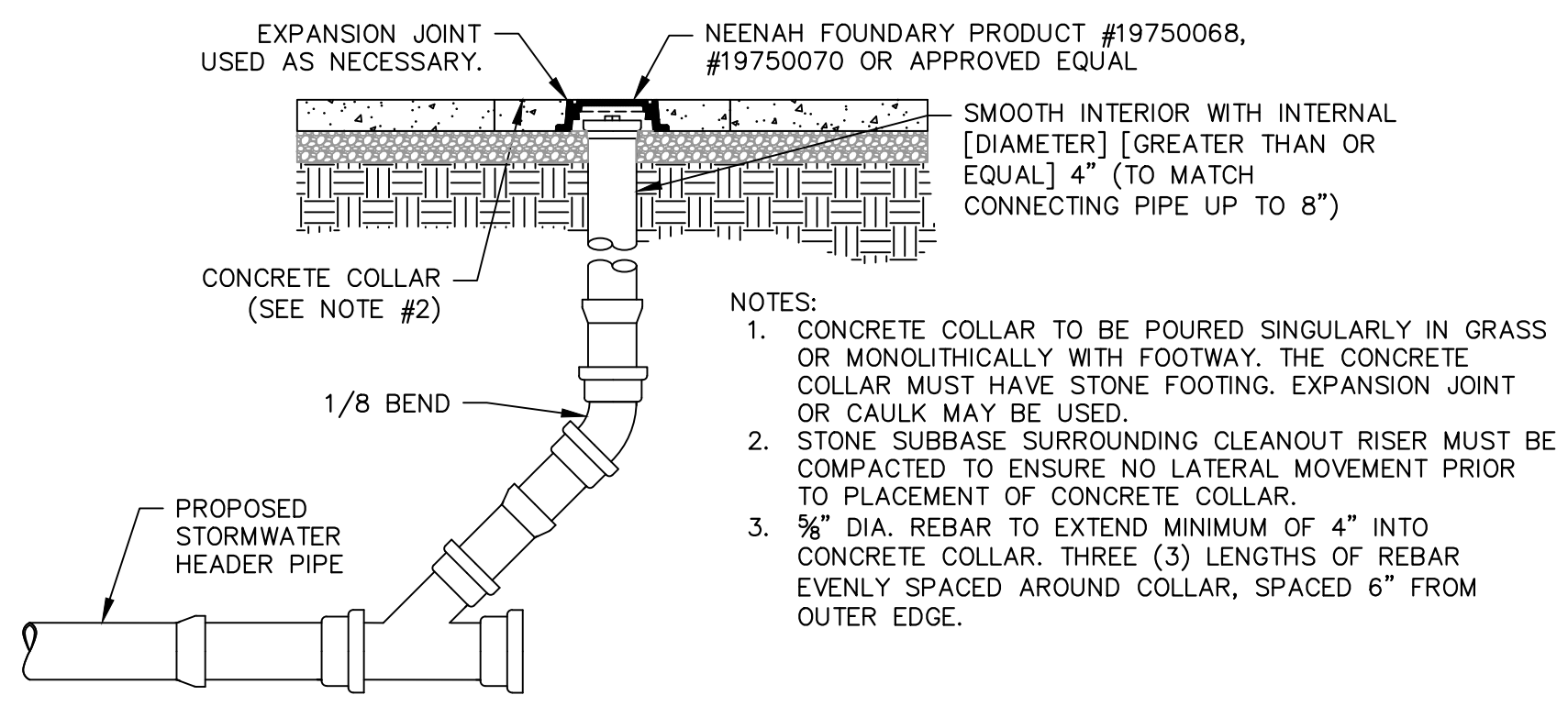




**NOTE:**

1. MINIMUM COVER: NO STRUCTURE SHALL BE PLACED LESS THAN 24-INCHES BELOW THE CARTWAY OR 15-INCHES BELOW THE FOOTWAY.
2. REPLACE ALL DISTURBED PAVEMENT MARKINGS WITH THERMOPLASTIC TAPE.
3. PAVEMENT MARKINGS MUST BE RESTORED WITHIN 7 DAYS OF TRENCH RESTORATION.
4. ALL RESTORATION BY PERMITTEE TO BE IN ACCORDANCE WITH THE LATEST STREETS DEPARTMENT STANDARDS.

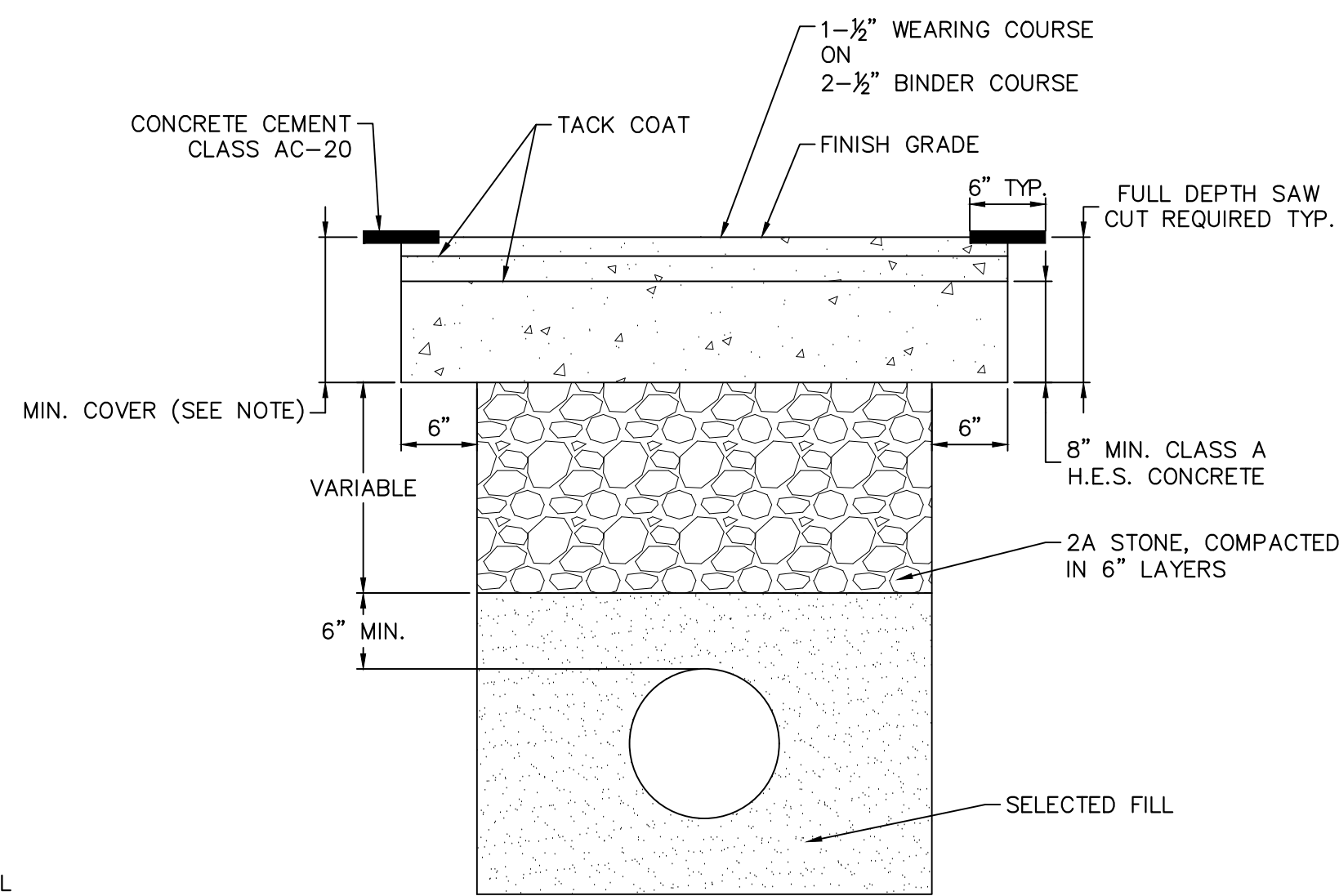
**PERMANENT TRENCH RESTORATION FOR UTILITY CONNECTIONS (CONCRETE TOP)**  
SCALE: N.T.S.



**NOTES:**

1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURB AND DEPRESSED CURB.
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
3. PLACE 3/8" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
4. SPACE CONTROL JOINTS AT 5' CENTERS ALONG THE LENGTH ON CONCRETE STEP-OFF AND STANDARD CONCRETE SIDEWALK.
5. FOR SPARKLE CONCRETE SIDEWALK, SCORE LINES SHALL BE MADE AS FOLLOWS: A CONTINUOUS SCORE LINE 1'-6" FROM THE EDGE OF SIDEWALK, ANOTHER CONTINUOUS SCORE LINE 1'-6" FROM THE OTHER EDGE OF SIDEWALK AND ON 5' CENTERS ALONG THE LENGTH OF THE FOOTWAY.
6. IN CASES WHERE THE CURB IS BEING REPLACED AT THE SAME ALIGNMENT AND GUTTER ELEVATION, THE EXISTING ROADWAY SHALL NOT BE DISTURBED.

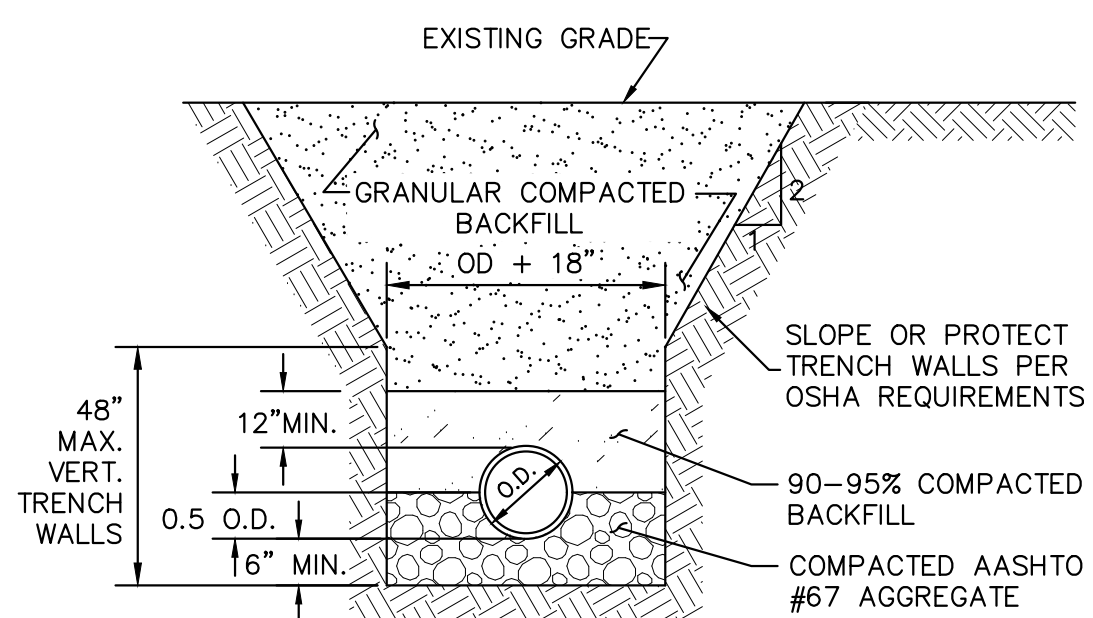
**DEPRESSED CURB DETAIL**  
SCALE: N.T.S.



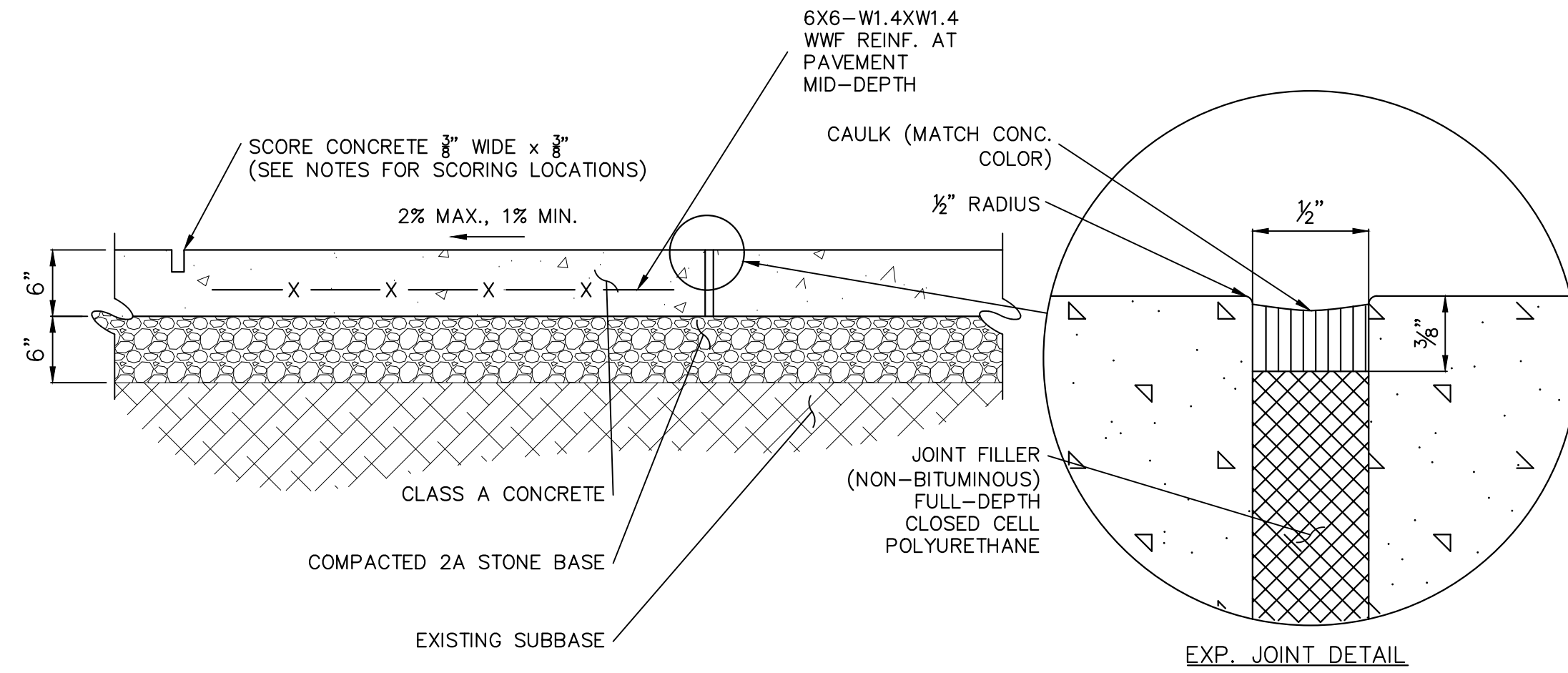
**NOTE:**

1. MINIMUM COVER: NO STRUCTURE SHALL BE PLACED LESS THAN 24-INCHES BELOW THE CARTWAY OR 15-INCHES BELOW THE FOOTWAY.
2. REPLACE ALL DISTURBED PAVEMENT MARKINGS WITH THERMOPLASTIC TAPE.
3. PAVEMENT MARKINGS MUST BE RESTORED WITHIN 7 DAYS OF TRENCH RESTORATION.
4. ALL RESTORATION BY PERMITTEE TO BE IN ACCORDANCE WITH THE LATEST STREETS DEPARTMENT STANDARDS.

**PERMANENT TRENCH RESTORATION FOR UTILITY CONNECTIONS (CONCRETE TOP)**  
SCALE: N.T.S.



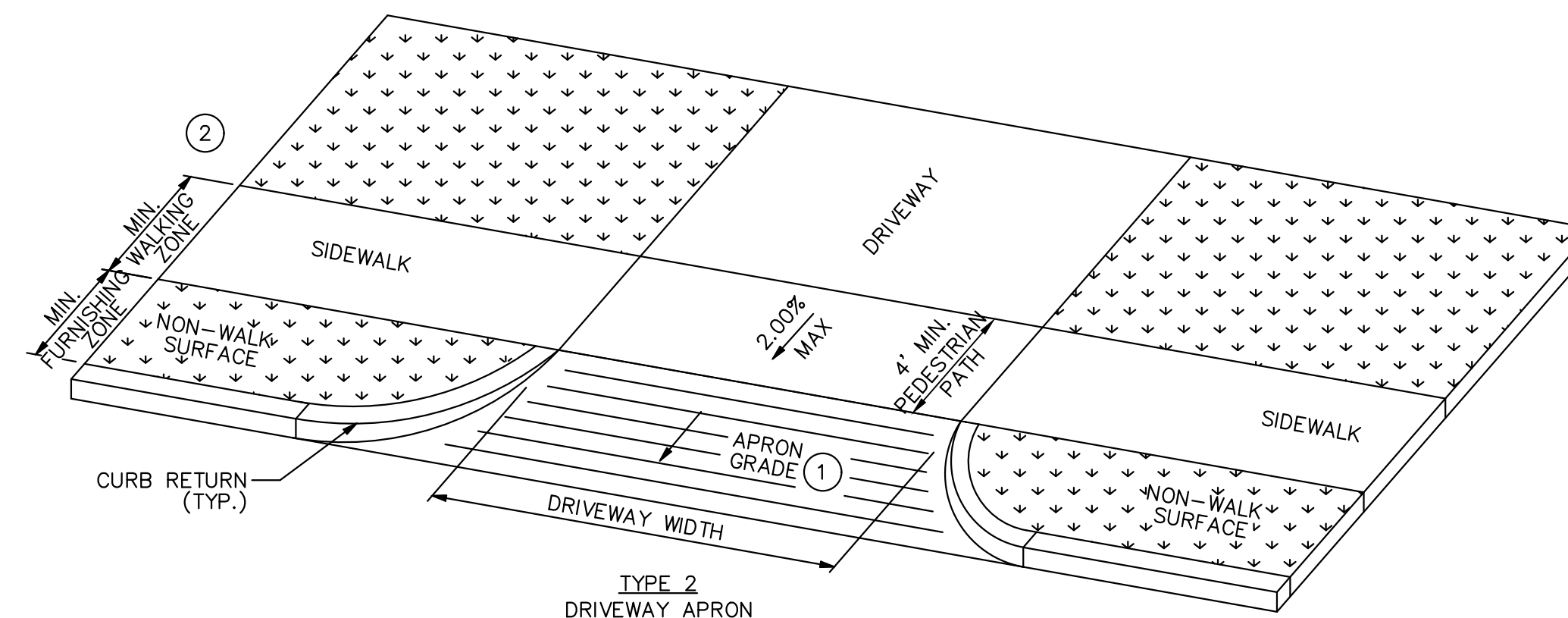
**TRENCH RESTORATION (IN GRASS)**  
SCALE: N.T.S.



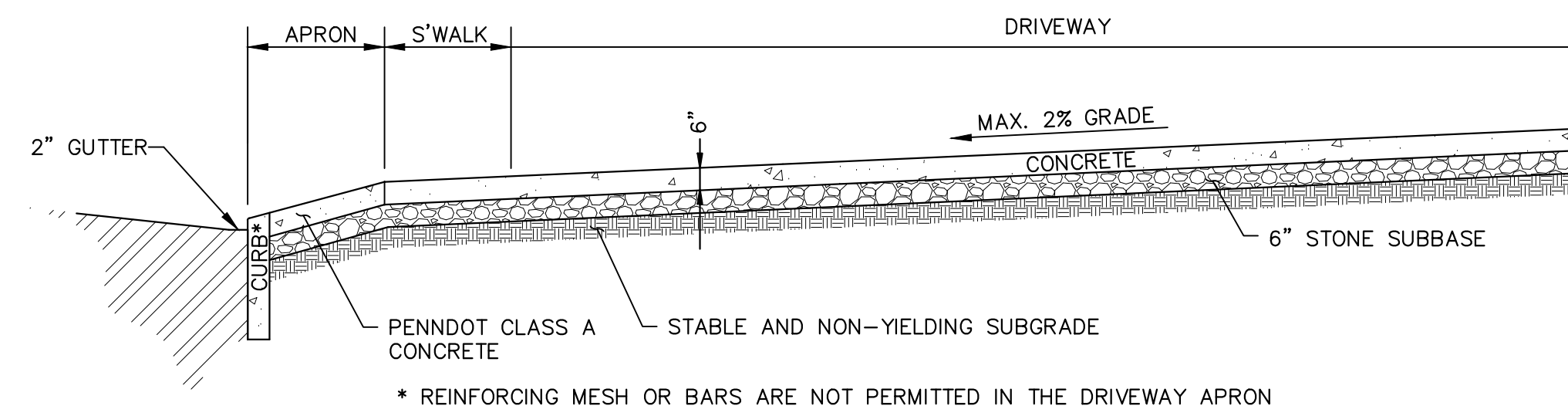
**NOTES:**

1. SPACE EXPANSION JOINTS 20' O.C. UNLESS SHOWN OTHERWISE ON PLANS.
2. INSTALL EXPANSION JOINTS WHERE WALK ABUTS OTHER STRUCTURES.
3. CONCRETE WALKWAY SHALL BE SCORED ON A 5' X 5' GRID, PERPENDICULAR TO THE CURBLINE.

**VEHICULAR CONCRETE DETAIL**  
SCALE: N.T.S.

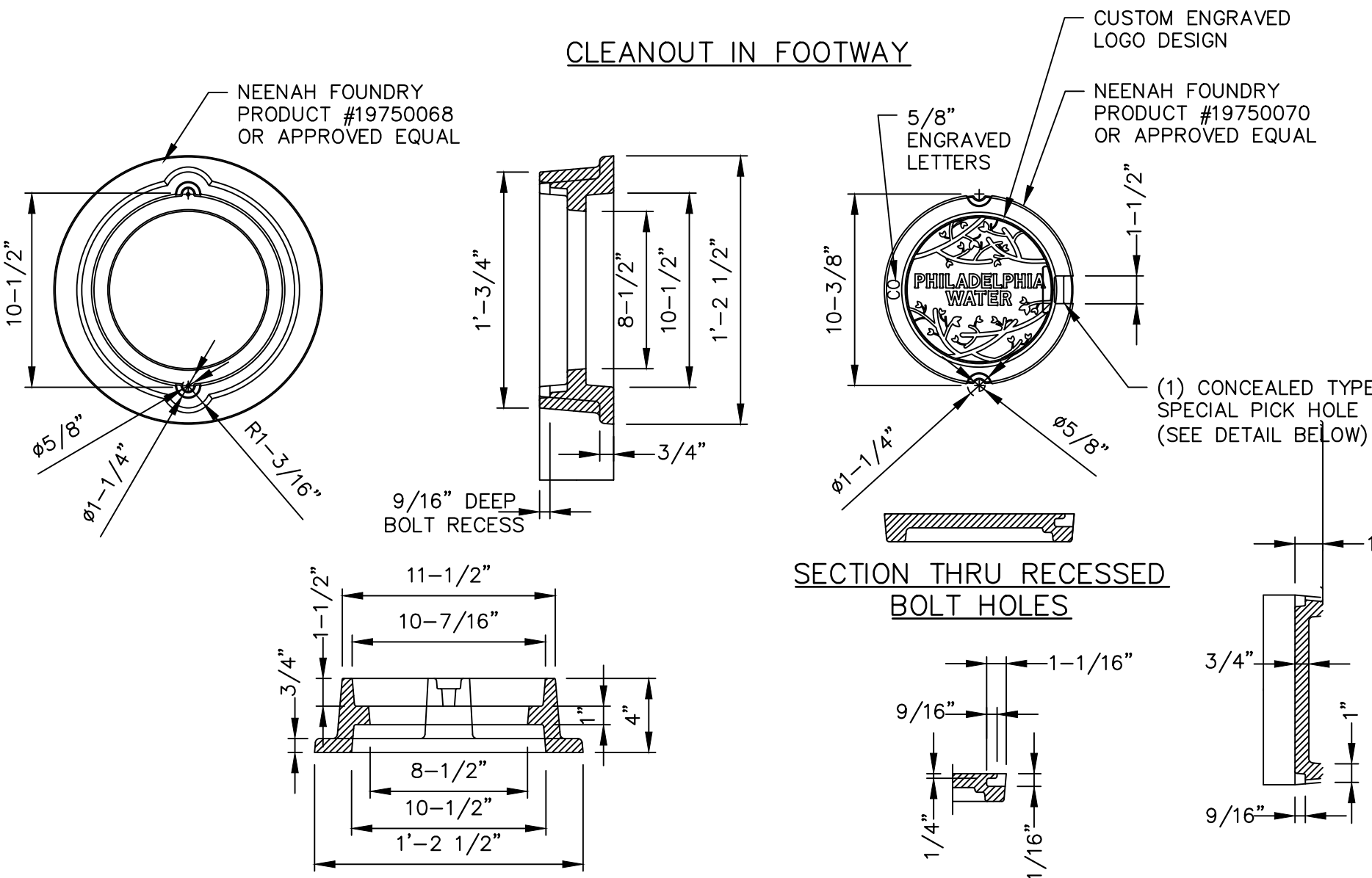


- ① 8.00% MAX CHANGE IN GRADE BETWEEN ROADSURFACE AND DRIVEWAY
- ② MINIMUM SIDEWALK WIDTH 1525 (5'-0") (SEE NOTE 20, SHEET 1)



**STANDARD DRIVEWAY**  
SCALE: N.T.S.

\* REINFORCING MESH OR BARS ARE NOT PERMITTED IN THE DRIVEWAY APRON



**CLEANOUT FRAME AND LID DETAIL**  
SCALE: N.T.S.

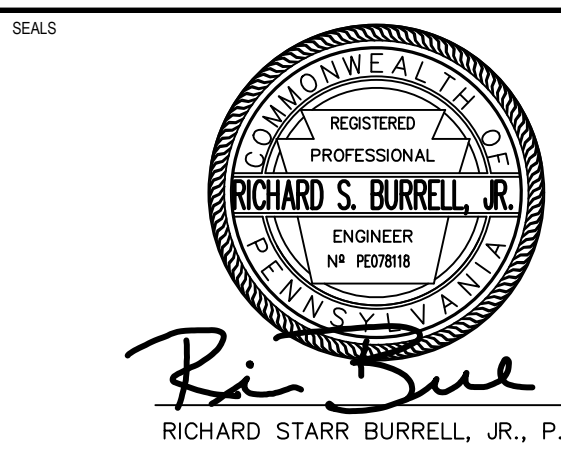
**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**



1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

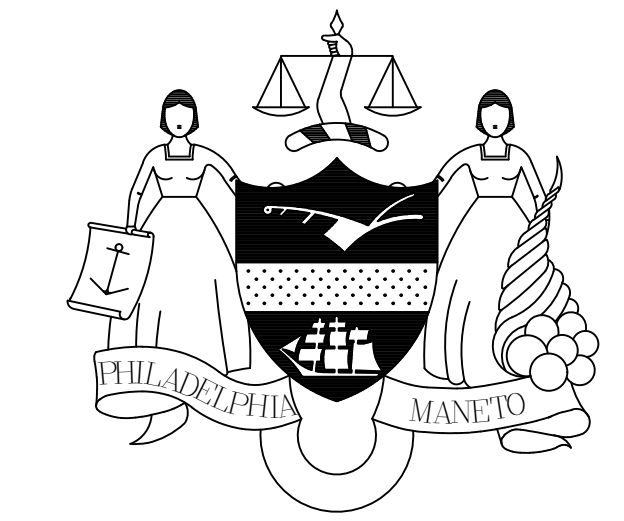
PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION**

DRAWING TITLE  
**CONSTRUCTION DETAILS**

PROJECT NO. 73217	DRAWING NO. <b>C5.01(1)</b>
DATE 3/15/2024	SCALE AS NOTED
DRAWN BY TN	CHECKED BY RB

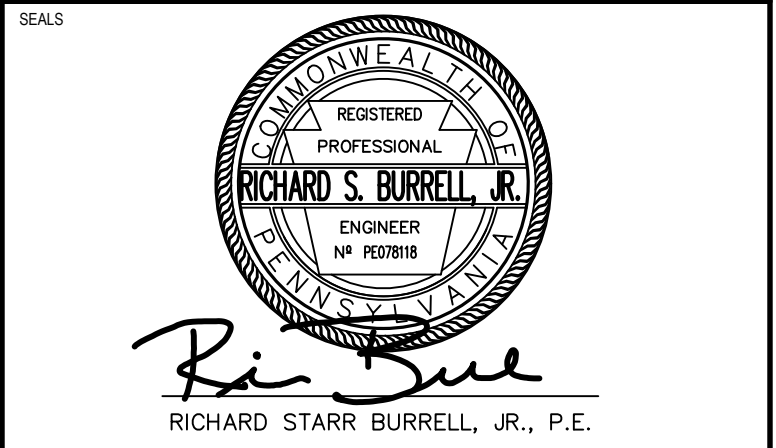
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**



1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MFP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

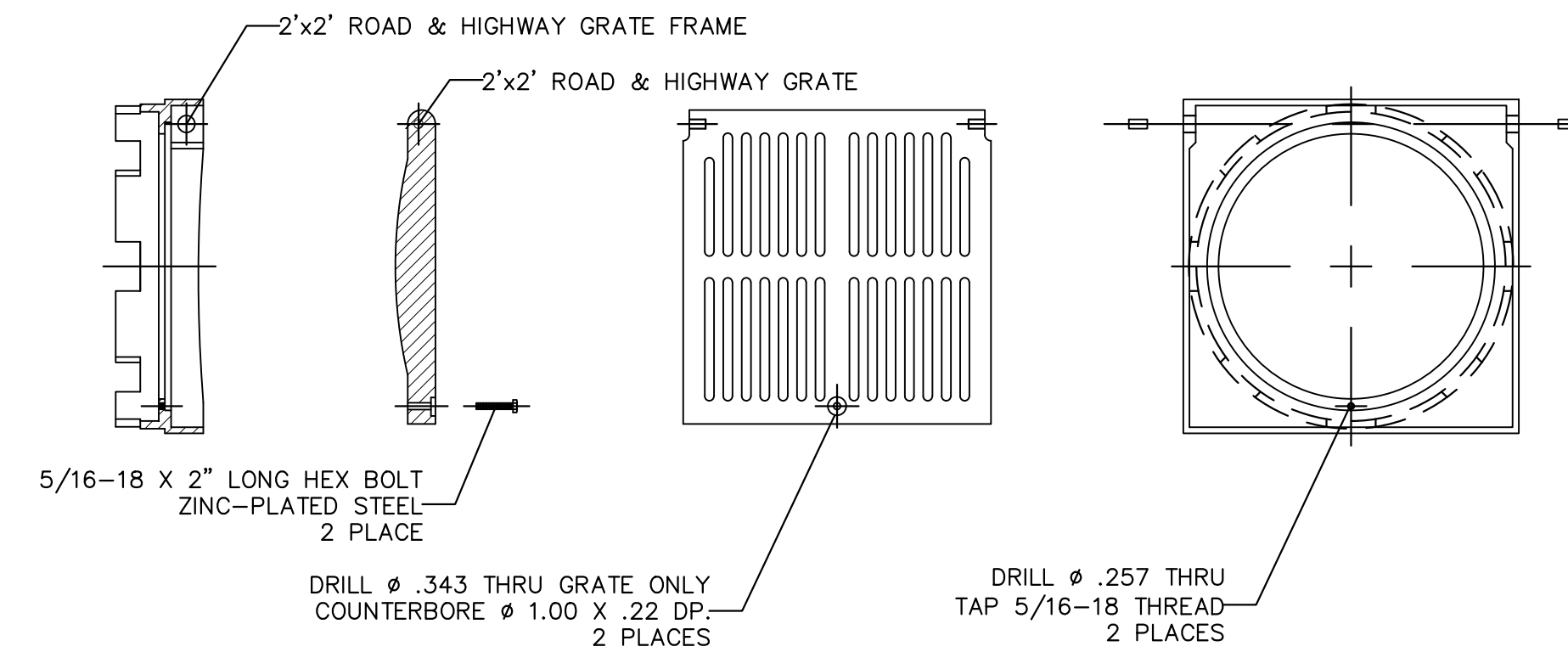
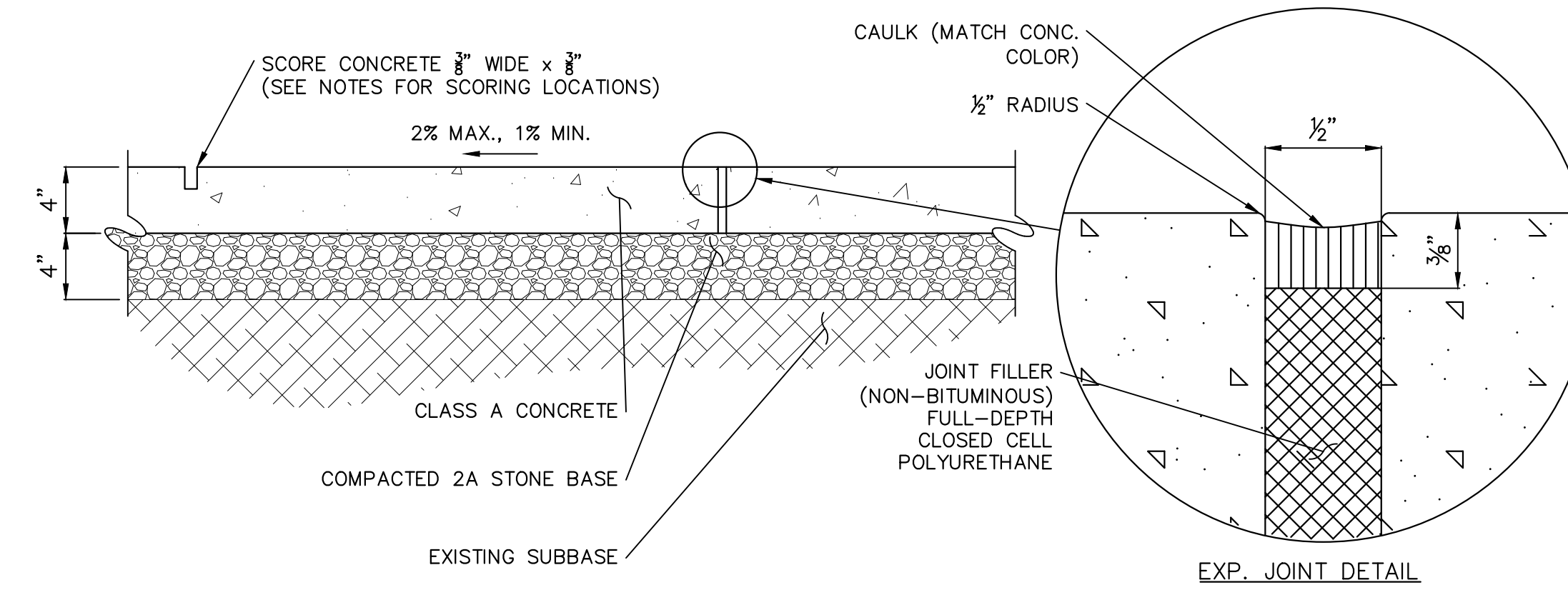
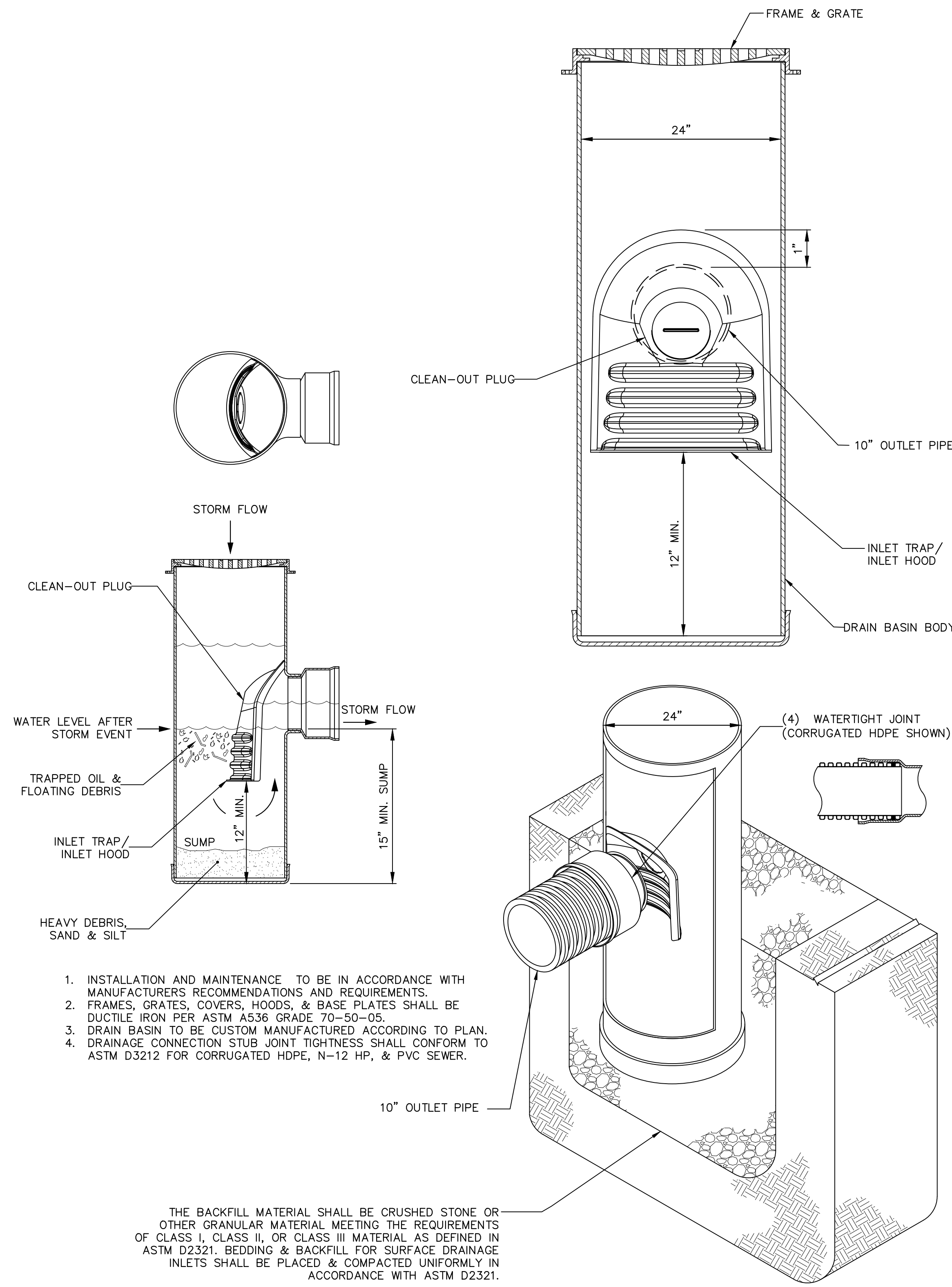
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION**

DRAWING TITLE  
**CONSTRUCTION DETAILS**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>C5.02(1)</b>
DATE 3/15/2024	
SCALE AS NOTED	
DRAWN BY TN	
CHECKED BY RB	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



NOTES:  
1. DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.  
2. QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05  
3. PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

REVISIONS

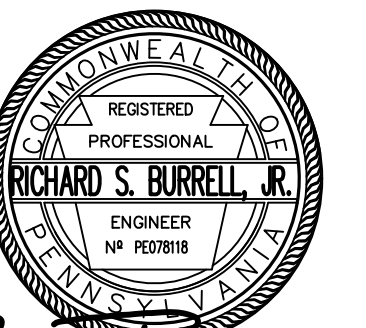
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS



*Richard S. Burrell, Jr.*  
RICHARD STARR BURRELL, JR., P.E.

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
ARORA ENGINEERS  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
KS ENGINEERS, P.C.  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
GROUND RECONSIDERED  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
DHARAM CONSULTING  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
ANN ROTHMAN  
STRUCTURAL ENGINEERING  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
DEPARTMENT OF PARKS & RECREATION  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION**

DRAWING TITLE  
**CONSTRUCTION DETAILS**

PROJECT NO.  
73217

DATE  
3/15/2024

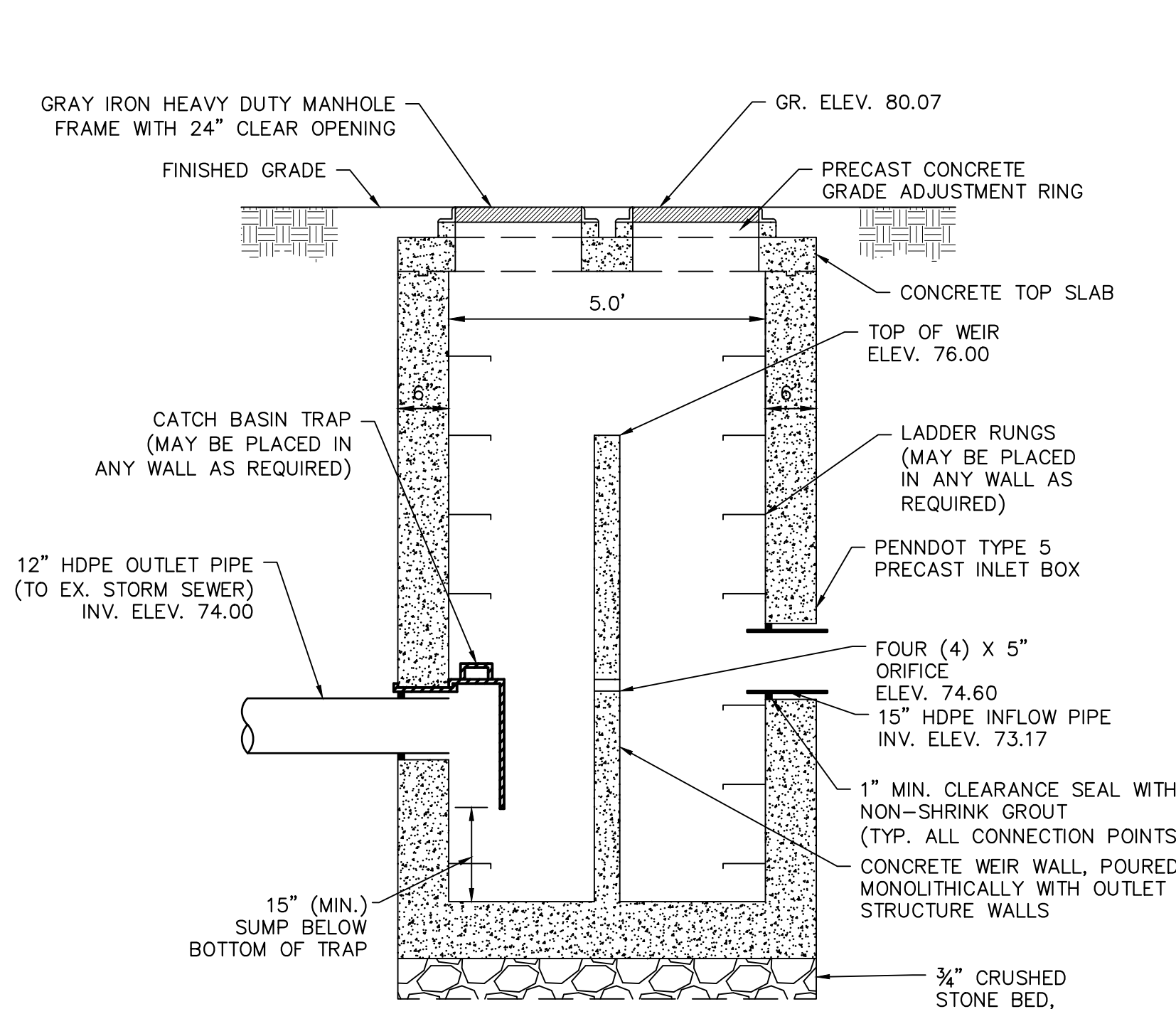
SCALE  
AS NOTED

DRAWN BY  
TN

CHECKED BY  
RB

**C5.03**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



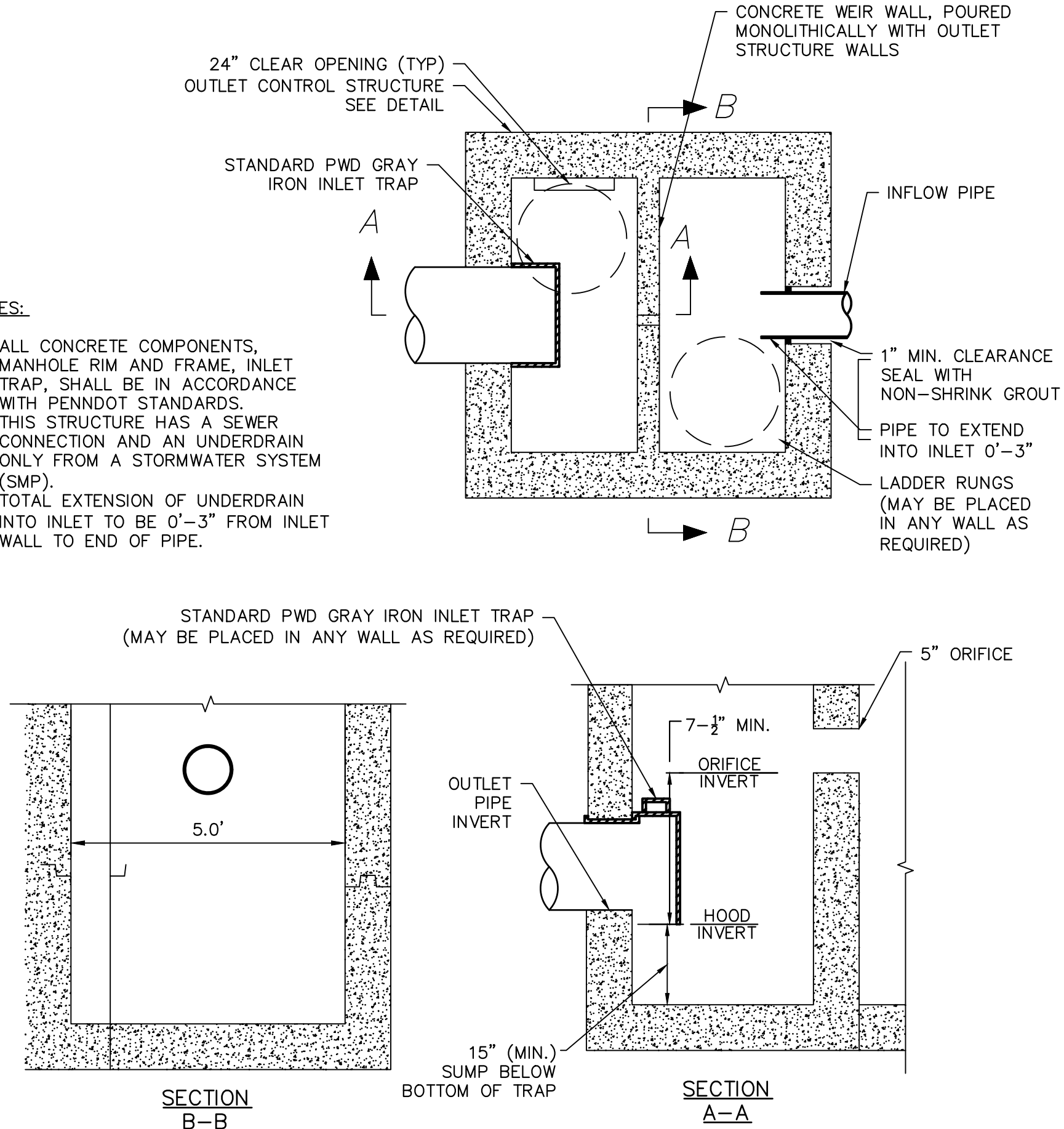
- NOTES:
1. COMPLY WITH PENNDOT STANDARDS.
  2. USE PRECAST PENNDOT INLET BOX TYPE 5 WITH 5'x5' INTERIOR DIMENSIONS AND 6" THICK WALLS.
  3. SEAL INLET TRAP WITH NON-SHRINK, NON-METALLIC MORTAR. APPLY BITUMIN-TYPE SEALING COMPOUND TO JOINT.
  4. PROPOSED INLET TRAP MUST BE AIR TIGHT.

OUTLET CONTROL STRUCTURE OS-1

SCALE: N.T.S.

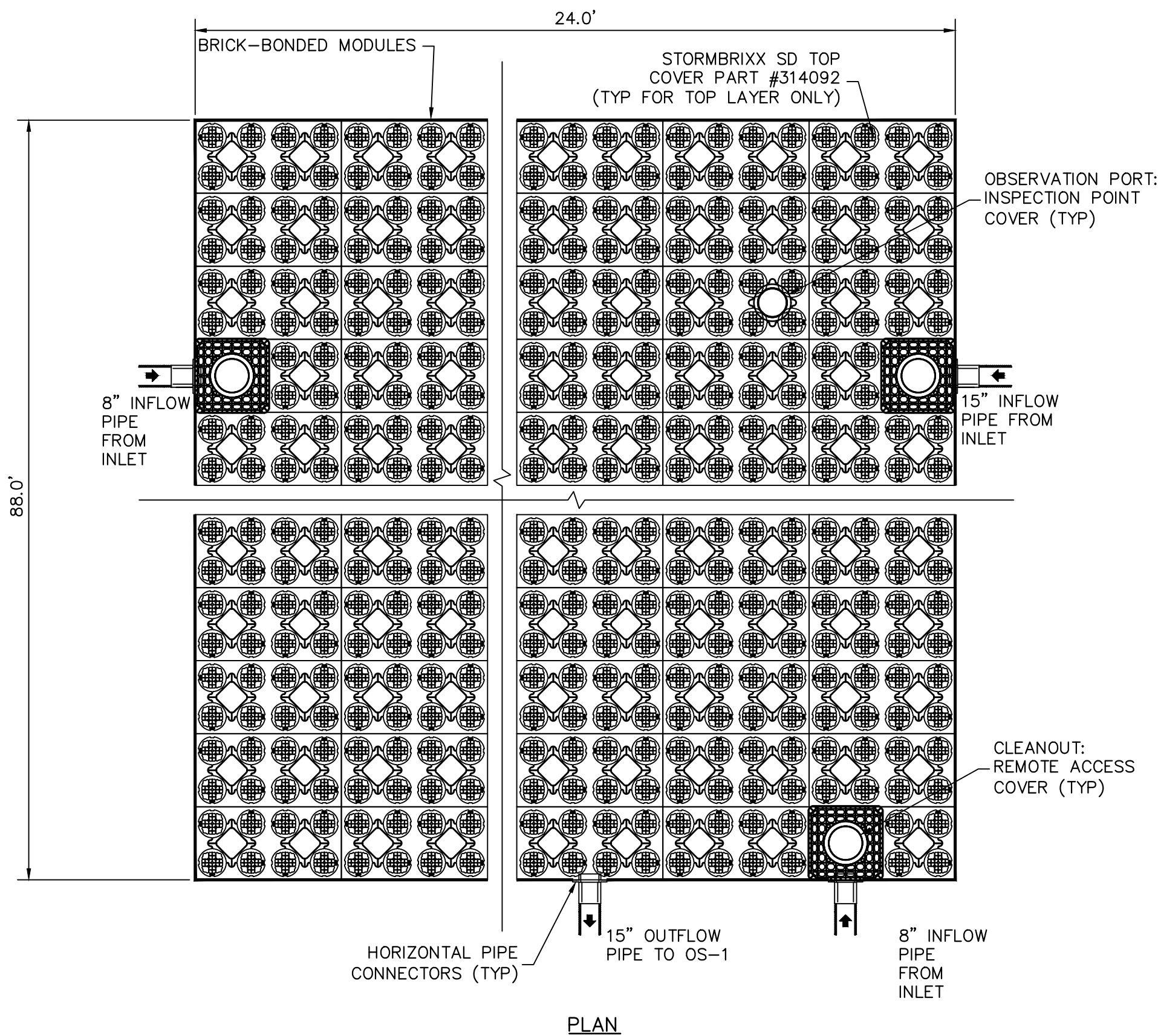
NOTES:

1. ALL CONCRETE COMPONENTS, MANHOLE RIM AND FRAME, INLET TRAP, SHALL BE IN ACCORDANCE WITH PENNDOT STANDARDS.
2. THIS STRUCTURE HAS A SEWER CONNECTION AND AN UNDERDRAIN ONLY FROM A STORMWATER SYSTEM (SMP).
3. TOTAL EXTENSION OF UNDERDRAIN INTO INLET TO BE 0'-3" FROM INLET WALL TO END OF PIPE.

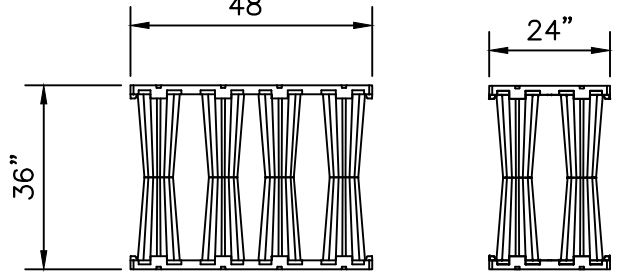


OUTLET CONTROL STRUCTURE CONNECTION DETAIL

SCALE: N.T.S.



48"x24"x36"  
22.54 CU. FT. NET VOLUME PER COMPLETED MODULE  
BRICK OR CROSS BONDED (WHERE APPLICABLE)  
PART# 314090



\*ALL SYSTEMS MUST BE INSTALLED TO MEET OR EXCEED ACO STORMBRIXX MINIMUM REQUIREMENTS. ACO STORMBRIXX OFFERS SUPPORT DURING THE CONSTRUCTION PHASE.

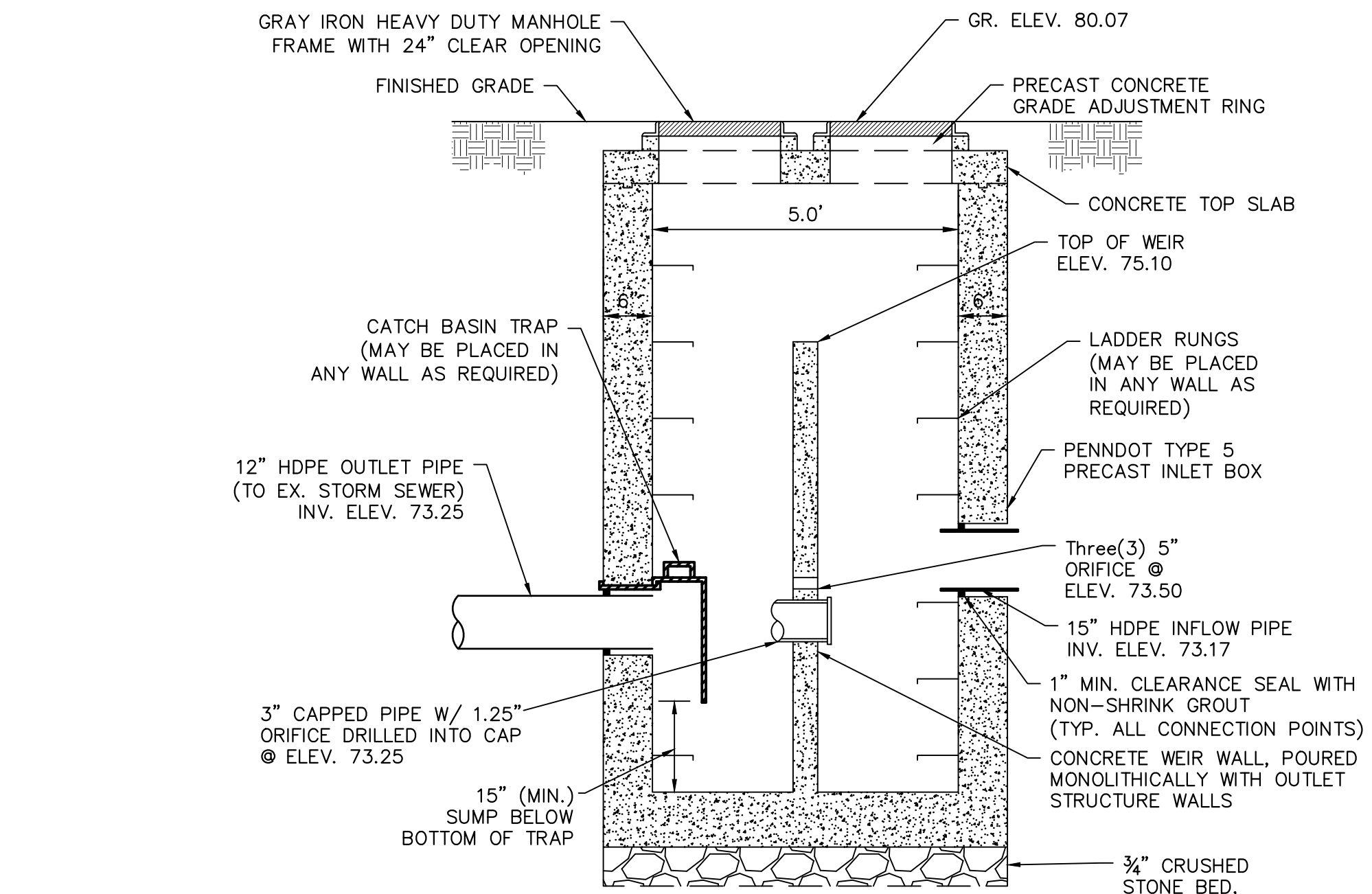
ACO STORMBRIXX SD MODULE

NOTES:

1. GEOTEXTILE MUST CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS (AASHTO CLASS 1 OR CLASS 2 GEOTEXTILE IS RECOMMENDED):
  - a. GRAB TENSILE STRENGTH (ASTM-D4632): ≥120 LBS
  - b. MULLEN BURST STRENGTH (ASTM-D3786): ≥225 PSI
  - c. FLOW RATE (ASTM-D4491): ≥95 GAL/MIN/FT<sup>2</sup>
  - d. UV RESISTANCE AFTER 500 HRS (ASTM-D4355): ≥70%
  - e. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED
2. STORAGE PIPES:
  - a. PIPE USED WITHIN THE SUBSURFACE INFILTRATION SMP MUST BE CONTINUOUSLY PERFORATED AND HAVE A SMOOTH INTERIOR WITH A MINIMUM INNER DIAMETER OF FOUR INCHES.
  - b. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE MUST MEET THE SPECIFICATIONS OF AASHTO M252, TYPE S OR AASHTO M294, TYPE S.
  - c. ANY PIPE MATERIALS OUTSIDE THE SMP ARE TO MEET CITY PLUMBING CODE STANDARDS.
3. STONE SHALL BE UNIFORMLY GRADED, CRUSHED, CLEAN-WASHED STONE. CLEAN-WASHED STONE IS DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST. AASHTO NO. 3 AND NO. 57 STONE CAN MEET THIS SPECIFICATION.

STORMWATER MANAGEMENT MODULE DETAILS

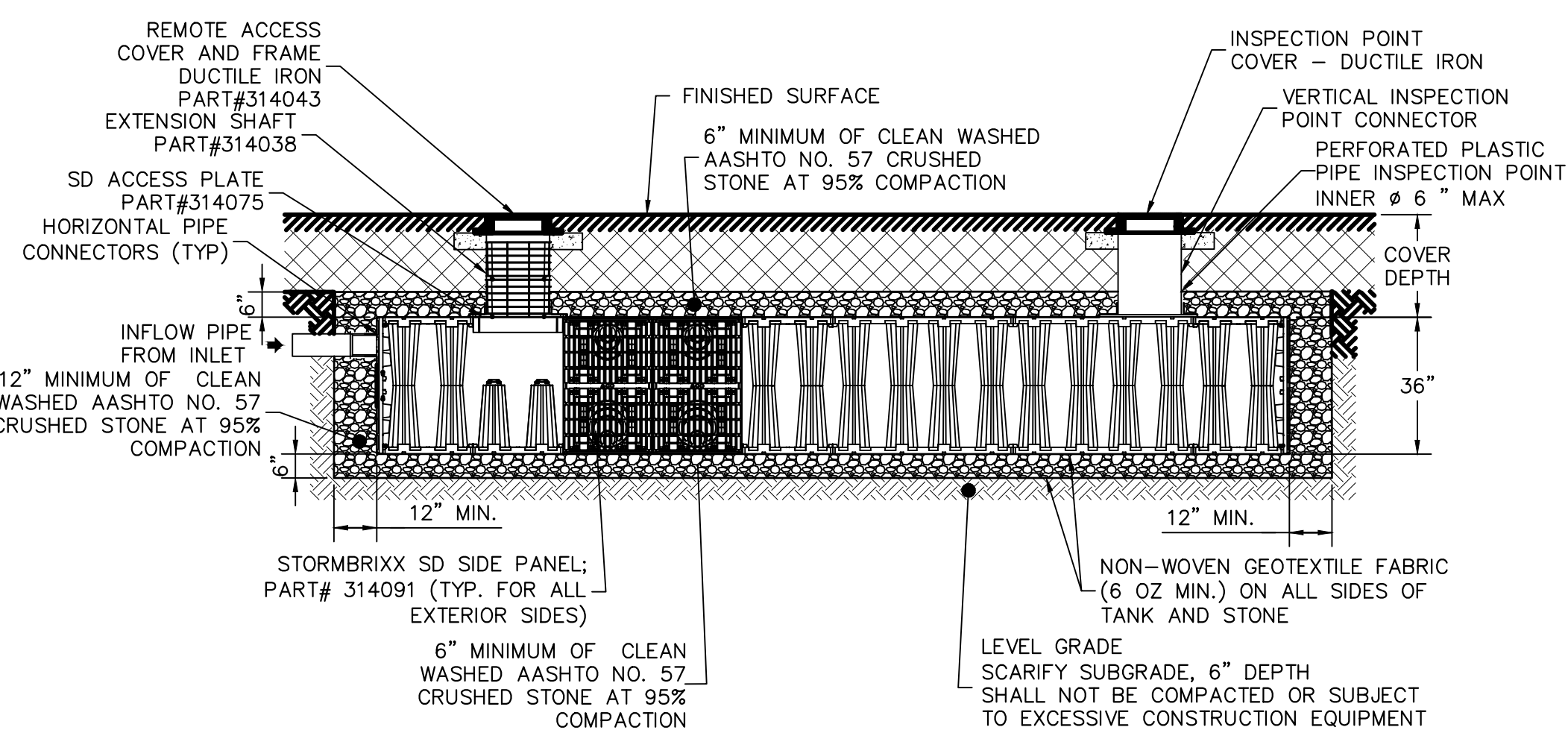
SCALE: N.T.S.



- NOTES:
1. COMPLY WITH PENNDOT STANDARDS.
  2. USE PRECAST PENNDOT INLET BOX TYPE 5 WITH 5'x5' INTERIOR DIMENSIONS AND 6" THICK WALLS.
  3. SEAL INLET TRAP WITH NON-SHRINK, NON-METALLIC MORTAR. APPLY BITUMIN-TYPE SEALING COMPOUND TO JOINT.
  4. PROPOSED INLET TRAP MUST BE AIR TIGHT.

OUTLET CONTROL STRUCTURE OS-1-ALT

SCALE: N.T.S.

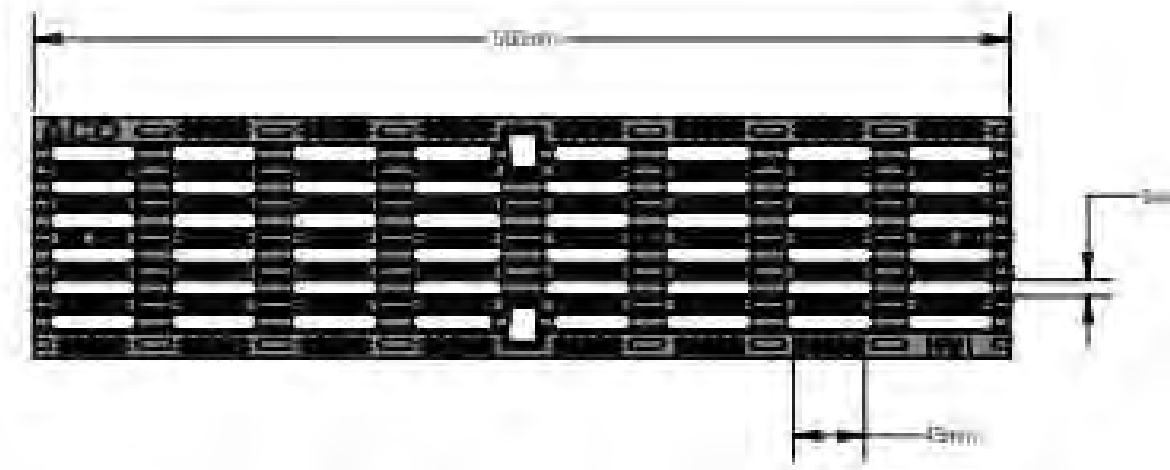


SECTION PROFILE

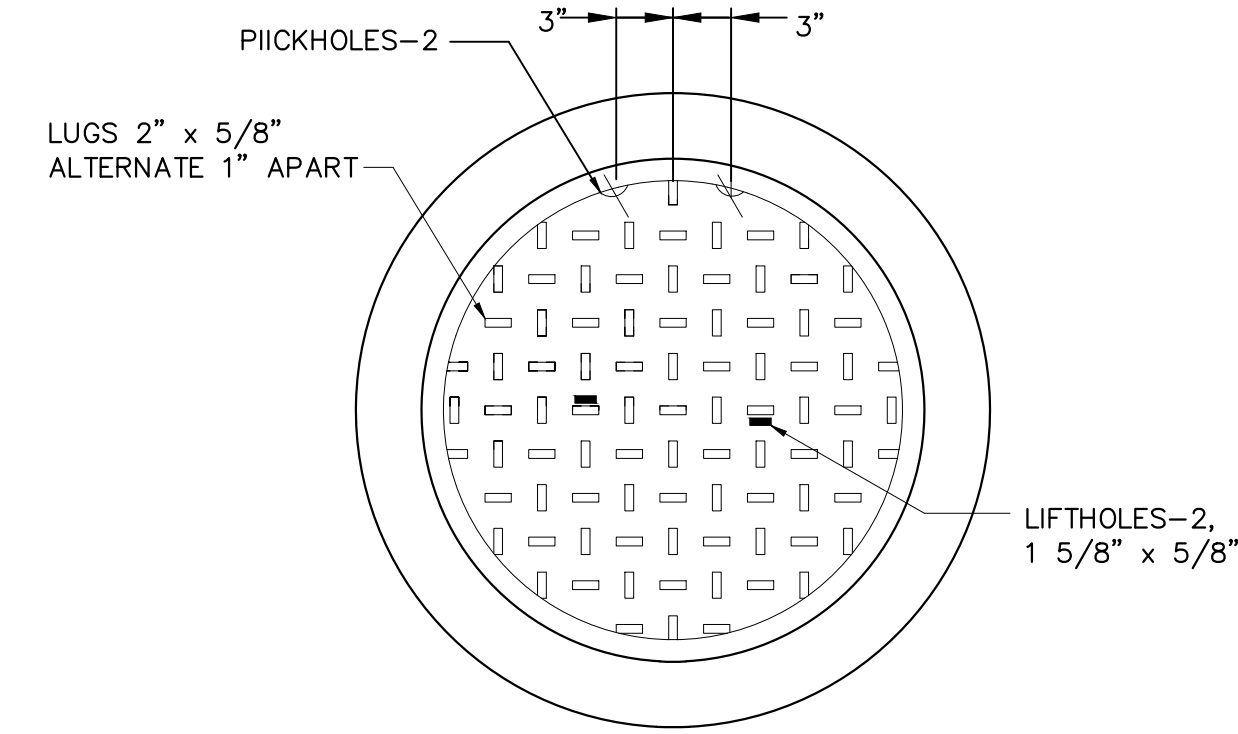
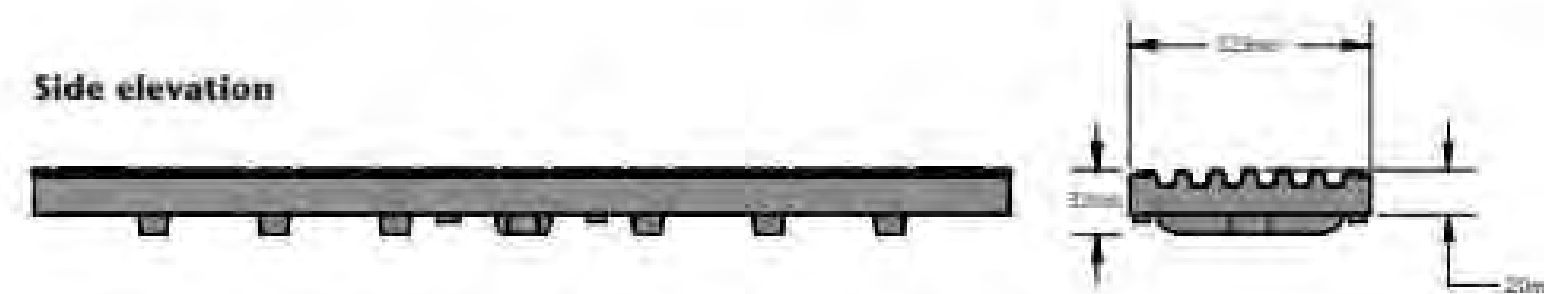
**Type 494D/495D Black/Grey Plastic Intercept Heelsafe® Anti-Slip grate**



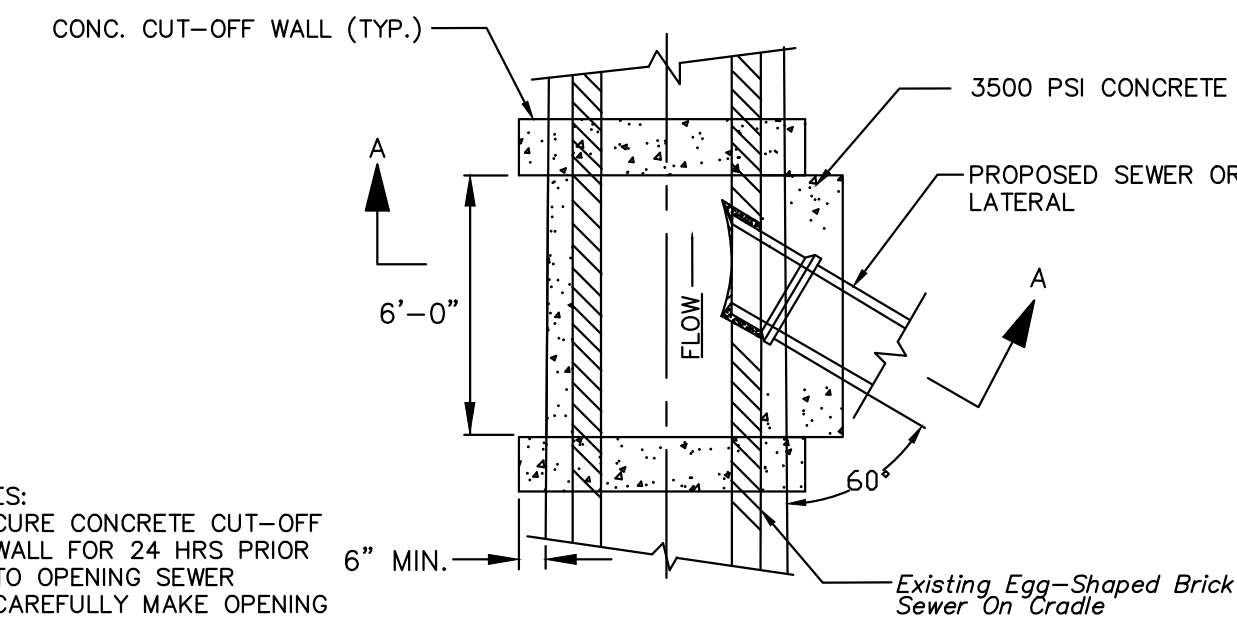
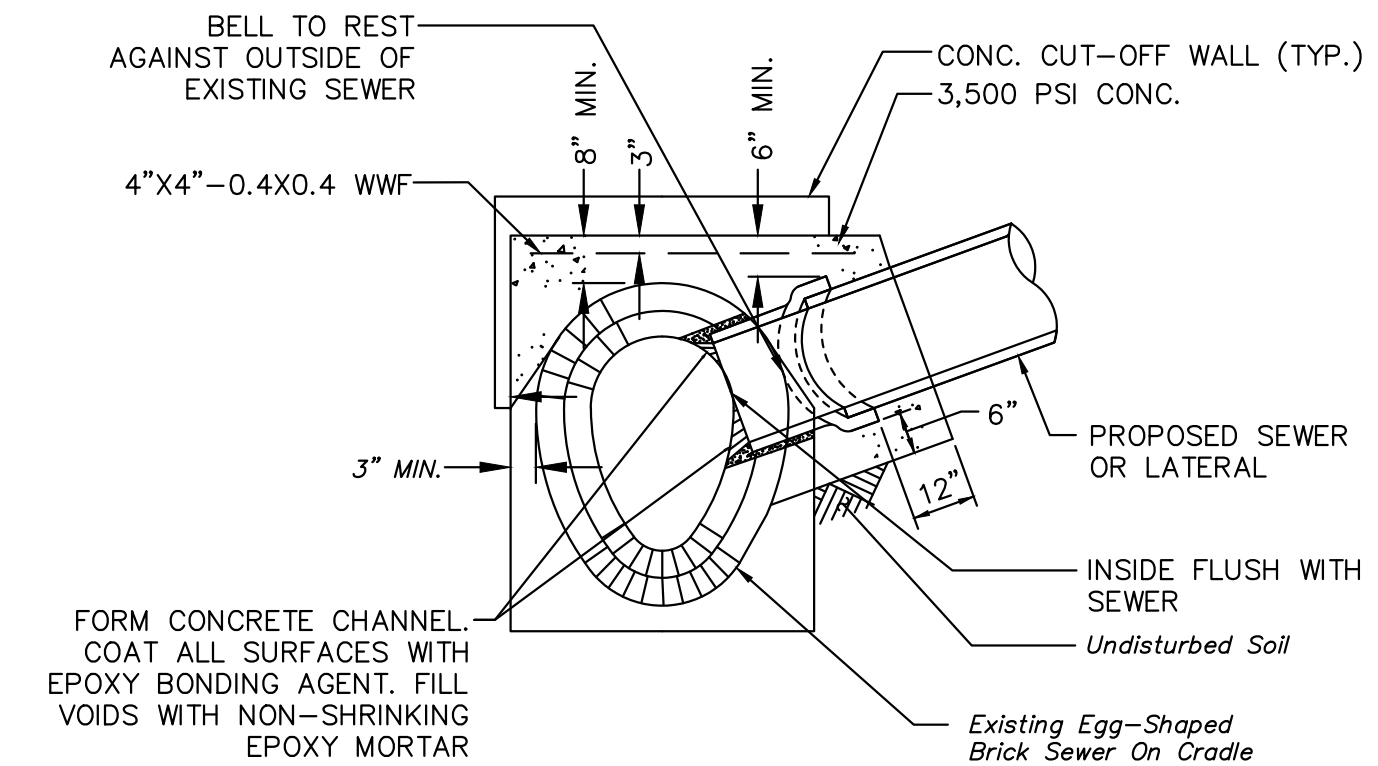
Plan view



Side elevation

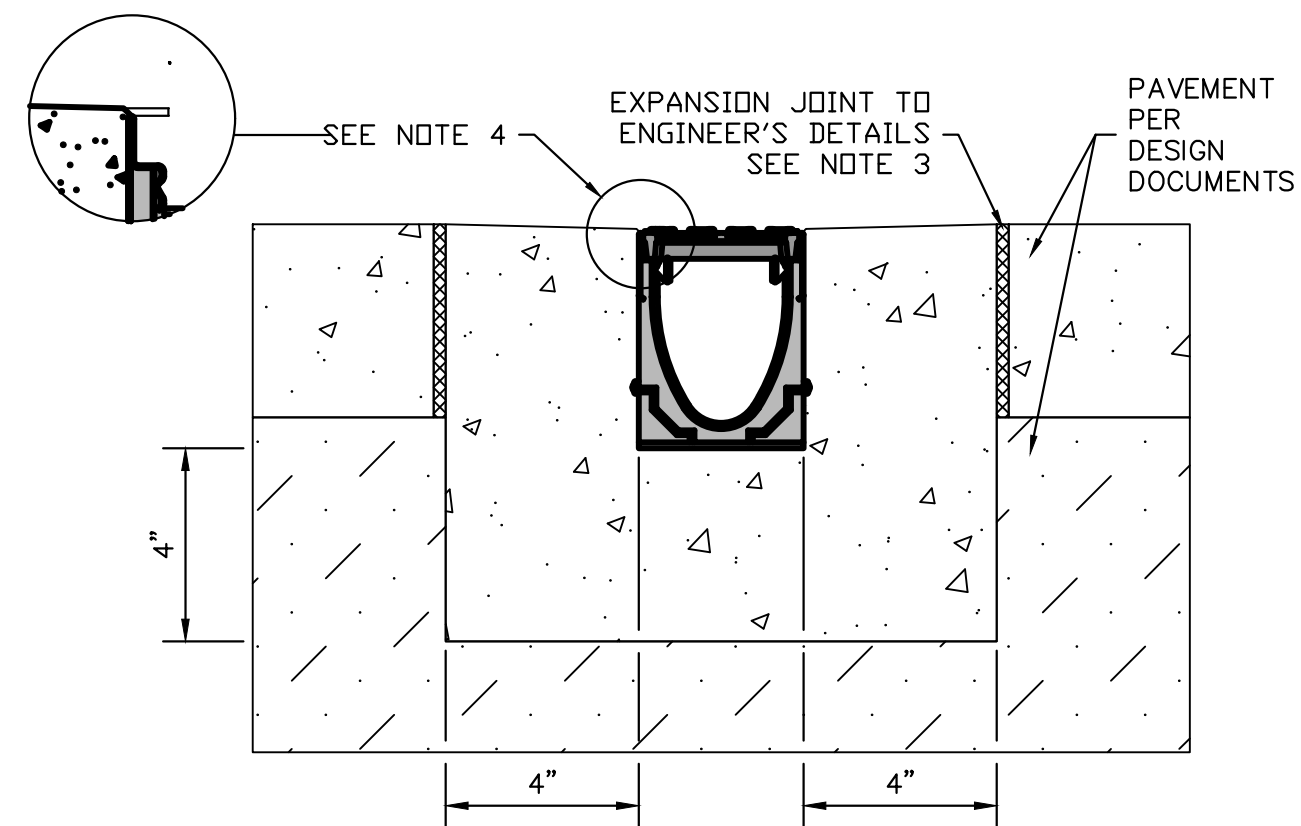


**GRAY MANHOLE FRAME AND COVER**  
SCALE: N.T.S.



- NOTES:
- CURE CONCRETE CUT-OFF WALL FOR 24 HRS PRIOR TO OPENING SEWER
  - CAREFULLY MAKE OPENING IN THE EXISTING BRICK SEWER BY CORE DRILLING. COAT EXISTING SURFACES WITH EPOXY BONDING AGENT.

- NOTES:
- USES 'DRAINLOK' BOLTLESS LOCKING SYSTEM



- NOTES:
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
  - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
  - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
  - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" ABOVE THE TOP OF THE CHANNEL EDGE.
  - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS.
  - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

**SPECIFICATION CLAUSE**

**K100 KLASSIKDRAIN "DRAINLOK" LOAD CLASS A**

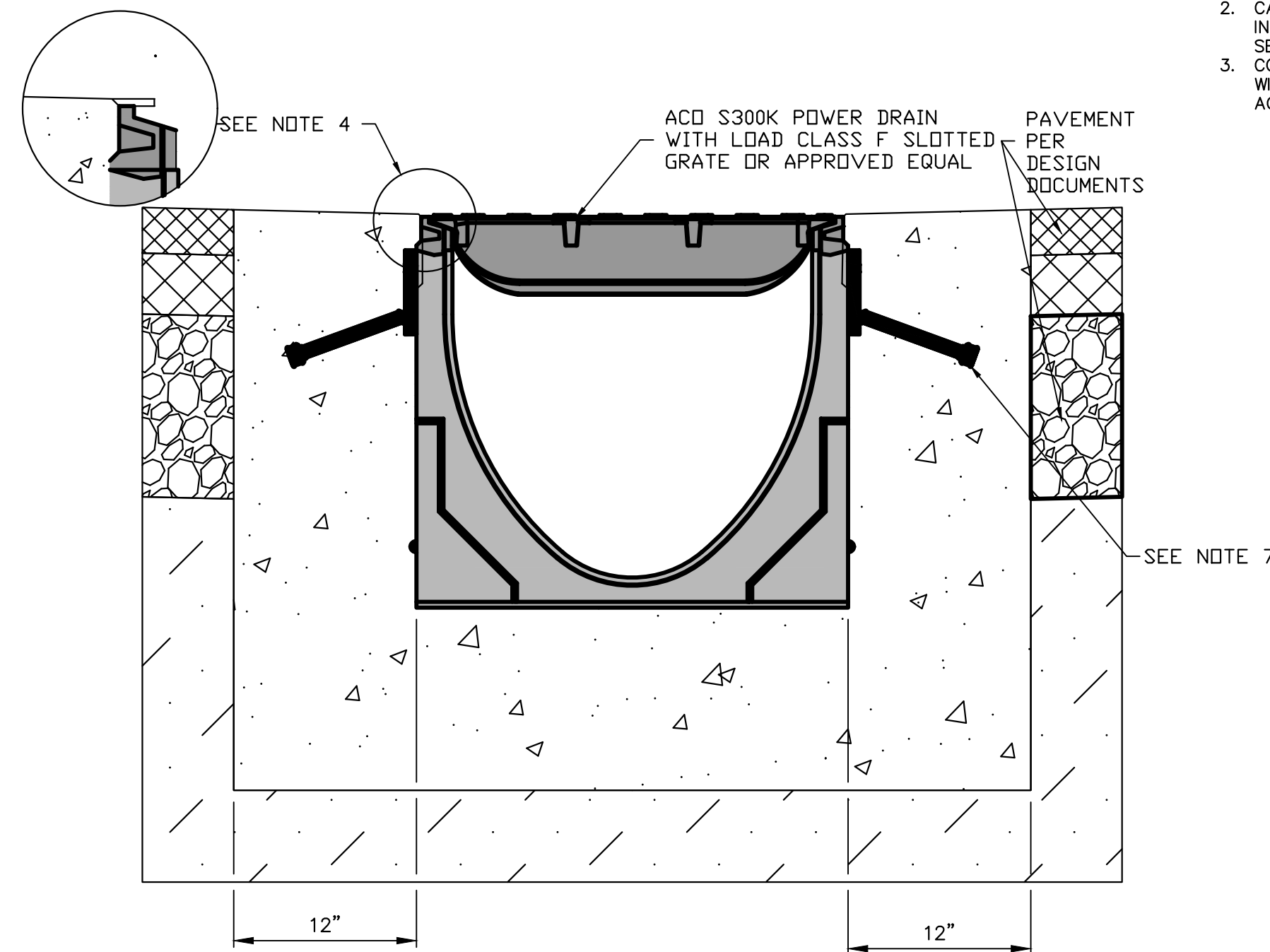
**GENERAL**  
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

**MATERIALS**  
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:  
COMPRESSIVE STRENGTH: 14,000 PSI  
FLEXURAL STRENGTH: 4,000 PSI  
TENSILE STRENGTH: 1,500 PSI  
WATER ABSORPTION: 0.07%  
FROST PROOF: YES  
DILUTE ACID AND ALKALI RESISTANT YES  
B117 SALT SPRAY TEST COMPLIANT YES

THE SYSTEM SHALL BE 4" NOMINAL INTERNAL WIDTH WITH A 5.1" OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'DRAINLOK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.



- NOTES:
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS.
  - MINIMUM CONCRETE STRENGTH OF 4,000 PSI. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
  - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND.
  - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" ABOVE THE TOP OF THE CHANNEL EDGE.
  - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS.
  - REFER TO ACO'S LATEST INSTALLATION INSTRUCTION FOR FURTHER DETAILS.
  - ACO, INC. RECOMMENDS USING THE POWERDRAIN CONCRETE ANCHORS (PART #97496) FOR LOAD CLASS F APPLICATIONS. TWO ANCHORS REQUIRED PER HALF METER LENGTH.

**VEHICLE RATED TRENCH DRAIN**  
SCALE: N.T.S.

**SADDLE CONNECTION INSTALLATION PROCEDURE:**

- THE CONNECTIONS SHOULD NOT JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE EXISTING SEWER LINES NOR JEOPARDIZE OR COMPROMISE THE OPERATION AND FLOW OF THE EXISTING SEWER LINES.
- EXCAVATE SAFELY TO EXPOSE THE EXISTING SEWER PIPE WITHOUT DAMAGING IT.
- EXCAVATE A DITCH WIDE ENOUGH TO ACCOMMODATE CORING THE EXISTING SEWER PIPE AND CONCRETING THE CONNECTION JOINT TO 1-FOOT PAST THE EDGE OF THE CORED OPENING IN ALL DIRECTIONS.
- CONTRACTORS SHOULD PERFORM THE CONNECTION IN A SAFE MANNER AND PER OSHA REGULATIONS.
- SHORING SHALL BE INSTALLED IN DITCHES AND TRENCHES AS PER OSHA REGULATIONS OR AS REGULATED BY PWD. VIOLATION OF THIS PROVISION WILL RESULT IN A STOP WORK ORDER AND/OR PENALTIES PRESCRIBED BY LAW. (REFER TO PHILADELPHIA PLUMBING CODE 2004 SECTION P-1503.2 SHORING).
- CORE DRILL A HOLE NOT MORE THAN 1-INCH LARGER THAN THE OD OF THE CONNECTING PIPE OR SADDLE.
- PREVENT ANY PIECES OF CORED SECTION OR DEBRIS TO FALL INTO THE SEWER.
- REMOVE ALL THE BROKEN PIECES OF DEBRIS THAT FALL INTO THE SEWER.
- CAULK THE INTERIOR SURFACE OF THE CORED AREA WITH NON-SHRINK OR EPOXY MORTAR.
- CUT A SADDLE LONG ENOUGH ON THE BELL-END SIDE SO THAT WHEN INSERTED INTO THE CORED HOLE, IT WILL BE FLUSH WITH THE INSIDE FACE OF THE SEWER WALL OR WITH NOT MORE THAN 1-INCH PROTRUSION INTO THE SEWER PIPE AND ALSO THE BELL END WILL REST ON THE SEWER PIPE.
- FILL THE ANNULAR SPACE BETWEEN THE SADDLE AND THE SEWER PIPE WITH APPROVED CAULK OR NON-SHRINK MORTAR.
- SECURE THE SADDLE.
- CONNECT THE FIRST PIECE OF THE LATERAL PIPE TO THE SADDLE.
- FORM THE OUTSIDE OF THE CONNECTION JOINT SO THAT A 12-INCH THICK CONCRETE COLLAR COULD BE PLACED AROUND THE CONNECTION JOINT.
- PLACE A MINIMUM OF 3,000 PSI CONCRETE COLLAR EXTENDING 12 INCH AROUND THE JOINT.
- ALLOW AT LEAST 24 HOURS FOR THE CONCRETE TO HARDEN BEFORE BACKFILLING.
- ANY OTHER PIPELINE EXPOSED AND UNDERMINED DURING THIS OPERATION MUST BE SUPPORTED IMMEDIATELY AND BACKFILLED WITH CONTROLLED LOW STRENGTH MATERIAL (CLSM) AFTER THE COMPLETION OF THE CONNECTION.

**SEWER LATERAL CONNECTION DETAIL TO BRICK SEWER**  
SCALE: N.T.S.

**PLASTIC TRENCH DRAIN**  
SCALE: N.T.S.

**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS  
**RICHARD S. BURRELL, JR.**  
REGISTERED PROFESSIONAL ENGINEER  
NO. 182818  
*Richard Starr Burrell, Jr., P.E.*  
RICHARD STARR BURRELL, JR., P.E.

