

POINT BREEZE SCATTERED SITES REHABS

PHILADELPHIA REDEVELOPMENT AUTHORITY RENOVATIONS TO 2325 WATKINS STREET, PHILADELPHIA, PA

CODE INFORMATION

1. CITY OF PHILADELPHIA ZONING CODE:

- ZONING DISTRICT RSA-5
- BUILDING USE: SINGLE-FAMILY RESIDENCE
- MIN. LOT WIDTH: 16'-0"
- MIN. LOT AREA: 1440 SF
- MIN. % OPEN SPACE: 30% (INTERMEDIATE), 20% (CORNER)
- FRONT SETBACK: MATCH EX'G. ADJACENT BUILDINGS, 3RD STORY SETBACK MUST BE 8'-0" FROM PROPERTY LINE IF BOTH IMMEDIATELY ADJACENT STRUCTURES ARE TWO STORIES IN HEIGHT.
- REAR YARD: THE GREATER OF 9FT OR 20% OF LOT DEPTH
- HEIGHT: 38 FT

2. INTERNATIONAL BUILDING CODE + INTERNATIONAL RESIDENTIAL CODE, 2009:

- USE GROUP: RESIDENTIAL R3
- CONSTRUCTION TYPE: VB
- FIRE DISTRICT: CITY OF PHILADELPHIA
- CONSTRUCTION TYPE PERMITTED WITHIN FIRE DISTRICT: YES
- BUILDING HEIGHT & FIRE AREA LIMITATIONS

CONSTRUCTION USE GROUP	ALLOWABLE CLASSIFICATION	ALLOWABLE AREA S.F.	ALLOWABLE HEIGHT
R3	TYPE VB	UNLIMITED	3 STORIES

- BASEMENTS, HABITABLE SLEEPING ATTICS & SLEEPING ROOMS EMERGENCY EGRESS WINDOW SIZE REQUIREMENTS:

- MIN. NET CLEAR OPENING = 5.7 SF (5.0 SF ON GRADE FLOOR)
- MIN. NET CLEAR OPENING HEIGHT = 24 INCHES
- MIN. NET CLEAR OPENING WIDTH = 20 INCHES
- MAX. SILL HEIGHT = 44 INCHES
- STAIR REQUIREMENTS:
- MAX. RISER = 8 1/4 INCHES, MIN. TREAD 9 INCHES, MIN. WIDTH = 36 MAX. RISER VARIATION 3/8 INCH
- MIN. CLEAR HEADROOM = 6'-8" APPROX. 3/4" NOSING PROJECTION FOR CLOSED RISERS.
- HANDRAILS - REQUIRED ON ONE SIDE ONLY
- MIN. HEIGHT = MEASURED ABOVE NOSING: 34 INCHES, MAX. HEIGHT = 38 INCHES.
- GUARDRAILS - REQUIRED FOR STAIRS, PORCHES, BALCONIES, OR RAISED FLOORS MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
- MIN. HEIGHT = 36 INCHES MIN. AT BALCONIES AND FLOORS, 34" INCHES MIN. ABOVE NOSING OF STAIRS.
- MAX. OPENING BETWEEN INTERMEDIATE RAILS 4 INCHES
- SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN IMMEDIATE VICINITY OF BEDROOM/SLEEPING AREAS, IN ALL BEDROOMS, WITHIN EACH STORY INCLUDING THE BASEMENT.

3. BUILDING AREAS:

	GSF	NSF	# BEDROOMS	# BATHROOMS
BASEMENT:	(498 S.F.)			
FIRST FL:	498 S.F.	405 S.F.	2	x
SECOND FL:	527 S.F.	433 S.F.		i
TOTAL:	1523 S.F.	820 S.F.	2	i

LOCATION MAP (NTS)



SYMBOL KEY

+ 461.0	EXISTING SPOT ELEVATION	100-A	DOOR/OPENING NUMBER
TB-2	TEST BORING	2'8"	NEW DOOR/DOOR SIZE
HIGH POINT OF ROOF EL. 20'-0"	LEVEL LINE	A1	REVISION NUMBER
2	COLUMN CENTER LINE	EXISTING CONSTRUCTION	EXISTING CONSTRUCTION
F1 A1.1	INTERIOR ELEVATIONS	NEW CONSTRUCTION	NEW CONSTRUCTION
F1 A1.1	WALL SECTION	CENTER LINE, FLOOR LINE	CENTER LINE, FLOOR LINE
F1 A1.1	BUILDING SECTION	PROPERTY LINE	PROPERTY LINE
I A1.1	DETAIL REFERENCE	OVERHEAD CONDITIONS	OVERHEAD CONDITIONS
F1 A1.1	ELEVATION	ITEMS TO BE DEMOLISHED	ITEMS TO BE DEMOLISHED
BEDROOM ROOM NAME CPT FLOOR FINISH		BREAK LINE	BREAK LINE
		DIMENSION TO CENTER LINE	DIMENSION TO CENTER LINE
		DIMENSION LINE	DIMENSION LINE
		EQUIPMENT NUMBER	EQUIPMENT NUMBER
		ANGLE	ANGLE
		PLATE	PLATE
		CENTER LINE	CENTER LINE
		RADIUS POINT	RADIUS POINT
		SPECIAL NOTE	SPECIAL NOTE
		HOSE BIB	HOSE BIB

ABBREVIATIONS

AB	ANCHOR BOLT	EA	EACH	LAM	LAMINATED	SCHED	SCHEDULE
ABV	ABOVE	EJ	EXPANSION JOINT	LT	LIGHT	SC	SOLID CORE
ACT	ACOUSTIC CEILING TILE	ELEC	ELECTRIC(AL)	LVR	LOUVER	SF	SQUARE FEET
ADJ	ADJACENT	EL	ELEVATION	MANUF	MANUFACTURE(R)	SHT	SHEET
AFF	ABOVE FINISHED FLOOR	ELEV	ELEVATOR/ELEVATION	MAT	MATERIAL	SIM	SIMILAR
ALUM	ALUMINUM	EQ	EQUAL	MECH	MECHANICAL	SL	SEALANT
ACP	ACOUSTIC CEILING PANELS	EST	ESTIMATED	MO	MASONRY OPENING	SL & BR	SEALANT & BACKER ROD
ARCH	ARCHITECT(URAL)	ETR	EXISTING TO REMAIN	MTL	METAL	SLF	SHEET LINOLEUM FLOORING
@	AT	EVC	ELECTRIC WATER COOLER	MR	MOISTURE RESISTANT	SP	SUMP PUMP
BACKSPL	BACKSPASH	EXG	EXISTING	MRBL	MARBLE	SPECS	SPECIFICATIONS
BD	BOARD	EXIST	EXISTING	MSNRY	MASONRY	STC	SOUND TRANSMISSION CLASS
BTWN	BETWEEN	EXH	EXHAUST	MTD	MOUNTED	STD	STANDARD
BLDG	BUILDING	EXT	EXTERIOR	NEC	NECESSARY	STL	STEEL
BLK	BLOCK	FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	STN	STONE
BLKG	BLOCKING	FE	FIRE EXTINGUISHER	NO	NUMBER	STSL	STAINLESS STEEL
BO	BOTTOM OF	FEC	FIRE EXTINGUISHER CABINET	NRC	NOISE REDUCTION COEFFICIENT	STRUC	STRUCTURE(AL) SUSPEND(ED)
BOC	BOTTOM OF CURB	FIN	FINISH(ED)	NTS	NOT TO SCALE	SUSP	SHEET VINYL FLOORING
BOT	BOTTOM	FLD	FIELD	OC	ON CENTER	T	TREAD
BRK	BRICK	FLG	FLASHING	OD	OUTSIDE DIAMETER	TA	TOILET ACCESSORY
BSMT	BASEMENT	FLR	FLOOR	OPPHD	OPPOSITE HAND	TEMP	TEMPORARY
BUR	BUILT UP ROOFING	FO	FACE OF	OPNG	OPENING	THK	THICK/THICKNESS
CAB	CABINET	FR	FRAME	ORIG	ORIGINAL	THRES	THRESHOLD
CB	CATCH BASIN	FRT	FLAME RETARDANT TREATED	PERF	PERFORATED	TO	TOP OF
CEM	CEMENT	FRTG	FIRE RATING	PL	PLATE	TOC	TOP OF CURB
CER	CERAMIC	FUR	FURRING	PLAM	PLASTIC LAMINATE	TYP	TYPICAL
CJ	CONTROL JOINT	GA	GAUGE	PLSTR	PLASTER	UL	UNDERWRITERS LABORATORIES
CL	CENTER LINE	GALV	GALVANIZED	PLYWD	PLYWOOD	UNO	UNLESS NOTED OTHERWISE
CLG	CEILING	GC	GENERAL CONTRACTOR	PNL	PANEL	VB	VAPOR BARRIER
CMU	CONCRETE MASONRY UNIT	GL	GLASS	PR	PAIR	VCB	VINYL COVE BASE
COL	COLUMN	GWB	GYPSON WALL BOARD	PTD	PAINTED	VCT	VINYL COMPOSITION TILE
COMP	COMPOSITE/COMPOSITION	GYP	GYPSON	QT	QUARRY TILE	VERT	VERTICAL
CONC	CONCRETE	HC	HOLLOW CORE	R	RADIUS/RISE	VIF	VERIFY IN FIELD
CONTR	CONTRACT(OR)	HDW	HARDWARE	RCB	RUBBER COVE BASE	W/	WITH
CORR	CORRIDOR	HM	HOLLOW METAL	RD	ROOF DRAIN	W/O	WITHOUT
CPT	CARPET	HOR	HORIZONTAL	RECP	RECEPTACLE	WD	WOOD
CS	COURSE	HT	HEIGHT	REFRB	REFURBISH	WDW	WINDOW
CTR	COUNTER	HDWD	HARDWOOD	REIN	REINFORCED/REINFORCING	WVP	WATERPROOFING
CT	CERAMIC	ID	INSIDE DIAMETER	RELOC	RELOCATE	WRB	WATER RESISTIVE BARRIER
DTL	DETAIL	INSUL	INSULATION	REM	REMOVE(D)	WSC	WAINSCOT
DIA	DIAMETER	INT	INTERIOR	REQD	REQUIRED	WWF	WELDED WIRE FABRIC
DIM	DIMENSION	JT	JOINT	RF MEM	ROUGH OPENING	RO	ROUGH OPENING
DN	DOWN	JST	JOIST	RWC	RAINWATER CONDUCTOR		
DS	DOWNSPOUT						
DR	DOOR						
DWG	DRAWING						

DRAWING LIST

CS	COVER SHEET
A1.1	FLOOR PLANS, DEMO PLANS & FRAMING PLANS
A1.2	REFLECTED CEILING PLANS
A2.1	INTERIOR AND EXTERIOR ELEVATIONS
A4.1	STAIR AND WALL SECTIONS & DETAILS
A6.1	SCHEDULES AND DETAILS
A6.2	SCHEDULES AND DETAILS