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**M.E.P. ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS:**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 750 0727

**COST CONSULTANT:**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER:**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION**

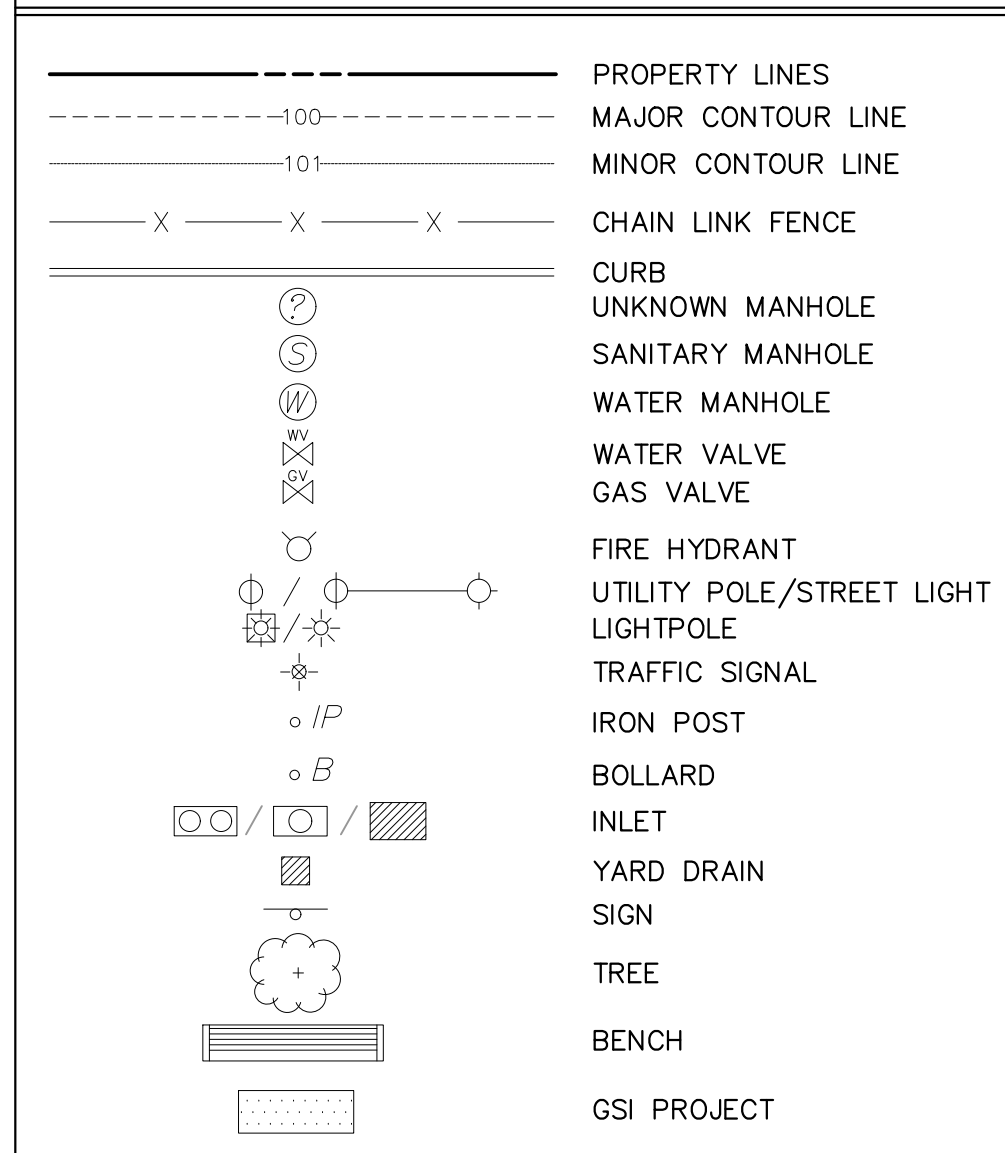
DRAWING TITLE  
**CONSTRUCTION DETAILS**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>C5.04</b>
DATE 3/15/2024	SCALE AS NOTED
DRAWN BY TN	CHECKED BY RB

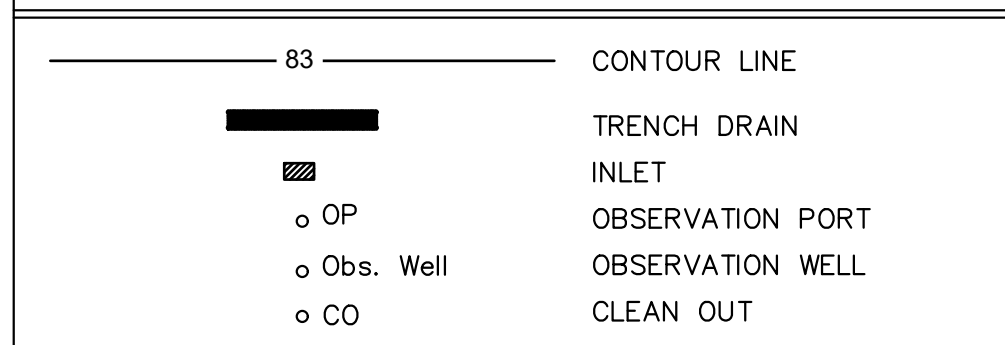
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



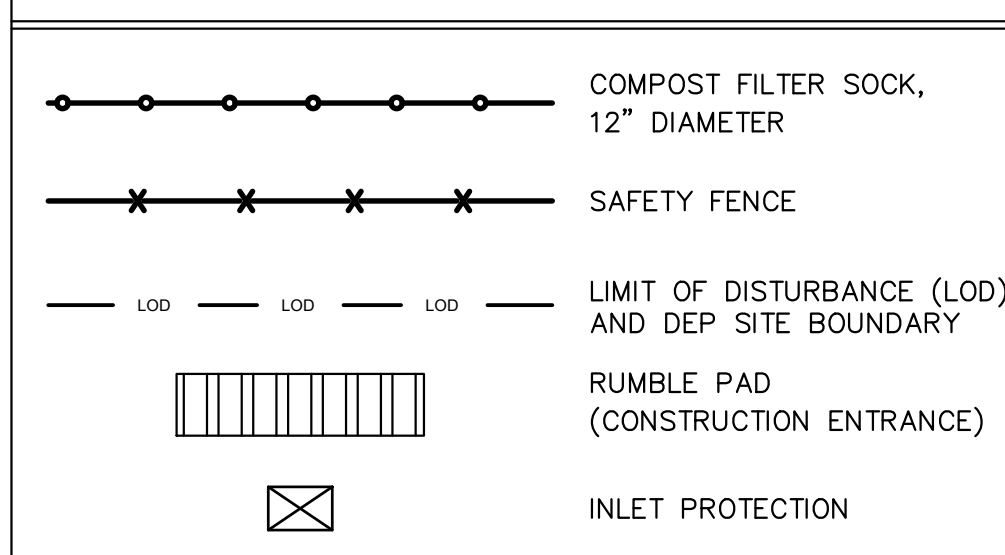
**EXISTING LEGEND**



**PROPOSED LEGEND**



**EROSION & SEDIMENT CONTROL LEGEND**



**EROSION AND SEDIMENT CONTROL (E&S) NOTES:**

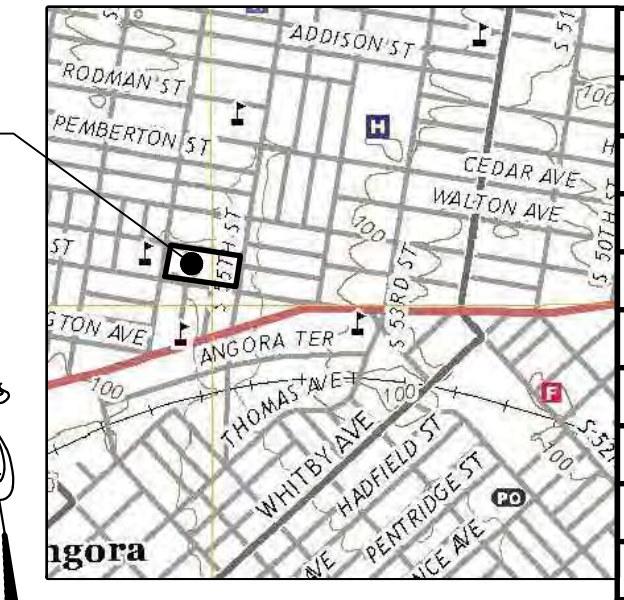
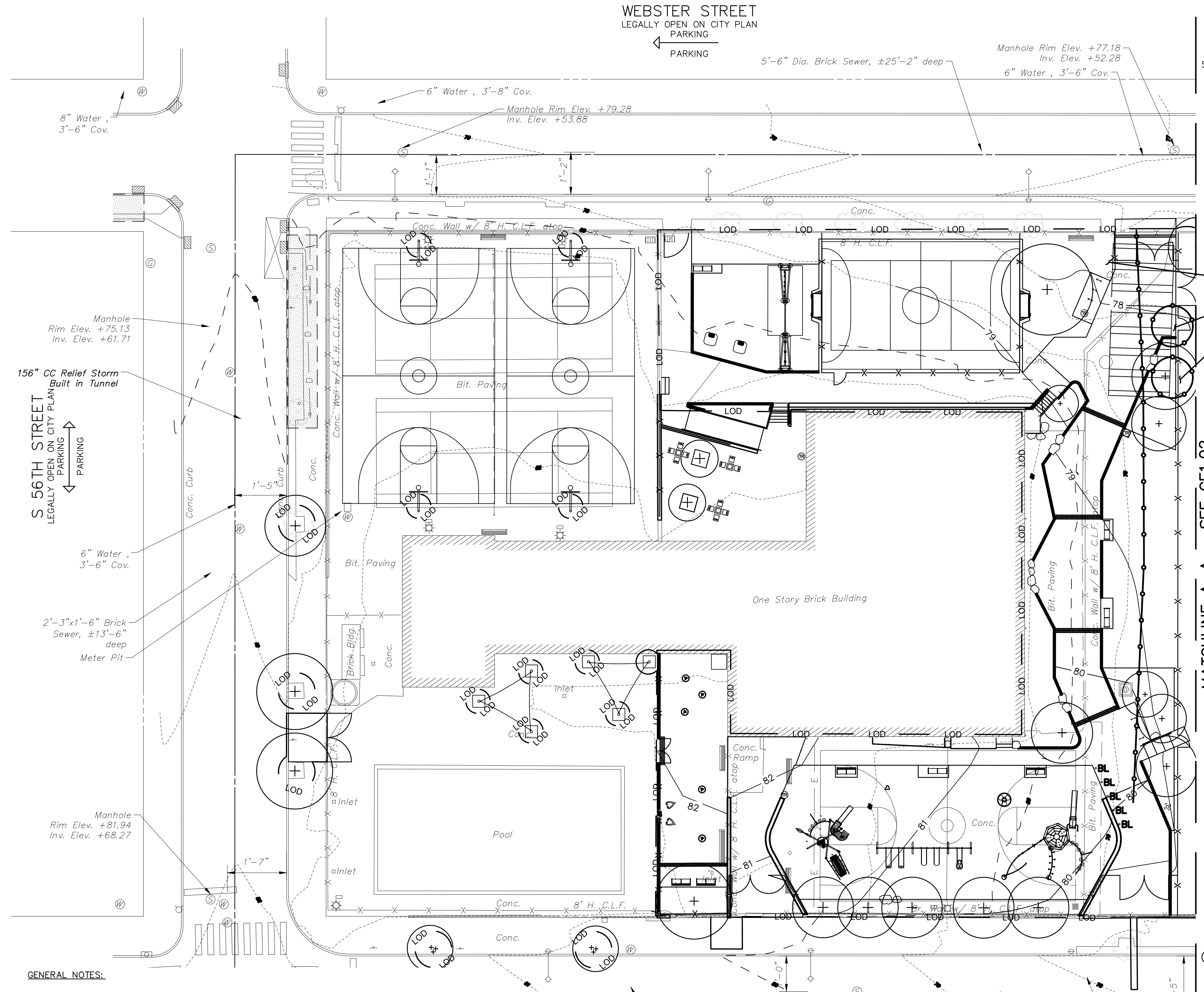
- EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT ALONG LIMIT OF DISTURBANCE LINE WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND SHALL SAFELY AND LEGALLY DISPOSE OF ALL THESE ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND REGULATORY AUTHORITY HAVING JURISDICTION. RECYCLING MUST BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS. BURNING OF ANY DEMOLISHED MATERIALS ON-SITE SHALL NOT BE PERMITTED. RECYCLING OF DEMOLITION DEBRIS SHALL BE APPROVED BY THE OWNER. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
- COMPOST FILTER SOCK ON PAVING TO BE WEIGHTED DOWN BY OBJECTS OF CONSIDERABLE MASS (SAND BAGS, CONCRETE BLOCK OR OTHER SUITABLE MATERIAL). COMPOST FILTER SOCK TO BE INSTALLED DOWNSTREAM OF ALL EARTH MOVING ACTIVITIES.
- RUMBLE PAD CONSTRUCTION ENTRANCE TO BE SIZED IN ACCORDANCE WITH PA DEP MINIMUM REQUIREMENTS OF 50' L X 20' W AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- CONSTRUCTION, DEMOLITION AND EARTHWORK DUST CONTROL TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DUST CONTROL REQUIREMENTS (AIR MANAGEMENT REGULATION (AMR) II, SECTION IX.) AND TO INCLUDE BUT NOT LIMITED TO:
  - NOTIFY OCCUPANTS OF NEARBY PROPERTIES, IN WRITING 10 DAYS BEFORE ENGAGING IN EARTHWORK, CONSTRUCTION AND DEMOLITION ACTIVITIES.
  - USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING OR CUTTING.
  - APPLICATION OF WATER OR APPROVED DUST CONTROL SUPPRESSANT DURING EXCAVATION, DEMOLITION AND/OR CONSTRUCTION TO SUPPRESS DUST FORMATION.
  - COVERING AND WETTING OF STOCKPILES EARTH, SAND, GRAVEL AND OTHER SIMILAR CONSTRUCTION MATERIALS.
  - ALL PERIMETER FENCING MUST HAVE DUST CONTROL FABRIC AND MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF FENCING.
  - 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
  - WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.
- PERMANENT INLET PROTECTION TO BE INSTALLED ON ALL INLETS THAT DRAIN TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE NO DISTURBANCE OCCURS OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN. SHOULD EXCESS DISTURBANCE BE FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY ADDITIONAL PERMITTING AND FEES THAT ARE REQUIRED. COSTS DUE TO ANY DELAYS BROUGHT ON BY EXCESS DISTURBANCE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL INLETS WITHIN ONE BLOCK OF PROJECT SITE SHALL HAVE INLET PROTECTION

**GENERAL NOTES:**

- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
- SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
- IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
- UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
- INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
- PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
- THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ZONING DISTRICT (SP-PO-A).
- PWD TRACKING NUMBER FOR THIS PROJECT IS FY23-REHA-7188-01.

**MAINTENANCE NOTES:**

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
  - COMPOST FILTER SOCKS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE-HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
  - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
  - BMPs ARE TO BE INSPECTED ON A WEEKLY BASIS AND AFTER STORMWATER EVENTS. INSPECTIONS ARE TO BE LOGGED, DATED AND KEPT ON-SITE AT ALL TIMES.



REVISIONS		
ISSUE	DATE	REVISIONS
01	12/15/23	PER PWD REVIEW COMMENTS
02	2/16/24	PER PWD REVIEW COMMENTS
03	3/21/24	PER PWD REVIEW COMMENTS

1"=1000'  
DARBY AND COBBS CREEK WATERSHED  
COMBINED SEWER SERVICE AREA  
FLOOD MANAGEMENT DISTRICT B-2  
RUMBLE PAD  
(PROPOSED CONSTRUCTION ENTRANCE)  
TEMPORARY STOCKPILE  
TEMPORARY WASHOUT STATION



**DESIGN DEVELOPMENT**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS  
  
RICHARD STARR BURRELL, JR., P.E.

**SITE LOCATION:**

CHRISTY RECREATION CENTER  
RENOVATION  
728 S 55TH STREET  
PHILADELPHIA, PA 19143

**PROPERTY OWNER:**

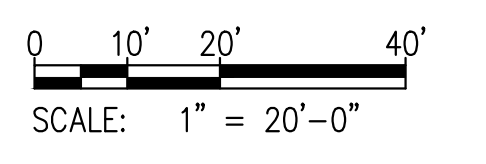
CITY OF PHILADELPHIA  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PA 19102

**OPA NUMBER:**

783752400

**AREA:**

GROSS AREA = 115,927 S.F.  
IMPERVIOUS AREA = 53,928 S.F.



CHRISTIAN STREET  
LEGALLY OPEN ON CITY PLAN  
PARKING  
PROTECT YOURSELF



WHAT YOU DON'T KNOW CAN HURT YOU.  
CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE  
Pennsylvania One Call System, Inc.  
1-800-242-1776

ACT 187	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION.	
PENNSYLVANIA ONE CALL: 1-800-242-1776	
PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270	VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947
PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796	COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935
PECO-CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264	

CITY OF PHILADELPHIA PHILADELPHIA PARKS & RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA	
PROJECT TITLE <b>CHRISTY RECREATION CENTER RENOVATION</b>	
DRAWING TITLE <b>EROSION AND SEDIMENT CONTROL PLAN</b>	
PROJECT NO. 2020-2443-01	DRAWING NO. <b>CE1.01</b>
DATE 9/22/2023	SCALE AS NOTED
DRAWN BY TN	CHECKED BY RB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

EXISTING LEGEND	
	PROPERTY LINES
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	CHAIN LINK FENCE
	CURB
	UNKNOWN MANHOLE
	SANITARY MANHOLE
	WATER MANHOLE
	WATER VALVE
	GAS VALVE
	FIRE HYDRANT
	UTILITY POLE/STREET LIGHT
	LIGHTPOLE
	TRAFFIC SIGNAL
	IRON POST
	BOLLARD
	INLET
	YARD DRAIN
	SIGN
	TREE
	BENCH
	GSI PROJECT

PROPOSED LEGEND	
	CONTOUR LINE
	TRENCH DRAIN
	INLET
	OBSERVATION PORT
	OBSERVATION WELL
	CLEAN OUT

	TREE TO BE REMOVED
--	--------------------

EROSION & SEDIMENT CONTROL LEGEND	
	COMPOST FILTER SOCK, 12" DIAMETER
	SAFETY FENCE
	LIMIT OF DISTURBANCE (LOD) AND DEP SITE BOUNDARY
	RUMBLE PAD (CONSTRUCTION ENTRANCE)
	INLET PROTECTION

**EROSION AND SEDIMENT CONTROL (E&S) NOTES:**

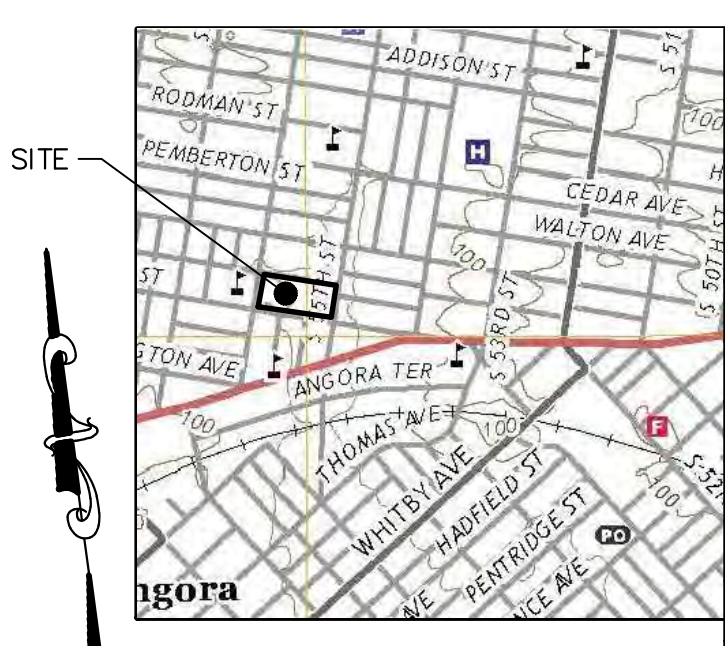
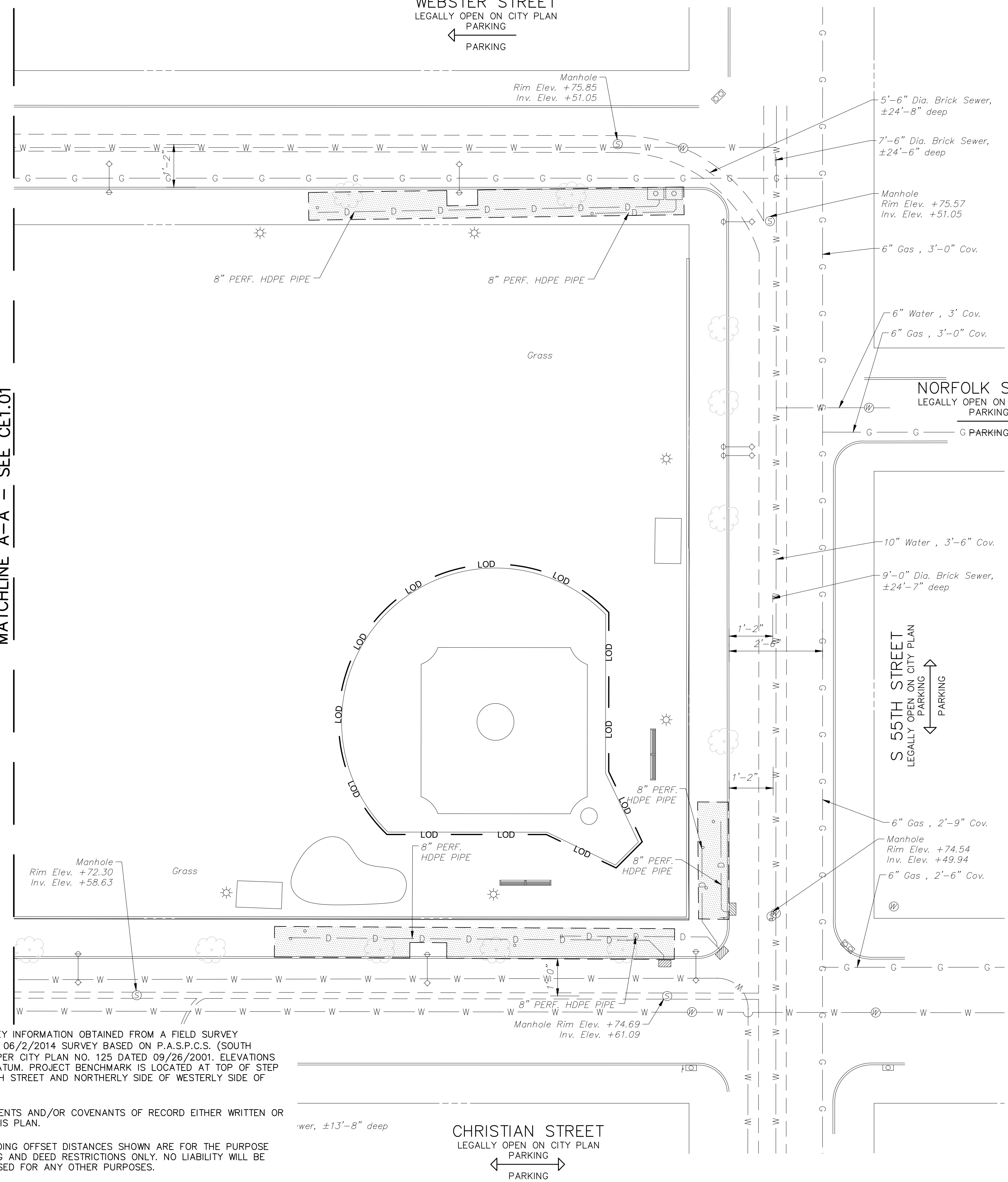
- EXISTING CONCRETE AND BITUMINOUS PAVING TO BE SAW-CUT ALONG LIMIT OF DISTURBANCE LINE WITH A CLEAN CUT LINE TO A SUFFICIENT DEPTH TO ALLOW THE REMOVAL OF PAVING WITHOUT DISTURBING THE EXISTING PAVING THAT IS TO REMAIN
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION AND SHALL SAFELY AND LEGALLY DISPOSE OF ALL THESE ITEMS IN ACCORDANCE WITH APPLICABLE LOCAL, FEDERAL, STATE AND REGULATORY AUTHORITY HAVING JURISDICTION. RECYCLING MUST BE DONE IN ACCORDANCE WITH APPLICABLE REGULATIONS. BURNING OF ANY DEMOLISHED MATERIALS ON-SITE SHALL NOT BE PERMITTED. RECYCLING OF DEMOLITION DEBRIS SHALL BE APPROVED BY THE OWNER. ALL EXISTING FILL TO BE REMOVED FROM SITE IN ACCORDANCE WITH THE PA DEP MANAGEMENT OF FILL POLICY AND REGULATIONS.
- COMPOST FILTER SOCK ON PAVING TO BE WEIGHTED DOWN BY OBJECTS OF CONSIDERABLE MASS (SAND BAGS, CONCRETE BLOCK OR OTHER SUITABLE MATERIAL). COMPOST FILTER SOCK TO BE INSTALLED DOWNSTREAM OF ALL EARTH MOVING ACTIVITIES.
- RUMBLE PAD CONSTRUCTION ENTRANCE TO BE SIZED IN ACCORDANCE WITH PA DEP MINIMUM REQUIREMENTS OF 50' X 20' AND BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- CONSTRUCTION, DEMOLITION AND EARTHWORK DUST CONTROL TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF PHILADELPHIA DUST CONTROL REQUIREMENTS (AIR MANAGEMENT REGULATION (AMR) II, SECTION IX.) AND TO INCLUDE BUT NOT LIMITED TO:
  - NOTIFY OCCUPANTS OF NEARBY PROPERTIES, IN WRITING 10 DAYS BEFORE ENGAGING IN EARTHWORK, CONSTRUCTION AND DEMOLITION ACTIVITIES.
  - USE OF VACUUM OR SIMILAR SUCTION SYSTEMS TO CAPTURE DUST KICKED UP BY POWER TOOLS WHEN GRINDING OR CUTTING.
  - APPLICATION OF WATER OR APPROVED DUST CONTROL SUPPRESSANT DURING EXCAVATION, DEMOLITION AND/OR CONSTRUCTION TO SUPPRESS DUST FORMATION.
  - COVERING AND WETTING OF STOCKPILES EARTH, SAND, GRAVEL AND OTHER SIMILAR CONSTRUCTION MATERIALS.
  - ALL PERIMETER FENCING MUST HAVE DUST CONTROL FABRIC AND MUST MEASURE A MINIMUM OF 5 FT IN HEIGHT FROM THE BOTTOM OF FENCING.
  - 10 MILE PER HOUR SPEED LIMIT FOR ALL EQUIPMENT AND TRUCKS TRAVELING WITHIN THE WORK SITE.
  - WETTING AND SWEEPING OF ROADWAYS / ACCESS ROAD IN A WORK SITE TO PREVENT DUST FORMATION.
- PERMANENT INLET PROTECTION TO BE INSTALLED ON ALL INLETS THAT DRAIN TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE NO DISTURBANCE OCCURS OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN. SHOULD EXCESS DISTURBANCE BE FOUND, THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY ADDITIONAL PERMITTING AND FEES THAT ARE REQUIRED. COSTS DUE TO ANY DELAYS BROUGHT ON BY EXCESS DISTURBANCE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**GENERAL NOTES:**

- PROPERTY DIMENSIONS ARE PER SURVEY INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY NAVE NEWELL, INC. ON 06/2/2014 SURVEY BASED ON P.A.S.P.C.S. (SOUTH ZONE) NAD83. BEARINGS SHOWN ARE PER CITY PLAN NO. 125 DATED 09/26/2001. ELEVATIONS ARE REFERENCED TO CITY VERTICAL DATUM. PROJECT BENCHMARK IS LOCATED AT TOP OF STEP ON THE EASTERLY SIDE OF NORTH 12TH STREET AND NORTHERLY SIDE OF WESTERLY SIDE OF WEST YORK STREET, ELEVATION 81.01.
- SUBJECT TO ALL RESTRICTIONS, EASEMENTS AND/OR COVENANTS OF RECORD EITHER WRITTEN OR IMPLIED THAT MAY NOT APPEAR OF THIS PLAN.
- IF BUILDINGS ARE ON THIS PLAN, BUILDING OFFSET DISTANCES SHOWN ARE FOR THE PURPOSE OF CHECKING COMPLIANCE WITH ZONING AND DEED RESTRICTIONS ONLY. NO LIABILITY WILL BE ACCEPTED IF THESE DISTANCES ARE USED FOR ANY OTHER PURPOSES.
- UNDERGROUND UTILITIES AS SHOWN TAKEN FROM FIELD EVIDENCE, PLANS BY OTHERS, AND PLANS AS PROVIDED BY THE VARIOUS UTILITY AUTHORITIES (PA ONE CALL SERIAL NO. 20213332187). THE ACCURACY REGARDING UTILITY LOCATION AND/OR DEPTH CANNOT BE GUARANTEED AND ADDITIONAL UNDERGROUND UTILITIES NOT DEPICTED ON THIS PLAN MAY EXIST. BEFORE EXCAVATIONS ARE BEGUN, THE PENNSYLVANIA ONE CALL SYSTEM AT 1-800-242-1776 SHALL BE CONTACTED AT LEAST 3-10 DAYS PRIOR TO COMMENCEMENT OF ANY DEMOLITION OR EXCAVATION ACTIVITIES IN ACCORDANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS.
- INFORMATION PERTAINING TO LOTS OTHER THAN THE SUBJECT PARCEL IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- THE FLOOD PANEL FOR THIS PROPERTY HAS NOT BEEN PRINTED AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 4207570182H DATED 11/18/2015 FOR THE CITY OF PHILADELPHIA.
- PROJECT SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE AND THERE ARE NO WETLANDS ON SITE. THERE ARE NO WATER COURSES OR BODIES OF WATER LOCATED WITHIN 100 FEET OF THE PROPERTY.
- THIS SITE IS LOCATED WITHIN THE SPECIAL PURPOSE PARKS AND OPEN SPACE ACTIVE ZONING DISTRICT (SP-PO-A).
- PWD TRACKING NUMBER FOR THIS PROJECT IS FY22-FOTT-6877-01.

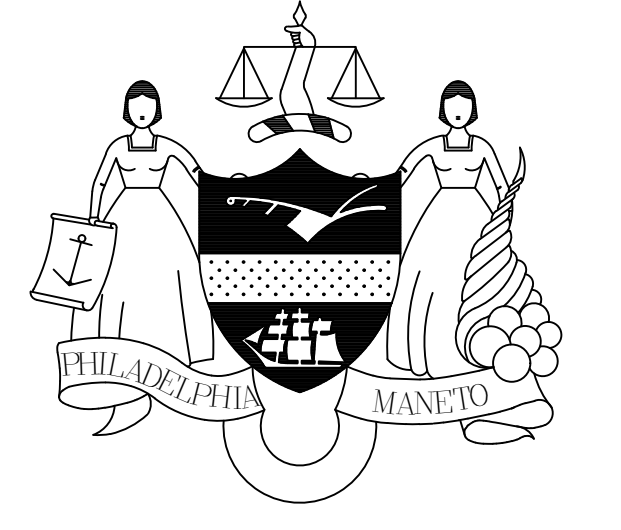
**MAINTENANCE NOTES:**

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
  - COMPOST FILTER SOCKS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES ONE-HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
  - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCE AS CONDITIONS DEMAND.
  - BMPs ARE TO BE INSPECTED ON A WEEKLY BASIS AND AFTER STORMWATER EVENTS. INSPECTIONS ARE TO BE LOGGED, DATED AND KEPT ON-SITE AT ALL TIMES.



VICINITY MAP  
1"=1000'  
DARBY AND COBBS CREEK WATERSHED  
COMBINED SEWER SERVICE AREA  
FLOOD MANAGEMENT DISTRICT B-2

REVISIONS		
ISSUE	DATE	REVISIONS
01	12/15/23	PER PWD REVIEW COMMENTS
02	2/16/24	PER PWD REVIEW COMMENTS
03	3/21/24	PER PWD REVIEW COMMENTS



**DESIGN DEVELOPMENT**

PROJECT COORDINATOR	<b>PRIYANKA MALIK</b>
SEALS	
<p><b>SITE LOCATION:</b> CHRISTY RECREATION CENTER RENOVATION 728 S 55TH STREET PHILADELPHIA, PA 19143</p> <p><b>PROPERTY OWNER:</b> CITY OF PHILADELPHIA 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PA 19102</p>	
OPA NUMBER:	783752400
AREA:	GROSS AREA = 115,927 S.F. IMPERVIOUS AREA = 53,928 S.F.

SPACE FOR CONSULTANT RECOGNITION	<p><b>SMP ARCHITECTS</b> 1800 Walnut Street, 2nd Floor Philadelphia, Pennsylvania 19103 215 985 4410</p> <p><b>CIVIL ENGINEER</b> KS Engineers, P.C. 500 Walnut St, Suite 400 Philadelphia, PA 19106 215 925 0425</p> <p><b>LANDSCAPE ARCHITECTS</b> Ground Reconsidered 210 South Broad St Philadelphia, Pennsylvania 19102 215 700 0727</p> <p><b>MEP</b> Arora Engineers 1600 Market St, Suite 1830 Philadelphia, Pennsylvania 19103 215 372 1365</p> <p><b>COAST CONSULTANT</b> Diaron Consulting 107 Magnolia Drive Chester Springs, Pennsylvania 19425 610 564 6900</p>
SCALE:	1" = 20'-0"



CALL BEFORE YOU DIG!  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE & 10 WORKING DAYS IN DESIGN STAGE  
Pennsylvania One Call System, Inc.  
1-800-242-1776

<p>ACT 187 IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PENNSYLVANIA ACT 187 AND TO CONTACT THE "ONE CALL SYSTEM" THREE (3) WORKING DAYS (UNLESS OTHERWISE NOTED) PRIOR TO START OF CONSTRUCTION. PENNSYLVANIA ONE CALL: 1-800-242-1776</p>	
<p>PHILADELPHIA WATER DEPARTMENT 1101 MARKET STREET, 2ND FLOOR PHILADELPHIA, PENNSYLVANIA (215) 685-6270</p>	<p>VERIZON 900 RACE STREET PHILADELPHIA, PENNSYLVANIA 19107 (215) 351-8947</p>
<p>PHILADELPHIA GAS WORKS 800 W. MONTGOMERY AVENUE, 3RD FLOOR PHILADELPHIA, PENNSYLVANIA 19122 (215) 684-6796</p>	<p>COMCAST 1351 S. COLUMBUS BOULEVARD PHILADELPHIA, PENNSYLVANIA 19147 (215) 952-4935</p>
<p>PECO CONSTRUCTION DEPARTMENT 2301 MARKET STREET PHILADELPHIA, PENNSYLVANIA 19103 (215) 731-3264</p>	<p>DATE: 9/22/2023</p> <p>SCALE: AS NOTED</p> <p>DRAWN BY: TN</p> <p>CHECKED BY: RB</p>

PWD TRACKING NO.: FY23-REHA-7188-01

<p>CITY OF PHILADELPHIA PHILADELPHIA PARKS &amp; RECREATION 1515 ARCH STREET 11TH FLOOR, ONE PARKWAY BUILDING PHILADELPHIA PENNSYLVANIA</p>	
<p>PROJECT TITLE <b>CHRISTY RECREATION CENTER RENOVATION</b></p>	
<p>DRAWING TITLE <b>EROSION AND SEDIMENT CONTROL PLAN</b></p>	
PROJECT NO.	DRAWING NO.
2020-2443-01	<b>CE1.02</b>
DATE	SCALE
9/22/2023	AS NOTED
DRAWN BY	CHECKED BY
TN	RB
<p>NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK</p>	

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

RICHARD STARR BURRELL, JR., P.E.

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
STRUCTURAL ENGINEERING  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION

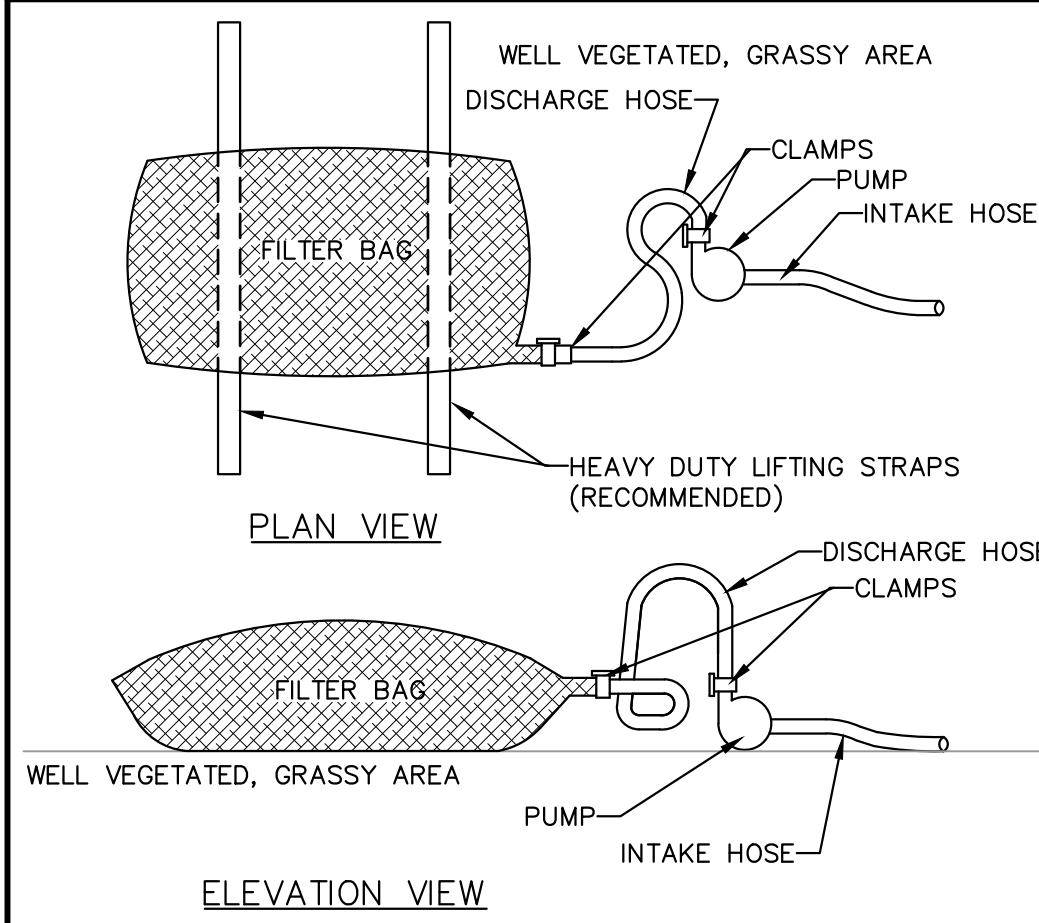
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION**

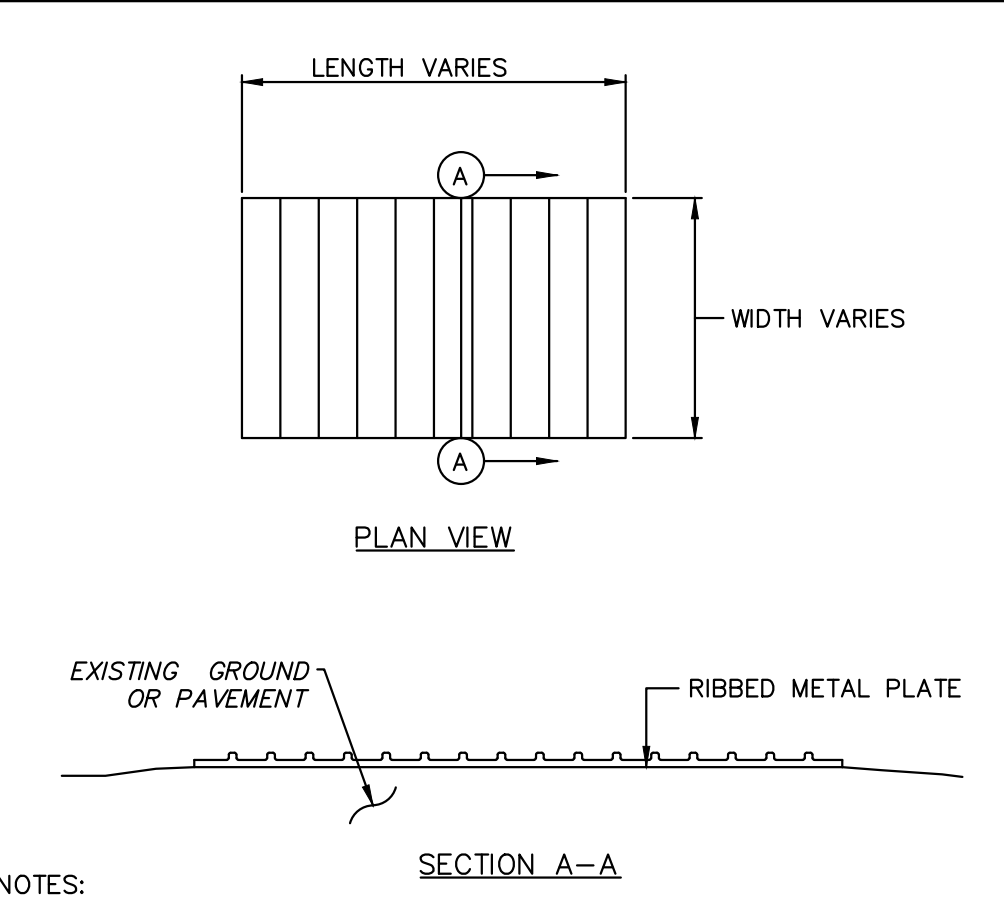
DRAWING TITLE  
**EROSION AND SEDIMENT  
CONTROL DETAILS**

PROJECT NO.	73217	DRAWING NO.	<b>CE5.01</b>	
DATE	3/15/2024	SCALE		AS NOTED
DRAWN BY	TN	CHECKED BY		RB
PROJECT TITLE	CHRISTY RECREATION CENTER RENOVATION			
DRAWING TITLE	EROSION AND SEDIMENT CONTROL DETAILS			

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

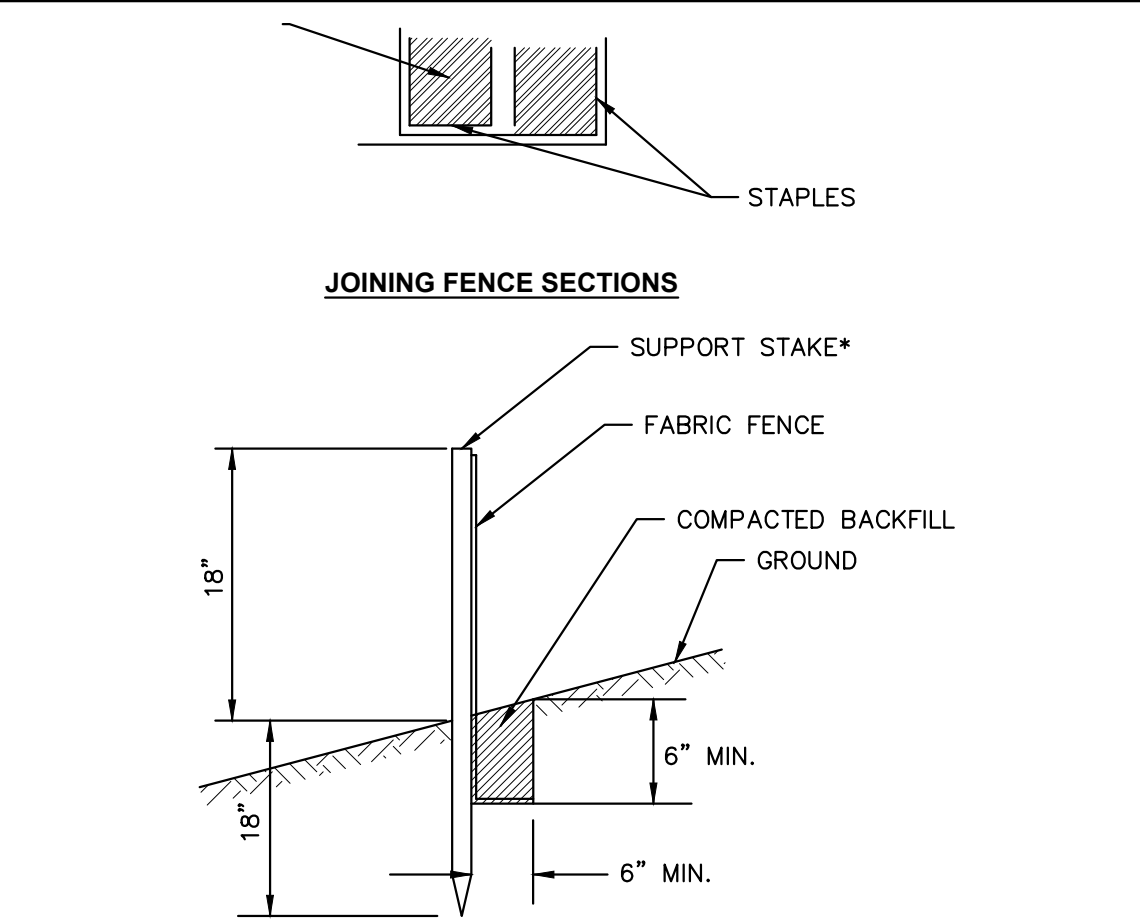


PUMPED WATER FILTER BAG



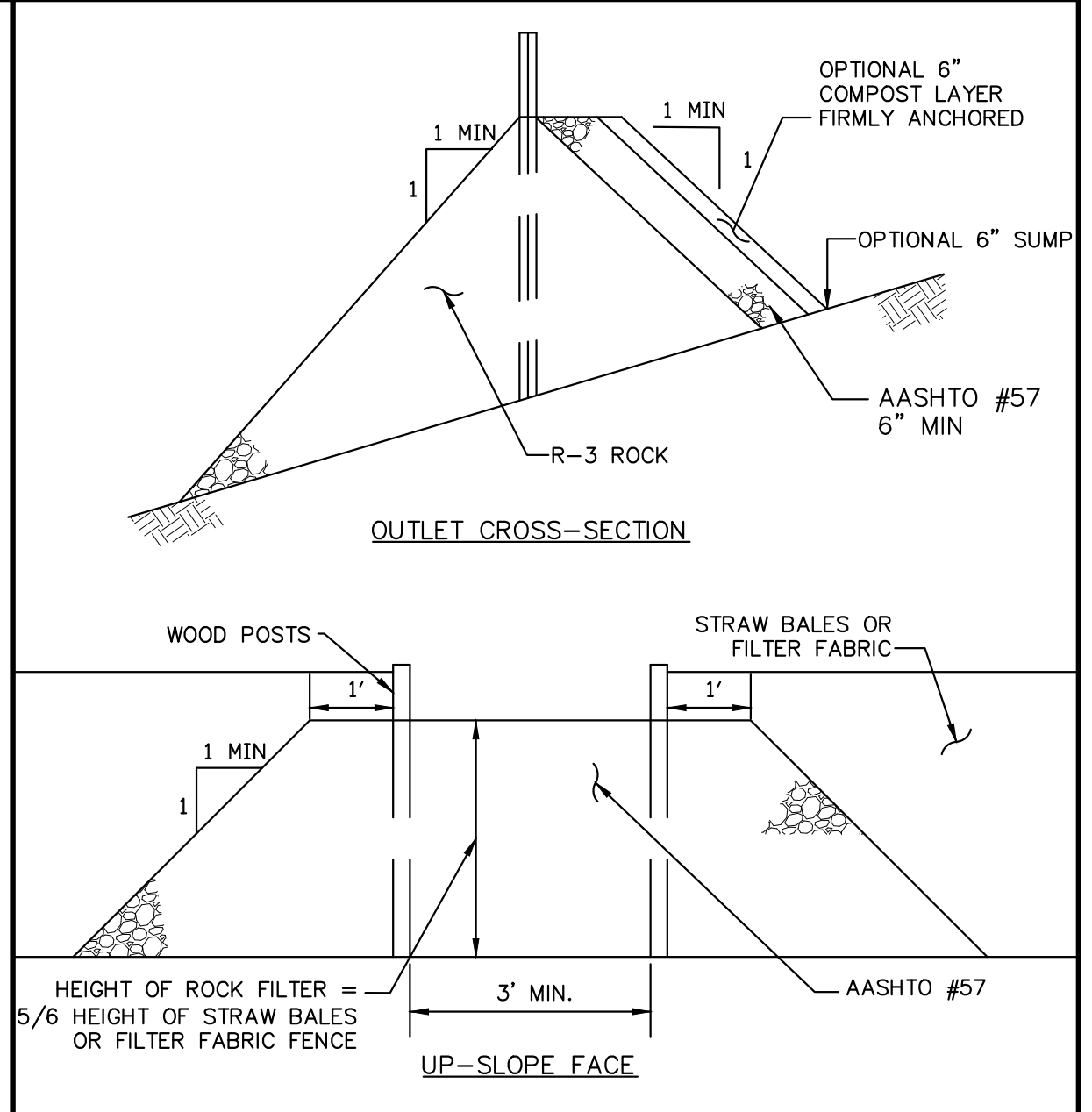
NOTES:  
1. PRE-CONSTRUCTED RUMBLE PADS ARE TO BE USED IN LIEU OF ROCK CONSTRUCTION ENTRANCE. RUMBLE PAD SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND A SUFFICIENT NUMBER OF PADS SHALL BE INSTALLED TO PROVIDE FOR A MINIMUM OF FOUR (4) TIRE REVOLUTIONS WHILE ON THE PAD. MORE PADS MAY BE NEEDED DEPENDING ON SITE CONDITIONS. ACCUMULATED MATERIALS SHOULD BE CLEANED FROM THE PADS DAILY (MORE OFTEN IF NECESSARY) AND DISPOSED IN THE MANNER SPECIFIED BY THE PLAN.  
2. MINIMUM SIZE 50'L X 20'W

RUMBLE PAD  
(CONSTRUCTION ENTRANCE)



\* Stakes spaced @ 8' maximum. Use 2" x 2" wood or equivalent steel stakes.  
Filter Fabric Fence must be placed at level existing grade. Both ends of the barrier must be extended at least 8 feet up slope at 45 degrees to the main barrier alignment.  
Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.  
Any section of Filter Fabric Fence which has been undermined or topped must be immediately replaced with a Rock Filter Outlet. See Standard Construction Detail #18.

FILTER FABRIC FENCE (IF REQUIRED)



Notes:  
1. A rock filter outlet shall be installed where failure of a silt fence or straw barrier has occurred due to concentrated flow. Anchored compost layer shall be used on upslope face in HQ and EV watersheds.  
2. Sediment must be removed when accumulations reach 1/3 the height of the outlet.

ROCK FILTER OUTLET (IF REQUIRED)

TABLE 4.1  
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFP)	Heavy Duty Multi-Filament Polypropylene (HDMFP)
Material Characteristic	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

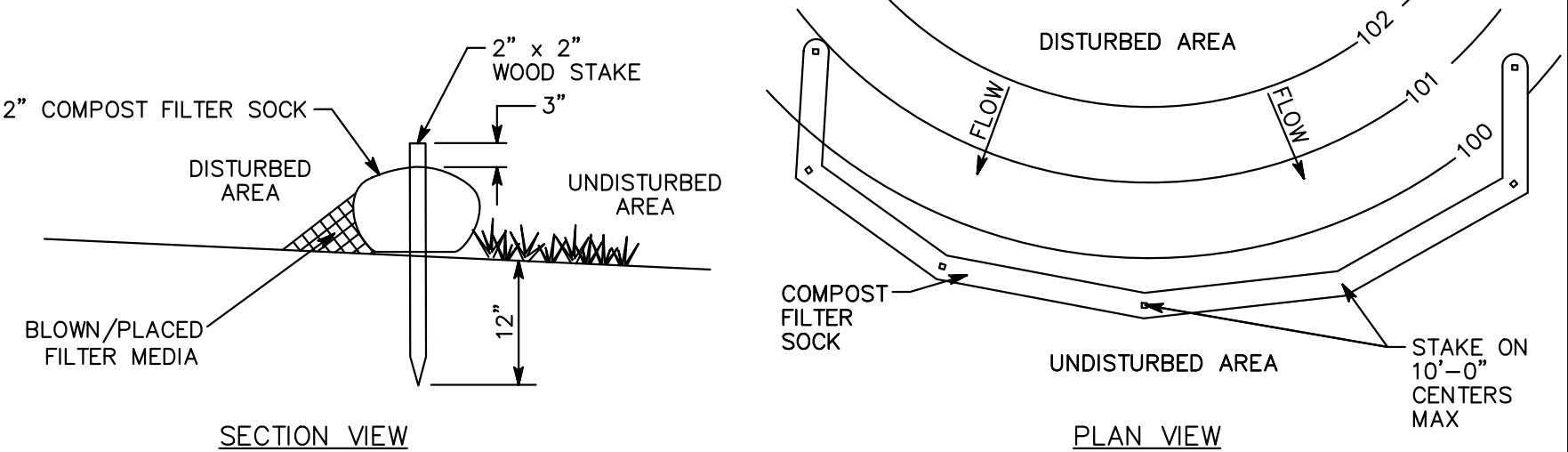
Two-ply systems

System	Material	Thickness	Aperture Size
Inner Containment Netting	HDPE biaxial net	Continuously wound	
	Fusion-welded junctures		3/4" X 3/4" Max. aperture size
Outer Filtration Mesh	Composite Polypropylene Fabric	Woven layer and non-woven fleece mechanically fused via needle punch	
			3/8" Max. aperture size

Sock fabrics composed of Burlap may be used on projects lasting 6 months or less.

TABLE 4.2  
Compost Standards

Organic Matter Content	80% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5 - 8.0
Moisture Content	35% - 55%
Particle Size	98% pass through 1" screen
Soluble Salt Concentration	5.0 dSM (mmhos/cm) Maximum



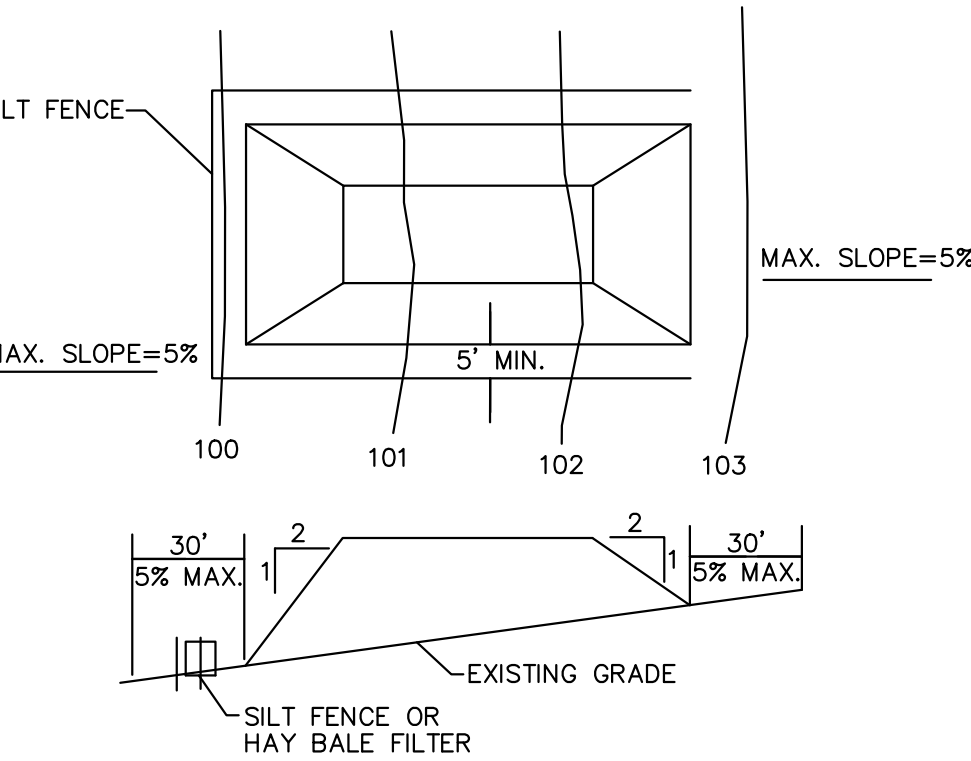
- REMOVE DEPOSITS WHEN SEDIMENT ACCUMULATION IS ONE HALF THE HEIGHT OF THE EXPOSED COMPOST FILTER SOCK.
- PLACE COMPOST FILTER SOCK ON LEVEL GRADE. EXTEND BOTH ENDS OF THE COMPOST FILTER SOCK AT LEAST 8'-0" UPSLOPE AT 45 DEGREES TO THE MAIN ALIGNMENT.
- REPLACE BIODEGRADABLE FILTER SOCK AFTER 6 MONTHS; PHOTODEGRADABLE AFTER 12 MONTHS.
- ALL DIMENSIONS ARE IN U.S. CUSTOMARY UNITS.
- CONTRACTOR SHALL PROVIDE SAND BAGS, CONCRETE BLOCKS, OR OTHER SUITABLE MATERIAL TO STABILIZE COMPOST FILTER SOCK ON PAVED AREAS AND PREVENT IT FROM MOVING OR SHIFTING.
- STABILIZING DEVICES SHALL BE SPACED 10 FEET ON CENTER OR AS RECOMMENDED BY THE MANUFACTURER, WHICHEVER IS LESS.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.

COMPOST FILTER SOCK, 12" DIAMETER

TABLE 11.1  
Cubic Yards of Topsoil Required for Application to Various Depths

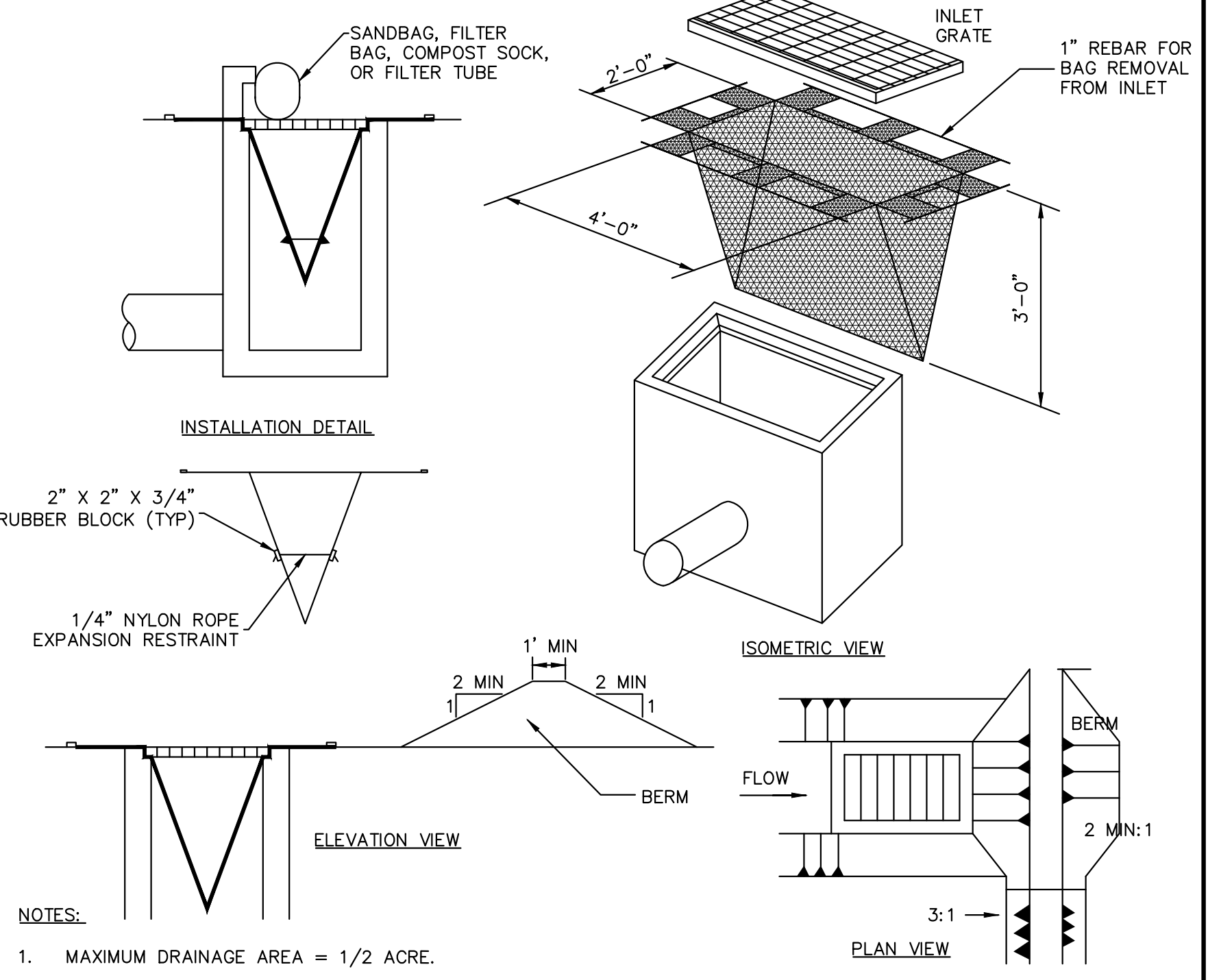
Depth (in)	Per 1,000 Square Feet	Per Acre
1	3.1	134
2	6.2	268
3	9.3	403
4	12.4	537
5	15.5	672
6	18.6	806
7	21.7	940
8	24.8	1,074

Adapted from VA DSWC



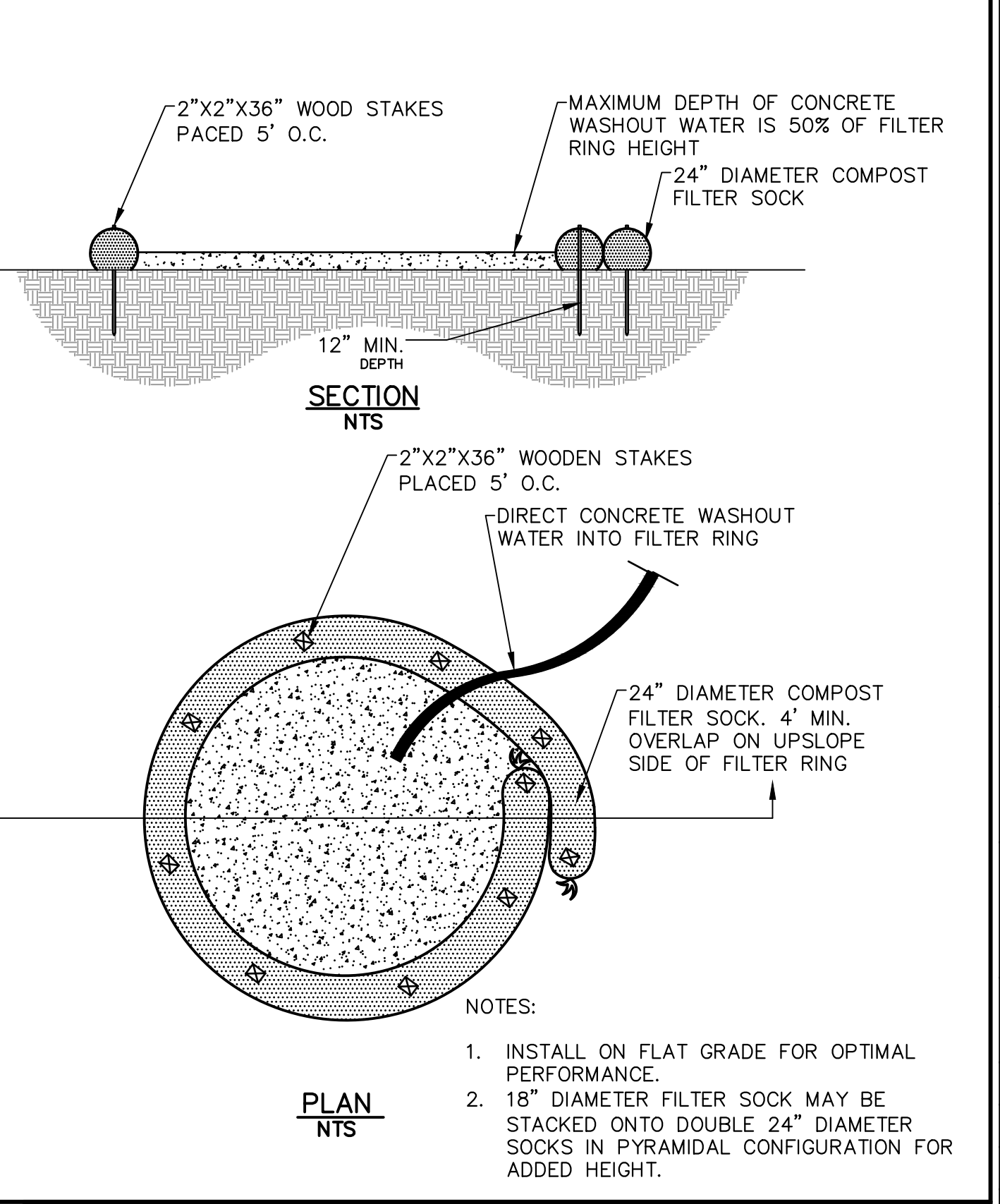
- NOTES:
- PLACE STOCKPILES AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
  - ALL SIDE SLOPES SHALL BE 2 TO 1 OR FLATTER.
  - STOCKPILE SHALL RECEIVE A VEGETATIVE COVER IN ACCORDANCE WITH MINIMUM STABILIZATION REQUIRED.
  - SILT FENCE SHALL BE INSTALLED AS DETAILED HEREON.
  - STOCKPILE NOT TO EXCEED 20 FEET IN HEIGHT.

TEMPORARY STOCKPILE



- NOTES:
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
  - INLET PROTECTION IS NOT REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS REQUIRED FOR ALL INSTALLATIONS.
  - EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.
  - DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS

FILTER BAG INLET PROTECTION



- NOTES:
- INSTALL ON FLAT GRADE FOR OPTIMAL PERFORMANCE.
  - 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

COMPOST SOCK WASHOUT STATION





**DEMOLITION NOTES**

- REMOVE ALL PAVEMENT, BASE MATERIALS AND/OR CONSTRUCTION DEBRIS AND EXCAVATE REMAINING SOIL/FILL TO A MINIMUM OF 24" BELOW EXISTING GRADE IN ALL AREAS WHERE EXISTING PAVEMENTS ARE TO BE REMOVED AND REPLACED WITH LAWN AND/OR PLANTING.
- REMOVE ROOTS OF TREES AND SHRUBS TO 24" BELOW GRADE MINIMALLY.
- NOTIFY OWNER AND RECEIVE APPROVAL PRIOR TO REMOVAL OF SIGNS.

**TREE PROTECTION NOTES**

- CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS OF EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH DIGITAL PHOTOS AND/OR VIDEO, WHICH ESTABLISHES PRECONSTRUCTION CONDITIONS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. INCLUDE PLANS AND NOTATIONS TO INDICATE SPECIFIC WOUNDS AND DAMAGE CONDITIONS OF EACH TREE OR OTHER PLANTS DESIGNATED TO REMAIN.
- LOCATE AND CLEARLY IDENTIFY TREES, SHRUBS AND OTHER VEGETATION TO REMAIN. FLAG EACH TREE TO REMAIN AT A HEIGHT OF 6- FEET +/- WITH DISTINCTIVE, HIGHLY VISIBLE COLOR FLAGGING TAPE. SUPERVISING CONTRACTOR AND/OR SITE FOREMAN IS RESPONSIBLE TO INSTRUCT AND MONITOR ALL LABORERS AND WORKERS ABOUT THE TREE PROTECTION REQUIREMENTS.
- DEPARTMENT OF PARKS & RECREATION ARBORIST SHALL BE CONSULTED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY. CONTRACTORS MUST COORDINATE ALL CONSTRUCTION ACTIVITY AFFECTING EXISTING TREES AND PLANTINGS INDICATED TO REMAIN WITH THE ARBORIST. ALL CONTRACTORS SHALL COMPLY WITH THE PROTECTION REQUIREMENTS SET FORTH BY THE CERTIFIED ARBORIST.
- BRING ANY UNFORESEEN SITE CONDITIONS, SUCH AS STRUCTURAL ROOTS, THAT WILL IMPACT NEW CONSTRUCTION TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. DO NOT PROCEED WITH WORK WITHOUT WRITTEN AUTHORIZATION.

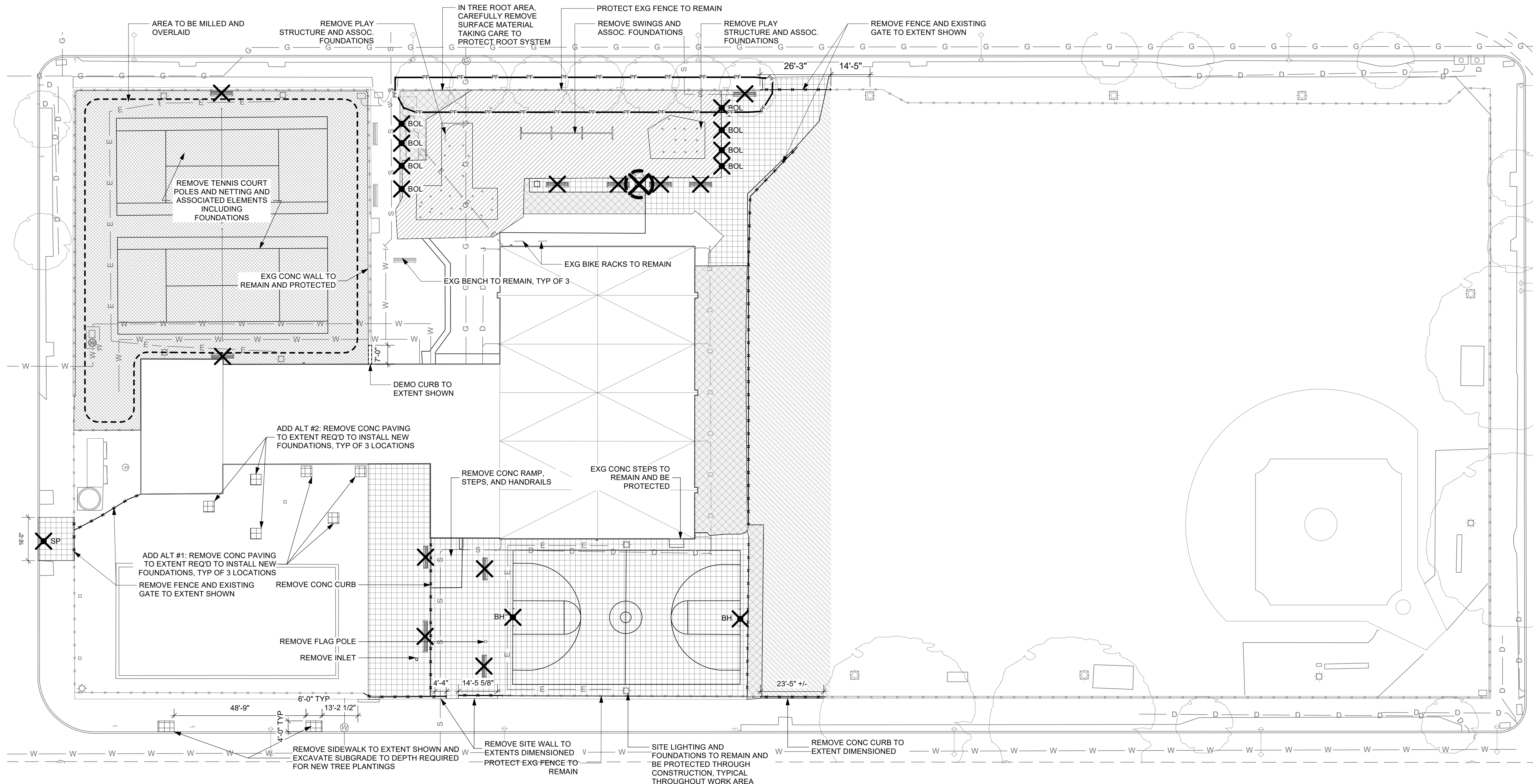
- PROTECTION FENCING MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH ANY DEMOLITION OR CONSTRUCTION WORK.
- INSTALL PROTECTION FENCING BEFORE INSTALLING EROSION AND SEDIMENTATION CONTROLS. SILT FENCE IS PROHIBITED WITHIN PROTECTION ZONE. TRENCHING IS PROHIBITED IN TREE PROTECTION ZONES. FLOWS OF WATER REDIRECTED FROM CONSTRUCTION AREAS OR GENERATED BY CONSTRUCTION ACTIVITY ARE PROHIBITED FROM ENTERING OR CROSS PROTECTION ZONES.
- WORK WITHIN PROTECTION FENCING, UNLESS NOTED HEREIN, MUST BE APPROVED BY AND SUPERVISED BY OWNER'S REPRESENTATIVE.
- WHEN WORKING WITHIN TREE PROTECTION ZONES, USE CARE TO AVOID DAMAGE TO TREE TRUNKS AND ROOTS SUCH AS, BUT NOT LIMITED TO, IMPACT WOUNDS CAUSED BY EQUIPMENT. CONSULT A CERTIFIED ARBORIST IS DAMAGED TO AN PROTECTED TREE OCCURS.
- LIMIT EXTENT OF EXCAVATION WITHIN PROTECTION ZONES TO THE GREATEST EXTENT FEASIBLE.
- WHERE EXCAVATION IS REQUIRED IN PROTECTION ZONES TO INSTALL UTILITIES, HAND EXCAVATE AND/OR AIR-SPADE AROUND TREE ROOTS OR TUNNEL UNDER ROOTS BY DRILLING, AUGER BORING, OR PIPE JACKING. DO NOT CUT MAIN LATERAL TREE ROOTS OR TAPROOTS. CUTTING OF SMALLER ROOTS BY A CERTIFIED ARBORIST THAT INTERFERE WITH INSTALLATION OF UTILITIES IS PERMITTED.
- TRENCHING OR EXCAVATION WITHIN THE DRIPLINE OF EXISTING TREES SHALL BE COMPLETED WITH EXTREME CARE AND UNDER THE SUPERVISION OF A CERTIFIED ARBORIST. USE HAND TOOLS ONLY. ARBORIST SHALL BE PRESENT DURING ALL WORK DONE WITHIN DRIPLINE OF EXISTING TREES. NOTIFY OWNER PRIOR TO COMMENCEMENT OF WORK WITHIN DRIPLINE OF TREES.
- WHERE EXISTING ROOTS OF TREES TO REMAIN ARE ENCOUNTERED WITHIN EXCAVATION AREAS, DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACING PERMANENT BACKFILL.

- EXERCISE EXTREME CAUTION IN REMOVING PAVEMENT WITHIN DRIPLINE OF EXISTING TREES TO REMAIN.
- MAINTAIN EXISTING GRADES WITHIN THE PROTECTION ZONE TO THE GREATEST EXTENT FEASIBLE. DO NOT LOWER OR RAISE GRADES MORE THAN 2-INCHES WITHIN PROTECTION ZONE. HAND-GRADE TO REQUIRED FINISHED ELEVATIONS WITH PROTECTION ZONES.
- WHEN DIRECTED BY CERTIFIED ARBORIST, AERATE SURFACE SOIL COMPACTED DURING CONSTRUCTION. AERATE TO EXTENT AS DIRECTED BY ARBORIST AND NO CLOSER THAN 36-INCHES TO TREE TRUNK. DRILL 2-INCH DIAMETER HOLES A MINIMUM OF 12-INCHES DEEP AT 24-INCHES ON CENTER. BACKFILL HOLES WITH APPROVED COMPOST.
- REPLACE TREES, SHRUBS AND OTHER VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY THE OWNER'S REPRESENTATIVE WHEN GREATER THAN OR EQUAL TO 25% OF THE PLANT IS DEAD OR IN AN UNHEALTHY CONDITION AND OWNER'S REPRESENTATIVE DETERMINES ARE INCAPABLE OF RESTORING TO NORMAL GROWTH. PROVIDE NEW TREES OF THE SAME SIZE AND APPROVED SPECIES FOR EACH TREE THAT MEASURES 6-INCHES IN CALIPER SIZE OR SMALLER. WHERE THE TREE TO BE REPLACED EXCEEDS 6-INCHES IN CALIPER, PROVIDE TWO (2) 8-INCH CALIPER TREES OF AN APPROVED SPECIES AT A LOCATION DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- PROTECT ROOT SYSTEMS FROM PONDING, ERODING, OR EXCESSIVE WETTING CAUSED BY DEWATERING OPERATIONS.
- DO NOT PARK VEHICLES OR EQUIPMENT WITHIN PROTECTION ZONES.
- CERTIFIED ARBORIST MAY REQUIRE CROWN PRUNING TO COMPENSATE FOR ROOT LOSS CAUSED BY DAMAGING OR CUTTING OF THE ROOT SYSTEM. PROVIDE SUBSEQUENT MAINTENANCE DURING CONTRACT PERIOD AS RECOMMENDED BY ARBORIST.
- OWNER'S REPRESENTATIVE MAY REQUIRE ADDITIONAL PROTECTION FENCING OR RELOCATION OF FENCING AS WORK PROGRESSES.

- AVOID DAMAGING EXISTING TREES. DAMAGE INCLUDES BUT IS NOT LIMITED TO: CUTTING, BREAKING, SKINNING OR COMPACTING OF ROOTS, SKINNING AND BRUISING OF BARK AND BREAKING OF BRANCHES AND LIMBS.
- DO NOT ATTACH SIGNS TO OR AROUND TREES OR PLANTS TO REMAIN UNLESS OTHERWISE INDICATED.
- DO NOT ALLOW ROOTS TO DRY OUT BEFORE PLACING PERMANENT BACKFILL. PROVIDE TEMPORARY EARTH COVER AND/OR WRAP WITH MOIST BURLAP. WATER AND MAINTAIN IN MOIST CONDITION. TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY RELOCATED AND/OR COVERED WITH SOIL.
- PROTECTION-ZONE SIGNAGE: "TREE PROTECTION AREA - DO NOT ENTER" 3-INCH HIGH MINIMUM LETTER SIZE, RED CHARACTERS ON WHITE BACKGROUND. INSTALL ALONG TOP OF PROTECTION FENCING SPACED EVERY 50- FEET AND/OR EACH SIDE OF PROTECTION ZONE.

**DEMOLITION AND TREE PROTECTION LEGEND - PH1**

GRAPHIC	DESCRIPTION
	LIMIT OF WORK
	TREE PROTECTION FENCE, SEE 4/L7.6(1)
	REMOVE CHAINLINK FENCE AND FOUNDATIONS AS REQ'D TO INSTALL PROPOSED WORK
	TREE TO BE REMOVED
	REMOVE SIGN POST, SALVAGE FOR REINSTALLATION
	REMOVE BASKETBALL HOOP STRUCTURE
	REMOVE BOLLARD
	REMOVE BENCH
	CONCRETE PAVEMENT TO BE REMOVED
	ASPHALT TO BE REMOVED, WEARING COURSE ONLY
	ASPHALT PAVEMENT TO BE REMOVED, FULL DEPTH
	SAFETY SURFACE TO BE REMOVED
	SOD TO BE REMOVED



**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

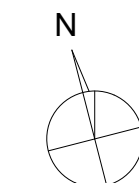
PROJECT COORDINATOR	<b>PRIYANKA MALIK</b>
SEALS	

- SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410
- MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365
- CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425
- LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
915 Spring Garden Street, Suite 403  
Philadelphia, Pennsylvania 19123  
215 790 0727
- COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560
- STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

DRAWING TITLE	
<b>SITE DEMOLITION AND TREE PROTECTION</b>	
PROJECT NO.	DRAWING NO.
<b>16-21-7053-01</b>	<b>L1.0(1)</b>
DATE	03/15/24
SCALE	1" = 20'
DRAWN BY	SJE
CHECKED BY	JB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	



REFERENCE	GRAPHIC	DESCRIPTION
		LIMIT OF WORK
SEE CIVIL		VEHICULAR CONCRETE, CAST IN PLACE
1/L7.0(1)		STANDARD CONCRETE, CAST IN PLACE
2/L7.0(1)		ASPHALT PAVING, FULL DEPTH
3/L7.0(1)		ASPHALT PAVING, OVERLAY ONLY
4-6,10/L7.0(1)		RUBBER SAFETY SURFACE, POURED IN PLACE
2/L7.3(1)		8' CHAIN LINK FENCE
1/L7.3(1)		6' CHAIN LINK FENCE

REFERENCE	GRAPHIC	DESCRIPTION
SIM 6/L7.4(1)		BENCH, BACKLESS
6/L7.4(1)		BENCH WITH BACK
3/L7.4(1)		PLAYERS BENCH
5/L7.4(1)		TRASH RECEPTACLE
7/L7.4(1)		BICYCLE RACK
1/L7.4(1)		BOLLARD

REFERENCE	GRAPHIC	DESCRIPTION
8/L7.4(1)		P1 5-12 PLAY STRUCTURE
8/L7.4(1)		P2 2-5 PLAY STRUCTURE
8/L7.4(1)		P3 5" ARCH SWING FRAME WITH 3 BAYS; (2) BELT SEATS, (2) BUCKET SEATS, (1) ADA SWING
8/L7.4(1)		P4 GROUND SPINNER TYPE 1
8/L7.4(1)		P5 GROUND SPINNER TYPE 2
N/A		S1 SOLO SPURT
N/A		S2 STEADY STREAM
N/A		MORNING GRASS 1

**GENERAL NOTES**

- DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL INVERTS, DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH WORK. DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH THE WORK.
- DRAWINGS FOR DESIGN INTENT ONLY. FIELD ADJUSTMENTS MAY BE REQUIRED WITH WRITTEN AUTHORIZATION BY OWNER.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF UNFORESEEN CONDITIONS THAT ARE UNCOVERED OR EXPOSED DURING THE WORK.
- FIELD CHANGES REQUIRE OWNER, OWNER REPRESENTATIVE AND DESIGN PROFESSIONAL REVIEW. WRITTEN CONFIRMATION IS REQUIRED TO PROCEED WITH FIELD CHANGES.
- THE CONTRACTOR SHALL HAVE ALL REQUIRED SUBMITTAL APPROVALS PRIOR TO BEGINNING THE WORK OR ORDERING MATERIALS.
- THE CONTRACTOR SHALL PROVIDE THE LAYOUT, LINE AND GRADE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY, PROCEDURES, MEANS AND METHODS, SEQUENCING, SCHEDULE AND COORDINATION FOR WORK SHOWN IN THE DOCUMENTS.
- MAINTAIN FIRE DEPARTMENT ACCESS TO ALL FIRE DEPARTMENT CONNECTIONS AND HYDRANTS AT ALL TIMES.
- PROVIDE AND MAINTAIN PROTECTION FOR PEDESTRIAN AND VEHICULAR TRAFFIC.
- INSTALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE CLEARING OR DEMOLITION ACTIVITIES. SEE EROSION AND SEDIMENT CONTROL PLANS.
- DO NOT DRIVE OR PARK. STORE MATERIAL OR DEBRIS ON THE SITE EXCEPT IN AREAS APPROVED BY OWNER. STAGING AREAS SHALL BE APPROVED BY OWNER. DO NOT STAGE MATERIALS IN AREAS OTHER THAN THOSE THAT ARE PREVIOUSLY DESIGNATED BY THE OWNER.
- DISPOSE OF OR RECYCLE ALL DEMOLITION MATERIALS IN A PERMITTED, REGULATED FACILITY IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATION.
- REMOVE EXISTING SOIL TO DEPTHS REQUIRED FOR NEW WORK INCLUDING FULL DEPTH REPLACEMENT OF PLANTING IN NEW BEDS.
- PRESERVE AND PROTECT ALL EXISTING FEATURES TO REMAIN: STRUCTURES, LIGHTING, SURFACE MATERIALS, ABOVE AND BELOW GRADE UTILITIES, FOOTING AND VEGETATION WITHIN AND ADJACENT TO CONSTRUCTION AREA DURING ALL PHASES OF DEMOLITION AND CONSTRUCTION.
- REMOVE AND SALVAGE SITE FURNITURE AS INDICATED. PROTECT SITE FURNITURE AGAINST DAMAGE AND TRANSPORT TO LOCATION AS DIRECTED BY OWNER.
- MEET ALL EXISTING GRADES AT ALL EDGES OF PROJECT WITHIN GRADING REQUIREMENTS.
- NOTIFY OWNER ONE WEEK PRIOR TO REMOVING EXISTING PLANTS FROM PLANT BEDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT TO ANY SIDEWALK, LAWN, TREES, PAVING, AND OTHER IMPROVEMENTS DISTURBED OR DAMAGED BY THE CONSTRUCTION OR DEMOLITION ACTIVITIES PROPOSED HEREIN.



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MFP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
915 Spring Garden Street, Suite 403  
Philadelphia, Pennsylvania 19123  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

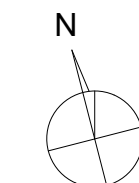
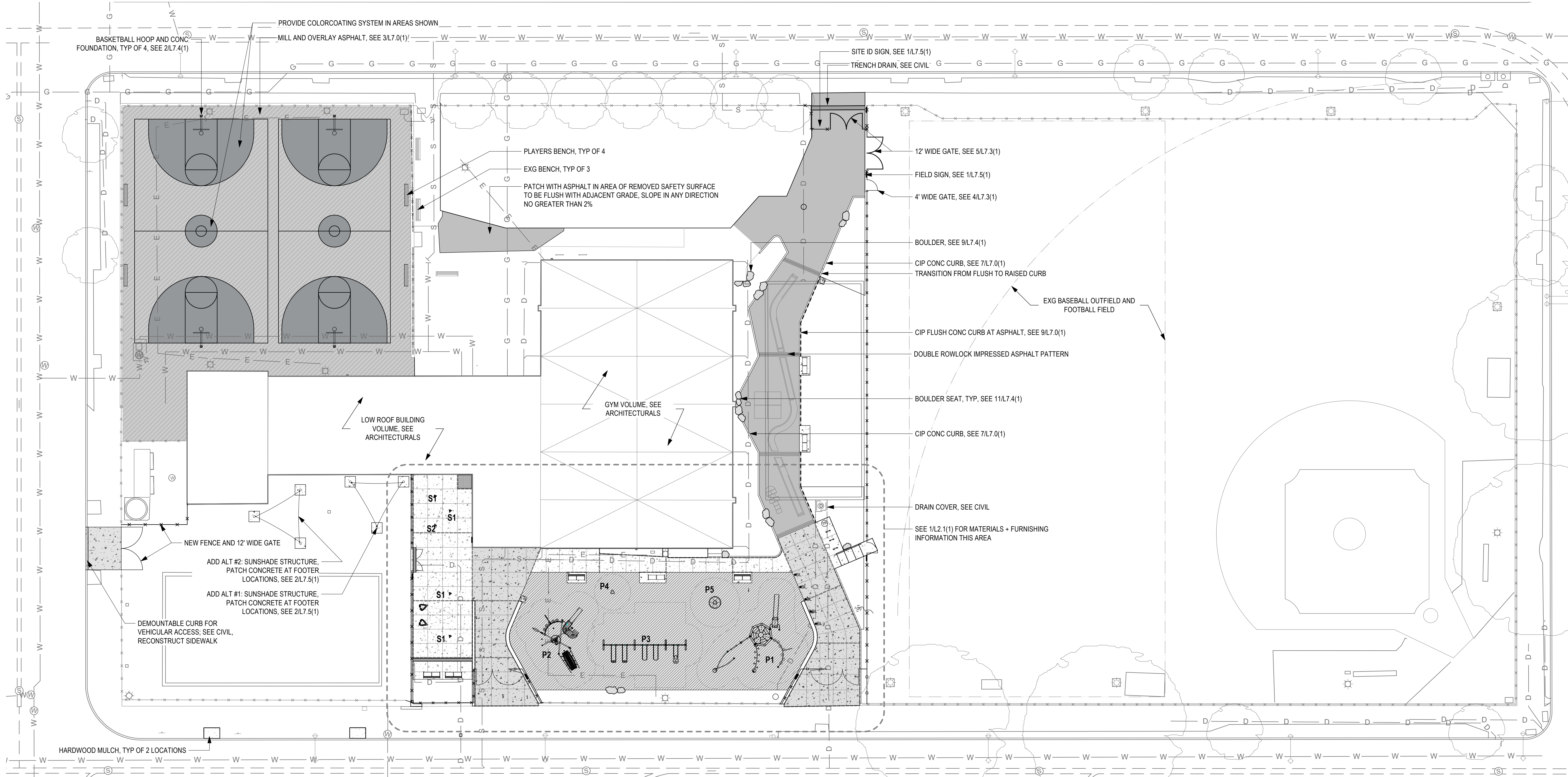
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

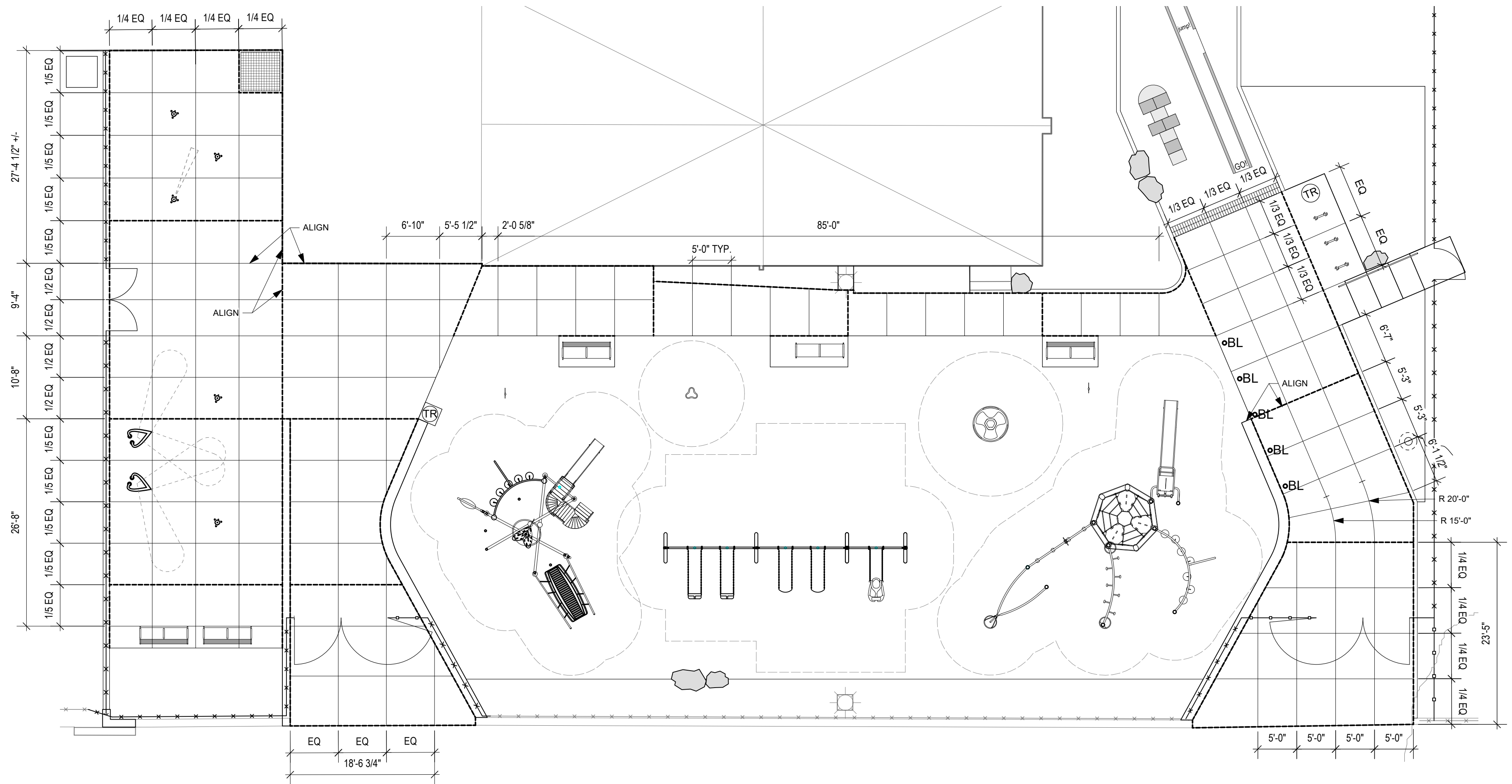
PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**MATERIALS AND FURNISHINGS PLAN**

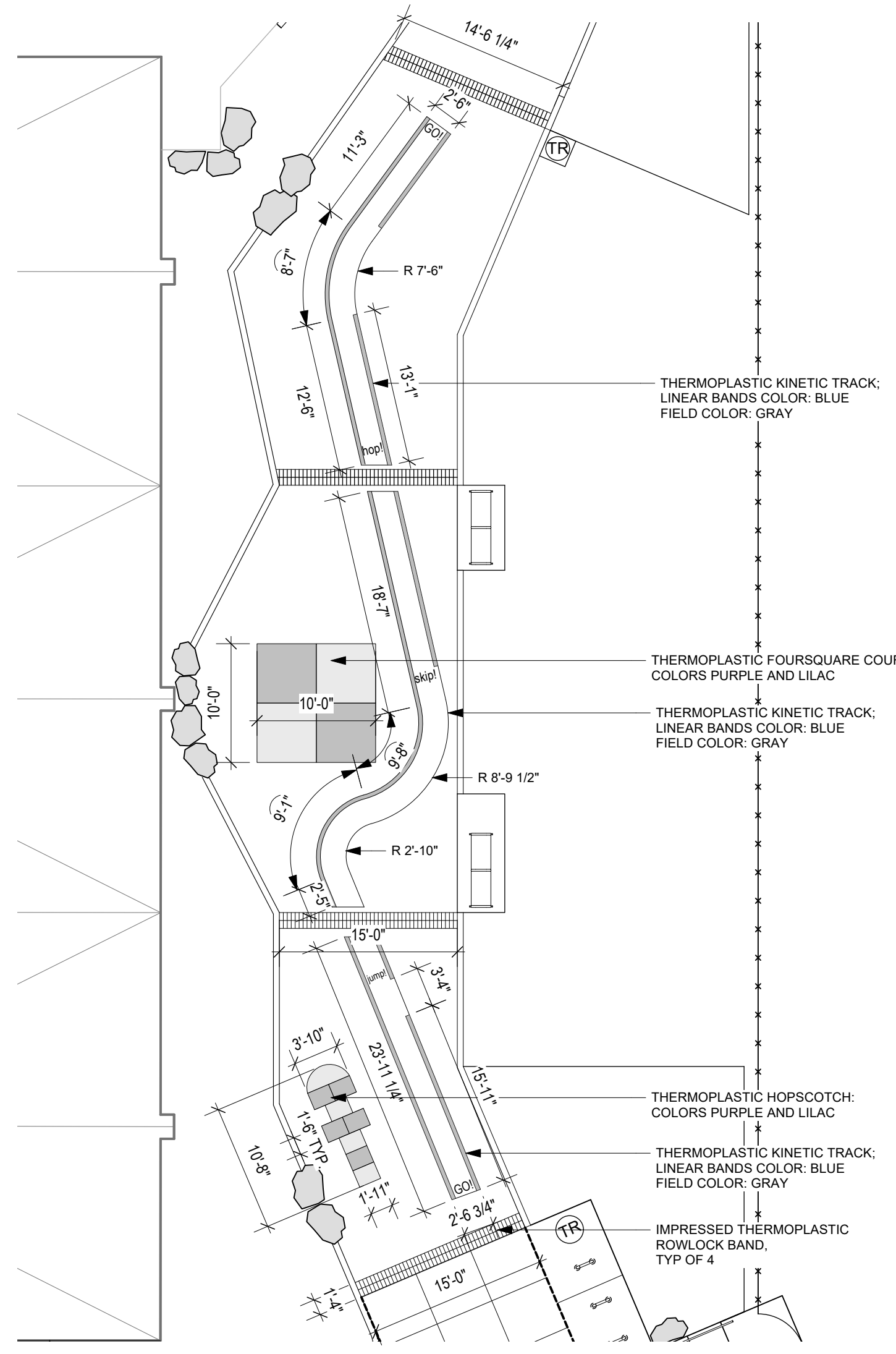
PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L2.0(1)</b>
DATE 03/15/24	
SCALE 1" = 20'	
DRAWN BY SJE	
CHECKED BY JB	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

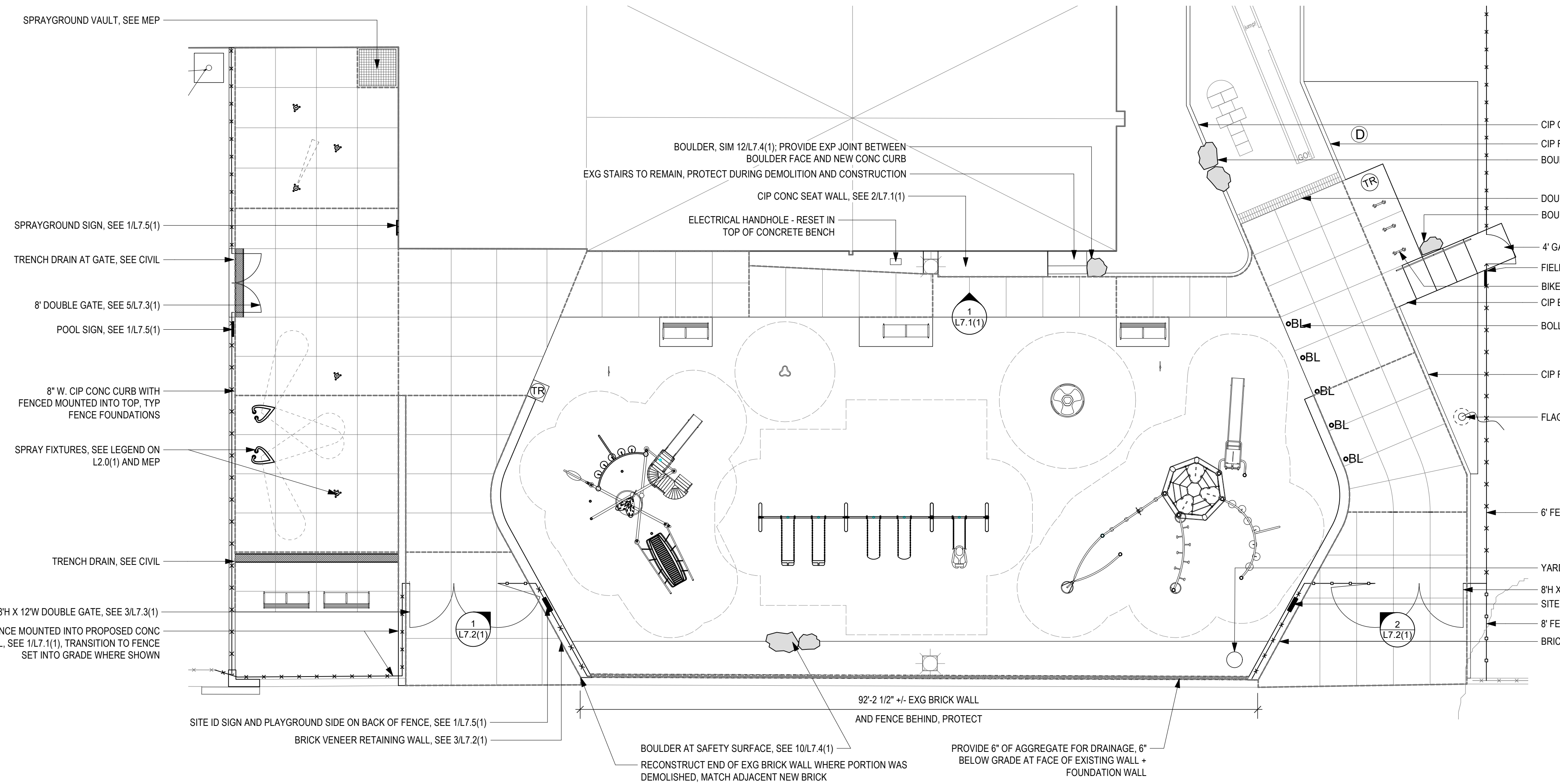




2 DETAIL PLAN - JOINTING  
 L2.1(1) Scale: 1" = 10'-0"

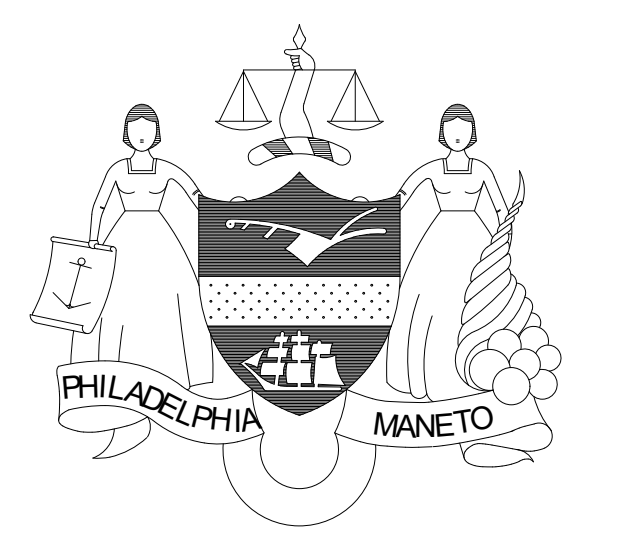


3 DETAIL PLAN - THERMOPLASTIC GAME MARKINGS  
 L2.1(1) Scale: 1" = 10'-0"



1 DETAIL PLAN - MATERIALS + FURNISHINGS  
 L2.1(1) Scale: 1" = 10'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

- SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410
- MFP ENGINEER:  
 ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365
- CIVIL ENGINEER:  
 KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425
- LANDSCAPE ARCHITECTS  
 GROUND RECONSIDERED**  
 915 Spring Garden Street, Suite 403  
 Philadelphia, Pennsylvania 19123  
 215 790 0727
- COST CONSULTANT  
 DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560
- STRUCTURAL ENGINEER  
 ANN ROTHMANN  
 STRUCTURAL ENGINEERING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

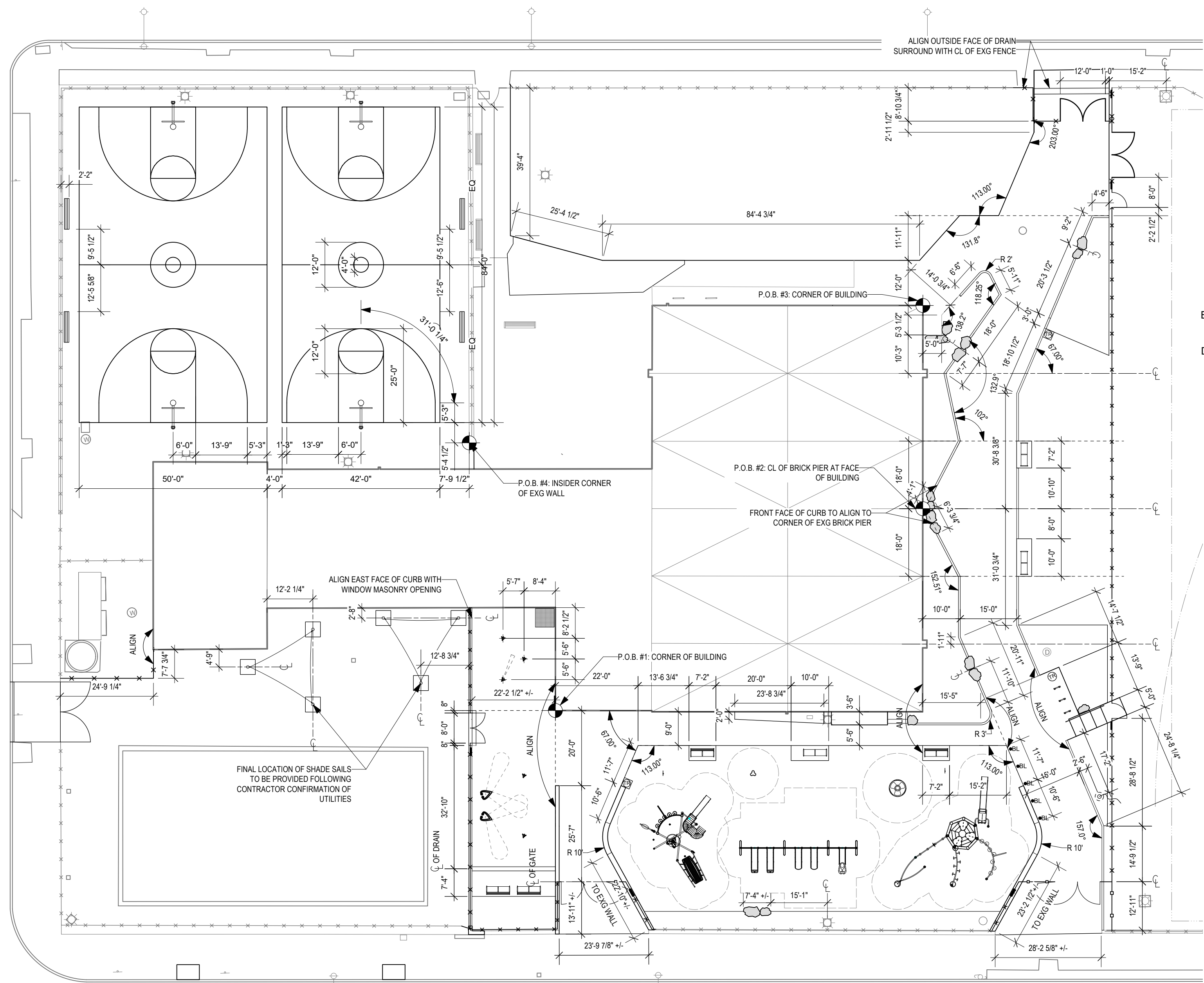
**CITY OF PHILADELPHIA**  
 DEPARTMENT OF PARKS & RECREATION  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

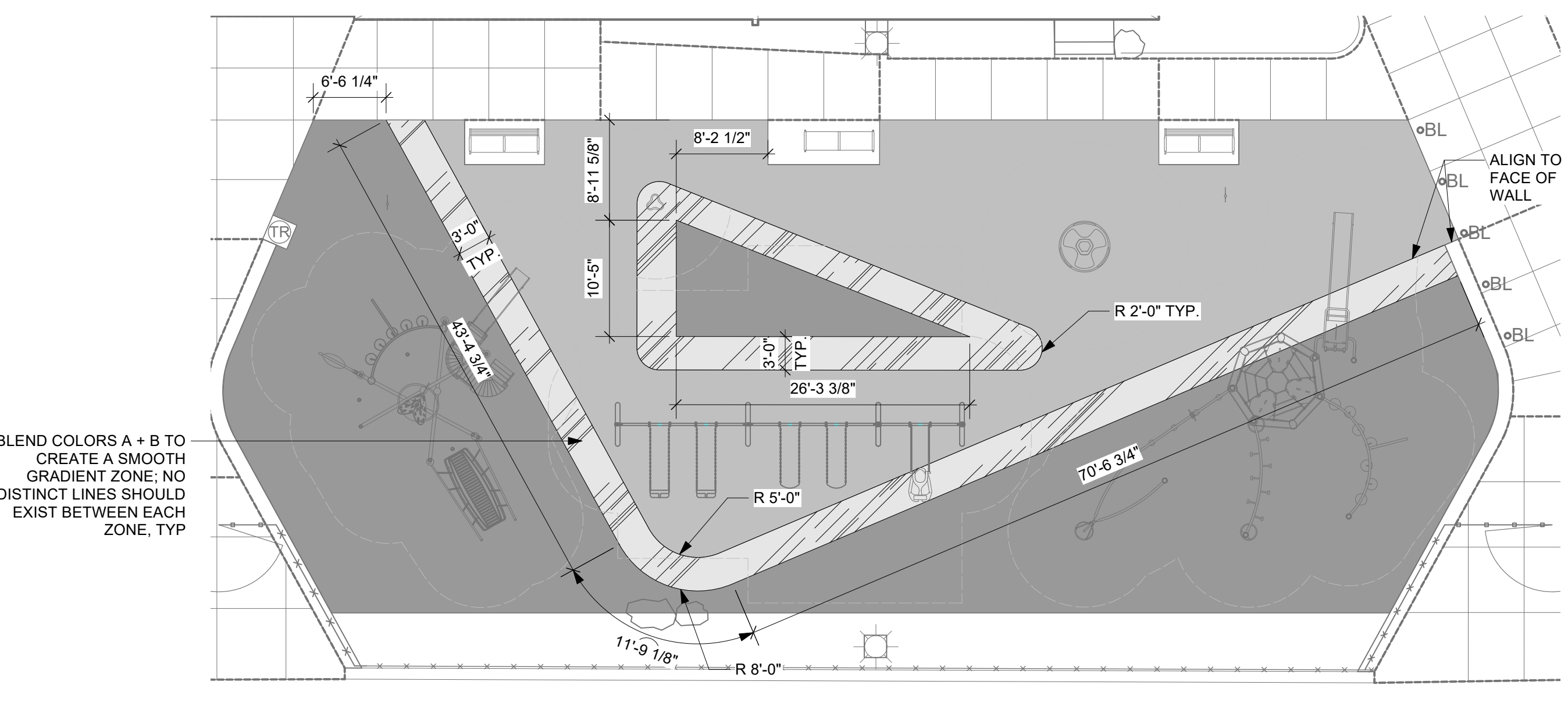
DRAWING TITLE  
**DETAIL PLANS**

PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L2.1(1)</b>
DATE 03/15/24	SCALE AS NOTED
DRAWN BY SJE	CHECKED BY JB

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**1 LAYOUT PLAN**  
 L3.0(1) Scale: 1" = 20'-0"



**2 PLAN ENLARGEMENT - SAFETY SURFACE PATTERN LAYOUT**  
 L3.0(1) Scale: 1" = 10'-0"

**SAFETY SURFACE COLOR LEGEND**

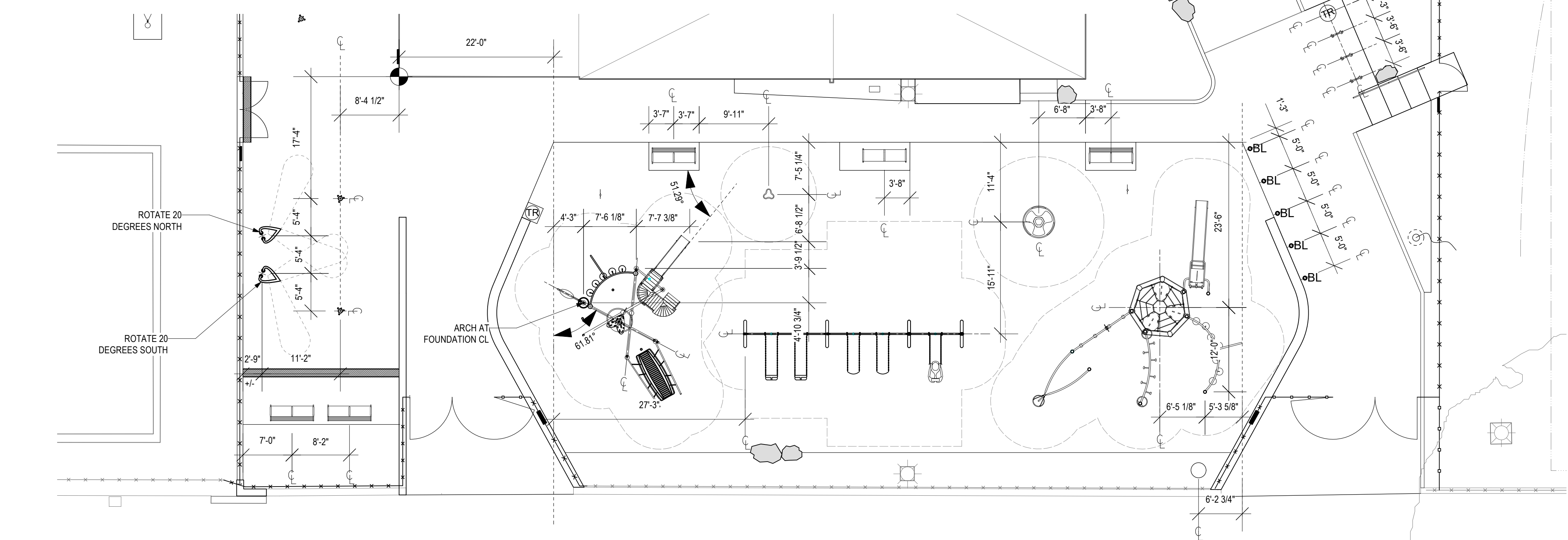
COLOR DESIGNATION:	DESCRIPTION:
	SAFETY SURFACE COLOR A SEE SPECIFICATIONS
	SAFETY SURFACE COLOR B SEE SPECIFICATIONS
	TRANSITIONAL ZONE BLEND COLOR A + B

**LAYOUT LEGEND**

- CENTER LINE
- REFERENCE LINE
- LINEAR LENGTH
- RADIAL LENGTH
- ANGLE
- RADIUS
- P.O.B. POINT OF BEGINNING
- POINT OF CURVATURE
- ALIGN ELEMENTS
- REM REMAINDER OF LENGTH

**LAYOUT NOTES**

1. ALL LINES ARE PARALLEL OR PERPENDICULAR UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE SHOWN TO FACE OF MATERIALS, UNLESS SHOWN OTHERWISE.
3. V.I.F. = VERIFY IN FIELD: VERIFY ALL DIMENSIONS FROM FIELD MEASUREMENTS. VERIFY LAYOUT OF ALL PROPOSED WORK WITH EXISTING CONDITIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.
4. PROVIDE STAKED LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK.



**3 PLAN ENLARGEMENT - LAYOUT**  
 L3.0(1) Scale: 1" = 10'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 915 Spring Garden Street, Suite 403  
 Philadelphia, Pennsylvania 19123  
 215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

**CITY OF PHILADELPHIA**  
 DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

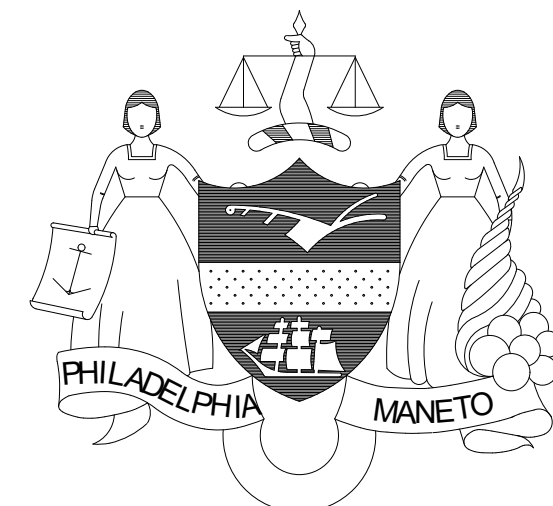
DRAWING TITLE  
**LAYOUT PLAN**

PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L3.0(1)</b>
DATE 03/15/24	SCALE AS NOTED
DRAWN BY SJE	CHECKED BY JB

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
915 Spring Garden Street, Suite 403  
Philadelphia, Pennsylvania 19123  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE

**DESIGN GRADING PLAN**

PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L4.0(1)</b>
DATE 03/15/24	SCALE 1" = 20'
DRAWN BY SJE	
CHECKED BY JB	

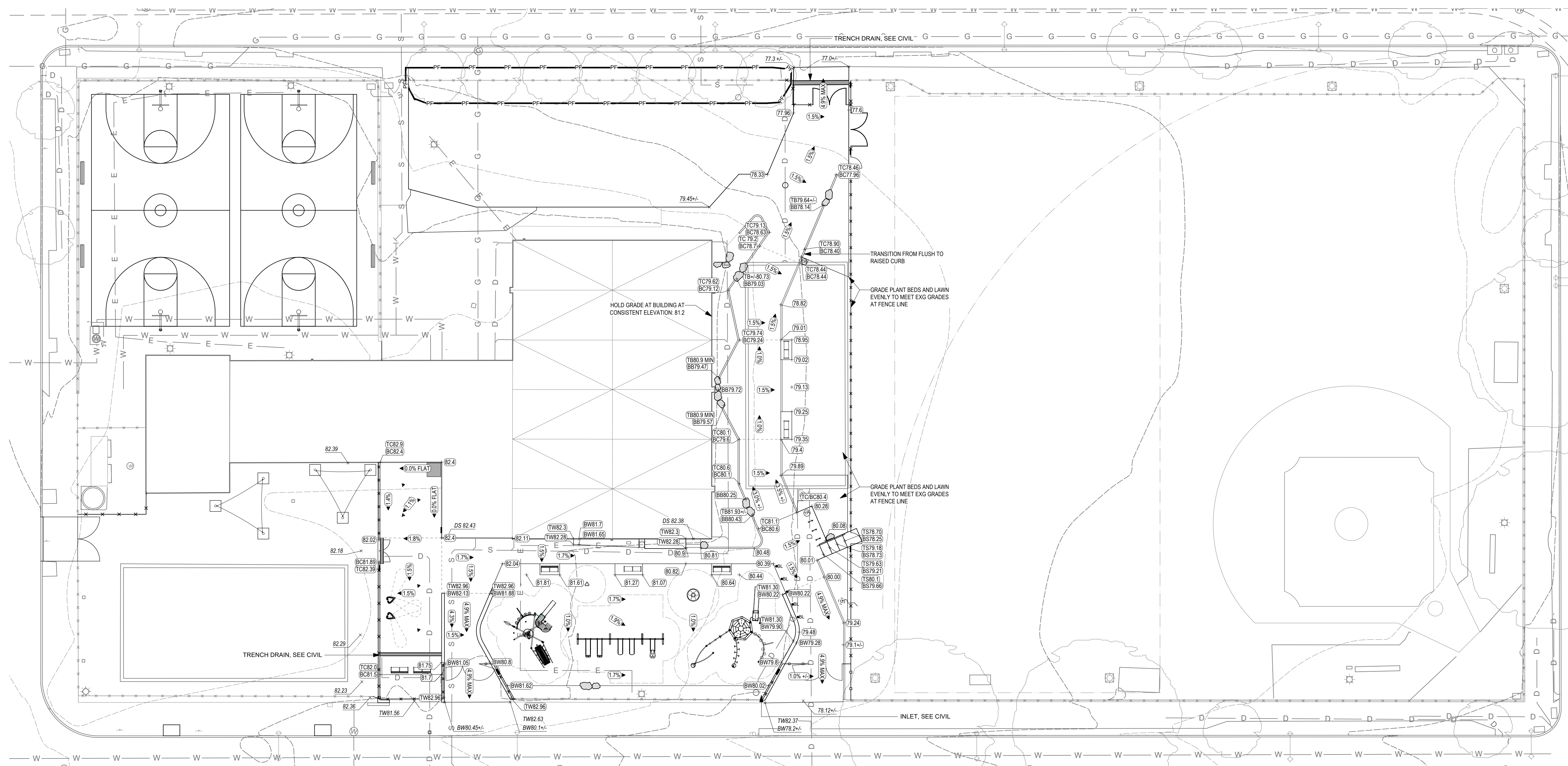
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GRADING LEGEND**

GRAPHIC	DESCRIPTION
	SITE ENCLOSURE FENCE / LIMIT OF WORK
	TREE PROTECTION FENCE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	TOP OF WALL
	BOTTOM OF WALL
	TOP OF STEP
	BOTTOM OF STEP
	HIGH POINT
	PERCENT SLOPE
	CONTOUR
	VERIFY IN FIELD

**GRADING NOTES**

- REFER TO CIVIL ENGINEERING PLAN FOR LOCATIONS OF INLETS.
- ANY DISCREPANCY BETWEEN FIELD CONDITIONS AND DOCUMENTED EXISTING OR PROPOSED CONDITIONS SHALL BE REPORTED TO OWNER IN WRITING.
- FINISH GRADES OF PAVEMENTS AND SOIL ALONG BOTTOM OF CURBS AND WALLS SHALL HAVE A CONSTANT SLOPE UNLESS INDICATED BY SPOT ELEVATIONS.
- ADJUST TOPS OF ALL MANHOLE LIDS, EXISTING UTILITY STRUCTURES, ETC. TO MEET PROPOSED GRADES.
- ADJUST EXISTING AND PROPOSED UTILITIES TO MEET FINAL DESIGN CONDITIONS AS NECESSARY.



REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 915 Spring Garden Street, Suite 403  
 Philadelphia, Pennsylvania 19123  
 215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

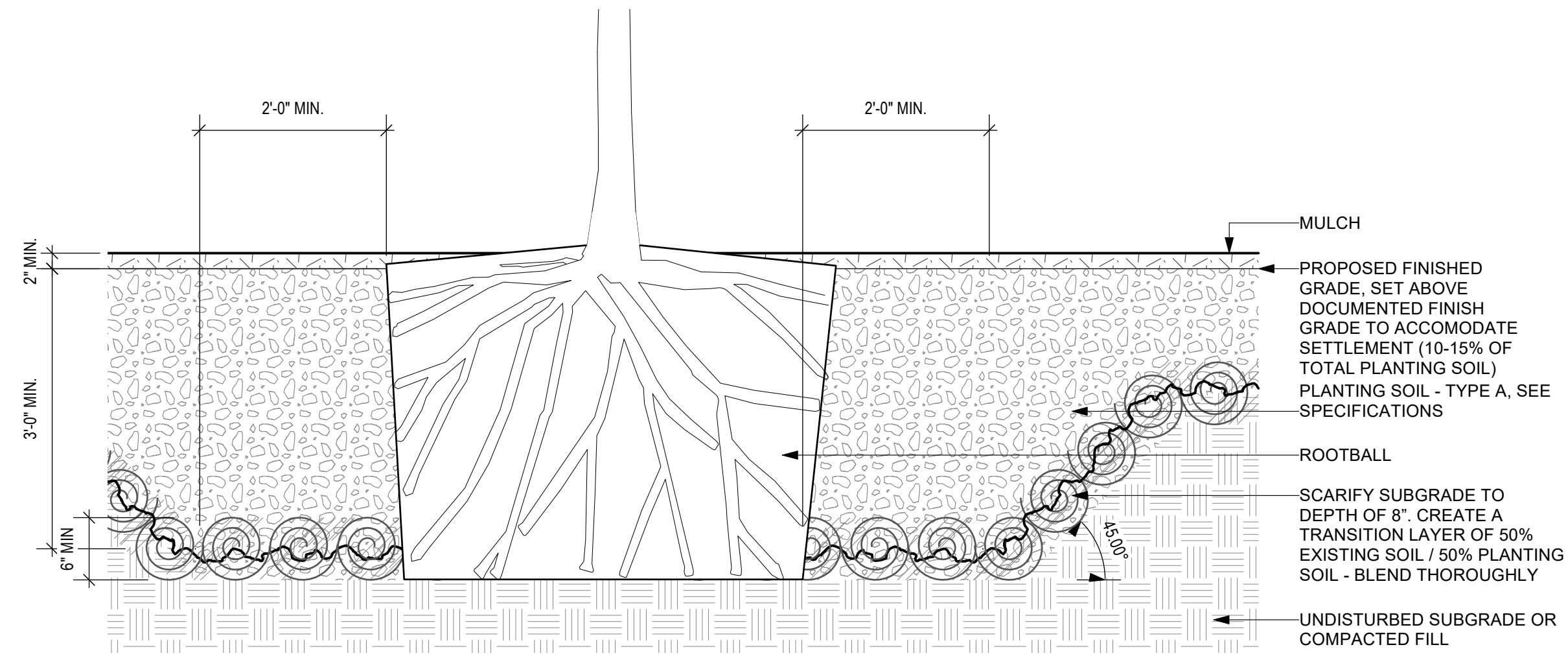
**CITY OF PHILADELPHIA**  
 DEPARTMENT OF PARKS & RECREATION  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

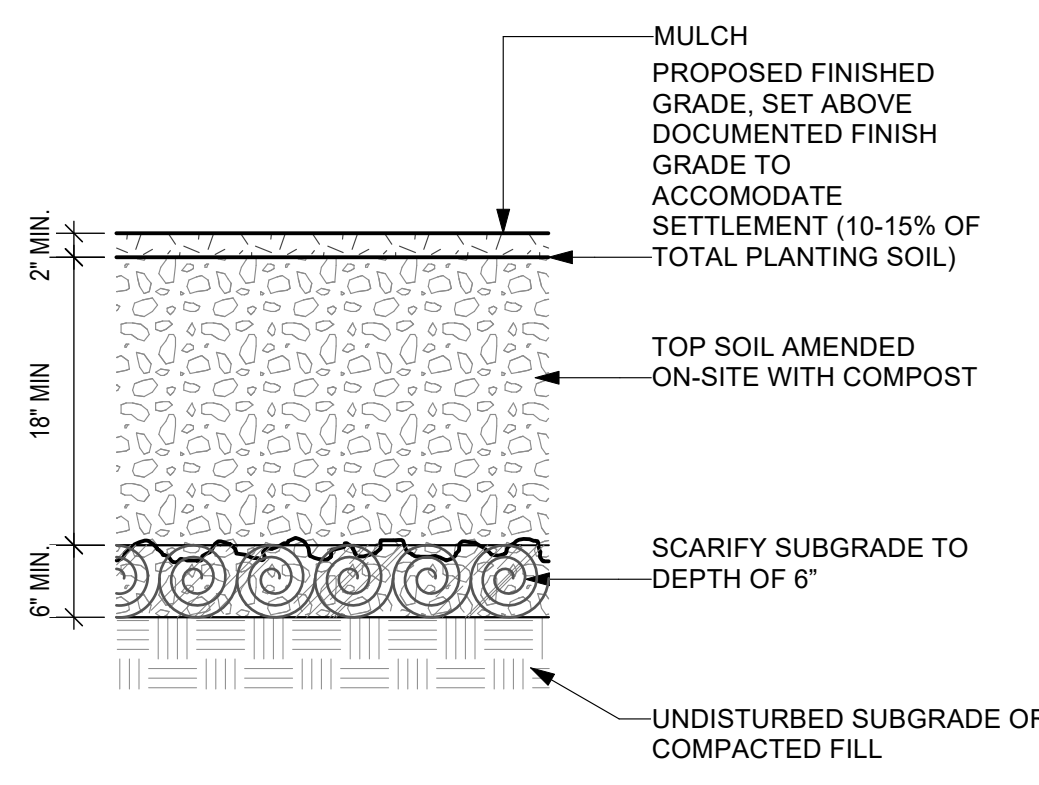
DRAWING TITLE  
**SOILS PLAN**

PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L5.0(1)</b>
DATE 03/15/24	SCALE AS NOTED
DRAWN BY SJE	CHECKED BY JB

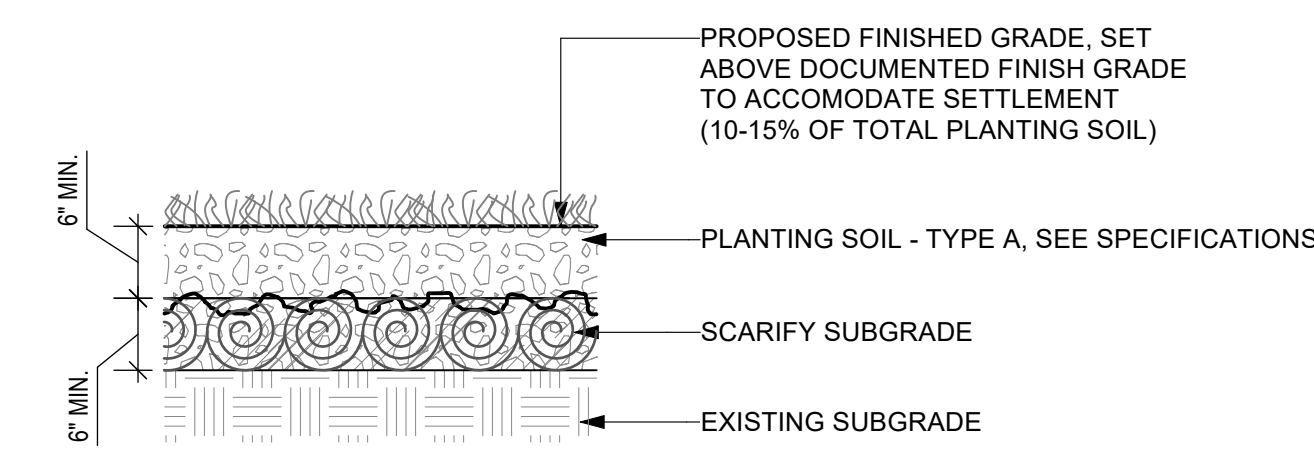
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**4 SOIL PROFILE - TREE PLANTINGS**  
 Scale: 3/4" = 1'-0"



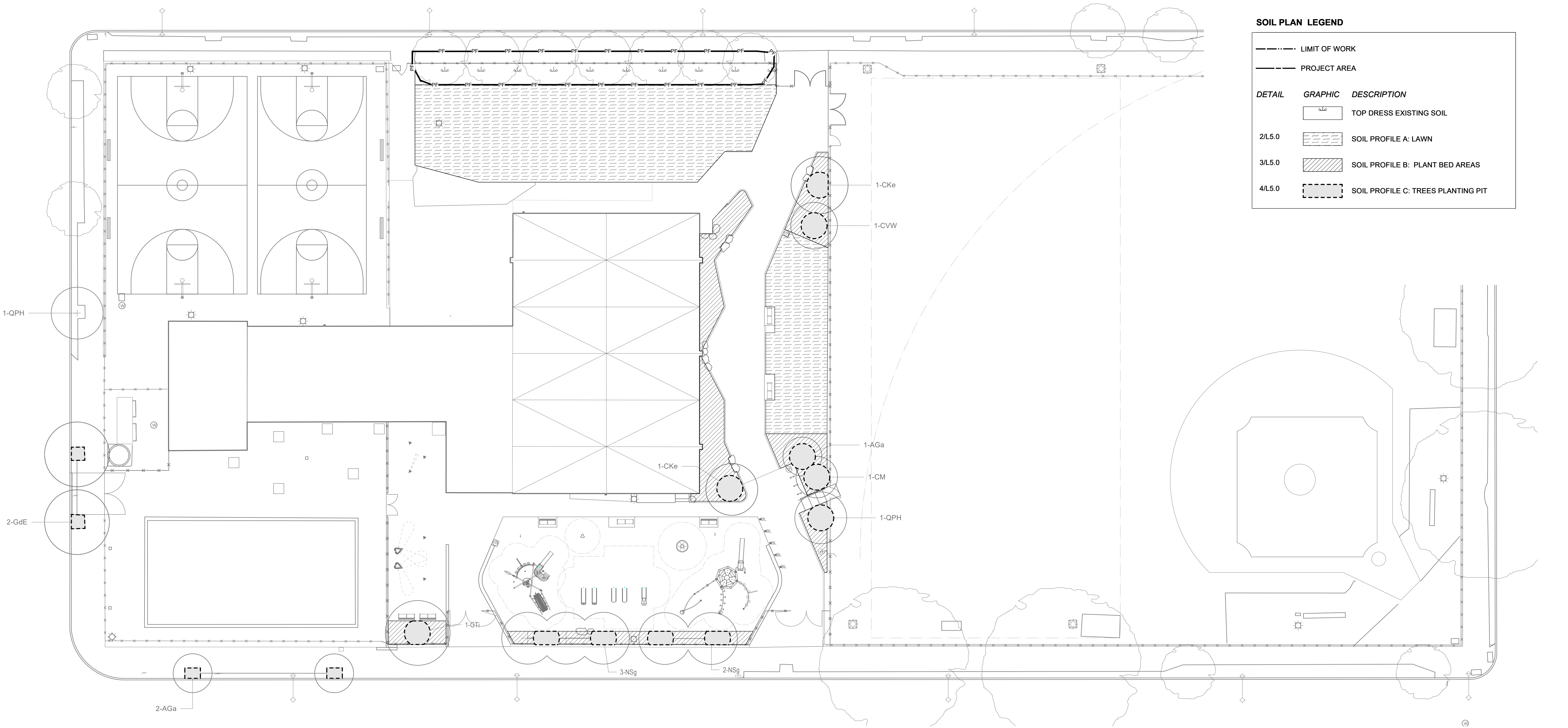
**3 SOIL PROFILE - PLANTING BEDS**  
 Scale: 3/4" = 1'-0"



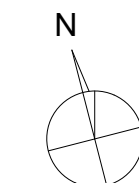
**2 SOIL PROFILE - LAWN**  
 Scale: 3/4" = 1'-0"

SOIL PLAN LEGEND

	LIMIT OF WORK
	PROJECT AREA
<b>DETAIL</b>	<b>GRAPHIC DESCRIPTION</b>
	TOP DRESS EXISTING SOIL
	SOIL PROFILE A: LAWN
	SOIL PROFILE B: PLANT BED AREAS
	SOIL PROFILE C: TREES PLANTING PIT



**1 SOILS PLAN**  
 Scale: 1" = 20'-0"



PLANT SCHEDULE						
Qty	Id	Botanical Name	Common Name	Size	Spacing	Notes
<b>Canopy Trees</b>						
2	GdE	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	2.5" - 3" cal.	As Shown	Speciman Quality, B&B
1	GTI	<i>Gleditsia triacanthos inermis</i> 'Impcole'	Imperial Honeylocust	#3	As Shown	Speciman Quality, B&B
5	NSg	<i>Nyssa sylvatica</i>	Green Sables Blackgum	#3	As Shown	Speciman Quality, B&B
2	QPH	<i>Quercus phellos</i> 'Hightower'	Hightower Willow Oak	2.5" - 3" cal.	As Shown	Speciman Quality, B&B
<b>Understory Trees</b>						
3	AGa	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" - 3" cal.	As Shown	Speciman Quality, B&B, Single stem
2	CKe	<i>Cladrastis kentukea</i>	Yellowwood	2.5" - 3" cal.	As Shown	Speciman Quality, B&B
1	CM	<i>Cornus mas</i>	Cornelian-cherry dogwood	8' - 10' ht.	As Shown	Speciman Quality, B&B
1	CVW	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	8' - 10' ht.	As Shown	Speciman Quality, B&B
<b>Shrubs + Herbaceous</b>						
28	IleOpaM	<i>Ilex opaca</i> 'Maryland Dwarf'	Maryland Dwarf American Holly	#3	As Shown	
260	ams hub	<i>Amsonia hubrichtii</i>	Arkansas Bluestar	#1	18" o.c.	
1643	lir mus	<i>Liriope muscari</i>	Big Blue Lily Turf	#1	12" o.c.	

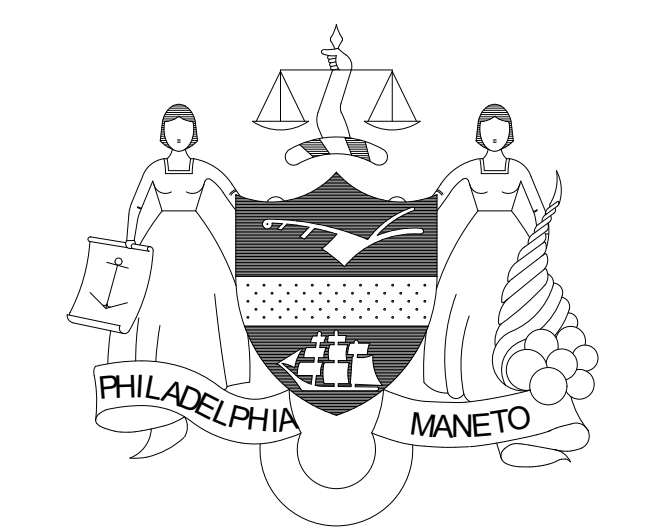
**PLANTING LEGEND**

GRAPHIC	DESCRIPTION
	SITE ENCLOSURE FENCE / LIMIT OF WORK
	TREE PROTECTION FENCE
	EXISTING DECIDUOUS TREE TO REMAIN AND BE PROTECTED
	PROPOSED DECIDUOUS TREE 2-1/2" TO 3" CALIPER
	SOD LAWN

**PLANTING NOTES**

- REFER TO L7.6 FOR PLANTING DETAILS
- REFER TO L5.0 FOR INFORMATION ON SOIL FOR PLANTING AREAS

REVISIONS		
ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MFP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
915 Spring Garden Street, Suite 403  
Philadelphia, Pennsylvania 19123  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

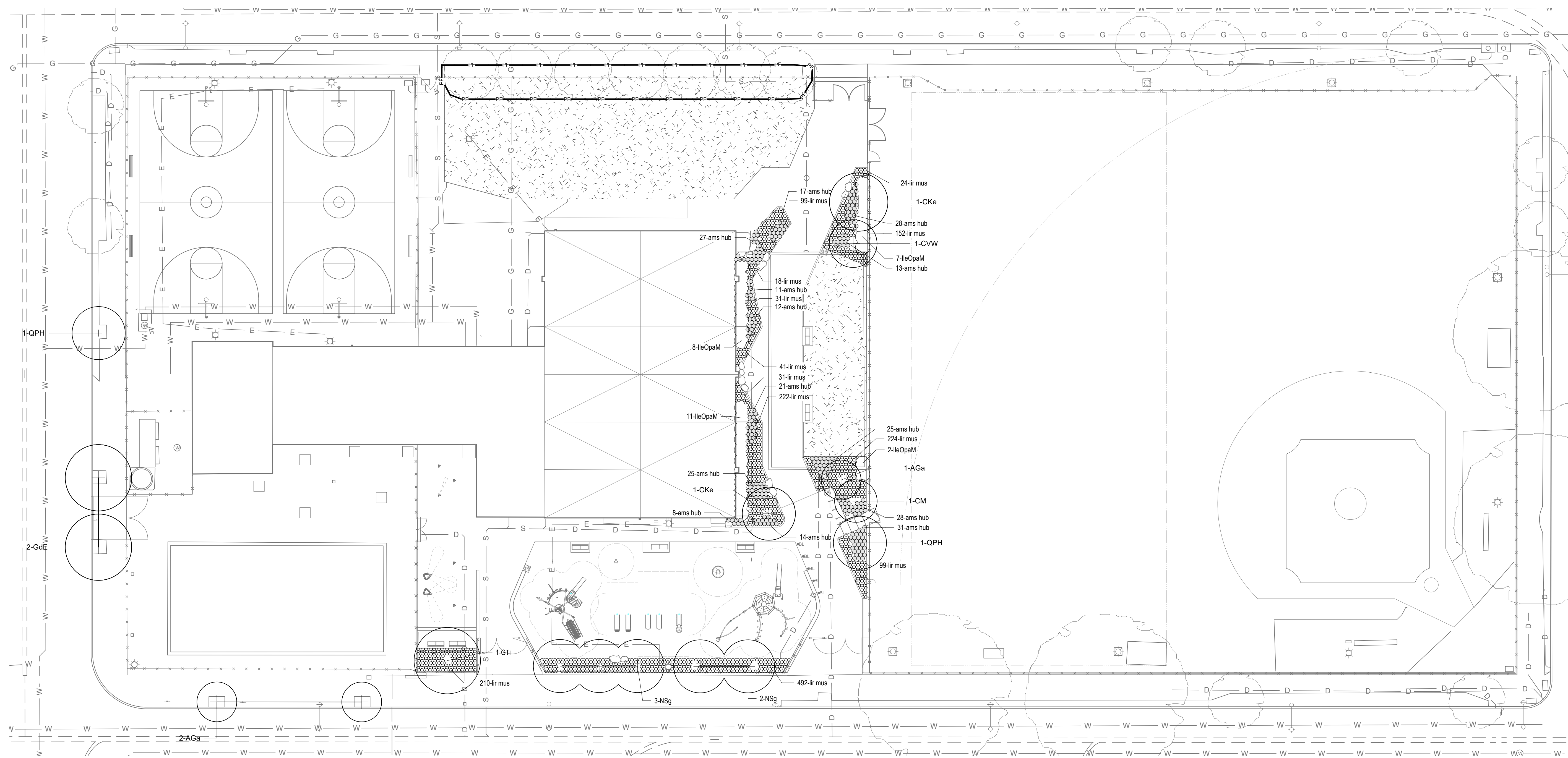
**CITY OF PHILADELPHIA**  
DEPARTMENT OF PARKS & RECREATION  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

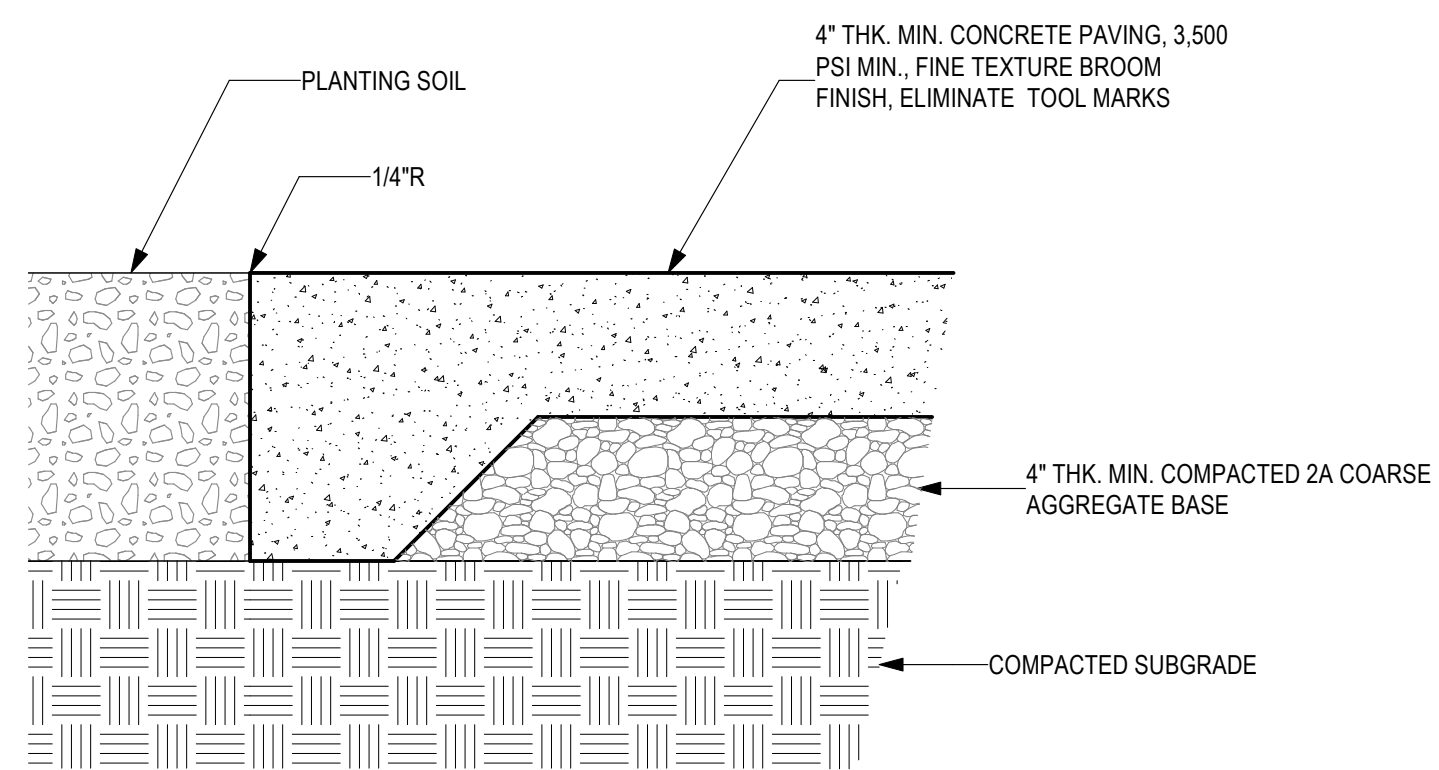
DRAWING TITLE  
**PLANTING PLAN**

PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L6.0(1)</b>
DATE 03/15/24	
SCALE 1" = 20'	
DRAWN BY SJE	
CHECKED BY JB	

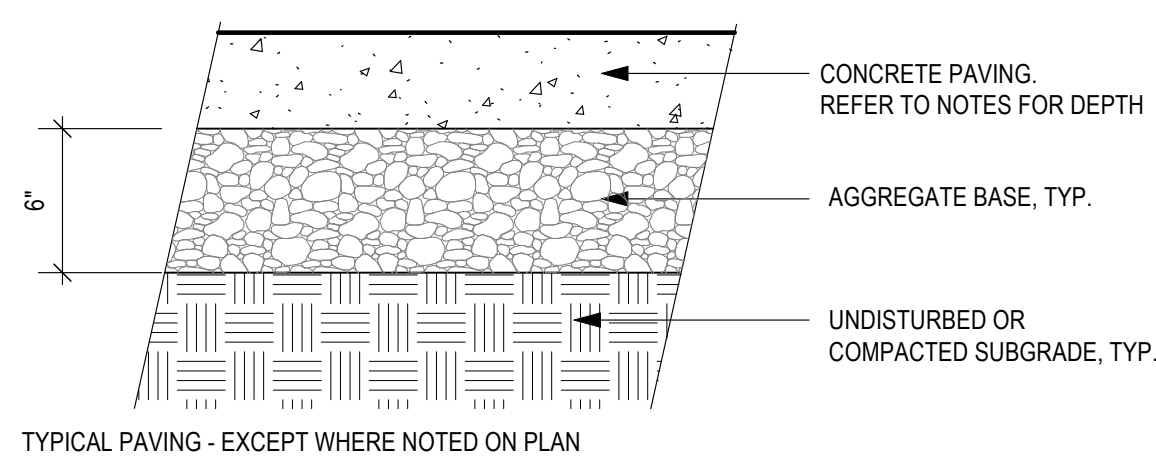
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



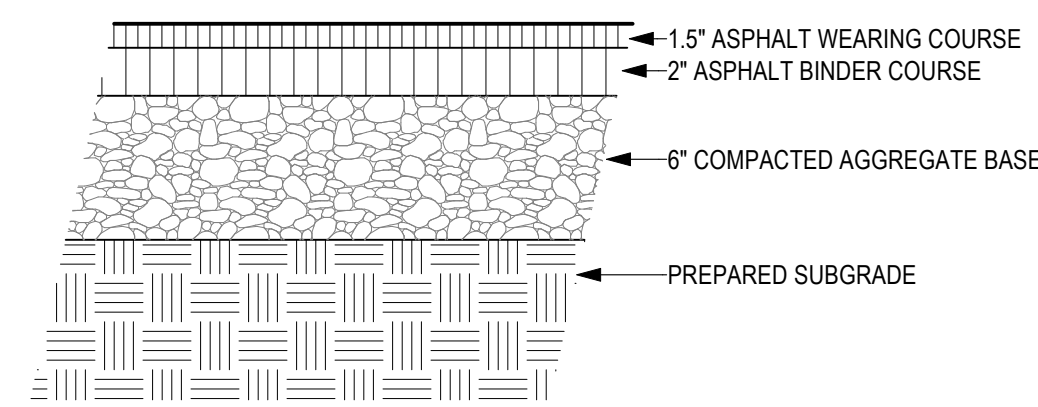
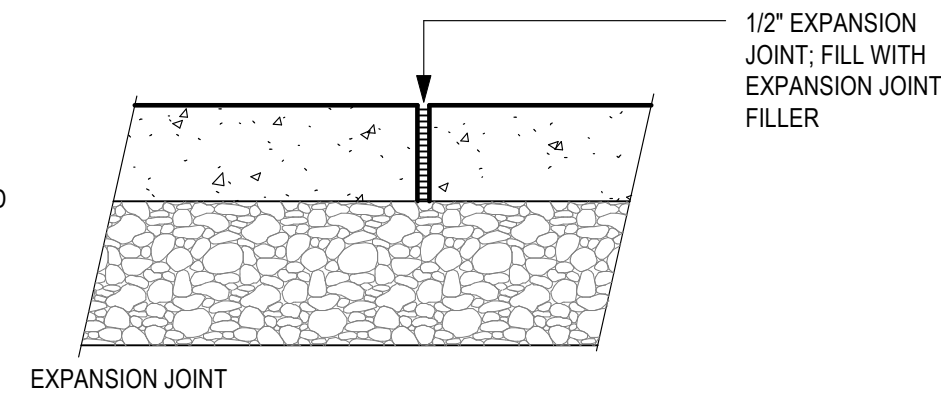
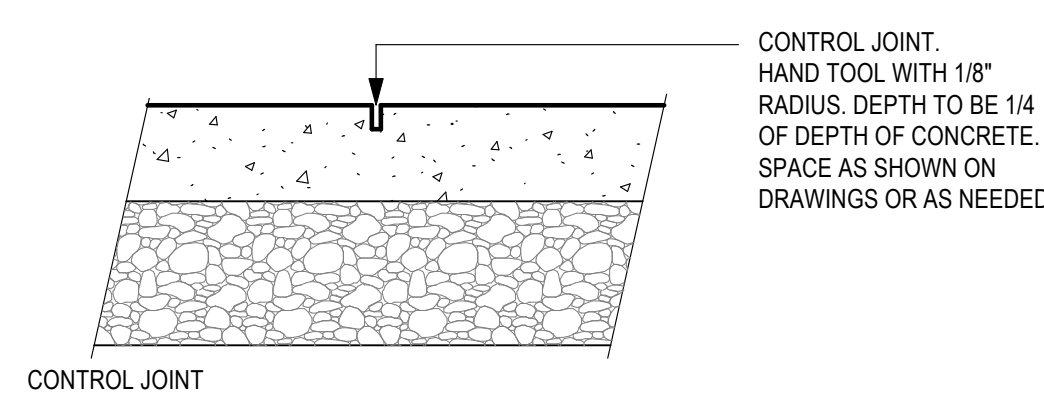




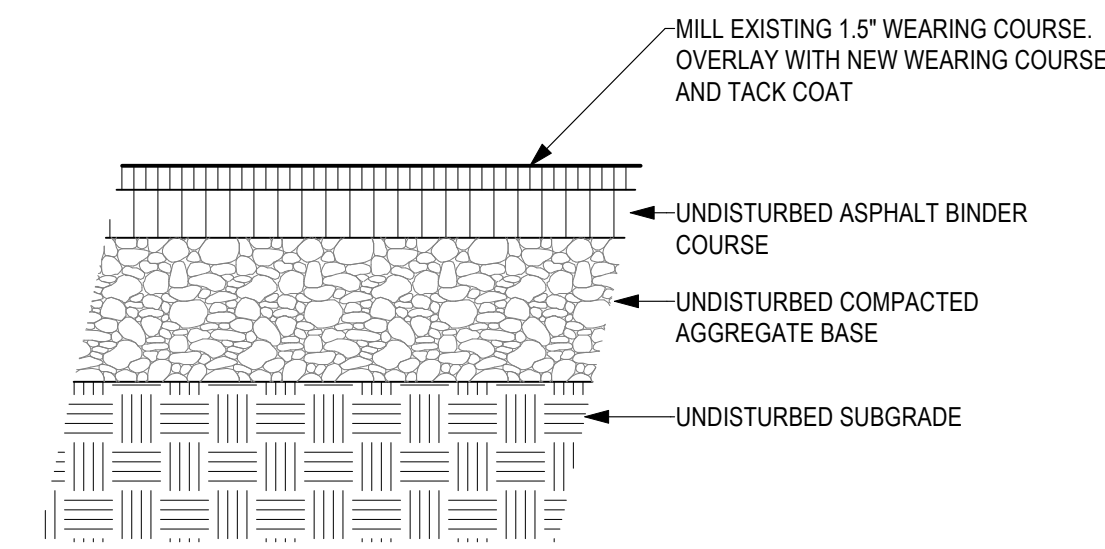
CONCRETE PAVING



CONCRETE PAVING GENERAL NOTES:  
 1. STANDARD CONCRETE PAVING TO BE 4" DEPTH.  
 2. SEE CIVIL FOR VEHICULAR PAVING INFORMATION.  
 3. INSTALL PRE-MOLDED EXPANSION JOINT FILLER OR BACKER ROD WITH SEALANT WHERE CONCRETE PAVING MEETS CURBS, STAIR AND OTHER STRUCTURES.



NOTE: INSTALL COLORED ATHLETIC SURFACE COATING AT COURT LOCATIONS



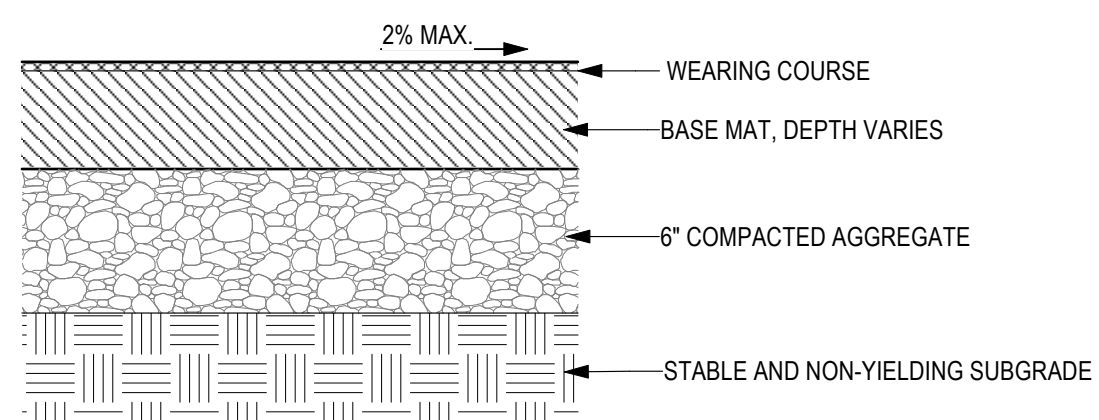
NOTE: INSTALL COLORED ATHLETIC SURFACE COATING AT COURT LOCATIONS

1 STANDARD CONCRETE PAVING, TYP  
 Scale: 1 1/2" = 1'-0"

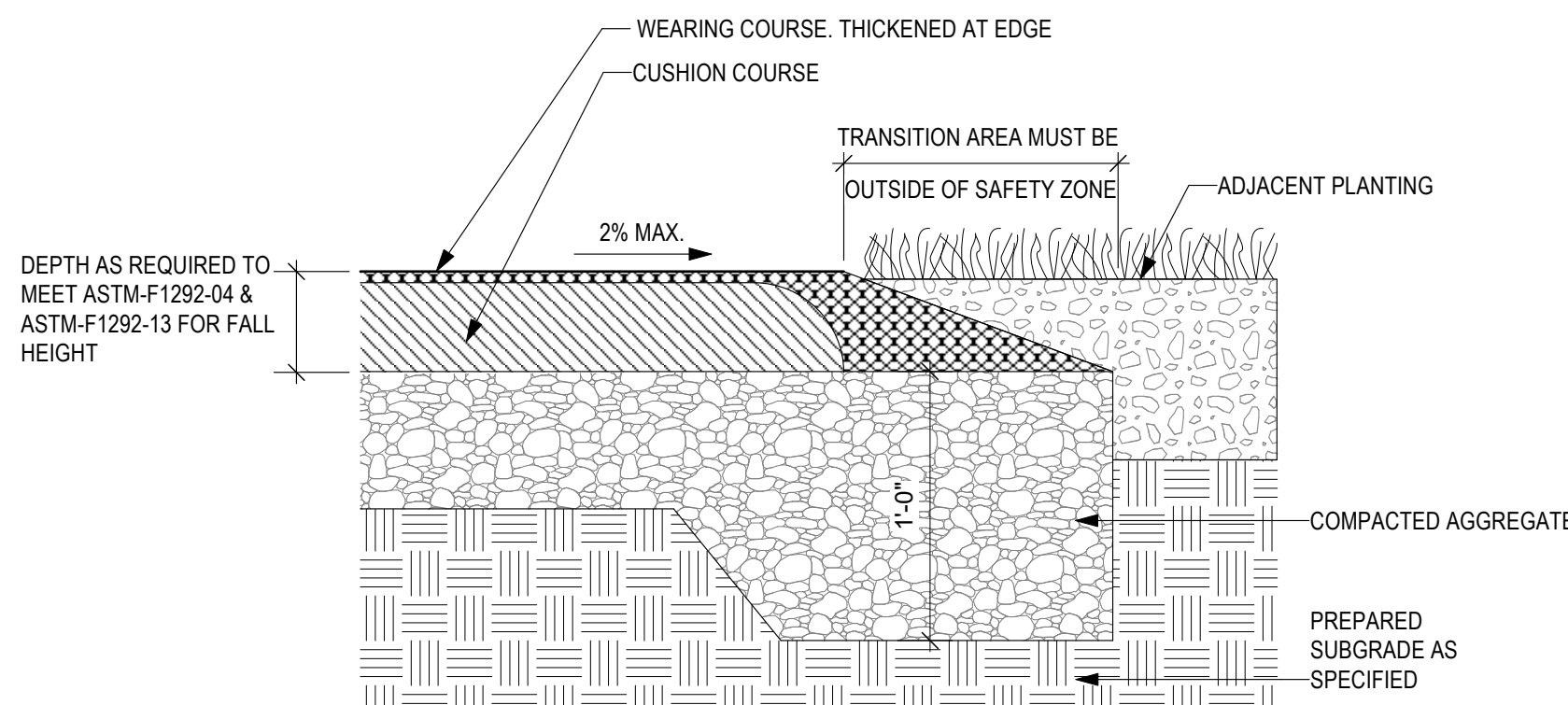
2 ASPHALT PAVING - FULL DEPTH  
 Scale: 1 1/2" = 1'-0"

3 ASPHALT PAVING - OVERLAY ONLY  
 Scale: 1 1/2" = 1'-0"

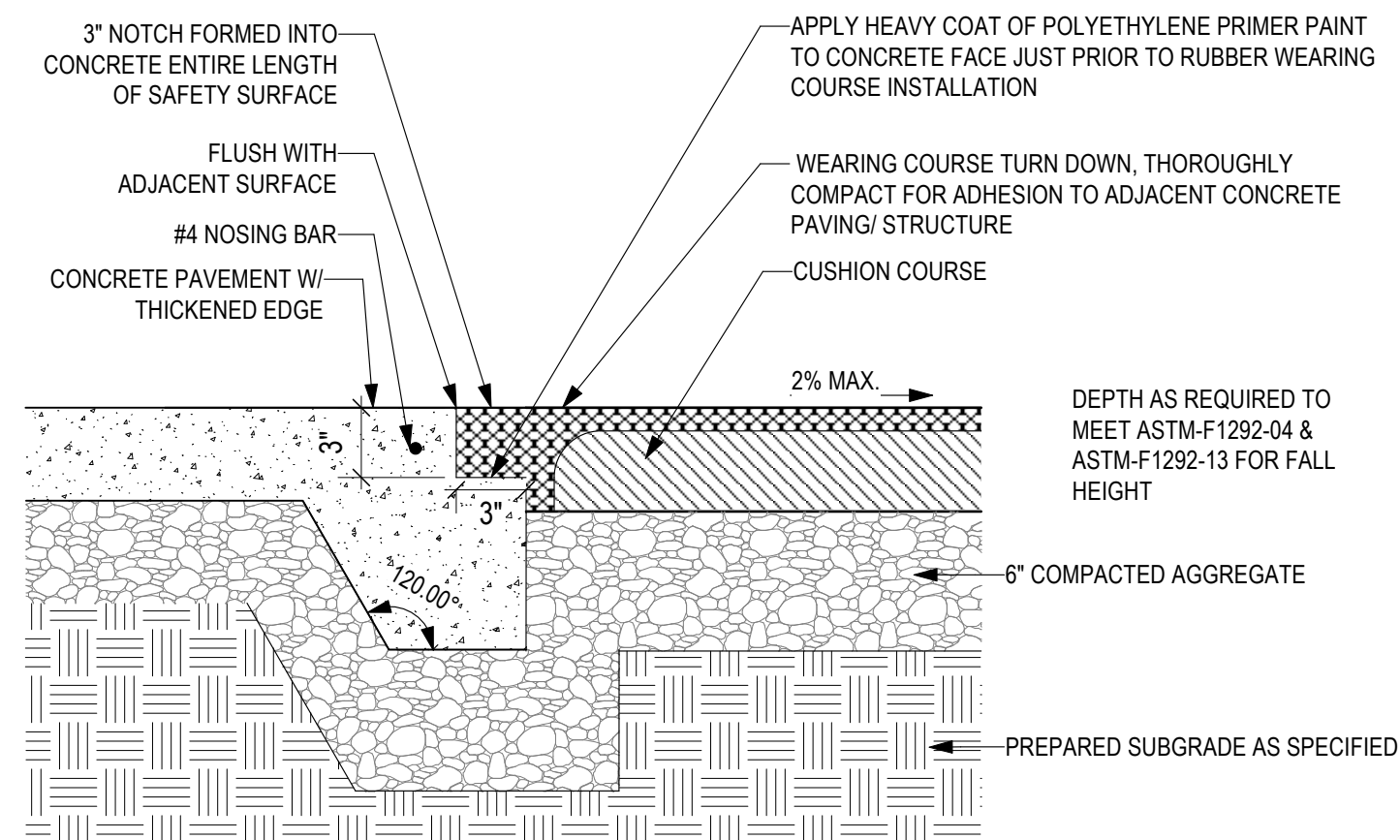
NOTE: SAFETY SURFACE DEPTH MUST MEET OR EXCEED THAT WHICH IS REQUIRED TO MEET THE CRITICAL FALL HEIGHT CRITERIA OF EACH PIECE OF EQUIPMENT, PPR STANDARDS, ASTM-F1292-04 & ASTM-F1292-13, OR MOST RECENT EDITION STANDARD.



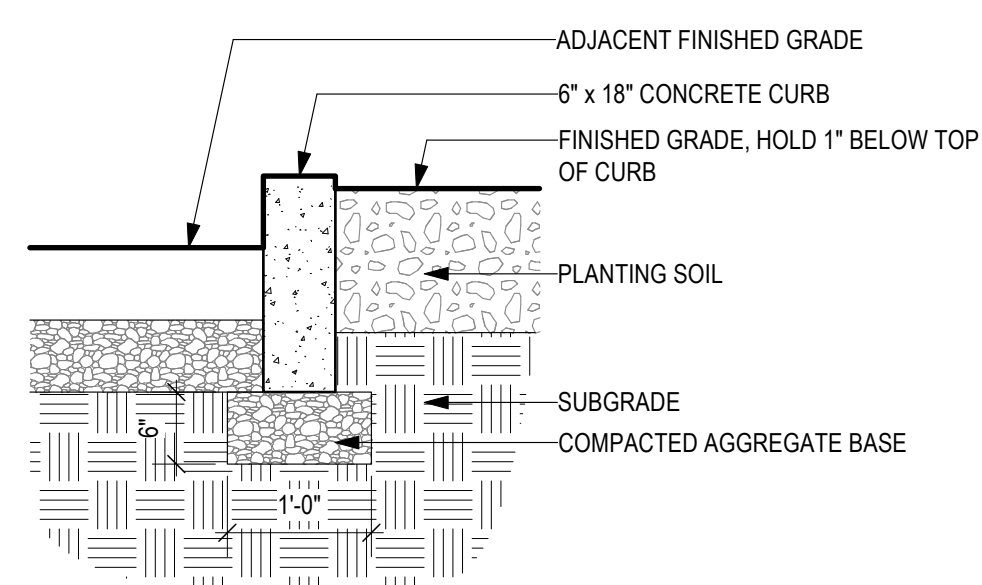
4 POURED IN PLACE SAFETY SURFACE  
 Scale: 1 1/2" = 1'-0"



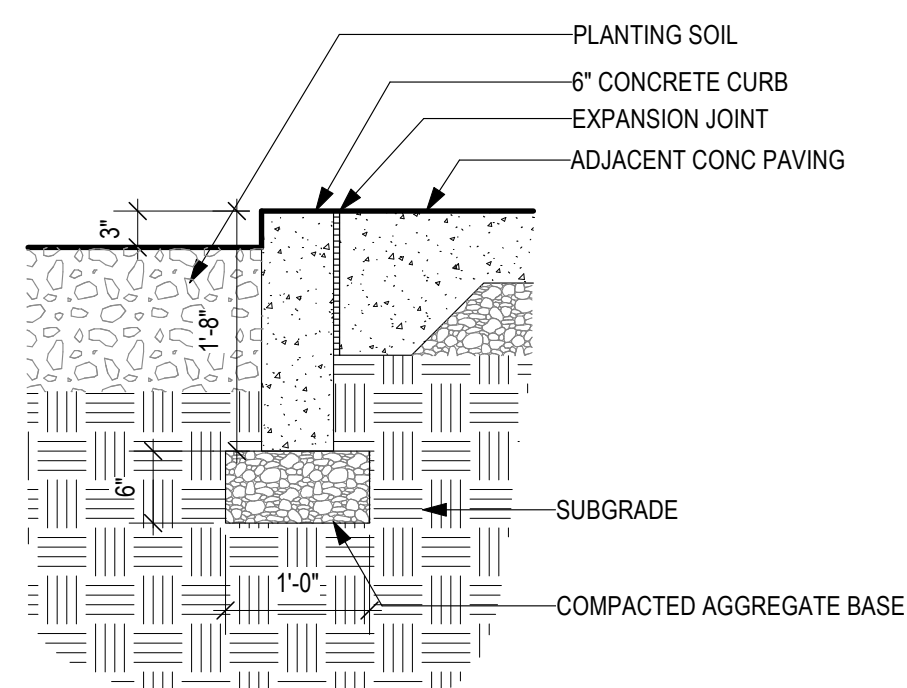
5 SAFETY SURFACE TO LAWN / PLANT BED TRANSITION  
 Scale: 1 1/2" = 1'-0"



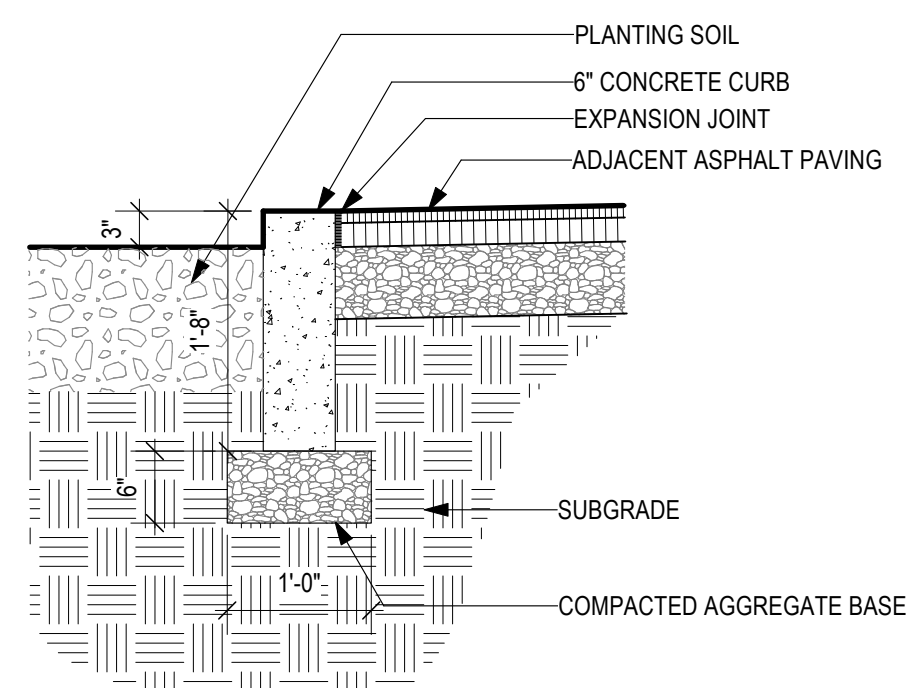
6 SAFETY SURFACE TO ADJACENT PAVING TRANSITION  
 Scale: 1 1/2" = 1'-0"



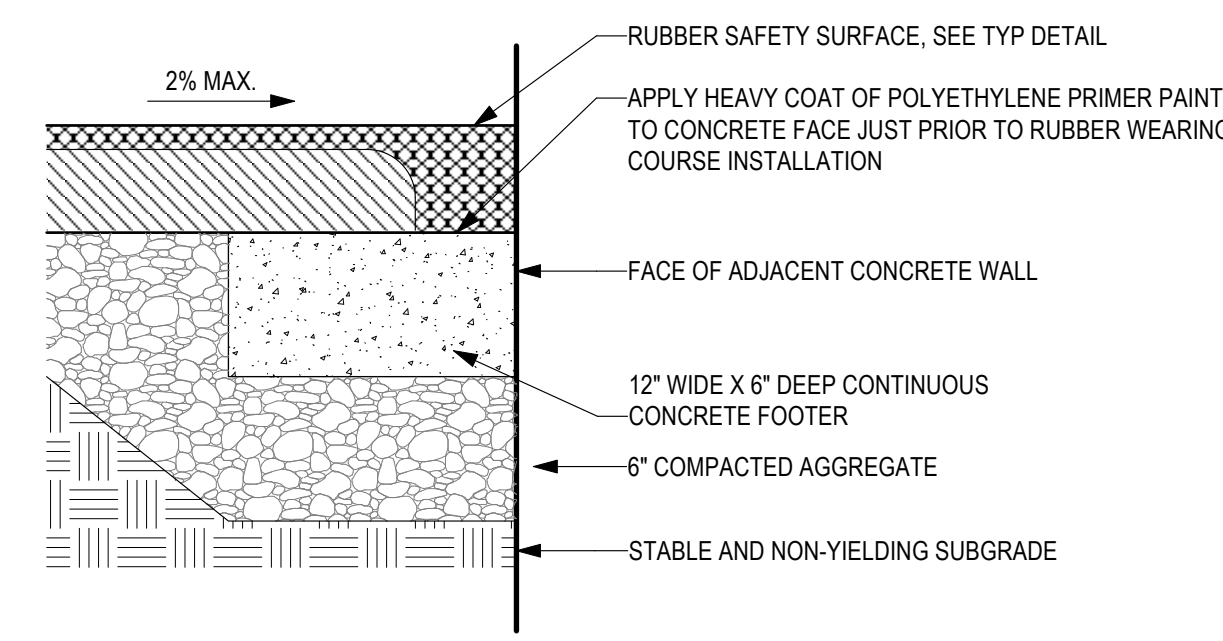
7 RAISED CONCRETE CURB AT PLANT BED  
 Scale: 3/4" = 1'-0"



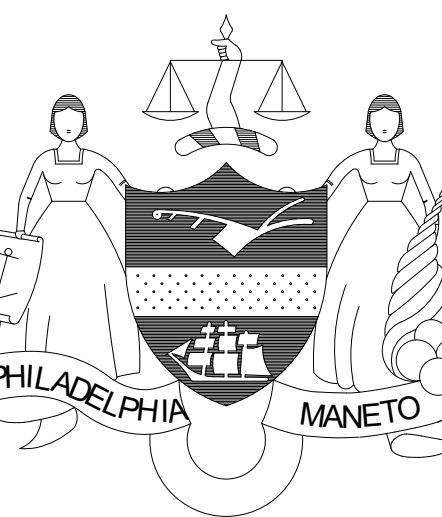
8 FLUSH CONCRETE CURB AT PLANT BED  
 Scale: 3/4" = 1'-0"



9 FLUSH CONCRETE CURB AT PLANT BED/ ASPHALT  
 Scale: 3/4" = 1'-0"



10 SAFETY SURFACE TO ADJACENT WALL TRANSITION  
 Scale: 1 1/2" = 1'-0"



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
 PRIYANKA MALIK

SEALS

SMPARCHITECTS

1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

MEP ENGINEER:  
 ARORA ENGINEERS  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

CIVIL ENGINEER:  
 KKS ENGINEERS, P.C.  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

LANDSCAPE ARCHITECTS  
 GROUND RECONSIDERED  
 915 Spring Garden Street, Suite 403  
 Philadelphia, Pennsylvania 19123  
 215 790 0727

COST CONSULTANT  
 DHARAM CONSULTING  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

STRUCTURAL ENGINEER  
 ANN ROTHMANN  
 STRUCTURAL ENGINEERING  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

CITY OF PHILADELPHIA  
 DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
 CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1

DRAWING TITLE  
 PAVING DETAILS

PROJECT NO.  
 16-21-7053-01

DATE  
 03/15/24

SCALE  
 Scale

DRAWN BY  
 SJE

CHECKED BY  
 JB

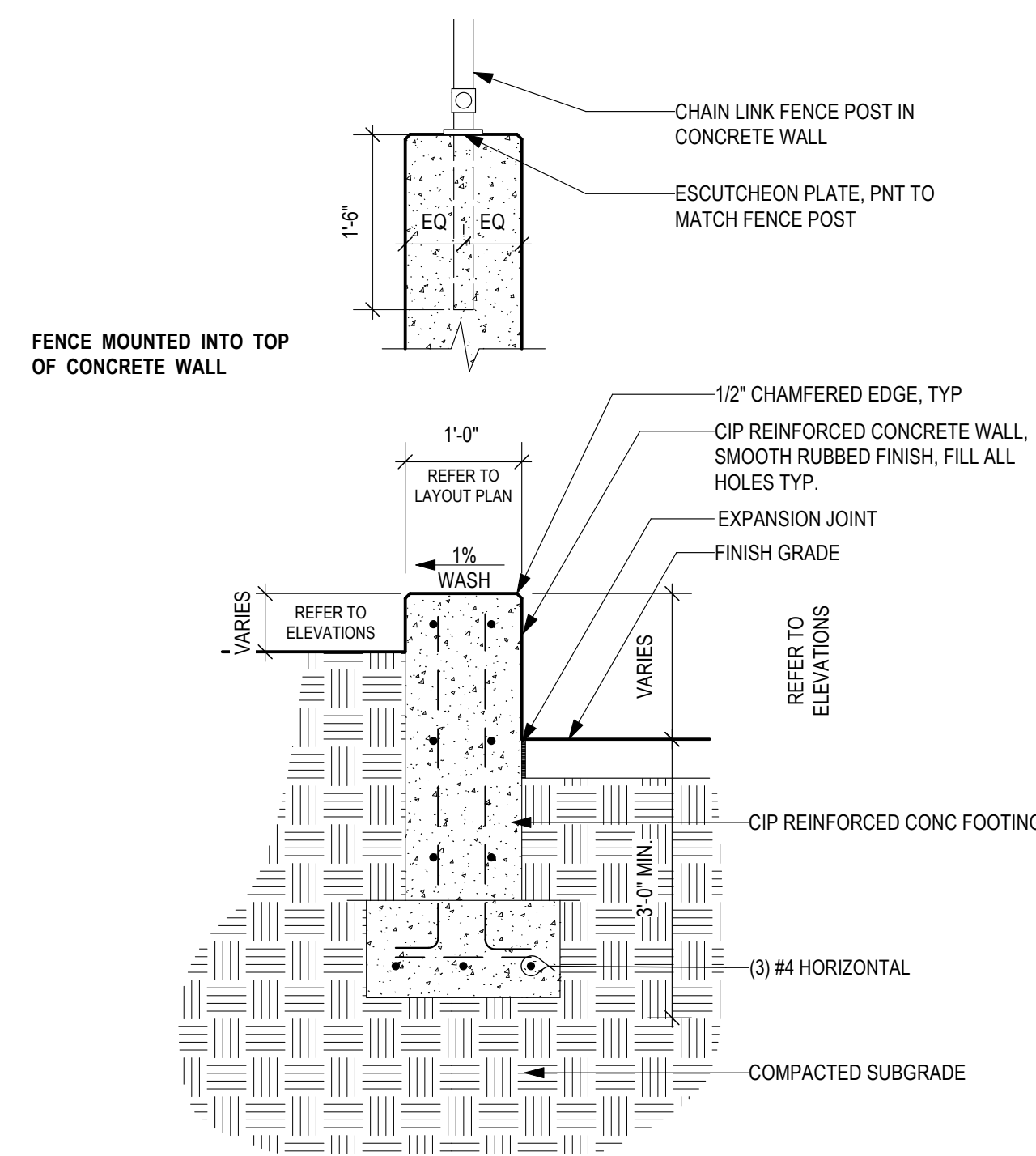
DRAWING NO.

L7.0(1)

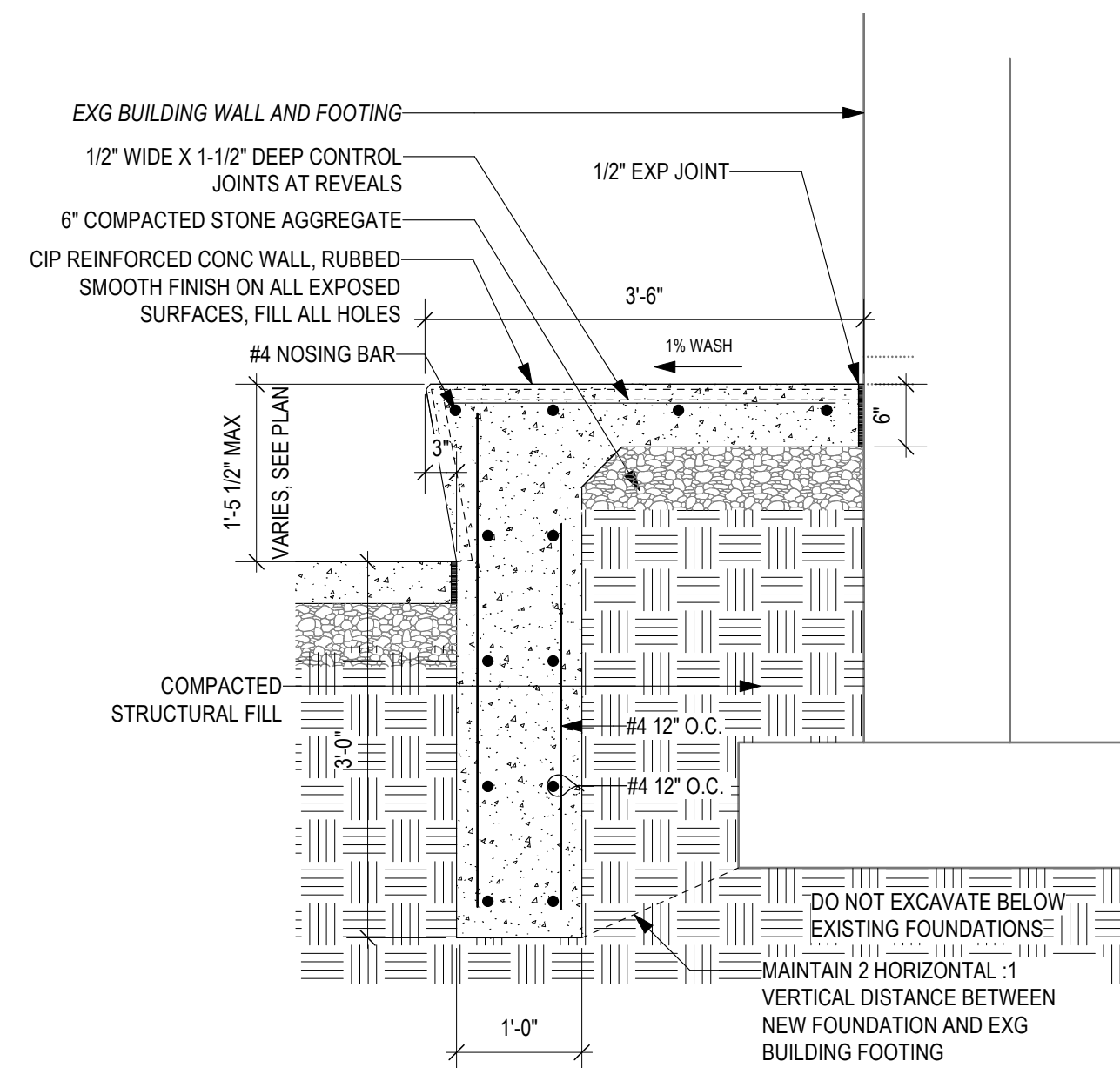
FILE



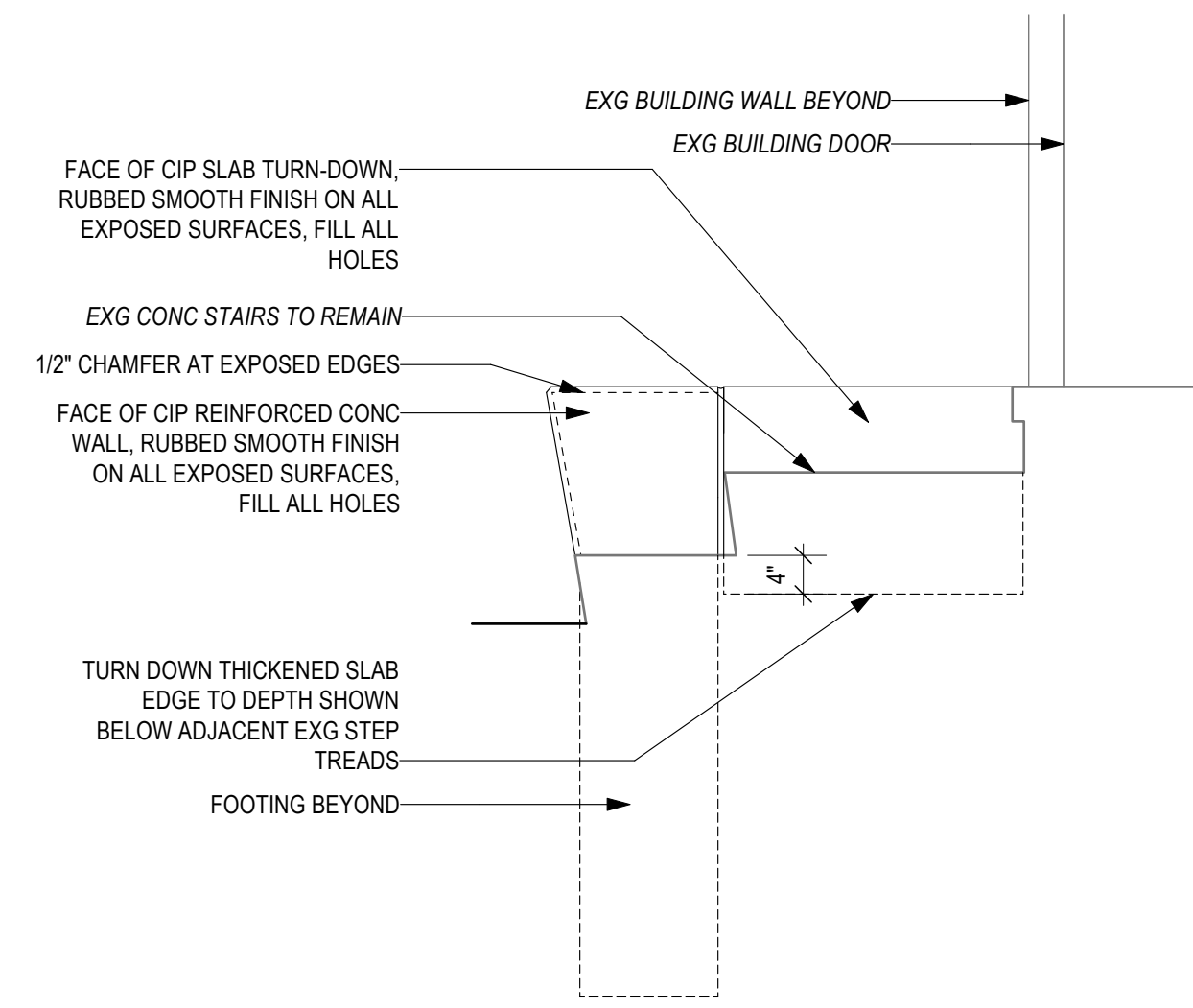
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



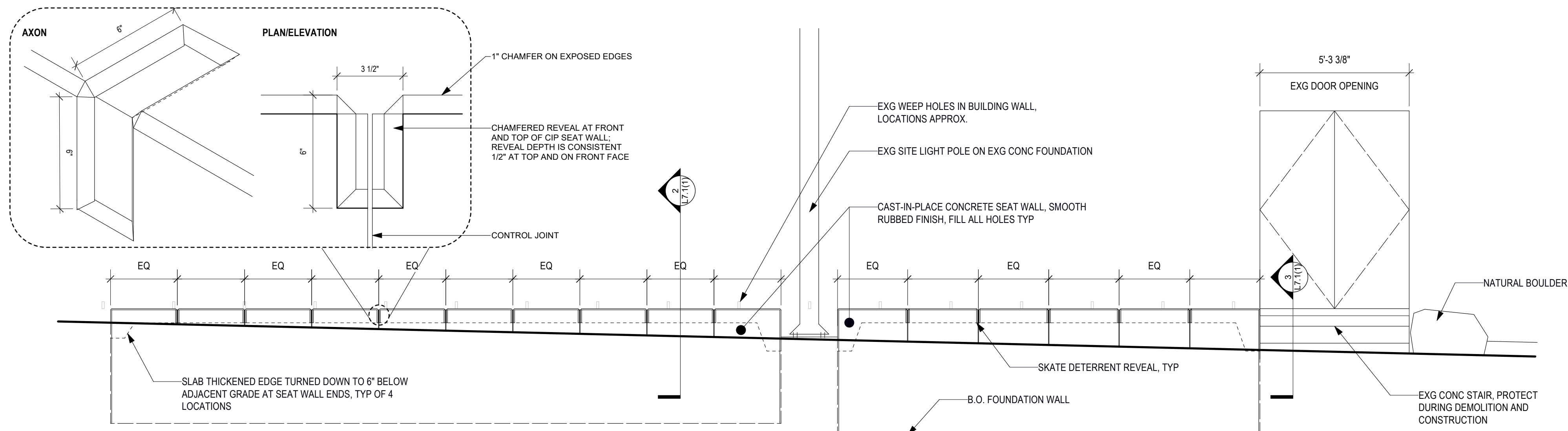
1 TYPICAL CONCRETE RETAINING WALL  
 L7.1(1) Scale: 3/4" = 1'-0"



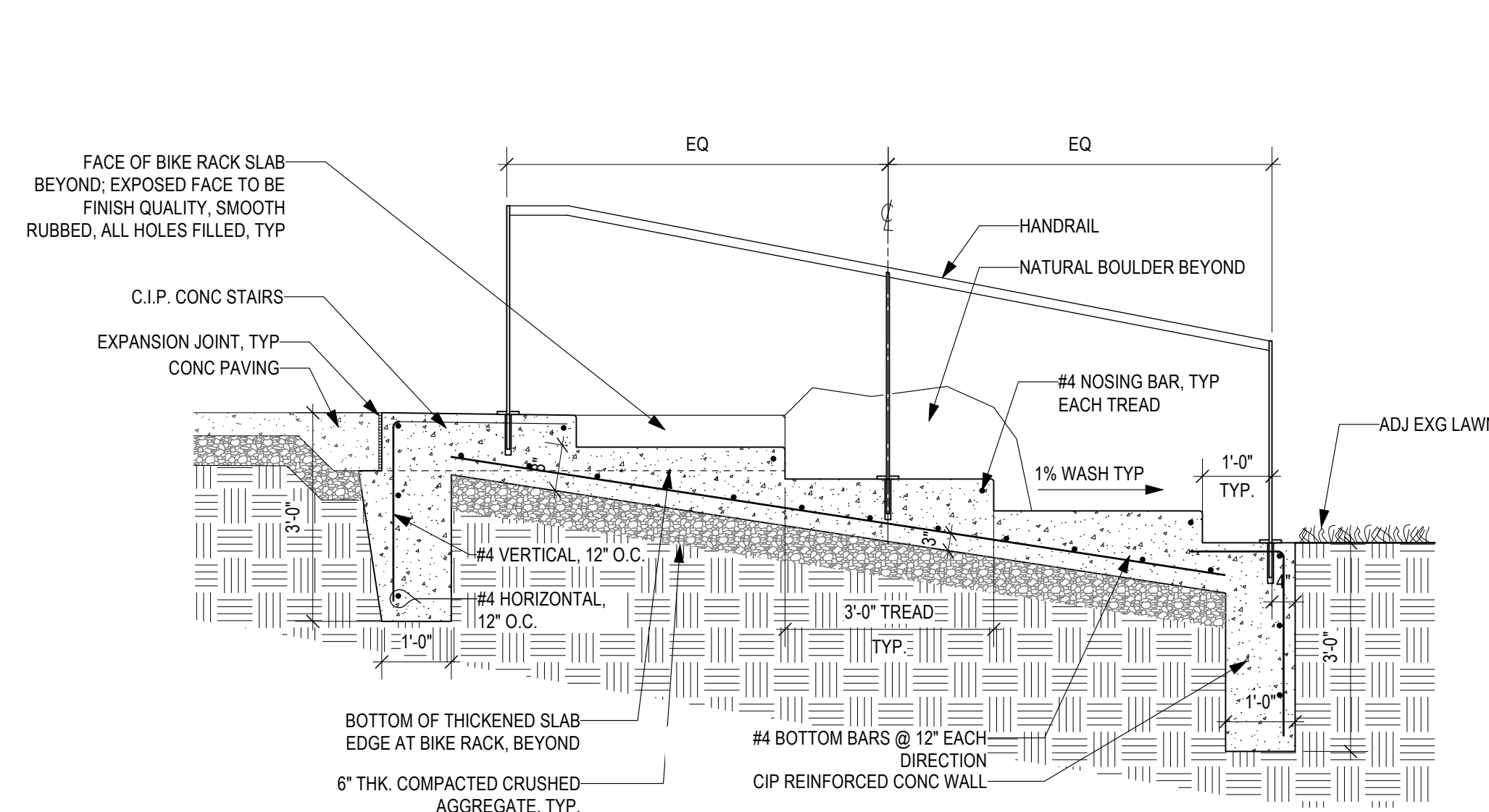
2 SEAT WALL AT SOUTH FACE OF GYM  
 L7.1(1) Scale: 3/4" = 1'-0"



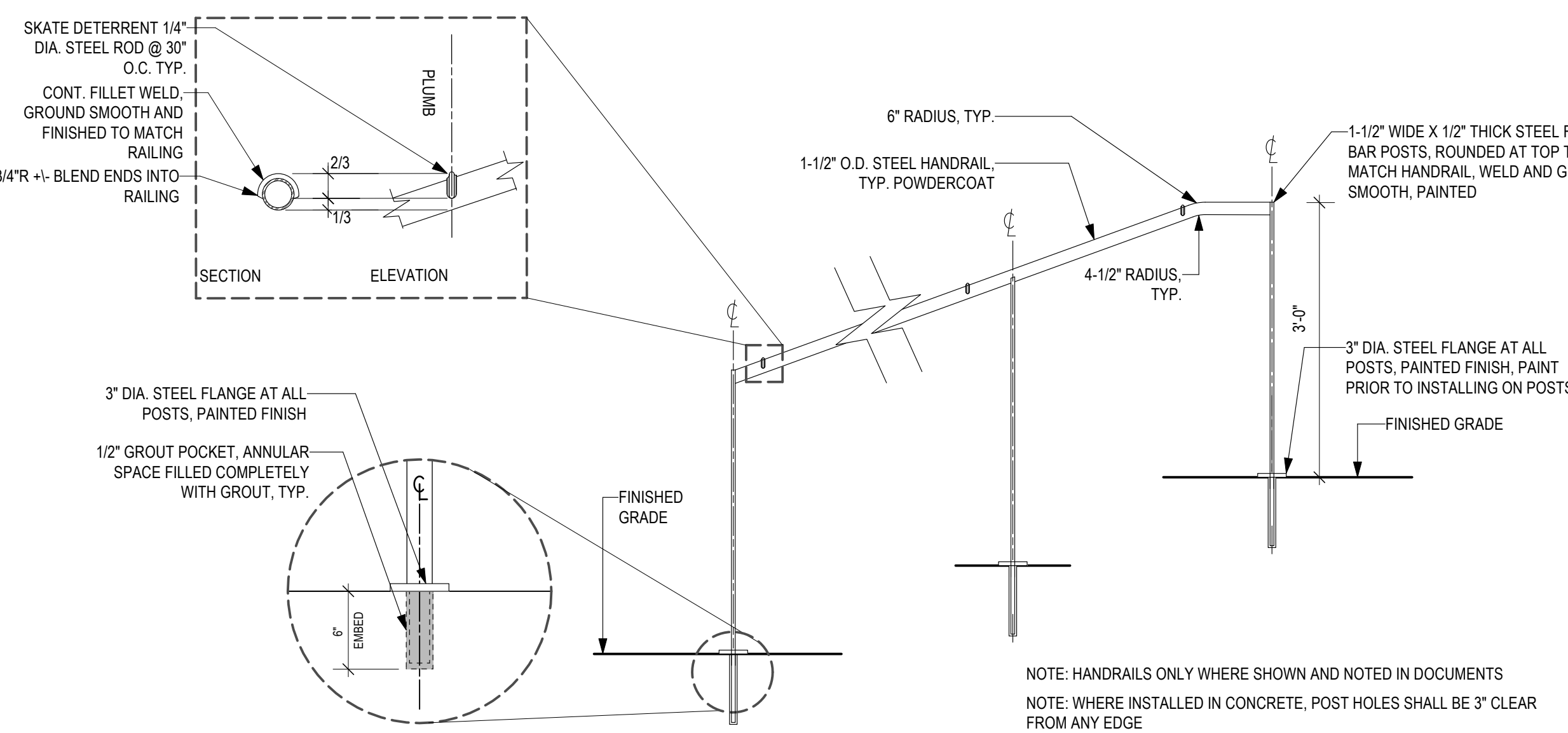
3 SEAT WALL ELEVATION AT EXG STAIRS  
 L7.1(1) Scale: 3/4" = 1'-0"



4 SEAT WALL ELEVATION AT SOUTH FACE OF GYM  
 L7.1(1) Scale: 3/8" = 1'-0"



5 EXTENDED STAIRS AT SPORTS FIELD GATE  
 L7.1(1) Scale: 1/2" = 1'-0"



6 TYPICAL PAINTED STEEL HANDRAIL  
 L7.1(1) Scale: 3/4" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

MEP ENGINEER  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

CIVIL ENGINEER  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
 915 Spring Garden Street, Suite 403  
 Philadelphia, Pennsylvania 19123  
 215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

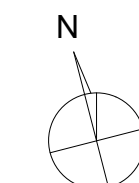
STRUCTURAL ENGINEER  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

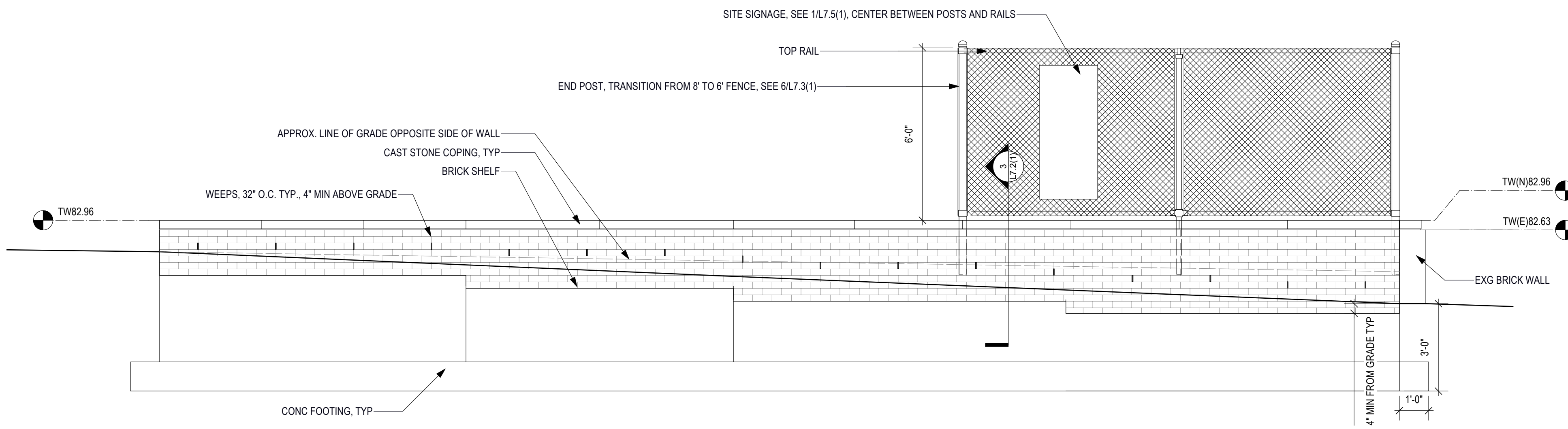
**CITY OF PHILADELPHIA**  
 DEPARTMENT OF PARKS & RECREATION  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