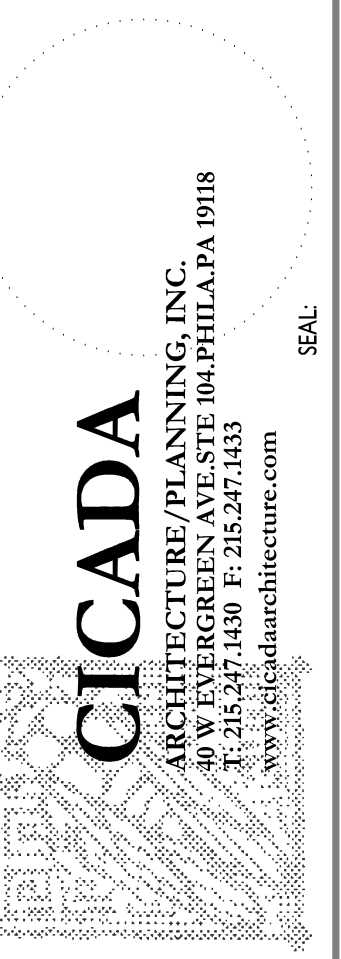
GENERAL NOTES

- REMOVE ALL DEBRIS AND VEGETATION FROM SITE. DEMOLISH ALL EXISTING REAR YARD PAVING + CURBS, COMPLETE. DEMOLISH GARDEN/SITE WALLS UNLESS INDICATED TO REMAIN ON PLANS. COORDINATE WITH NEIGHBORING PROPERTIES AS REQUIRED. INSTALL NEW 4" CONC. PAVING WITH LANDSCAPING BEDS AS INDICATED ON PLANS. SLOPE CONC. PAVING TO NEW AREA DRAIN.
- DEMO EXISTING ROOF SYSTEM, COMPLETE. INSTALL NEW LOW-SLOPE MODIFIED BITUMEN ROOF WITH GRANULAR WHITE COATING. FURNISH AND INSTALL NEW ALUM. COPING, SCUPPER AND DOWNSPOUTS, TYP.
- DEMO ALL INTERIOR WALLS, FINISHES & TRIM, HVAC, PLUMBING & ELECTRICAL SYSTEMS. DEMO ALL EXISTING WINDOWS AND INSTALL NEW WINDOWS IN EX'G OPENINGS. INSTALL NEW EXTERIOR DOORS, WITH STORM DOORS AT ALL REAR DOORS AND SECURITY STORM DOOR WHERE INDICATED AT FRONT DOORS.
- DEMO ALL EXISTING NON-FUNCTIONING CHIMNEYS, COMPLETE.
- NEW INTERIOR PARTITIONS ARE TO BE WALL TYPE (B) U.O.N. PROVIDE NEW INTERIOR STANDING AND RUNNING TRIM AND DOORS.
- INSTALL CLOSET ROD & SHELF AT ALL CLOSETS EXCEPT AT LINEN CLOSETS. INSTALL NEW VENTILATED WHITE WIRE SHELVING AT ALL LINEN CLOSETS, (5) SHELVES PER LINEN CLOSET.
- ALL STAIRS SHALL HAVE 9" TREADS WITH 1" OVERHANG, 8 1/4" MAX. RISERS, & 80" HEAD CLEARANCES FROM FRONT OF TREAD TO BOTTOM OF CEILING.
- AIR SEAL ALL DRYWALL ASSEMBLIES. INSTALL CONTINUOUS SEALANT ALONG: (1) ALL EXTERIOR WALL BOTTOM AND TOP PLATES, (2) ALL TOP PLATES AT INSULATED CEILINGS, (3) ROUGH OPENING PERIMETERS, (4) BOTH SIDES OF THE FIRST INTERIOR STUD OF PARTITION WALLS, (5) ALL RECESSED LIGHT FIXTURES IN INSULATED CEILINGS, AND (6) ALL ELECTRIC BOX PENETRATIONS.
- DEMO ALL EXISTING FENCES. COORDINATE W/ NEIGHBORING PROPERTIES. INSTALL NEW 6'-0" WOOD SHADOWBOX STYLE PERIMETER FENCE W/ 3'-0" SWINGING GATE AT ALL REAR YARDS.
- CLEAN AND REPOINT ALL BRICK FRONT FACADES.
- DEMO EXISTING SLABS IN BASEMENTS AND EXCAVATE FOR NEW SLAB AND DRAINAGE FILL. DO NOT EXCAVATE BELOW THE LEVEL OF THE BOTTOM OF THE EXISTING BASEMENT FOUNDATION WALLS. INSTALL NEW 4" CONC SLAB ON 4" DRAINAGE FILL & VAPOR BARRIER WITH PERIMETER PERFORATED DRAIN PIPE SLOPED TO DRAIN TO NEW SUMP PIT.
- PARGE INTERIOR FACE OF ALL EXISTING BASEMENT WALLS.
- PARGE INTERIOR FACE OF ALL EXISTING MASONRY WALLS AT FIRST FLOOR AND SECOND FLOOR INCLUDING PARTY WALL.
- CONTRACTOR TO CONTACT PENNSYLVANIAN ONE CALL SYSTEM, 1-800-242-1776, FOR LOCATION OF ALL SITE UTILITIES IN SIDEWALK AND STREET PRIOR TO THE START OF ANY EXCAVATION.

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE AS SHOWN ON THE CONTRACT DOCUMENTS. THE WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS HAVING JURISDICTION. © 2014 CICAADA ARCHITECTURE/PLANNING, INC.

REVISIONS:	DESCRIPTION:	DATE:	BY:
No:	ADDENDUM #1	09/17/14	MB

CONSULTANTS:	DATE:	BY:



PROJECT: POINT BREEZE SCATTERED SITES REHABS PHILADELPHIA REDEVELOPMENT AUTHORITY PHILADELPHIA, PA

SHEET TITLE: COVER SHEET 2325 WATKINS ST. PROJECT NO.: 419.00

SCALE:	AS NOTED
DRAWN BY:	TS
APPROVED:	MB
DATE:	07/28/2014
DRAWING NO.:	

CS

LIGHTING/POWER SYMBOLS:

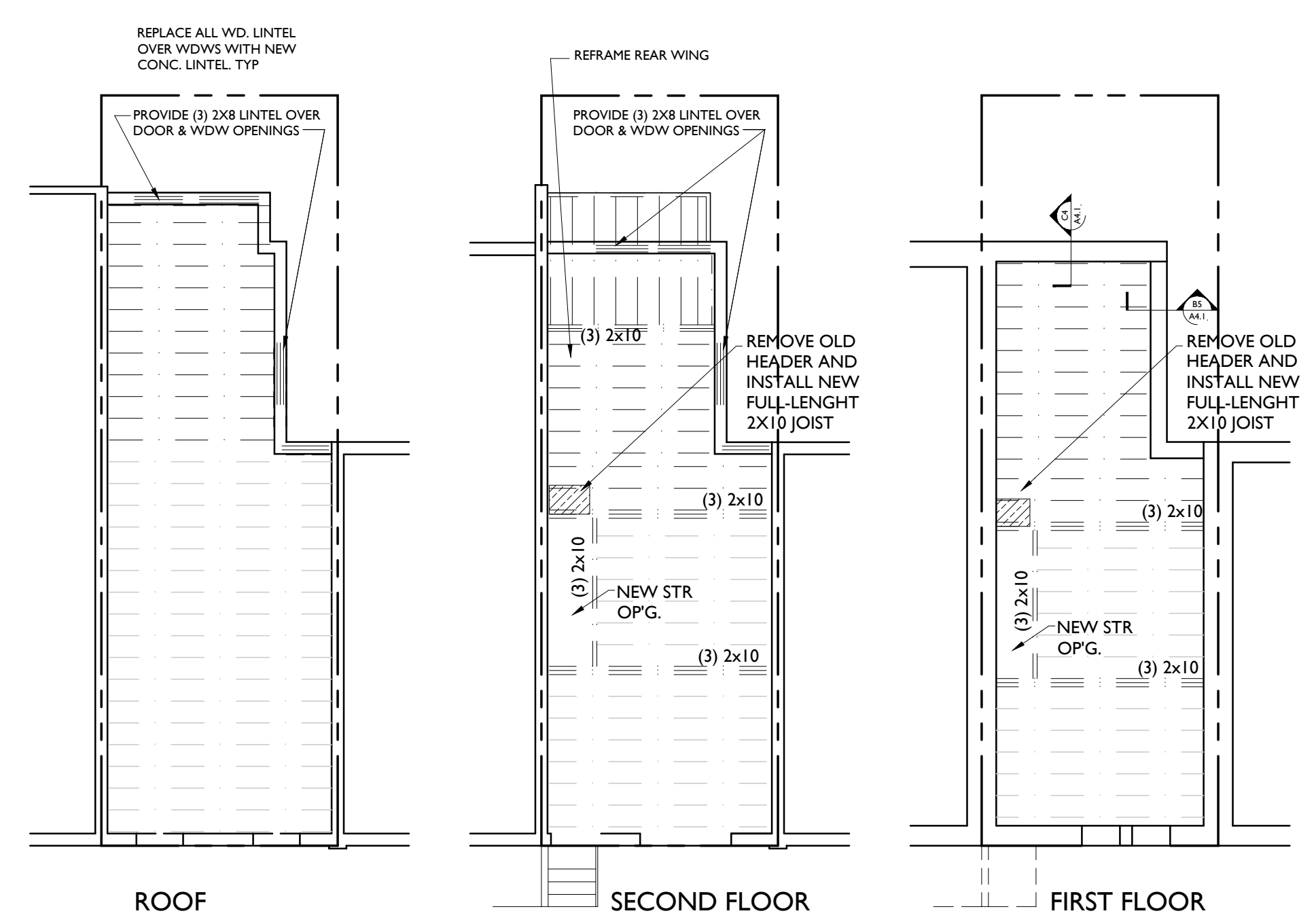
☐ TELEPHONE/DATA	⚡ SWITCH	Ⓛ ELEC PANEL
Ⓜ TV CABLE	Ⓜ EXHAUST FAN	Ⓛ DOOR BELL
Ⓞ RECESSED FIXTURE	Ⓜ ELECTRIC OUTLET	Ⓛ 2X4 SURFACE FLUORESCENT
Ⓞ WALL-MTD FIXTURE	Ⓜ SMOKE DETECTOR	Ⓛ UNDERCABINET LIGHT SIZE TO SUIT CONDITIONS
Ⓞ PENDANT FIXTURE	Ⓜ SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR	
Ⓞ JUNCTION BOX	Ⓜ CEILING-MTD FIXTURE	
Ⓞ HOSE BIB	Ⓜ CEILING FAN w/ Light	

KEY NOTES

- 01 CLOSET ROD AND SHELF.
- 02 NEW CONCRETE PAVING WITH CONTROL JOINTS AS SHOWN.
- 03 NEW EXTERIOR STAIR AND LANDING WITH HANDRAIL SEE DET. E4/A.1
- 04 NEW GUTTER/SCUPPER, DOWNSPOUT, CAST IRON BOOT AND AREA DRAIN. PROVIDE NEW STORMWATER LINE AND CLEANOUT IN BASEMENT.
- 05 NEW 6'-0" WOOD SHADOWBOX TYPE FENCE AND 3'-0" W GATE W/ LOCKING HARDWARE.
- 06 NEW HOSE BIBB.
- 07 NEW 4" CONCRETE SLAB; SLOPE TO SUMP PUMP. EXCAVATE TO ACHIEVE MIN. 7'-6" CLG HT IN BASEMENT. INSTALL NEW 4" PERF. DRAINAGE PIPE AROUND SLAB PERIMETER + CONNECT TO SUMP PUMP.
- 08 SEED + SOD PLANTING BED.
- 09 PROVIDE WASHER/DRYER HOOK-UPS BOX.
- 10 NEW EXTERIOR STAIR AND LANDING.
- 11 NEW BLOCK VENT.