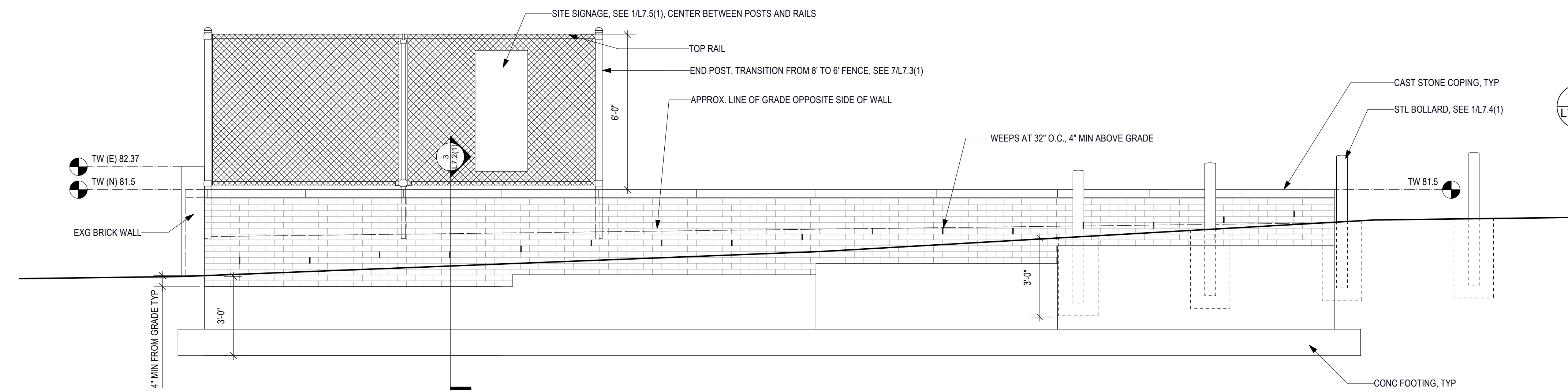
DRAWING TITLE  
**WALL, STAIR AND RAMP DETAILS**

PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L7.1(1)</b>
DATE 03/15/24	SCALE Scale
DRAWN BY SJE	CHECKED BY JB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	

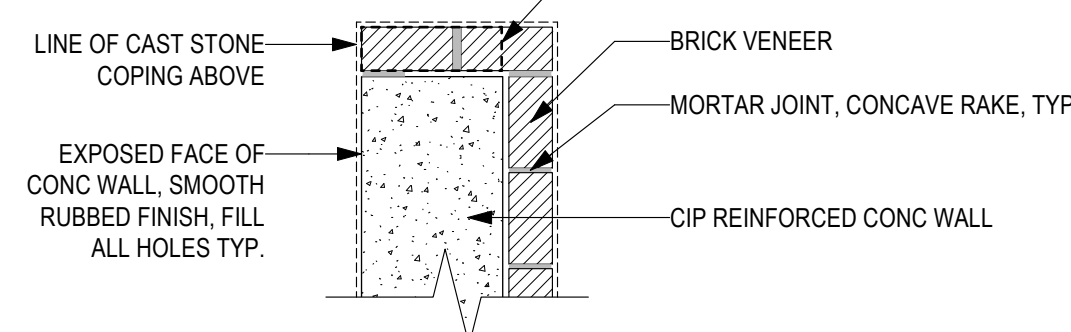
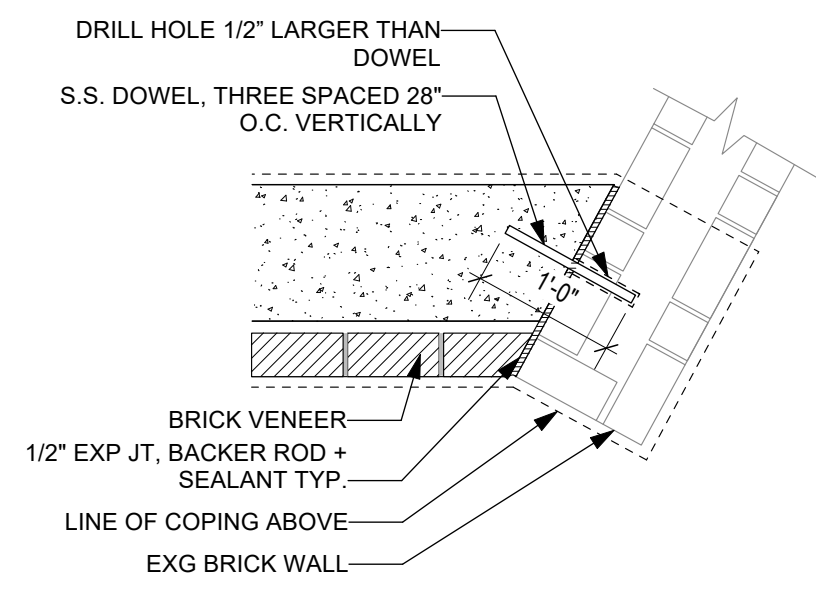




**1 WEST CHRISTIAN ST ENTRY WALL ELEVATION LOOKING EAST - FLATTENED**  
 Scale: 3/8" = 1'-0"

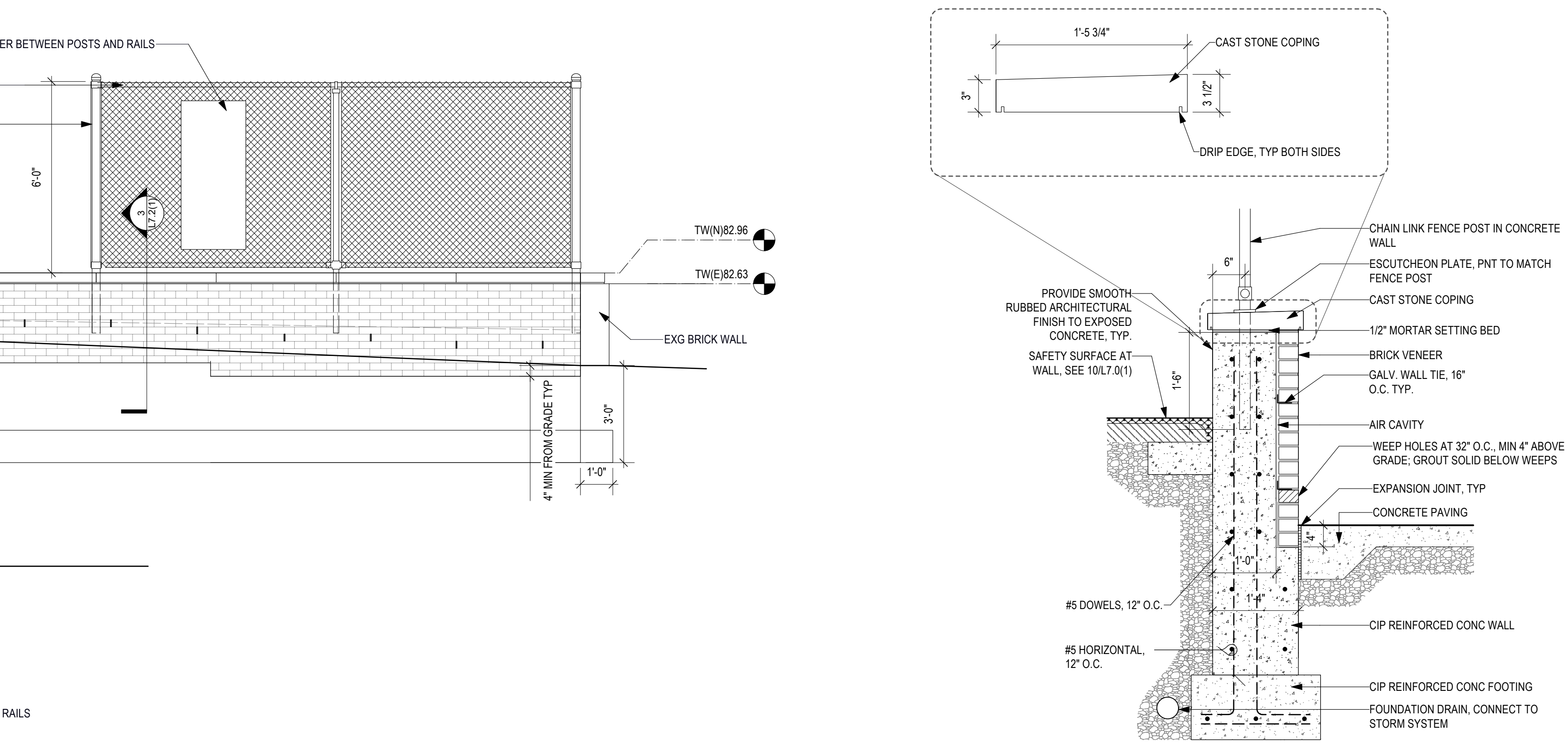


**2 EAST CHRISTIAN ST ENTRY WALL ELEVATION LOOKING WEST - FLATTENED**  
 Scale: 3/8" = 1'-0"

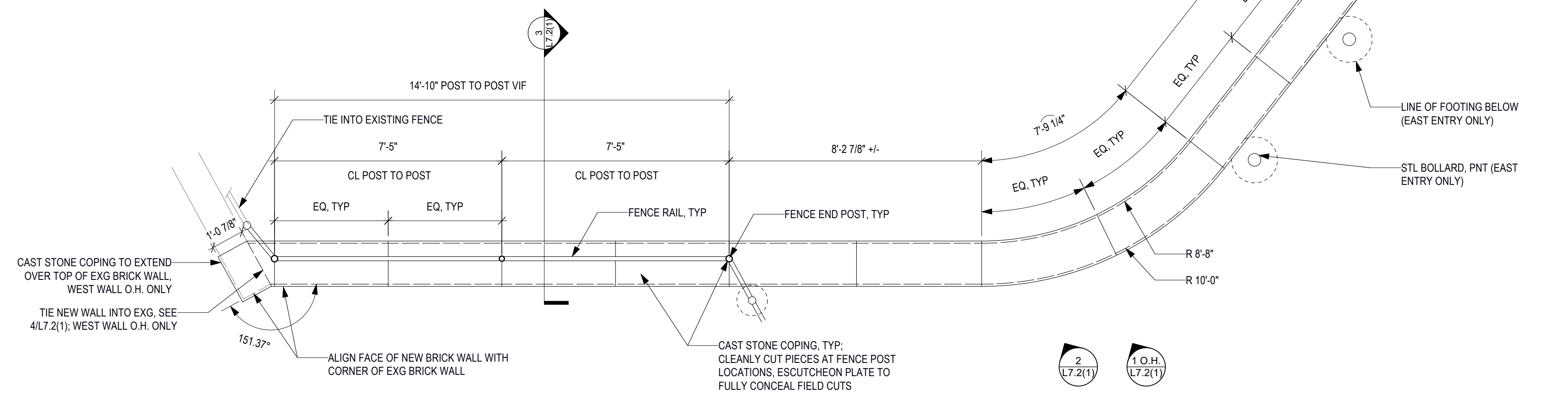


**4 PLAN DETAIL - NEW WALL TO EXG**  
 Scale: 3/4" = 1'-0"

**5 PLAN DETAIL - BRICK VENEER TERMINATION**  
 Scale: 3/4" = 1'-0"



**3 BRICK VENEER RETAINING WALL**  
 Scale: 3/4" = 1'-0"



**6 CHRISTIAN ST EAST ENTRY WALL - ENLARGED PLAN (WEST WALL O.H.)**  
 Scale: 3/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 915 Spring Garden Street, Suite 403  
 Philadelphia, Pennsylvania 19123  
 215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

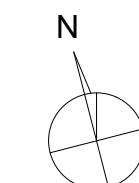
**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

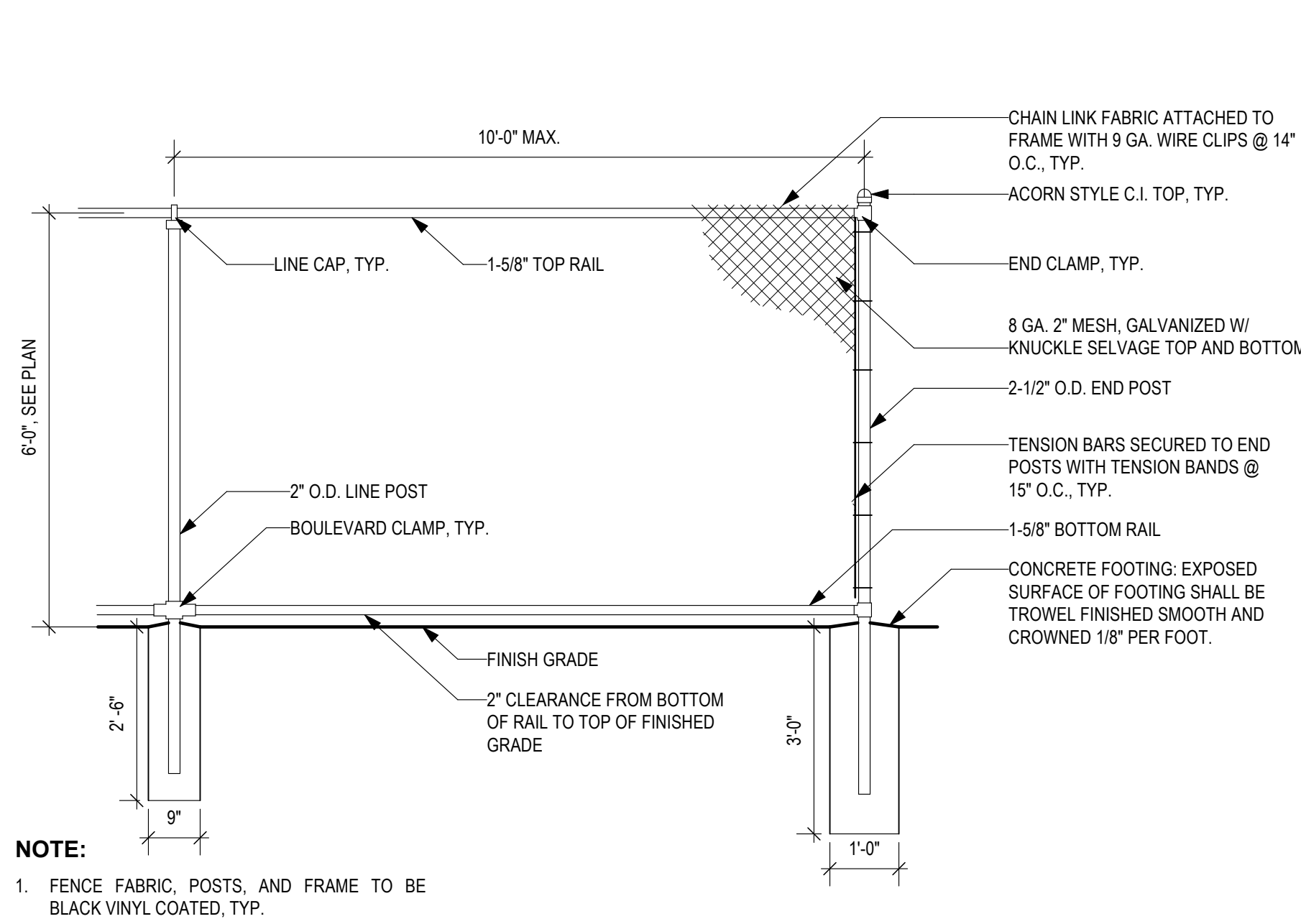
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

DRAWING TITLE  
**WALL, STAIR, AND RAMP DETAILS**

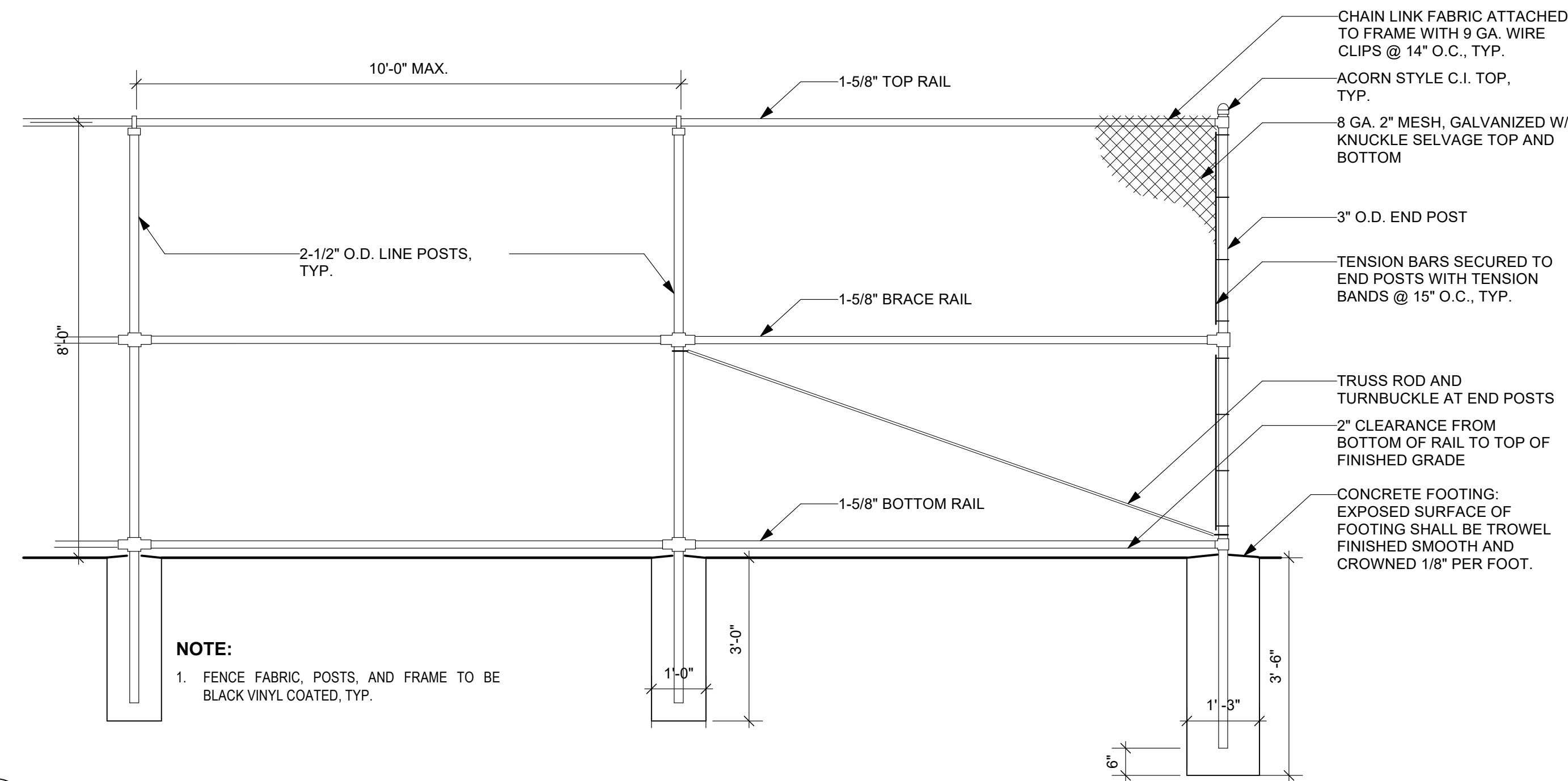
PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L7.2(1)</b>
DATE 03/15/24	SCALE Scale
DRAWN BY SJE	CHECKED BY JB
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK	





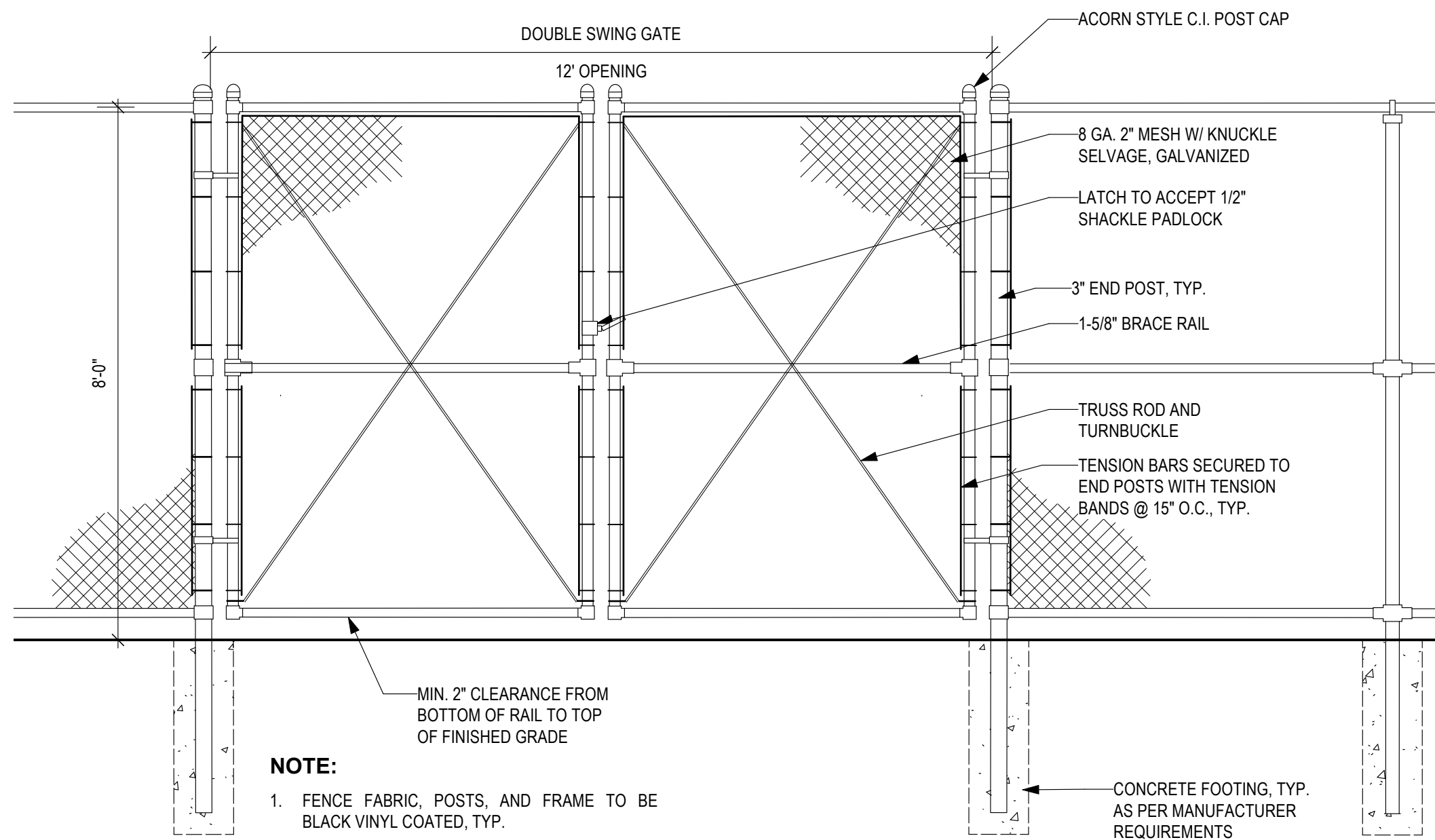
**NOTE:**  
1. FENCE FABRIC, POSTS, AND FRAME TO BE BLACK VINYL COATED, TYP.

**1** TYP CHAIN LINK FENCE - 6'-0"  
L7.3(1) Scale: 1/2" = 1'-0"



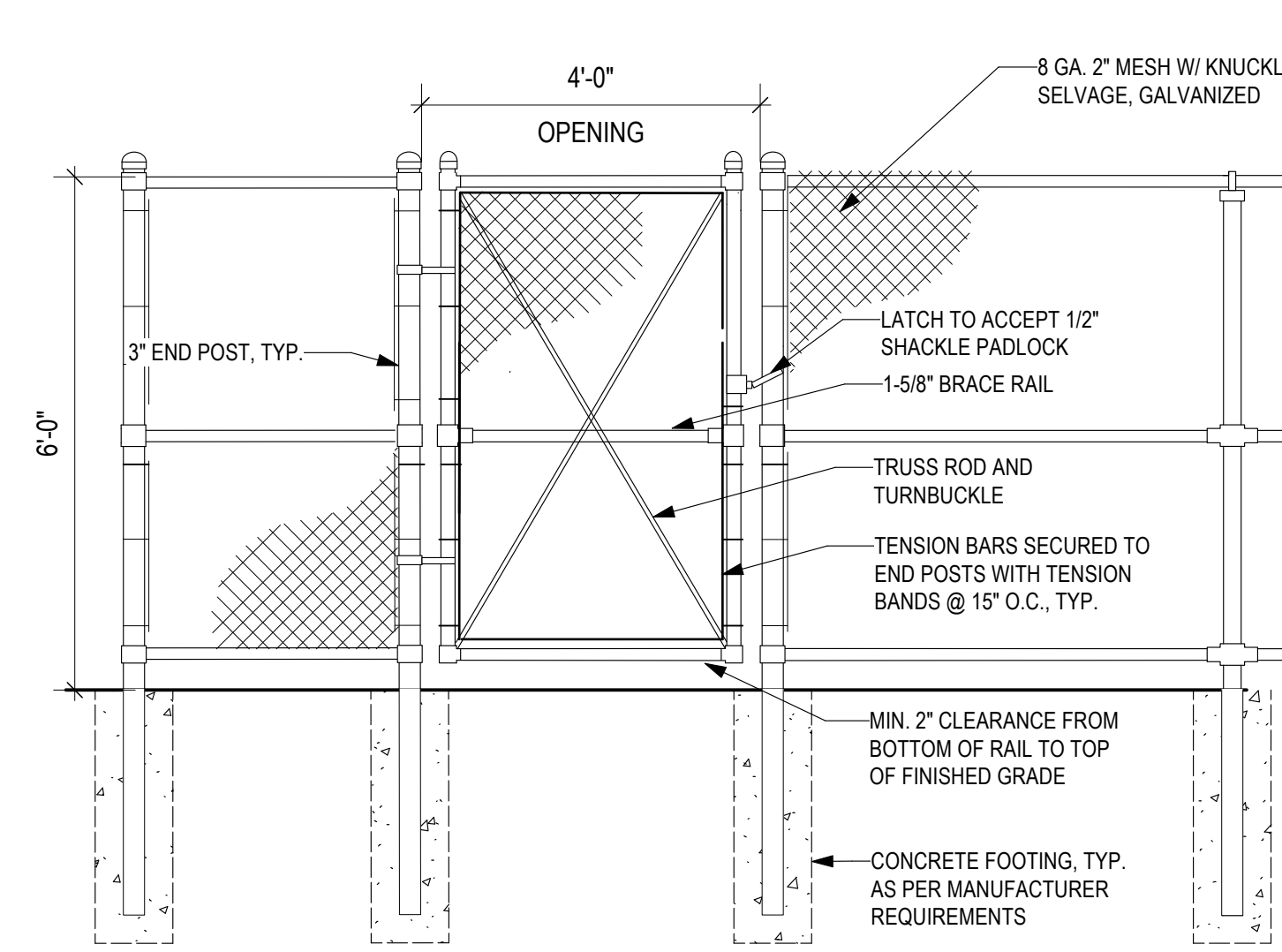
**NOTE:**  
1. FENCE FABRIC, POSTS, AND FRAME TO BE BLACK VINYL COATED, TYP.

**2** TYP CHAIN LINK FENCE - 8'-0"  
L7.3(1) Scale: 1/2" = 1'-0"



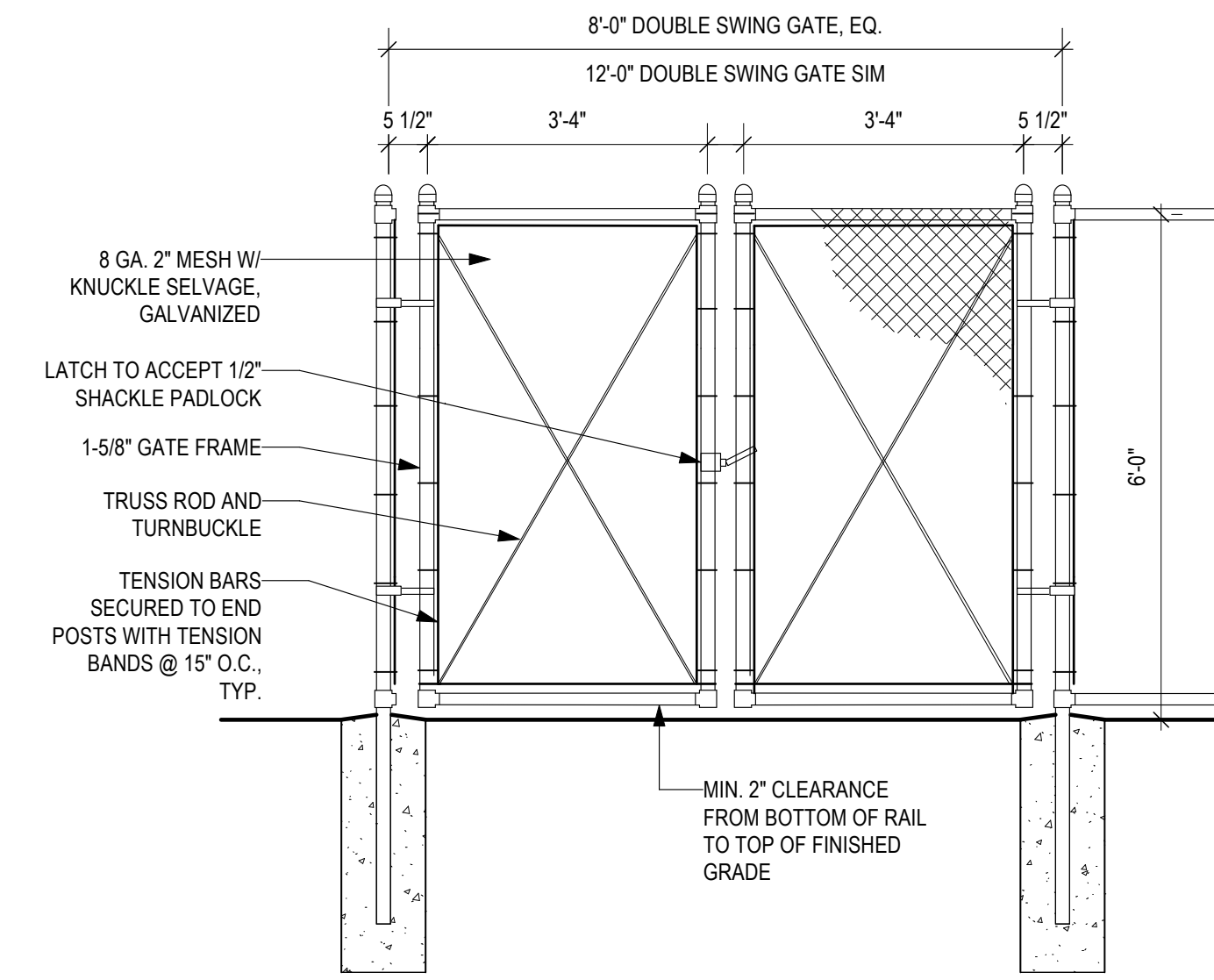
**NOTE:**  
1. FENCE FABRIC, POSTS, AND FRAME TO BE BLACK VINYL COATED, TYP.

**3** 12' WIDE DOUBLE GATE IN 8' FENCE  
L7.3(1) Scale: 1/2" = 1'-0"



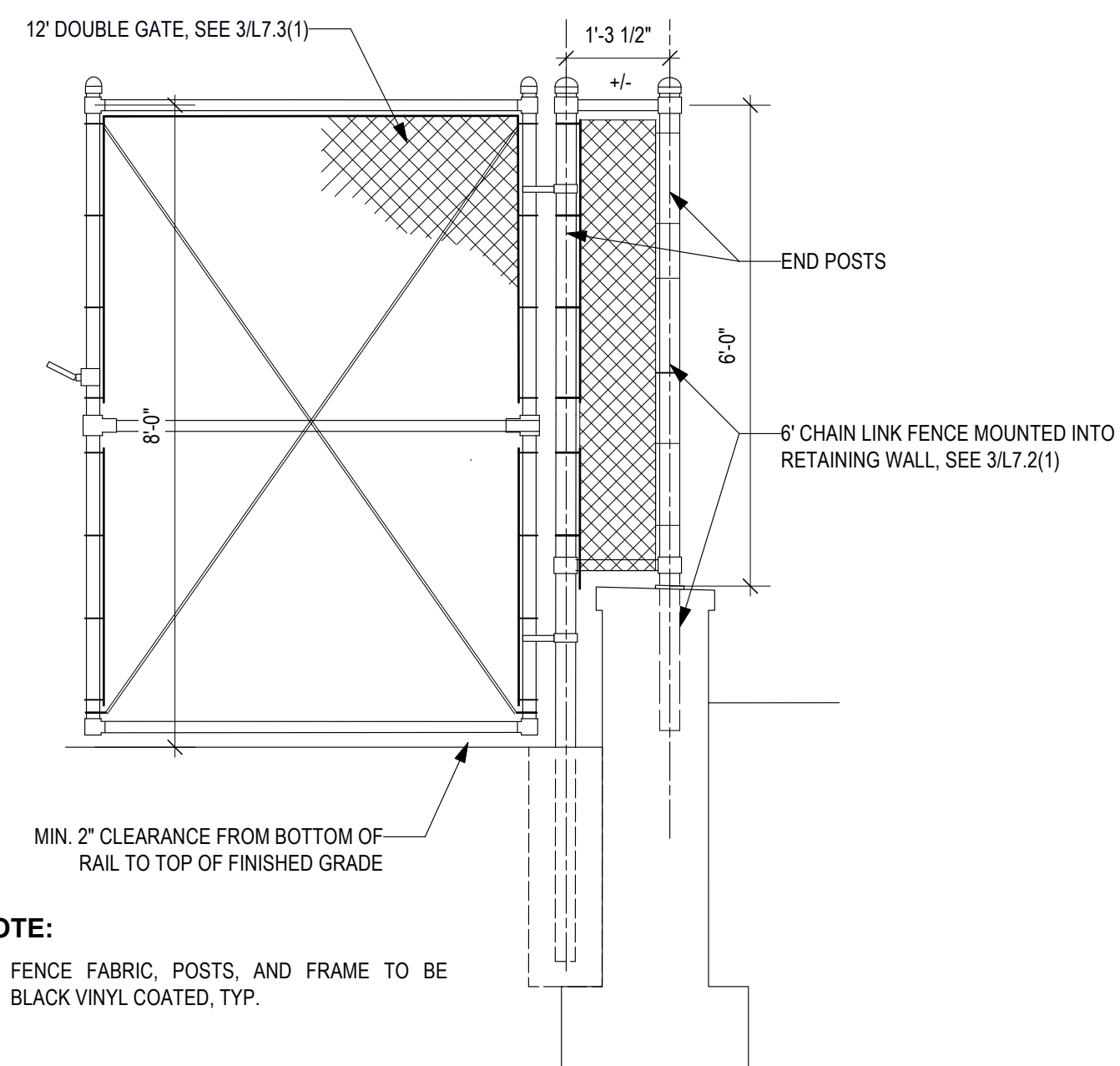
**NOTE:**  
1. FENCE FABRIC, POSTS, AND FRAME TO BE BLACK VINYL COATED, TYP.

**4** 4' WIDE SINGLE GATE IN 6' FENCE  
L7.3(1) Scale: 1/2" = 1'-0"



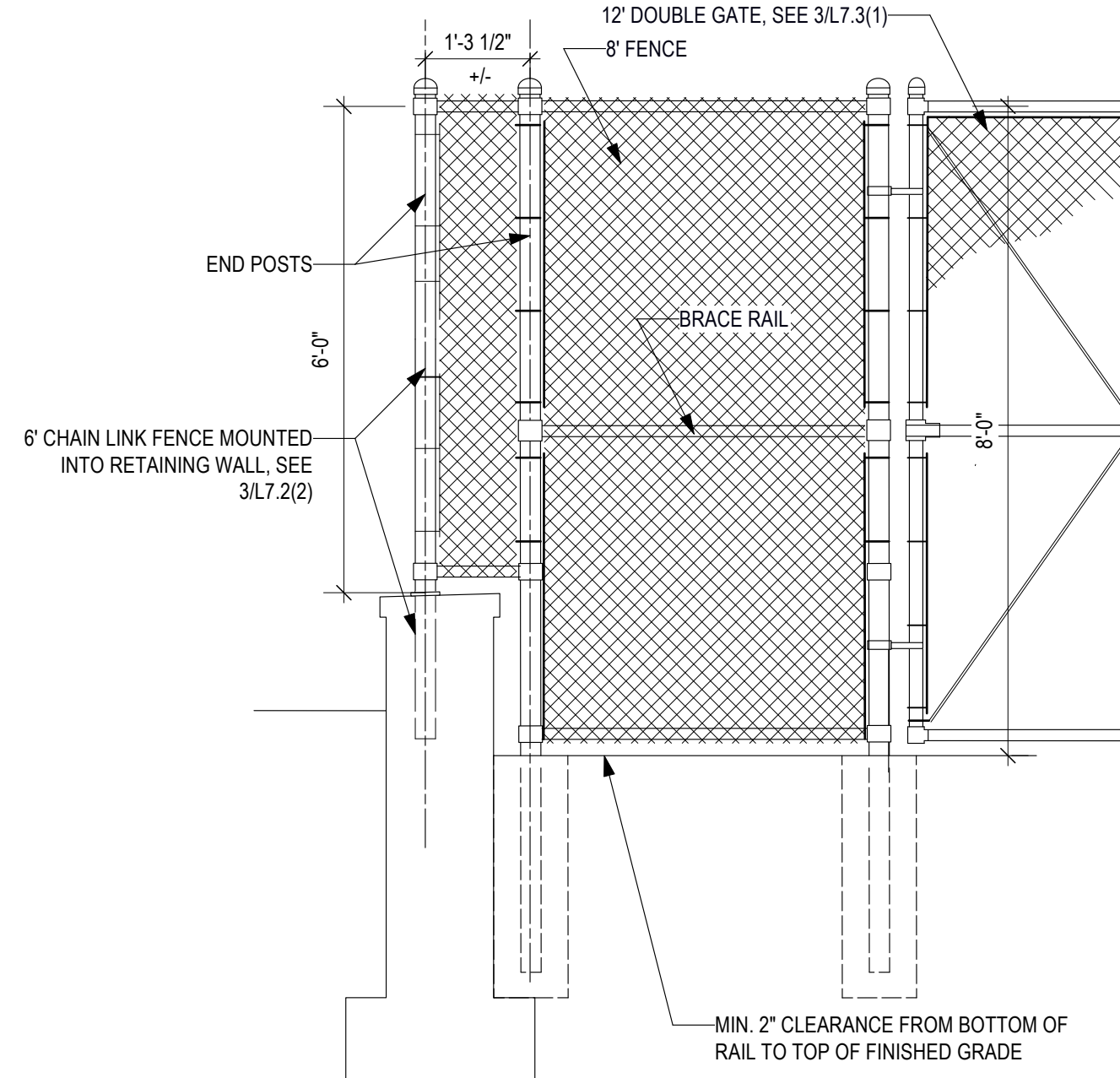
**NOTE:**  
1. PROVIDE ADDITIONAL SUPPORT AND REINFORCING AS NECESSARY FOR 12' WIDE DOUBLE GATE  
2. FENCE FABRIC, POSTS, AND FRAME TO BE BLACK VINYL COATED, TYP.

**5** 8' + 12' WIDE DOUBLE GATE IN 6' FENCE  
L7.3(1) Scale: 1/2" = 1'-0"



**NOTE:**  
1. FENCE FABRIC, POSTS, AND FRAME TO BE BLACK VINYL COATED, TYP.

**6** CHAIN LINK GATE/FENCE TRANSITION - WEST CHRISTIAN ST BRICK WAL  
L7.3(1) Scale: 1/2" = 1'-0"



**7** CHAIN LINK GATE/FENCE TRANSITION - EAST CHRISTIAN ST BRICK WALL  
L7.3(1) Scale: 1/2" = 1'-0"

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
915 Spring Garden Street, Suite 403  
Philadelphia, Pennsylvania 19123  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**CITY OF PHILADELPHIA**  
DEPARTMENT OF PARKS & RECREATION

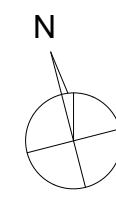
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

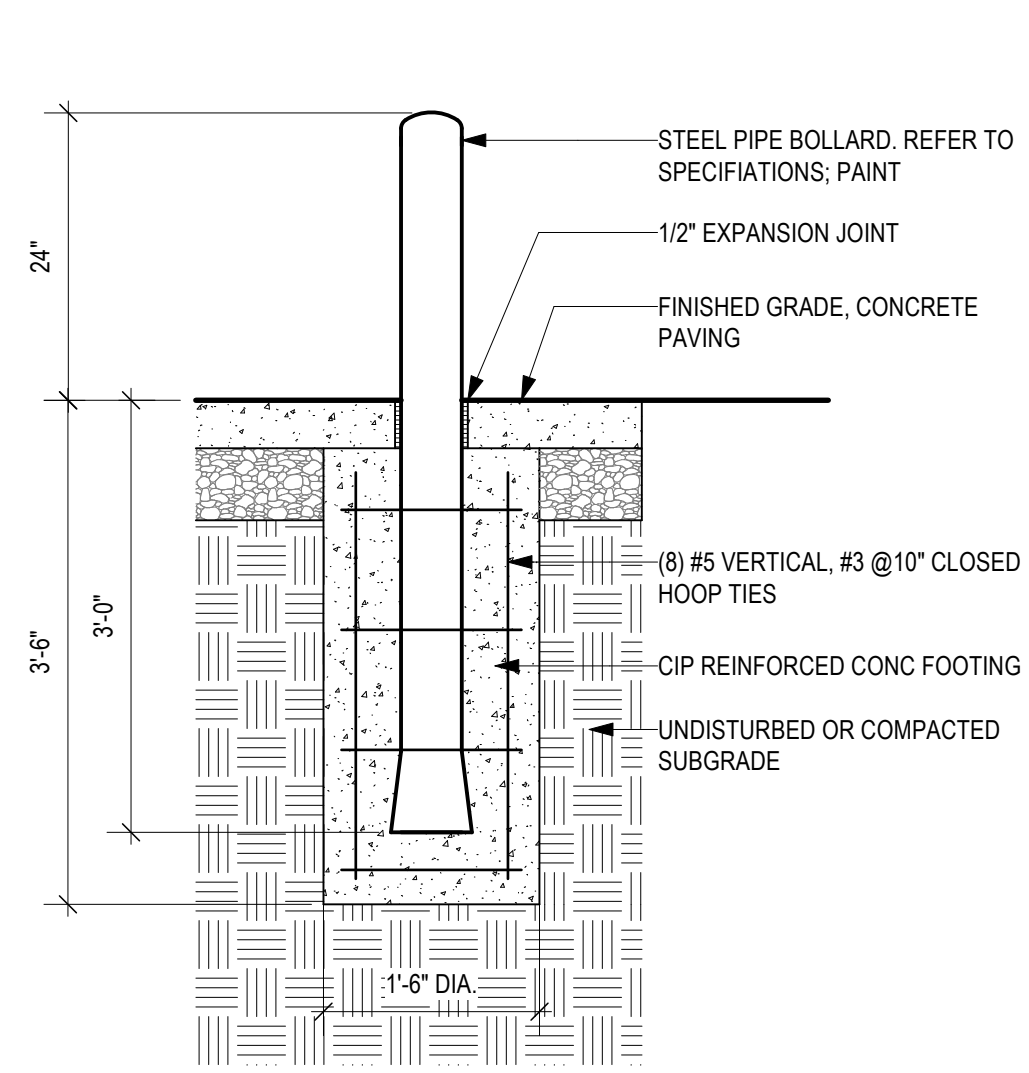
PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**FENCE DETAILS**

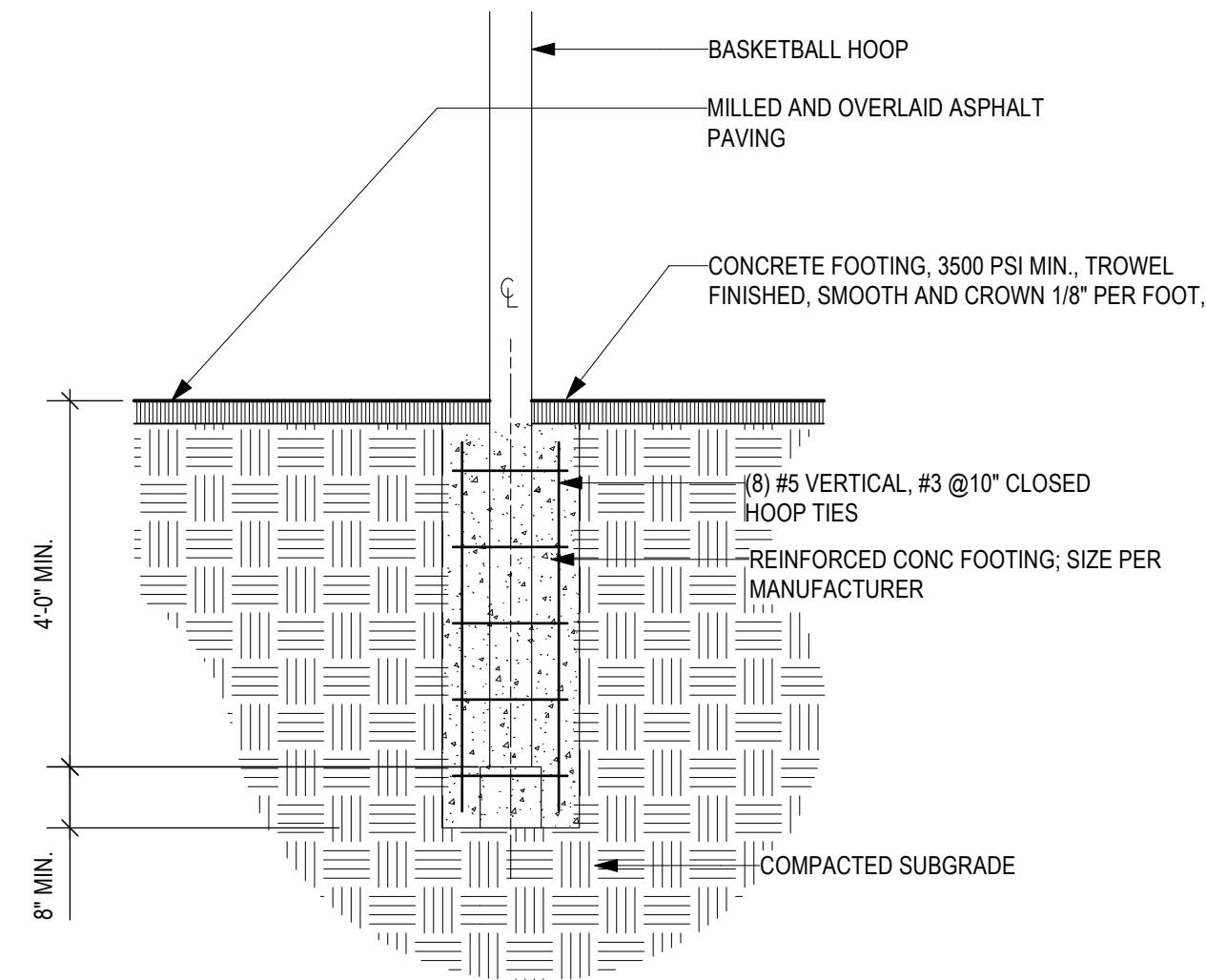
PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L7.3(1)</b>
DATE 03/15/24	
SCALE Scale	
DRAWN BY SJE	
CHECKED BY JB	

**NOTE:** ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

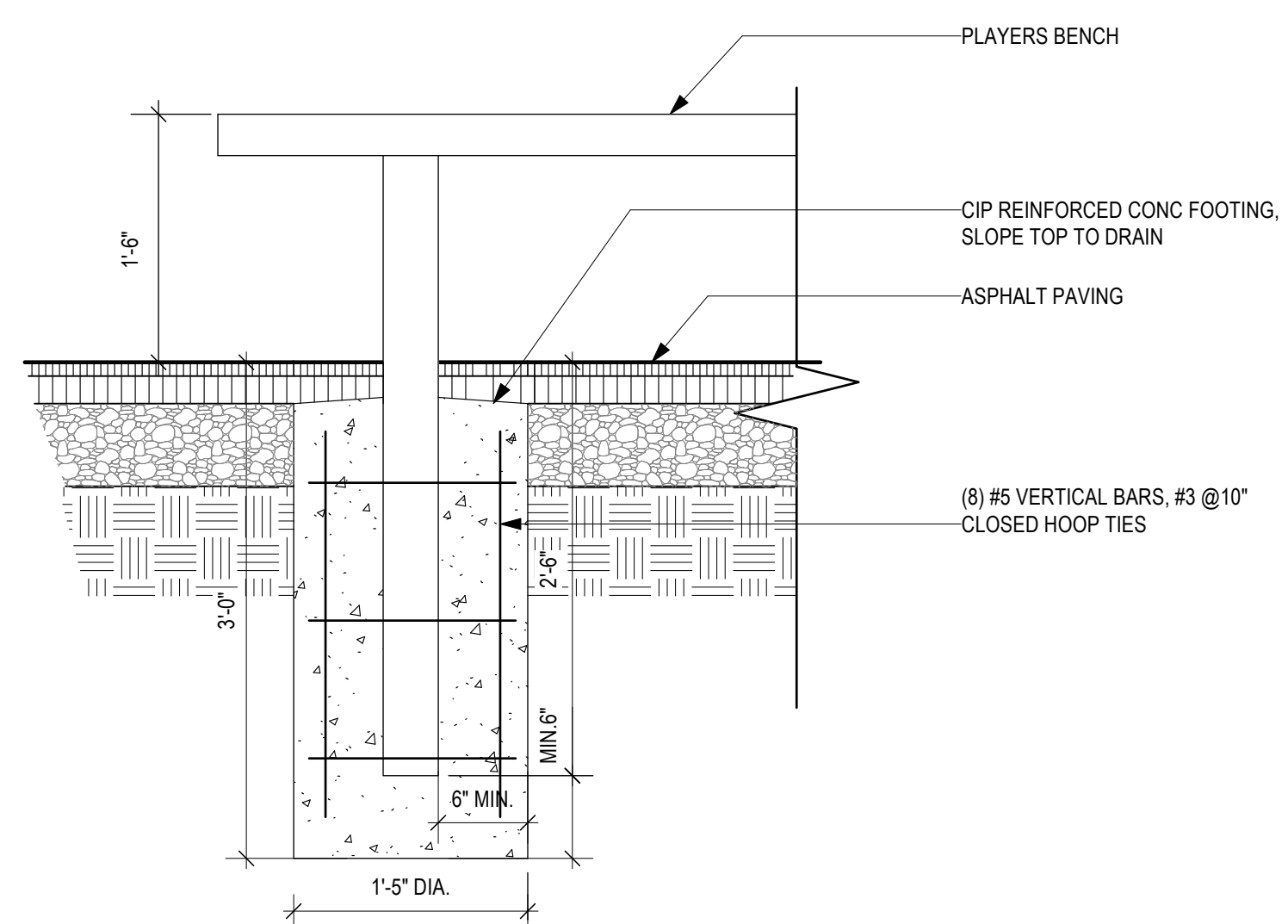




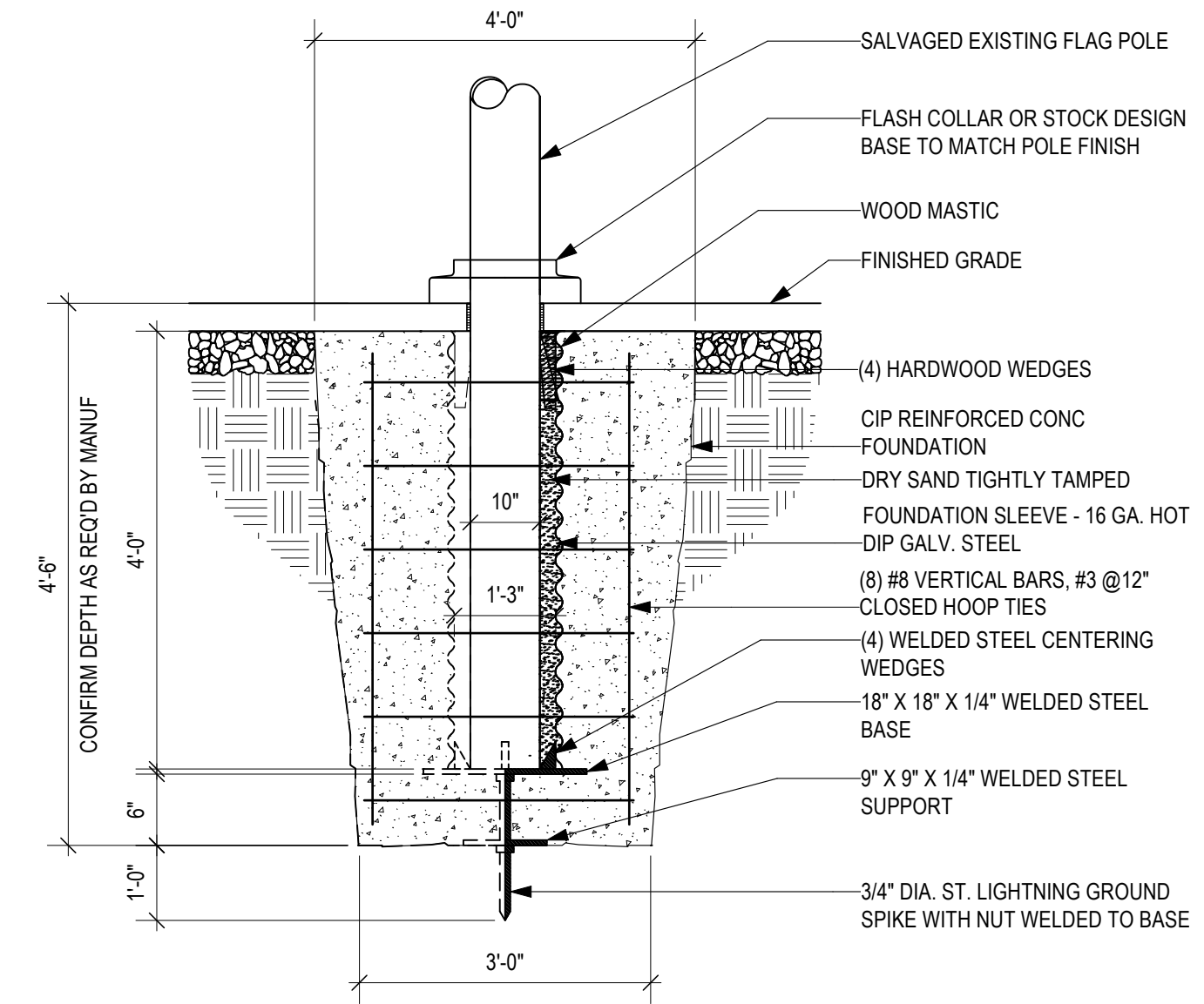
1 BOLLARD, TYP  
Scale: 3/4" = 1'-0"



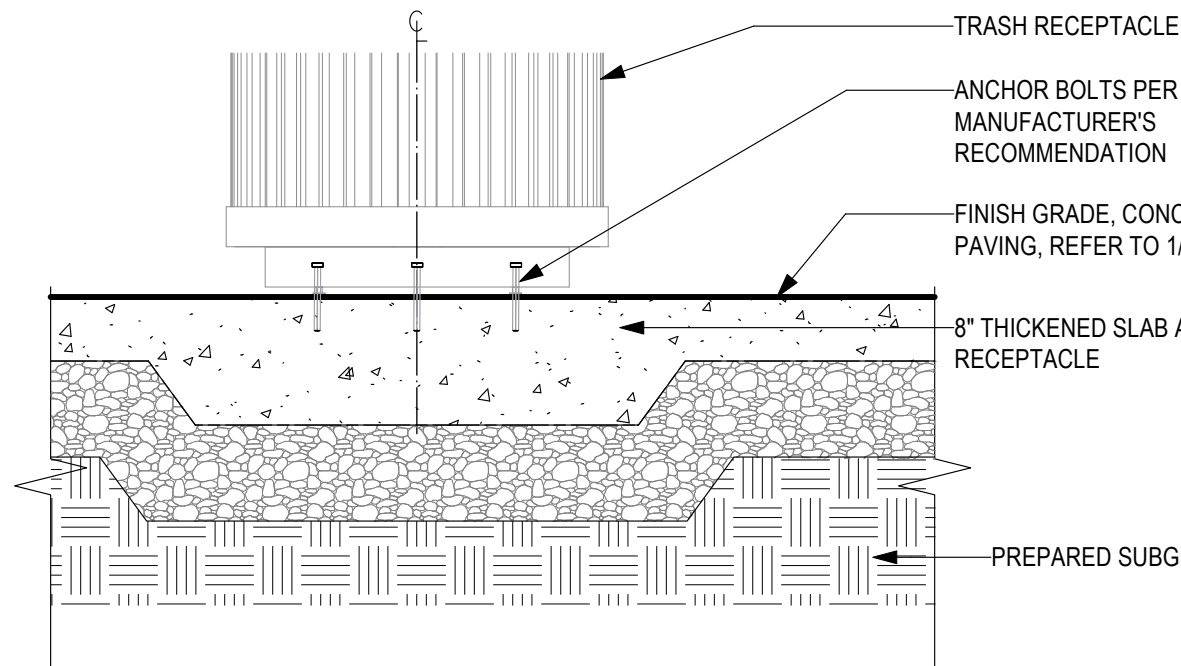
2 BASKETBALL HOOP FOUNDATION  
Scale: 1/2" = 1'-0"



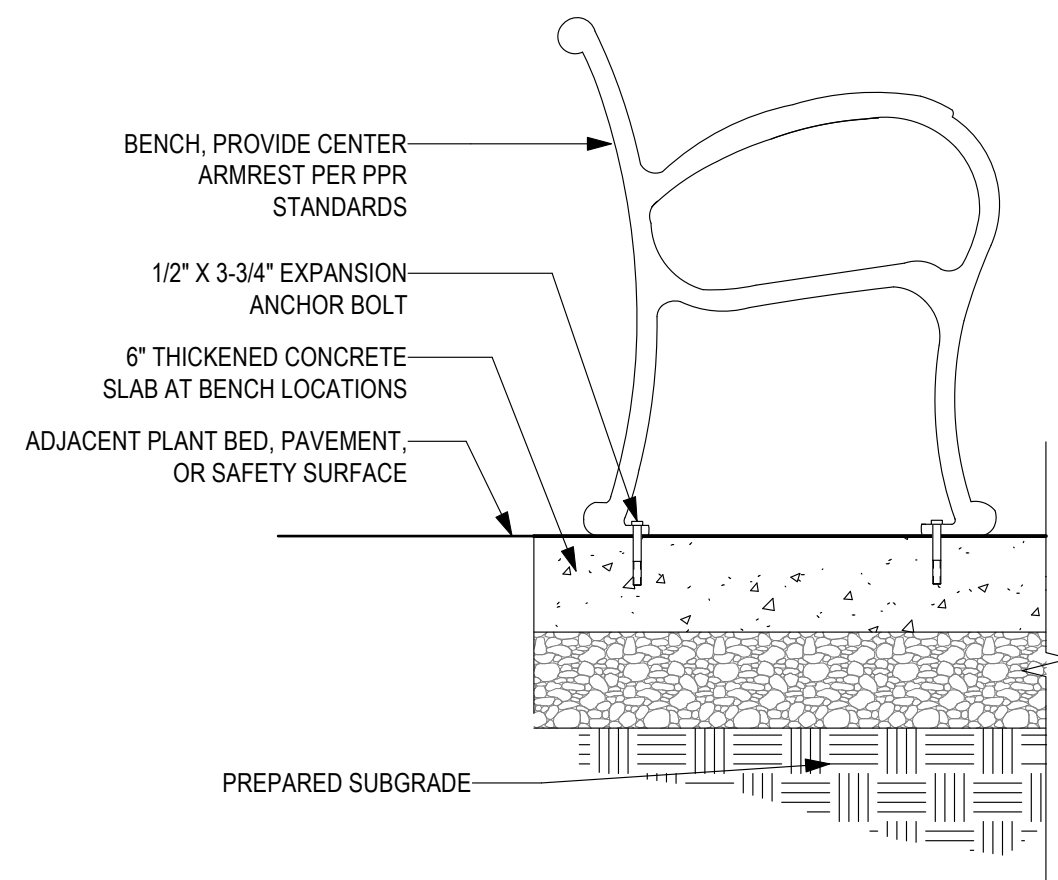
3 PLAYERS BENCH, TYP  
Scale: 1" = 1'-0"



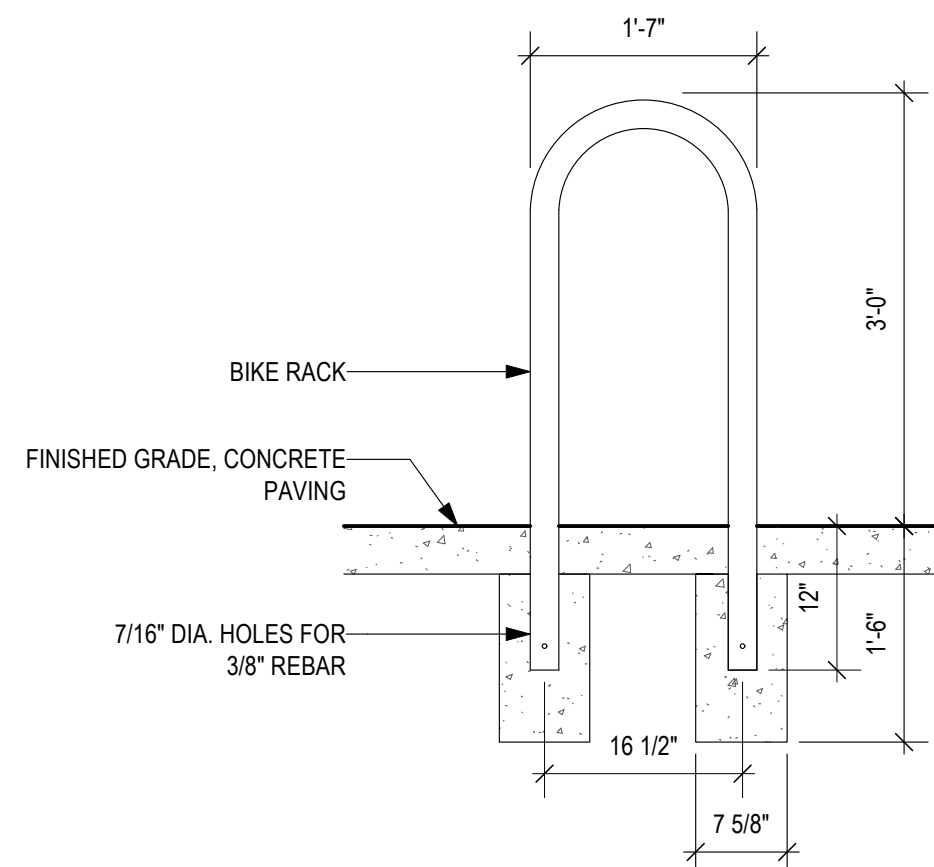
4 FLAGPOLE  
Scale: 1/2" = 1'-0"



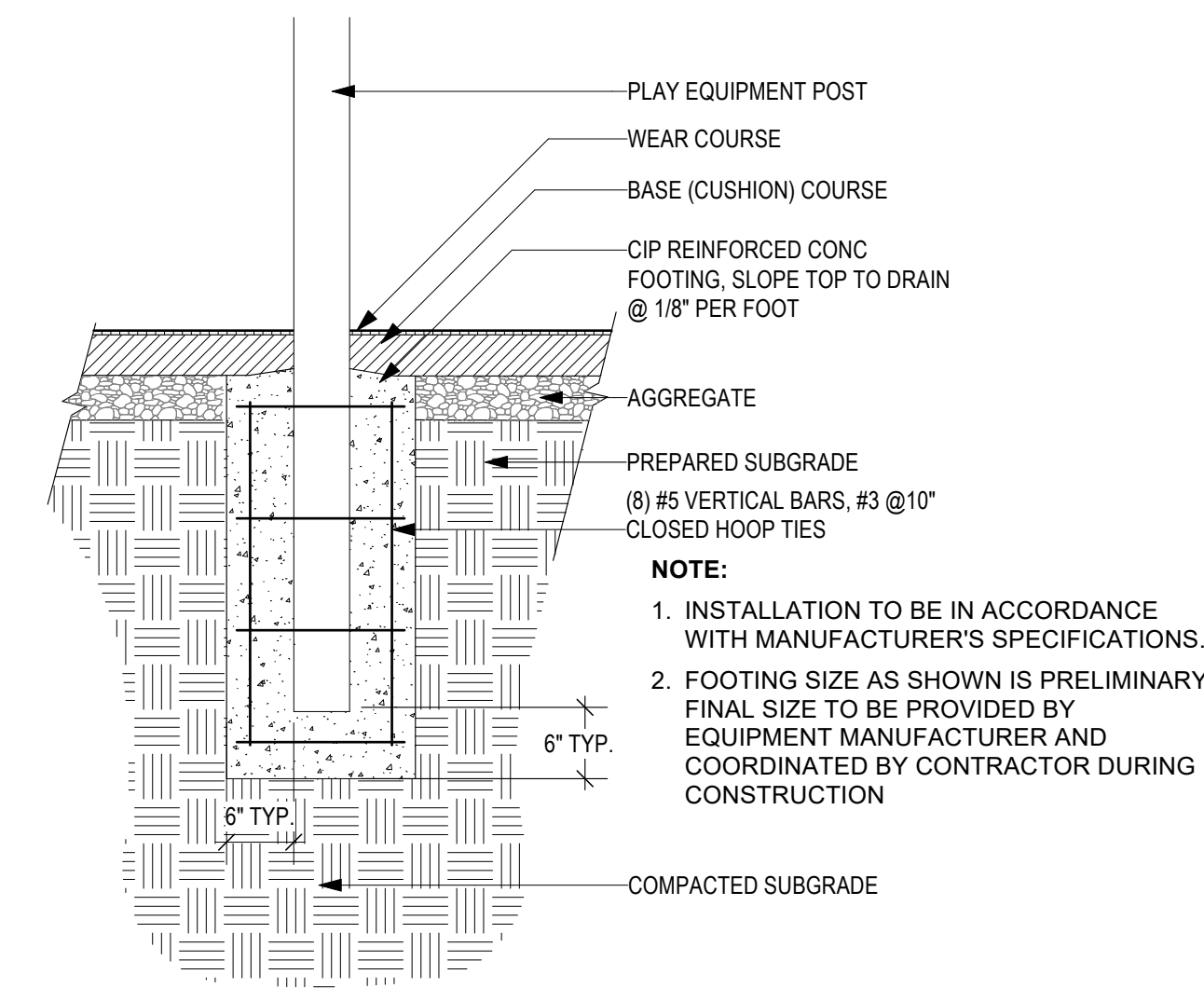
5 TRASH RECEPTACLE  
Scale: 1" = 1'-0"



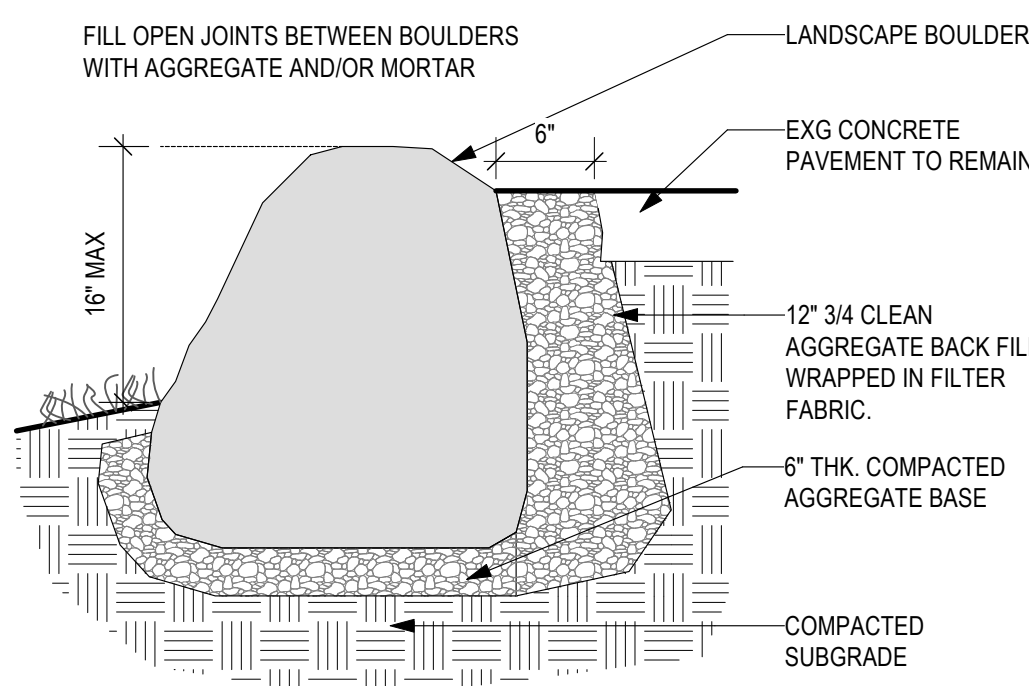
6 BENCH MOUNTING TYP  
Scale: 1" = 1'-0"



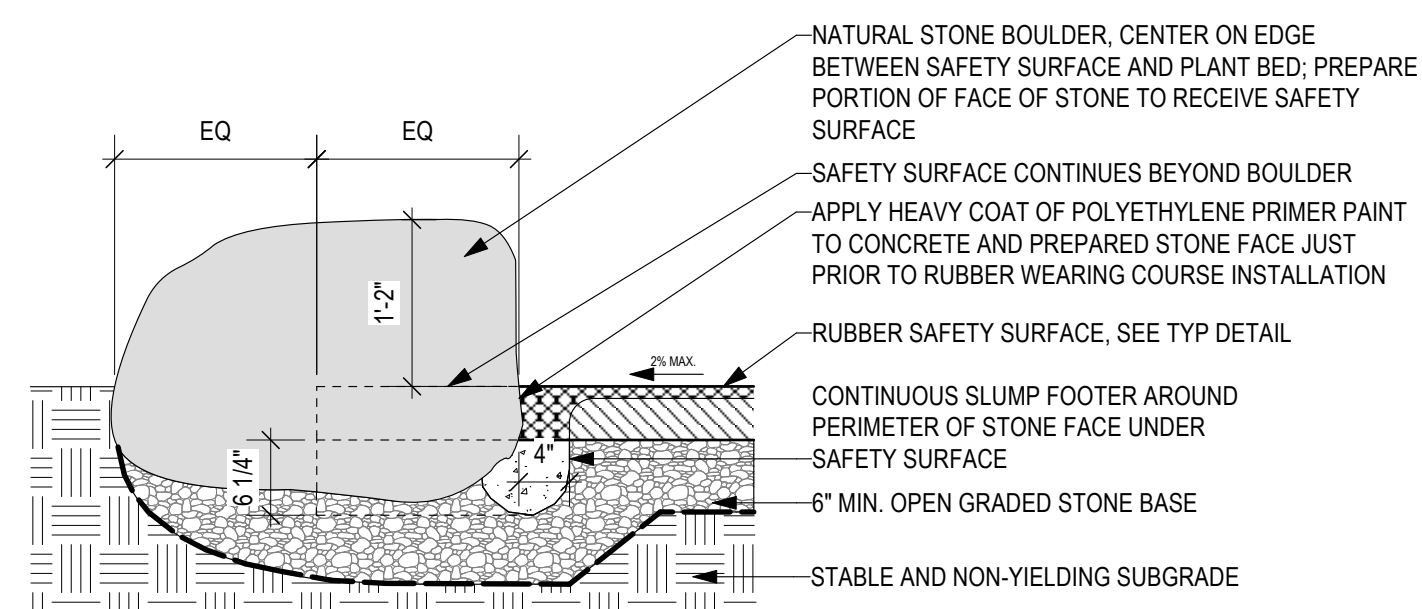
7 BIKE RACK  
Scale: 3/4" = 1'-0"



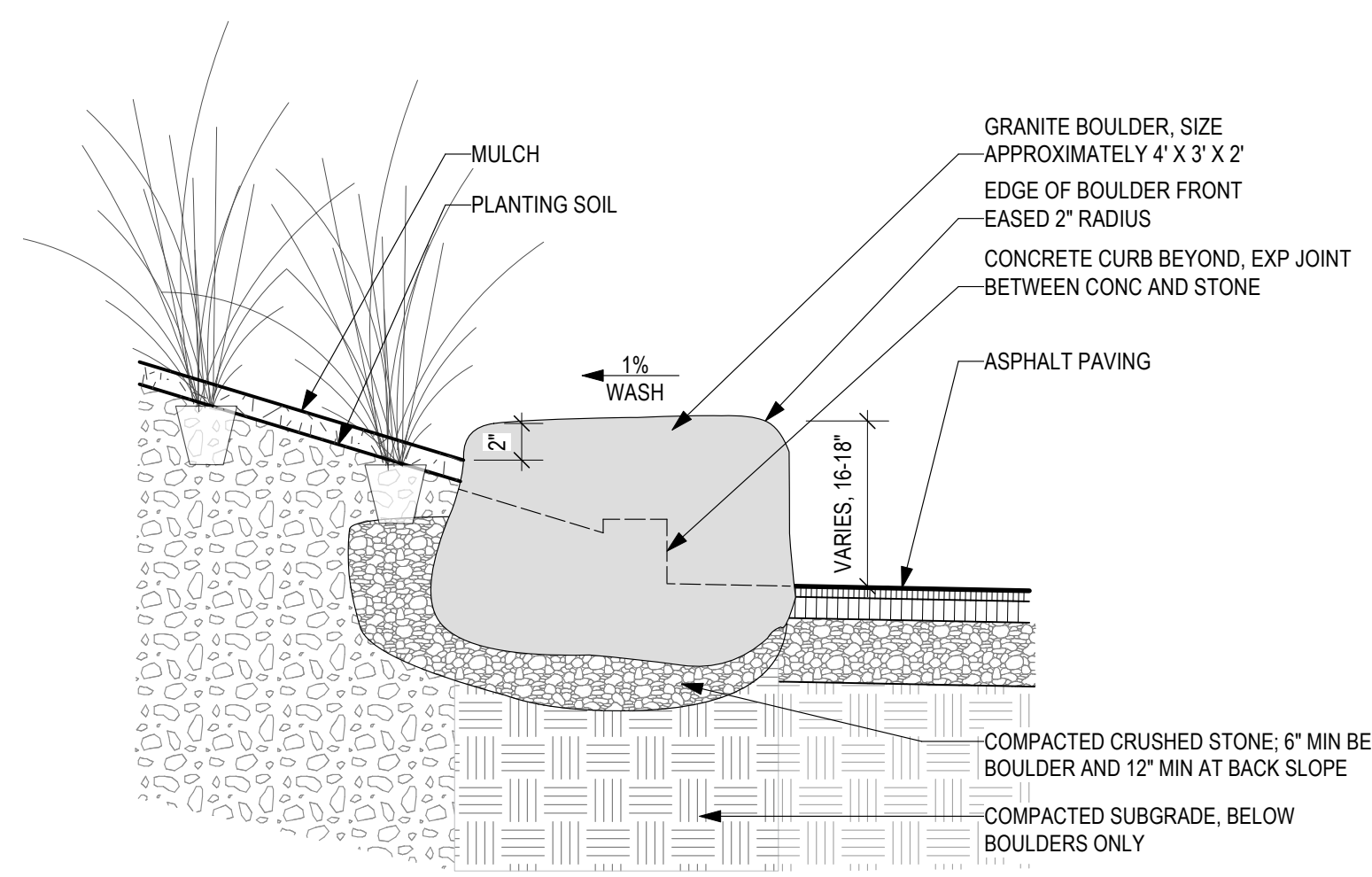
8 PLAY/FITNESS EQUIPMENT FOOTING IN SAFETY SURFACE  
Scale: 3/4" = 1'-0"



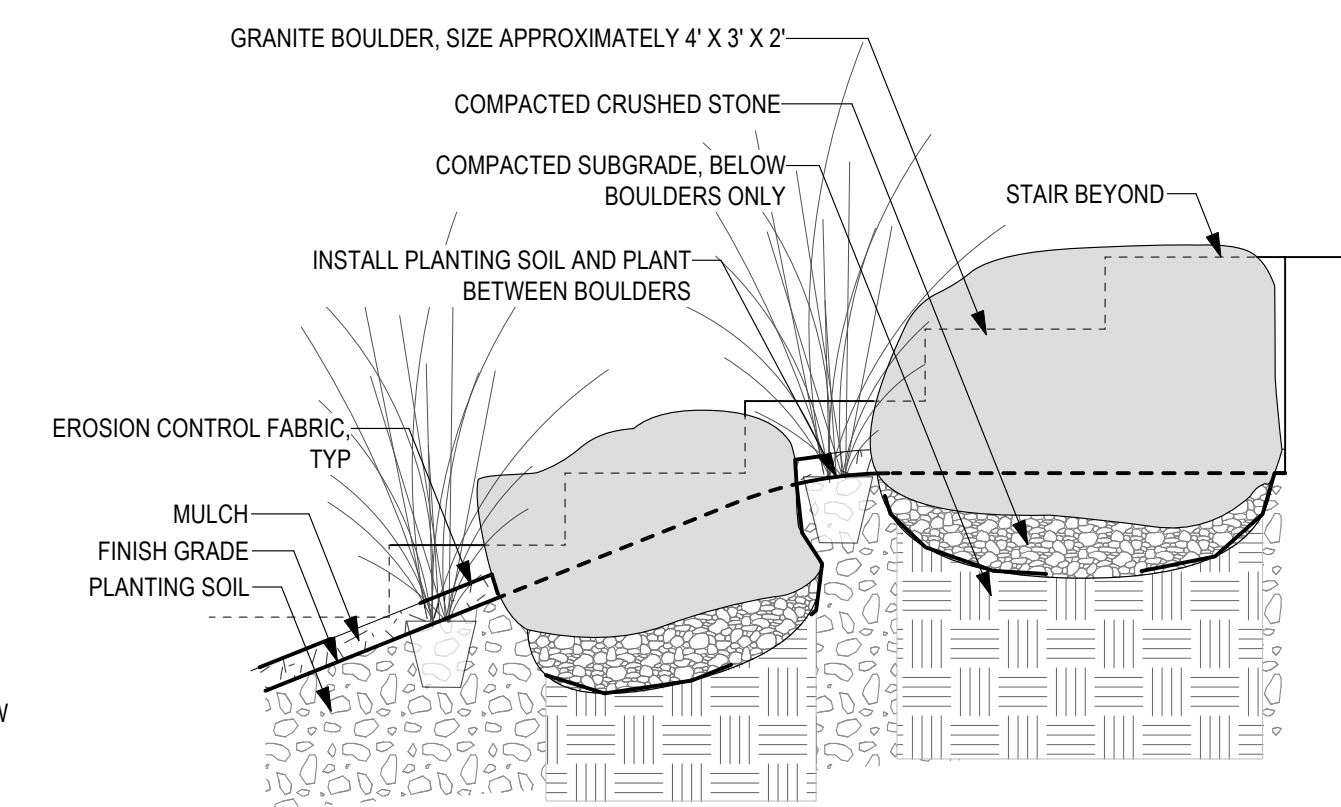
9 BOULDER AT EXISTING PAVEMENT  
Scale: 3/4" = 1'-0"



10 BOULDER AT PLAY SURFACE/PLANT BED  
Scale: 3/4" = 1'-0"



11 BOULDER SEATS AT PROMENADE  
Scale: 3/4" = 1'-0"



12 BOULDER RETAINING WALL AT STAIR  
Scale: 3/4" = 1'-0"

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS:**  
**GROUND RECONSIDERED**  
915 Spring Garden Street, Suite 403  
Philadelphia, Pennsylvania 19123  
215 790 0727

**COST CONSULTANT:**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER:**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**CITY OF PHILADELPHIA**  
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**FURNISHING DETAILS**

PROJECT NO.  
16-21-7053-01

DATE  
03/15/24

SCALE  
Scale

DRAWN BY  
SJE

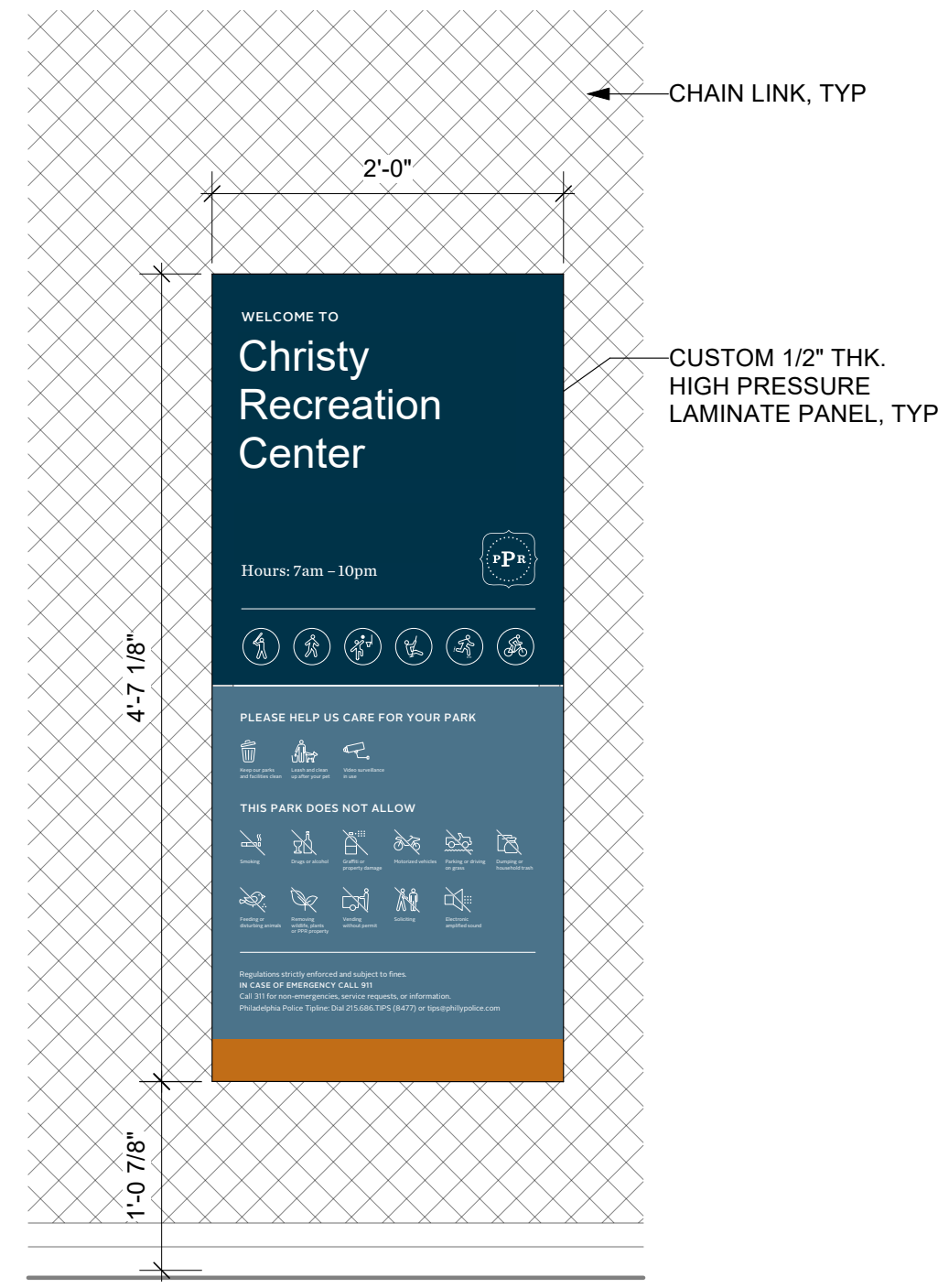
CHECKED BY  
JB

DRAWING NO.  
**L7.4(1)**

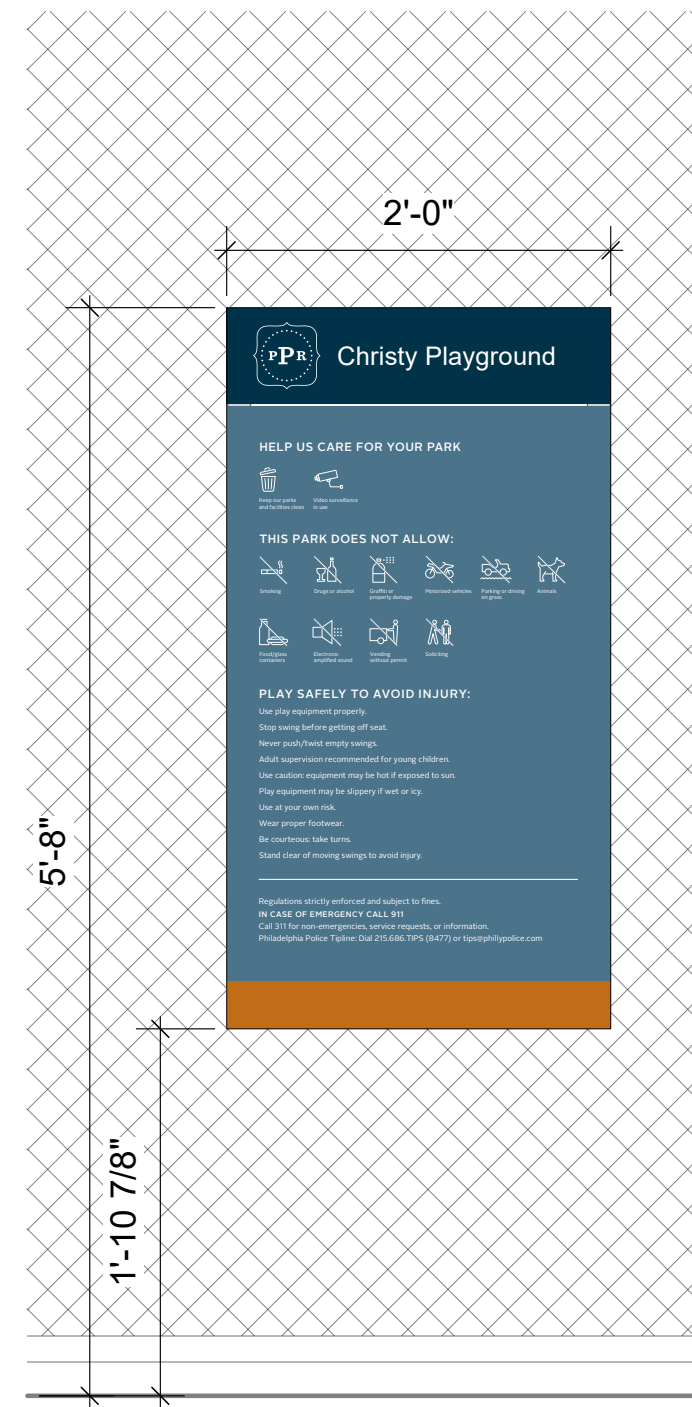
FILE

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

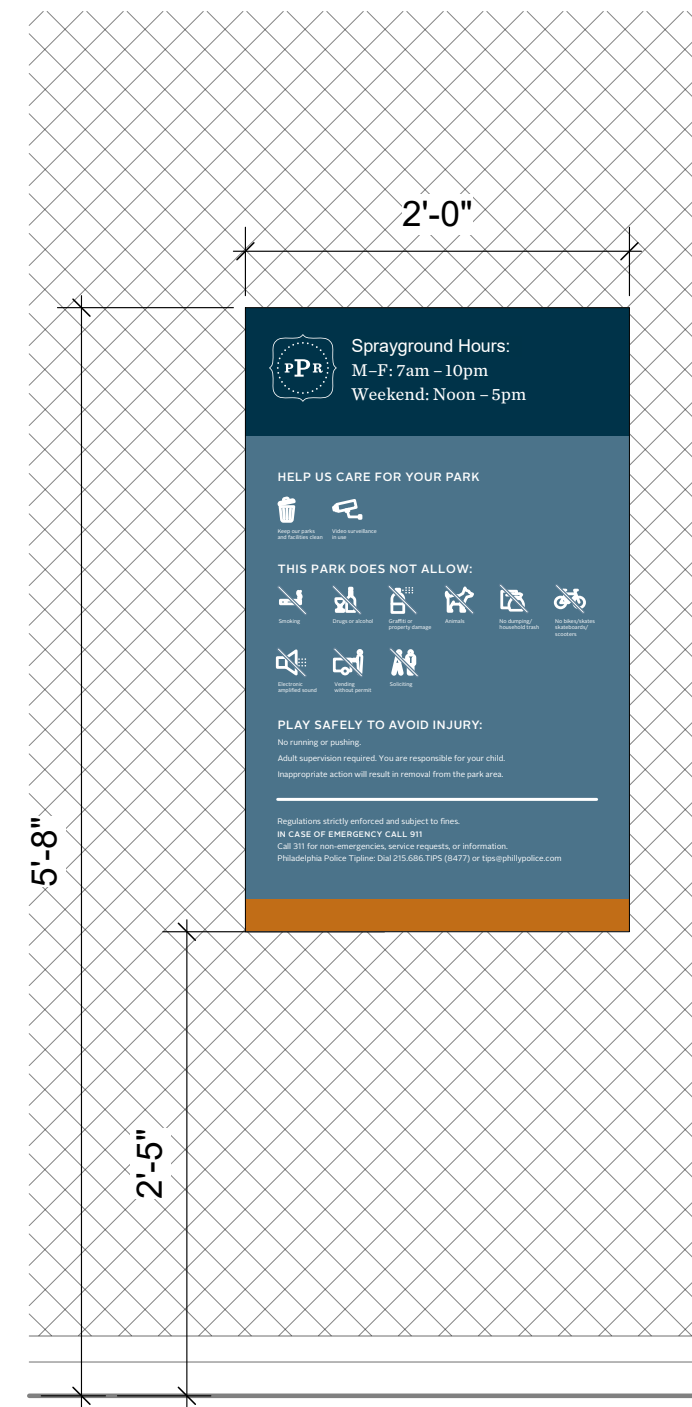
NOTE:  
 REFERENCE PPR SIGNAGE STANDARDS MANUAL TO  
 CONFIRM FINAL SIGNAGE GRAPHICS, MOUNTING  
 REQUIREMENTS, AND SUBMITTAL/SPECIFICATION  
 REQUIREMENTS



SITE IDENTIFICATION SIGN, TYPE PID.4.1



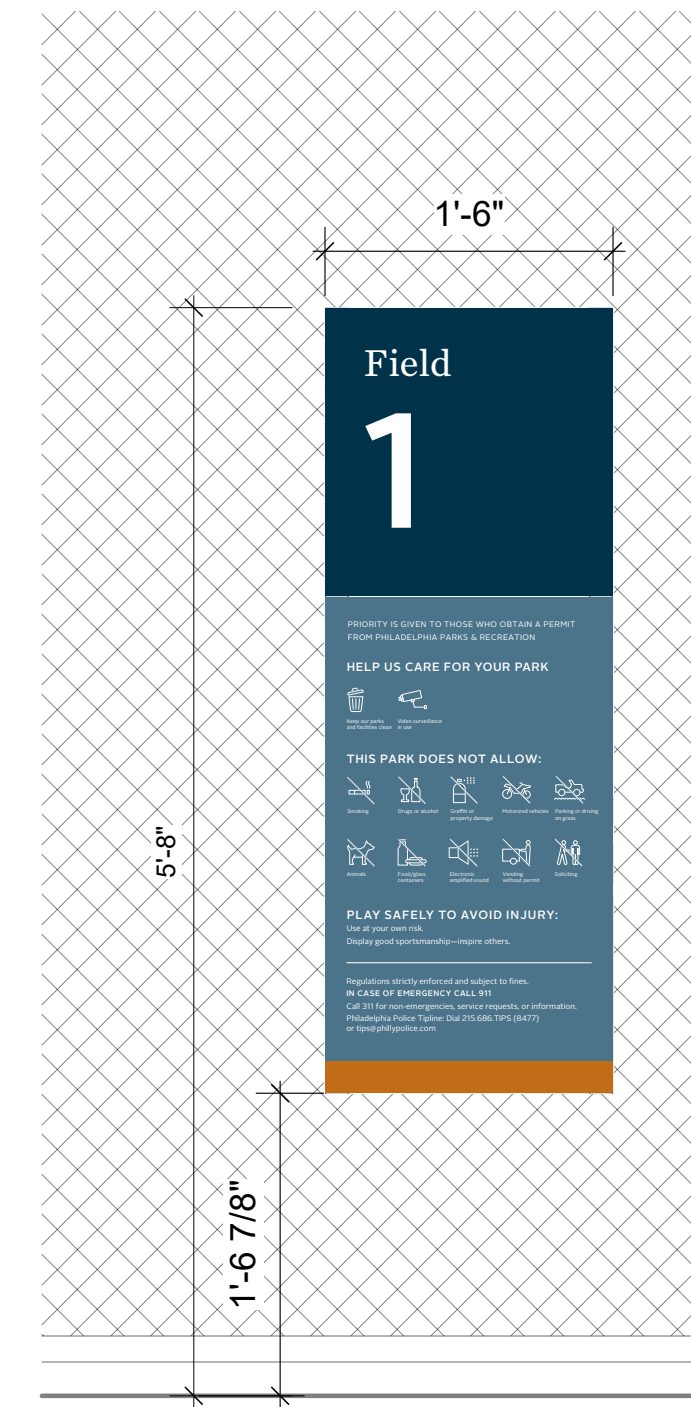
PLAYGROUND SIGN, TYPE PLY.1.1



SPRAYGROUND SIGN, TYPE RUL.2.1

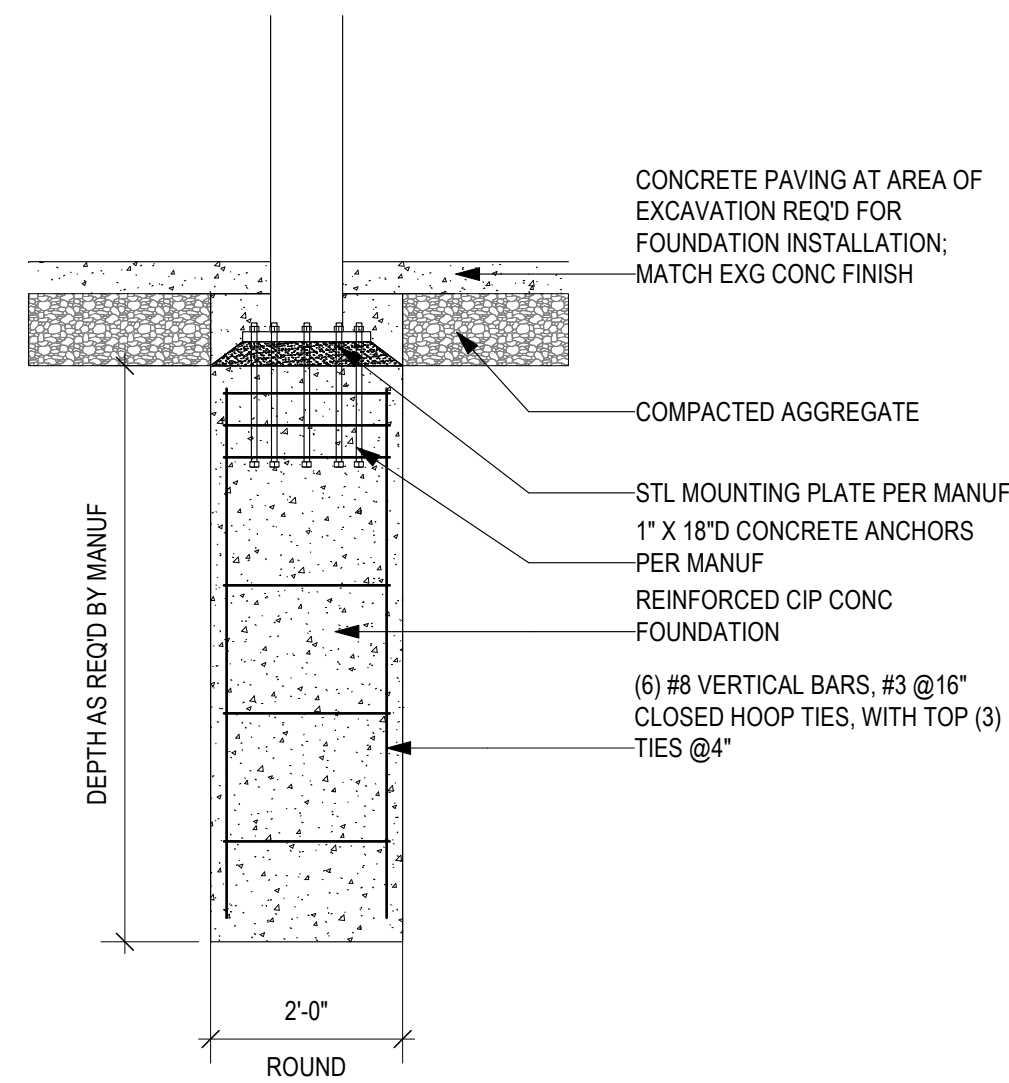


POOL SIGN, TYPE RUL.4.1



FIELD SIGN, TYPE SID.1.1

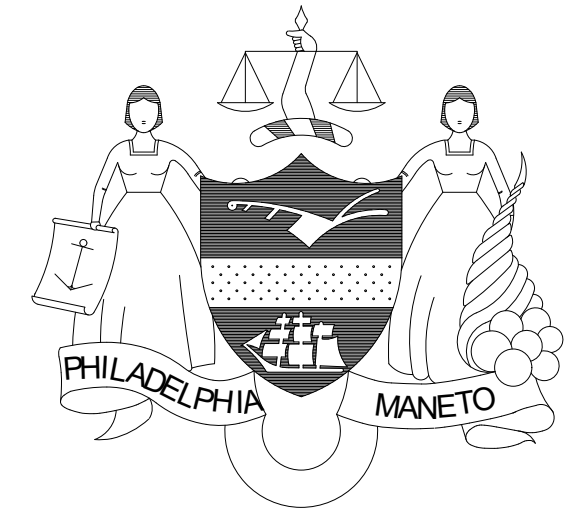
1 PPR STANDARD SIGN TYPES  
 L7.5(1) Scale: 1" = 1'-0"



2 ADD ALT: SUN SHADE FOUNDATION  
 L7.5(1) Scale: 1/2" = 1'-0"

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 915 Spring Garden Street, Suite 403  
 Philadelphia, Pennsylvania 19123  
 215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

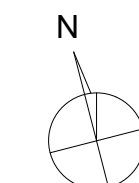
**CITY OF PHILADELPHIA**  
 DEPARTMENT OF PARKS & RECREATION  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

DRAWING TITLE  
**FURNISHING DETAILS**

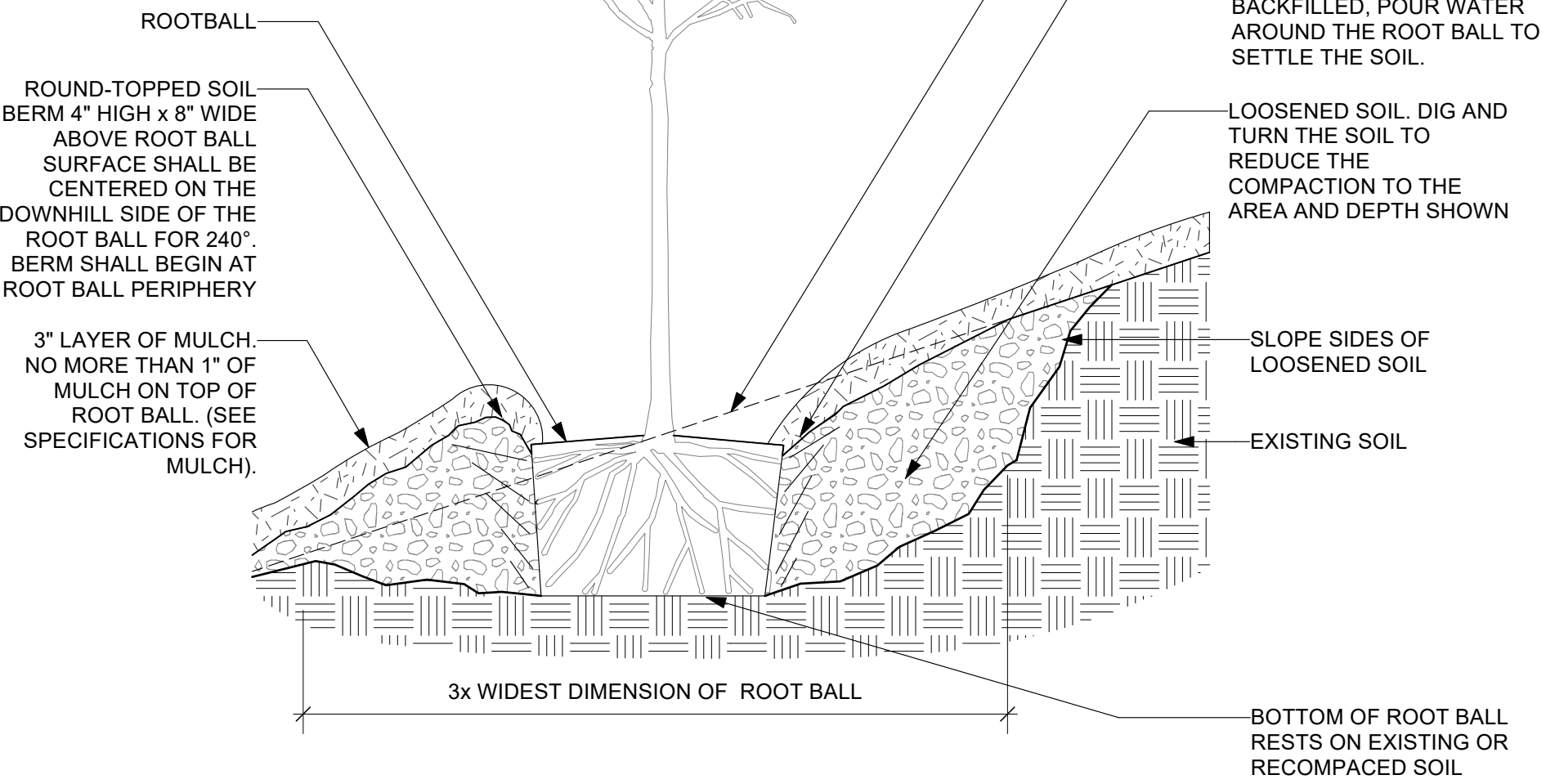
PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L7.5(1)</b>
DATE 03/15/24	
SCALE Scale	
DRAWN BY SJE	
CHECKED BY JB	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



NOTES:

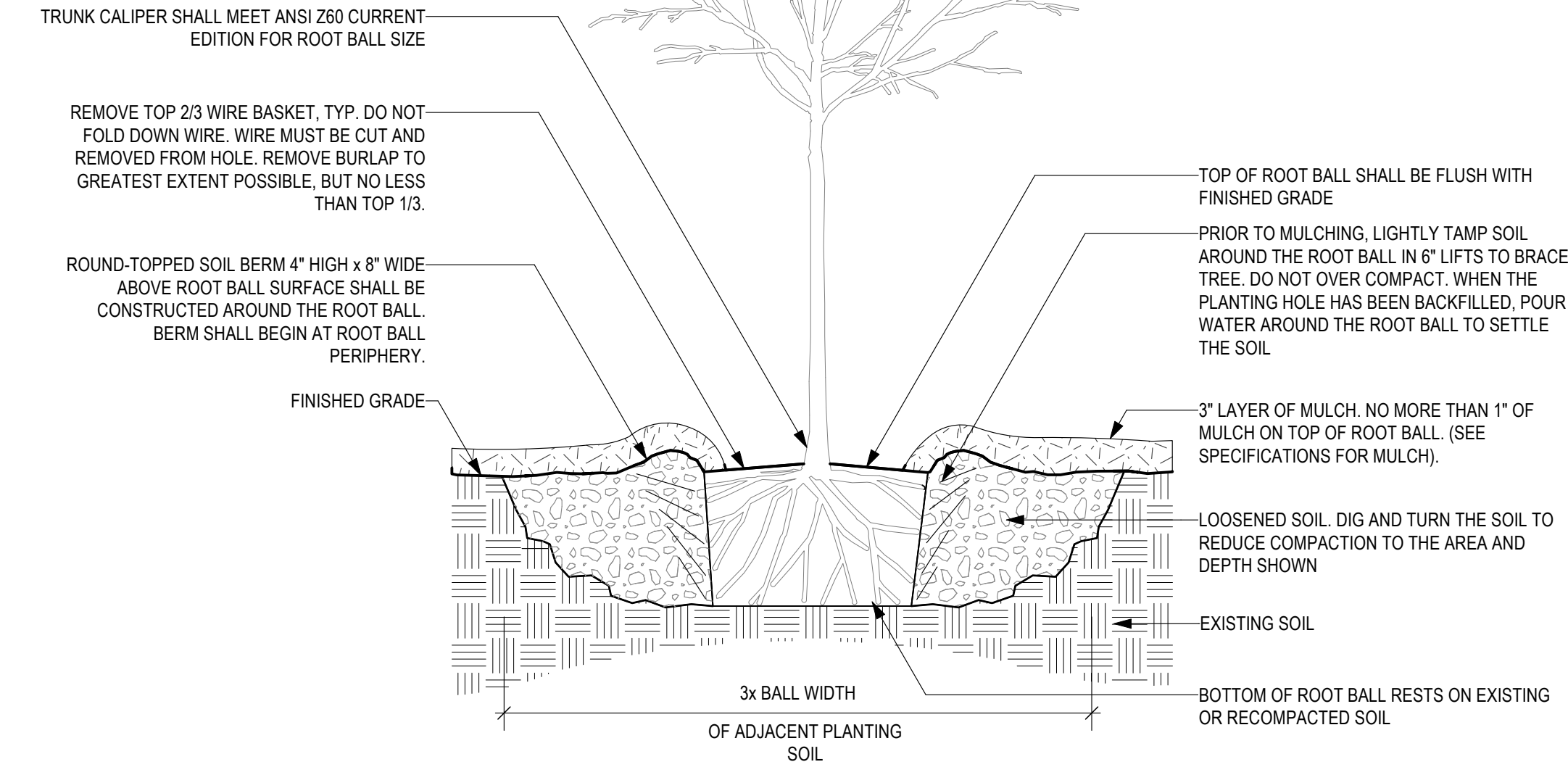
1. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.
2. SCARIFY SUBGRADE AT SIDES AND BOTTOM OF PLANTING PIT, TYPICAL.
3. REMOVE EXCESS SOIL FROM ROOTBALL TO EXPOSE FLARE PRIOR TO SETTING ROOTBALL.
4. SET TREE 2" ABOVE FINISHED GRADE TO ALLOW FOR SOIL SETTLEMENT.
5. MULCH RINGS SHALL BE 6" DIA. MIN.



**1 TREE PLANTING ON SLOPE**  
Scale: 3/4" = 1'-0"

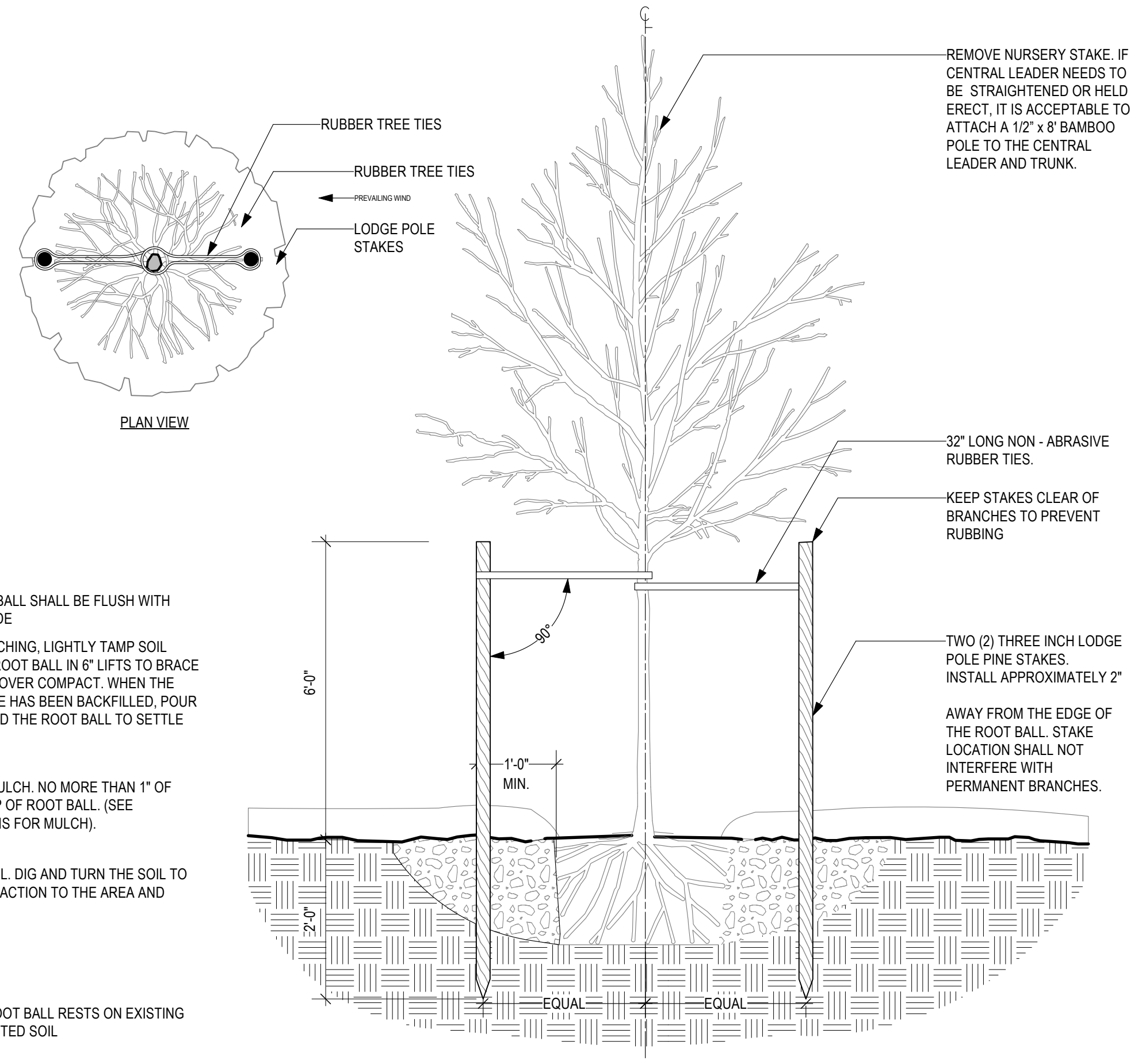
NOTES:

1. SCARIFY SUBGRADE AT SIDES AND BOTTOM OF PLANTING PIT, TYPICAL.
2. REMOVE EXCESS SOIL FROM ROOTBALL TO EXPOSE FLARE PRIOR TO SETTING ROOTBALL.
3. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.



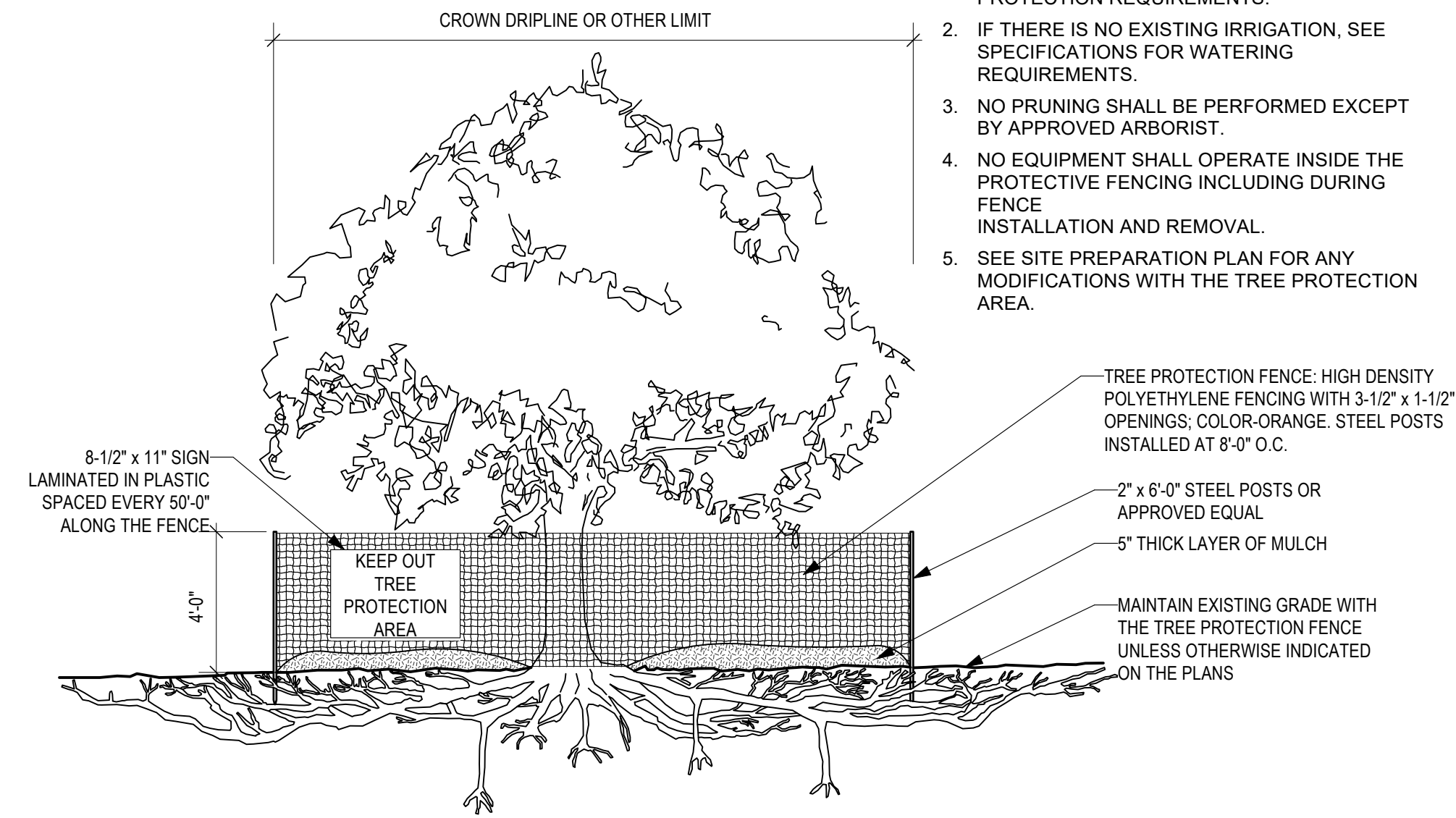
**2 TYPICAL TREE PLANTING**  
Scale: 3/4" = 1'-0"

**3 TREE STAKING**  
Scale: 3/4" = 1'-0"



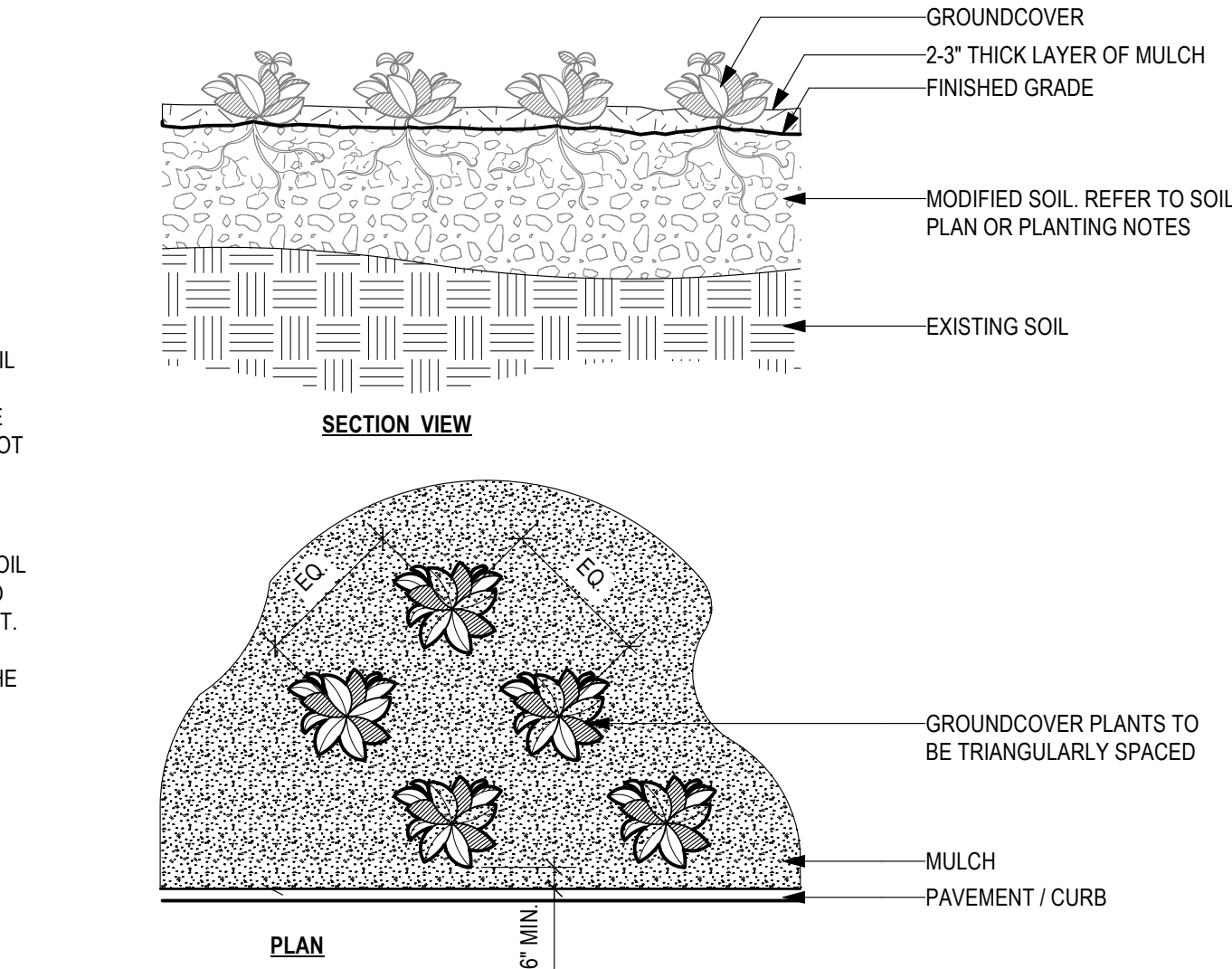
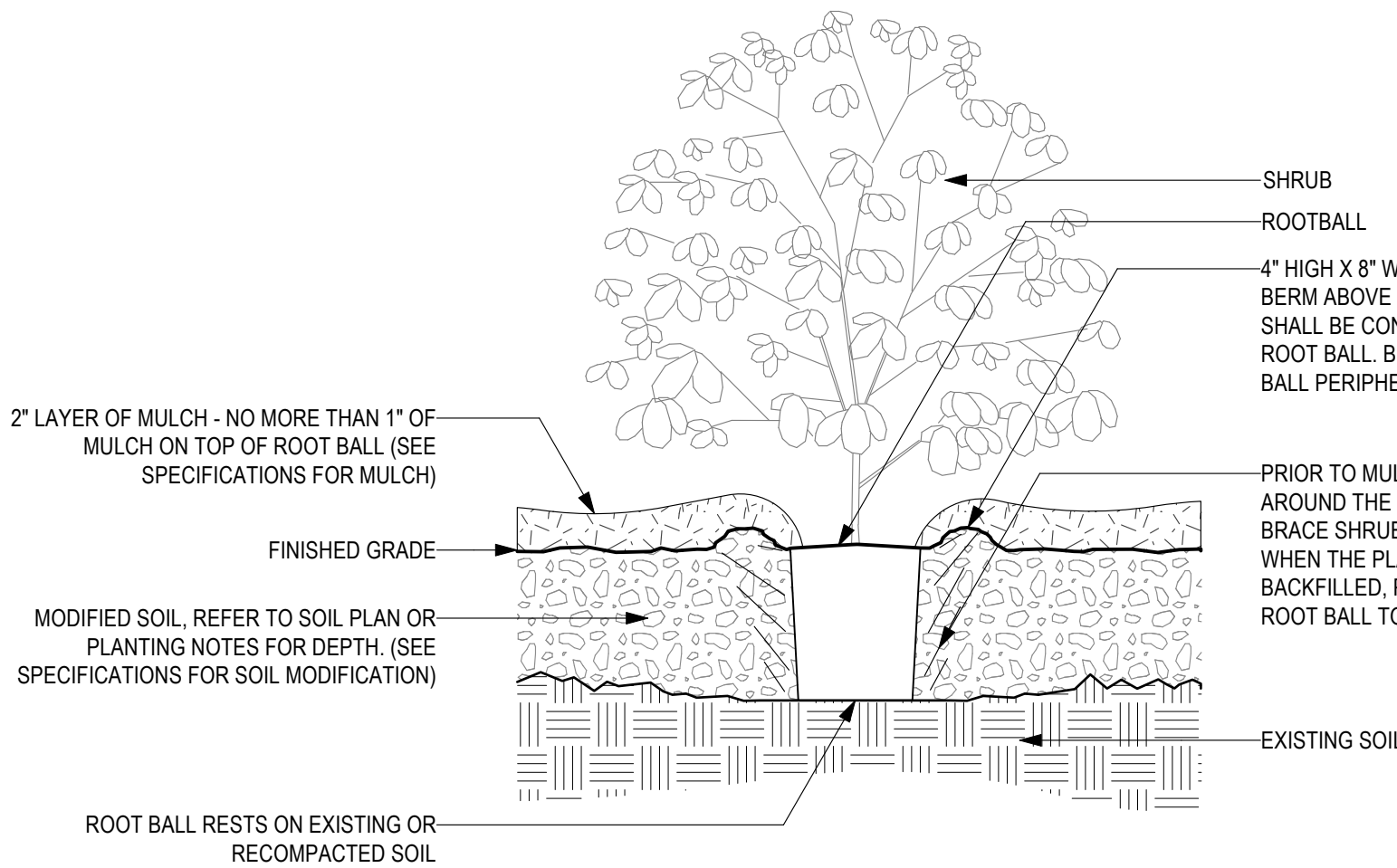
NOTES:

1. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
2. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
3. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
4. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
5. SEE SITE PREPARATION PLAN FOR ANY MODIFICATIONS WITH THE TREE PROTECTION AREA.



**4 TREE PROTECTION DETAIL**  
Scale: 1/4" = 1'-0"

**5 TYPICAL SHRUB PLANTING**  
Scale: 3/4" = 1'-0"



**6 TYPICAL GROUND COVER PLANTING**  
Scale: 3/4" = 1'-0"

NOTES:

1. SEE PLANTING SCHEDULE FOR GROUND COVER SPECIES, SIZE, AND SPACING DIMENSION.
2. SMALL ROOTS (1/4" DIA. OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING.
3. SETTLE SOIL AROUND ROOT BALL OF EACH GROUND COVER PRIOR TO MULCHING.

REVISIONS

ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SMPARCHITECTS

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
915 Spring Garden Street, Suite 403  
Philadelphia, Pennsylvania 19123  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMANN**  
**STRUCTURAL ENGINEERING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**PLANTING DETAILS**

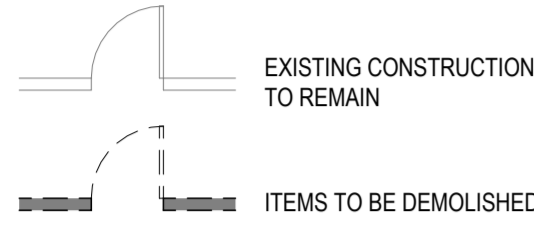
PROJECT NO. <b>16-21-7053-01</b>	DRAWING NO. <b>L7.6(1)</b>
DATE 03/15/24	SCALE Scale
DRAWN BY SJE	CHECKED BY JB

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL DEMOLITION NOTES**

1. REMOVE RESILIENT FLOORING IN WORK AREA
2. REFER TO SITE AND MEP DOCUMENTS FOR ADDITIONAL DEMOLITION WORK

**DEMOLITION KEY:**

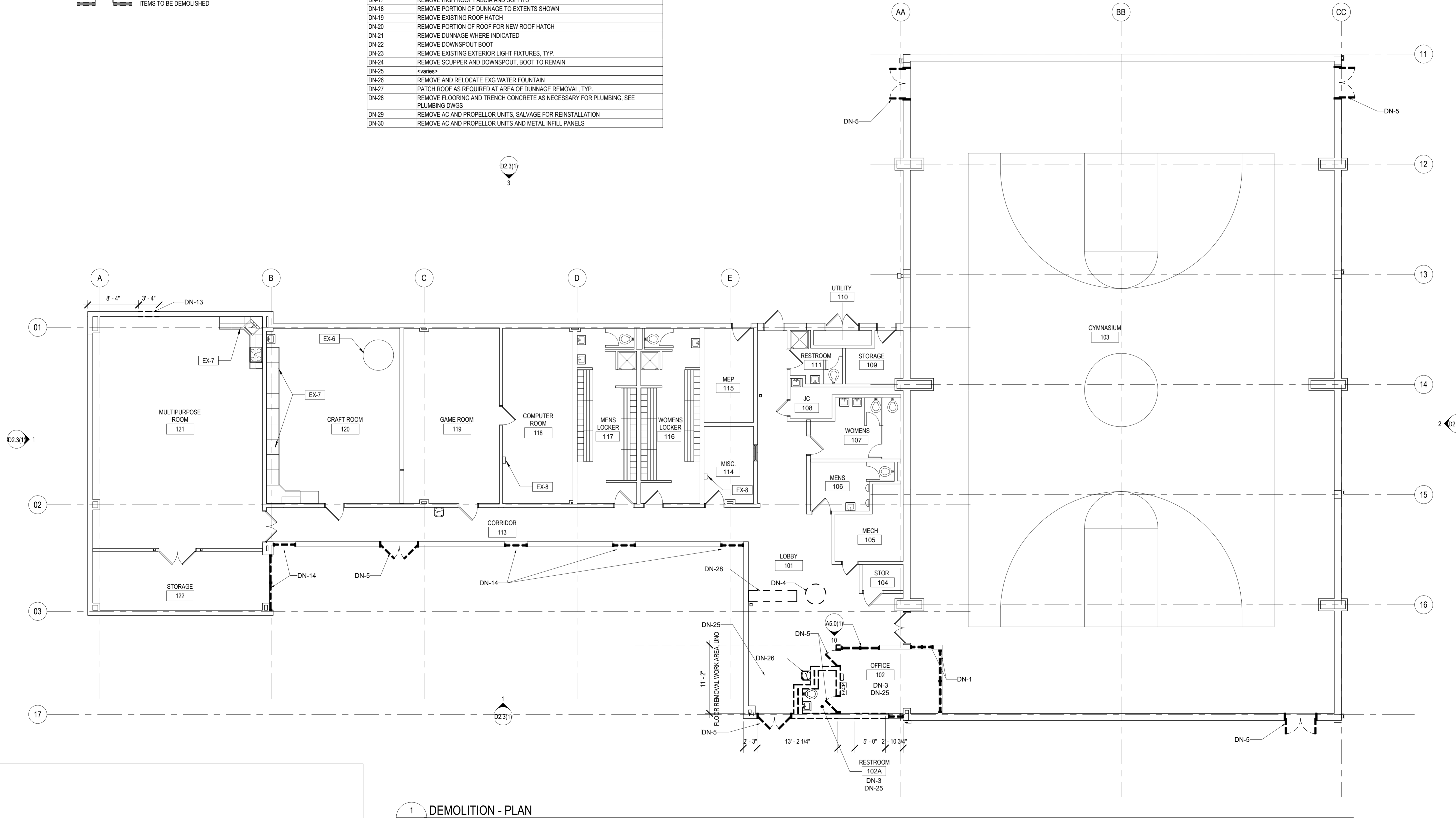


**DEMOLITION NOTES**

DN-1	REMOVE GLASS AND FRAME
DN-2	REMOVE PORTION OF WALL AS SHOWN
DN-3	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING
DN-4	CAREFULLY REMOVE EXISTING SCULPTURE AND TURN OVER TO OWNER. COORDINATE WITH OWNER REGARDING DETAILS OF SCULPTURE REMOVAL AND SALVAGE.
DN-5	REMOVE EXISTING DOOR AND FRAME
DN-6	REMOVE LOCKERS, BENCHES, AND ASSOCIATED COMPONENTS
DN-7	REMOVE EXISTING CASEWORK, SINK, AND OTHER KITCHEN APPLIANCES
DN-10	REMOVE AHU. REFER TO MEP DRAWINGS
DN-11	REMOVE EXISTING FASCIA AND SOFFIT
DN-12	REMOVE ROOFING AND INSULATION DOWN TO DECK
DN-13	REMOVE PORTION OF EXISTING WALL FOR NEW EXTERIOR DOOR
DN-14	REMOVE EXTERIOR WINDOW ASSEMBLIES, TYP.
DN-14.1	REMOVE EXTERIOR WINDOW ASSEMBLIES-INCLUDING SMALL SIDE WINDOW NOT SHOWN
DN-15	REMOVE DOOR, FRAME AND WALL
DN-17	REMOVE HIGH ROOF FASCIA AND SOFFITS
DN-18	REMOVE PORTION OF DUNNAGE TO EXTENTS SHOWN
DN-19	REMOVE EXISTING ROOF HATCH
DN-20	REMOVE PORTION OF ROOF FOR NEW ROOF HATCH
DN-21	REMOVE DUNNAGE WHERE INDICATED
DN-22	REMOVE DOWNSPOUT BOOT
DN-23	REMOVE EXISTING EXTERIOR LIGHT FIXTURES, TYP.
DN-24	REMOVE SCUPPER AND DOWNSPOUT, BOOT TO REMAIN
DN-25	<varies>
DN-26	REMOVE AND RELOCATE EXG WATER FOUNTAIN
DN-27	PATCH ROOF AS REQUIRED AT AREA OF DUNNAGE REMOVAL, TYP.
DN-28	REMOVE FLOORING AND TRENCH CONCRETE AS NECESSARY FOR PLUMBING. SEE PLUMBING DWGS
DN-29	REMOVE AC AND PROPELLOR UNITS. SALVAGE FOR REINSTALLATION
DN-30	REMOVE AC AND PROPELLOR UNITS AND METAL INFILL PANELS

**KEYED EXISTING NOTES**

- EX-1 EXISTING DOOR TO REMAIN
- EX-2 EXISTING WINDOW TO REMAIN
- EX-3 MECHANICAL EQUIPMENT TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR REROOFING
- EX-4 EXISTING ROOF TO REMAIN
- EX-5 MAINTAIN EXISTING ROOF CURB
- EX-6 EXISTING DUNNAGE TO REMAIN
- EX-7 EXISTING KILN TO REMAIN. SEE MEP FOR NEW VENTING
- EX-8 EXISTING CASEWORK/CABINETS TO REMAIN
- EX-9 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-10 EXISTING ROOF HATCH TO REMAIN
- EX-11 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN



**1 DEMOLITION - PLAN**  
D2.0(1) 1/8" 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

**SMP ARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION - PHASE 1**

DRAWING TITLE  
**DEMOLITION PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>D2.0(1)</b>
DATE 03/15/2024	SCALE AS NOTED
DRAWN BY ED	CHECKED BY MS

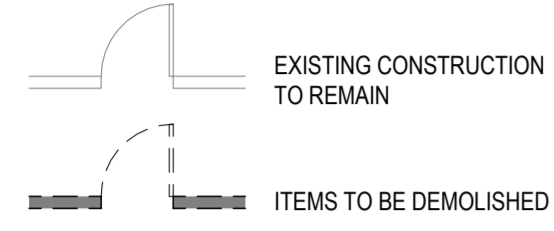
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**GENERAL DEMOLITION NOTES**

1. REMOVE RESILIENT FLOORING IN WORK AREA
2. REFER TO SITE AND MEP DOCUMENTS FOR ADDITIONAL DEMOLITION WORK

**DEMOLITION KEY:**

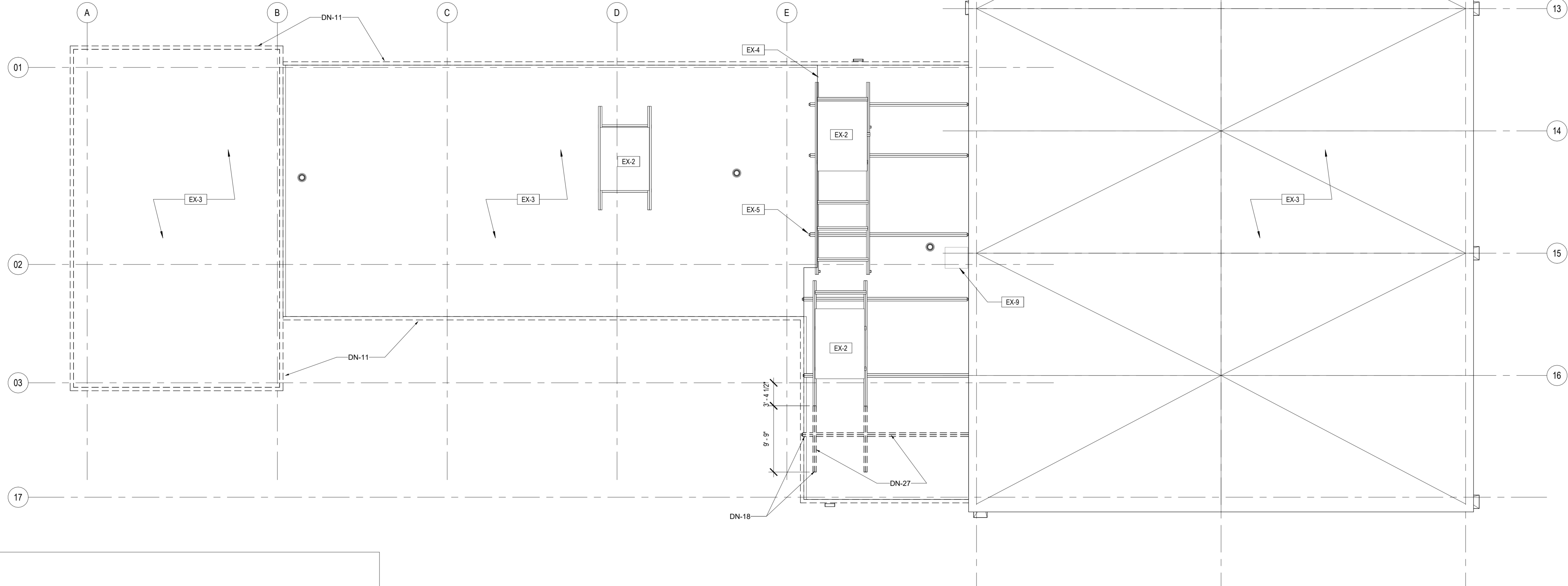


**DEMOLITION NOTES**

DN-1	REMOVE GLASS AND FRAME
DN-2	REMOVE PORTION OF WALL AS SHOWN
DN-3	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING
DN-4	CAREFULLY REMOVE EXISTING SCULPTURE AND TURN OVER TO OWNER. COORDINATE WITH OWNER REGARDING DETAILS OF SCULPTURE REMOVAL AND SALVAGE.
DN-5	REMOVE EXISTING DOOR AND FRAME
DN-6	REMOVE LOCKERS, BENCHES, AND ASSOCIATED COMPONENTS
DN-7	REMOVE EXISTING CASEWORK, SINK, AND OTHER KITCHEN APPLIANCES
DN-10	REMOVE AHU. REFER TO MEP DRAWINGS
DN-11	REMOVE EXISTING FASCIA AND SOFFIT
DN-12	REMOVE ROOFING AND INSULATION DOWN TO DECK
DN-13	REMOVE PORTION OF EXISTING WALL FOR NEW EXTERIOR DOOR
DN-14	REMOVE EXTERIOR WINDOW ASSEMBLIES, TYP.
DN-14.1	REMOVE EXTERIOR WINDOW ASSEMBLIES-INCLUDING SMALL SIDE WINDOW NOT SHOWN
DN-15	REMOVE DOOR, FRAME AND WALL
DN-17	REMOVE HIGH ROOF FASCIA AND SOFFITS
DN-18	REMOVE PORTION OF DUNNAGE TO EXTENTS SHOWN
DN-19	REMOVE EXISTING ROOF HATCH
DN-20	REMOVE PORTION OF ROOF FOR NEW ROOF HATCH
DN-21	REMOVE DUNNAGE WHERE INDICATED
DN-22	REMOVE DOWNSPOUT BOOT
DN-23	REMOVE EXISTING EXTERIOR LIGHT FIXTURES, TYP.
DN-24	REMOVE SCUPPER AND DOWNSPOUT, BOOT TO REMAIN
DN-25	<varies>
DN-26	REMOVE AND RELOCATE EXG WATER FOUNTAIN
DN-27	PATCH ROOF AS REQUIRED AT AREA OF DUNNAGE REMOVAL, TYP.
DN-28	REMOVE FLOORING AND TRENCH CONCRETE AS NECESSARY FOR PLUMBING, SEE PLUMBING DWGS
DN-29	REMOVE AC AND PROPELLOR UNITS, SALVAGE FOR REINSTALLATION
DN-30	REMOVE AC AND PROPELLOR UNITS AND METAL INFILL PANELS

**KEYED EXISTING NOTES**

- EX-1 EXISTING DOOR TO REMAIN
- EX-2 MECHANICAL EQUIPMENT TO REMAIN, REMOVE AND REINSTALL AS NECESSARY FOR REROOFING
- EX-3 EXISTING ROOF TO REMAIN
- EX-4 MAINTAIN EXISTING ROOF CURB
- EX-5 EXISTING DUNNAGE TO REMAIN
- EX-6 EXISTING KILN TO REMAIN, SEE MEP FOR NEW VENTING
- EX-7 EXISTING CASEWORK/CABINETS TO REMAIN
- EX-8 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-9 EXISTING ROOF HATCH TO REMAIN
- EX-10 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN



**1** DEMOLITION - ROOF PLAN  
D2.1(1) 1/8" 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

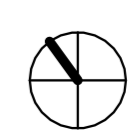
- SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410
- MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365
- CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425
- LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727
- COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560
- STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**DEMOLITION ROOF PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>D2.1(1)</b>
DATE 03/15/2024	SCALE AS NOTED
DRAWN BY ED	CHECKED BY MS



NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL DEMOLITION NOTES**

1. REMOVE RESILIENT FLOORING IN WORK AREA
2. REFER TO SITE AND MEP DOCUMENTS FOR ADDITIONAL DEMOLITION WORK

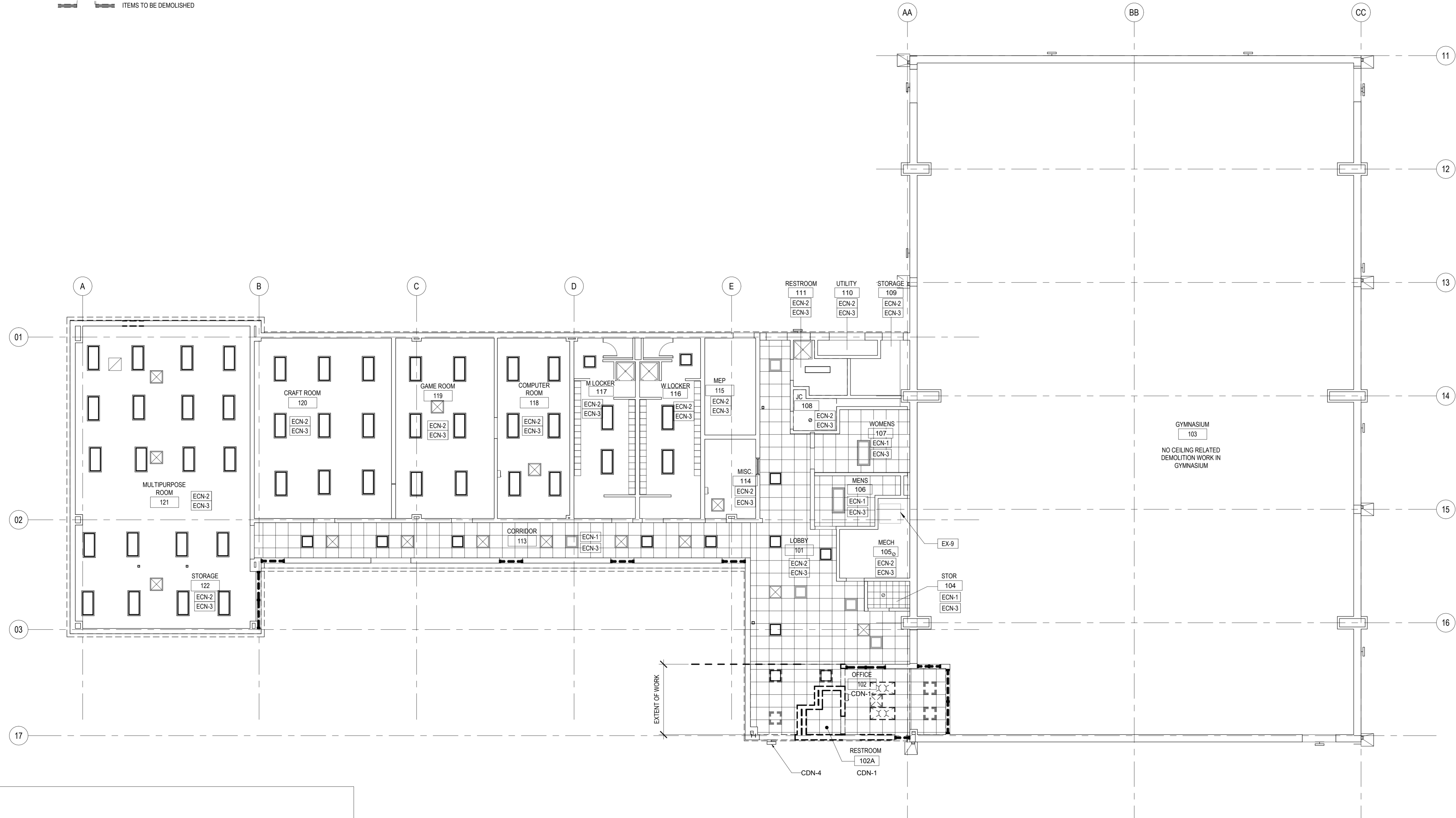
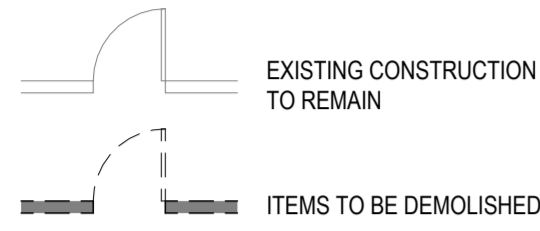
**CEILING DEMOLITION NOTES**

CDN-1	REMOVE CEILINGS, LIGHT FIXTURES AND ASSOCIATED COMPONENTS, MEP EQUIPMENT IN WORK AREA
CDN-2	REMOVE EXISTING ROOF ACCESS HATCH
CDN-3	REMOVE PORTION OF CEILING AND ROOF FOR NEW ROOF ACCESS HATCH
CDN-4	REMOVE EXTERIOR LIGHT FIXTURE

**EXISTING CEILING NOTES**

ECN-1	EXISTING ACT CEILING TO REMAIN
ECN-2	EXISTING GWB CEILING TO REMAIN
ECN-3	EXISTING LIGHT FIXTURES TO REMAIN

**DEMOLITION KEY:**



1 DEMOLITION - RCP  
D2.2(1) 1/8" 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

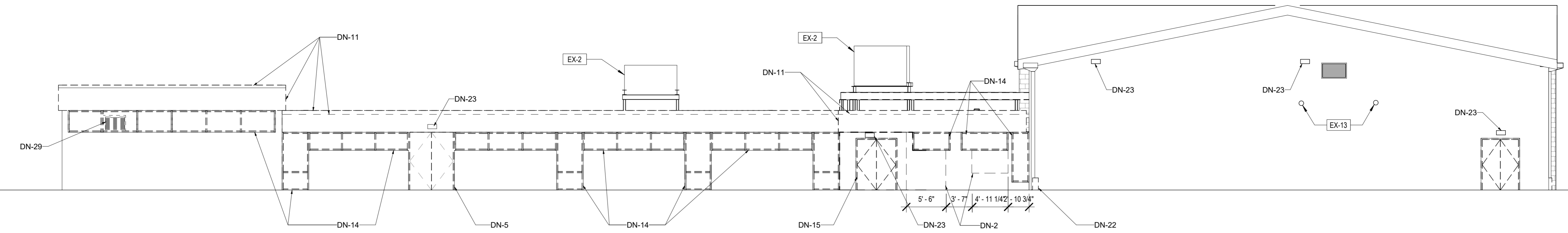
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

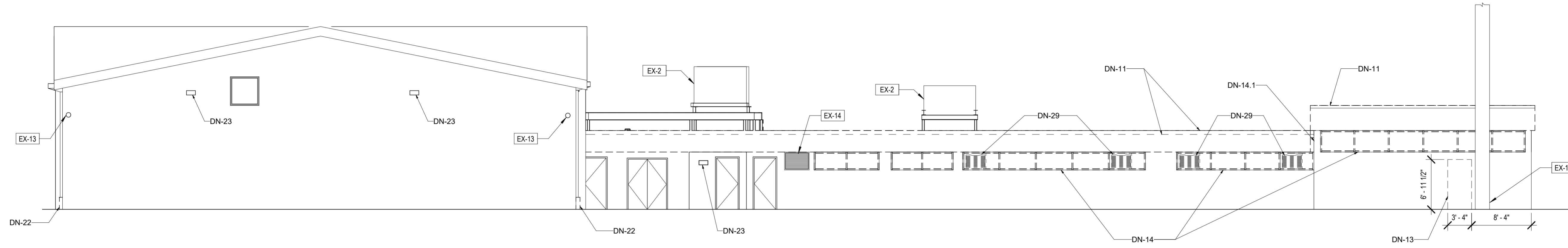
DRAWING TITLE  
**DEMOLITION RCP**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>D2.2(1)</b>
DATE 03/15/2024	SCALE AS NOTED
DRAWN BY ED	CHECKED BY MS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



4 DEMOLITION - SOUTH ELEVATION  
D2.3(1) 1/8" 1'-0"

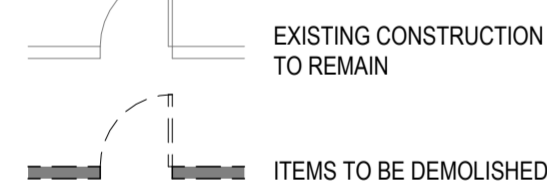


3 DEMOLITION - NORTH ELEVATION  
D2.3(1) 1/8" 1'-0"

**GENERAL DEMOLITION NOTES**

- REMOVE RESILIENT FLOORING IN WORK AREA
- REFER TO SITE AND MEP DOCUMENTS FOR ADDITIONAL DEMOLITION WORK

**DEMOLITION KEY:**

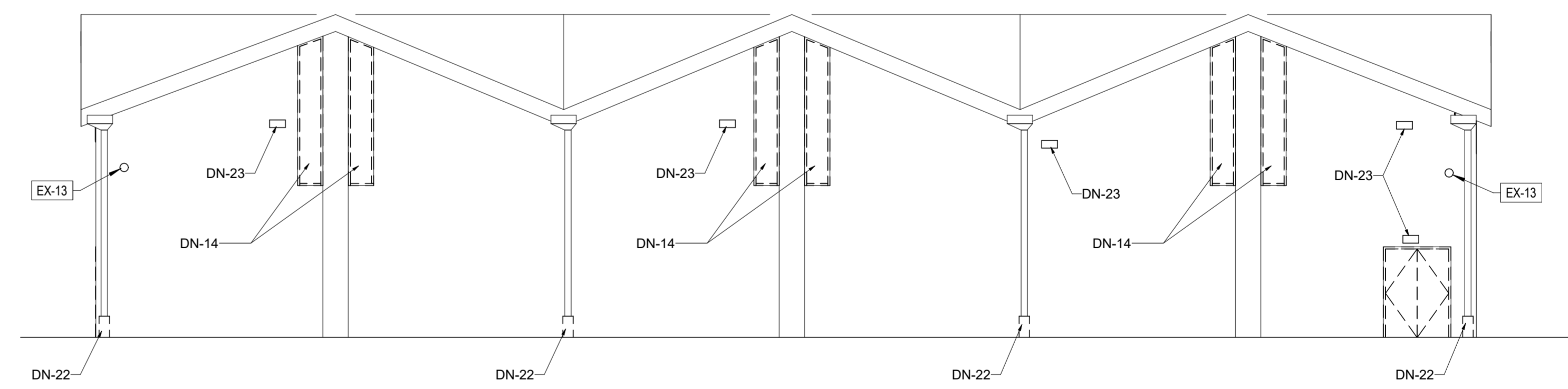


**KEYED EXISTING NOTES**

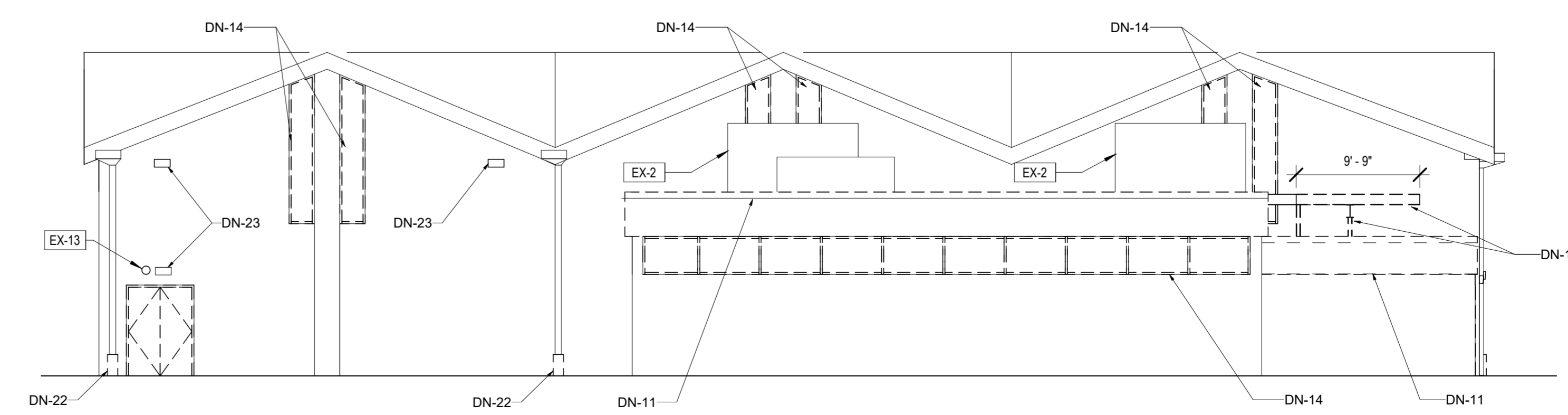
- EX-1 EXISTING DOOR TO REMAIN
- EX-1.2 EXISTING WINDOW TO REMAIN
- EX-2 MECHANICAL EQUIPMENT TO REMAIN, REMOVE AND REINSTALL AS NECESSARY FOR REROOFING
- EX-3 EXISTING ROOF TO REMAIN
- EX-4 MAINTAIN EXISTING ROOF CURB
- EX-5 EXISTING DUNNAGE TO REMAIN
- EX-6 EXISTING KILN TO REMAIN, SEE MEP FOR NEW VENTING
- EX-7 EXISTING CASEWORK/CABINETRY TO REMAIN
- EX-8 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-9 EXISTING ROOF HATCH TO REMAIN
- EX-10 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN

**DEMOLITION NOTES**

DN-1	REMOVE GLASS AND FRAME
DN-2	REMOVE PORTION OF WALL AS SHOWN
DN-3	REMOVE PLUMBING FIXTURES AND ASSOCIATED PIPING
DN-4	CAREFULLY REMOVE EXISTING SCULPTURE AND TURN OVER TO OWNER. COORDINATE WITH OWNER REGARDING DETAILS OF SCULPTURE REMOVAL AND SALVAGE.
DN-5	REMOVE EXISTING DOOR AND FRAME
DN-6	REMOVE LOCKERS, BENCHES, AND ASSOCIATED COMPONENTS
DN-7	REMOVE EXISTING CASEWORK, SINK, AND OTHER KITCHEN APPLIANCES
DN-10	REMOVE AHU, REFER TO MEP DRAWINGS
DN-11	REMOVE EXISTING FASCIA AND SOFFIT
DN-12	REMOVE ROOFING AND INSULATION DOWN TO DECK
DN-13	REMOVE PORTION OF EXISTING WALL FOR NEW EXTERIOR DOOR
DN-14	REMOVE EXTERIOR WINDOW ASSEMBLIES, TYP.
DN-14.1	REMOVE EXTERIOR WINDOW ASSEMBLIES-INCLUDING SMALL SIDE WINDOW NOT SHOWN
DN-15	REMOVE DOOR, FRAME AND WALL
DN-17	REMOVE HIGH ROOF FASCIA AND SOFFITS
DN-18	REMOVE PORTION OF DUNNAGE TO EXTENTS SHOWN
DN-19	REMOVE EXISTING ROOF HATCH
DN-20	REMOVE PORTION OF ROOF FOR NEW ROOF HATCH
DN-21	REMOVE DUNNAGE WHERE INDICATED
DN-22	REMOVE DOWNSPOUT BOOT
DN-23	REMOVE EXISTING EXTERIOR LIGHT FIXTURES, TYP.
DN-24	REMOVE SCUPPER AND DOWNSPOUT, BOOT TO REMAIN
DN-25	<varies>
DN-26	REMOVE AND RELOCATE EXG WATER FOUNTAIN
DN-27	PATCH ROOF AS REQUIRED AT AREA OF DUNNAGE REMOVAL, TYP.
DN-28	REMOVE FLOORING AND TRENCH CONCRETE AS NECESSARY FOR PLUMBING, SEE PLUMBING DWGS
DN-29	REMOVE AC AND PROPELLOR UNITS, SALVAGE FOR REINSTALLATION
DN-30	REMOVE AC AND PROPELLOR UNITS AND METAL INFILL PANELS



2 DEMOLITION - EAST ELEVATION - NO WORK  
D2.3(1) 1/8" 1'-0"



1 DEMOLITION - WEST ELEVATION  
D2.3(1) 1/8" 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**DEMOLITION ELEVATION**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>D2.3(1)</b>
DATE 03/15/2024	SCALE AS NOTED
DRAWN BY ED	CHECKED BY MS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL CONSTRUCTION NOTES PHASE 1**

1. ALL EXISTING WALLS IN WORK AREA TO REMAIN SHALL BE PREPPED AND PAINTED AT AREAS OF INFILL PARTITION, INFILL SHALL BE FLUSH WITH ADJACENT EXISTING CONSTRUCTION.
2. AT AREAS OF INFILL WHERE PORTIONS OF THE MURAL ARE TOUCHED OR REMOVAL, MURAL MODIFICATION AND PAINTING SHALL BE DONE BY OTHERS.
3. NEW WINDOW ASSEMBLIES, TYP AT ALL EXG WINDOW LOCATIONS UNLESS NOTED OTHERWISE
4. NEW METAL FASCIA, SOFFIT, AND ROOF EDGE ASSEMBLY, TYP WHERE DEMOLITION RESULTS IN EXPOSED GAPS, HOLES, OR DIVOTS IN EXG CONSTRUCTION, PATCH AS REQD TO MATCH ADJACENT MATERIALS, FINISHES, AND CONSTRUCTION
5. PREP AND PAINT ALL EXG PAINTED ITEMS AND SURFACES INDICATED TO REMAIN UNLESS NOTED OTHERWISE
6. PROVIDE ALL FLOOR PREP REQUIRED FOR NEW FLOORING FINISHES. PATCH AND LEVEL WITH HYDRAULIC CEMENT UNDERLAYMENT AS NECESSARY.
7. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND MOUNTING HEIGHTS OF MECHANICAL AND ELECTRICAL DEVICES
8. THE CONTRACTORS ARE RESPONSIBLE FOR COORDINATING CEILING LAYOUT, LIGHTING, MECHANICAL EQUIPMENT (INCLUDING DIFFUSER LAYOUT), WITH THE REFLECTED CEILING PLANS AND NOTIFY ARCHITECT OF ANY CONFLICTS THAT EFFECT THE SCHEDULED CEILING FINISHES, HEIGHTS, AND LAYOUTS
9. ALL CONDUIT, PIPING, ETC. TO SERVE SYSTEMS IN NEW CONSTRUCTION SHALL BE CONCEALED.
10. NEW EXTERIOR STOREFRONT PAINTING TO BE COORDINATED WITH OWNER TO MATCH MURAL, MURAL PAINTING AND MODIFICATION TO BE COMPLETED BY OTHERS.

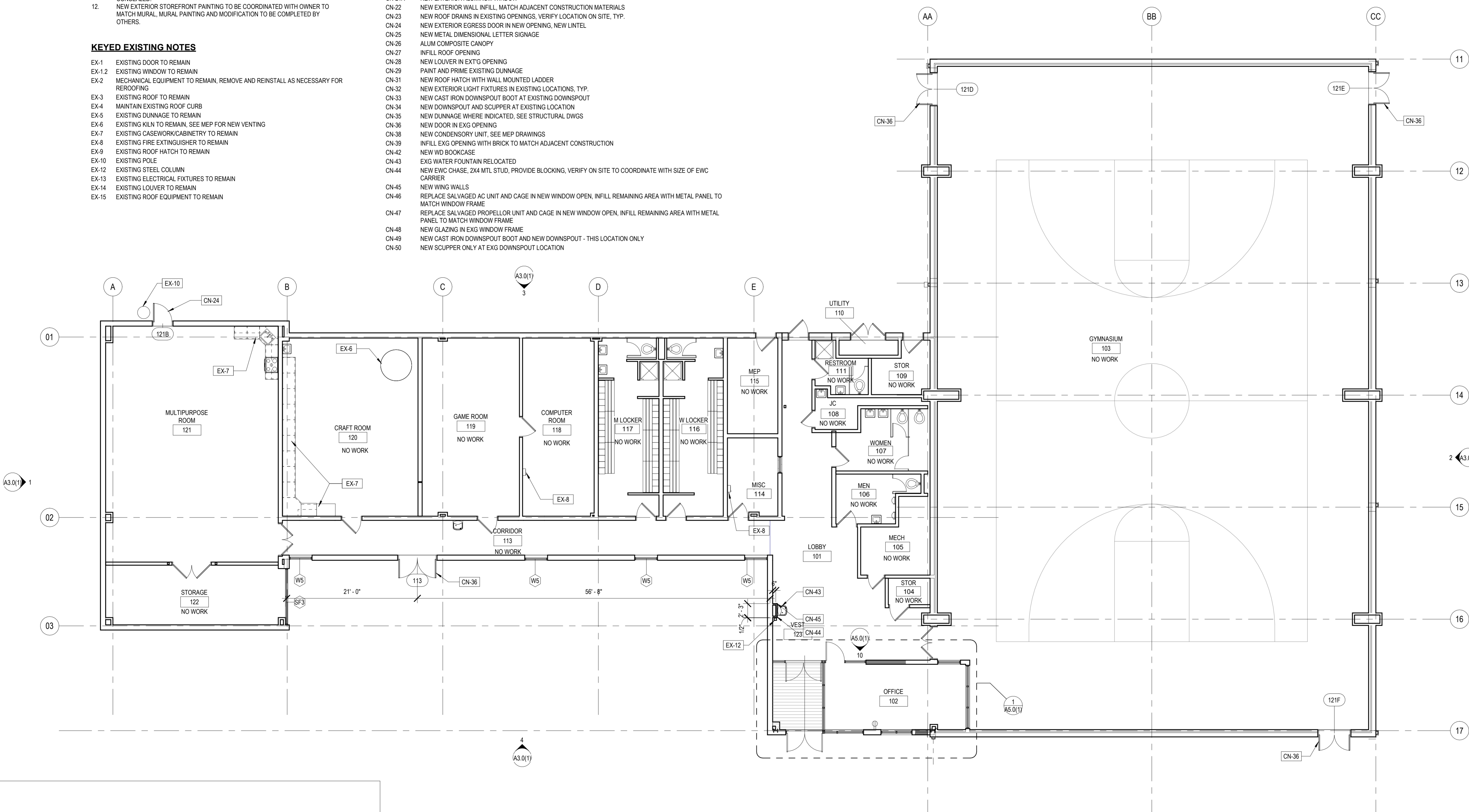
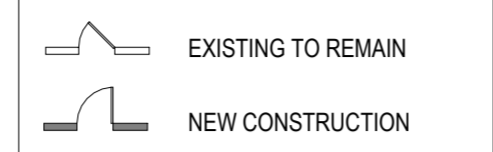
**KEYED EXISTING NOTES**

- EX-1 EXISTING DOOR TO REMAIN
- EX-2 EXISTING WINDOW TO REMAIN
- EX-3 MECHANICAL EQUIPMENT TO REMAIN, REMOVE AND REINSTALL AS NECESSARY FOR REROOFING
- EX-4 EXISTING ROOF TO REMAIN
- EX-5 MAINTAIN EXISTING ROOF CURB
- EX-6 EXISTING DUNNAGE TO REMAIN
- EX-7 EXISTING KILN TO REMAIN, SEE MEP FOR NEW VENTING
- EX-8 EXISTING CASEWORK/CABINETRY TO REMAIN
- EX-9 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-10 EXISTING ROOF HATCH TO REMAIN
- EX-11 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN

**KEYED CONSTRUCTION NOTES PHASE 1**

- CN-1 NEW INTERIOR 8" CMU WALL
- CN-2 NEW WALL IN-FILL AT DEMOD DOOR TO MATCH ADJACENT CONSTRUCTION
- CN-4 NEW CASEWORK, BUILT-IN CABINETS
- CN-5 NEW BUILT-IN STORAGE, 8'-0" TALL
- CN-6 NEW WALK-OFF MAT
- CN-7 NEW ALUM STOREFRONT WITH SECURITY GLAZING AT EXT. LOCATIONS
- CN-8 NEW WATER FOUNTAINS
- CN-9 NEW SINK IN EXG LOCATION
- CN-10 <varies>
- CN-11 NEW PLUMBING FIXTURE
- CN-12 NEW TOILET PARTITIONS
- CN-13 NEW PERFORATED METAL EQUIPMENT SCREEN SUPPORTED BY EXISTING DUNNAGE AND NEW POSTS SEE STRUCTURAL DWGS
- CN-14 NEW HVAC UNIT
- CN-15 NEW ALUM COMPOSITE FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON LOW ROOF, TYP
- CN-17 NEW EXTERIOR ALUMINUM WINDOWS W/ PRIVACY GLAZING AND SECURITY SCREEN
- CN-19 NEW ROOFING ASSEMBLY, INCLUDING MIN R-35 INSULATION AND MEMBRANE ROOF
- CN-20 NEW METAL FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON GYM ROOF, TYP.
- CN-21 NEW EXTERIOR ALUMINUM WINDOW AND SECURITY SCREEN, TYP. UNO
- CN-21A NEW EXTERIOR ALUMINUM WINDOW
- CN-22 NEW EXTERIOR WALL INFILL, MATCH ADJACENT CONSTRUCTION MATERIALS
- CN-23 NEW ROOF DRAINS IN EXISTING OPENINGS, VERIFY LOCATION ON SITE, TYP.
- CN-24 NEW EXTERIOR EGRESS DOOR IN NEW OPENING, NEW LINTEL
- CN-25 NEW METAL DIMENSIONAL LETTER SIGNAGE
- CN-26 ALUM COMPOSITE CANOPY
- CN-27 INFILL ROOF OPENING
- CN-28 NEW LOUVER IN EXTG OPENING
- CN-29 PAINT AND PRIME EXISTING DUNNAGE
- CN-31 NEW ROOF HATCH WITH WALL MOUNTED LADDER
- CN-32 NEW EXTERIOR LIGHT FIXTURES IN EXISTING LOCATIONS, TYP.
- CN-33 NEW CAST IRON DOWNSPOUT BOOT AT EXISTING DOWNSPOUT
- CN-34 NEW DOWNSPOUT AND SCUPPER AT EXISTING LOCATION
- CN-35 NEW DUNNAGE WHERE INDICATED, SEE STRUCTURAL DWGS
- CN-36 NEW DOOR IN EXG OPENING
- CN-38 NEW CONDENSORY UNIT, SEE MEP DRAWINGS
- CN-39 INFILL EXG OPENING WITH BRICK TO MATCH ADJACENT CONSTRUCTION
- CN-42 NEW WD BOOKCASE
- CN-43 EXG WATER FOUNTAIN RELOCATED
- CN-44 NEW EWC CHASE, 2X4 MTL STUD, PROVIDE BLOCKING, VERIFY ON SITE TO COORDINATE WITH SIZE OF EWC CARRIER
- CN-45 NEW WING WALLS
- CN-46 REPLACE SALVAGED AC UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- CN-47 REPLACE SALVAGED PROPELLOR UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- CN-48 NEW GLAZING IN EXG WINDOW FRAME
- CN-49 NEW CAST IRON DOWNSPOUT BOOT AND NEW DOWNSPOUT - THIS LOCATION ONLY
- CN-50 NEW SCUPPER ONLY AT EXG DOWNSPOUT LOCATION

**PLAN KEY**



1 GROUND FLOOR PLAN  
A2.0(1) 1/8" 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS

**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION - PHASE 1**

DRAWING TITLE  
**FLOOR PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>A2.0(1)</b>
DATE 03/15/2024	SCALE AS NOTED
DRAWN BY ED	CHECKED BY MS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL CONSTRUCTION NOTES PHASE 1**

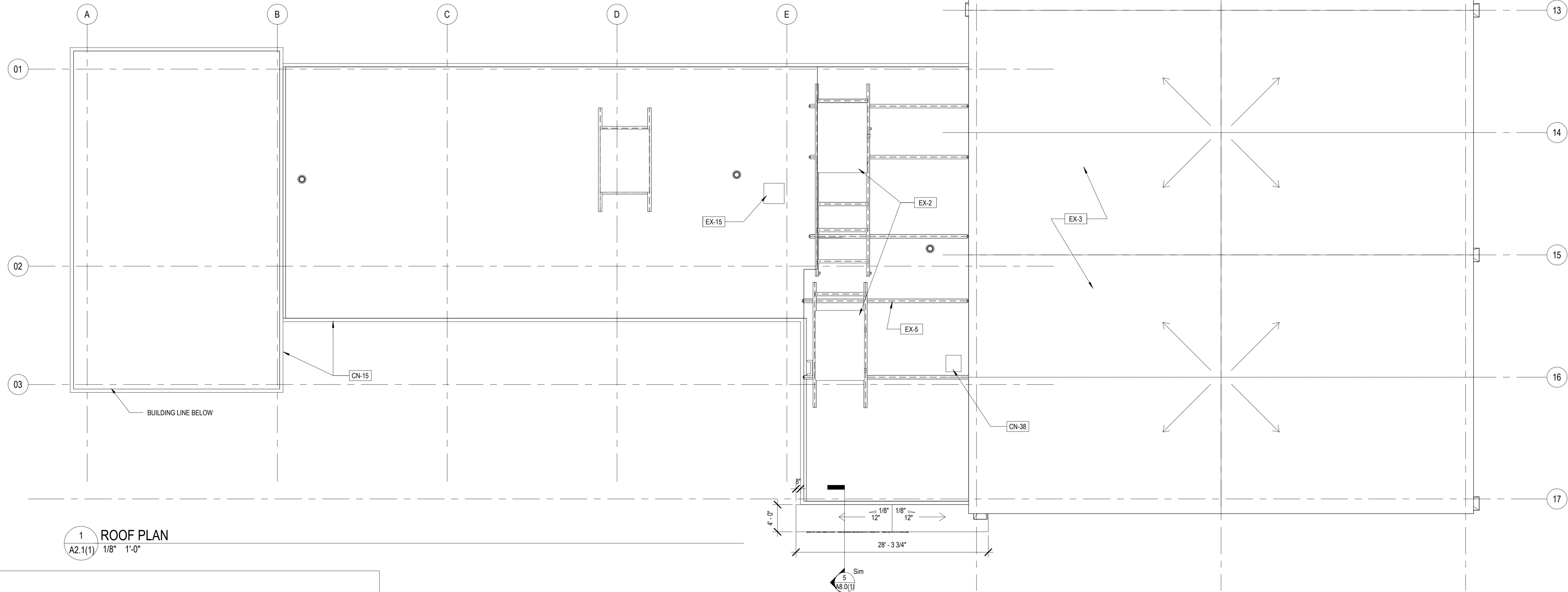
1. ALL EXISTING WALLS IN WORK AREA TO REMAIN SHALL BE PREPPED AND PAINTED AT AREAS OF INFILL PARTITION, INFILL SHALL BE FLUSH WITH ADJACENT EXISTING CONSTRUCTION.
2. AT AREAS OF INFILL WHERE PORTIONS OF THE MURAL ARE TOUCHED OR REMOVAL, MURAL MODIFICATION AND PAINTING SHALL BE DONE BY OTHERS.
3. NEW WINDOW ASSEMBLIES, TYP AT ALL EXG WINDOW LOCATIONS UNLESS NOTED OTHERWISE
4. NEW METAL FASCIA, SOFFIT, AND ROOF EDGE ASSEMBLY, TYP WHERE DEMOLITION RESULTS IN EXPOSED GAPS, HOLES, OR DIVOTS IN EXG CONSTRUCTION, PATCH AS REQ'D TO MATCH ADJACENT MATERIALS, FINISHES, AND CONSTRUCTION
5. PREP AND PAINT ALL EXG PAINTED ITEMS AND SURFACES INDICATED TO REMAIN UNLESS NOTED OTHERWISE
6. PROVIDE ALL FLOOR PREP REQUIRED FOR NEW FLOORING FINISHES. PATCH AND LEVEL WITH HYDRAULIC CEMENT UNDERLAYMENT AS NECESSARY.
7. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND MOUNTING HEIGHTS OF MECHANICAL AND ELECTRICAL DEVICES
8. THE CONTRACTORS ARE RESPONSIBLE FOR COORDINATING CEILING LAYOUT, LIGHTING, MECHANICAL EQUIPMENT (INCLUDING DIFFUSER LAYOUT), WITH THE REFLECTED CEILING PLANS AND NOTIFY ARCHITECT OF ANY CONFLICTS THAT EFFECT THE SCHEDULED CEILING FINISHES, HEIGHTS, AND LAYOUTS
9. ALL CONDUIT, PIPING, ETC. TO SERVE SYSTEMS IN NEW CONSTRUCTION SHALL BE CONCEALED.
10. NEW EXTERIOR STOREFRONT PAINTING TO BE COORDINATED WITH OWNER TO MATCH MURAL, MURAL PAINTING AND MODIFICATION TO BE COMPLETED BY OTHERS.

**KEYED EXISTING NOTES**

- EX-1 EXISTING DOOR TO REMAIN
- EX-1.2 EXISTING WINDOW TO REMAIN
- EX-2 MECHANICAL EQUIPMENT TO REMAIN, REMOVE AND REINSTALL AS NECESSARY FOR REROOFING
- EX-3 EXISTING ROOF TO REMAIN
- EX-4 MAINTAIN EXISTING ROOF CURB
- EX-5 EXISTING DUNNAGE TO REMAIN
- EX-6 EXISTING KILN TO REMAIN, SEE MEP FOR NEW VENTING
- EX-7 EXISTING CASEWORK/CABINETS TO REMAIN
- EX-8 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-9 EXISTING ROOF HATCH TO REMAIN
- EX-10 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN

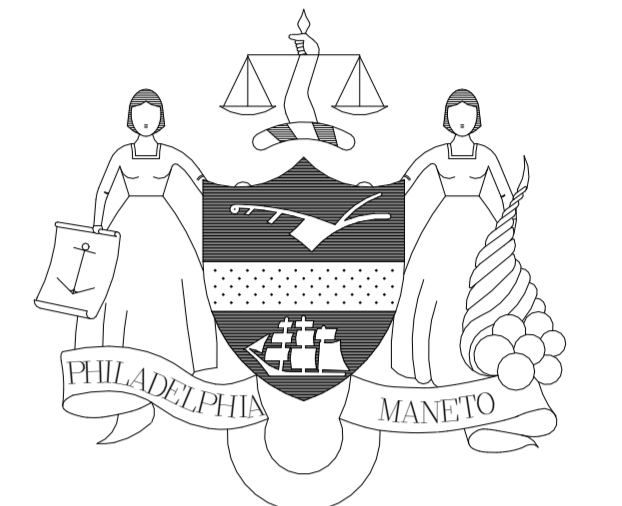
**KEYED CONSTRUCTION NOTES PHASE 1**

- CN-1 NEW INTERIOR 8' CMU WALL
- CN-2 NEW WALL IN-FILL AT DEMO'D DOOR TO MATCH ADJACENT CONSTRUCTION
- CN-4 NEW CASEWORK, BUILT-IN CABINETS
- CN-5 NEW BUILT-IN STORAGE, 8'-0" TALL
- CN-6 NEW WALK-OFF MAT
- CN-7 NEW ALUM STOREFRONT WITH SECURITY GLAZING AT EXT. LOCATIONS
- CN-8 NEW WATER FOUNTAINS
- CN-9 NEW SINK IN EXG LOCATION
- CN-10 <varies>
- CN-11 NEW PLUMBING FIXTURE
- CN-12 NEW TOILET PARTITIONS
- CN-13 NEW PERFORATED METAL EQUIPMENT SCREEN SUPPORTED BY EXISTING DUNNAGE AND NEW POSTS SEE STRUCTURAL DWGS
- CN-14 NEW HVAC UNIT
- CN-15 NEW ALUM COMPOSITE FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON LOW ROOF, TYP
- CN-17 NEW EXTERIOR ALUMINUM WINDOWS W/ PRIVACY GLAZING AND SECURITY SCREEN
- CN-19 NEW ROOFING ASSEMBLY, INCLUDING MIN R-35 INSULATION AND MEMBRANE ROOF
- CN-20 NEW METAL FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON GYM ROOF, TYP.
- CN-21 NEW EXTERIOR ALUMINUM WINDOW AND SECURITY SCREEN, TYP. UNO
- CN-21A NEW EXTERIOR ALUMINUM WINDOW
- CN-22 NEW EXTERIOR WALL INFILL, MATCH ADJACENT CONSTRUCTION MATERIALS
- CN-23 NEW ROOF DRAINS IN EXISTING OPENINGS, VERIFY LOCATION ON SITE, TYP.
- CN-24 NEW EXTERIOR EGRESS DOOR IN NEW OPENING, NEW LINTEL
- CN-25 NEW METAL DIMENSIONAL LETTER SIGNAGE
- CN-26 ALUM COMPOSITE CANOPY
- CN-27 INFILL ROOF OPENING
- CN-28 NEW LOUVER IN EXTG OPENING
- CN-29 PAINT AND PRIME EXISTING DUNNAGE
- CN-31 NEW ROOF HATCH WITH WALL MOUNTED LADDER
- CN-32 NEW EXTERIOR LIGHT FIXTURES IN EXISTING LOCATIONS, TYP.
- CN-33 NEW CAST IRON DOWNSPOUT BOOT AT EXISTING DOWNSPOUT
- CN-34 NEW DOWNSPOUT AND SCUPPER AT EXISTING LOCATION
- CN-35 NEW DUNNAGE WHERE INDICATED, SEE STRUCTURAL DWGS
- CN-36 NEW DOOR IN EXG OPENING
- CN-38 NEW CONDENSORY UNIT, SEE MEP DRAWINGS
- CN-39 INFILL EXG OPENING WITH BRICK TO MATCH ADJACENT CONSTRUCTION
- CN-42 NEW WD BOOKCASE
- CN-43 EXG WATER FOUNTAIN RELOCATED
- CN-44 NEW EWC CHASE, 2X4 MTL STUD, PROVIDE BLOCKING, VERIFY ON SITE TO COORDINATE WITH SIZE OF EWC CARRIER
- CN-45 NEW WING WALLS
- CN-46 REPLACE SALVAGED AC UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- CN-47 REPLACE SALVAGED PROPELLOR UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- CN-48 NEW GLAZING IN EXG WINDOW FRAME
- CN-49 NEW CAST IRON DOWNSPOUT BOOT AND NEW DOWNSPOUT - THIS LOCATION ONLY
- CN-50 NEW SCUPPER ONLY AT EXG DOWNSPOUT LOCATION



**1 ROOF PLAN**  
A2.1(1) 1/8" 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR	<b>PRIYANKA MALIK</b>
SEALS	

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

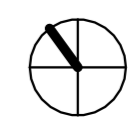
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

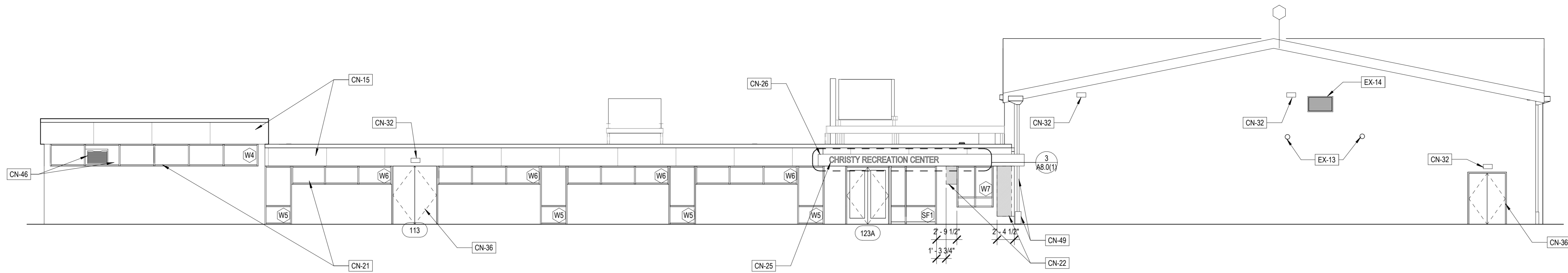
PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ROOF PLAN**

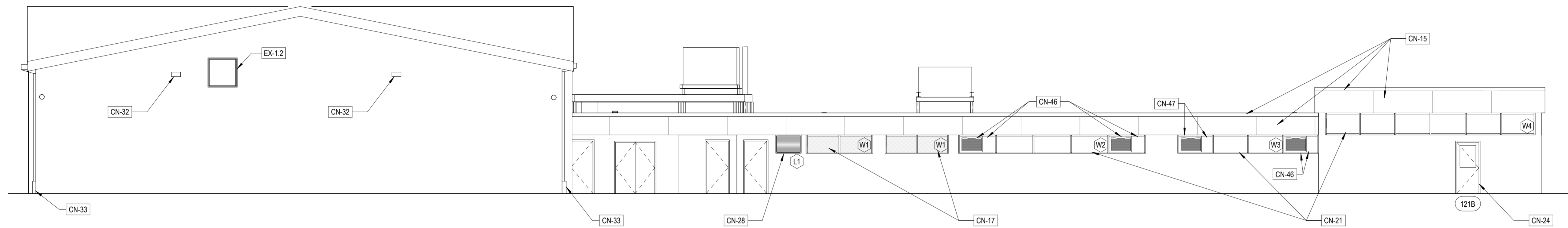
PROJECT NO. <b>73217</b>	DRAWING NO. <b>A2.1(1)</b>
DATE 03/15/2024	
SCALE AS NOTED	
DRAWN BY ED	
CHECKED BY MS	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





**4 SOUTH ELEVATION**  
A3.0(1) 1/8" 1'-0"



**3 NORTH ELEVATION**  
A3.0(1) 1/8" 1'-0"

**GENERAL CONSTRUCTION NOTES PHASE 1**

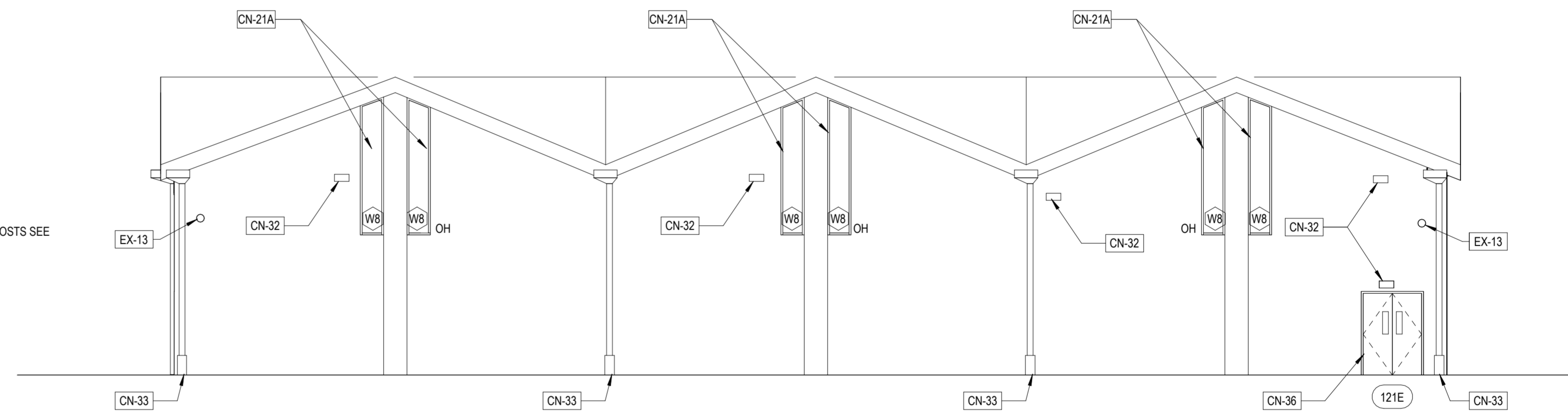
- ALL EXISTING WALLS IN WORK AREA TO REMAIN SHALL BE PREPPED AND PAINTED AT AREAS OF INFILL PARTITION, INFILL SHALL BE FLUSH WITH ADJACENT EXISTING CONSTRUCTION.
- AT AREAS OF INFILL WHERE PORTIONS OF THE MURAL ARE TOUCHED OR REMOVAL, MURAL MODIFICATION AND PAINTING SHALL BE DONE BY OTHERS.
- NEW WINDOW ASSEMBLIES, TYP AT ALL EXG WINDOW LOCATIONS UNLESS NOTED OTHERWISE
- NEW METAL FASCIA, SOFFIT, AND ROOF EDGE ASSEMBLY, TYP WHERE DEMOLITION RESULTS IN EXPOSED GAPS, HOLES, OR DIVOTS IN EXG CONSTRUCTION, PATCH AS REQD TO MATCH ADJACENT MATERIALS, FINISHES, AND CONSTRUCTION
- PREP AND PAINT ALL EXG PAINTED ITEMS AND SURFACES INDICATED TO REMAIN UNLESS NOTED OTHERWISE
- PROVIDE ALL FLOOR PREP REQUIRED FOR NEW FLOORING FINISHES. PATCH AND LEVEL WITH HYDRAULIC CEMENT UNDERLAYMENT AS NECESSARY.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND MOUNTING HEIGHTS OF MECHANICAL AND ELECTRICAL DEVICES
- THE CONTRACTORS ARE RESPONSIBLE FOR COORDINATING CEILING LAYOUT, LIGHTING, MECHANICAL EQUIPMENT (INCLUDING DIFFUSER LAYOUT), WITH THE REFLECTED CEILING PLANS AND NOTIFY ARCHITECT OF ANY CONFLICTS THAT EFFECT THE SCHEDULED CEILING FINISHES, HEIGHTS, AND LAYOUTS
- ALL CONDUIT, PIPING, ETC. TO SERVE SYSTEMS IN NEW CONSTRUCTION SHALL BE CONCEALED.
- NEW EXTERIOR STOREFRONT PAINTING TO BE COORDINATED WITH OWNER TO MATCH MURAL, MURAL PAINTING AND MODIFICATION TO BE COMPLETED BY OTHERS.

**KEYED EXISTING NOTES**

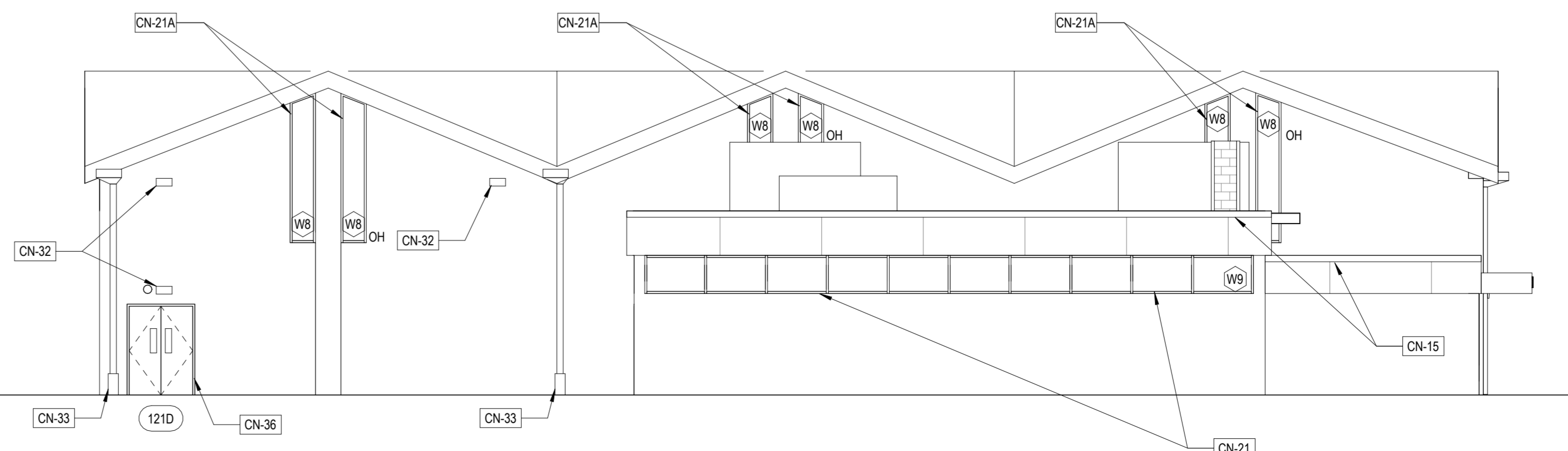
- EX-1 EXISTING DOOR TO REMAIN
- EX-1.2 EXISTING WINDOW TO REMAIN
- EX-2 MECHANICAL EQUIPMENT TO REMAIN, REMOVE AND REINSTALL AS NECESSARY FOR REROOFING
- EX-3 EXISTING ROOF TO REMAIN
- EX-4 MAINTAIN EXISTING ROOF CURB
- EX-5 EXISTING DUNNAGE TO REMAIN
- EX-6 EXISTING KILN TO REMAIN, SEE MEP FOR NEW VENTING
- EX-7 EXISTING CASEWORK/CABINETRY TO REMAIN
- EX-8 EXISTING FIRE EXTINGUISHER TO REMAIN
- EX-9 EXISTING ROOF HATCH TO REMAIN
- EX-10 EXISTING POLE
- EX-12 EXISTING STEEL COLUMN
- EX-13 EXISTING ELECTRICAL FIXTURES TO REMAIN
- EX-14 EXISTING LOUVER TO REMAIN
- EX-15 EXISTING ROOF EQUIPMENT TO REMAIN

**KEYED CONSTRUCTION NOTES PHASE 1**

- CN-1 NEW INTERIOR 8" CMU WALL
- CN-2 NEW WALL IN-FILL AT DEMOD DOOR TO MATCH ADJACENT CONSTRUCTION
- CN-4 NEW CASEWORK, BUILT-IN CABINETS
- CN-5 NEW BUILT-IN STORAGE, 8'-0" TALL
- CN-6 NEW WALK-OFF MAT
- CN-7 NEW ALUM STOREFRONT WITH SECURITY GLAZING AT EXT. LOCATIONS
- CN-8 NEW WATER FOUNTAINS
- CN-9 NEW SINK IN EXG LOCATION
- CN-10 <varies>
- CN-11 NEW PLUMBING FIXTURE
- CN-12 NEW TOILET PARTITIONS
- CN-13 NEW PERFORATED METAL EQUIPMENT SCREEN SUPPORTED BY EXISTING DUNNAGE AND NEW POSTS SEE STRUCTURAL DWGS
- CN-14 NEW HVAC UNIT
- CN-15 NEW ALUM COMPOSITE FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON LOW ROOF, TYP
- CN-17 NEW EXTERIOR ALUMINUM WINDOWS W/ PRIVACY GLAZING AND SECURITY SCREEN
- CN-19 NEW ROOFING ASSEMBLY, INCLUDING MIN R-35 INSULATION AND MEMBRANE ROOF
- CN-20 NEW METAL FASCIA, SOFFIT AND ROOF EDGE ASSEMBLY ON GYM ROOF, TYP.
- CN-21 NEW EXTERIOR ALUMINUM WINDOW AND SECURITY SCREEN, TYP. UNO
- CN-21A NEW EXTERIOR ALUMINUM WINDOW
- CN-22 NEW EXTERIOR WALL INFILL, MATCH ADJACENT CONSTRUCTION MATERIALS
- CN-23 NEW ROOF DRAINS IN EXISTING OPENINGS, VERIFY LOCATION ON SITE, TYP.
- CN-24 NEW EXTERIOR EGRESS DOOR IN NEW OPENING, NEW LINTEL
- CN-25 NEW METAL DIMENSIONAL LETTER SIGNAGE
- CN-26 ALUM COMPOSITE CANOPY
- CN-27 INFILL ROOF OPENING
- CN-28 NEW LOUVER IN EXT'G OPENING
- CN-29 PAINT AND PRIME EXISTING DUNNAGE
- CN-31 NEW ROOF HATCH WITH WALL MOUNTED LADDER
- CN-32 NEW EXTERIOR LIGHT FIXTURES IN EXISTING LOCATIONS, TYP.
- CN-33 NEW CAST IRON DOWNSPOUT BOOT AT EXISTING DOWNSPOUT
- CN-34 NEW DOWNSPOUT AND SCUPPER AT EXISTING LOCATION
- CN-35 NEW DUNNAGE WHERE INDICATED, SEE STRUCTURAL DWGS
- CN-36 NEW DOOR IN EXG OPENING
- CN-38 NEW CONDENSORY UNIT, SEE MEP DRAWINGS
- CN-39 INFILL EXG OPENING WITH BRICK TO MATCH ADJACENT CONSTRUCTION
- CN-42 NEW WD BOOKCASE
- CN-43 EXG WATER FOUNTAIN RELOCATED
- CN-44 NEW EWC CHASE, 2X4 MTL STUD, PROVIDE BLOCKING, VERIFY ON SITE TO COORDINATE WITH SIZE OF EWC CARRIER
- CN-45 NEW WING WALLS
- CN-46 REPLACE SALVAGED AC UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- CN-47 REPLACE SALVAGED PROPELLOR UNIT AND CAGE IN NEW WINDOW OPEN, INFILL REMAINING AREA WITH METAL PANEL TO MATCH WINDOW FRAME
- CN-48 NEW GLAZING IN EXG WINDOW FRAME
- CN-49 NEW CAST IRON DOWNSPOUT BOOT AND NEW DOWNSPOUT - THIS LOCATION ONLY
- CN-50 NEW SCUPPER ONLY AT EXG DOWNSPOUT LOCATION



**2 EAST ELEVATION**  
A3.0(1) 1/8" 1'-0"



**1 WEST ELEVATION**  
A3.0(1) 1/8" 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMP ARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
STRUCTURAL ENGINEERING  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

PROJECT NO.  
**73217**

DATE  
03/15/2024

SCALE  
AS NOTED

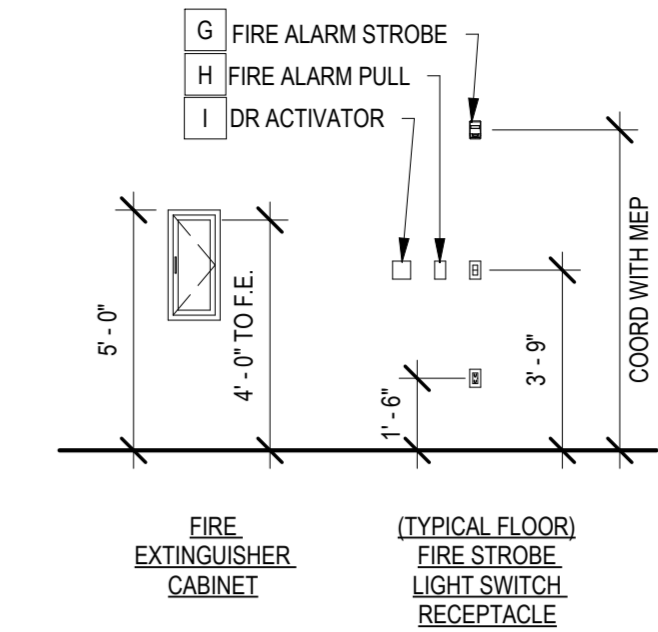
DRAWN BY  
ED

CHECKED BY  
MS

DRAWING NO.