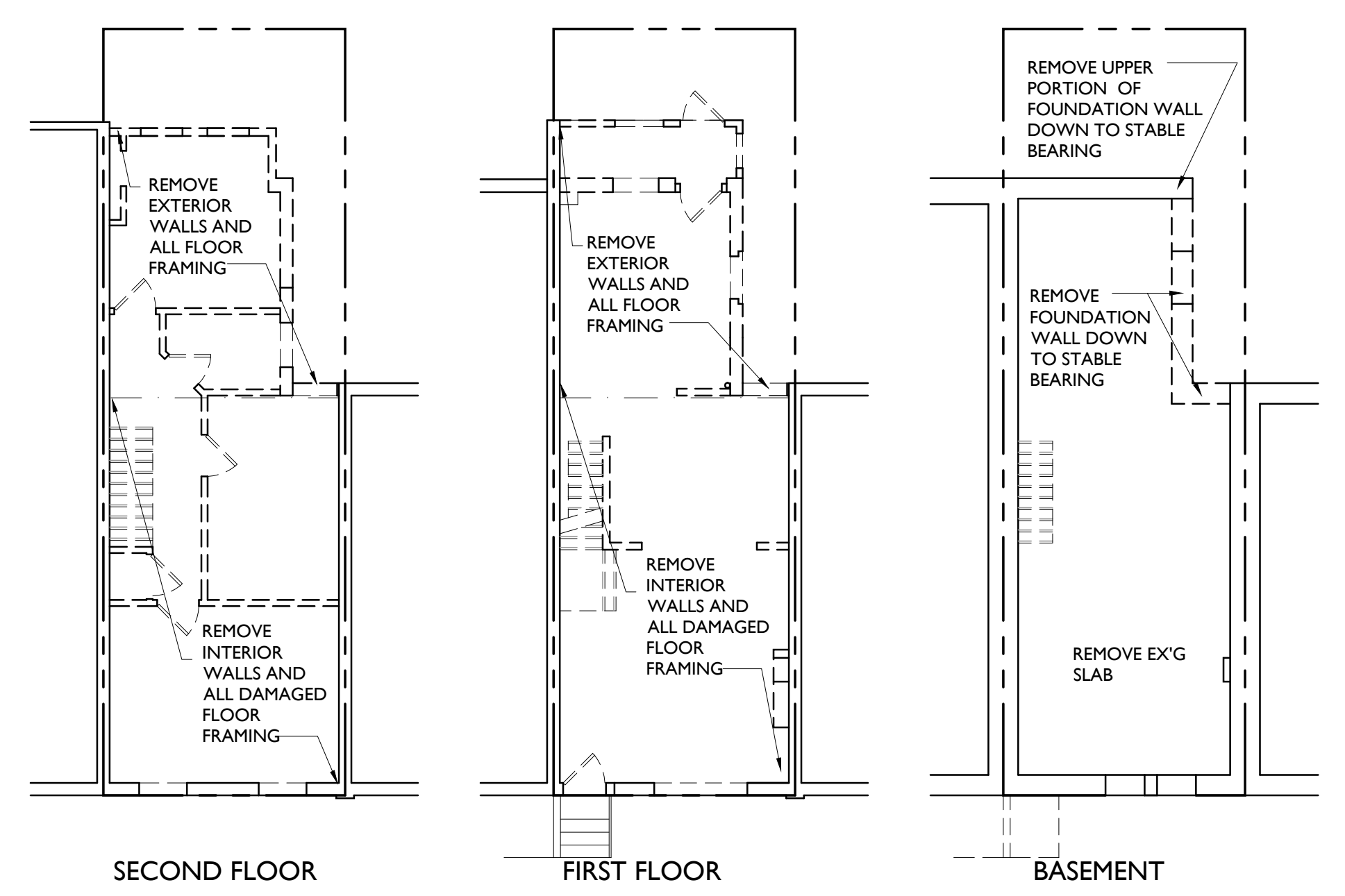
DRAWING KEY

▨	NEW PARTITION
—	NEW WORK
- - -	EX'G. TO REMAIN
- · - · -	EX'G. TO BE DEMOLISHED
— · — · —	2 HR FIRE RATED CONSTR.
Ⓜ	SUPPLY GRILLE
Ⓜ	RETURN GRILLE
Ⓜ	SUPPLY DUCT
Ⓜ	RETURN DUCT
Ⓜ	WALL RETURN

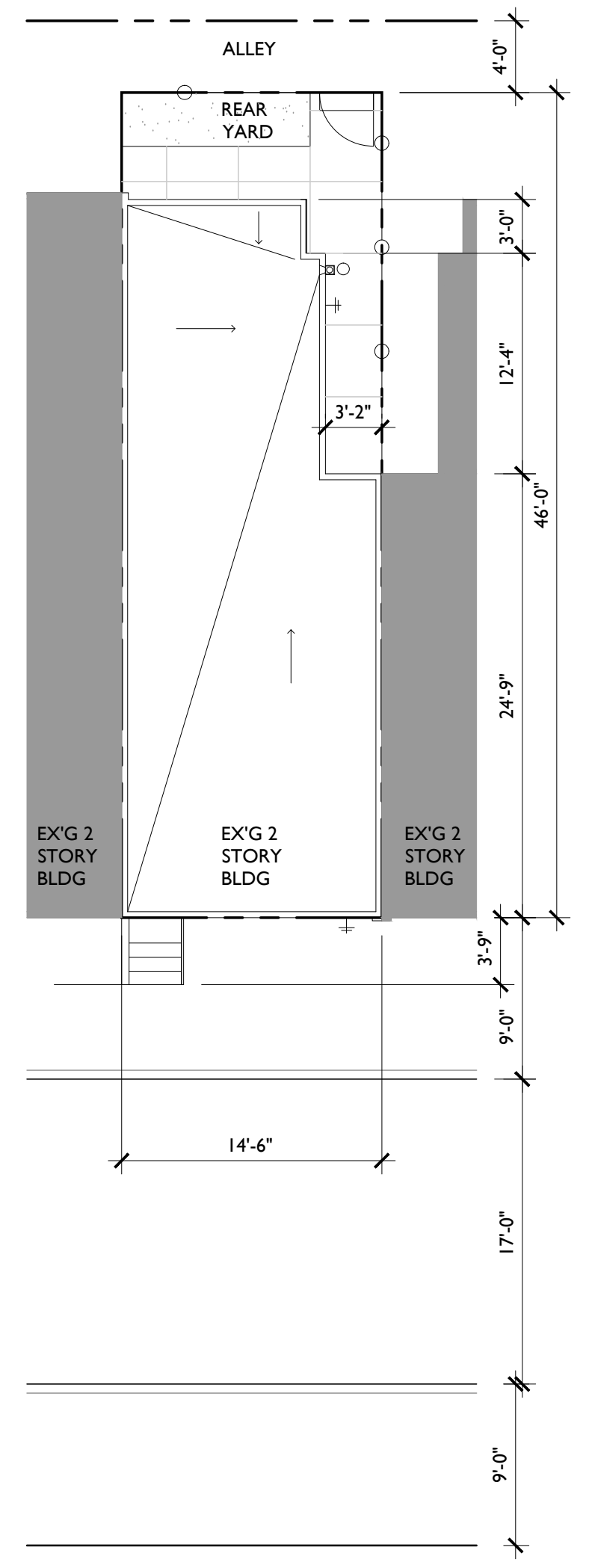


C1 STRUCTURAL FRAMING PLANS
1/8" = 1'-0"

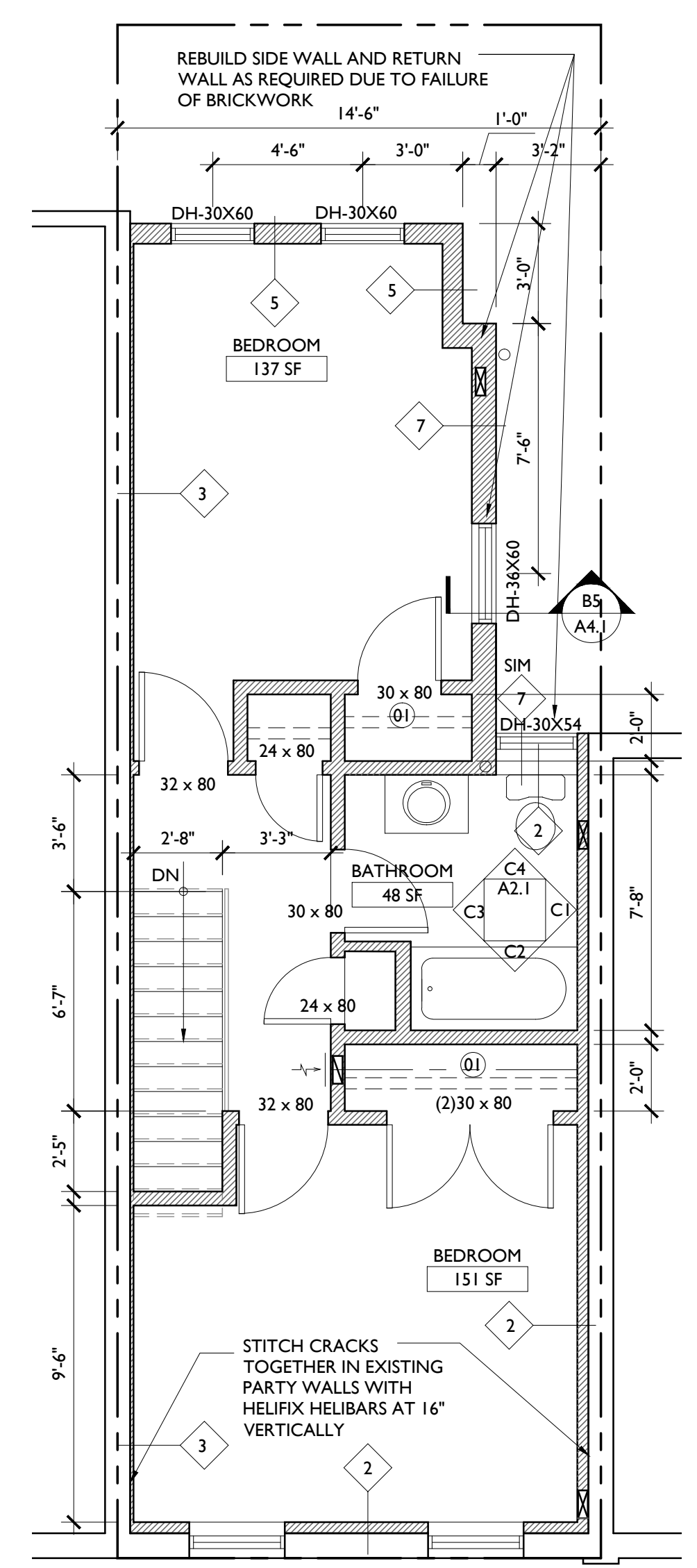
DEMO - FRAMING NOTE
I. DEMO TO STRUCTURE AT REAR WING DEMO EXISTING EXTERIOR WALLS AND ALL FLOOR AND ROOF FRAMING. AT FRONT SECTION OF BUILDING REMOVE ALL DAMAGED FLOOR JOISTS AND ROOF RAFTERS. ASSUME 67% REPLACEMENT OF EXISTING JOIST AND RAFTERS WHERE NEEDED WITH 2X10 FRAMING 16" O.C.. REFRAME REAR WING AS INDICATED W/ 2X10'S 16" O.C. AND AS REQUIRED FOR NEW STAIR OPENINGS. SEE SECTION B4/A4.1 AND DETAILS E2 & E3/A4.1.



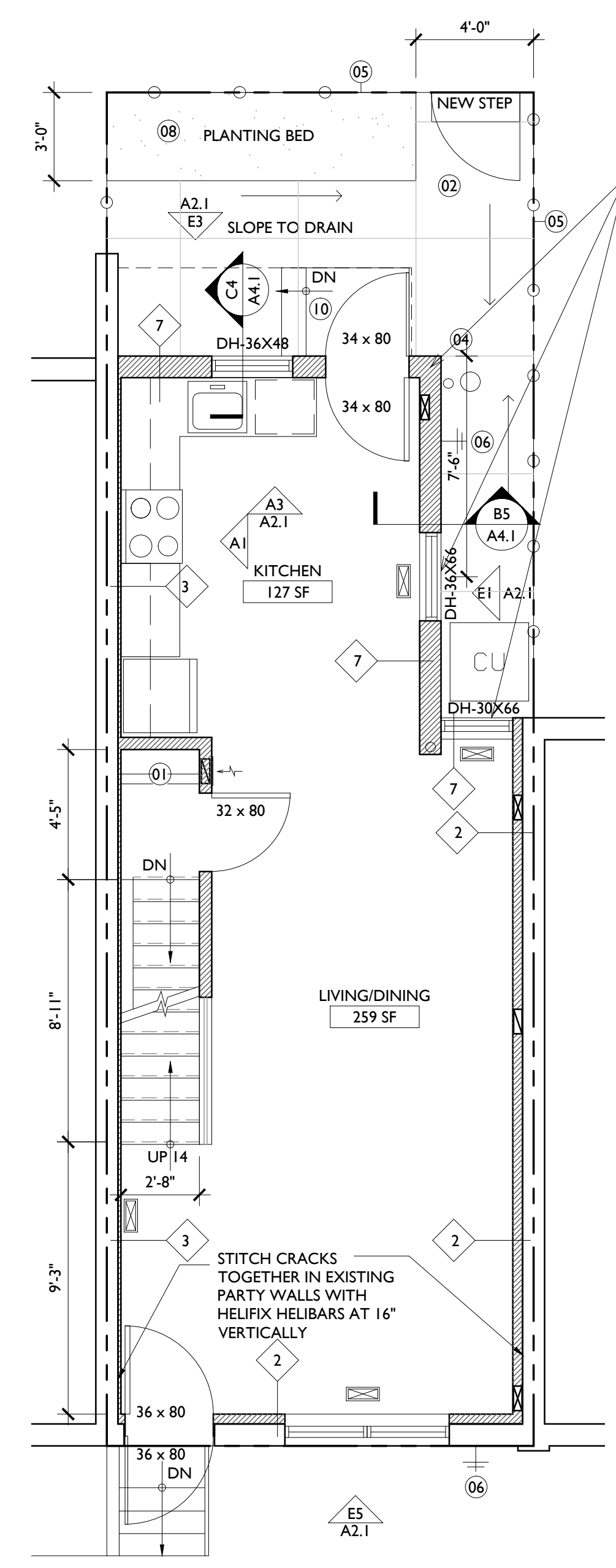
E1 DEMOLITION PLANS
1/8" = 1'-0"