**A3.0(1)**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



MISC ACCESSORIES

11 TYPICAL MOUNTING HEIGHTS - FIRE  
A5.0(1) 1/4" 1'-0"



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

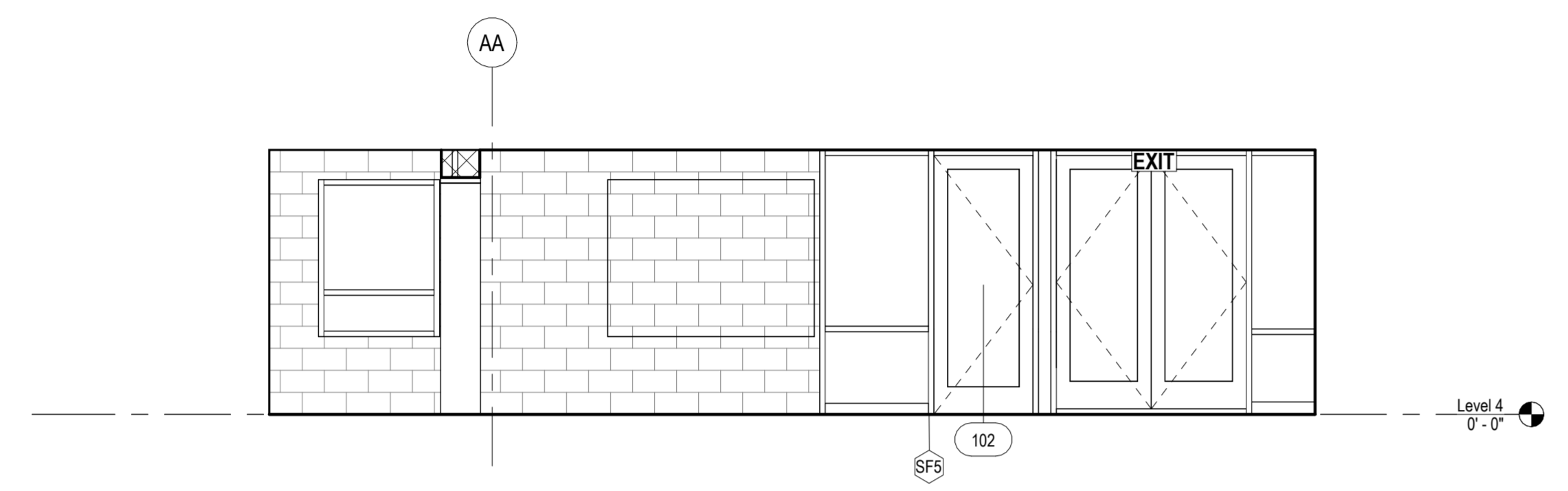
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

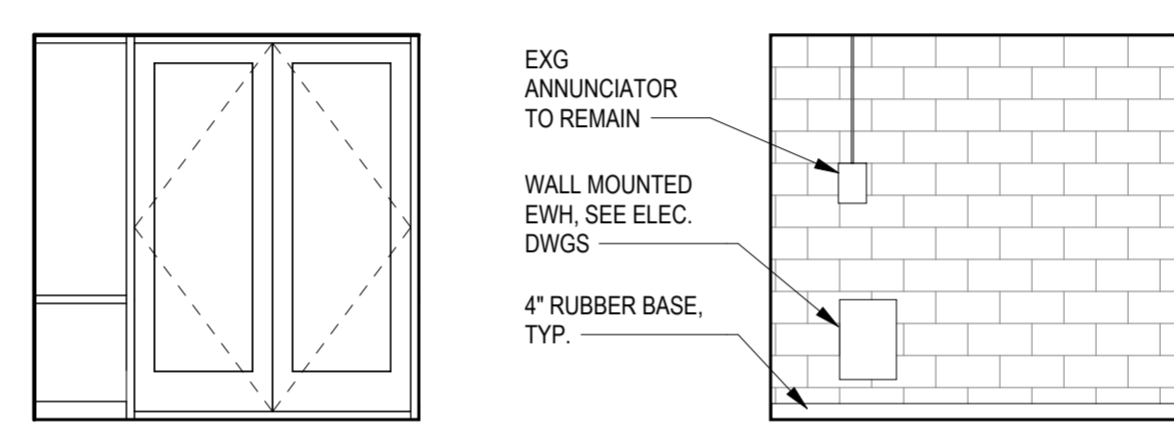
DRAWING TITLE  
**ENLARGED PLANS AND INTERIOR  
ELEVATIONS**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>A5.0(1)</b>
DATE 03/15/2024	
SCALE AS NOTED	
DRAWN BY ED	
CHECKED BY MS	

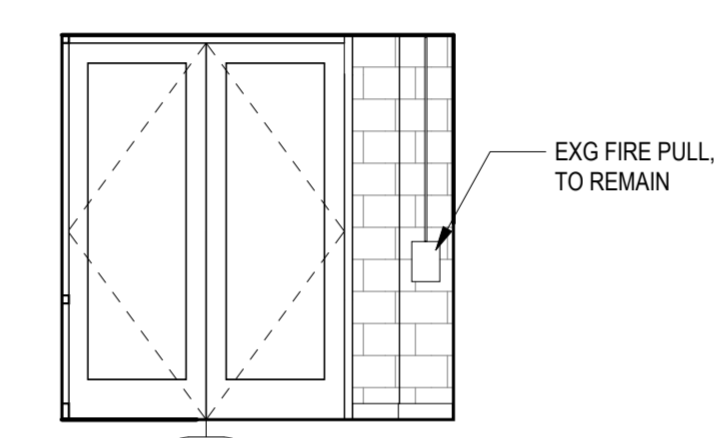
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



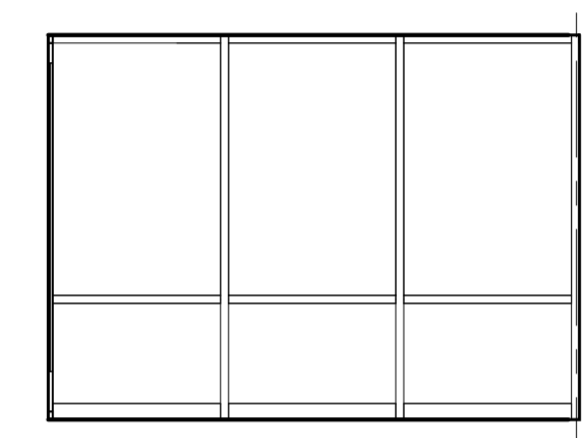
10 LOBBY SOUTH P1  
A5.0(1) 1/4" 1'-0"



9 VESTIBULE - NORTH  
A5.0(1) 1/4" 1'-0"



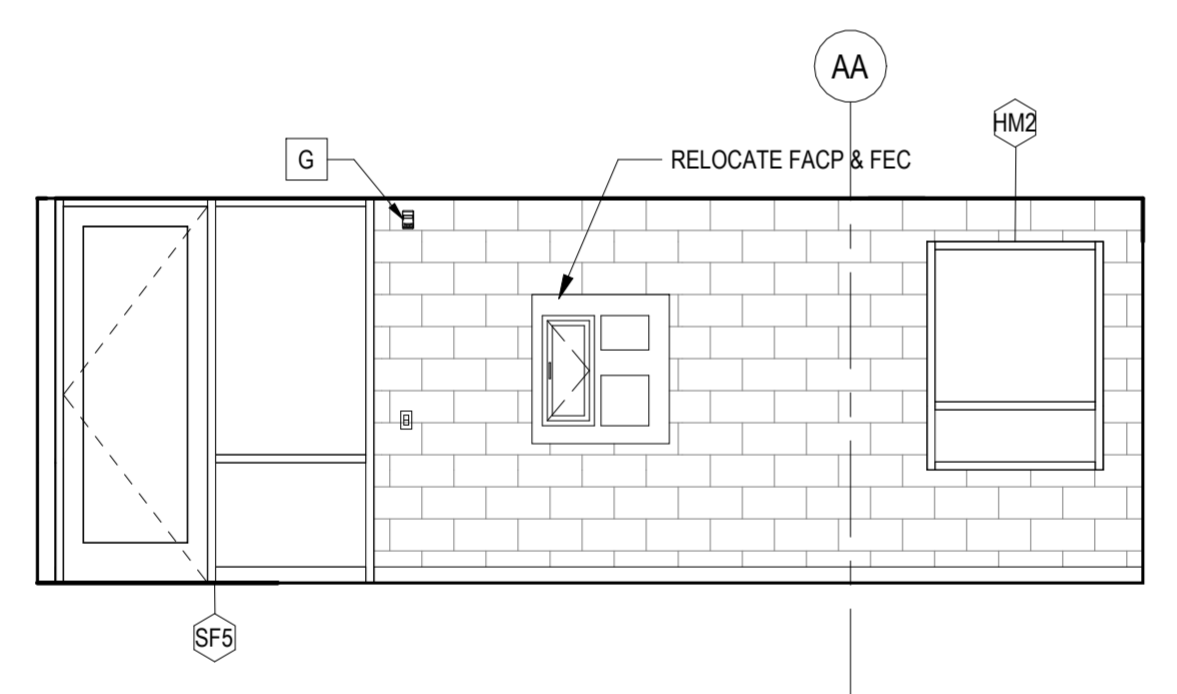
8 VESTIBULE - WEST  
A5.0(1) 1/4" 1'-0"



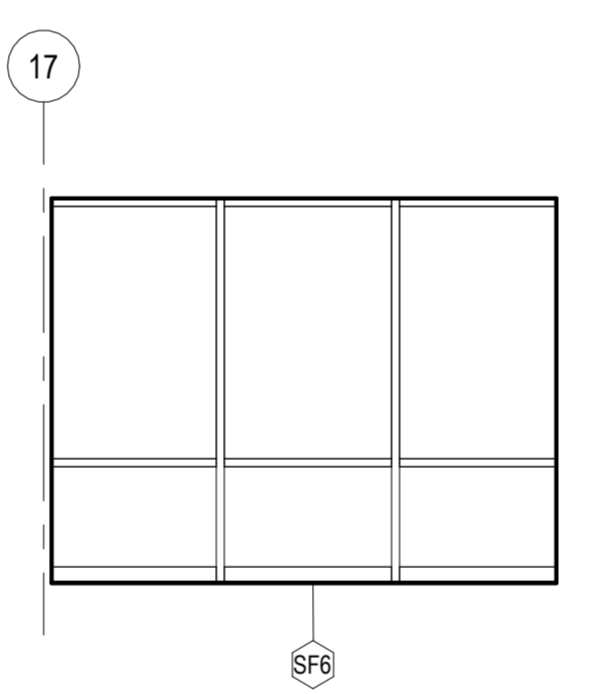
7 VESTIBULE - SOUTH  
A5.0(1) 1/4" 1'-0"

17

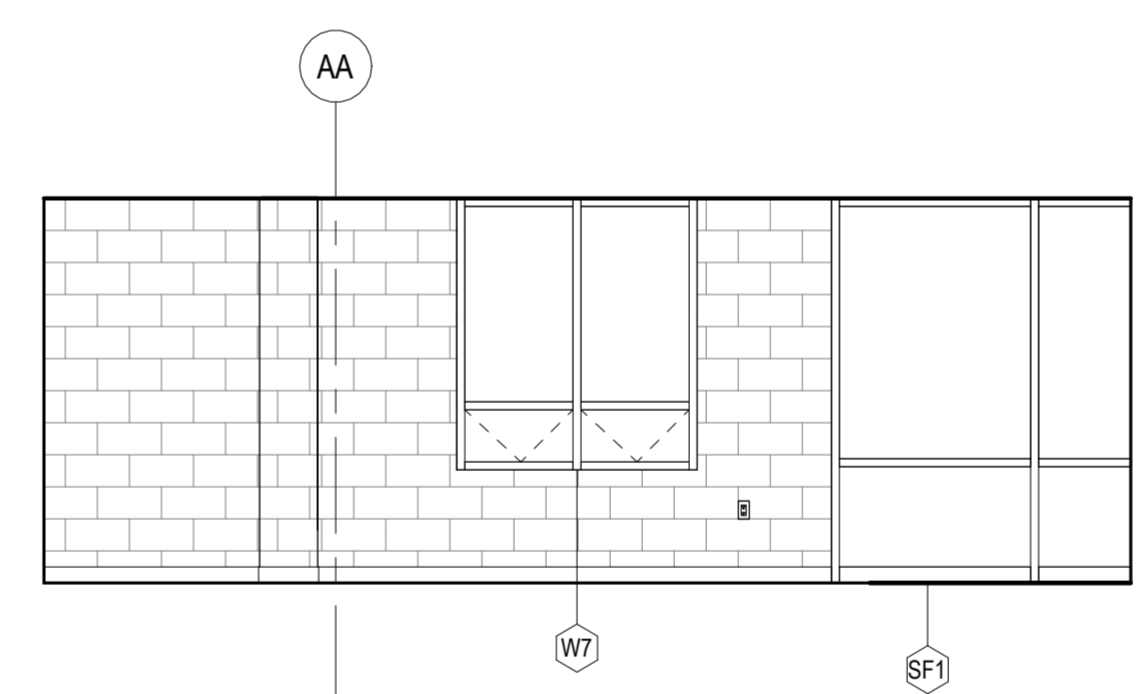
6 VESTIBULE - EAST  
A5.0(1) 1/4" 1'-0"



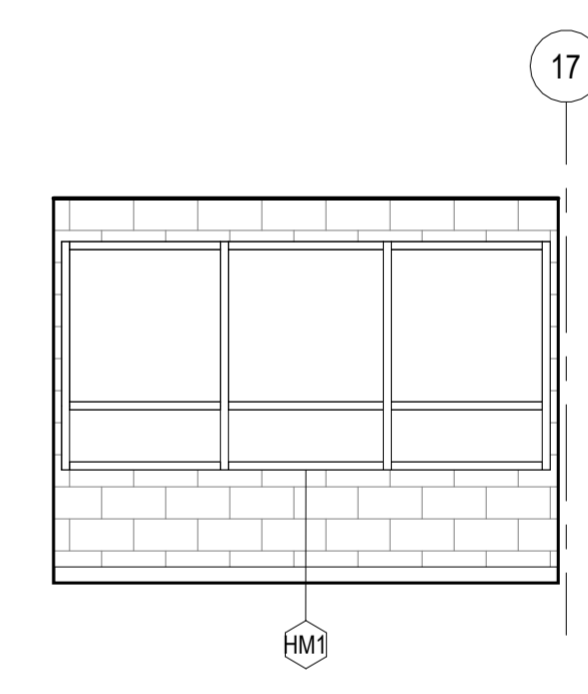
5 OFFICE - NORTH  
A5.0(1) 1/4" 1'-0"



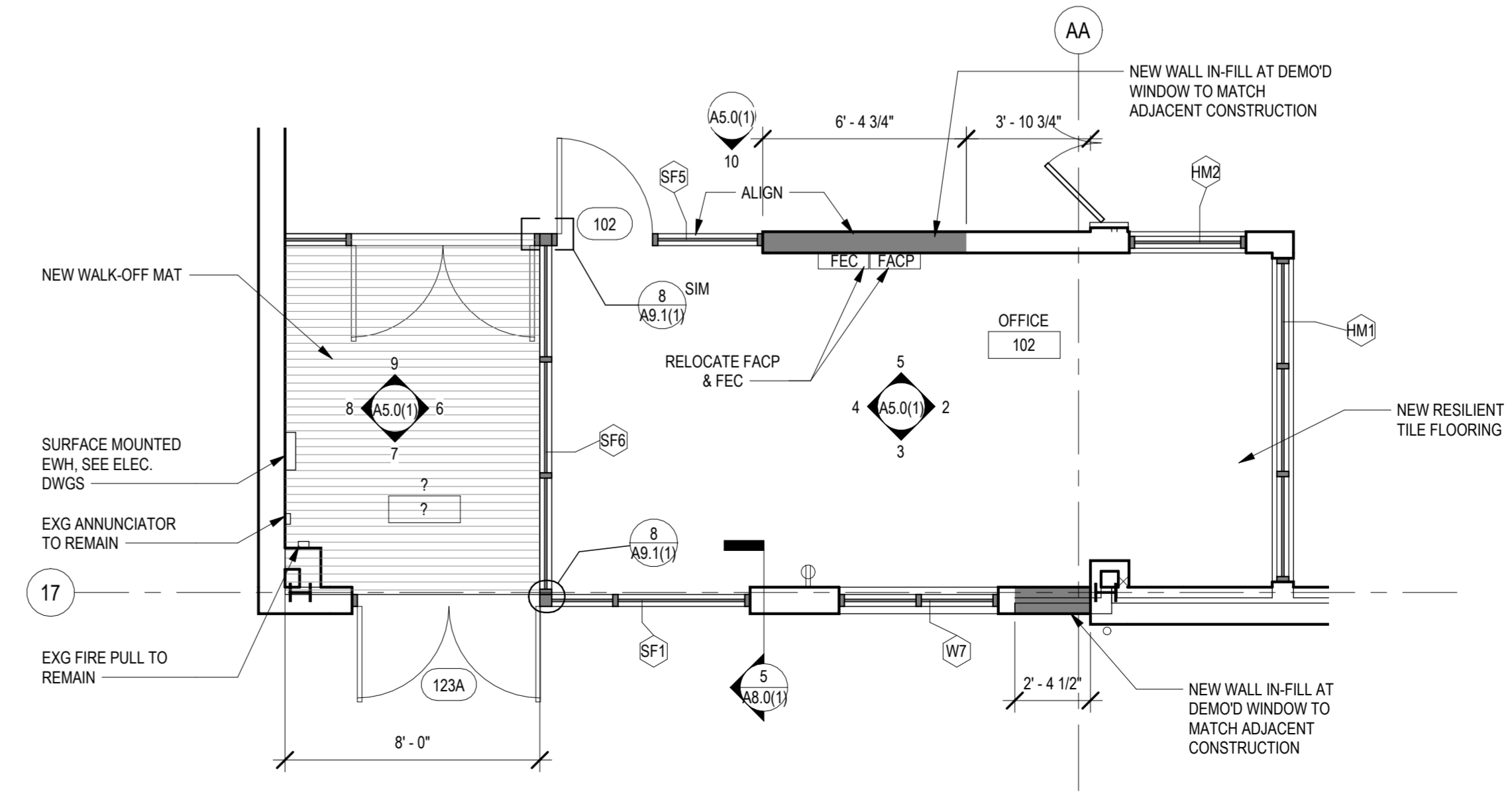
4 OFFICE - WEST  
A5.0(1) 1/4" 1'-0"



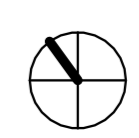
3 OFFICE - SOUTH  
A5.0(1) 1/4" 1'-0"



2 OFFICE - EAST  
A5.0(1) 1/4" 1'-0"



1 ENLARGED PLAN - OFFICE  
A5.0(1) 1/4" 1'-0"



**GENERAL CONSTRUCTION NOTES PHASE 1**

- ALL EXISTING WALLS IN WORK AREA TO REMAIN SHALL BE PREPPED AND PAINTED AT AREAS OF INFILL PARTITION, INFILL SHALL BE FLUSH WITH ADJACENT EXISTING CONSTRUCTION.
- AT AREAS OF INFILL WHERE PORTIONS OF THE MURAL ARE TOUCHED OR REMOVAL, MURAL MODIFICATION AND PAINTING SHALL BE DONE BY OTHERS.
- NEW WINDOW ASSEMBLIES, TYP AT ALL EXG WINDOW LOCATIONS UNLESS NOTED OTHERWISE.
- NEW METAL FASCIA, SOFFIT, AND ROOF EDGE ASSEMBLY, TYP WHERE DEMOLITION RESULTS IN EXPOSED GAPS, HOLES, OR DIVOTS IN EXG CONSTRUCTION. PATCH AS REQ'D TO MATCH ADJACENT MATERIALS, FINISHES, AND CONSTRUCTION.
- PREP AND PAINT ALL EXG PAINTED ITEMS AND SURFACES INDICATED TO REMAIN UNLESS NOTED OTHERWISE.
- PROVIDE ALL FLOOR PREP REQUIRED FOR NEW FLOORING FINISHES. PATCH AND LEVEL WITH HYDRAULIC CEMENT UNDERLAYMENT AS NECESSARY.
- REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION AND MOUNTING HEIGHTS OF MECHANICAL AND ELECTRICAL DEVICES.
- THE CONTRACTORS ARE RESPONSIBLE FOR COORDINATING CEILING LAYOUT, LIGHTING, MECHANICAL EQUIPMENT (INCLUDING DIFFUSER LAYOUT), WITH THE REFLECTED CEILING PLANS AND NOTIFY ARCHITECT OF ANY CONFLICTS THAT EFFECT THE SCHEDULED CEILING FINISHES, HEIGHTS, AND LAYOUTS.
- ALL CONDUIT, PIPING, ETC. TO SERVE SYSTEMS IN NEW CONSTRUCTION SHALL BE CONCEALED.
- NEW EXTERIOR STOREFRONT PAINTING TO BE COORDINATED WITH OWNER TO MATCH MURAL, MURAL PAINTING AND MODIFICATION TO BE COMPLETED BY OTHERS.

**KEYED REFLECTED CEILING CONSTRUCTION NOTES**

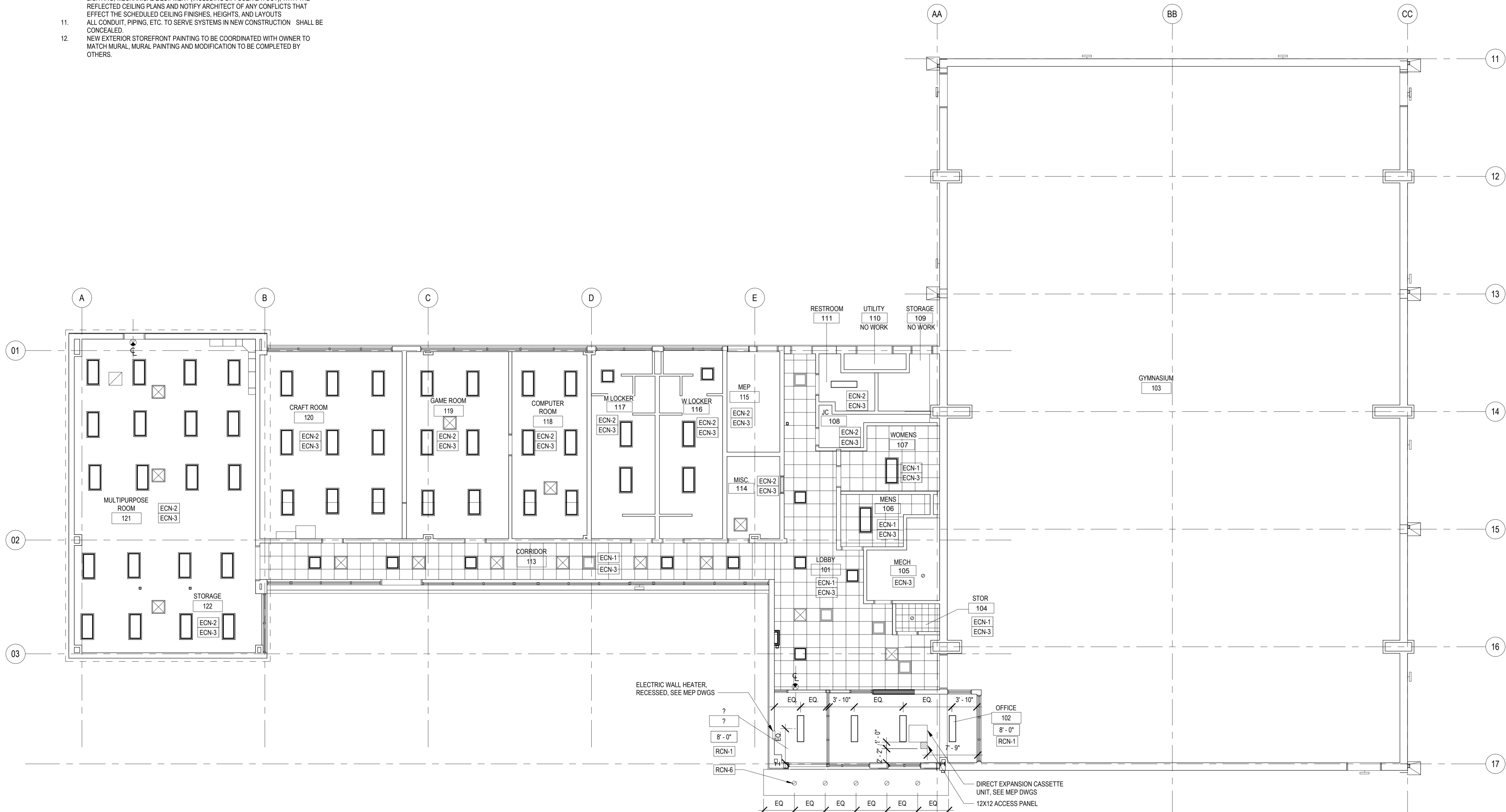
- RCN-1 NEW DRYWALL CEILING WITH NEW LIGHT FIXTURES  
 RCN-2 PAINT EXISTING EXPOSED PAINTED STRUCTURE, DECK, AND OTHER PAINTED ITEMS IN GYM  
 RCN-3 NEW ROOF HATCH  
 RCN-4 GWB CONTROL JOINT  
 RCN-6 NEW RECESSED LIGHT FIXTURES IN CANOPY

**EXISTING CEILING NOTES**

- ECN-1 EXISTING ACT CEILING TO REMAIN  
 ECN-2 EXISTING GWB CEILING TO REMAIN  
 ECN-3 EXISTING LIGHT FIXTURES TO REMAIN

**RCP FIXTURE KEY**

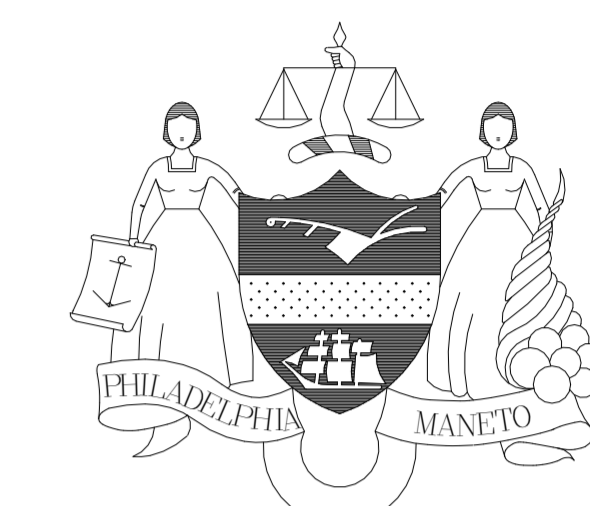
- RECESSED LINEAR LED FIXTURE  
 SURFACE MOUNTED LED FIXTURE  
 RECESSED LINEAR SQUARE DECORATIVE LED FIXTURE  
 EXIT SIGN - WALL MOUNTED  
 EMERGENCY LIGHTING  
 12"x12" ACCESS PANEL



1 REFLECTED CEILING PLAN  
 A6.0(1) 1/8" 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

- SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410
- MEP ENGINEER:  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365
- CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425
- LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
 230 South Broad Street  
 Philadelphia, Pennsylvania 19102  
 215 790 0727
- COST CONSULTANT  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560
- STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
 100 East Lancaster Avenue, Suite 203  
 Wayne, Pennsylvania 19087  
 610 213 3657

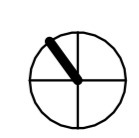
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

DRAWING TITLE  
**REFLECTED CEILING PLANS**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>A6.0(1)</b>
DATE 03/15/2024	
SCALE AS NOTED	
DRAWN BY ED	
CHECKED BY MS	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK





REVISIONS		
ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

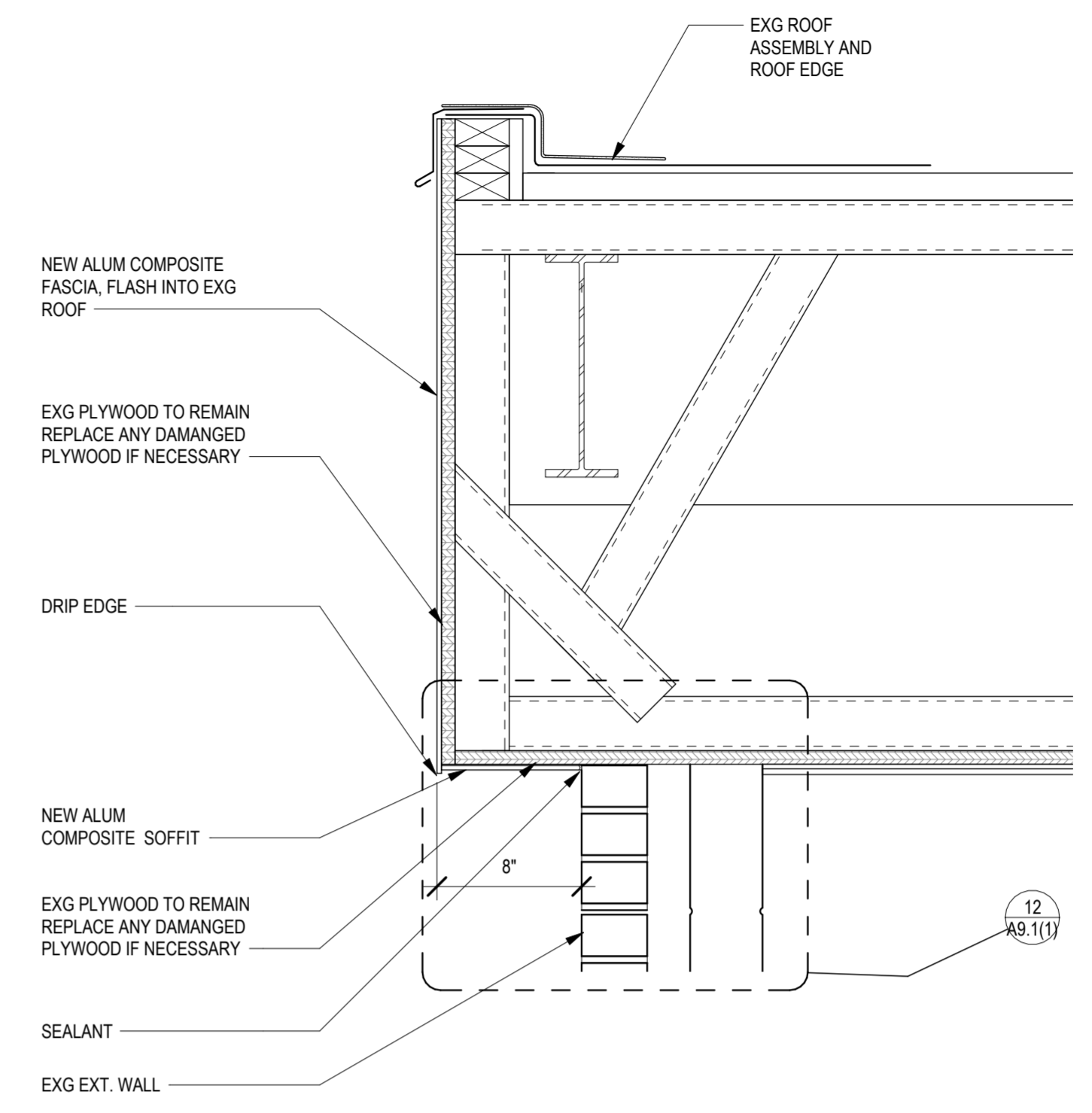
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

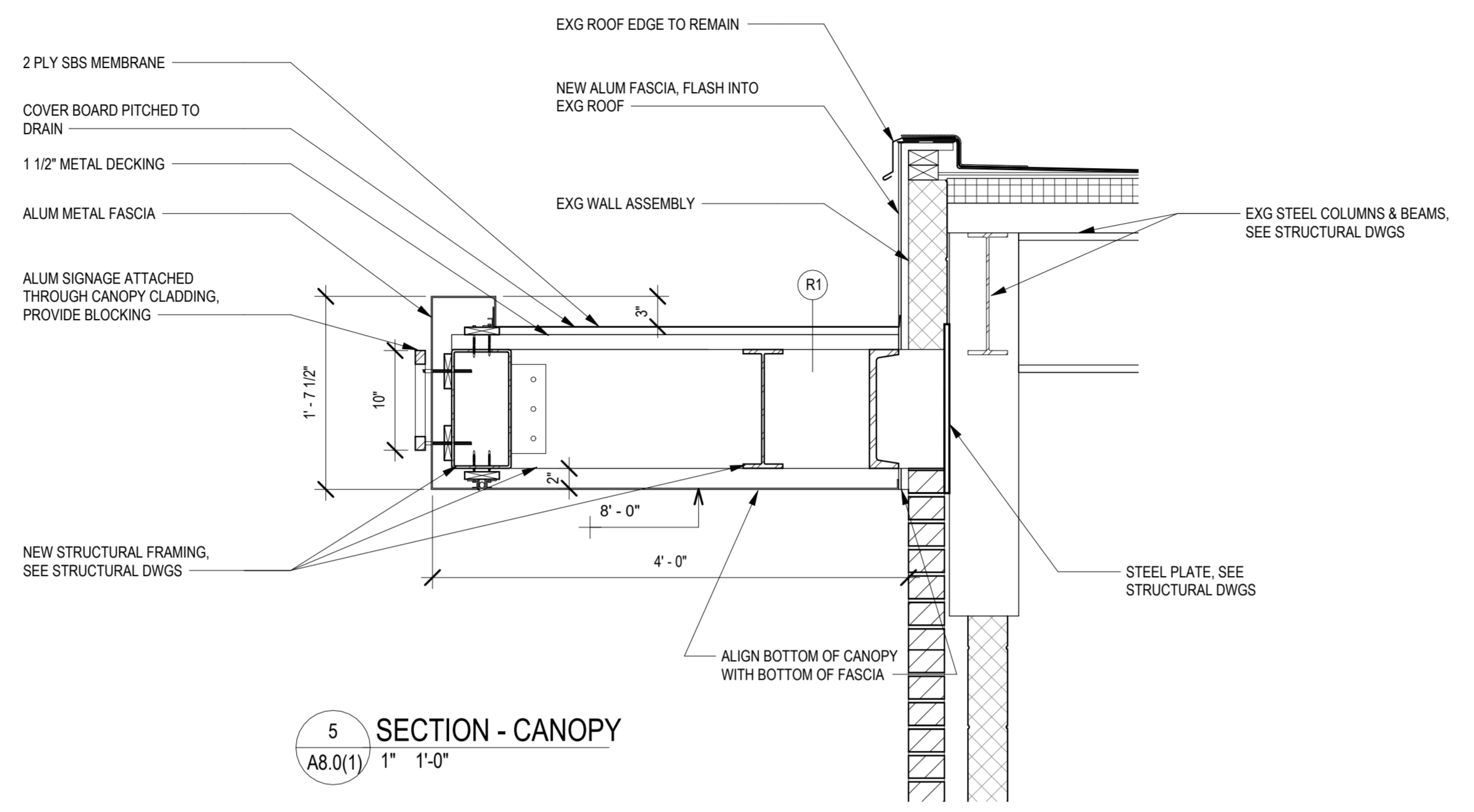
DRAWING TITLE  
**EXTERIOR DETAILS**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>A8.0(1)</b>
DATE 03/15/2024	SCALE AS NOTED
DRAWN BY ED	CHECKED BY MS

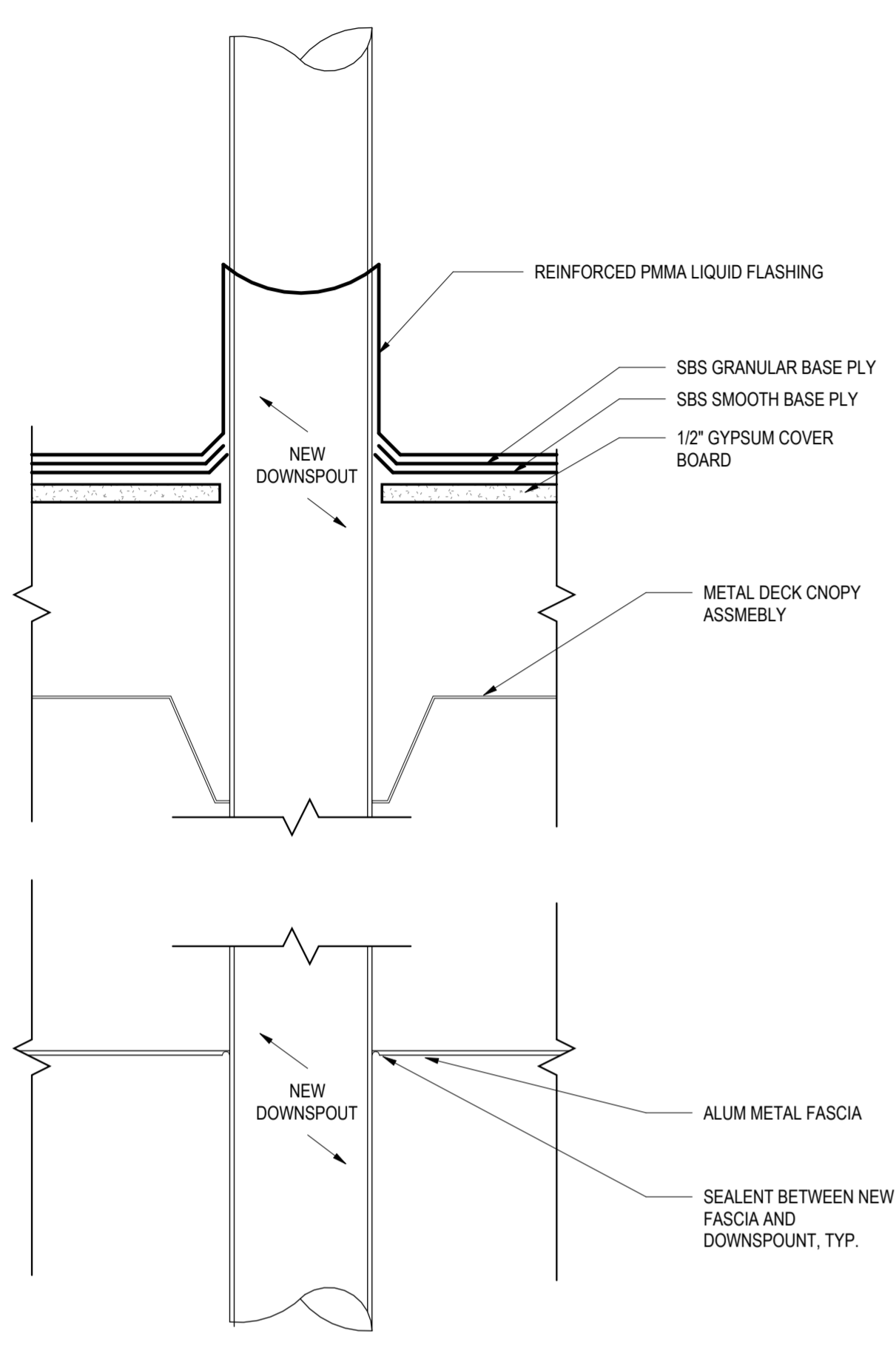
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**4 NEW FASCIA DETAIL**  
A8.0(1) 1 1/2" 1'-0"



**5 SECTION - CANOPY**  
A8.0(1) 1" 1'-0"



**6 DOWNSPOUT PENETRATION@ CANOPY**  
A8.0(1) 3" 1'-0"

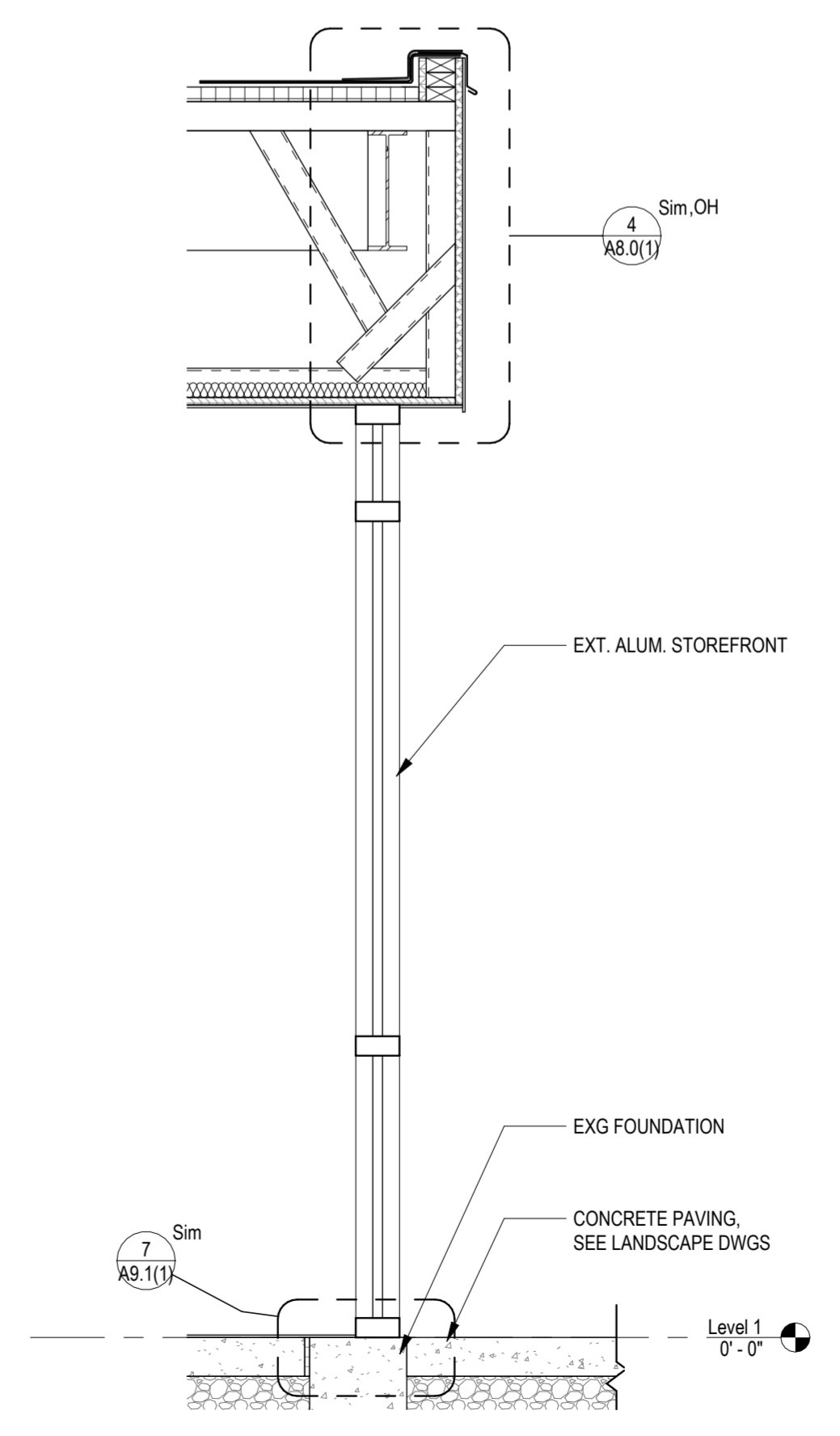


**3 CANOPY SIGNAGE ELEVATION**  
A8.0(1) 1/2" 1'-0"

ROOF TYPE					
TYPE	DESCRIPTION	CODE-REQ'D INSUL MIN R-VALUE	CALCULATED U-VALUE	DETAIL	SPECIFICATION
R1	LOW-SLOPE MEMBRANE ROOF ON MTL DECK	N/A	N/A		MEMBRANE ROOFING PER SPECIFICATIONS, 1/2" INSUL COVER BOARD, MTL ROOF DECK.

GENERAL ROOF NOTES:  
1. SEE STRUC DWGS FOR ROOF DECK & STRUCTURE.  
2. SEE ROOF PLAN DWG AND A-8 SERIES DWGS FOR ADDITIONAL DETAILS.  
3. MINIMUM INSUL R-VALUES ARE BASED ON YEAR IECC TABLE C402.13. PROJECT INSUL R-VALUES ARE BASED ON THE SPECIFIED B.O.D. AS FOLLOWS: 5" RIGID POLYISO INSUL R-30 - CONTINUOUS INSULATION

**2 CANOPY ROOF TYPE**  
A8.0(1) 1/2" 1'-0"



**1 WALL SECTION - STOREFRONT**  
A8.0(1) 3/4" 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
STRUCTURAL ENGINEERING  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

DRAWING TITLE

**DOOR AND FINISH SCHEDULES**

PROJECT NO.  
**73217**

DATE  
03/15/2024

SCALE  
AS NOTED

DRAWN BY  
ED

CHECKED BY  
MS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

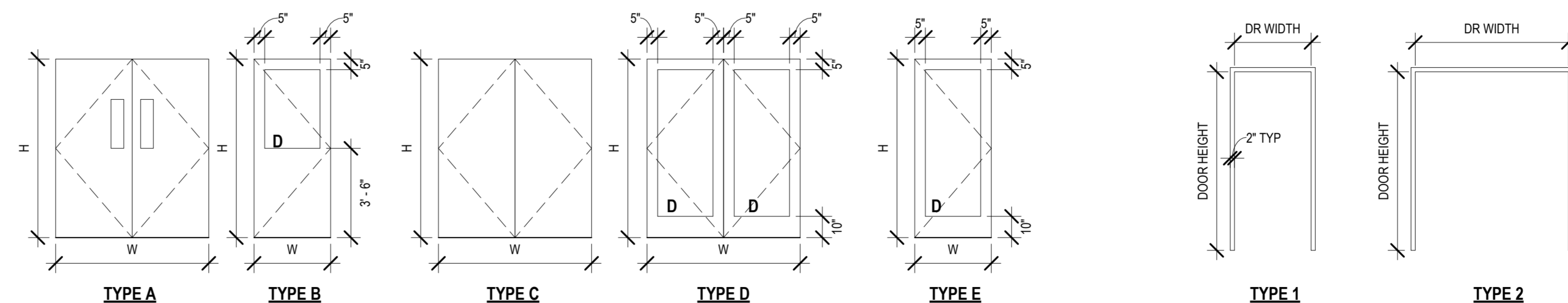


**3 ENLARGED FINISH PLAN**  
A9.0(1) 1/4" 1'-0"

FINISH SCHEDULE PHASE 1																			
ROOM		FLOOR		BASE			NORTH		EAST		SOUTH		WEST		CEILING		NOTES		
NO	NAME	MAT	FIN	MAT	FIN	HT	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN	MAT	FIN			
102	OFFICE	RT	FF	RB	FF	4	CMU	PNT	EXG CMU	PNT	EXG CMU	PNT	ALSF	FF	GWB	PNT			
123	VEST	WOM	FF	RB	FF	4	ALSF	FF	SF	FF	ALSF	FF	EXG CMU	PNT	GWB	PNT			

DOOR SCHEDULE PHASE 1																		
DOOR NO.	ROOM	NEW	INT	EXT	DOOR				FRAME				DETAILS			HARDWARE		
					TYPE	MAT	RATING	WIDTH	HEIGHT	FIN	GLAZING	TYPE	MAT	FIN	HEAD		JAMB	SILL
102	OFFICE	•	•	•	E	AL	-	3'-0"	7'-10"	FF	GL	ALSF	AL	FF	C	A	-	05
113	CORRIDOR	•	•	•	C	SSTL	-	6'-0"	8'-0"	PNT	-	EXG	HM	PNT	F	E	-	01
121B	MULTIPURPOSE ROOM	•	•	•	B	SSTL	-	3'-0"	7'-0"	FF	GL	F1	HM	FF	F	E	-	02
121D	GYMNASIUM	•	•	•	A	SSTL	-	5'-0"	7'-0"	FF	-	EXG	HM	PNT	F	E	-	06
121E	GYMNASIUM	•	•	•	A	SSTL	-	5'-0"	7'-0"	FF	-	EXG	HM	PNT	F	E	-	06
121F	GYMNASIUM	•	•	•	A	SSTL	-	5'-0"	7'-0"	FF	-	EXG	HM	PNT	F	E	-	03
123A		•	•	•	D	AL	-	5'-9"	7'-10"	FF	GL	ALSF	AL	FF	C	A	-	01
130		•	•	•	D	AL	-	5'-9"	7'-8"	ST	GL	ALSF	AL	FF	C	A	-	00

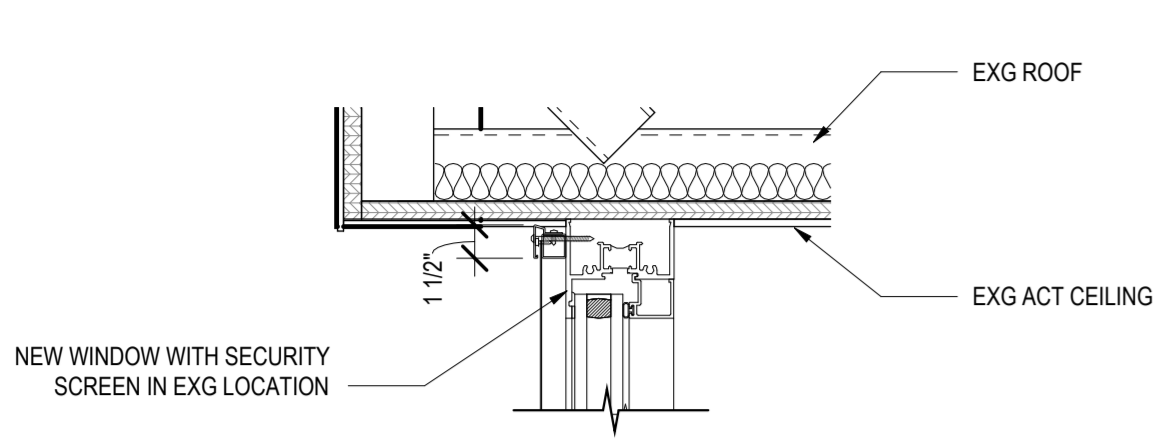
GLAZING TYPES
A: LOW-E INSULATED GLAZING UNITS (IGU)
B: PRIVACY LOW-E INSULATED GLAZING UNITS (IGU)
C: INTERIOR MONOLITHIC, CLEAR TEMPERED GLAZING
D: LAMINATED, INSULATED SECURITY GLAZING UNITS FOR MAIN ENTRANCE STOREFRONT APPLICATION.



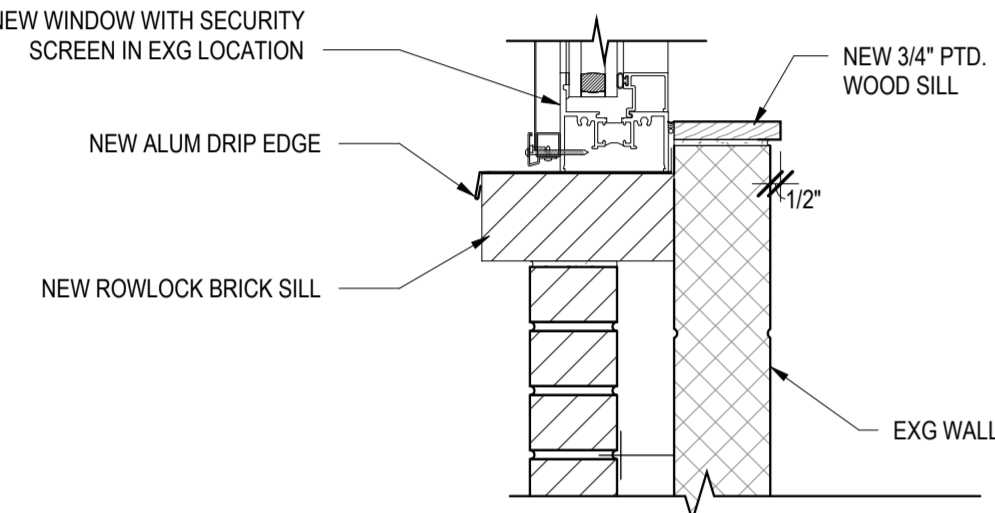
**2 DOOR TYPES PHASE 1**  
A9.0(1) 1/4" 1'-0"

**1 DOOR FRAME TYPES PHASE 1**  
A9.0(1) 1/4" 1'-0"

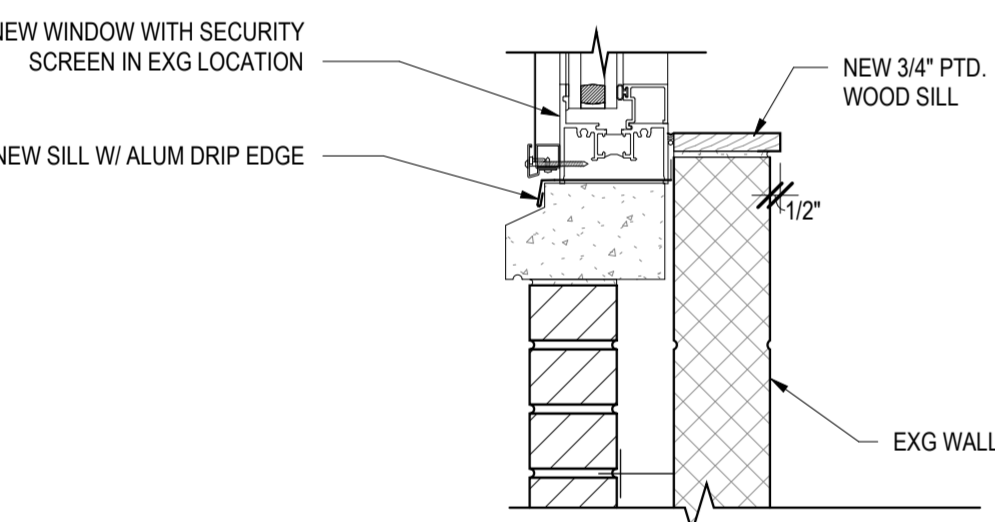
**A9.0(1)**



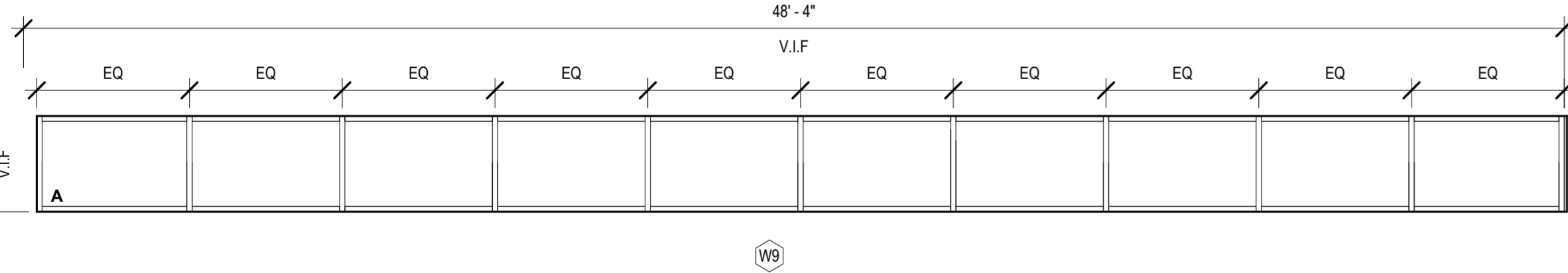
12 DETAIL - HEAD AT WINDOW REPLACEMENTS  
A9.1(1) 1 1/2" 1'-0"



9 DETAIL - SILL AT OFFICE WINDOW  
A9.1(1) 1 1/2" 1'-0"



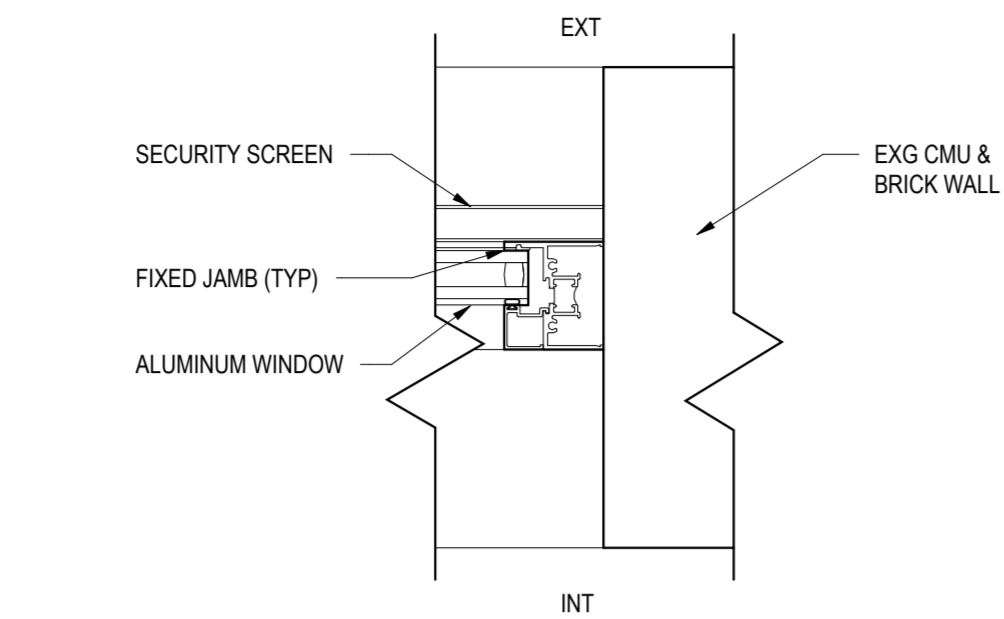
5 DETAIL - SILL AT WINDOW REPLACEMENTS  
A9.1(1) 1 1/2" 1'-0"



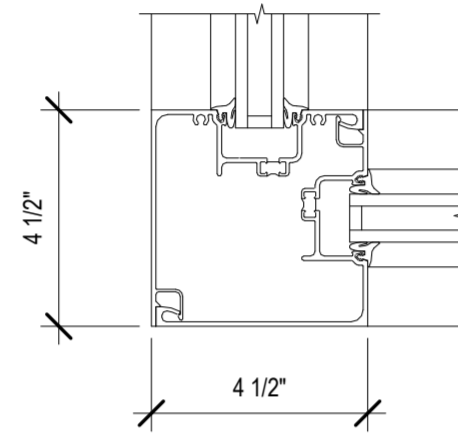
3 WINDOW TYPES  
A9.1(1) 1/4" 1'-0" NOTE: W8 DOES NOT HAVE A SECURITY SCREEN



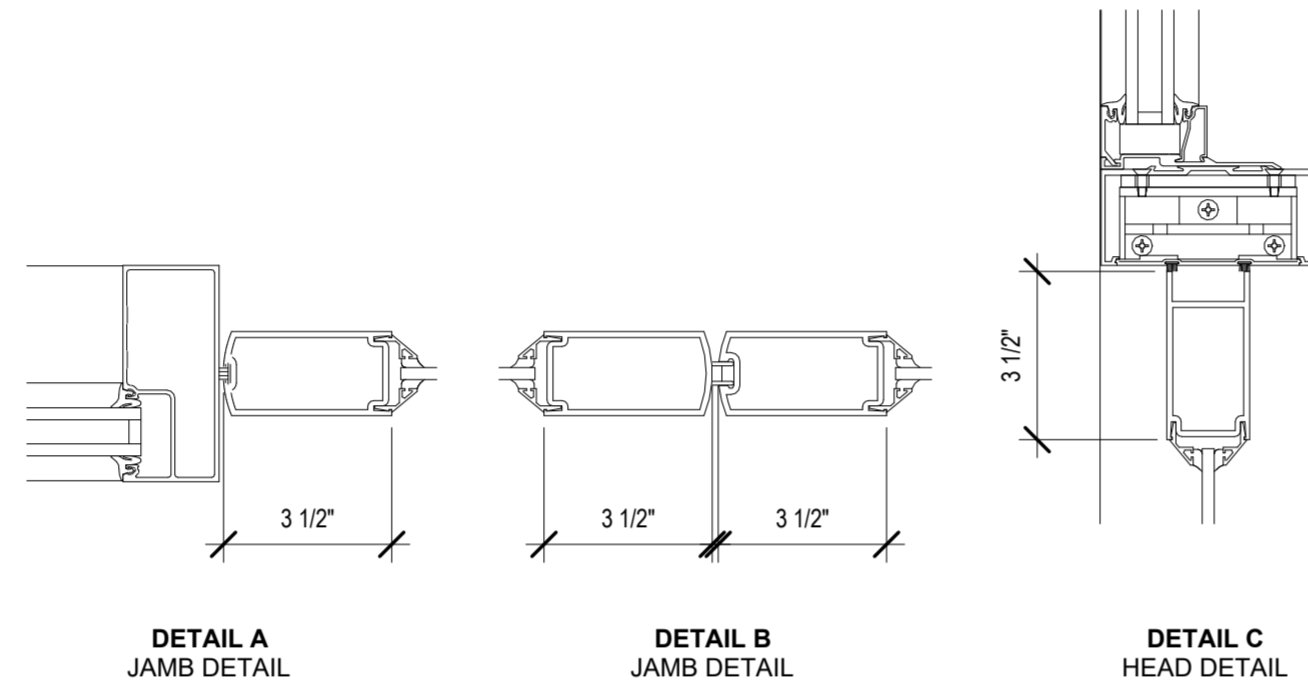
2 HOLLOW METAL TYPES  
A9.1(1) 1/4" 1'-0"



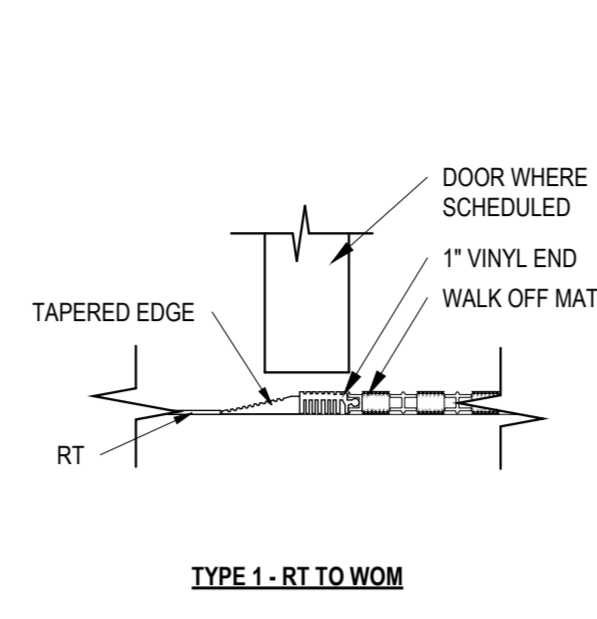
11 DETAIL - JAMB AT WINDOW REPLACEMENTS  
A9.1(1) 3" 1'-0"



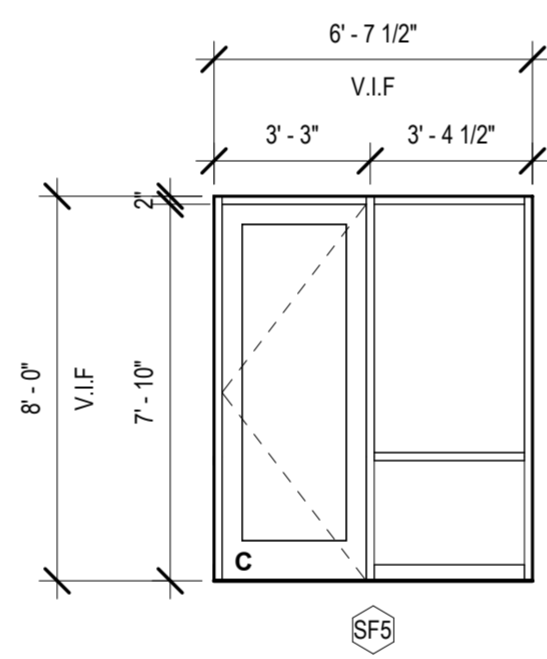
8 ALSF CORNER MULLION JOINT  
A9.1(1) 3" 1'-0"



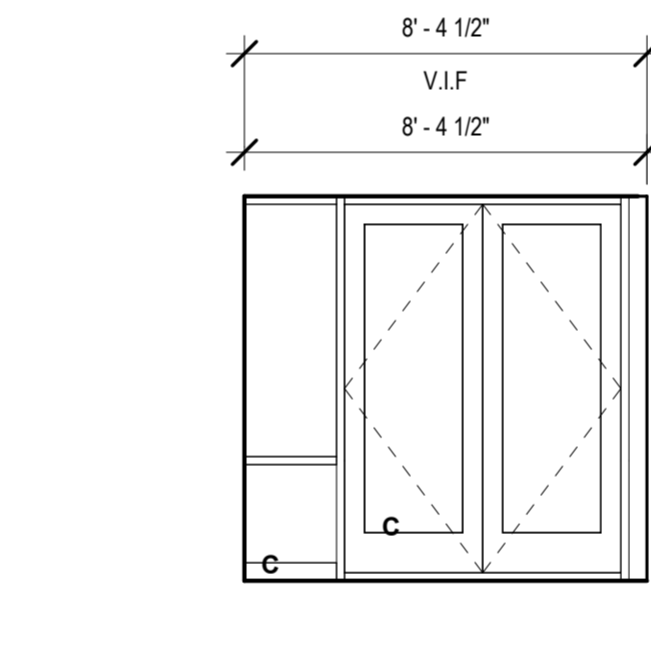
7 TYP EXTERIOR ALSF DETAILS  
A9.1(1) 3" 1'-0"



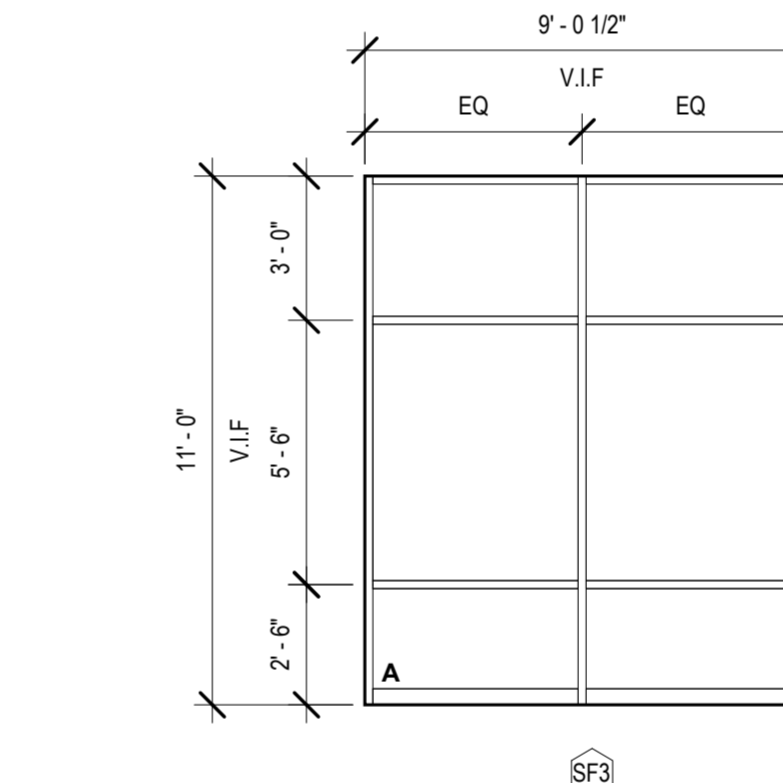
10 THRESHOLD DETAIL  
A9.1(1) 3" 1'-0"



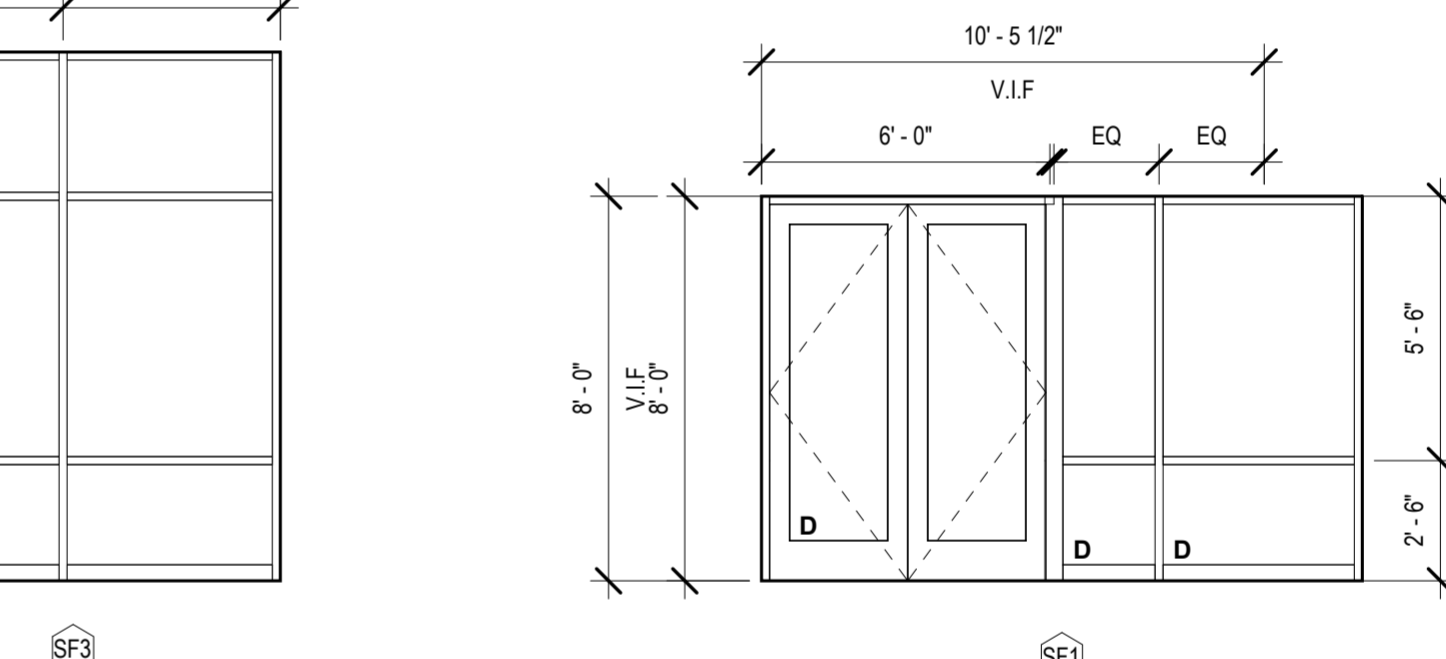
4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"



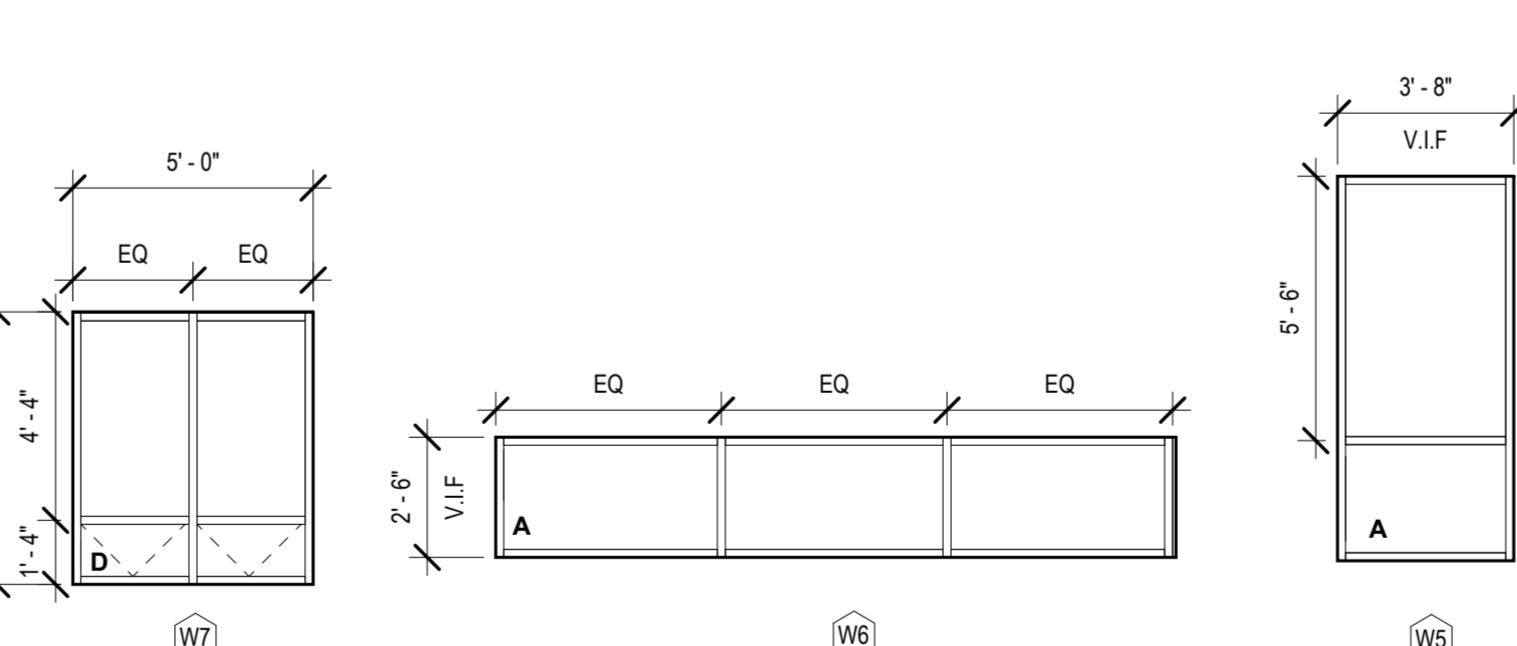
4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"



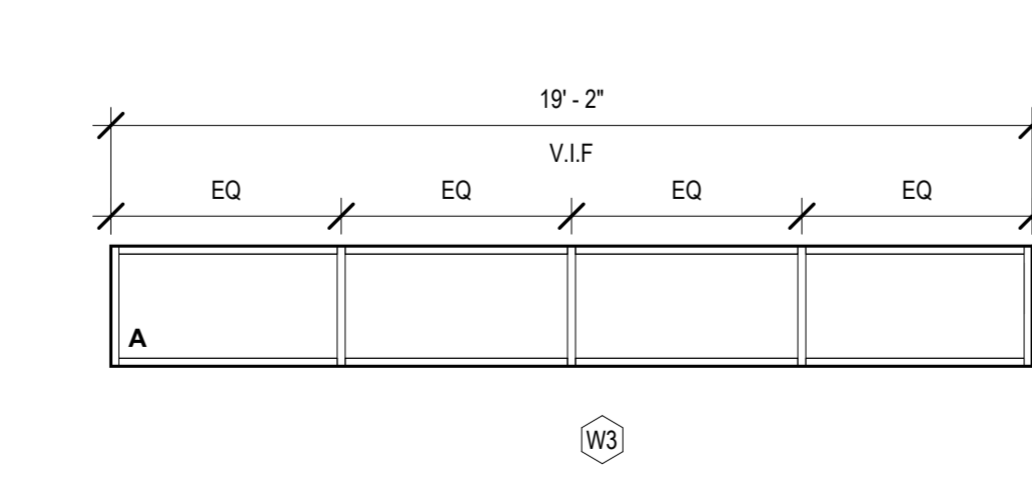
4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"



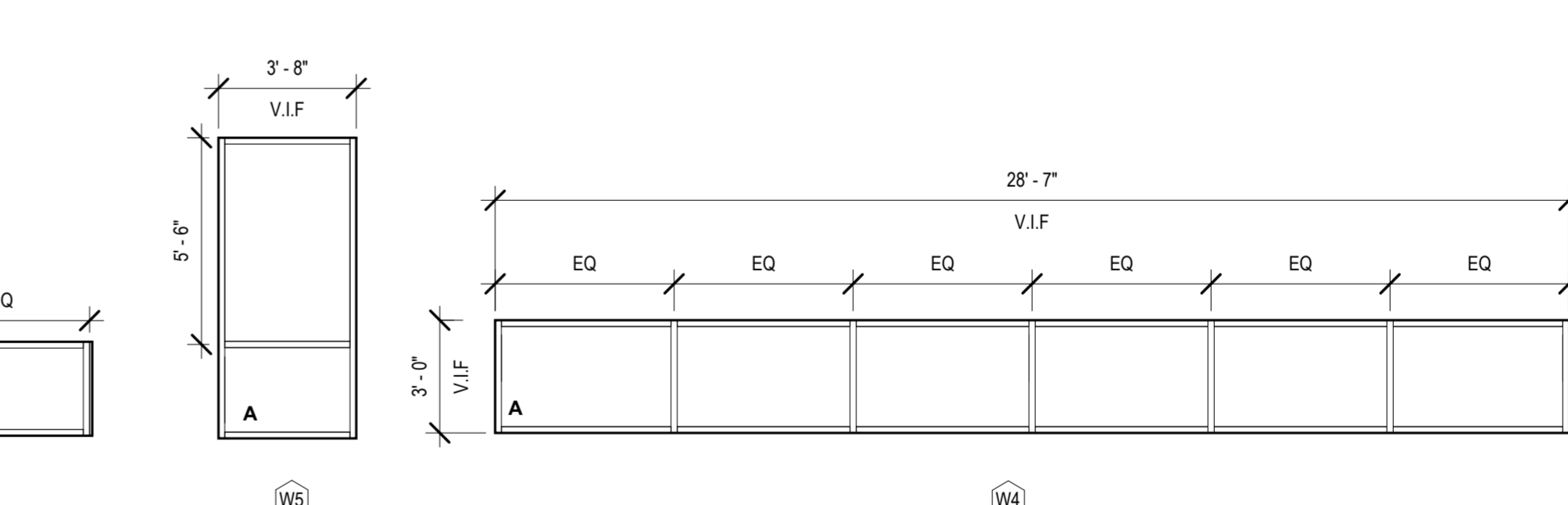
4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"



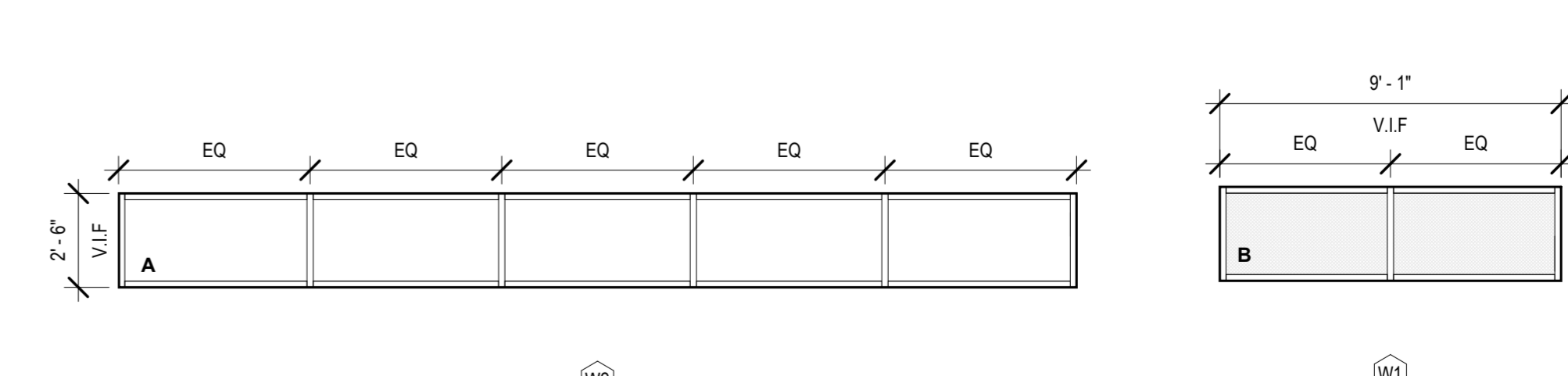
4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"



4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"



4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"



4 STOREFRONT TYPES  
A9.1(1) 1/4" 1'-0"

**GLAZING TYPES**  
**A:** LOW-E INSULATED GLAZING UNITS (IGU)  
**B:** PRIVACY LOW-E INSULATED GLAZING UNITS (IGU)  
**C:** INTERIOR MONOLITHIC, CLEAR TEMPERED GLAZING  
**D:** LAMINATED, INSULATED SECURITY GLAZING UNITS FOR MAIN ENTRANCE STOREFRONT APPLICATION.

REVISIONS		
ISSUE	DATE	REVISIONS



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMP**ARCHITECTS

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
ARORA ENGINEERS  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
KS ENGINEERS, P.C.  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS:**  
GROUND RECONSIDERED  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT:**  
DHARAM CONSULTING  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER:**  
ANN ROTHMAN  
STRUCTURAL ENGINEERING  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

DRAWING TITLE

**WINDOW TYPES, DETAILS, & ALSF**

PROJECT NO:  
**73217**

DATE  
03/15/2024

SCALE  
AS NOTED

DRAWN BY  
ED

CHECKED BY  
MS

DRAWING NO.  
**A9.1(1)**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

GENERAL NOTES

- 1. THIS PROJECT HAS BEEN DESIGNED USING THE 2018 INTERNATIONAL BUILDING CODE (IBC), AND APPLICABLE LOCAL REGULATIONS.
2. STRUCTURAL SPECIAL INSPECTIONS ARE A REQUIREMENT FOR THIS PROJECT. A QUALIFIED INDEPENDENT INSPECTION AGENCY REGISTERED WITH THE CITY OF PHILADELPHIA SHALL BE SELECTED TO PERFORM THESE SERVICES. ALL INSPECTIONS AS REQUIRED BY CHAPTER 17 OF THE IBC ARE REQUIRED, AS A MINIMUM. SEE MATERIAL NOTES FOR SPECIFIC INSPECTIONS REQUIRED.
3. THIRD PARTY SPECIAL INSPECTIONS SHALL BE PERFORMED FOR THIS PROJECT AS FOLLOWS, AND IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
STRUCTURAL STEEL (AISC 360) VISUAL INSPECTION OF FIELD CONNECTIONS PERIODIC
STRUCTURAL STEEL (AISC 360) VISUAL INSPECTION OF FABRICATION, UNLESS FABRICATOR IS AISC CERTIFIED PERIODIC
4. THE INDEPENDENT INSPECTIONS AGENCY SHALL PERFORM INSPECTIONS AND SUBMIT REPORTS TO THE ENGINEER OF RECORD (EOR) WITHIN 72 HOURS OF INSPECTION. ANY INADEQUACIES FOUND BY THE INSPECTOR SHALL BE REPORTED TO THE EOR WITHIN 24 HOURS. THE CONTRACTOR SHALL FACILITATE THESE INSPECTIONS BY SCHEDULING THE INSPECTIONS TO COORDINATE WITH THE WORK BEING PERFORMED BY THEIR SUB-CONTRACTORS.
5. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN DATA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION OF FALSE WORK, FORMWORK, STAGING, BRACING, SHEETING, AND SHORING, ETC.
6. WHERE NEW LOADS ARE BEING ADDED TO EXISTING STRUCTURE, THE INTEGRITY OF THE EXISTING STRUCTURE AND FOUNDATIONS SHALL BE VERIFIED BY THE CONTRACTOR. REPORT ANY CRACKING, SETTLEMENT, DETERIORATION, AND SUBSTANDARD QUALITY OF EXISTING CONSTRUCTION OR MATERIALS SHALL BE REPORTED TO THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION.
7. TAKE FIELD MEASUREMENTS AND VERIFY DIMENSIONS ON DRAWINGS BEFORE ORDERING MATERIALS.
8. NOTIFY ENGINEER IMMEDIATELY IF ANY EXISTING CONDITIONS CONFLICT WITH STRUCTURAL INFORMATION SHOWN IN THE CONSTRUCTION DOCUMENTS.
9. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR TO CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS. SURVEY LAYOUT FOR THE BUILDING SHALL BE CHECKED AND CLOSED BEFORE WORK IS COMMENCED.
11. SECTIONS AND DETAILS SHOWN, WHILE DRAWN FOR SPECIFIC LOCATIONS, ARE INTENDED TO ESTABLISH THE GENERAL TYPES OF DETAILS TO BE USED THROUGHOUT. IF THE CONTRACTOR WISHES TO USE DETAILS OTHER THAN THOSE SHOWN ON THE DRAWINGS, SUCH DETAILS SHALL BE SUBMITTED FOR APPROVAL, AND APPROVAL CONFIRMED, BEFORE SHOP DRAWINGS ARE COMMENCED.
12. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS. ANY QUESTIONS OR DISCREPANCIES FOUND WITH REGARD TO THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND STRUCTURAL ENGINEER.
13. THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR WORK THAT SHE DOES NOT REVIEW AND/OR WORK NOT COMPLETED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S PLANS AND/OR SPECIFICATIONS.
14. ALL COSTS OF INVESTIGATION AND /OR REDESIGN, DUE TO CONTRACTOR MIS-LOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE A THE CONTRACTOR'S EXPENSE.
15. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A REQUEST FOR CLARIFICATION.
16. THE STRUCTURAL ENGINEER'S REVIEW OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO FOLLOW THE INTENT OF THE CONTRACT DRAWINGS, UNLESS A WRITTEN REQUEST FOR A CHANGE HAS BEEN PREVIOUSLY SUBMITTED AND APPROVED BY THE STRUCTURAL ENGINEER.

STEEL

- 1. REFER TO SPECIFICATION SECTION 051200 FOR ADDITIONAL INFORMATION.
2. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
A. PLATES AND ANGLES: ASTM A36, FY=36 KSI.
B. W, WT & C SHAPES: ASTM A992, FY=50 KSI.
C. HSS STRUCTURAL TUBING: ASTM A500 GRADE B, FY=46 KSI.
D. STEEL PIPE SHALL CONFORM TO ASTM A53 TYPE E GRADE B SPECIFICATIONS. (STD. = SCHEDULE 40; XS = SCHEDULE 80; DS = SCHEDULE 160)
E. BOLTED CONNECTIONS (STEEL TO STEEL): ASTM A325-N (3/4" DIAM.), U.N.O.
E. ANCHOR BOLTS AND CONNECTORS IN WOOD FRAMING: ASTM A307, (3/4" DIAM.), U.N.O.
3. BOLTS TO BE USED ON THE EXTERIOR SHALL BE HOT DIPPED GALVANIZED AND FIELD PAINTED.
4. ANCHORAGE BOLTS AND FITTINGS IN MASONRY SHALL BE GALVANIZED.
5. WELDING SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE A.W.S. SUBMIT WELDER CERTIFICATES TO ENGINEER FOR RECORD.
6. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX. ALL WELDING SHALL CONFORM TO THE A.W.S. STANDARD CODE.
7. ALL SHOP AND FIELD WELDS SHALL BE 1/4" FILLET WELDS MINIMUM, U.N.O.
8. MINIMUM CENTER-CENTER SPACING BETWEEN BOLTS SHALL BE 3". MINIMUM EDGE DISTANCE SHALL BE 1-1/4" FROM CENTER OF BOLTS TO EDGE OF STEEL.
9. GAS CUTTING OF MAIN STRUCTURAL MEMBERS IN THE FIELD SHALL NOT BE PERMITTED.
10. ALL STEEL SHALL BE FABRICATED AND ERECTED WITH NATURAL CAMBER UP.
11. BATCH HOT-DIP GALVANIZE ALL STEEL IN ACCORDANCE WITH ASTM A123.

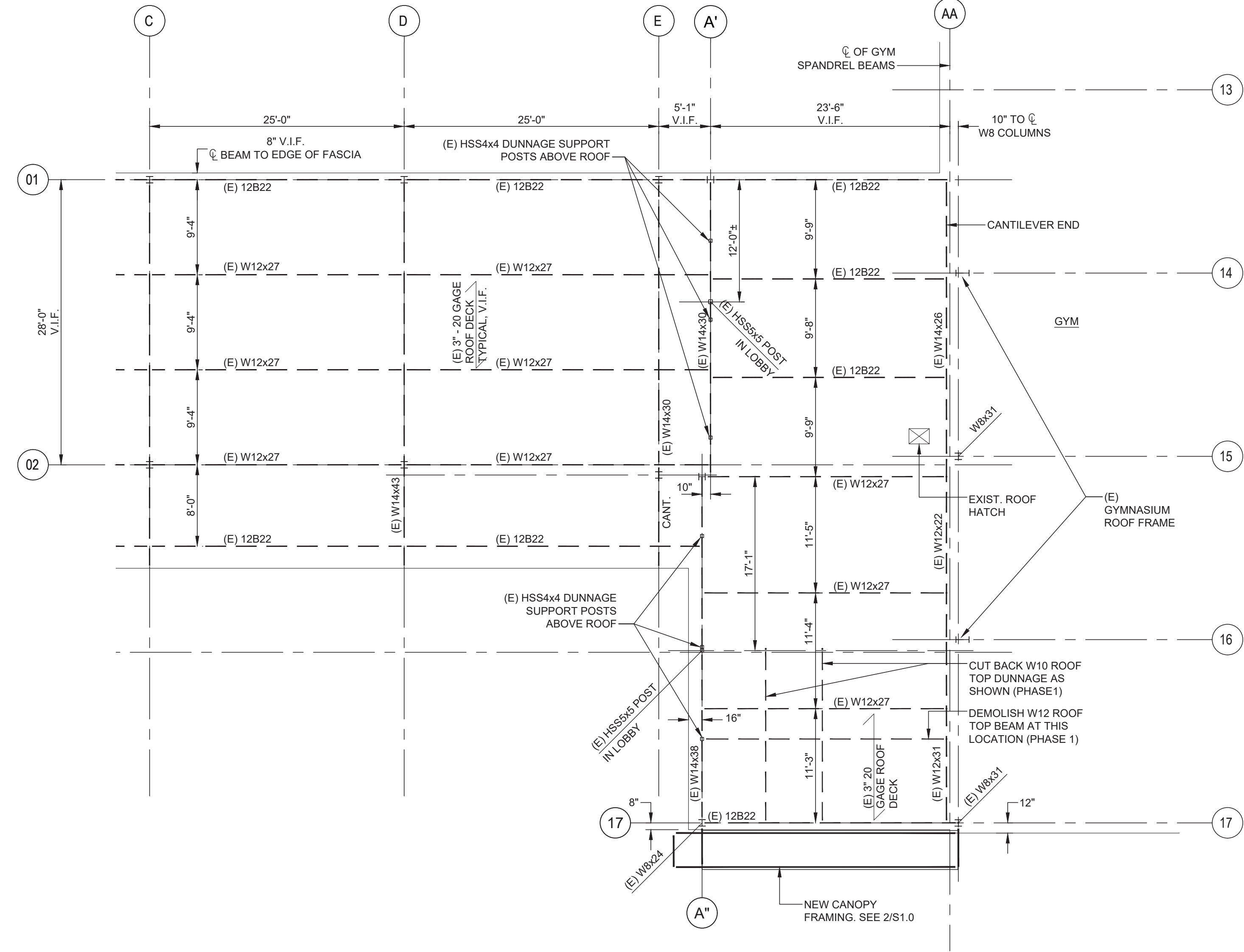
12. PRIOR TO FIELD WELDING, GALVANIZED MEMBERS SHALL HAVE ZINC COATING GROUND SMOOTH IN WELD AREAS. (ZINC COATING IS NOT TO CONTAMINATE WELD FUSION METAL). AFTER WELDING, COAT AFFECTED SURFACE WITH ZINC RICH COATING.
13. TOUCH UP FIELD WELDS AND ANY DAMAGED AREAS OF PAINT WITH A ZINC RICH PAINT, IN FIELD AFTER WELDING.

STEEL DECK

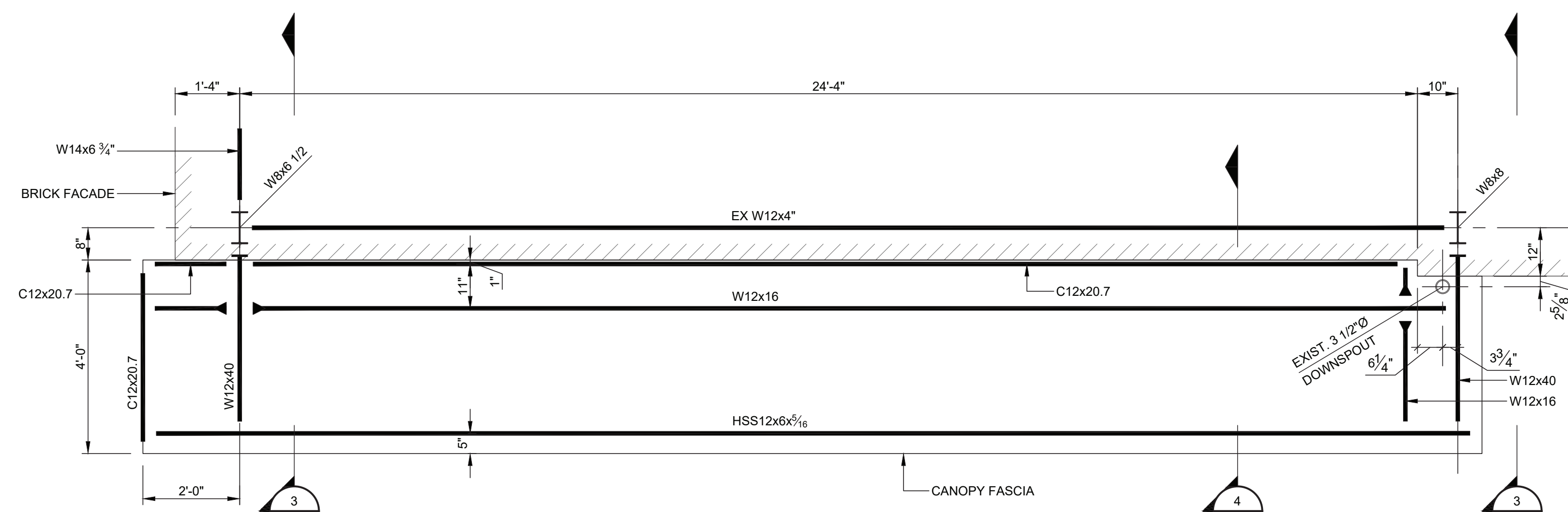
- 1. ALL STEEL DECK WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS", LATEST EDITION.
2. DECK GAGE AND TYPE SHALL BE AS INDICATED ON PLANS.
3. ALL STEEL DECK UNITS AND ACCESSORY ITEMS SHALL BE FORMED FROM STEEL SHEETS CONFORMING TO ASTM A446 OR A611 WITH A MINIMUM YIELD STRENGTH OF 33 KSI. BEFORE FORMING, THE STEEL SHEET SHALL RECEIVE A PROTECTIVE METAL COATING OR ZINC CONFORMING TO ASTM A525, GRADE 60.
4. ALL UNFRAMED DECK OPENINGS LARGER THAN 6" SHALL BE REINFORCED AS FOLLOWS:
A. HOLES 6" - 12": 16 GAUGE FLAT SHEET EXTENDING 6" BEYOND HOLE ON ALL SIDES.
B. HOLES 12" - 18": 1-3/4" X 1-3/4" X 1/4" STEEL ANGLES EXTENDING 16" BEYOND HOLE IN BOTH DIRECTIONS.
NOTE: ALL REINFORCEMENT SHALL BE WELDED ALL AROUND TO TOP SIDE OF DECK.
5. ENGAGE AN EXPERIENCED INSTALLER WHO HAS COMPLETED STEEL DECK SIMILAR IN MATERIAL, DESIGN, AND EXTENT TO THAT INDICATED FOR THIS PROJECT AND WITH A RECORD OF SUCCESSFUL IN-SERVICE PERFORMANCE.
6. PLACE DECK PANELS ON SUPPORTING FRAMING AND ADJUST TO FINAL POSITION WITH ENDS ACCURATELY ALIGNED AND BEARING ON SUPPORTING FRAMING BEFORE BEING PERMANENTLY FASTENED. DO NOT STRETCH OR CONTRACT SIDE LAP INTERLOCKS.
7. INSTALL DECK ENDS OVER SUPPORTING FRAMING WITH A MINIMUM END BEARING OF 1-1/2 INCHES.
8. SUPPORT DECK SIDE EDGES WITH POUR STOP.
9. FASTEN TO SUPPORTING FRAMING WITHOUT WARP OR DEFLECTION WITH 5/8" PUDDLE WELDS OR MECHANICAL FASTENERS @ 12" OC, AND AT BEARING ENDS, AND AT EVERY OTHER TRANSVERSE FLUTE.
10. SIDE LAP FASTENERS: MANUFACTURER'S STANDARD, CORROSION-RESISTANT, HEXAGONAL WASHER HEAD; SELF-DRILLING, CARBON STEEL SCREWS, NO. 10 MINIMUM DIAMETER AT 24" OC.
11. PREPARE AND REPAIR DAMAGED GALVANIZED COATINGS ON BOTH SURFACES WITH GALVANIZED REPAIR PAINT ACCORDING TO ASTM A 780 AND THE MANUFACTURER'S INSTRUCTIONS.
12. DO NOT USE WELD WASHERS FOR STEEL 22 GAGE OR THICKER.

DESIGN LOADS

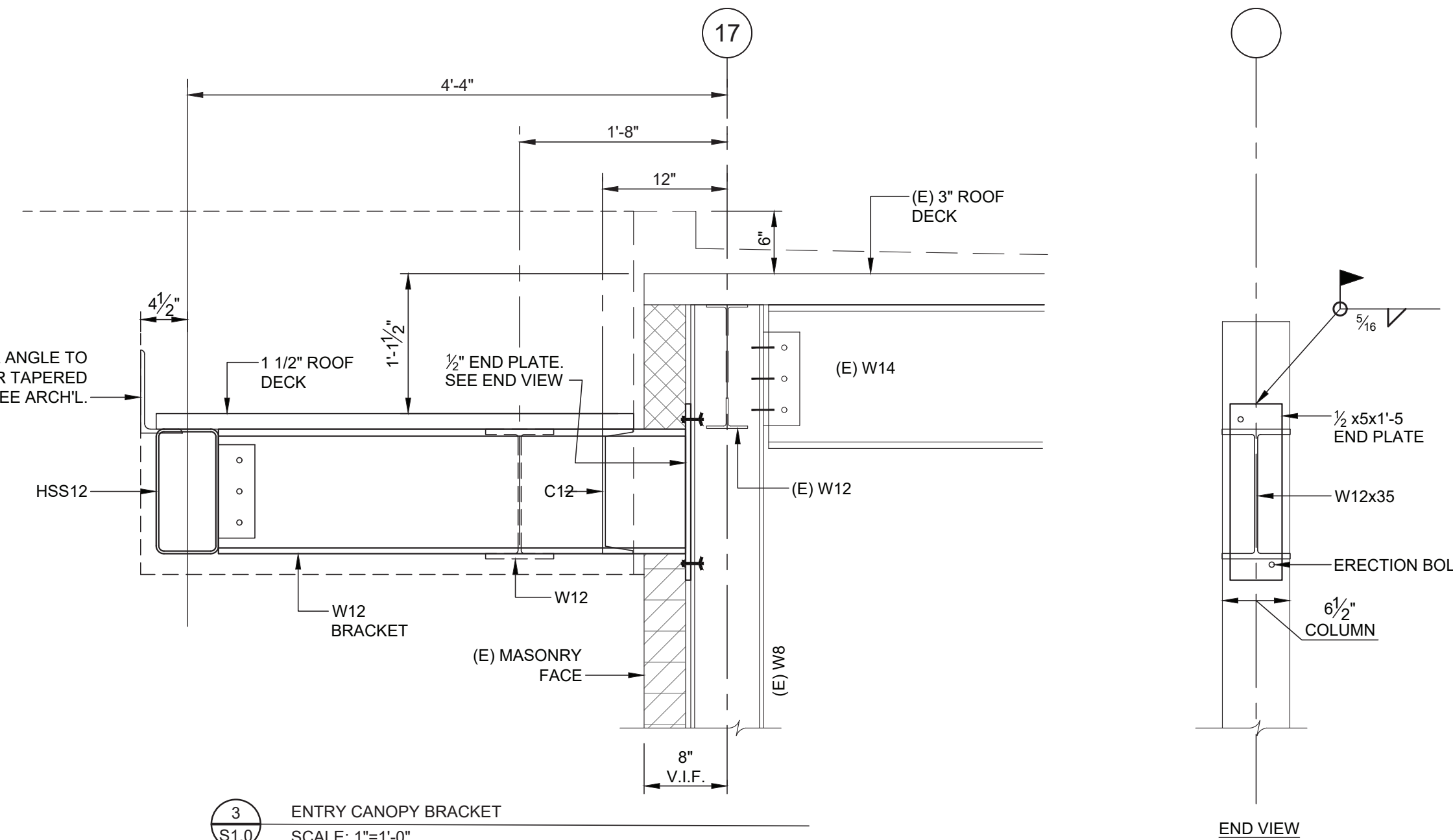
ROOF LIVE LOAD = 20 PSF
WIND SPEED: 115 MPH, EXPOSURE C



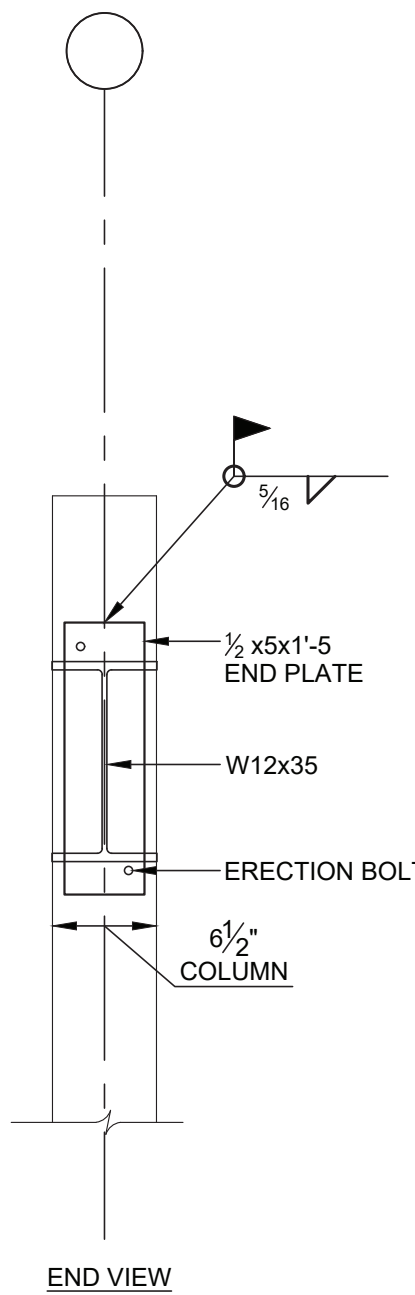
1 S1.0 STRUCTURAL ROOF FRAMING PLAN (REF: 1973 STRUCTURAL PLANS) - VERIFY IN FIELD
SCALE: 1/8"=1'-0"
NOTES:
1. (E) DENOTES EXISTING STEEL.
2. (N) DENOTES NEW PHASE 1 STEEL.



2 S1.0 ENTRY CANOPY ROOF FRAMING PLAN
SCALE: 1/2\"/>



3 S1.0 ENTRY CANOPY BRACKET
SCALE: 1\"/>



END VIEW

REVISIONS

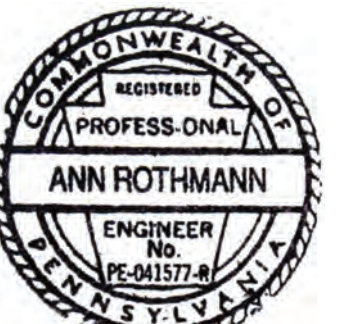
Table with 3 columns: ISSUE, DATE, REVISIONS. It is currently empty.



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR
PRIYANKA MALIK

SEALS



Ann Rothmann, PE

SPACE FOR CONSULTANT REGISTRATION

SMP ARCHITECTS
1600 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
215 985 4410

CIVIL ENGINEER
KS Engineers, P.C.
500 Walnut Street, Suite 400
Philadelphia, PA 19108
215 925 0425

LANDSCAPE ARCHITECTS
Group Registration
230 South Broad St
Philadelphia, Pennsylvania 19102
215 780 0727

MEP
Avira Engineers
1600 Market St, Suite 1830
Philadelphia, Pennsylvania 19103
215 372 1365

COST CONSULTANT
Dharan Consulting
107 Magnolia Drive
Chester Springs, Pennsylvania 19425
610 564 6900

CITY OF PHILADELPHIA
PHILADELPHIA PARKS & RECREATION
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
CHRISTY RECREATION CENTER
RENOVATION - PHASE 1

DRAWING TITLE
Structural Plans, Details and Notes

PROJECT NO.
DATE: 15 March, 2024
SCALE: AS NOTED
DRAWN BY
CHECKED BY
DRAWING NO. S1.0 (1)

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



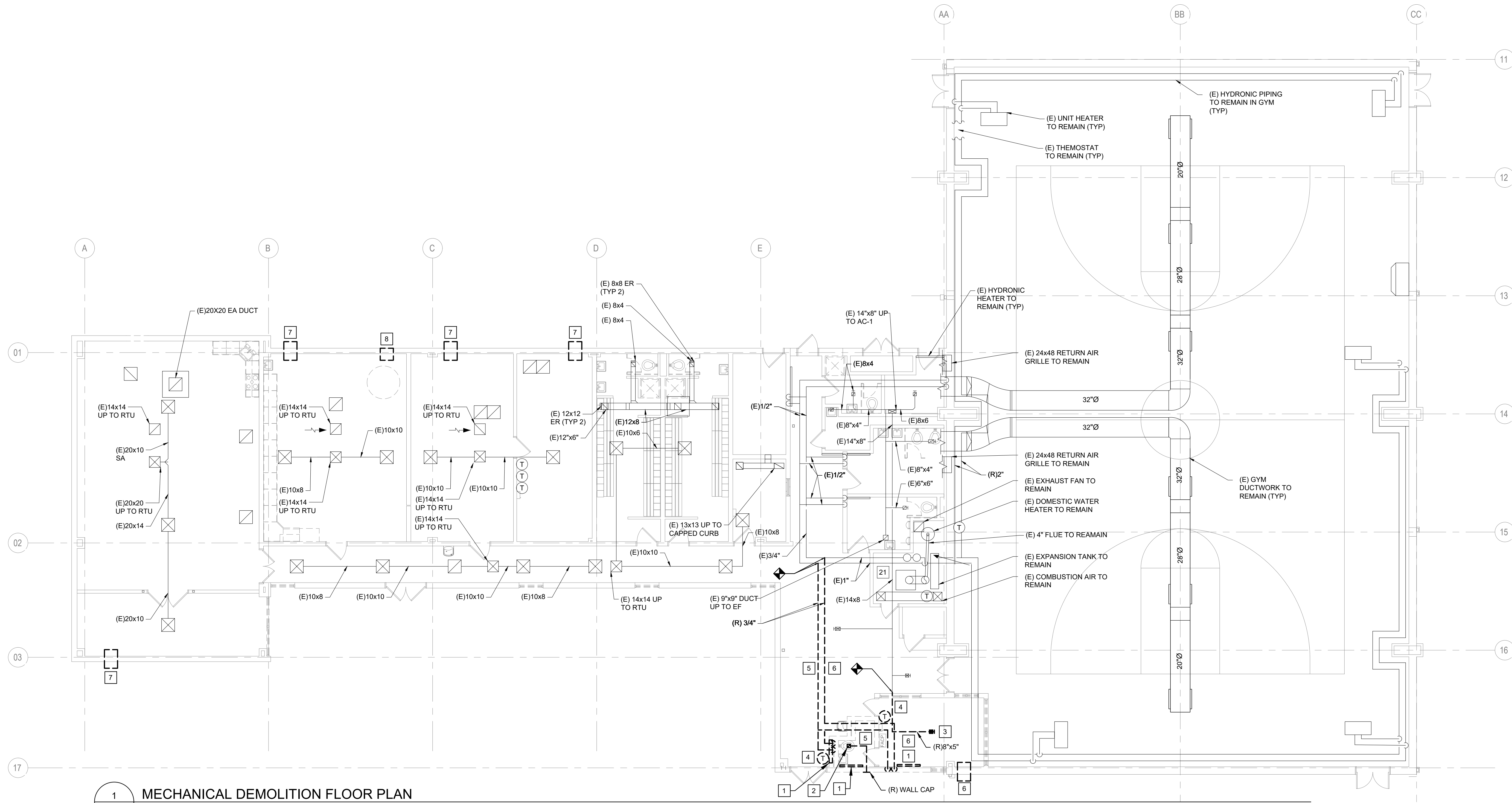
**GENERAL NOTES:**

- REFER TO DRAWING M0.0(1) FOR MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
- NOT ALL DEMOLITION KEYED NOTES ARE USED. DEMOLITION KEYED NOTES LISTED ARE USED FOR PHASE 1 AND PHASE 2
- PATCH FLOOR, WALL, AND CEILING OPENINGS TO MATCH EXISTING CONSTRUCTION. ALL PATCHING SHALL BE SMOOTH AND READY FOR G.C. FINISH.

**KEYED NOTES:**

- REMOVE EXISTING FINNETUBE OR CONVECTOR IN ITS ENTIRETY INCLUDING SUPPORTS, COVERS, COILS, PIPING, VALVES, CONTROLS AND ACCESSORIES.
- REMOVE EXISTING CEILING EXHAUST FAN IN ITS ENTIRETY INCLUDING DAMPER, DUCTWORK, CURB, CONTROLS, POWER AND CONTROL WIRING, AND ACCESSORIES.
- REMOVE EXISTING SUPPLY AIR DEVICE IN ITS ENTIRETY INCLUDING HANGERS, DAMPERS, DUCTWORK, INSULATION, SUPPORTS AND HANGERS AND ACCESSORIES.
- REMOVE EXISTING THERMOSTAT IN ITS ENTIRETY INCLUDING HANGERS, SUPPORTS, AIR TUBING, WIRING, CONTROLS AND ACCESSORIES.
- REMOVE EXISTING HEATING WATER SUPPLY PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES.
- REMOVE EXISTING HEATING WATER RETURN PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, FITTINGS, VALVES, ACTUATORS, POWER WIRING CONTROLS, COMPRESSED AIR PIPING, INSULATION, AND ACCESSORIES.
- REMOVE EXISTING THRU-WALL AIR CONDITIONER IN ITS ENTIRETY. MECHANICAL CONTRACTOR TO CLEAN AND STORE FOR FUTURE USE. THE EXISTING THRU-WALL AIR CONDITIONER SHALL BE STORED FOR RE-INSTALLATION IN PHASE 1 NEW WORK.
- REMOVE EXISTING WALL PROPELLER FAN IN ITS ENTIRETY. MECHANICAL CONTRACTOR TO CLEAN AND STORE FOR FUTURE USE. THE EXISTING THRU-WALL AIR CONDITIONER SHALL BE STORED FOR RE-INSTALLATION IN PHASE 1 NEW WORK.

- REMOVE EXISTING WALL PROPELLER FAN IN ITS ENTIRETY. MECHANICAL CONTRACTOR TO CLEAN AND STORE FOR FUTURE USE. THE EXISTING THRU-WALL AIR CONDITIONER SHALL BE STORED FOR RE-INSTALLATION IN PHASE 1 NEW WORK.



**1 MECHANICAL DEMOLITION FLOOR PLAN**  
 MD2.1(1) Scale: 1/8" = 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
 230 South Broad Street  
 Philadelphia, Pennsylvania 19102  
 215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
 100 East Lancaster Avenue, Suite 203  
 Wayne, Pennsylvania 19087  
 610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

DRAWING TITLE  
**MECHANICAL DEMOLITION FLOOR PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>MD2.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	



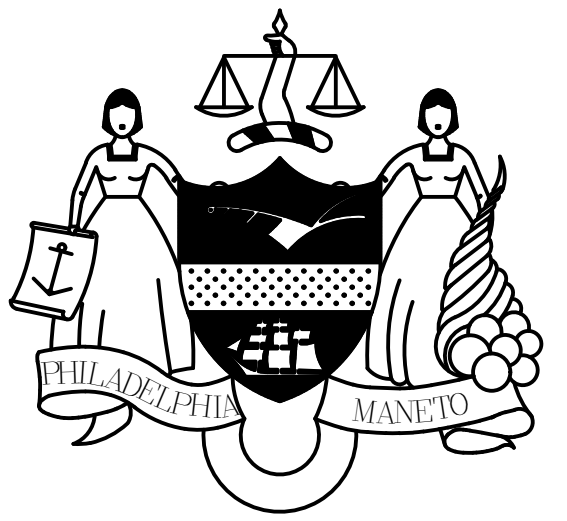
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

**GENERAL NOTES:**

1. REFER TO DRAWING M0.0(1) FOR MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR

**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE

**MECHANICAL DEMOLITION ROOF PLAN**

PROJECT NO. **73217** DRAWING NO. **MD2.2(1)**

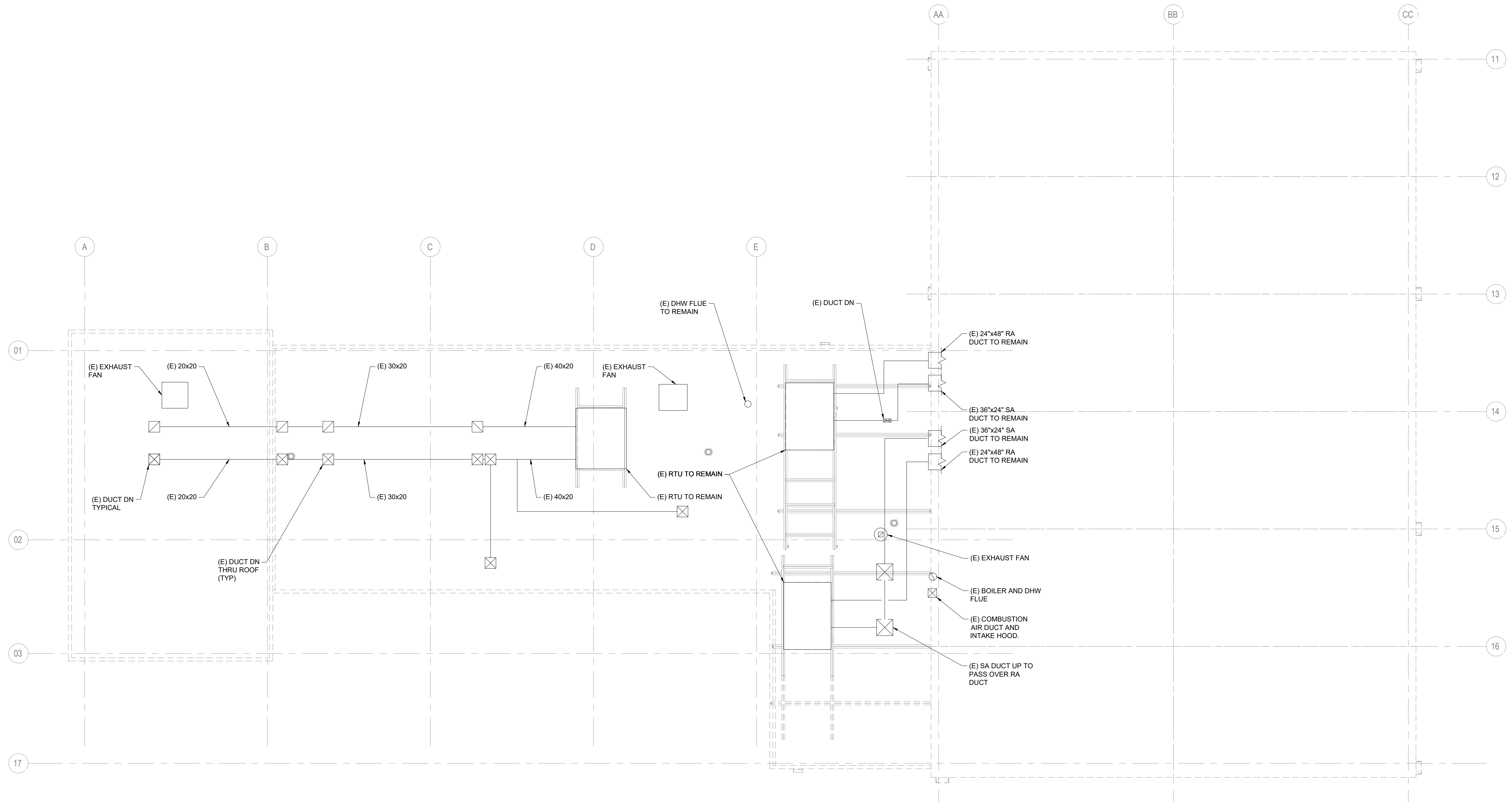
DATE **03/15/24**

SCALE **AS NOTED**

DRAWN BY **CY**

CHECKED BY **DM**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



**1 MECHANICAL DEMOLITION ROOF PLAN**  
MD2.2(1) Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

1. REFER TO DRAWING M0.0(1) FOR MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.

**KEYED NOTES:**

- 1 TRANSFER AIR DUCT OPEN TO EXHAUST AIR PLENUM ABOVE CORRIDOR CEILING.
- 2 CAP SA DUCT.
- 3 MOD SHALL BE INTERLOCKED WITH CEILING CASSETTE DXCA-1.
- 4 RE-INSTALL EXISTING THRU-WALL AIR CONDITIONER. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
- 5 RE-INSTALL EXISTING PROPELLER FAN. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
STRUCTURAL ENGINEERING  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**MECHANICAL PROPOSED FLOOR PLAN**

PROJECT NO.  
**73217**

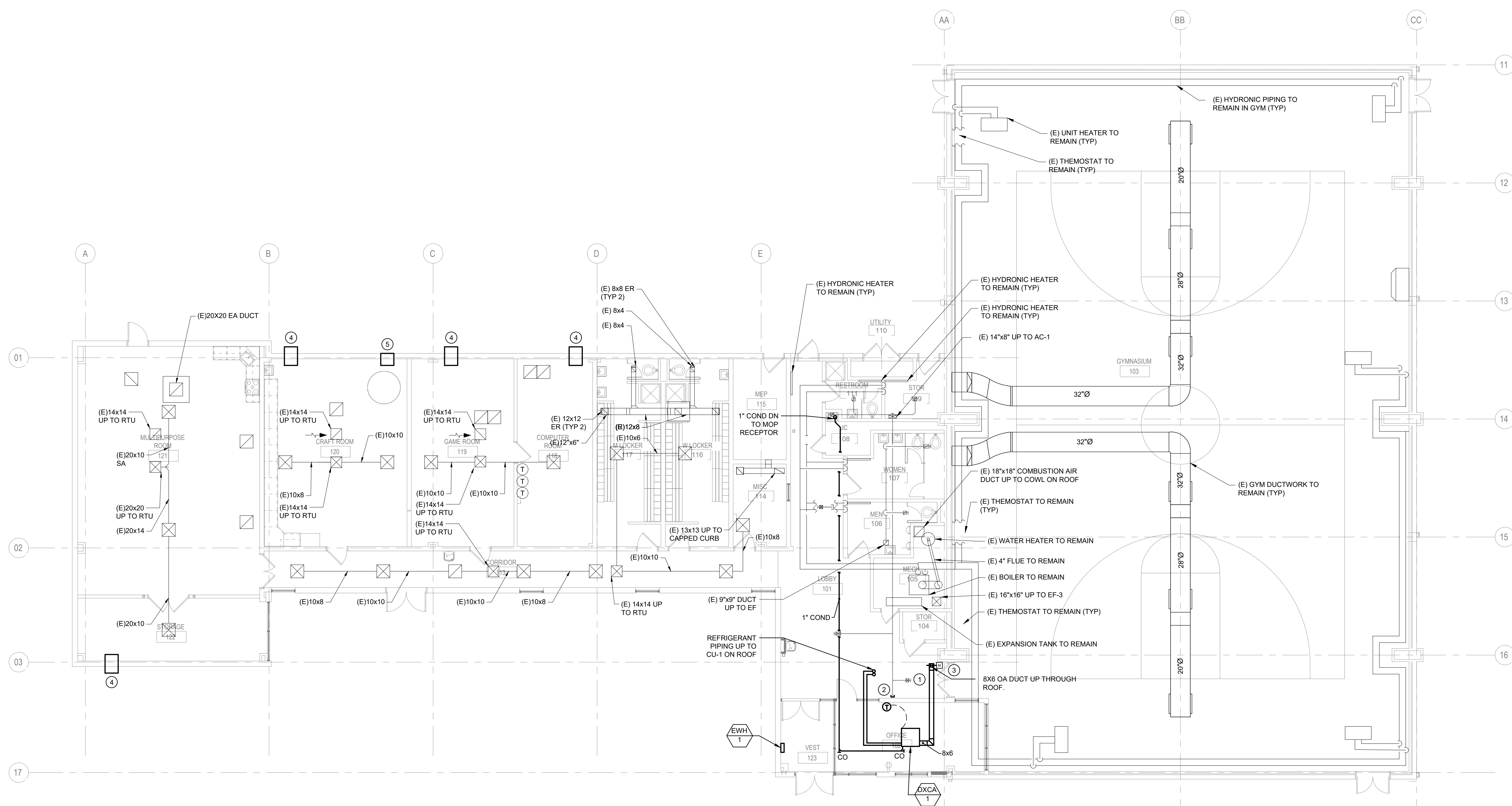
DATE  
**03/15/24**

SCALE  
**AS NOTED**

DRAWN BY  
**CY**

CHECKED BY  
**DM**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



**1 MECHANICAL PROPOSED FLOOR PLAN**  
M2.1(1) Scale: 1/8" = 1'-0"



**M2.1(1)**



REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

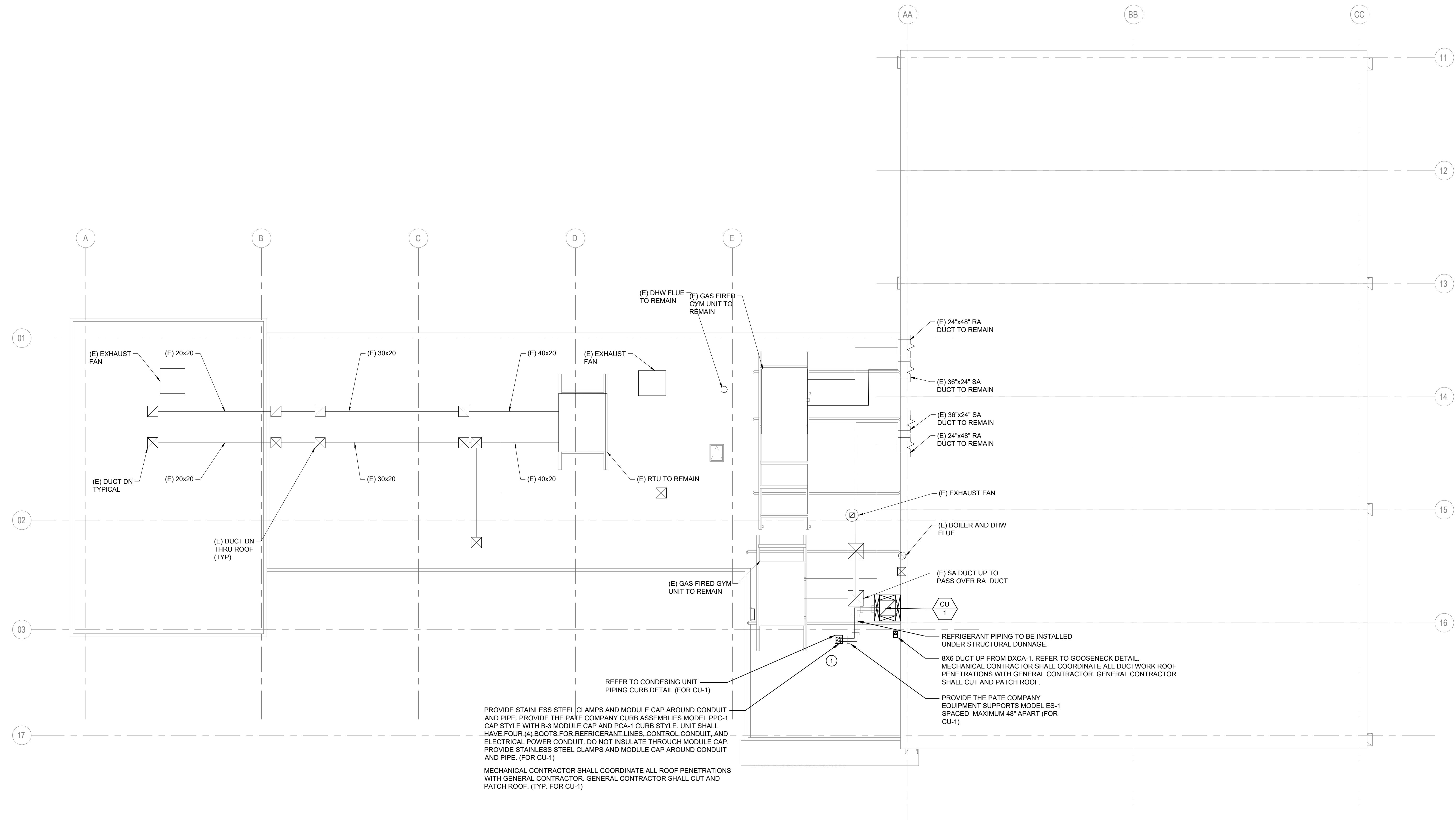
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**MECHANICAL PROPOSED ROOF PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>M2.2(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



PROVIDE STAINLESS STEEL CLAMPS AND MODULE CAP AROUND CONDUIT AND PIPE. PROVIDE THE PATE COMPANY CURB ASSEMBLIES MODEL PPC-1 CAP STYLE WITH B-3 MODULE CAP AND PCA-1 CURB STYLE. UNIT SHALL HAVE FOUR (4) BOOTS FOR REFRIGERANT LINES, CONTROL CONDUIT, AND ELECTRICAL POWER CONDUIT. DO NOT INSULATE THROUGH MODULE CAP. PROVIDE STAINLESS STEEL CLAMPS AND MODULE CAP AROUND CONDUIT AND PIPE. (FOR CU-1)

MECHANICAL CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS WITH GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL CUT AND PATCH ROOF. (TYP. FOR CU-1)

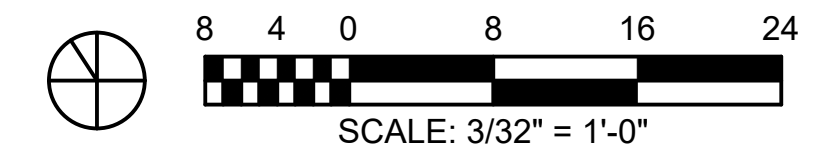
**GENERAL NOTES:**

- REFER TO DRAWING M0.0(1) FOR MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.

**KEYED NOTES:**

- ALL EXTERIOR HVAC EQUIPMENT SHALL BE PROTECTED BY STEEL COMMERCIAL THEFT/VANDALISM SECURITY PROTECTION CAGES. THE PHYSICAL SIZE, ETC. OF EACH SECURITY CAGE SHALL BE UNIQUELY DETERMINED BY THE SECURITY CAGE PROVIDER TO MATCH THE DIMENSIONS AND OPERATING REQUIREMENTS OF EACH UNIT PROTECTED. THE SECURITY CAGES SHALL BE OF SUFFICIENTLY ROBUST CONSTRUCTION AND SECURELY ATTACHED TO THE STEEL DUNNAGE OR ROOF TO PROTECT THE EQUIPMENT FROM ALL THEFT AND VANDALISM. THE SECURITY CAGES SHALL HAVE SUFFICIENT OPEN FREE AREA FOR ALL REQUIRED AIR MOVEMENT FOR PROPER EQUIPMENT OPERATION. THE SECURITY CAGES SHALL BE PROVIDED WITH SUFFICIENTLY LARGE OPERABLE OR DEMOUNTABLE NORMALLY SECURED ACCESS MEAN TO PREFORM ALL REQUIRED EQUIPMENT MAINTENANCE, WHILE PREVENTING UNAUTHORIZED ENTRY. THE ACTUAL DESIGN OF THE SECURITY CAGES SHALL BE PERFORMED BY THE SECURITY CAGE PROVIDER AS A DELEGATED DESIGN AND SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. THE DESIGN OF THE SECURITY CAGES SHALL BE BASED UPON THE REQUIREMENTS OF THE ACTUAL EQUIPMENT (MAKE/MODEL) INSTALLED UNDER THIS PROJECT.

**1 MECHANICAL PROPOSED ROOF PLAN**  
M2.2(1) Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

- REFER TO DRAWING M0.0(1) FOR MECHANICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.

REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMP ARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

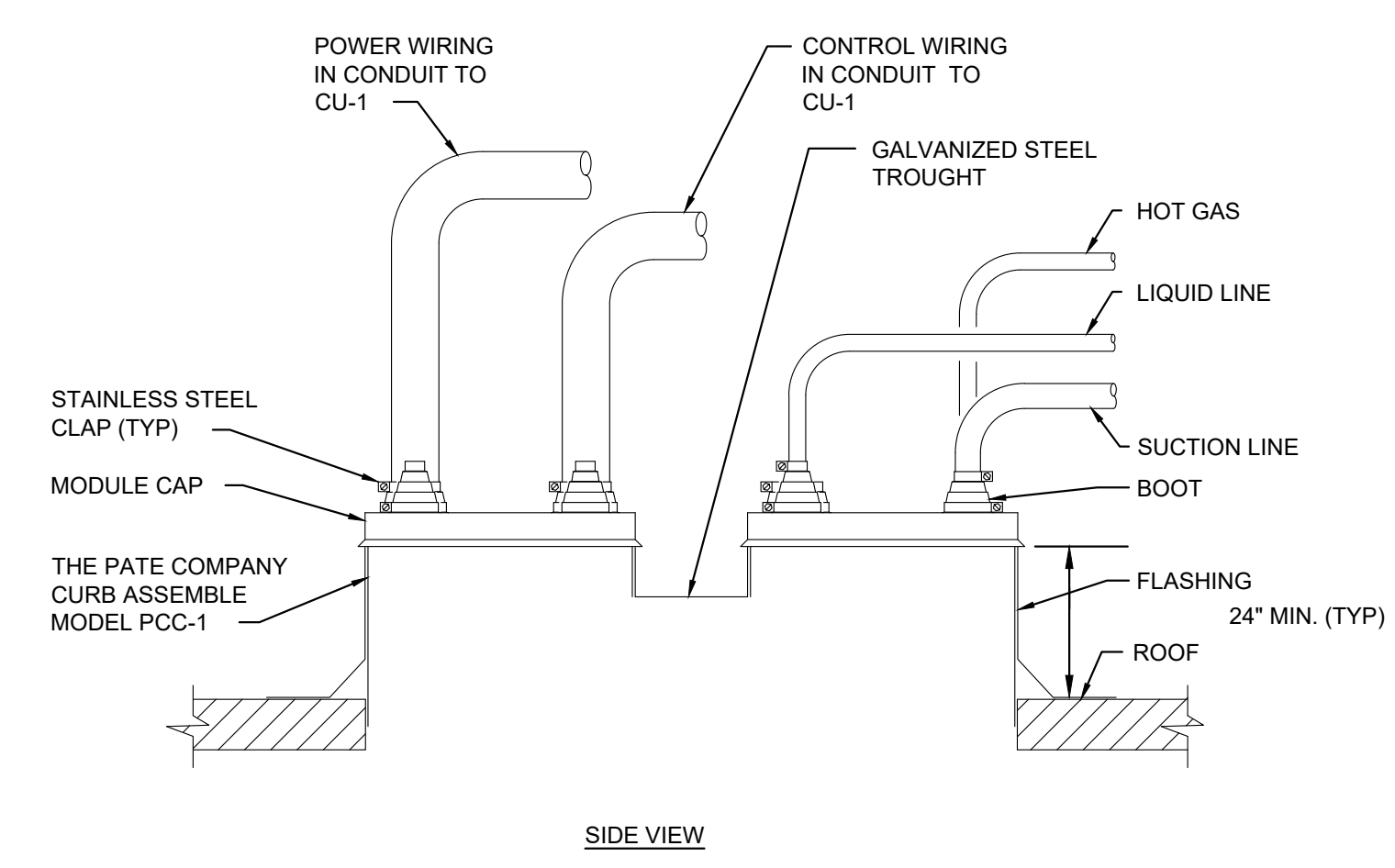
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

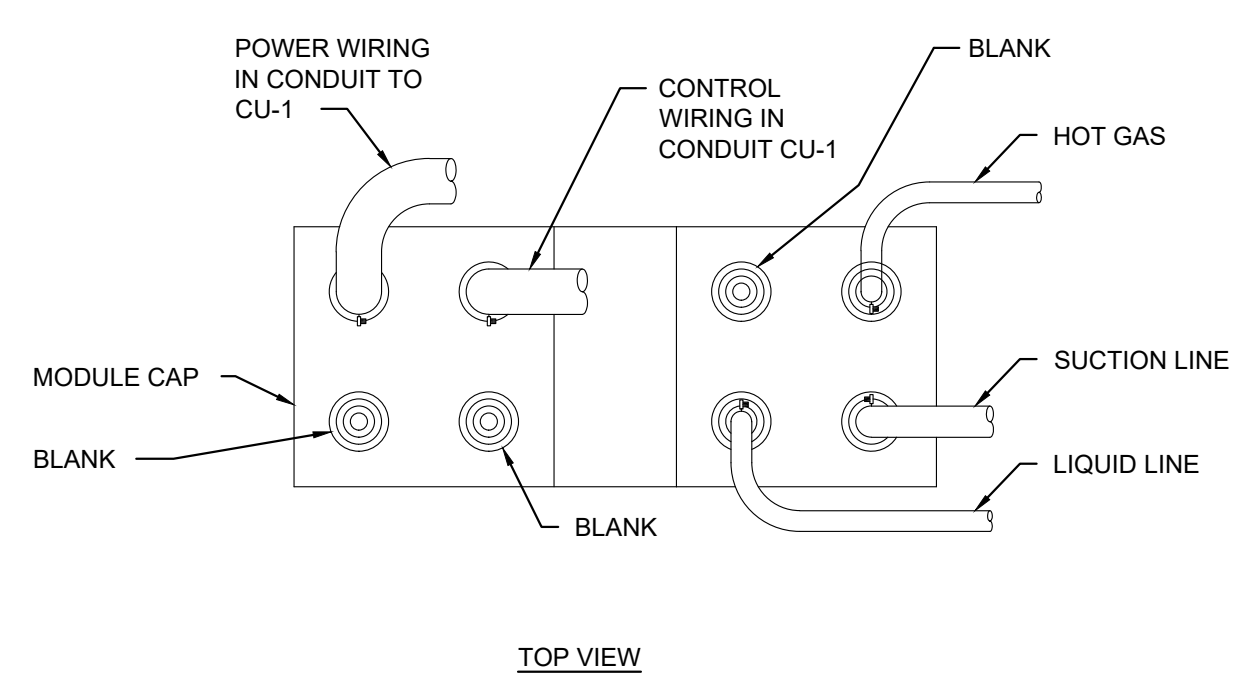
DRAWING TITLE  
**MECHANICAL DETAILS**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>M8.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

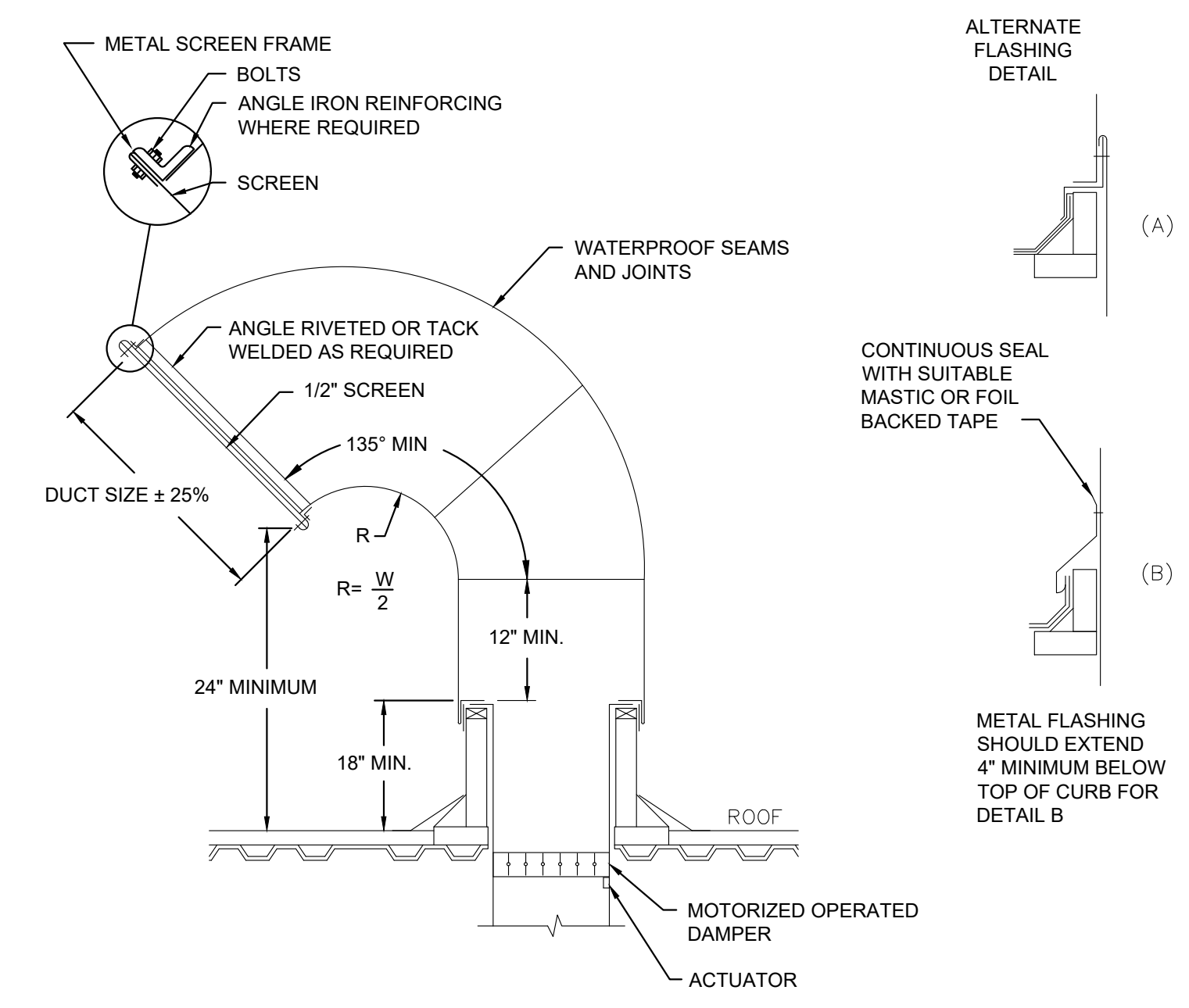


**SIDE VIEW**

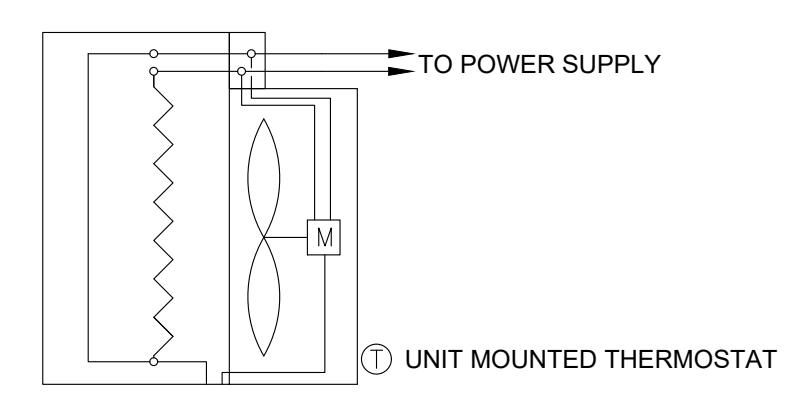


**TOP VIEW**

**1 CONDENSING UNIT REFRIGERANT PIPING CURB DETAIL**  
M8.1(1) NOT TO SCALE

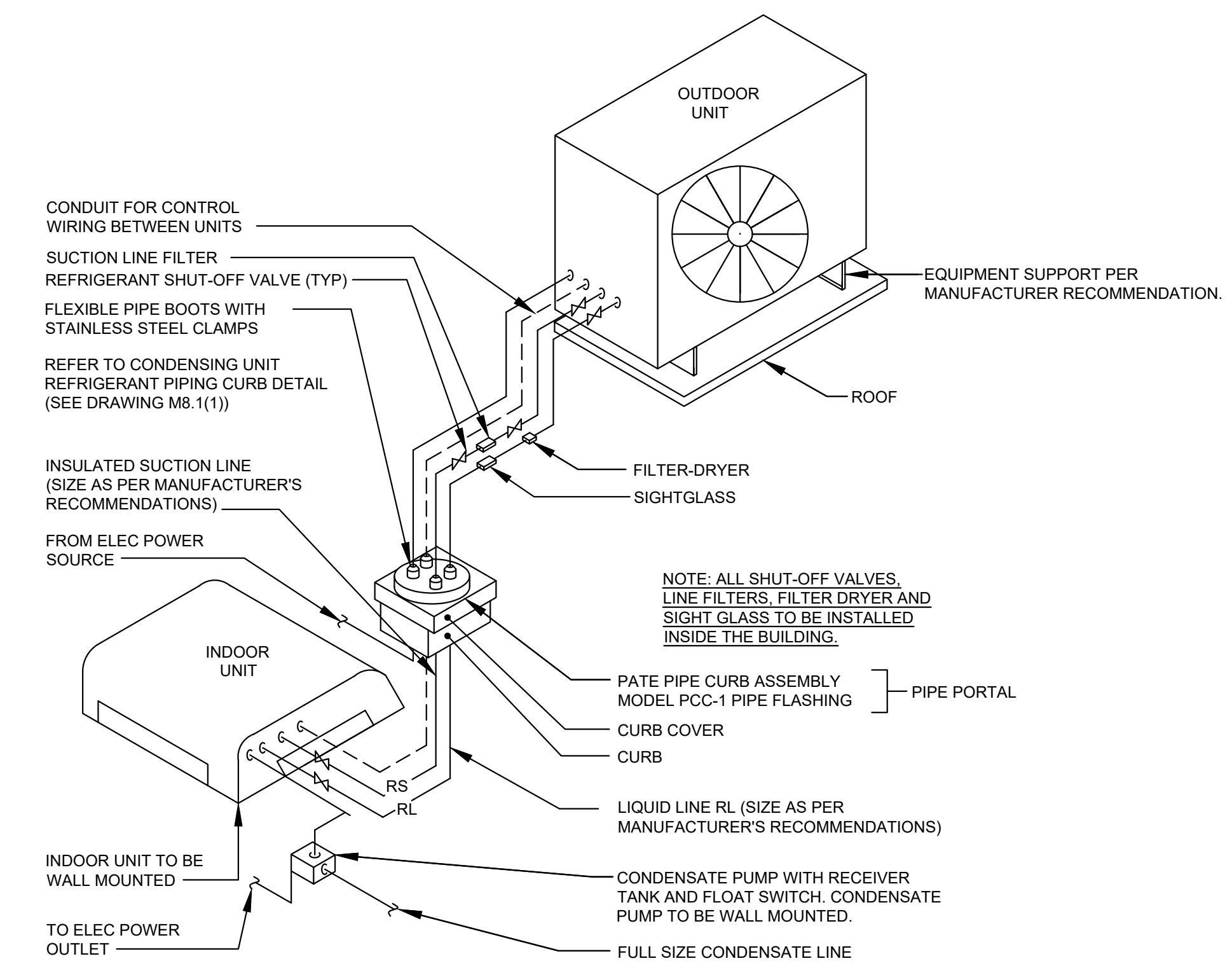


**2 RECTANGULAR GOOSENECK DETAIL**  
M8.1(1) NOT TO SCALE



NOTE: PROVIDE SUPPORTS AND CLEARANCES FOR UNIT HEATER PER MANUFACTURER INSTALLATION INSTRUCTIONS.

**3 WALL MOUNTED ELECTRIC CABINET UNIT HEATER**  
M8.1(1) NOT TO SCALE



**4 DX DUCTLESS SPLIT SYSTEM DETAIL**  
M8.1(1) NOT TO SCALE

**M8.1(1)**

DIRECT-EXPANSION CASSETTE UNIT SCHEDULE (INDOOR)																								
MARK	MAKE	MODEL NUMBER	LOCATION	SERVICE	MOTOR	DX COOLING COIL								Electric Heat		HEAT PUMP			ELECTRICAL	OPER WT	REMARKS			
						SA	RA	OA	TOT CAP	SENS CAP	REFRIG	ENT DB	ENT WB	LEAV DB	LEAV WB	TOT CAP	ELECTRIC HEATER	TOT CAP				FLOW MAX	EAT	LAT
					HP				MBH	MBH	R-410A	°F	°F	°F	°F	MBH	KW	MBH	CFM	°F	°F		LB	
DXCA-1	MODINE	CSH30BAEABNDN	OFFICE 102	OFFICE 102	(2) 1/6	590	565	25	31	25.4	R-410A	80.0	67.0	55.0	54.0	17.0	5.0	27	590.0	60.0	95.0	208/60/1	215	SEE NOTES

GENERAL NOTES:  
1. PROVIDE DISCONNECT SWITCH  
2. PROVIDE SEPARATE WALL-MOUNTED 120-V COOLING-COIL CONDENSATE PUMP (MFR: BLUE DIAMOND, MODEL X87-11, WITH MFR'S SAFETY OVERFLOW SWITCH, CHECK VALVE, ANTI-SWEAT S/S WALL BRACKET AND ANTI-SWEAT TANK SLEEVE), 2-YR WARRANTY, WIRE TO POWER SOURCE. EXTEND DISCHARGE PIPE TO CONDENSATE DRAIN PIPING SYSTEM. WIRE SAFETY OVERFLOW SWITCH TO SHUT-OFF A/C UNIT.  
3. PROVIDE DX COIL AND HEAT PUMP OPERATION W/ ELECTRIC HEATER  
4. PROVIDE INSULATED REFRIGERATION-PIPE LINE SETS FROM UNIT MFR. SIZES APPROVED BY MANUFACTURER.  
5. PROVIDE POWER AND CONTROL WIRING BETWEEN INDOOR AND OUTDOOR UNITS.  
6. PROVIDE MERV 10 FILTER  
7. PROVIDE PROVIDE THERMOSTAT (1 STAGE COOLING AND 2 STAGE HEATING).  
8. PROVIDE OUTSIDE AIR KIT.  
9. PROVIDE SPARE FILTER

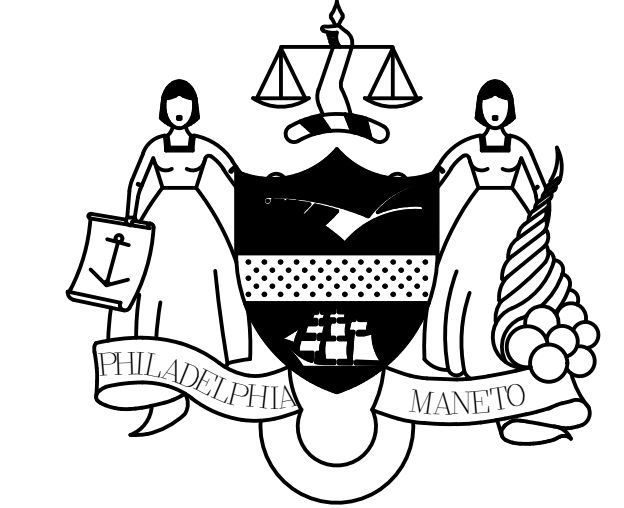
CONDENSING UNIT SCHEDULE											
TAG	BASIS OF DESIGN MANUFACTURER	MODEL NUMBER	LOCATION	SERVING	CAPACITY	AMBIENT DB		REFRIGERANT	ELEC SERVICE	OPER WT	REMARKS
						MAX	MIN				
					TONS	°F	°F			LB	
CU-1	MODINE	YH2E30	ROOF ABOVE OFFICE 102	DXCA-1	2		47	R-410A	208/60/1	140	SEE NOTES

NOTES:  
1. INCLUDE LOW-AMBIENT CONTROL AND ACCESSORIES TO ALLOW COOLING AT SCHEDULED MINIMUM AMBIENT DB.  
2. CAPACITY CONTROL BY VARIABLE-SPEED COMPRESSOR WITH INVERTER.  
3. PROVIDE POWER AND CONTROL WIRING BETWEEN INDOOR AND OUTDOOR UNITS.  
4. PROVIDE WIRING FROM OUTDOOR UNIT TO POWER INDOOR UNIT. REFER TO DIRECT- EXPANSION CASSETTE UNIT SCHEULE.

ELECTRIC WALL HEATER SCHEDULE													
TAG	BASIS OF DESIGN MANUFACTURER	MODEL NUMBER	LOCATION	SERVICE	ARRANGEMENT	FAN		CAPACITY	CONTROL	EAT	LAT	ELECTRICAL	REMARKS
						AIRFLOW CFM	SPEED						
						125	SINGLE	WATTS	ON/OFF BY TSTAT	°F	°F	SEE ELEC DWGS	1, 2
EVH-1	MARKEL	HF3324TD-RP	VESTIBULE	VESTIBULE	WALL-MOUNTED			2000		65	95		

NOTES:  
1. PROVIDE THE FOLLOWING:  
A. COLOR AS SELECTED BY ARCHITECT  
B. DISCONNECT SWITCH  
C. UNIT TO BE SURFACE MOUNTED  
D. TOTALLY-ENCLOSED STEEL FIN SHEATH ELEMENT  
2. PROVIDE THERMOSTAT/SENSOR.

REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:  
ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:  
KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS  
GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT  
DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER  
ANN ROTHMAN  
STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**MECHANICAL SCHEDULES**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>M9.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**GENERAL NOTES:**

1. REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
2. SEE TELECOMM GENERAL NOTES ON DRAWING E0.0(1) FOR ADDITIONAL CAMERA INSTALLATION INFORMATION.
3. EC SHALL COORDINATE ROUTING WITHIN THE BUILDING WITH REC CENTER STAFF. THE INTENT IS TO COORDINATE ROUTING IN THE FIELD TO LIMIT DISTURBANCES TO EXISTING SPACES TO REMAIN.
4. REFER TO DRAWING E8.1(1) FOR CCTV SYSTEM INSTALLATION DETAILS FOR WIRELESS SYSTEM.

**KEYED NOTES:**

- 1 NEW BUILDING SURFACE MOUNT PTZ CAMERA. ROUTE NEW CAT6 CABLE IN 1" OVERHEAD AND CONCEALED WHERE AT ALL POSSIBLE FOR CONNECTIONS BACK AT THE EXISTING CAMERA SYSTEM RACK IN THE FRONT OFFICE. SEE DETAIL 4/E8.1(1) FOR ADDITIONAL INFORMATION.
- 2 NEW POLE MOUNT PTZ CAMERA ON EXISTING LIGHTING POLE. ROUTE CAT6 CABLING IN 1" WITHIN EXISTING POLE AND TRANSITION TO ROUTING UNDERGROUND IN DIRECT BURIAL CONDUIT AS INDICATED. CONDUIT SHALL STUB UP AT BUILDING EXTERIOR AND PENETRATION LOW ON EXISTING BUILDING WALL USING AN LB FITTING. CONDUIT SHALL THEN TRANSITION TO OVERHEAD WITHIN BUILDING. ROUTE CONDUIT AND WIRING IN 1" OVERHEAD AND CONCEALED WHERE AT ALL POSSIBLE IN BUILDING FOR CONNECTIONS BACK AT THE EXISTING CAMERA SYSTEM RACK IN THE FRONT OFFICE. SEE DETAIL 4/E8.1(1) FOR ADDITIONAL INFORMATION.
- 3 EC SHALL PROVIDE NEW POLE MOUNTED WEATHRPROOF LOCKING 18" X 18" ENCLOSURE AT 10FT AFG TO HOUSE WIRELESS ETHERNET SYSTEM DEVICES REQUIRED FOR POLE MOUNTED CAMERA(S). PROVIDE (2) 36-INCH CAT 6 PATCH CORDS PER CAMERA TO DPP FOR FINAL CONNECTIONS. FURNISH AND INSTALL CAMERA, CAMERA MOUNTS AND WIRELESS ETHERNET DEVICES. SEE DETAIL 4 ON SHEET E8.1(1) FOR ENCLOSURE INFORMATION AND INTENT FOR POWER SUPPLY.
- 4 FURNISH AND INSTALL NEMA 4X RATED WALL MOUNTED JUNCTION BOX FOR POINT TO MULTIPOINT WIRELESS OMNI DIRECTIONAL ANTENNA FOR WIRELESS ETHERNET CONNECTION FOR POLE MOUNTED CAMERAS. FURNISH AND INSTALL (1) CAT 6 CABLE IN 3/4" CONDUIT BACK TO EXISTING PATCH PANEL IN EXISTING COMM CABINET IN THE OFFICE. TERMINATE CAT 6 CABLE ON 1-PORT RJ45 SURFACE MOUNTED BISCUIT JACK IN THE JUNCTION BOX. PROVIDE (2) 36-INCH CAT 6 PATCH CORDS TO OWNER FOR FINAL CONNECTIONS.

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL PROPOSED SITE PLAN**

PROJECT NO.  
**73217**

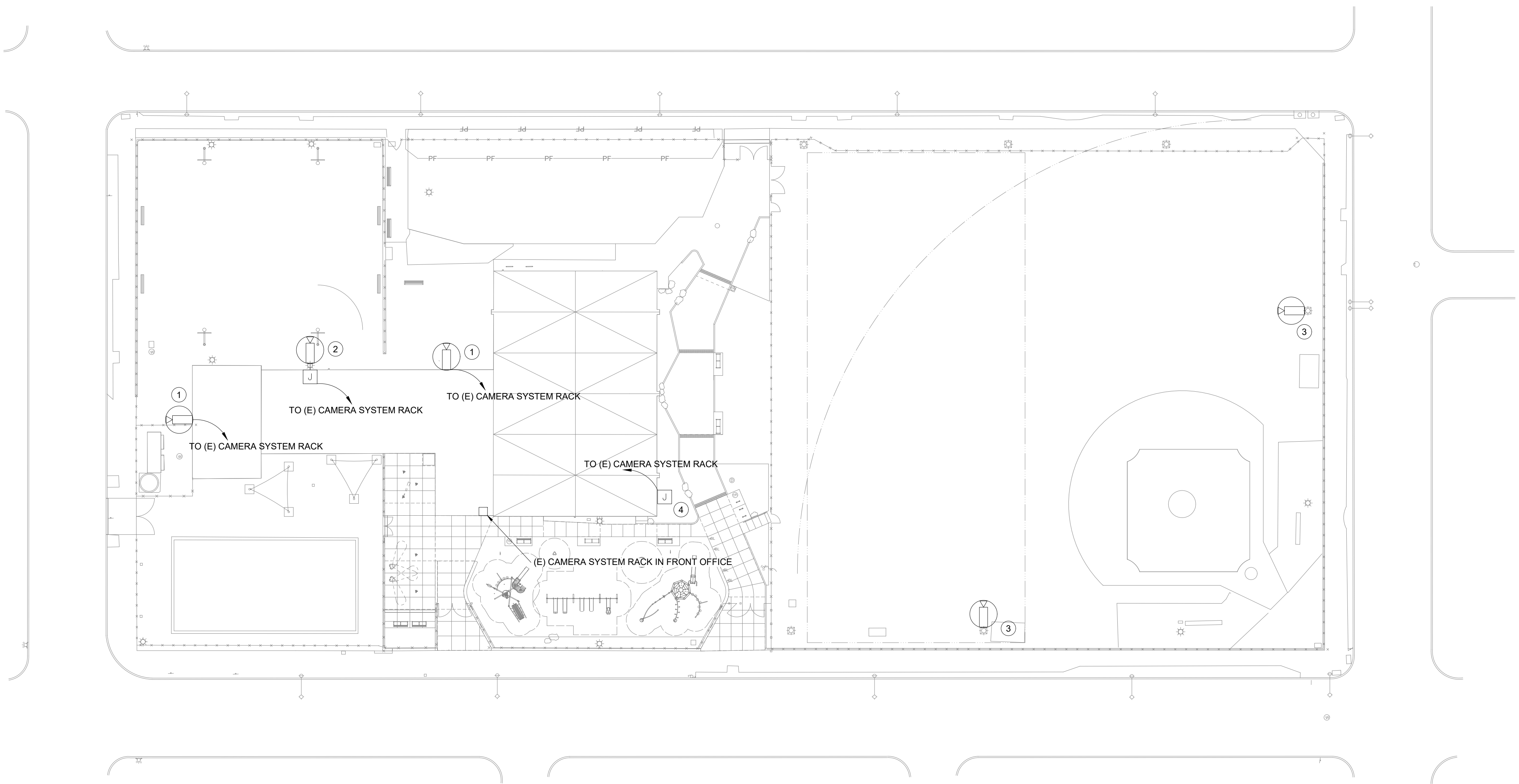
DATE  
**03/15/24**

SCALE  
**AS NOTED**

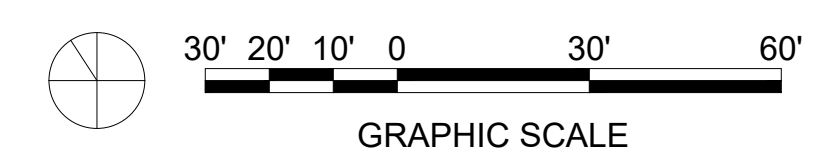
DRAWN BY  
**TM**

CHECKED BY  
**RR**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**1**  
E2.0(1) **ELECTRICAL PROPOSED SITE PLAN**  
Scale: 1" = 30'



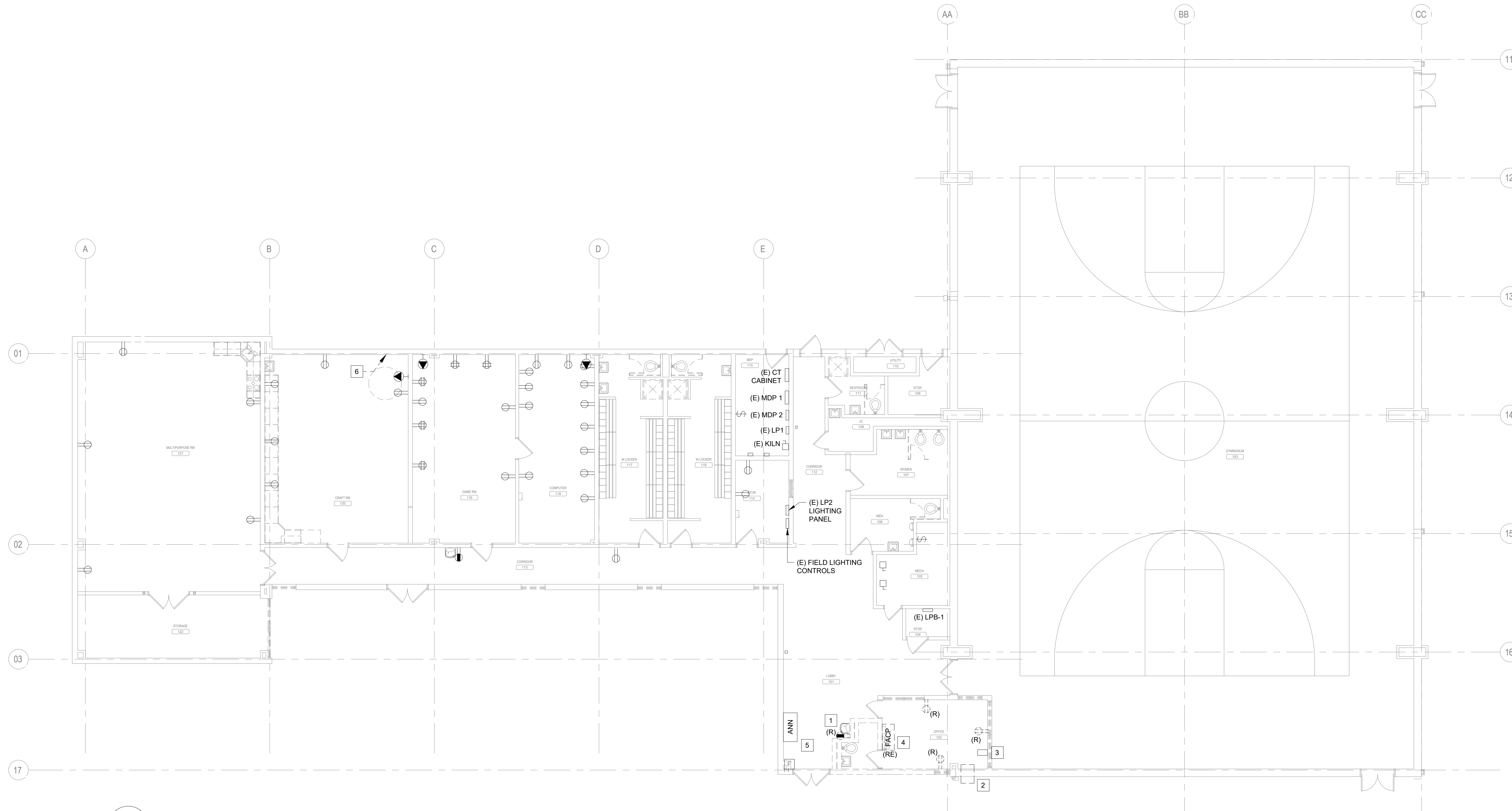
**E2.0(1)**

**GENERAL NOTES:**

- REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
- CONTRACTOR SHALL UPDATE ALL PANELBOARD CIRCUIT DIRECTORIES UPON COMPLETION OF DEMOLITION.

**KEYED NOTES:**

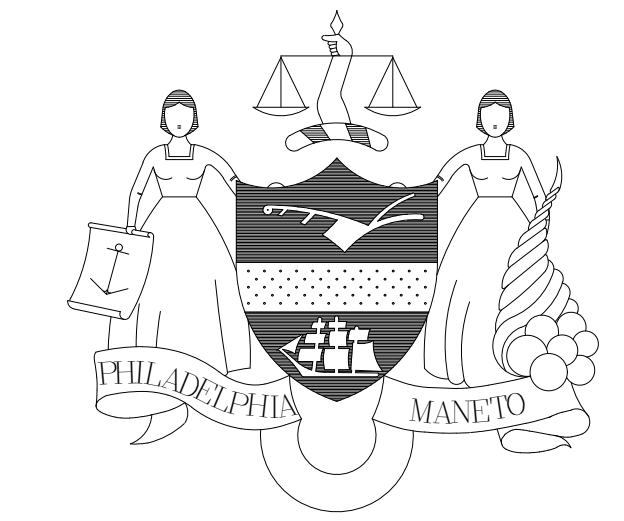
- DISCONNECT AND REMOVE POWER FROM EXISTING WATER FOUNTAIN. RETAIN CIRCUIT FOR EXTENSION TO NEW WATER FOUNTAIN LOCATION.
- DISCONNECT AND REMOVE POWER WIRING BACK TO SOURCE PANEL FROM EXISTING AC UNIT.
- PRESERVE EXISTING SECURITY CAMERA SYSTEM RACK AND POWER SUPPLY.
- RELOCATE FIRE ALARM CONTROL PANEL WITHIN THE OFFICE. REFER TO E2.1 FOR NEW LOCATION.
- THE EXISTING MANUAL PULL STATION AND FIRE ALARM ANNUNCIATOR PANEL SHALL REMAIN AT THE ENTRANCE.
- EXISTING PROP FAN TO BE TEMPORARILY DISCONNECTED WHILE WINDOWS ARE REPLACED. DISCONNECT AND LOCK OUT / TAG OUT BREAKER. COORDINATE TIMING WITH MECHANICAL CONTRACTOR AND ARCHITECT.



**1** ELECTRICAL DEMOLITION FLOOR PLAN  
ED2.1(1) Scale: 1/8" = 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL DEMOLITION FLOOR PLAN**

PROJECT NO.  
**73217**

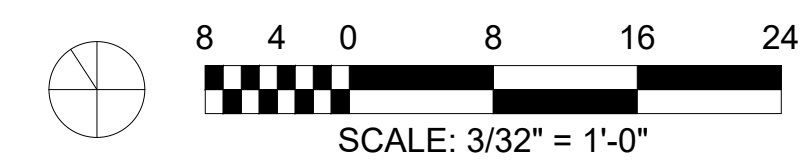
DATE  
03/15/24

SCALE  
AS NOTED

DRAWN BY  
TM

CHECKED BY  
RR

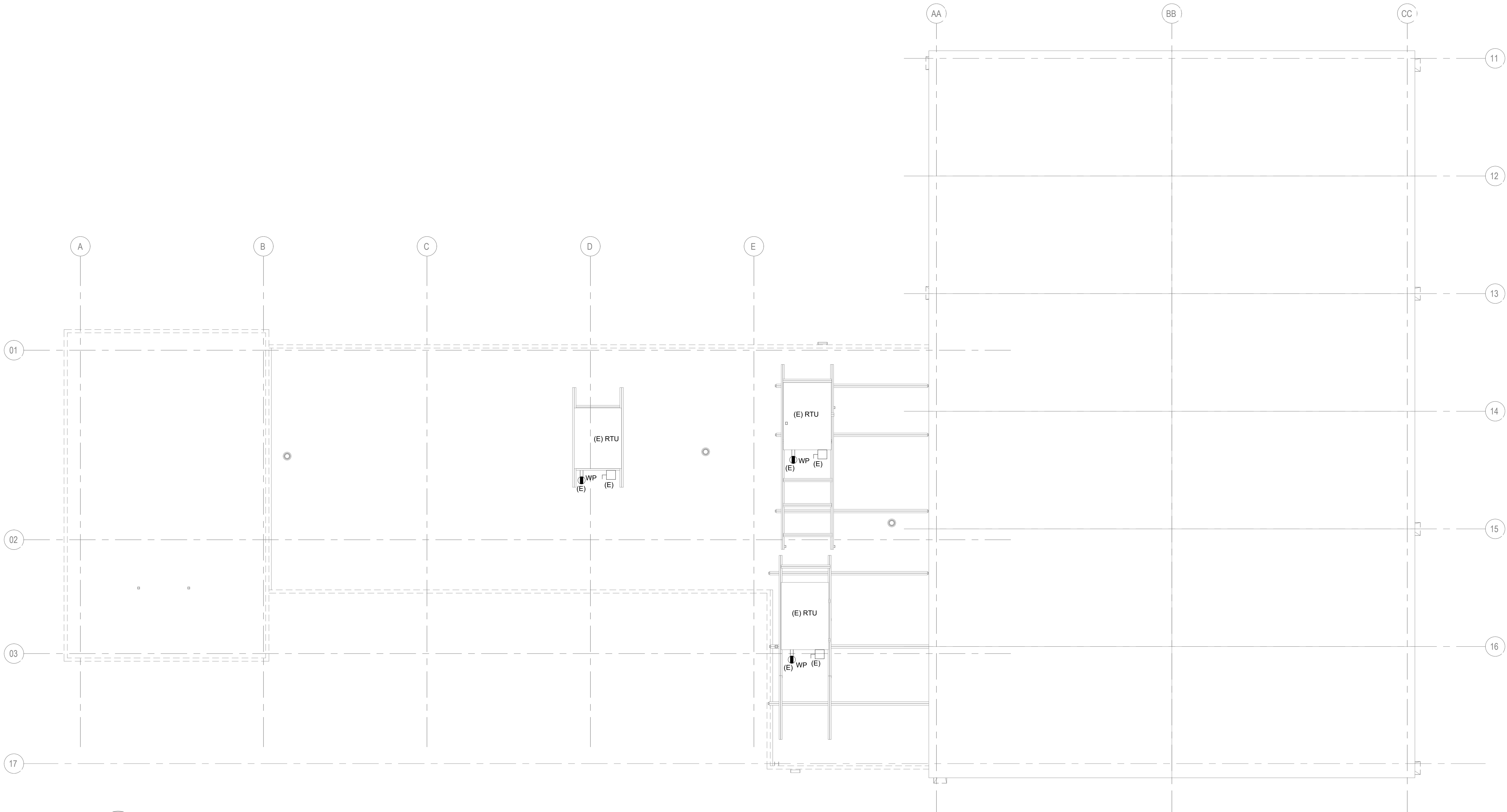
**ED2.1(1)**



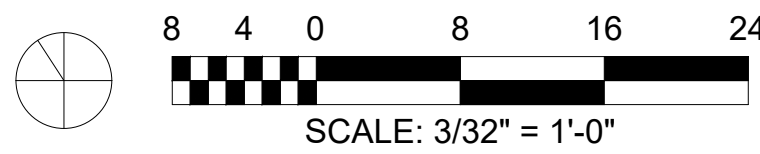
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL NOTES:**

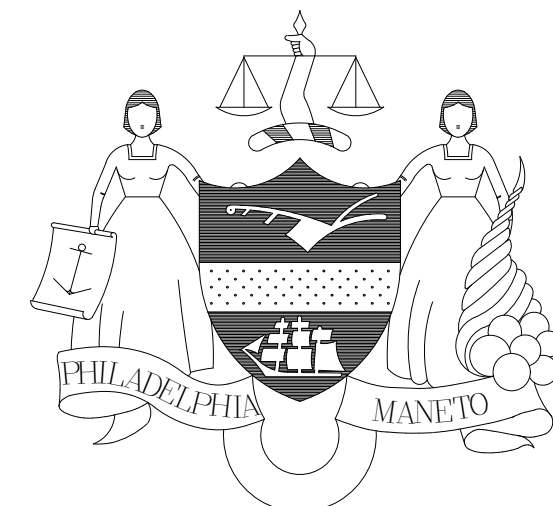
- REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
- CONTRACTOR SHALL UPDATE ALL PANELBOARD CIRCUIT DIRECTORIES UPON COMPLETION OF DEMOLITION.



**1** ELECTRICAL DEMOLITION ROOF PLAN  
ED2.2(1) Scale: 1/8" = 1'-0"



REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL DEMOLITION ROOF PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>ED2.2(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY RR	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL NOTES:**

1. REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
2. CONTRACTOR SHALL UPDATE ALL PANELBOARD CIRCUIT DIRECTORIES UPON COMPLETION OF DEMOLITION.
3. DISCONNECT REMOVE AND DISPOSE OF ALL INDICATED LIGHT FIXTURES, LIGHT CONTROLS, CABLE AND/OR CONDUIT BACK TO THE SOURCE PANEL, UNLESS OTHERWISE NOTED.

**KEYED NOTES:**

- 1 DISCONNECT AND REMOVE NOTED EXISTING LIGHTING AND CONTROLS AND MAINTAIN CONTINUITY FOR EXISTING DOWNSTREAM EQUIPMENT ON SAME CIRCUIT AS REQUIRED. PRESERVE CIRCUIT IN NEAREST EXISTING JUNCTION BOX FOR RE-FEED TO NEW LIGHTING IN RENOVATED OFFICE SPACE.
- 2 DISCONNECT AND REMOVE EXISTING SMOKE DETECTORS FROM CEILING IN THIS AREA TO ALLOW FOR THE DEMOLITION OF CEILING (2 TOTAL). THE EXISTING MANUAL PULL STATION AND FIRE ALARM ANNUNCIATOR PANEL SHALL REMAIN AT THE ENTRANCE.

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL DEMOLITION LIGHTING PLAN**

PROJECT NO. **73217** DRAWING NO. **ED2.3(1)**

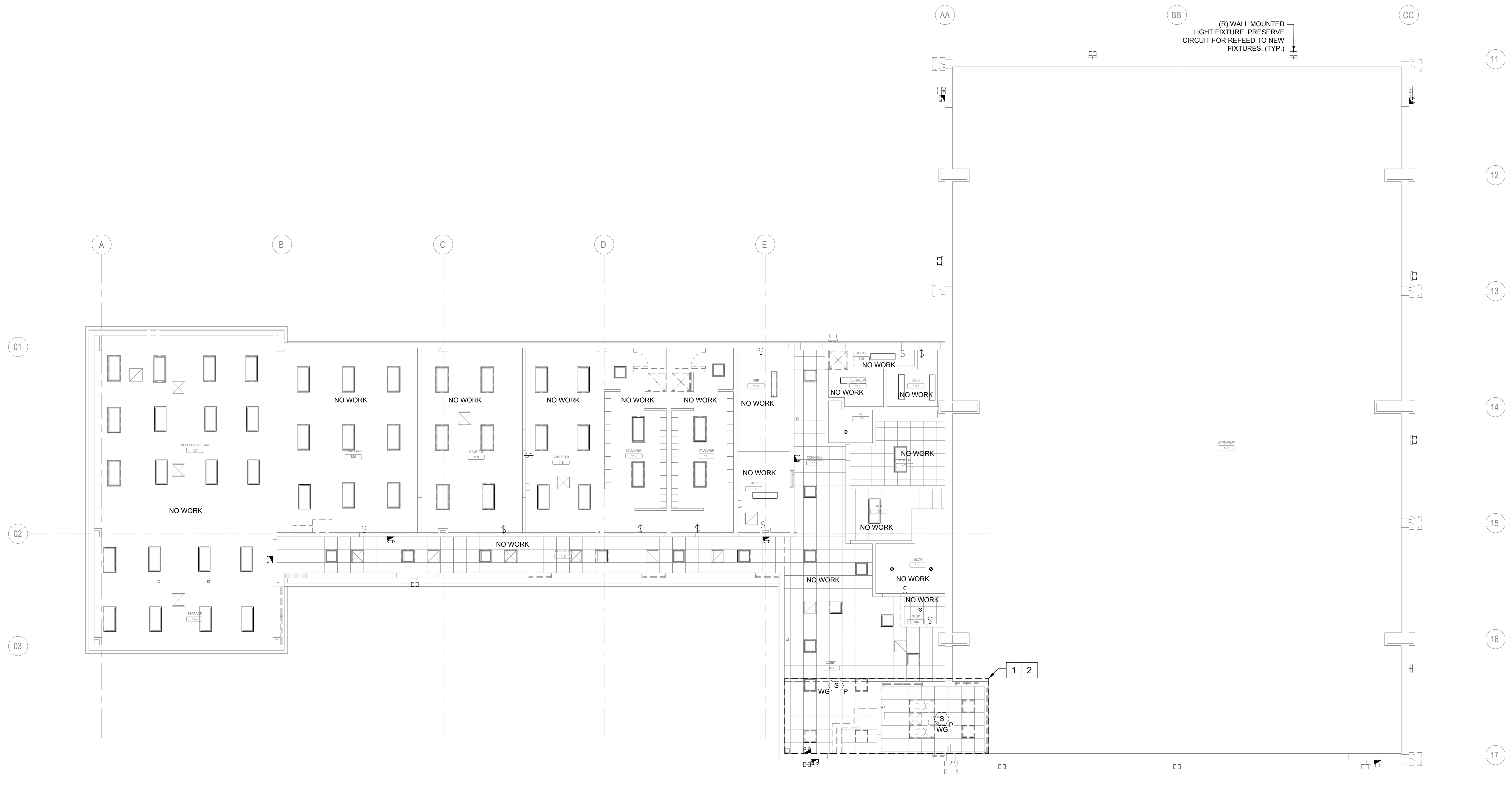
DATE **03/15/24**

SCALE **AS NOTED**

DRAWN BY **TM**

CHECKED BY **RR**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**1 ELECTRICAL DEMOLITION LIGHTING PLAN**  
ED2.3(1) Scale: 1/8" = 1'-0"



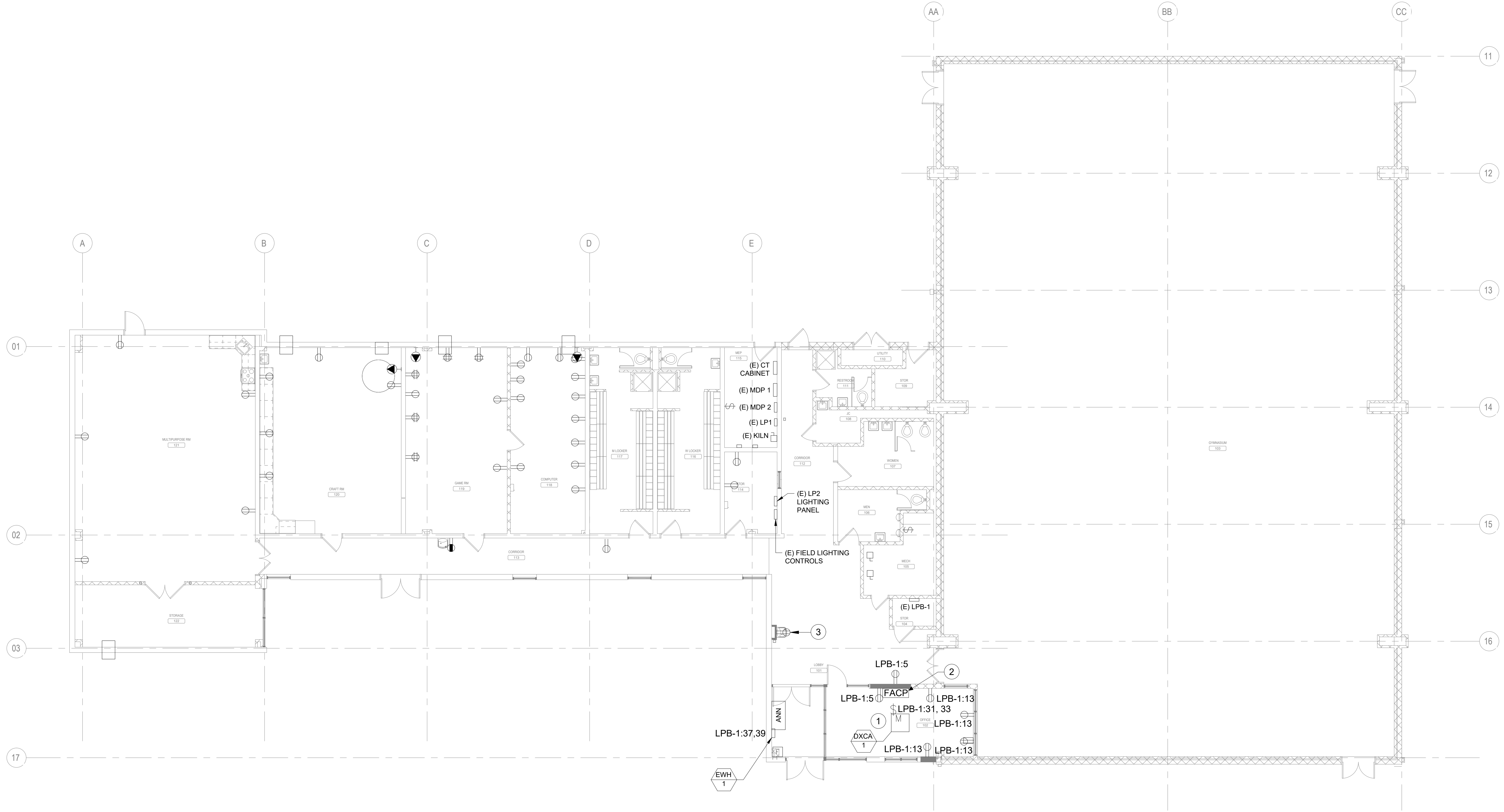


**GENERAL NOTES:**

1. REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
2. NEW ELECTRICAL CONDUIT AND WIRING SHALL BE CONCEALED WITHIN WALL CONSTRUCTION WHERE POSSIBLE. NEW EXPOSED CONDUIT SHALL BE ROUTED IN AN ORGANIZED MANNER, SUBJECT TO ARCHITECT'S APPROVAL. PAINT EXPOSED CONDUIT TO MATCH EXISTING ADJACENT CONSTRUCTION.

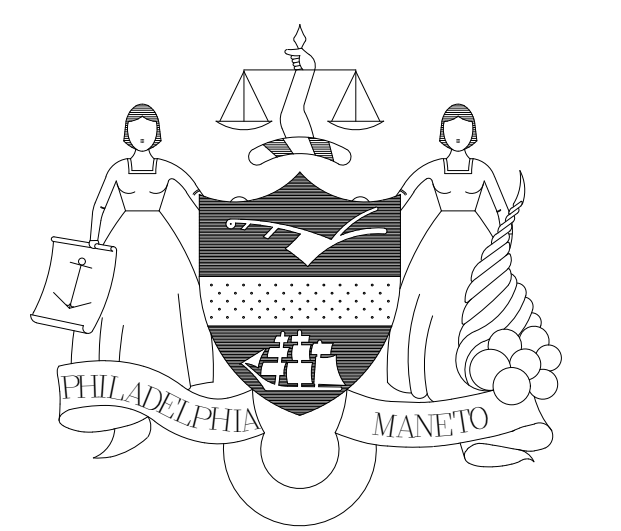
**KEYED NOTES:**

- 1 PROVIDE POWER TO INDOOR UNIT VIA LOCAL 2 POLE, 30A, 208V MOTOR RATED TOGGLE SWITCH. EC SHALL EXTEND CIRCUIT LPB-1:5 USING 2#12 & 1#12G IN 3/4" TO POWER MOTOR OPERATED DAMPER IN THE HVAC DUCT AT ROOF PENETRATION AS WELL AS CONDENSATE PUMP LOCATED NEAR UNIT.
- 2 RELOCATE FIRE ALARM CONTROL PANEL TO THIS LOCATION. FIRE ALARM CONTRACTOR SHALL RECONNECT ALL FIRE ALARM CIRCUITS. ELECTRICAL CONTRACTOR SHALL RECONNECT POWER WIRING TO THE PANEL.
- 3 EXTEND EXISTING WATER FOUNTAIN CIRCUIT TO NEW LOCATION. PROVIDE REMOTE GFCI MODULE INSTALLED IN AN ACCESSIBLE LOCATION ADJACENT TO NEW WATER FOUNTAIN LOCATION.



**1 ELECTRICAL PROPOSED FLOOR PLAN**  
 E2.1(1) Scale: 1/8" = 1'-0"

REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

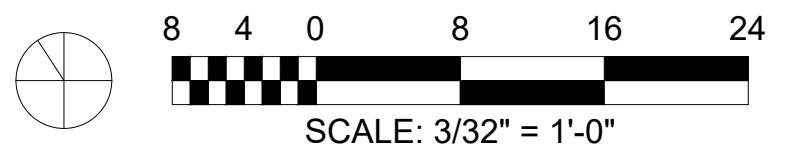
- SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410
- MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365
- CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425
- LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 230 South Broad Street  
 Philadelphia, Pennsylvania 19102  
 215 790 0727
- COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560
- STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
 100 East Lancaster Avenue, Suite 203  
 Wayne, Pennsylvania 19087  
 610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL PROPOSED FLOOR PLAN**

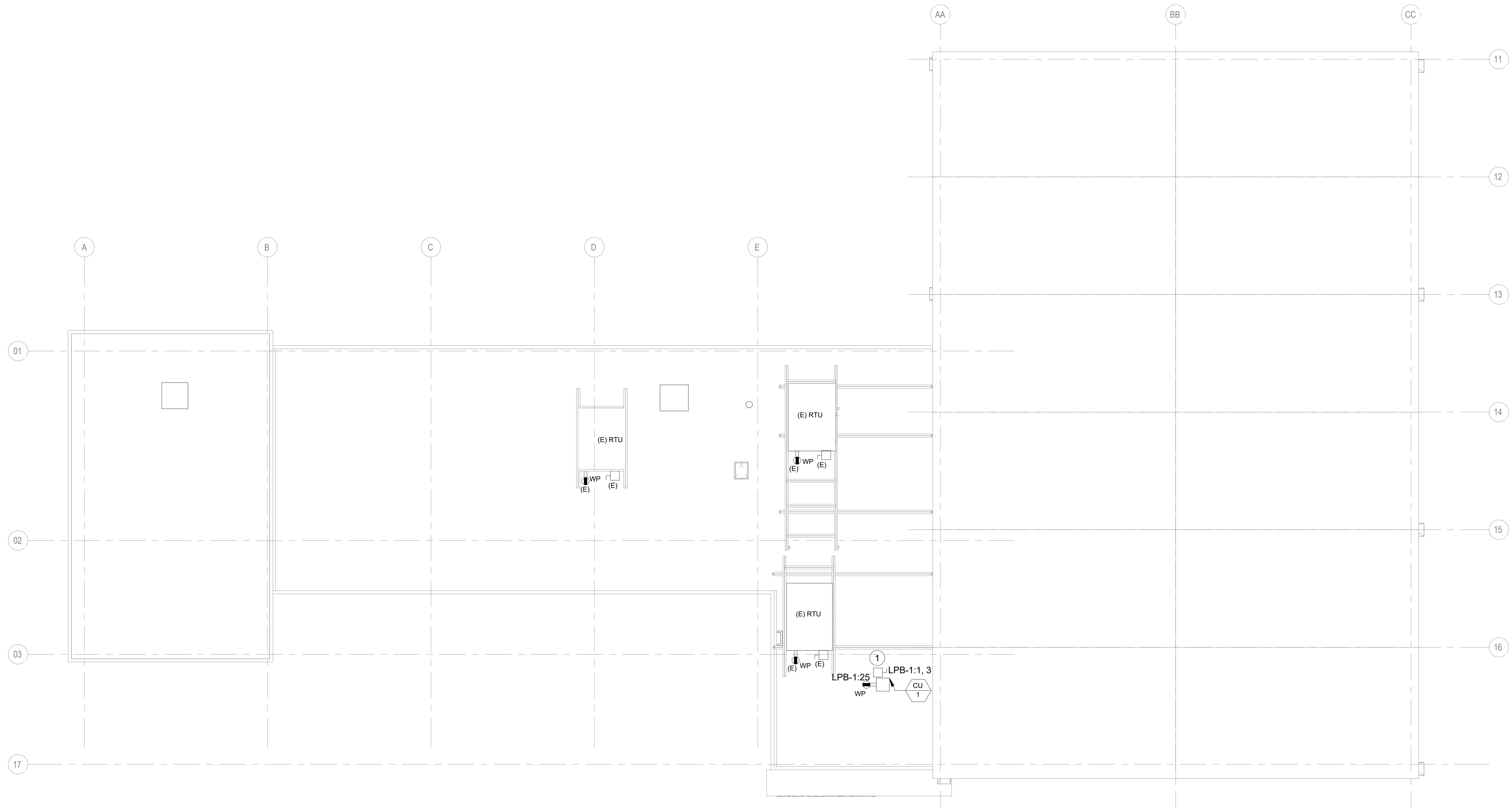
PROJECT NO. <b>73217</b>	DRAWING NO. <b>E2.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY RR	



NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL NOTES:**

- REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.