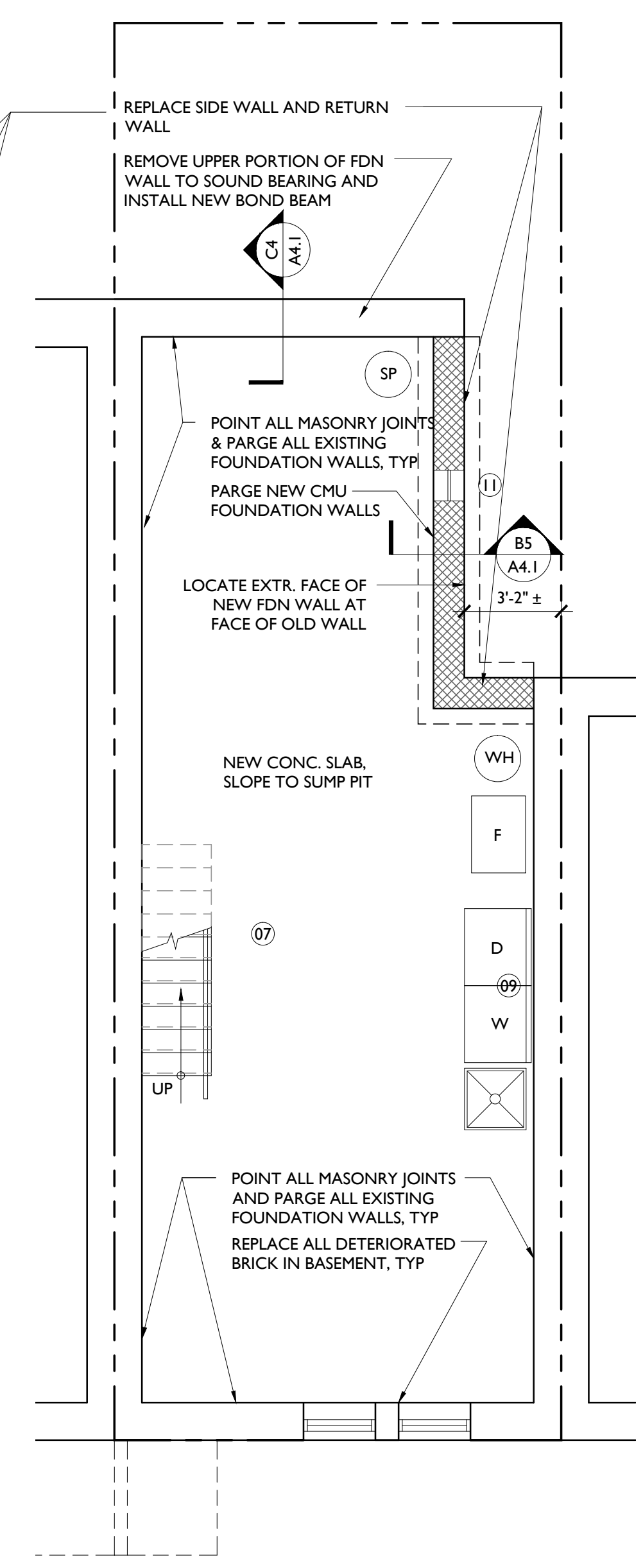
E3 ROOF/SITE PLAN
1/8" = 1'-0"



E4 SECOND FLOOR PLAN
1/4" = 1'-0"



E5 FIRST FLOOR PLAN
1/4" = 1'-0"

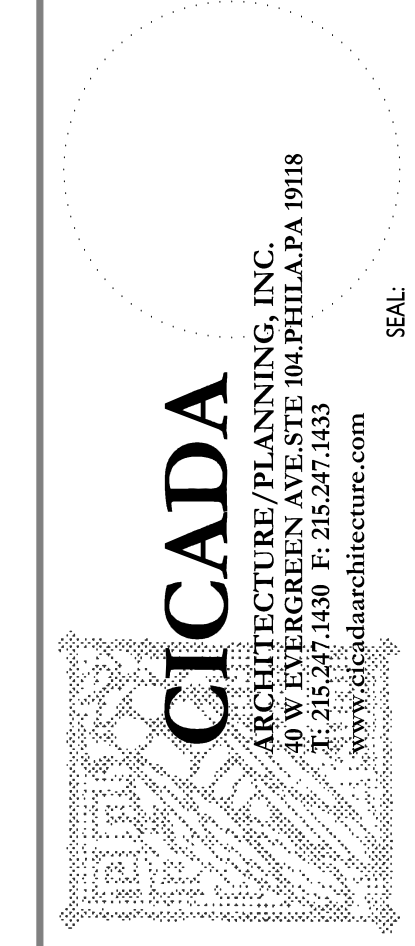


E6 BASEMENT FLOOR PLAN
1/4" = 1'-0"

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REVISIONS:	NO.	DATE	DESCRIPTION
	1	09/17/14	ADDENDUM #1
	2		
	3		
	4		
	5		
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	7		
	8		
	9		
	10		

CONSULTANTS:
BY: MB
DATE: 09/17/14

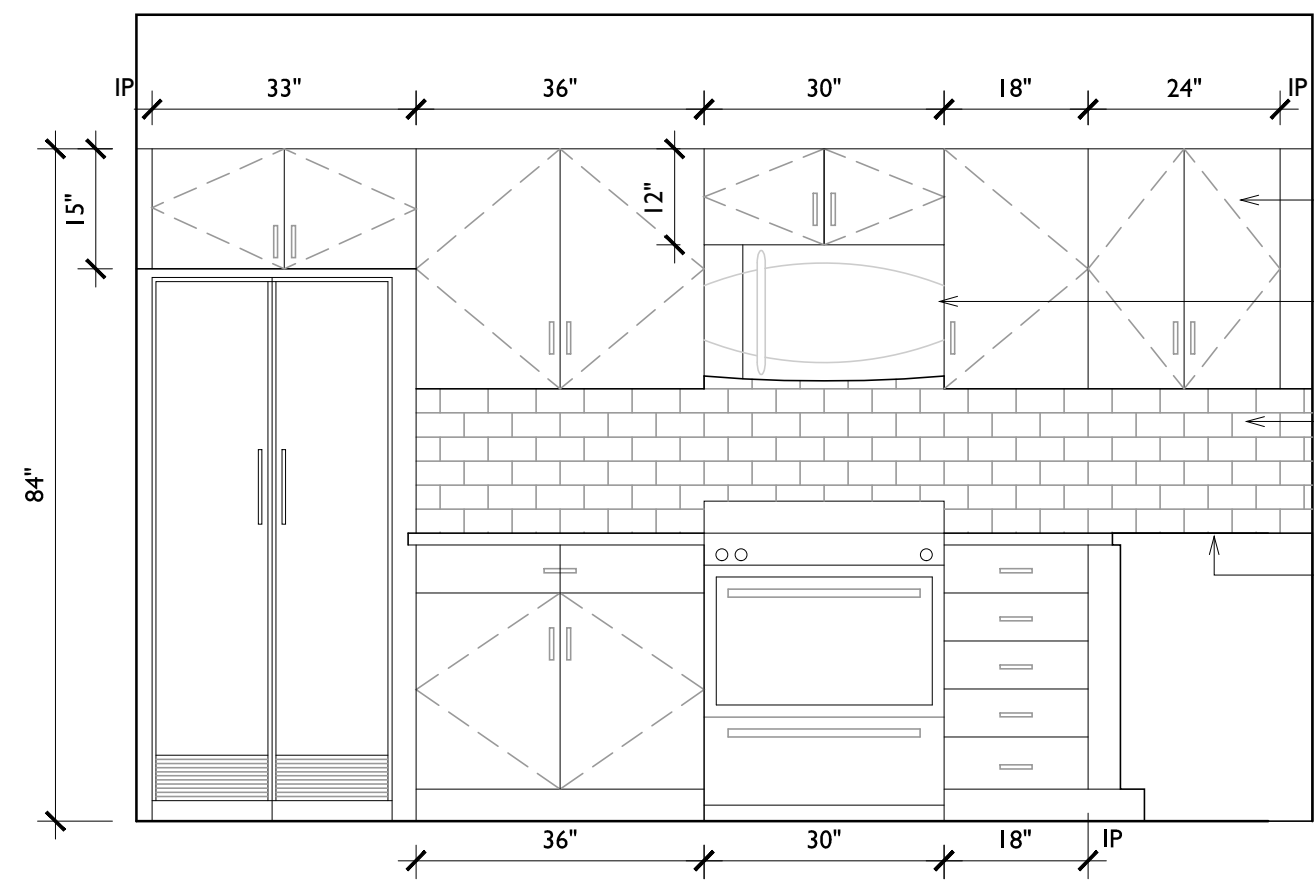


**POINT BREEZE
SCATTERED SITE
REHABS**
PHILADELPHIA REDEVELOPMENT
AUTHORITY
PHILADELPHIA, PA

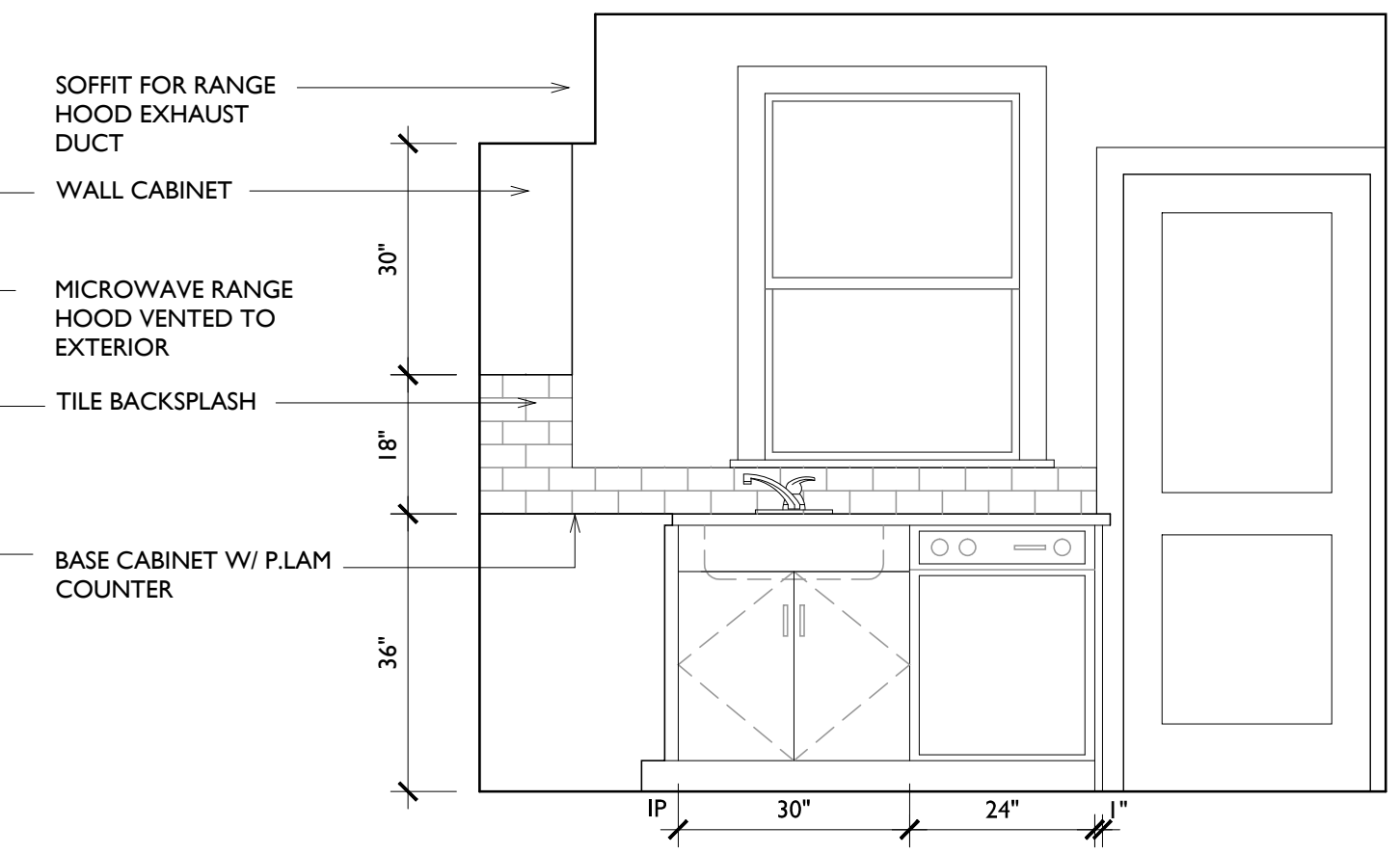
**FLOOR PLANS, DEMO
& FRAMING
2325 WATKINS ST.**

SCALE:	AS NOTED
DRAWN BY:	TS
APPROVED:	MB
DATE:	07/28/2014
DRAWING NO.:	

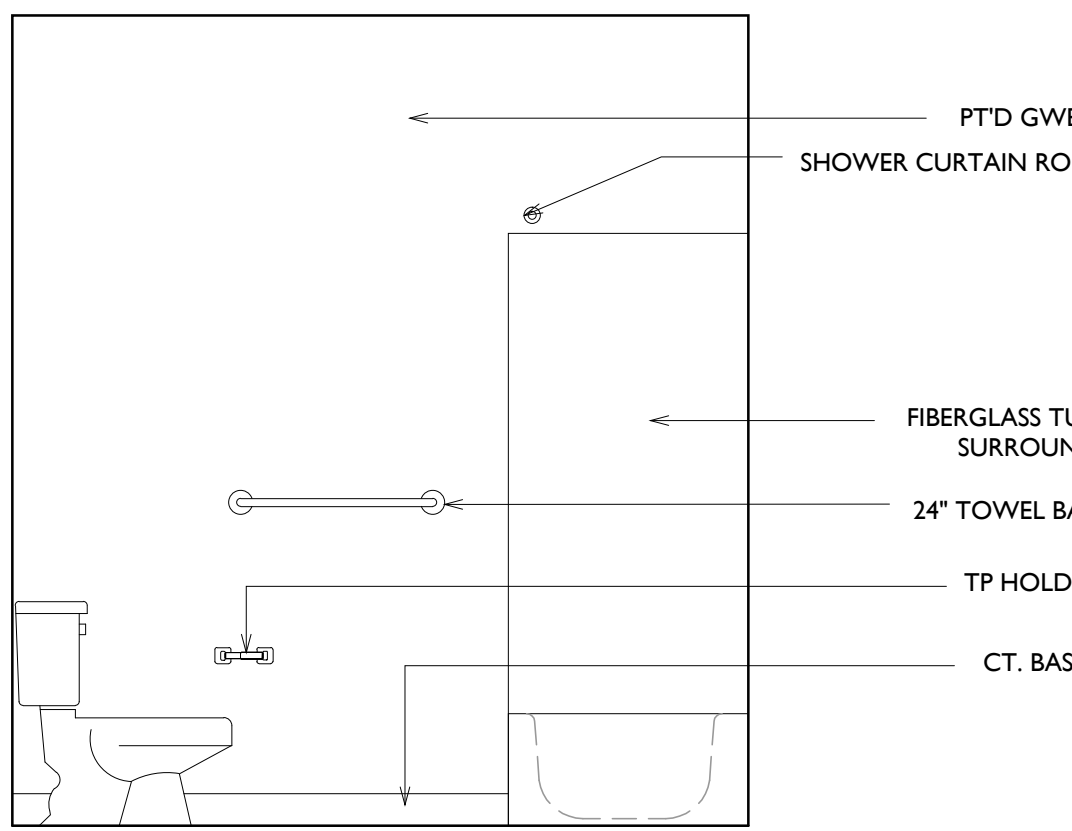
A1.1



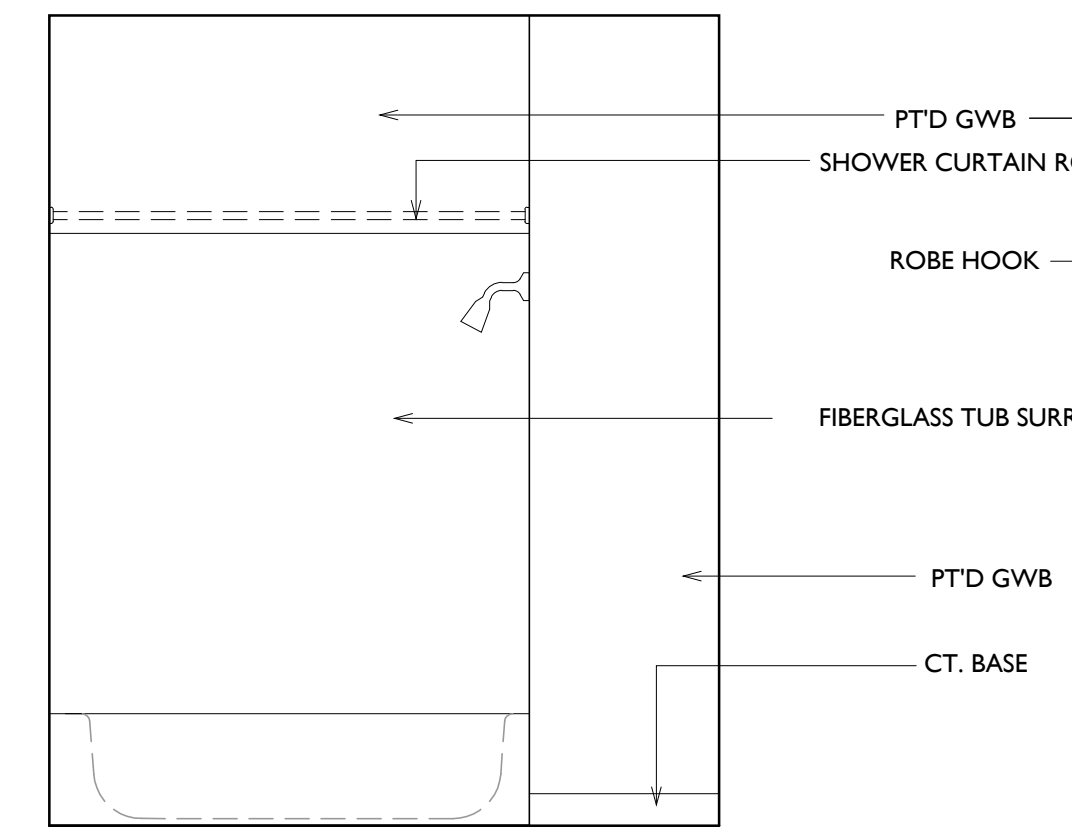
A1 KITCHEN ELEVATION
1/2" = 1'-0"



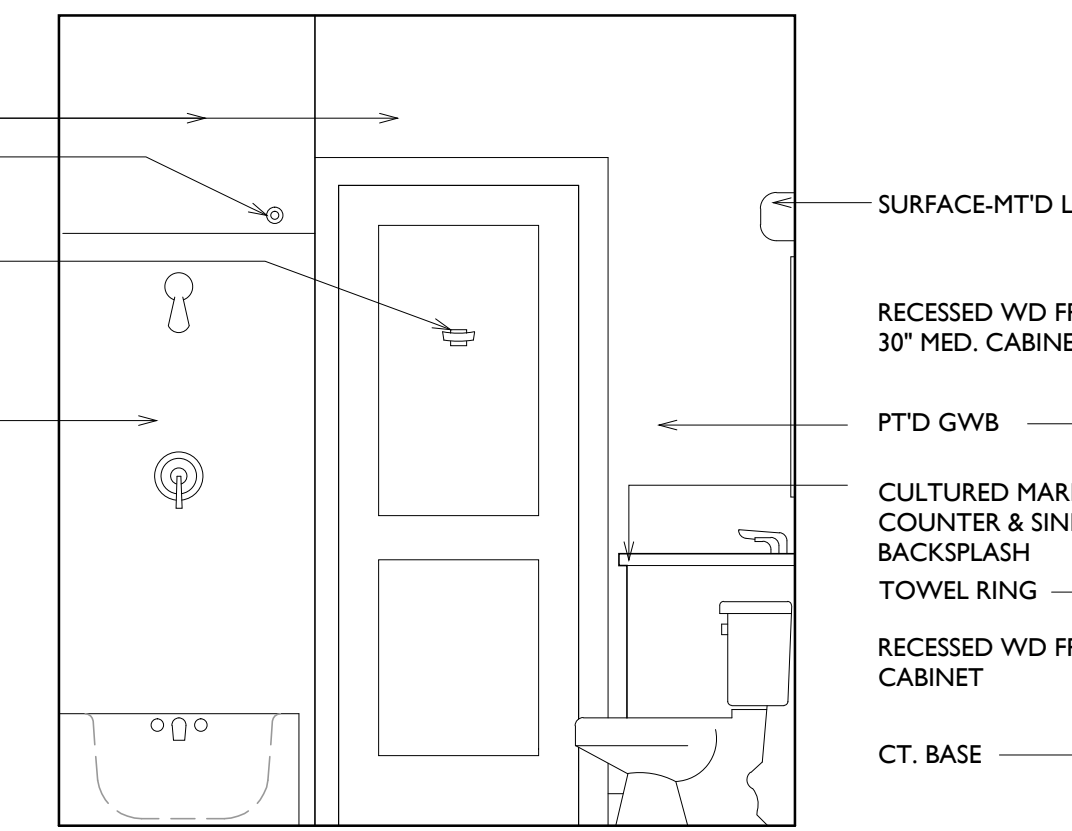
A3 KITCHEN ELEVATION
1/2" = 1'-0"



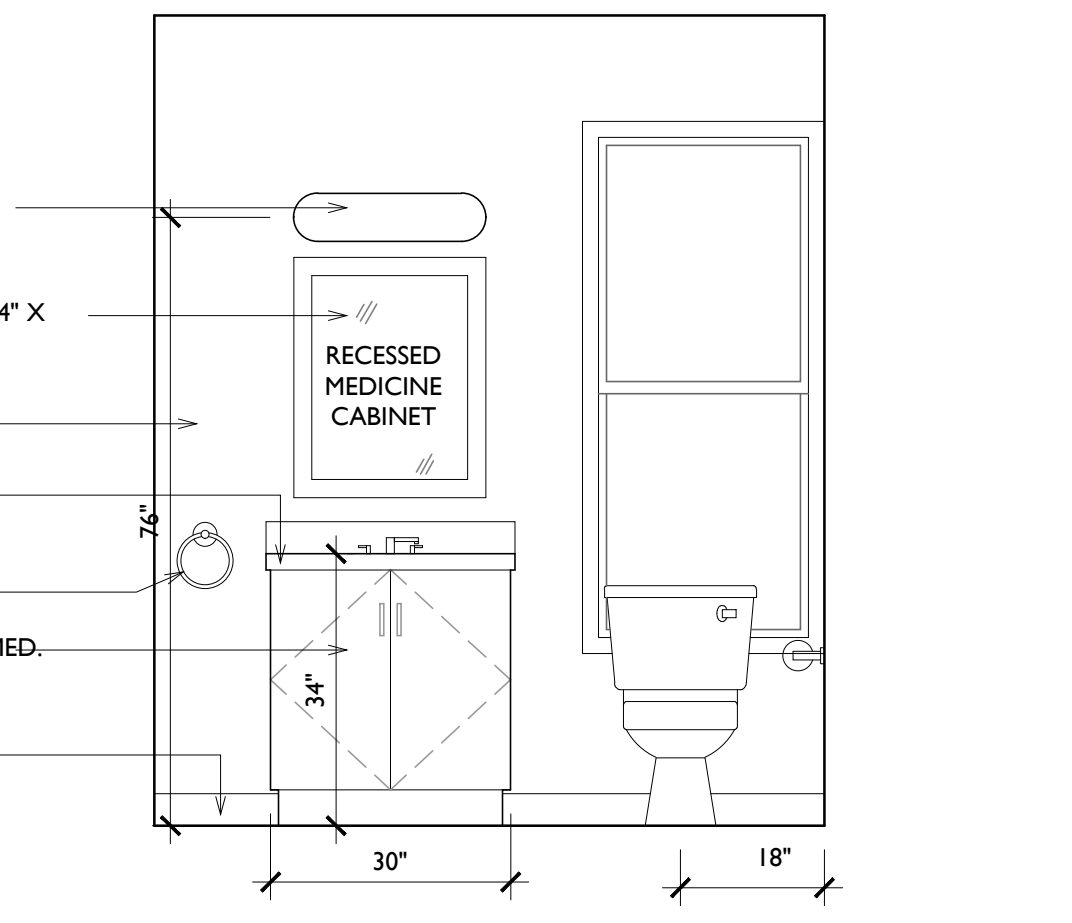
C1 BATH ELEVATION
1/2" = 1'-0"



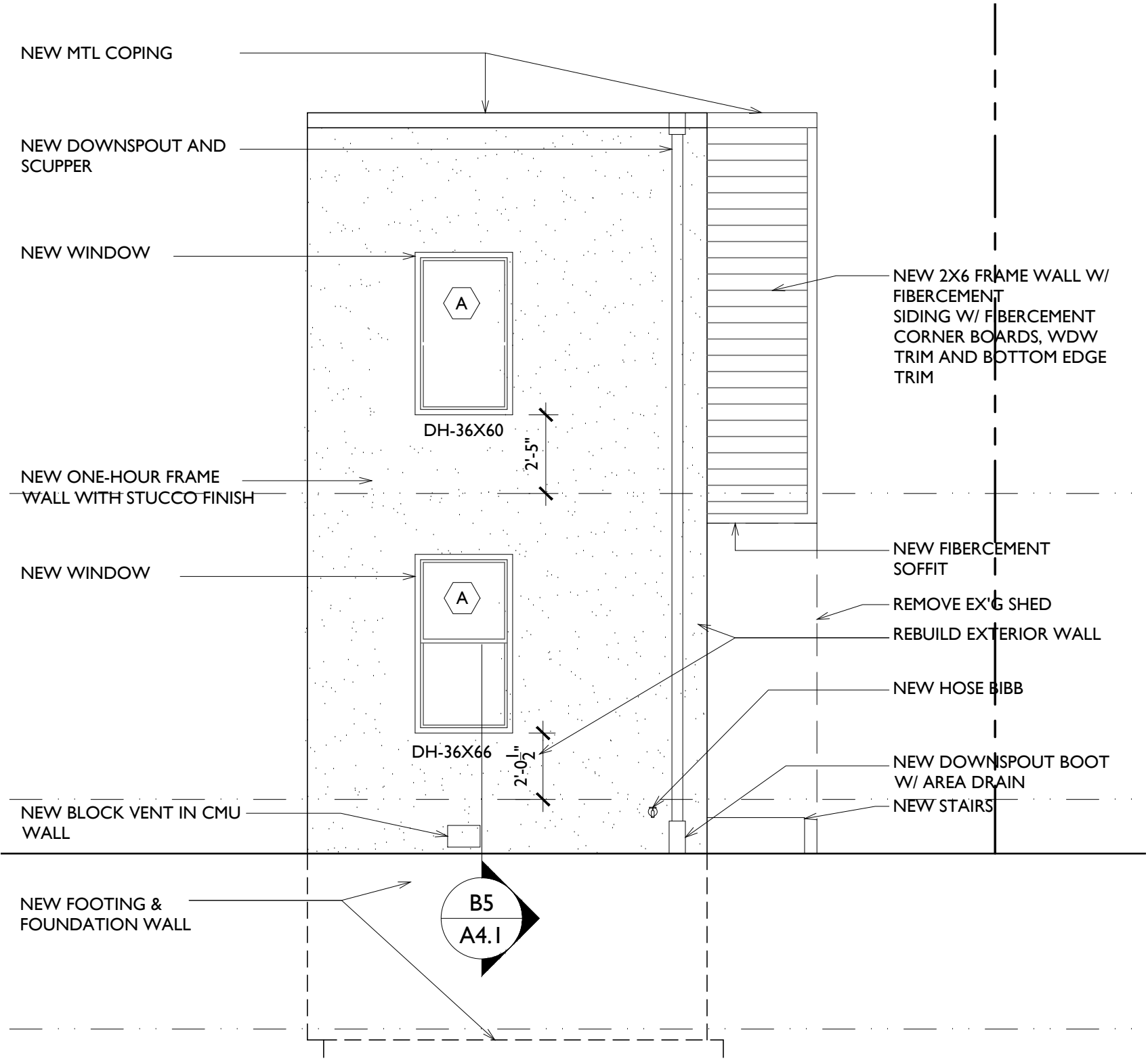
C2 BATH ELEVATION
1/2" = 1'-0"



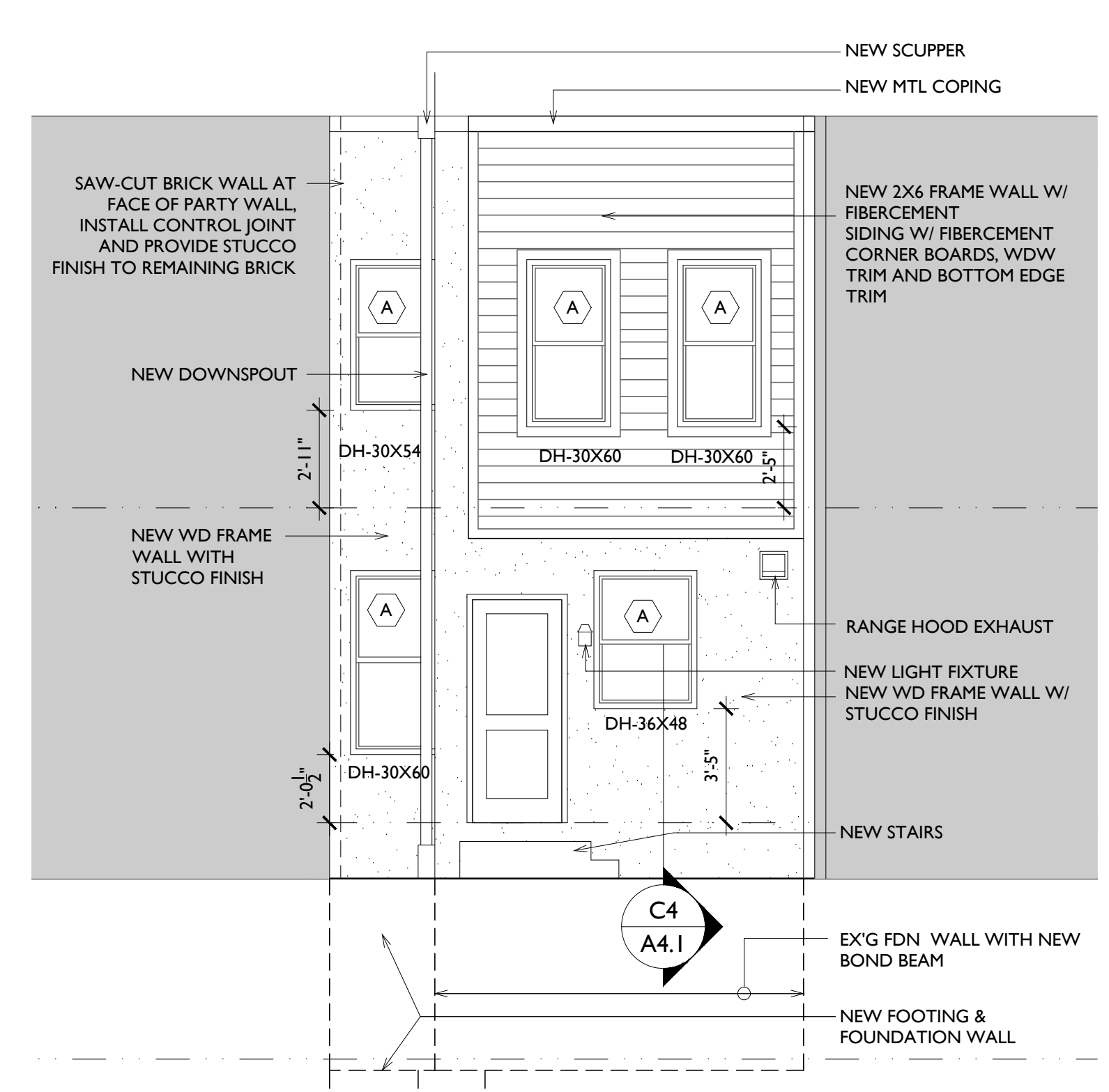
C3 BATH ELEVATION
1/2" = 1'-0"



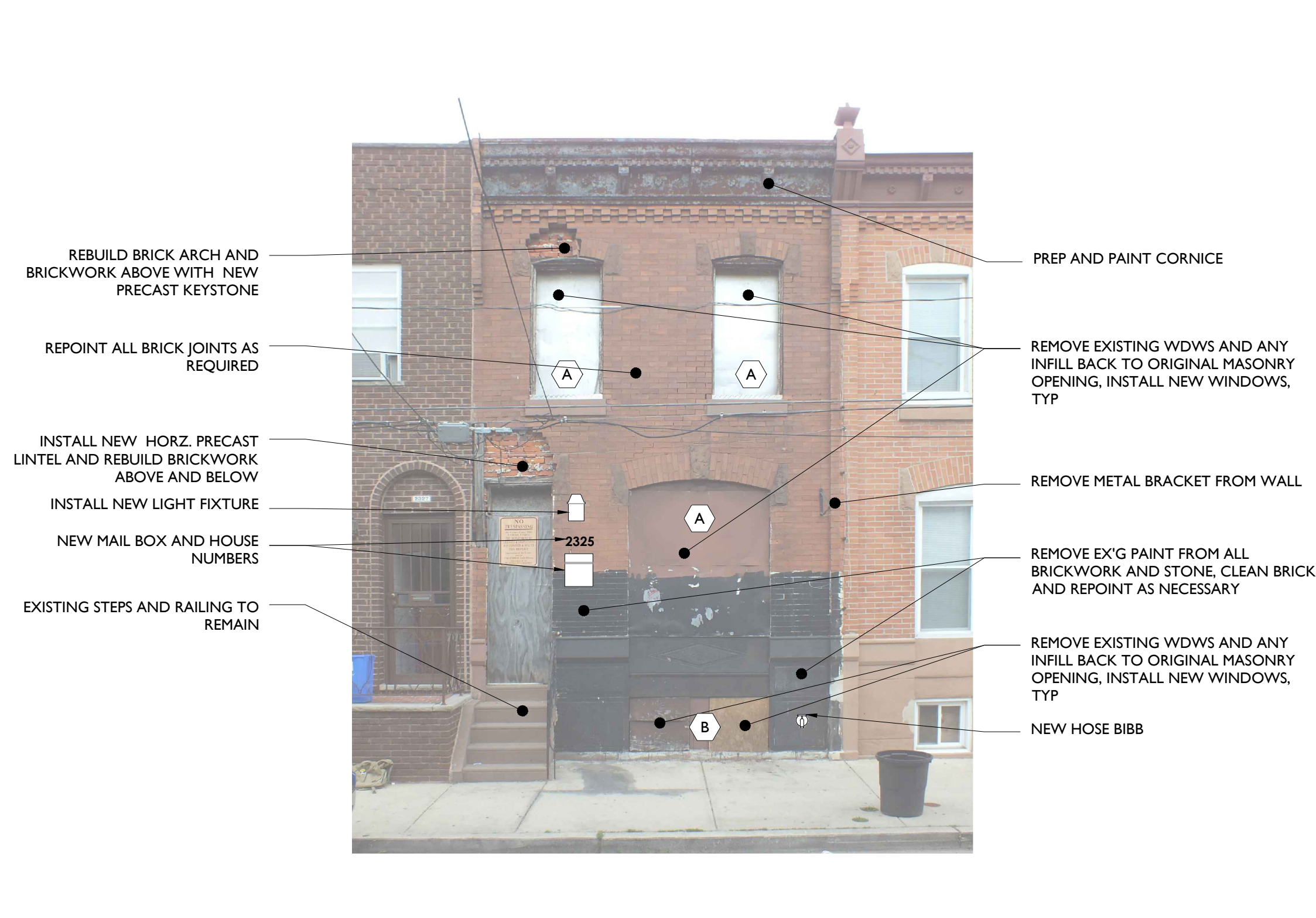
C4 BATH ELEVATION
1/2" = 1'-0"



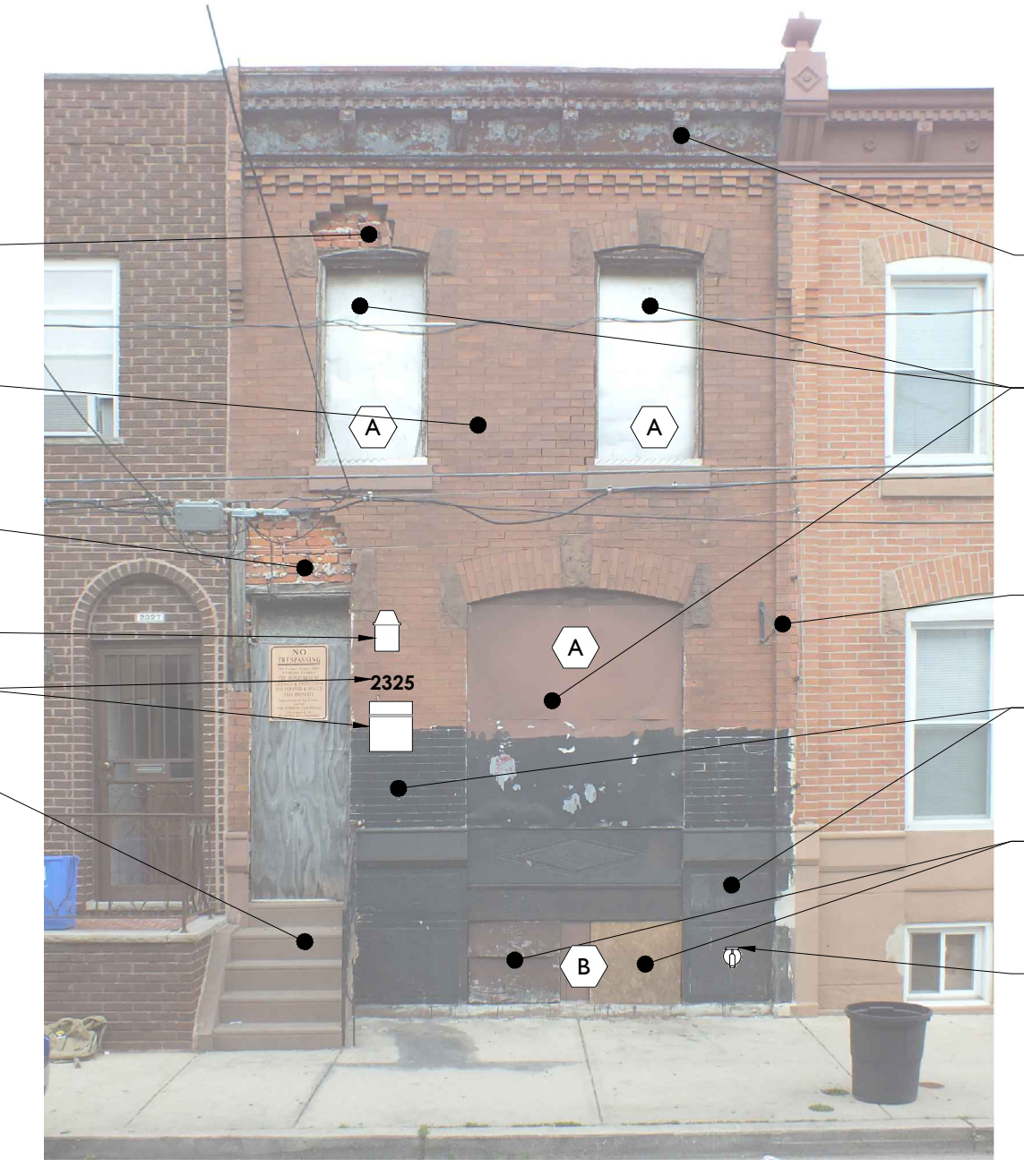
E1 SIDE ELEVATION
1/4" = 1'-0"



E3 REAR ELEVATION
1/4" = 1'-0"



E5 FRONT ELEVATION
1/4" = 1'-0"



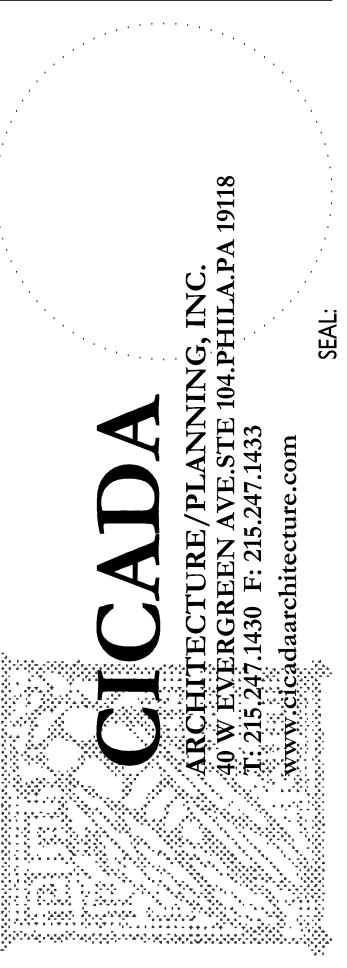
- REBUILD BRICK ARCH AND BRICKWORK ABOVE WITH NEW PRECAST KEYSTONE
- REPOINT ALL BRICK JOINTS AS REQUIRED
- INSTALL NEW HORZ. PRECAST LINTEL AND REBUILD BRICKWORK ABOVE AND BELOW
- INSTALL NEW LIGHT FIXTURE
- NEW MAIL BOX AND HOUSE NUMBERS
- EXISTING STEPS AND RAILING TO REMAIN

- PREP AND PAINT CORNICE
- REMOVE EXISTING WDWS AND ANY INFILL BACK TO ORIGINAL MASONRY OPENING, INSTALL NEW WINDOWS, TYP
- REMOVE METAL BRACKET FROM WALL
- REMOVE EXG PAINT FROM ALL BRICKWORK AND STONE. CLEAN BRICK AND REPOINT AS NECESSARY
- REMOVE EXISTING WDWS AND ANY INFILL BACK TO ORIGINAL MASONRY OPENING, INSTALL NEW WINDOWS, TYP
- NEW HOSE BIBB

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REVISIONS:	NO.	DATE	BY:	DESCRIPTION:

CONSULTANTS:

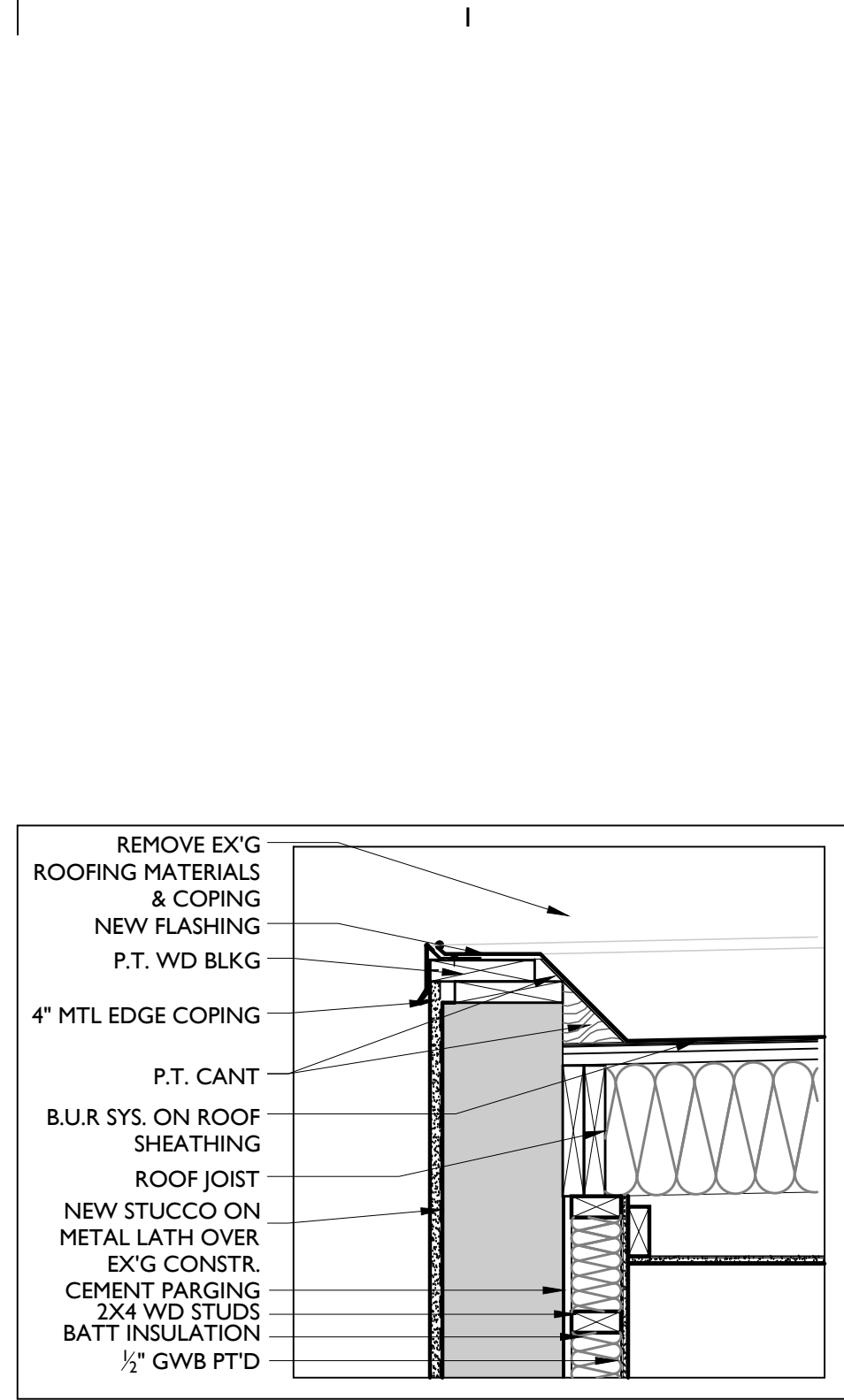


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PHILADELPHIA REDEVELOPMENT AUTHORITY
PHILADELPHIA, PA

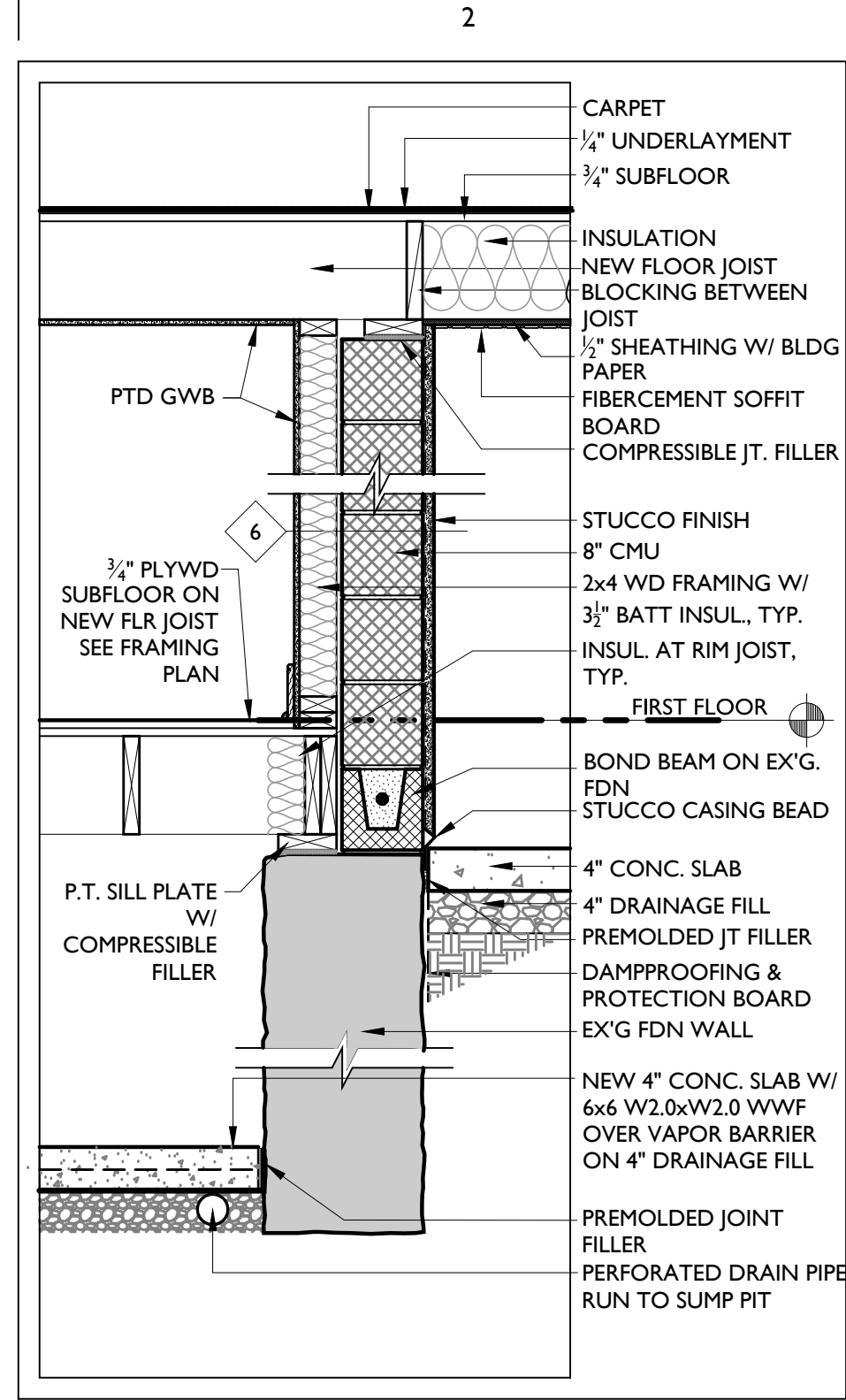
INTERIOR & EXTERIOR ELEVATIONS
2325 WATKINS ST.
PROJECT NO.: 419.00

SCALE:	AS NOTED
DRAWN BY:	TS
APPROVED:	MB
DATE:	07/28/2014
DRAWING NO.:	A2.1

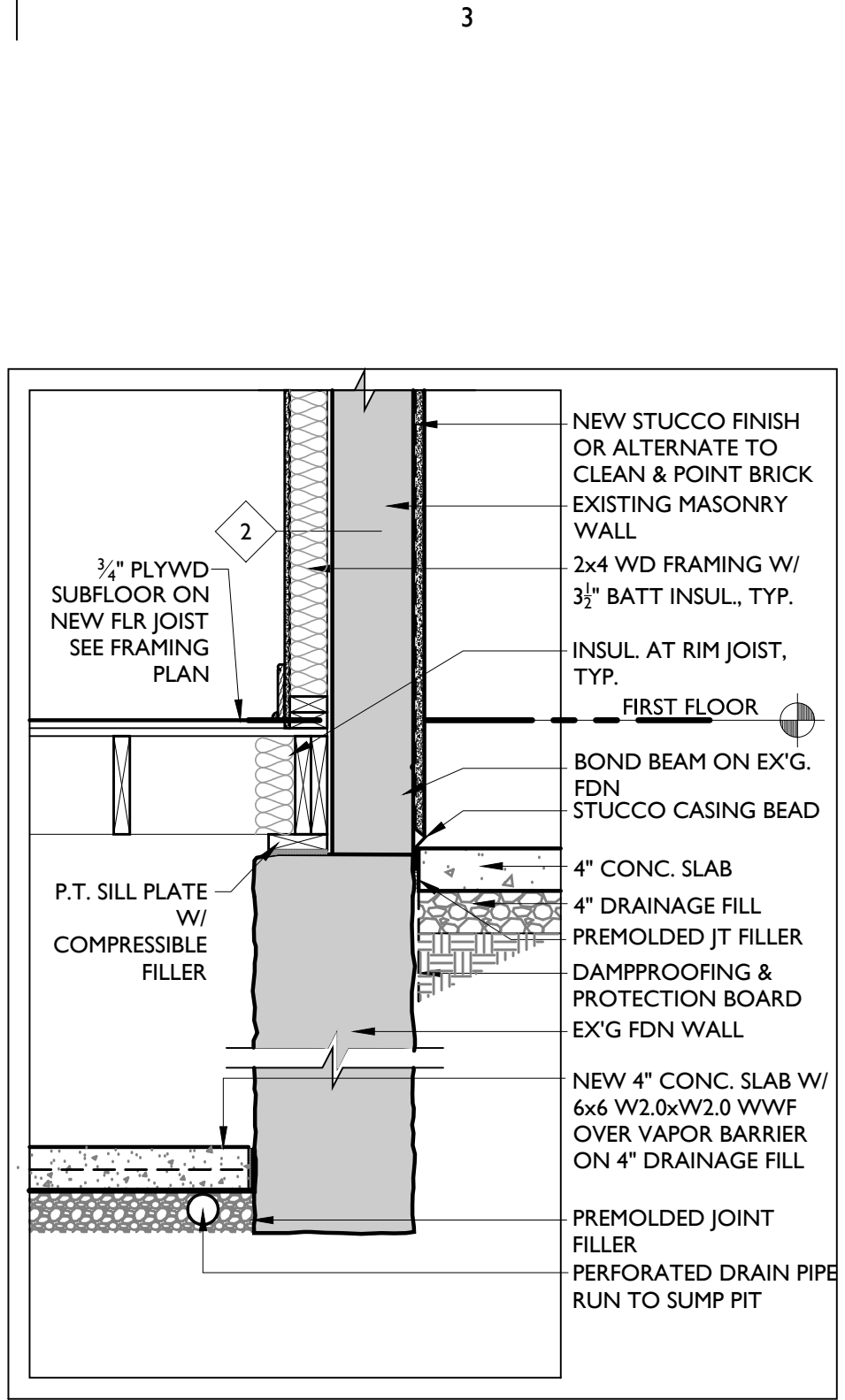
A2.1



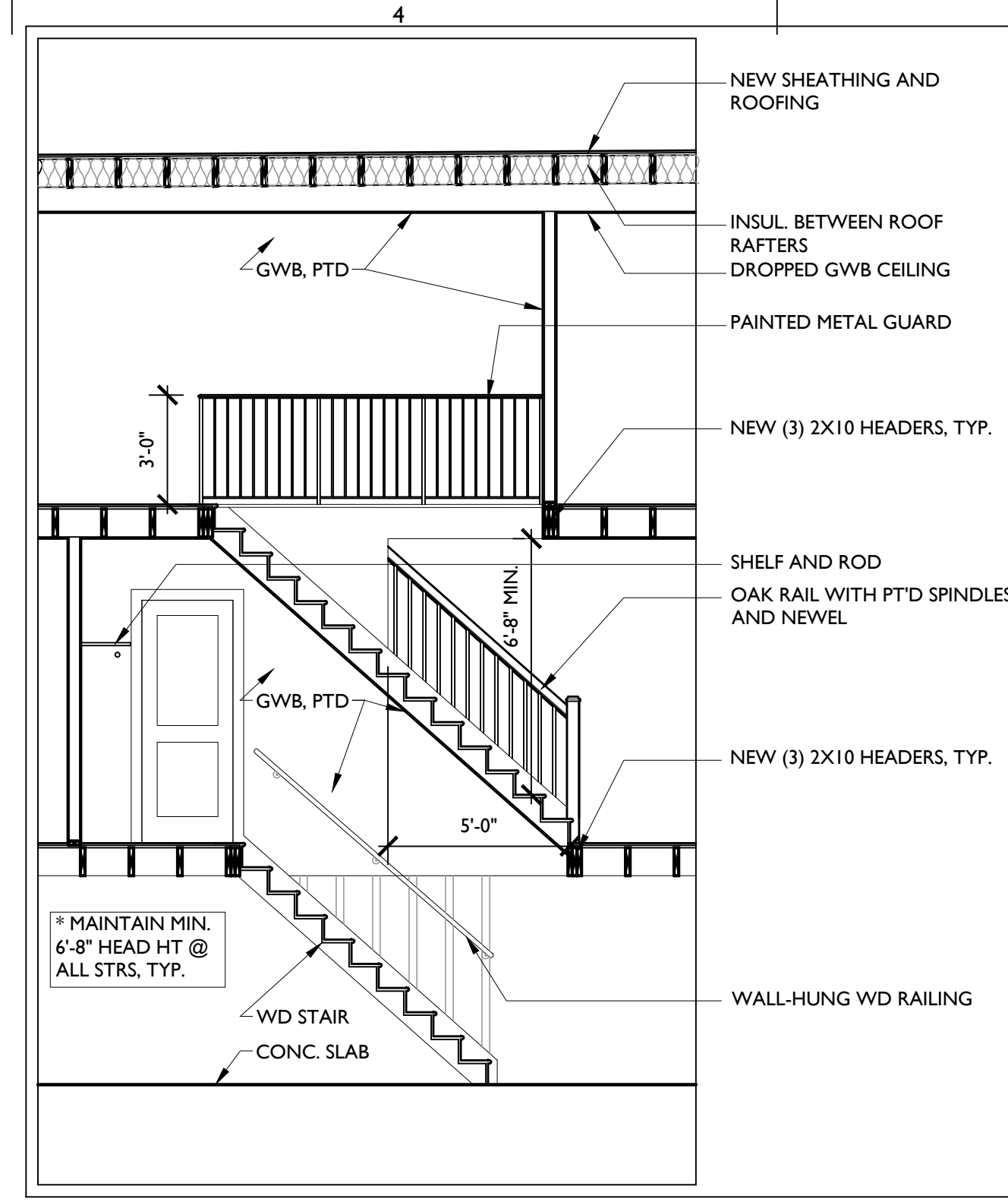
B1 ROOF EDGE DTL
1" = 1'-0"



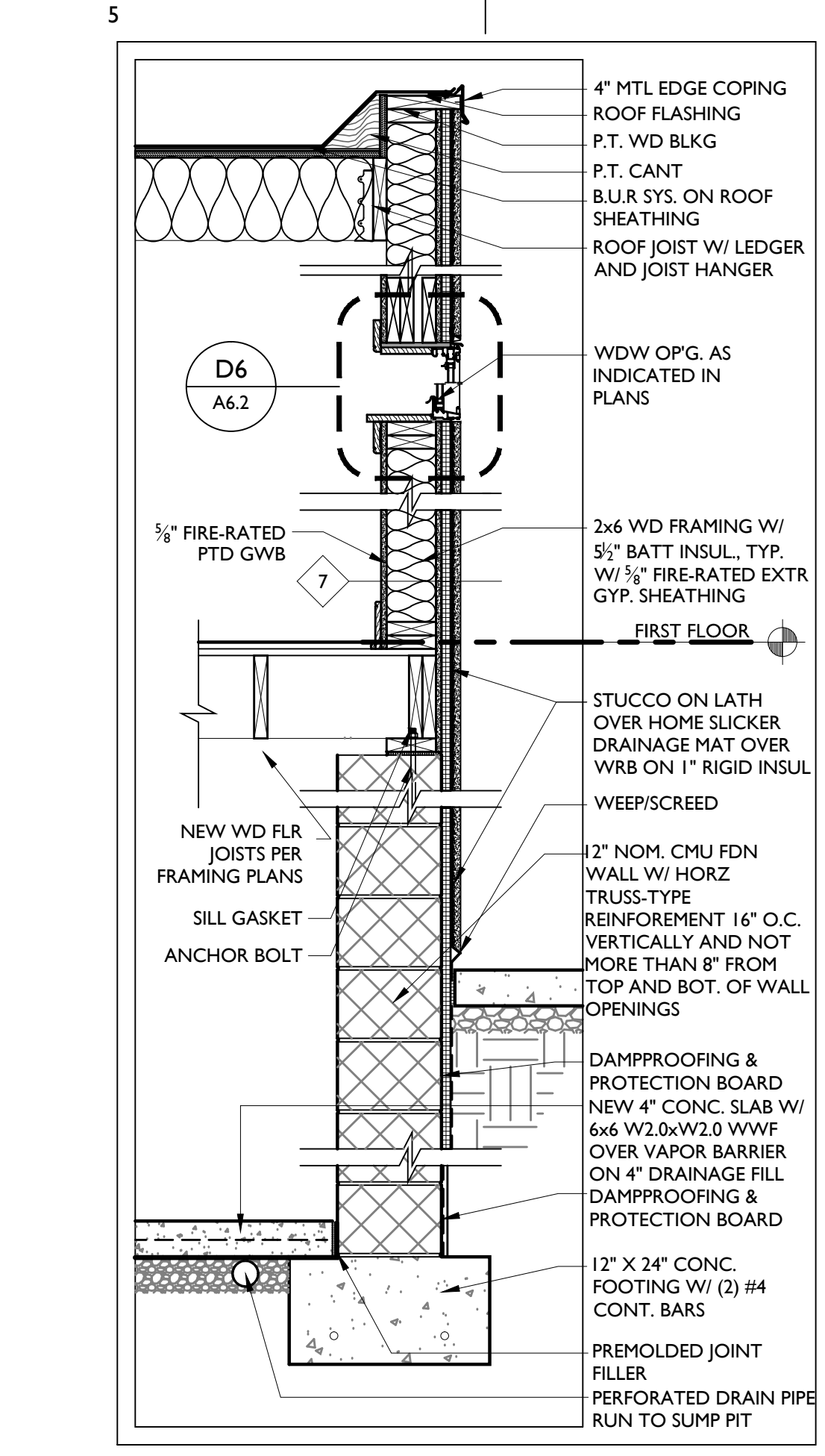
B2 NEW EXTERIOR WALL DTL
3/4" = 1'-0"