**1** ELECTRICAL PROPOSED ROOF PLAN  
E2.2(1) Scale: 1/8" = 1'-0"

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL PROPOSED ROOF PLAN**

PROJECT NO.  
**73217**

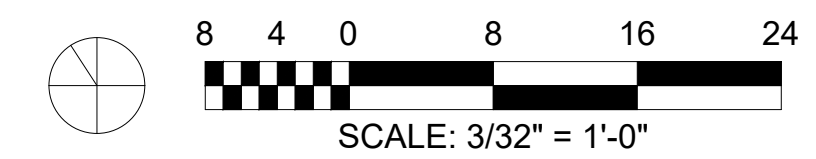
DATE  
03/15/24

SCALE  
AS NOTED

DRAWN BY  
TM

CHECKED BY  
RR

**E2.2(1)**



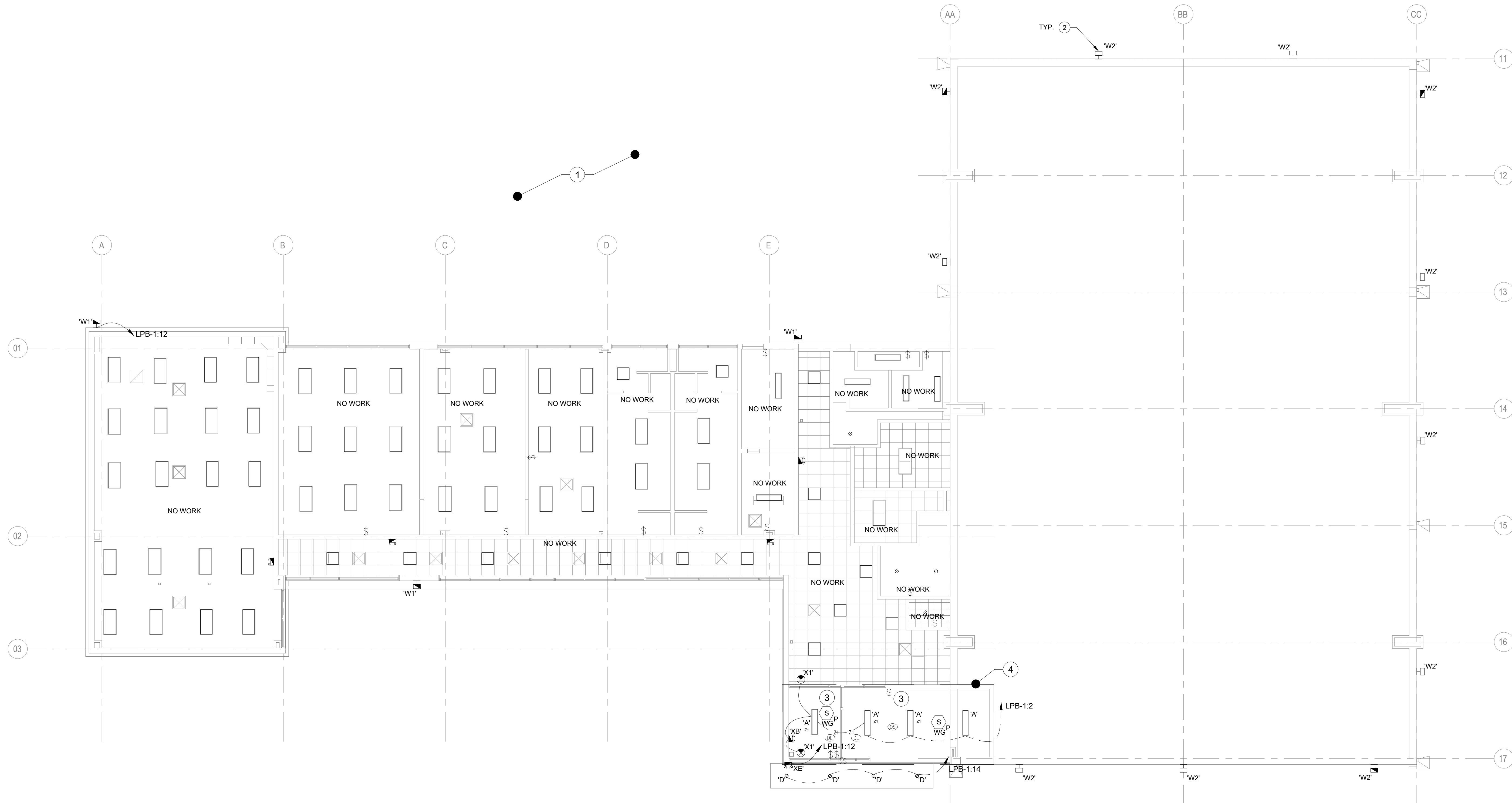
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL NOTES:**

1. REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
2. PROPOSED LIGHTING PLAN IS FOR GENERAL SCOPE AND EXTENT OF WORK AT THIS STAGE. LIGHTING DESIGN WILL BE FURTHER DEVELOPED DURING NEXT PHASE OF DESIGN.

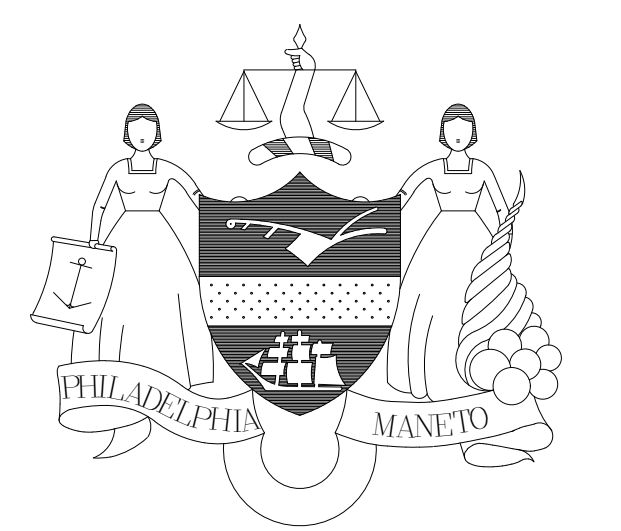
**KEYED NOTES:**

- 1 SEE SITE PLAN ON SHEET E2.0(1) FOR SITE CAMERA INSTALLATION.
- 2 FURNISH AND INSTALL NEW WALL MOUNTED OUTDOOR LIGHT FIXTURE. RECONNECT EXISTING WIRING PRESERVED DURING DEMOLITION TO NEW LIGHT FIXTURE.
- 3 FURNISH AND INSTALL NEW LIGHTING AND CONTROLS AS INDICATED. RECONNECT EXISTING WIRING PRESERVED DURING DEMOLITION TO NEW LIGHT FIXTURES.
- 4 REINSTALL SMOKE DETECTORS IN THE NEW CEILING IN THIS AREA (2 TOTAL).



**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

- SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410
- MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365
- CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425
- LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727
- COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560
- STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL PROPOSED LIGHTING PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>E2.3(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY RR	

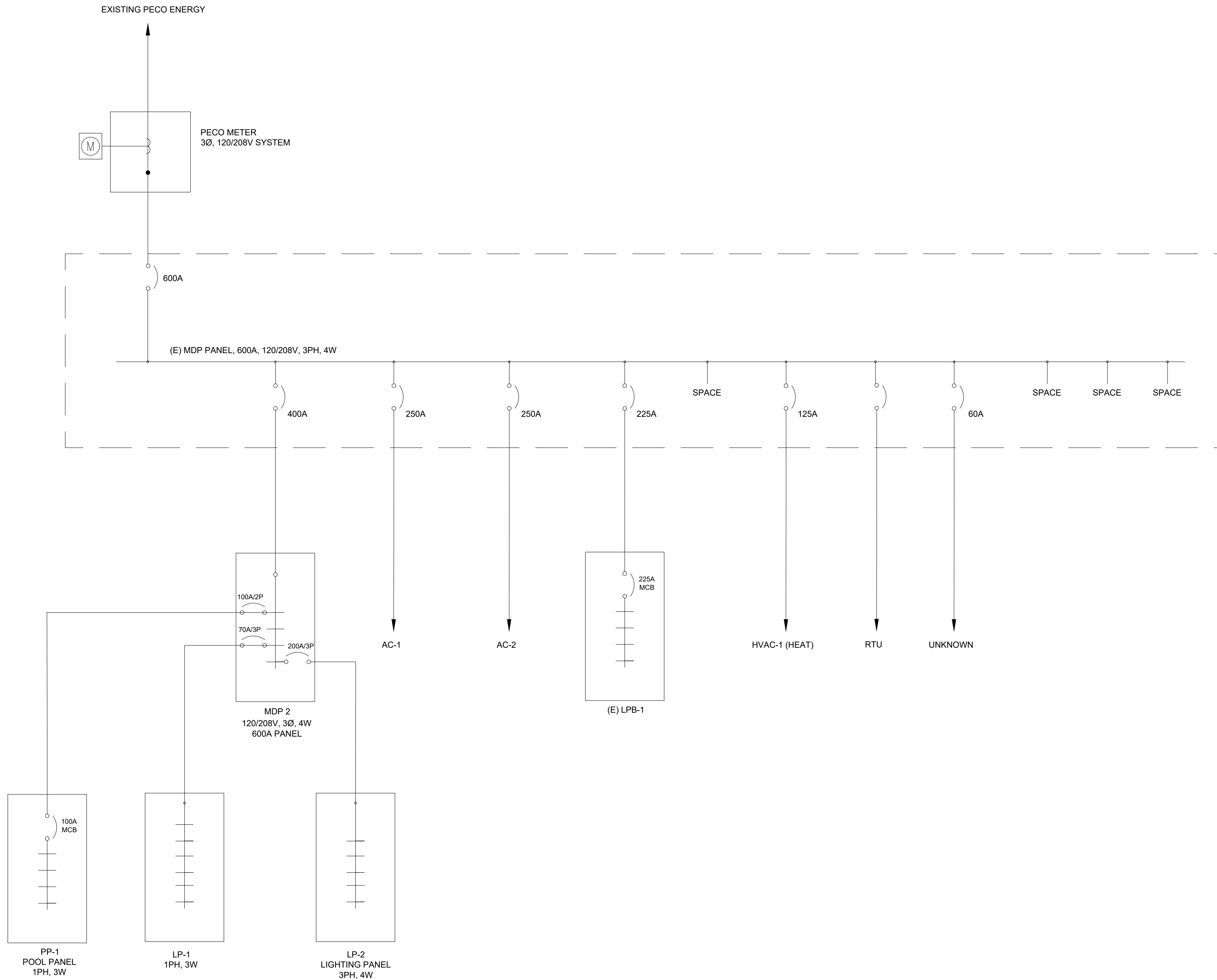
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**1 ELECTRICAL PROPOSED LIGHTING PLAN**  
E2.3(1) Scale: 1/8" = 1'-0"



**GENERAL NOTES:**

- REFER TO DRAWING E0.0(1) FOR ELECTRICAL ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.



1 DEMOLITION ELECTRICAL SINGLE LINE DIAGRAM  
E6.1(1) NOT TO SCALE

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

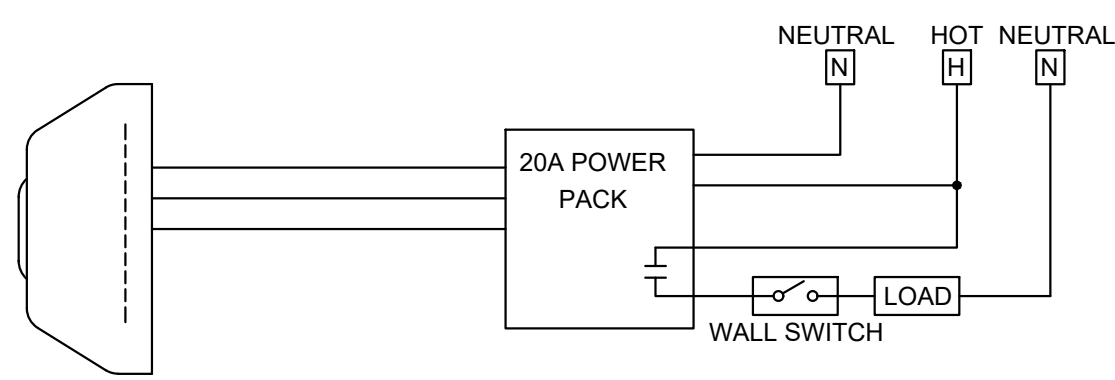
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**DEMOLITION ELECTRICAL  
SINGLE LINE DIAGRAM**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>E6.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY RR	

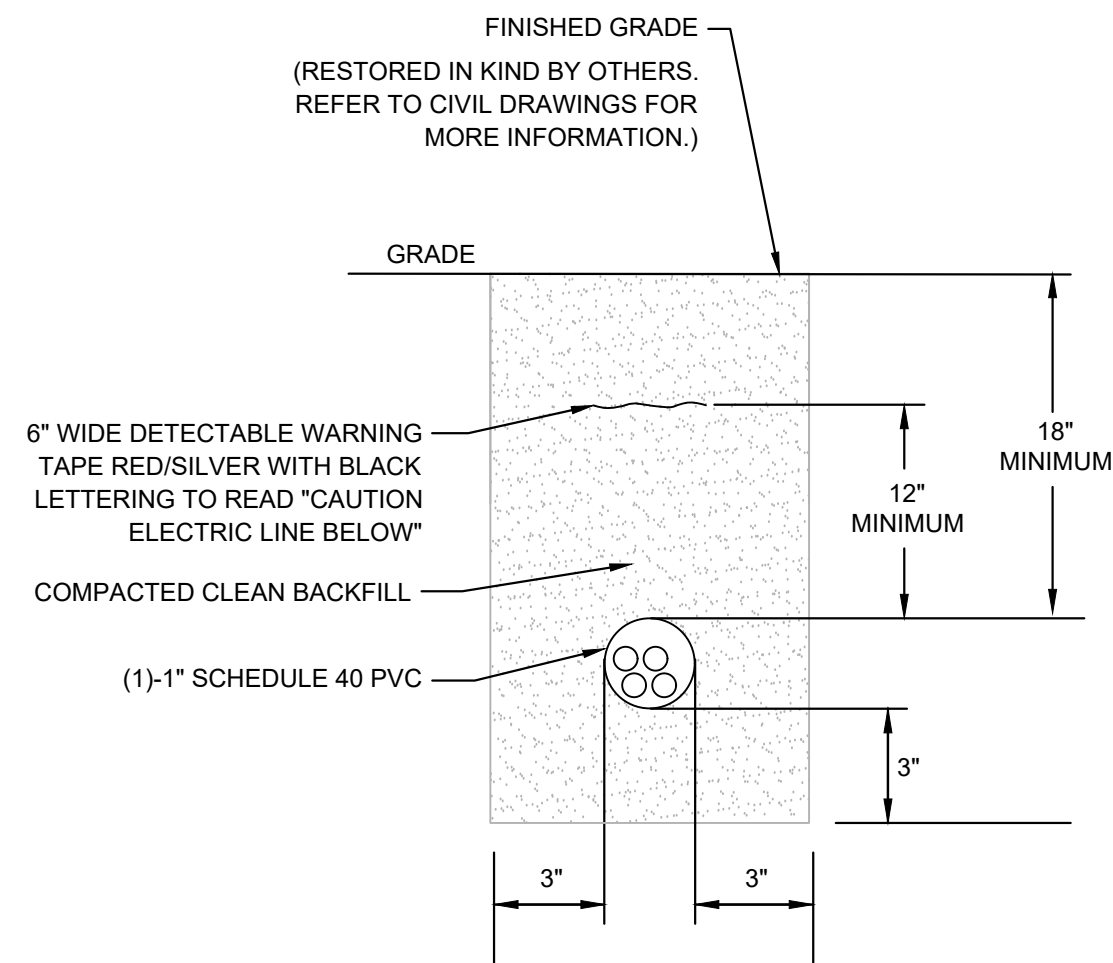
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



**1** TYPICAL LV OCCUPANCY SENSOR WIRING DIAGRAM  
E8.1(1) Scale: NTS

**NOTES:**

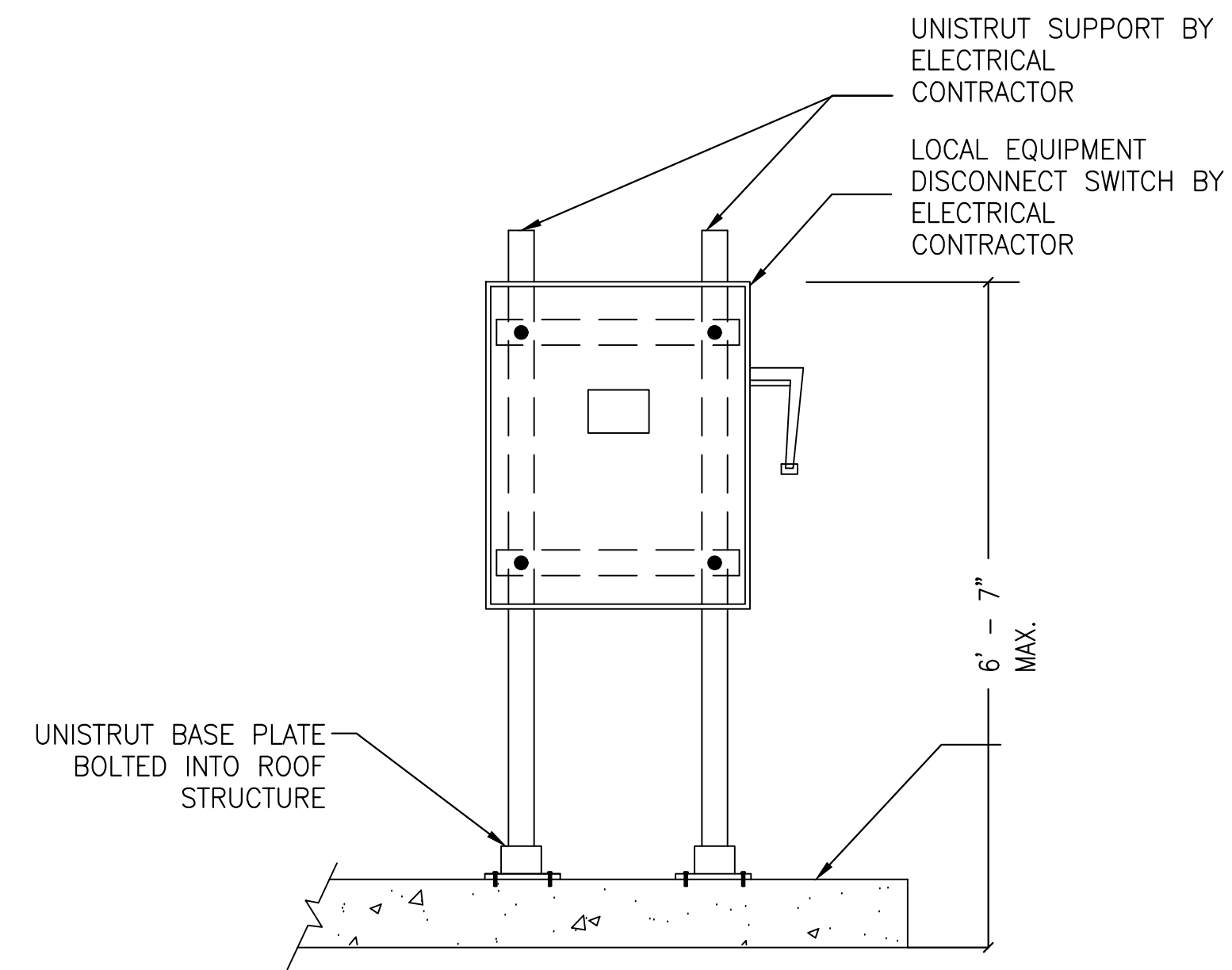
1. LOW VOLTAGE OCCUPANCY SENSOR WIRING IS BASED ON SENSORSWITCH CM SERIES. CONTRACTOR SHALL MAKE ANY FIELD WIRING MODIFICATIONS NECESSARY TO ACHIEVE DESIGN INTENT.
2. COORDINATE WITH EMERGENCY LIGHTING REQUIREMENTS.



**2** TYPICAL DUCT BANK DETAIL  
E8.1(1) Scale: NTS

**DUCT BANK NOTES:**

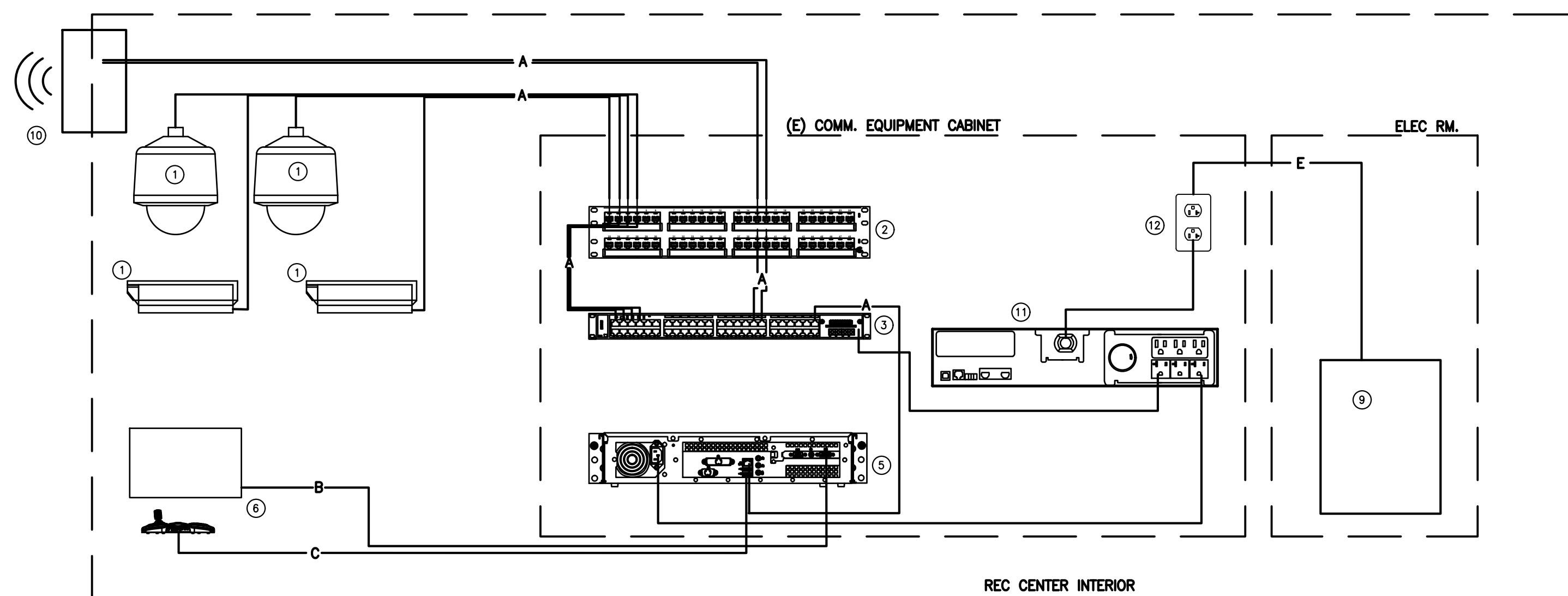
1. EC SHALL TAKE EXTREME CARE IN EXCAVATING AREA. HAND-DIG IF NECESSARY. MODIFY/RE-ROUTE DUCT BANK AS REQUIRED TO MINIMIZE CONFLICT WITH EXISTING UTILITIES.
2. COORDINATE ALL CONDUIT ROUTING WITH EXISTING CONDITIONS AND WALKWAY CUTTING AND TRENCHING.
3. ADJUST TRENCH DETAIL FOR MULTIPLE CONDUITS WHEN REQUIRED. OBTAIN ENGINEER'S APPROVAL.
4. REMOVE ALL SHARP STONES AND OBJECTS FROM COMPACTED BEDDING, SIDE SUPPORTS, AND FILL.



**3** CHANNEL STRUT-MOUNTED DISCONNECT SWITCH  
E8.1(1) Scale: NTS

**NOTES:**

1. MOUNT DISCONNECT SWITCH ADJACENT TO MECHANICAL EQUIPMENT CONTROL PANELS AND MOTORS AS CLOSE AS POSSIBLE. COORDINATE W/ MECHANICAL CONTRACTOR.



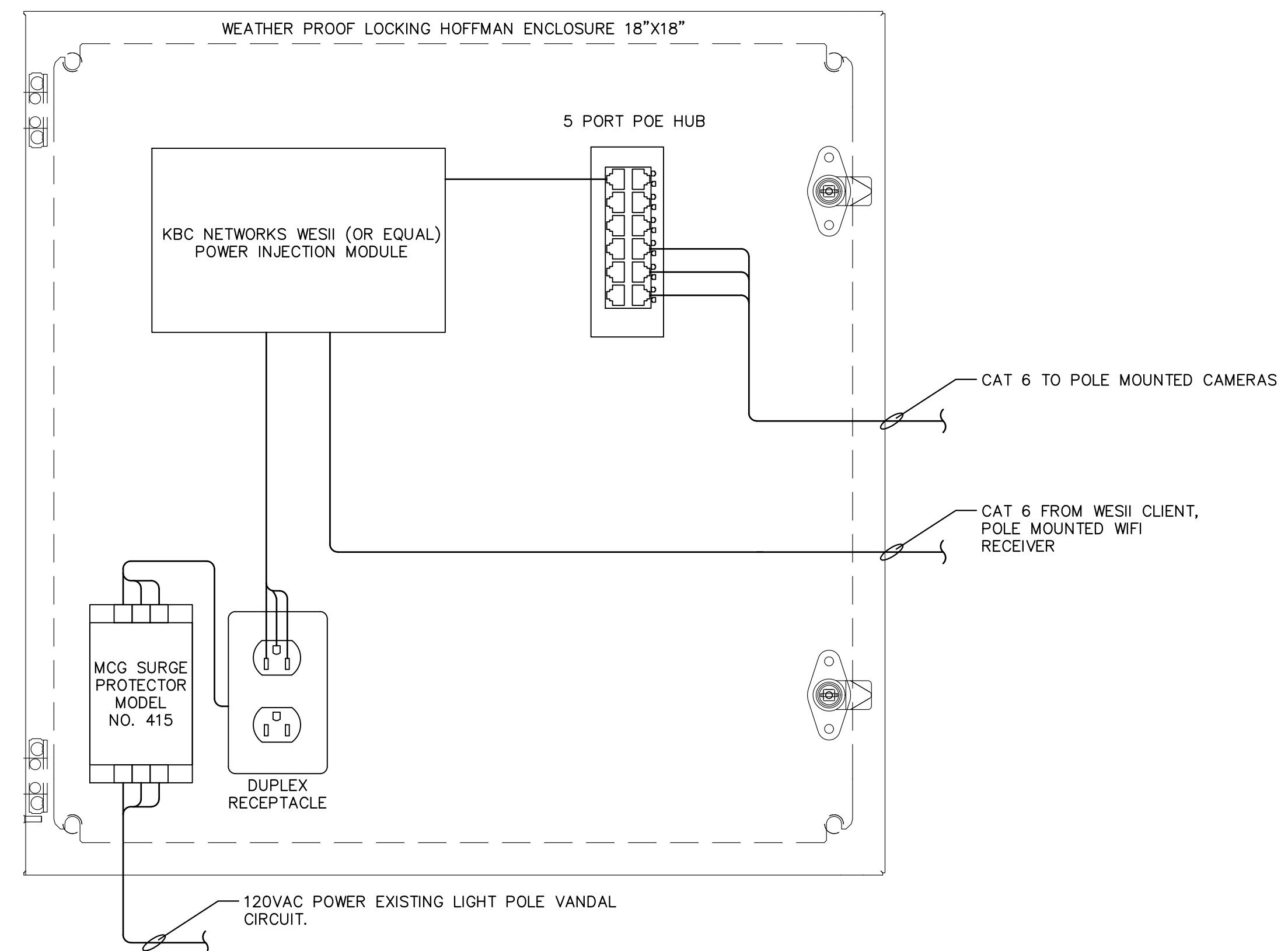
**EQUIPMENT AND CABLE TYPE LIST:**

EQUIPMENT_ID	DESCRIPTION	EQUIPMENT_ID	DESCRIPTION
1	(E) CCTV CAMERA, TYPE TO BE DETERMINED BY LOCATIONS	A	CAT6
2	(E) CAT6 PATCH PANEL	B	HDMI 100' MAX
3	(E) REC CENTER P.O.E. SWITCH	C	USB
4	NOT USED	D	FIBER OPTIC, MM OR SM
5	(E) CCTV NVR, DDNS ENABLED	E	#10 THHN
6	(E) CCTV WORKSTATION DIRECTLY CONNECTED TO NVR		
7	NOT USED		
8	NOT USED		
9	(E) 120/208V ELECTRICAL PANEL		
10	KBC NETWORK (OR EQUAL) POINT TO MULTIPOINT WIRELESS KIT W/5 dBi OMNI DIRECTIONAL ANTENNA, MOUNTED TO BUILDING FASCIA.		
11	(E) 2000VA RACK MOUNT UPS		
12	(E) 120V 20A DUPLEX RECEPTACLE		

**SYSTEM DIAGRAM NOTES:**

1. CAMERA QUANTITY AND TYPE INDICATED ON DRAWINGS AND SCHEDULE.

**4** CCTV SYSTEM DIAGRAM  
E8.1(1) Scale: NTS



**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR

PRIYANKA MALIK

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE

**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

DRAWING TITLE

**ELECTRICAL DETAILS**

PROJECT NO.

73217

DATE

03/15/24

SCALE

AS NOTED

DRAWN BY

TM

CHECKED BY

RR

**E8.1(1)**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

EXISTING CONDITIONS - PANEL SCHEDULE														
PANEL: LPB-1			INTERRUPTING RATING: 22 KAIC						MOUNTING: SURFACE					
VOLTAGE: 208Y/120V			PHASE: 3			WIRE: 4			BUS AMPS: 250A			MAIN: 225A MCB		
NEMA 1			NEUTRAL: 100%			LOCATION: STORAGE 104								
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE			VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT
						A	B	C						
1	(R) BOILER RM LTS	(E)	1	20	0	0			0	20	1	(E)	(R) OFFICE AND LAV LTS	2
3	(R) BOILER RM EXHAUST	(E)	1	20	0		0		0	20	1	(E)	WATER COOLER	4
5	(R) OFFICE RECEPT	(E)	1	20	0			0	0	20	1	(E)	GYM LTS	6
7	GYM LTS	(E)	1	20	0	0			0	20	1	(E)	GYM LTS	8
9	GYM LTS	(E)	1	20	0		0		0	20	1	(E)	GYM LTS	10
11	GYM LTS	(E)	1	20	0			0	0	20	1	(E)	(R) SPARE	12
13	SPARE	(E)	1	20	0	0			0	20	1	(E)	(R) SPARE	14
15	GYM EXHAUST	(E)	1	20	0		0		0	20	1	(E)	LTS BOY/GIRL LAVS	16
17	EMERGENCY LIGHTS	(E)	1	20	0		0		0	20	1	(E)	EXHAUST BOY/GIRL LAVS	18
19	GYM RECEPT	(E)	1	20	0	0			0	20	1	(E)	GYM LTS	20
21	LOBBY LIGHTS	(E)	1	20	0		0		0	20	1	(E)	EMERGENCY LTS	22
23	(R) BUILDING VANDAL LTS	(E)	1	20	0			0	0	20	1	(E)	CIRCULATING PUMP	24
25	(R) SPARE	(E)	1	20	0	0			0	20	1	(E)	HEATER CONTROL	26
27	GYM HEATER	(E)	1	20	0		0		0	20	1	(E)	GYM HEATER	28
29	GYM HEATER	(E)	1	20	0			0	0	20	1	(E)	FIRE ALARM	30
31	(R) OFFICE RECEPT	(E)	1	20	0	0			0	20	1	(E)	CIRC PUMP	32
33	(R) LOBBY HEAT	(E)	1	20	0		0		0	20	1	(E)	CIRC PUMP	34
35	GYM	(E)	1	20	0			0	0	20	1	(E)	BOILER RM RECEPT	36
37	(R)SPARE	(E)	1	20	0	0			0	20	1	(E)	BASKETBALL LTS	38
39	(R)SPARE	(E)	1	20	0		0		0	20	1	(E)	BASKETBALL LTS	40
41	SPACE	-	-	-	0			0	0	-	-	-	SPACE	42
NOTES:						TOTALS								
						0	0	0						
						0 VA			0.00 AMPS					

EXISTING CONDITIONS - PANEL SCHEDULE														
PANEL: LP-2			INTERRUPTING RATING: (E) KAIC						MOUNTING: SURFACE					
VOLTAGE: 208Y/120V			PHASE: 3			WIRE: 4			BUS AMPS: 225A			MAIN: 225A MLO		
NEMA NEMA 1			NEUTRAL: 100%			LOCATION: STORAGE 114								
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE			VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT
						A	B	C						
1	LTS GAME ROOM	(E)	1	20	0	0			0	20	1	(E)	LTS GAME ROOM	2
3	LTS ARTS/CRAFT RM	(E)	1	20	0		0		0	20	1	(E)	LTS MULTIPURP RM	4
5	LTS MULTIPURP RM	(E)	1	20	0			0	0	20	1	(E)	WATER COOLER	6
7	LTS LOCKER RM	(E)	1	20	0	0			0	20	1	(E)	LTS STAIR & SMALL OFF	8
9	EM UNIT	(E)	1	20	0		0		0	20	1	(E)	LTS ARTS/CRAFT RM	10
11	EXIT LTS	(E)	1	20	0			0	0	20	1	(E)	RECEPT ARTS/CRAFT	12
13	RECEPT ARTS/CRAFTS	(E)	1	20	0	0			0	20	1	(E)	RECEPT MULTIPURP RM	14
15	EX FAN #3	(E)	1	20	0		0		0	20	1	(E)	AC COMPUTER RM	16
17	RECEPT OFFICE	(E)	1	20	0			0	0	20	1	(E)	RECEPT ARTS/CRAFTS	18
19	RECEPT GAME ROOM	(E)	1	20	0	0			0	20	1	(E)	RECEPT GAME RM	20
21	NIGHT LTS	(E)	1	20	0		0		0	20	1	(E)	RECEPT MULTIPURP RM	22
23	RECEPT ARTS/CRAFTS	(E)	1	20	0		0		0	20	1	(E)	HEATER	24
25	HEATER	(E)	1	20	0	0			0	20	1	(E)	EX FAN #4	26
27	SPARE	(E)	1	20	0		0		0	20	1	(E)	LTS MULTIPURP RM/FAN	28
29	DIMMER MULTIPURP RM	(E)	1	20	0			0	0	20	1	(E)	LTS MULTIPURP RM	30
31	-	-	1	20	0		0		0	20	1	-	-	32
33	-	-	1	20	0		0		0	20	1	-	-	34
35	-	-	1	20	0			0	0	20	1	-	-	36
NOTES:						TOTALS								
						0	0	0						
						0 VA			0.00 AMPS					

PROPOSED CONDITIONS - PANEL SCHEDULE														
PANEL: LPB-1			INTERRUPTING RATING: 22 KAIC						MOUNTING: SURFACE					
VOLTAGE: 208Y/120V			PHASE: 3			WIRE: 4			BUS AMPS: 250A			MAIN: 225A MCB		
NEMA 1			NEUTRAL: 100%			LOCATION: STORAGE 104								
CIRCUIT	CIRCUIT DESCRIPTION	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	POLES	BKR SIZE	VA	VA / PHASE			VA	BKR SIZE	POLES	BRANCH CIRCUIT CONDUCTORS AND CONDUIT	CIRCUIT DESCRIPTION	CIRCUIT
						A	B	C						
1	(N) CU-1	2#12 &1#12 , 3/4"C	1	30	1470	1598			128	20	1	2#12 &1#12 , 3/4"C	(N) OFFICE AND LAV LTS	2
3		2#12 &1#12 , 3/4"C	1	30	1470		1470		0	20	1	(E)	WATER COOLER	4
5	(N) OFFICE RECEPT	2#12 &1#12 , 3/4"C	1	20	540			540	0	20	1	(E)	GYM LTS	6
7	GYM LTS	(E)	1	20	0	0			0	20	1	(E)	GYM LTS	8
9	GYM LTS	(E)	1	20	0		0		0	20	1	(E)	GYM LTS	10
11	GYM LTS	(E)	1	20	0			129	129	20	1	2#12 &1#12 , 3/4"C	(N) EXTERIOR EMERG LTS	12
13	(N) OFFICE RECEPT	2#12 &1#12 , 3/4"C	1	20	540	605			65	20	1	2#12 &1#12 , 3/4"C	(N) WEST EXTERIOR LTS	14
15	GYM EXHAUST	(E)	1	20	0		0		0	20	1	(E)	LTS BOY/GIRL LAVS	16
17	EMERGENCY LIGHTS	(E)	1	20	0		0		0	20	1	(E)	EXHAUST BOY/GIRL LAVS	18
19	GYM RECEPT	(E)	1	20	0	0			0	20	1	(E)	GYM LTS	20
21	LOBBY LIGHTS	(E)	1	20	0		0		0	20	1	(E)	EMERGENCY LTS	22
23	(N) EXTERIOR LIGHTS	(E)	1	20	885			885	0	20	1	(E)	CIRCULATING PUMP	24
25	(N) RECEPT ROOFTOP CU	2#12 &1#12 , 3/4"C	1	20	180	180			0	20	1	(E)	HEATER CONTROL	26
27	GYM HEATER	(E)	1	20	0		0		0	20	1	(E)	GYM HEATER	28
29	GYM HEATER	(E)	1	20	0			0	0	20	1	(E)	FIRE ALARM	30
31	(N) DXCA-1	2#8 &1#8 , 3/4"C	2	30	2500	2500			0	20	1	(E)	CIRC PUMP	32
33	GYM	(E)	1	20	0		2500		0	20	1	(E)	CIRC PUMP	34
37	(N) EWH-1	2#12 &1#12 , 3/4"C	2	20	1000	1000			0	20	1	(E)	BASKETBALL LTS	38
39					1000		1000		0	20	1	(E)	BASKETBALL LTS	40
41	SPACE	-	-	-	0			0	0	-	-	-	SPACE	42
NOTES:						TOTALS								
						5883	4970	1554						
						12407 VA			34.44 AMPS					

LED LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NO.	MOUNTING	WATTS	VOLTS
'A'	1' X 4' SURFACE MOUNT LED FIXTURE, 3500K COLOR TEMPERATURE, 4000 LUMENS	LITHONIA	LBL4-4000LM-80CRI-35K-MIN10-MVOLT	CEILING (SURFACE)	32	120/277
'D'	CIRCULAR EXTERIOR LED CANOPY	LITHONIA	OLCFM-15-DOB	CEILING (SURFACE)	16.6	120/277
'W1'	OUTDOOR WALL PACK LED FIXTURE, 4000K COLOR TEMPERATURE, 7,500 LUMENS	LITHONIA	WDGE3-LED-P1-40K-80CRI-TYPE3-MVOLT	WALL/SURFACE MOUNT	52	120/277
'W2'	OUTDOOR WALL PACK LED FIXTURE, 4000K COLOR TEMPERATURE, 10,000 LUMENS	LITHONIA	WDGE3-LED-P3-40K-80CRI-TYPE3-MVOLT	WALL/SURFACE MOUNT	71	120/277
'X'	RED CLEAR LED EXIT SIGN	LITHONIA	EDGR 1 R	CEILING (RECESSED)	3.8	120/277
'XB'	ARCHITECTURAL EMERGENCY LIGHTING WITH BATTERY BACK UP	LITHONIA	AFB-OEL-DOBTD-JVLOT-N-WT	SURFACE	2.5	120/277
'XE'	EXTERIOR EMERGENCY LIGHTING UNIT 'BUG EYE'	KENALL	METELHC-24N-MB-2-6.5L-DT-CEL	SURFACE	24	120/277
NOTES:						
1. FOR 'W1' AND 'W2' FIXTURES SHOWN HATCHED ON THE FLOOR PLANS, PROVIDE FIXTURES WITH INTEGRAL EMERGENCY BATTERIES ("E20WC" OPTION).						

REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**ELECTRICAL SCHEDULES**

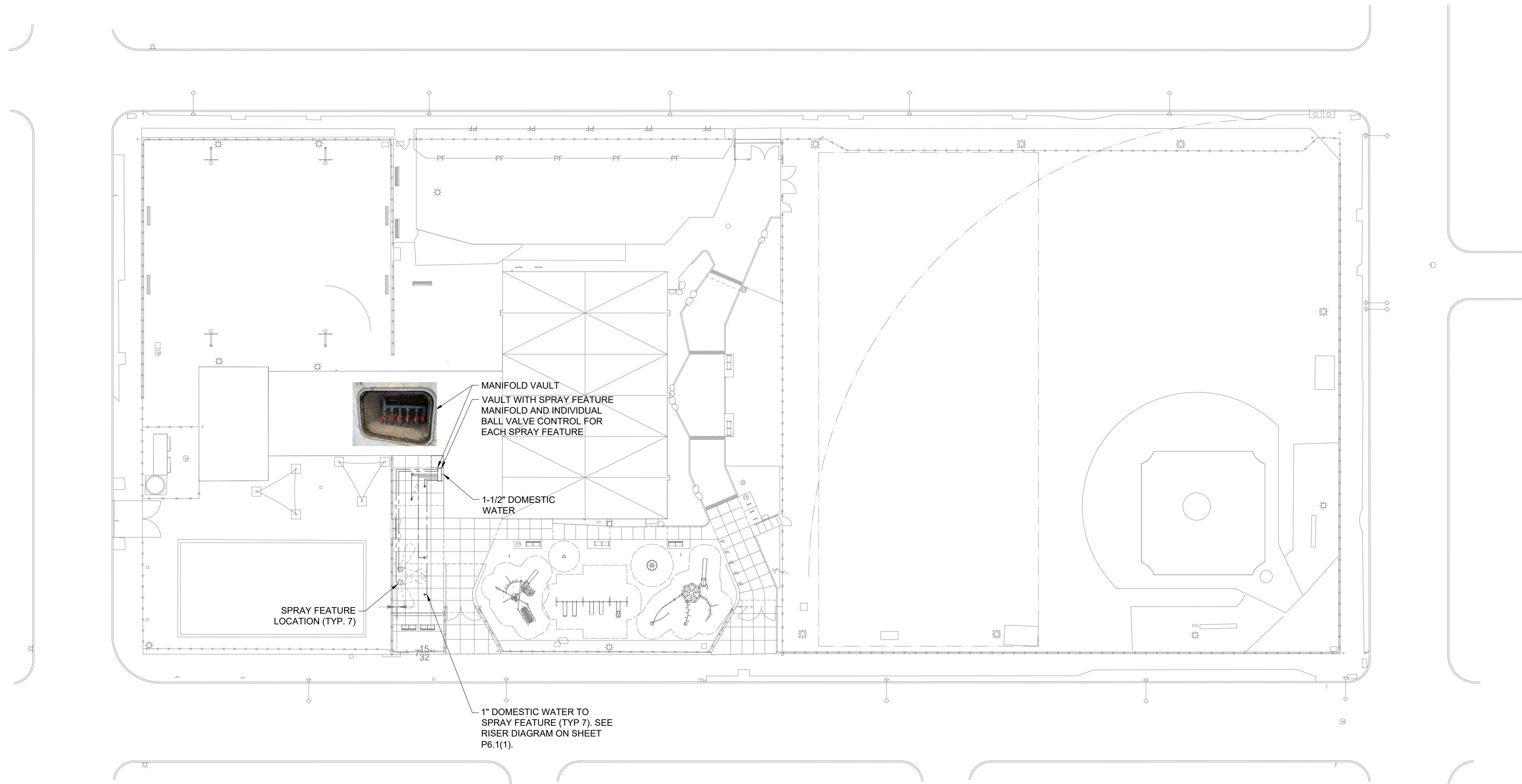
PROJECT NO. <b>73217</b>	DRAWING NO. <b>E9.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY TM	
CHECKED BY RR	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

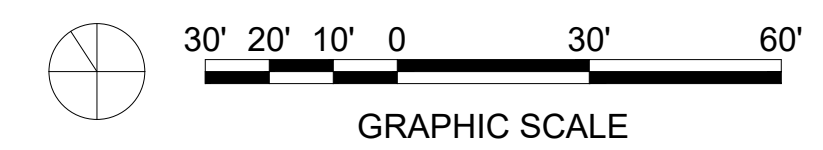


**GENERAL NOTES:**

1. REFER TO DRAWING P2.0(1) FOR PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.



**1 PLUMBING PROPOSED SITE PLAN**  
 P2.0(1) Scale: 1" = 30'



**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
 230 South Broad Street  
 Philadelphia, Pennsylvania 19102  
 215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
 100 East Lancaster Avenue, Suite 203  
 Wayne, Pennsylvania 19087  
 610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER**  
**RENOVATION - PHASE 1**

DRAWING TITLE  
**PLUMBING PROPOSED SITE PLAN**

PROJECT NO. **73217** DRAWING NO. **P2.0(1)**

DATE **03/15/24**

SCALE **AS NOTED**

DRAWN BY **TM**

CHECKED BY **RR**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

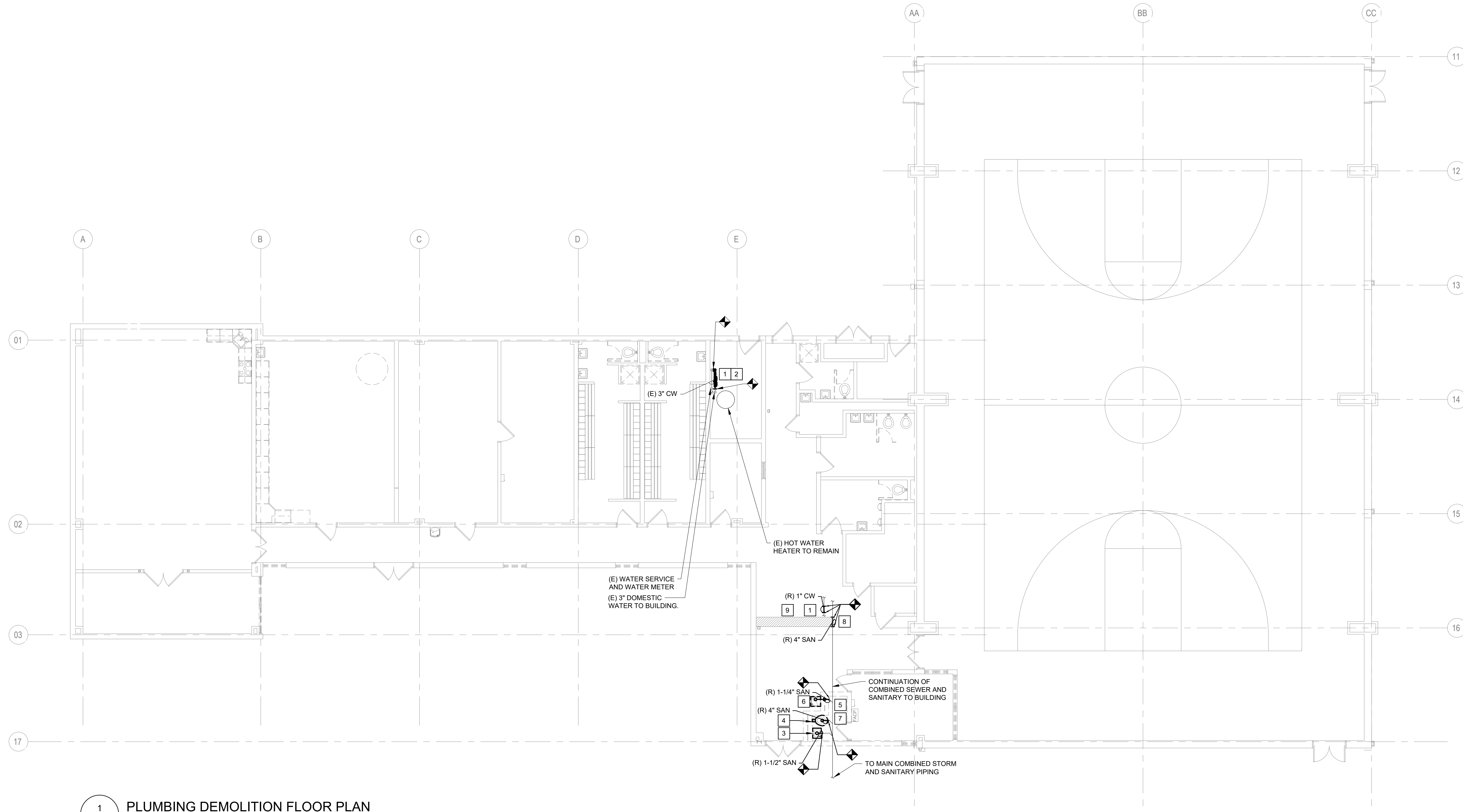


**GENERAL NOTES:**

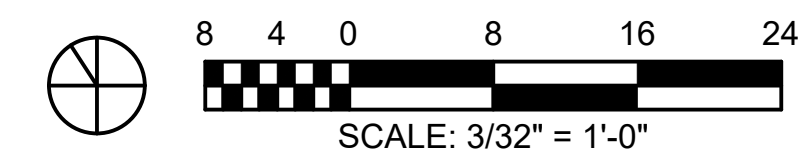
- REFER TO DRAWING P0.0(1) FOR PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
- NOT ALL DEMOLITION KEYED NOTES ARE USED. DEMOLITION KEYED NOTES LISTED ARE USED FOR PHASE 1 AND PHASE 2
- CUT FLOOR AND EXCAVATE TO PREPARE FOR REMOVAL OF EXISTING SANITARY AND THE INSTALLATION OF NEW SANITARY PIPING BELOW SLAB. FILL EXCAVATION, AND PATCH FLOOR WITH CONCRETE LEVEL WITH EXISTING FLOOR ELEVATION AND SUITABLE FOR INSTALLATION OF NEW FLOORING MATERIAL. REFER TO DETAILS INCLUDED FOR ADDITIONAL INFORMATION.

**KEYED NOTES:**

- DISCONNECT AND REMOVE EXISTING COLD WATER PIPING IN ITS ENTIRETY INCLUDING VALVES, FITTINGS, INSULATION, HANGERS, SUPPORTS AND ACCESSORIES TO POINT INDICATED BELOW FLOOR, IN WALL OR ABOVE CEILING AND CAP AT MAIN.
- DISCONNECT AND REMOVE EXISTING BACKFLOW PREVENTION DEVICE IN ITS ENTIRETY INCLUDING ALL PIPING, VALVES, HANGERS, SUPPORTS AND ACCESSORIES.
- REMOVE LAVATORY AND ALL ASSOCIATED SAN, VENT, CW AND HW PIPING. REMOVE HW PIPING BACK TO DWH SERVING FIXTURE. CAP VENT PIPING ABV CEILING AND SAN BLW FLOOR. REMOVE CW PIPING BACK TO CW SERVICE IN MEP ROOM.
- REMOVE WATER CLOSET AND ALL ASSOCIATED SAN, VENT, AND CW PIPING. CAP VENT PIPING ABV CEILING AND SAN BLW FLOOR. REMOVE CW PIPING BACK TO CW SERVICE IN MEP ROOM.
- REMOVE FLOOR DRAIN AND ALL ASSOCIATED SAN AND VENT PIPING. CAP VENT PIPING ABV CEILING AND SAN BLW FLOOR.
- REMOVE WATER COOLER IN ITS ENTIRETY. REMOVE ALL ASSOCIATED SAN, VENT AND CW PIPING. CAP VENT PIPING AND CW ABV CEILING AND SAN BLW FLOOR. PLUMBING CONTRACTOR TO CLEAN AND STORE WATER COOLER FOR FUTURE USE. THE WATER COOLER SHALL BE STORED FOR RE-INSTALLATION IN PHASE 1 NEW WORK.
- DISCONNECT AND REMOVE EXISTING VENT PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, AND ACCESSORIES. TEMPORARILY CAP PIPING TO FACILITATE FUTURE FIXTURE CONNECTIONS. REFER TO NEW WORK.
- DISCONNECT AND REMOVE EXISTING SANITARY PIPING IN ITS ENTIRETY INCLUDING SUPPORTS, HANGERS, CLEANOUTS, TRAPS, AND ACCESSORIES TO POINT INDICATED ON DRAWING. TEMPORARILY CAP SANITARY PING BACK AT MAIN ABOVE BASEMENT FLOOR SLAB.
- CUT FLOOR AND EXCAVATE TO PREPARE FOR NEW SANITARY PIPING BELOW SLAB. FILL EXCAVATION AND PATCH FLOOR WITH CONCRETE LEVEL WITH EXISTING FLOOR ELEVATION AND SUITABLE FOR INSTALLATION OF NEW FLOORING MATERIAL. REFER TO DETAILS INCLUDED FOR ADDITIONAL INFORMATION.

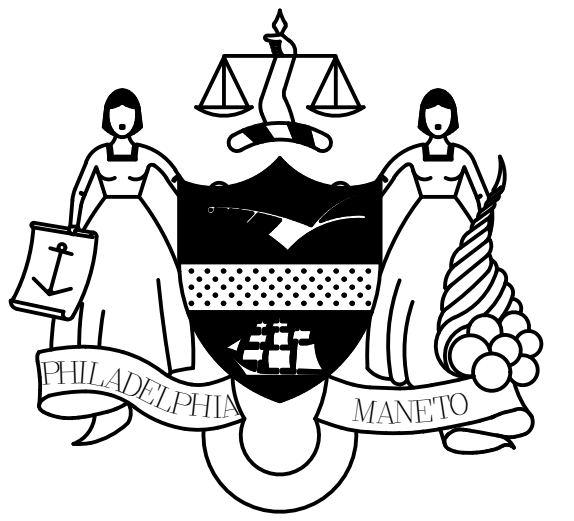


1 PLUMBING DEMOLITION FLOOR PLAN  
 PD2.1(1) Scale: 1/8" = 1'-0"



**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 230 South Broad Street  
 Philadelphia, Pennsylvania 19102  
 215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
 100 East Lancaster Avenue, Suite 203  
 Wayne, Pennsylvania 19087  
 610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
 RENOVATION - PHASE 1**

DRAWING TITLE  
**PLUMBING DEMOLITION FLOOR PLAN**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>PD2.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

**GENERAL NOTES:**

- REFER TO DRAWING P0.0(1) FOR PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.
- PROVIDE CAP ON SANITARY PIPING BELOW FLOOR. PATCH FLOOR TO MATCH ADJACENT CONSTRUCT FLOOR SHALL BE SMOOTH AND READY FOR G.C. FINISH

**KEYED NOTES:**

- PROVIDE CAP ON SANITARY PIPING BELOW FLOOR. PATCH FLOOR TO MATCH ADJACENT CONSTRUCT FLOOR SHALL BE SMOOTH AND READY FOR G.C. FINISH
- NEW CW PIPE DN TO BELOW FLOOR SLAB.
- RE-INSTALL THE WATER COOLER REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION. INSTALL ALL ASSOCIATED SAN, VENT AND CW PIPING.
- PROVIDE (N) 1-1/4" VENT UP IN CHASE TO NEW 1-1/4" VTR.
- PROVIDE (N) 1/2" CW DN IN CHASE TO RELOCATED WATER COOLER.
- PROVIDE (N) 1-1/4" SAN PIPING BELOW FLOOR. RELOCATED WATER COOLER (N)1-1/4" SAN DN IN CHASE TO BELOW SLAB TO CONNECT TO (E) SAN. PATCH FLOOR TO MATCH ADJACENT CONSTRUCT FLOOR SHALL BE SMOOTH AND READY FOR G.C. FINISH.

**REVISIONS**

ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**

1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

MEP ENGINEER:  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

CIVIL ENGINEER:  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

LANDSCAPE ARCHITECTS  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

COST CONSULTANT  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

STRUCTURAL ENGINEER  
**ANN ROTHMAN**  
STRUCTURAL ENGINEERING  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

**CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION**

1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**PLUMBING PROPOSED FLOOR PLAN**

PROJECT NO.  
**73217**

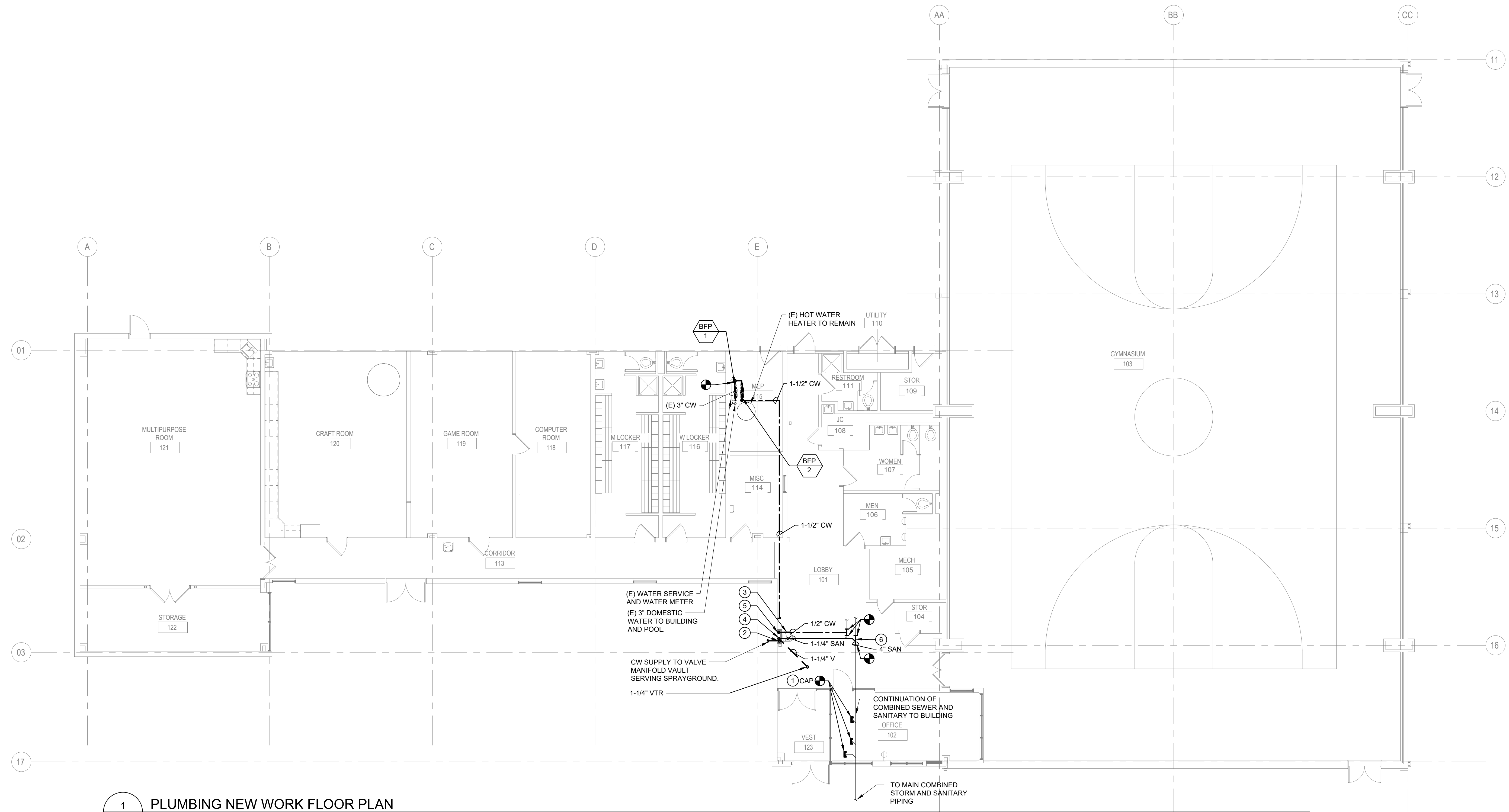
DATE  
**03/15/24**

SCALE  
**AS NOTED**

DRAWN BY  
**CY**

CHECKED BY  
**DM**

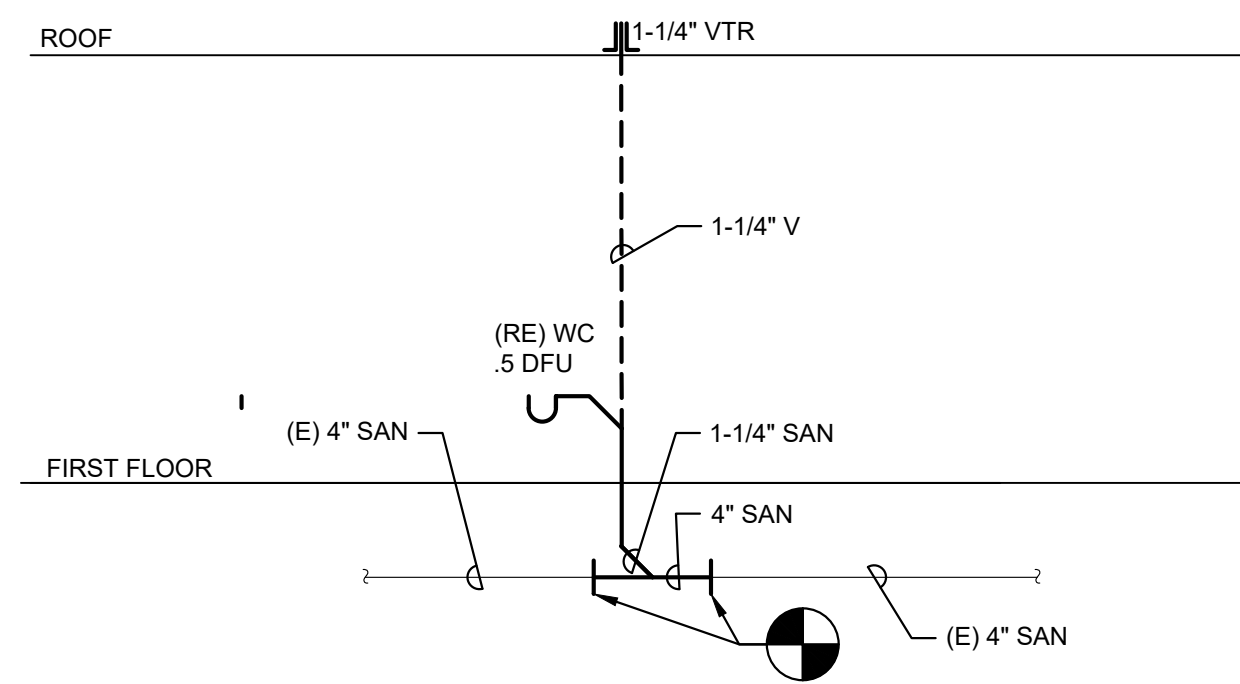
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK



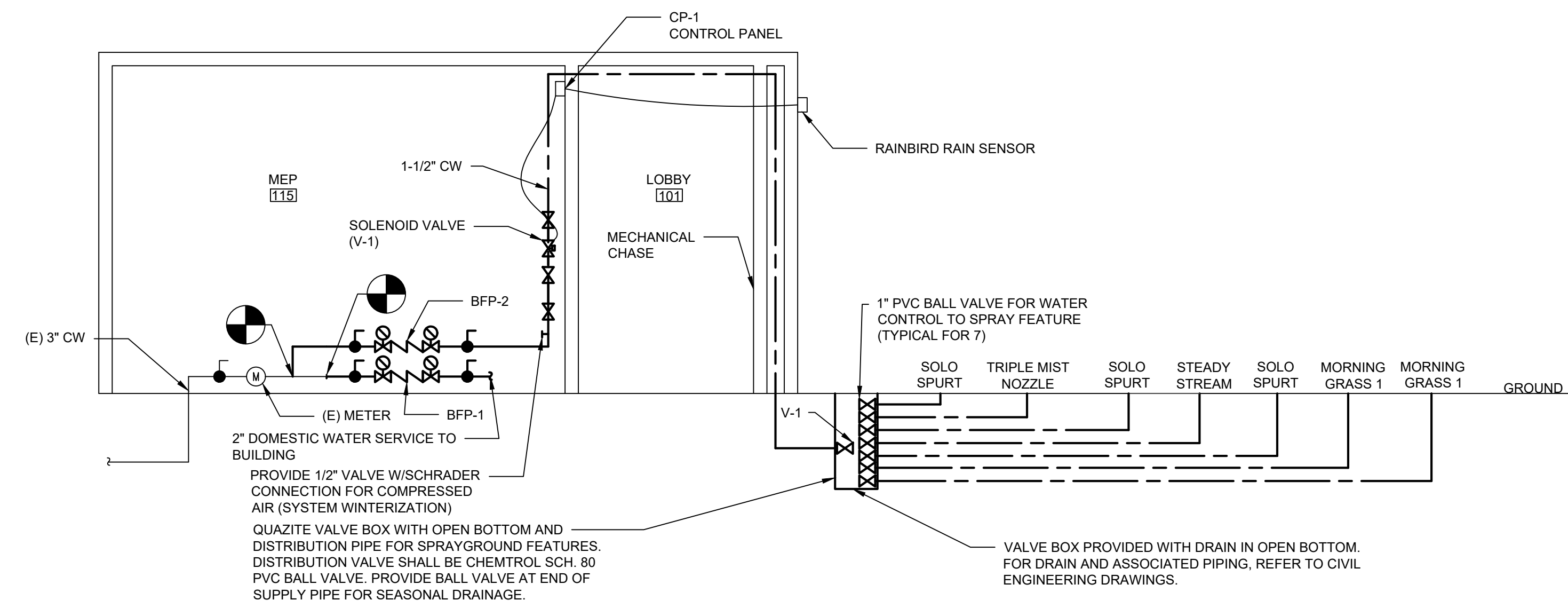
**1 PLUMBING NEW WORK FLOOR PLAN**  
P2.1(1) Scale: 1/8" = 1'-0"



**P2.1(1)**



**1 SANITARY AND VENT RISER - 101**  
 P6.1(1) NOT TO SCALE



PROVIDE 1/2" VALVE W/SCHRADER CONNECTION FOR COMPRESSED AIR (SYSTEM WINTERIZATION)  
 QUARTZITE VALVE BOX WITH OPEN BOTTOM AND DISTRIBUTION PIPE FOR SPRAYGROUND FEATURES. DISTRIBUTION VALVE SHALL BE CHEMTROL SCH. 80 PVC BALL VALVE. PROVIDE BALL VALVE AT END OF SUPPLY PIPE FOR SEASONAL DRAINAGE.  
 VALVE BOX PROVIDED WITH DRAIN IN OPEN BOTTOM. FOR DRAIN AND ASSOCIATED PIPING, REFER TO CIVIL ENGINEERING DRAWINGS.

- NOTE:**
1. PIPING SYSTEM FOR SPRAYGROUND FEATURES SHALL COMPLY WITH CITY OF PHILADELPHIA CROSS CONNECTION CONTROL MANUAL.
  2. SEE SCHEDULES BELOW FOR FLOW TO INDIVIDUAL FEATURES. VERIFY PIPE SIZE TO EACH FEATURE WITH MANUFACTURER OF SPRAY FEATURE.

**2 RISER DIAGRAM FOR NEW WORK AND SPRAYGROUND**  
 P6.001 NOT TO SCALE

CHRISTY RECREATION SPRAYGROUND				
INSTALLED WATER FEATURES		FLOW RATE (GPM)	PRESSURE (PSI)	TOTAL (GPM)
COMPONENT NAME	QTY			
MORNING GRASS 1	2	3	7	6
SOLO SPURT	4	1	4	4
STEADY STREAM	1	1	3.5	1
TOTAL GPM FOR SPRAY GROUND				11

PIPE SCHEDULE		
SERVICE	SIZE	MATERIAL
BELOW GROUND	ALL	COPPER TYPE "K" FROM BACK FLOW PREVENTER TO VALVE BOX.
BELOW GROUND	ALL	SCHEDULE 80 PVC FROM CONCRETE MANIFOLD VAULT TO SPRAYGROUND FEATURES.

SPRAY FEATURE CONTROL		
SYMBOL	DESCRIPTION	MANUFACTURER, MODEL, NOTES & ACCESSORIES
CP-1	RAINBIRD ESP-TM2	PROVIDE CONTROL WIRING FROM CONTROL PANEL WITH TIMER TO RAIN SENSOR RSD-BEX AND WATTS MOTORIZED SOLENOID VALVE (V-1).

NOTE: COORDINATE TIMER SETTINGS WITH RECREATION CENTER HOURS OF OPERATION.

HYDRANT FLOW TEST DATA	PRESSURE DROP (PSI)	FLOW (GPM)
LOCATION 1 8" MAIN AT 54TH AND LARCHWOOD		
STATIC	65	65
RESIDUAL	52	52
CALCULATED	20	20
LOCATION 2 6" MAIN AT 54TH AND LARCHWOOD		
STATIC	63	0
RESIDUAL	43	960
CALCULATED	20	1450

REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
 1600 Walnut Street, 2nd Floor  
 Philadelphia, Pennsylvania 19103  
 215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
 1600 Market Street, Suite 1630  
 Philadelphia, Pennsylvania 19103  
 215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
 530 Walnut Street, Suite 460  
 Philadelphia, Pennsylvania 19102  
 215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
 230 South Broad Street  
 Philadelphia, Pennsylvania 19102  
 215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
 107 Magnolia Drive  
 Chester Springs, Pennsylvania 19425  
 610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
 100 East Lancaster Avenue, Suite 203  
 Wayne, Pennsylvania 19087  
 610 213 3657

**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
 1515 ARCH STREET  
 11TH FLOOR, ONE PARKWAY BUILDING  
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER RENOVATION - PHASE 1**

DRAWING TITLE  
**PLUMBING RISER DIAGRAMS**

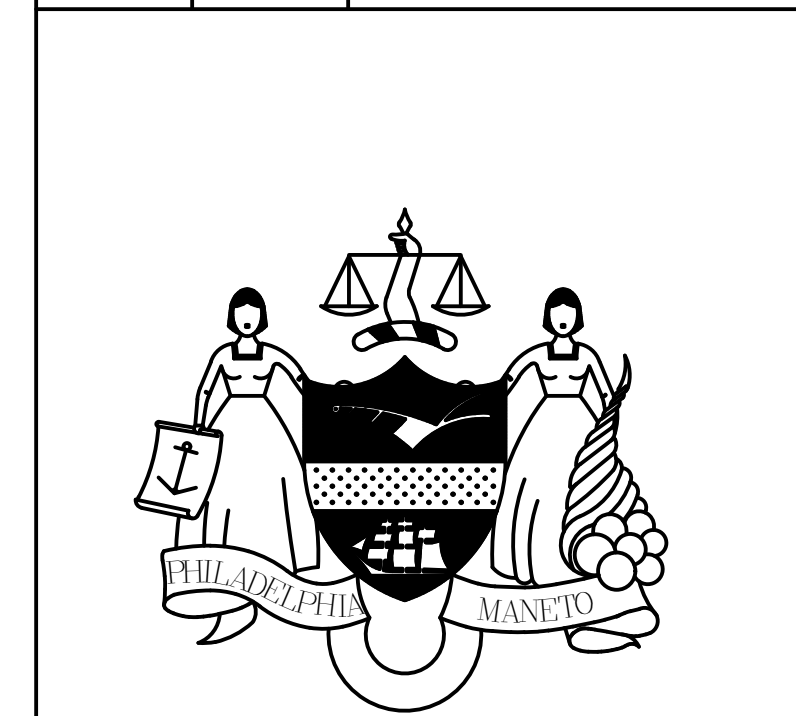
PROJECT NO. <b>73217</b>	DRAWING NO. <b>P6.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

**GENERAL NOTES:**

- REFER TO DRAWING P0.0(1) FOR PLUMBING ABBREVIATIONS, SYMBOLS, LEGEND AND GENERAL NOTES.

REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



**CONSTRUCTION DOCUMENTS**

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

- SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410
- MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365
- CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425
- LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727
- COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560
- STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

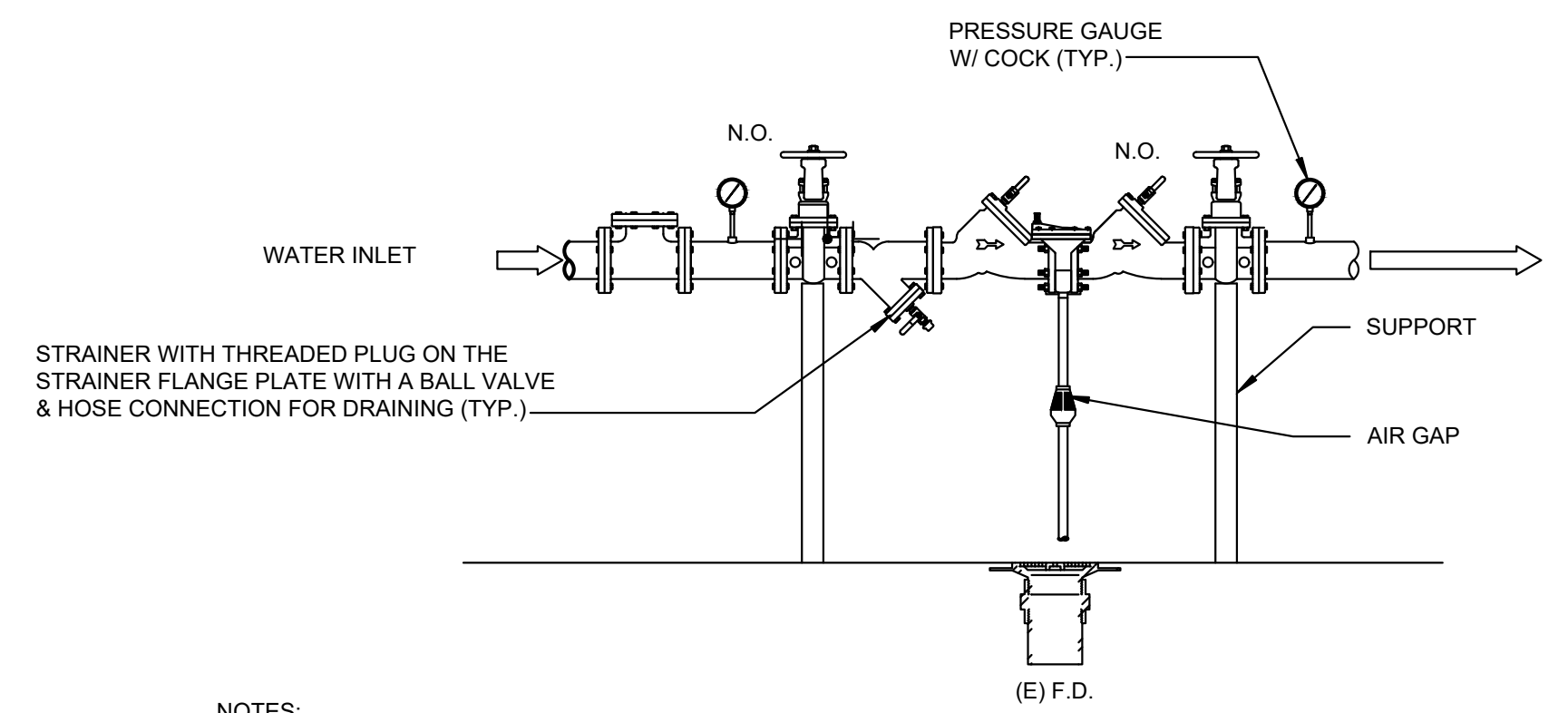
**CITY OF PHILADELPHIA**  
**DEPARTMENT OF PARKS & RECREATION**  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**PLUMBING DETAILS**

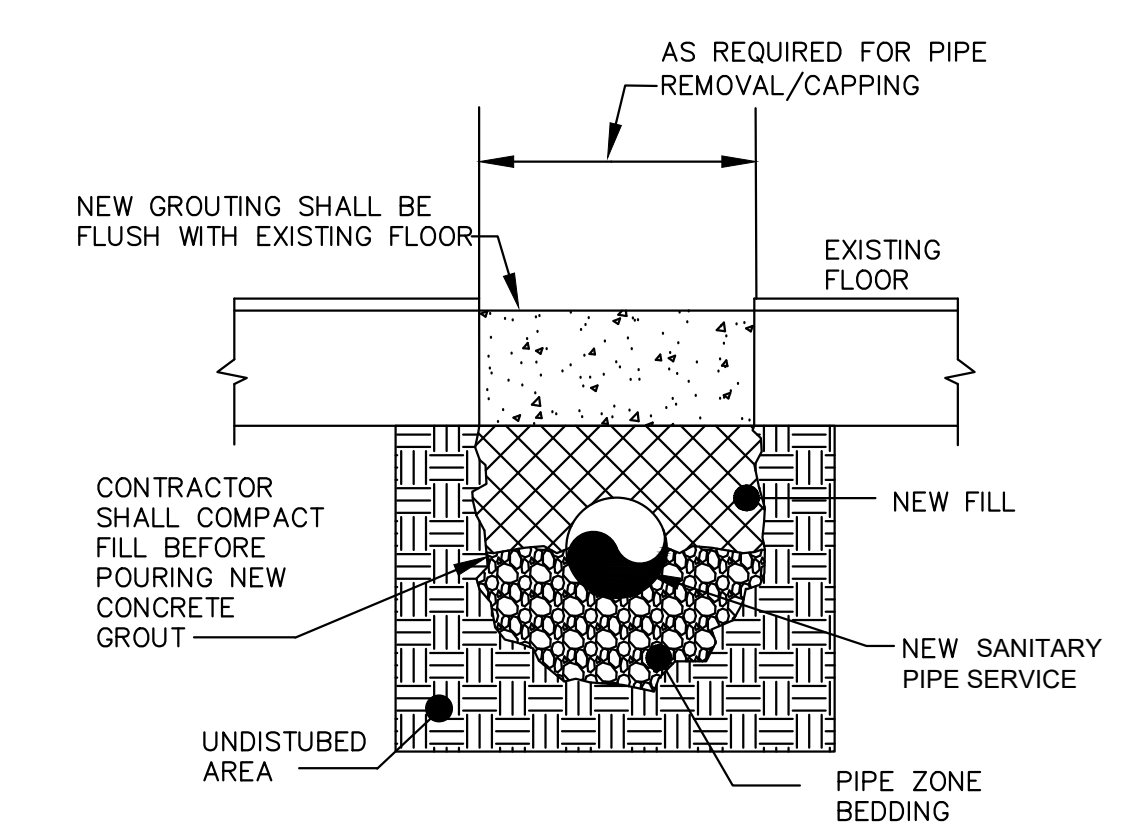
PROJECT NO. <b>73217</b>	DRAWING NO. <b>P8.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK

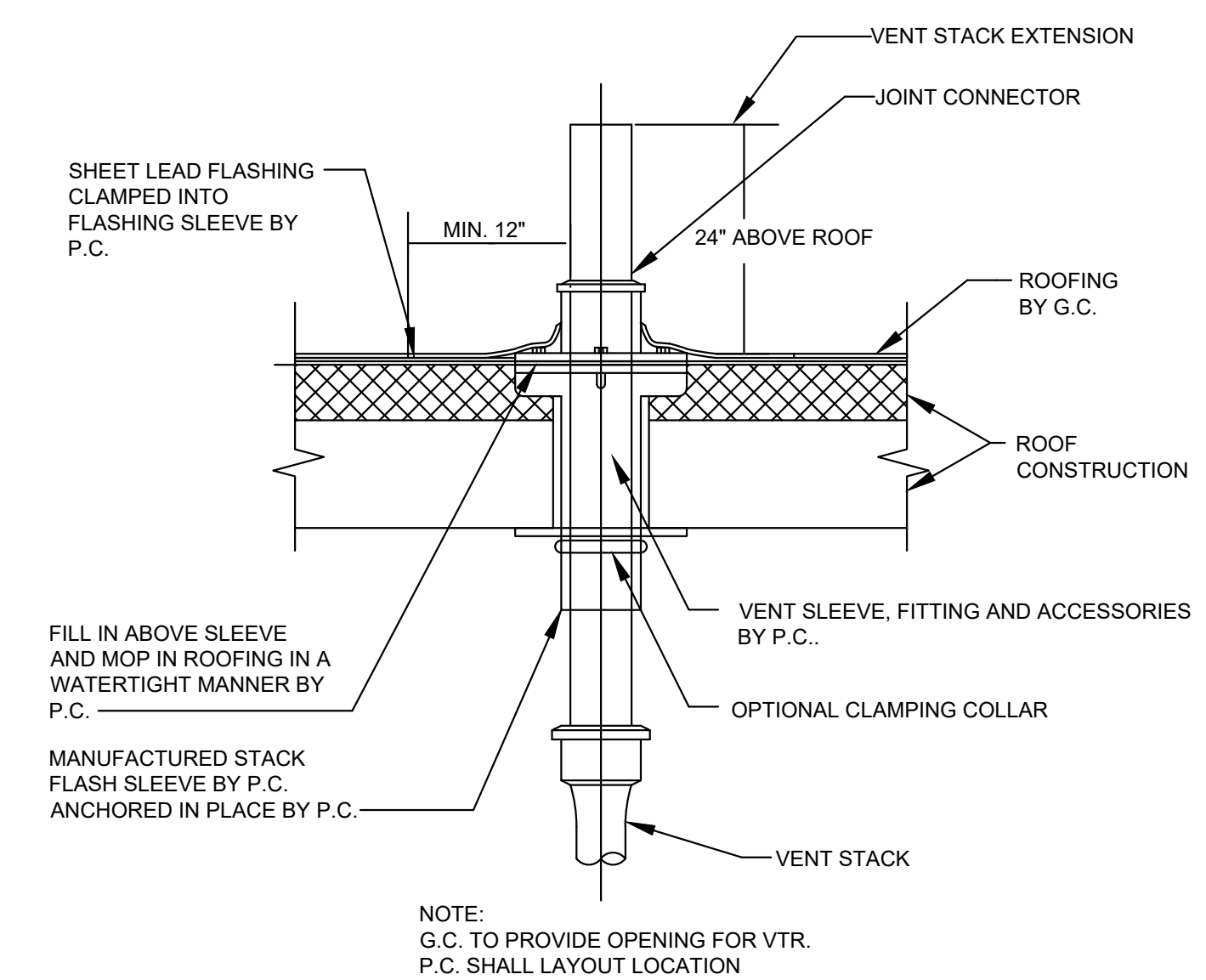


- NOTES:
- REFER TO SCHEDULE SHEET FOR BFP MODEL AND ENLARGED DOMESTIC WATER PLAN FOR LOCATION.
  - INSTALLATION SHALL COMPLY WITH ALL APPLICABLE PHILADELPHIA, PLUMBING CODES AND PROVIDE BACKFLOW PREVENTER TO MEET CROSS CONNECTION CONTROL PER LOCAL GUIDELINES.

**1** BACK FLOW PREVENTOR DETAIL  
P8.1(1) NOT TO SCALE

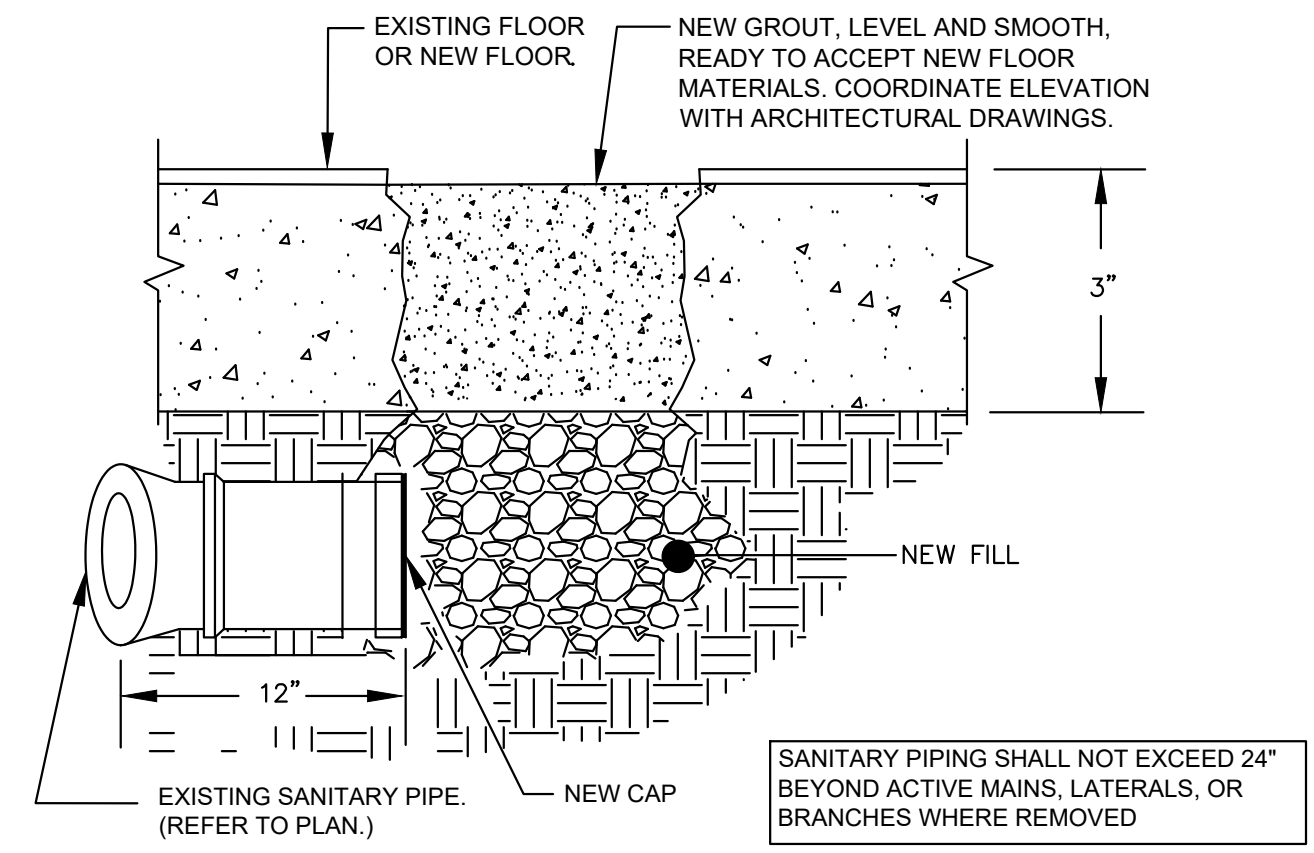


**2** TYPICAL TRENCH PATCHING DETAIL  
P8.1(1) NOT TO SCALE

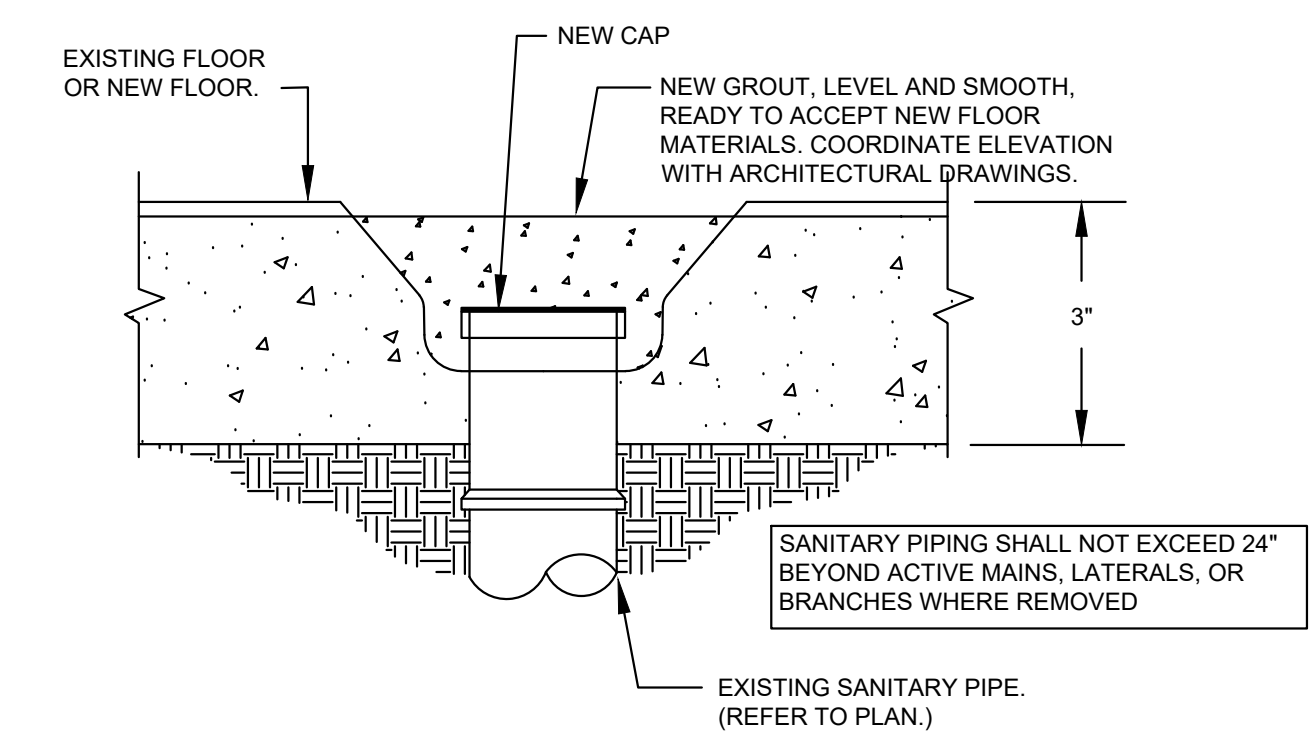


NOTE:  
G.C. TO PROVIDE OPENING FOR VTR.  
P.C. SHALL LAYOUT LOCATION

**3** VENT THRU ROOF DETAIL  
P8.1(1) NOT TO SCALE



**4** TYPICAL CAPPING DETAIL OF EXISTING PIPE  
P8.1(1) NOT TO SCALE



**5** TYPICAL CAPPING DETAIL OF EXISTING PIPE  
P8.1(1) NOT TO SCALE

BACKFLOW PREVENTION DEVICE SCHEDULE								
TAG	BASIS OF DESIGN MANUFACTURER	MODEL NUMBER	LOCATION	DUTY	CAPACITY	PRESSURE DROP	PIPE SIZE INCHES	REMARKS
					GPM	PSI		
BFP-1	WATTS	LF909OSYS-FS	MEP	DOMESTIC	175	12	3"	SEE NOTES
BFP-2	WATTS	LF909QTS-FS	MEP	NON-POTABLE	80	10	2"	SEE NOTES

NOTES:  
1. COMPLY WITH AWWA STANDARD - C-511-92  
2. STRAINER REQUIRED  
3. PROVIDE AIR GAP FITTING RECOMMENDED BY MANUFACTURER - WATTS 909AG-F

PIPE SCHEDULE				
SERVICE	SIZE	MATERIAL	JOINTS	REMARKS
DOMESTIC WATER	ALL	COPPER TYPE "L" HARD	PRESS CONNECT JOINTS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 605, MATERIALS, JOINTS, AND CONNECTIONS
SANITARY/STORM	BELOW GRADE	SERVICE WEIGHT CAST IRON	LEAD AND OAKUM	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS
SANITARY/STORM	ABOVE GROUND	SERVICE WEIGHT CAST IRON	ELASTOMERIC SLEEVE WITH STAINLESS STEEL BANDS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS
VENT	2" OR LESS	DWV COPPER	PRESS CONNECT JOINTS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS
VENT	OVER 2"	SERVICE WEIGHT CAST IRON	ELASTOMERIC SLEEVE WITH STAINLESS STEEL BANDS	IN ACCORDANCE WITH PHILADELPHIA PLUMBING CODE, SECTION 702, MATERIALS

REVISIONS		
ISSUE	DATE	REVISIONS
	09/15/2023	CD PROGRESS SET



CONSTRUCTION DOCUMENTS

PROJECT COORDINATOR  
**PRIYANKA MALIK**

SEALS

**SMPARCHITECTS**  
1600 Walnut Street, 2nd Floor  
Philadelphia, Pennsylvania 19103  
215 985 4410

**MEP ENGINEER:**  
**ARORA ENGINEERS**  
1600 Market Street, Suite 1630  
Philadelphia, Pennsylvania 19103  
215 372 1365

**CIVIL ENGINEER:**  
**KS ENGINEERS, P.C.**  
530 Walnut Street, Suite 460  
Philadelphia, Pennsylvania 19102  
215 925 0425

**LANDSCAPE ARCHITECTS**  
**GROUND RECONSIDERED**  
230 South Broad Street  
Philadelphia, Pennsylvania 19102  
215 790 0727

**COST CONSULTANT**  
**DHARAM CONSULTING**  
107 Magnolia Drive  
Chester Springs, Pennsylvania 19425  
610 554 6560

**STRUCTURAL ENGINEER**  
**ANN ROTHMAN**  
**STRUCTURAL ENGINEERING**  
100 East Lancaster Avenue, Suite 203  
Wayne, Pennsylvania 19087  
610 213 3657

CITY OF PHILADELPHIA  
DEPARTMENT OF PARKS & RECREATION  
1515 ARCH STREET  
11TH FLOOR, ONE PARKWAY BUILDING  
PHILADELPHIA PENNSYLVANIA

PROJECT TITLE  
**CHRISTY RECREATION CENTER  
RENOVATION - PHASE 1**

DRAWING TITLE  
**PLUMBING SCHEDULES**

PROJECT NO. <b>73217</b>	DRAWING NO. <b>P9.1(1)</b>
DATE 03/15/24	
SCALE AS NOTED	
DRAWN BY CY	
CHECKED BY DM	

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK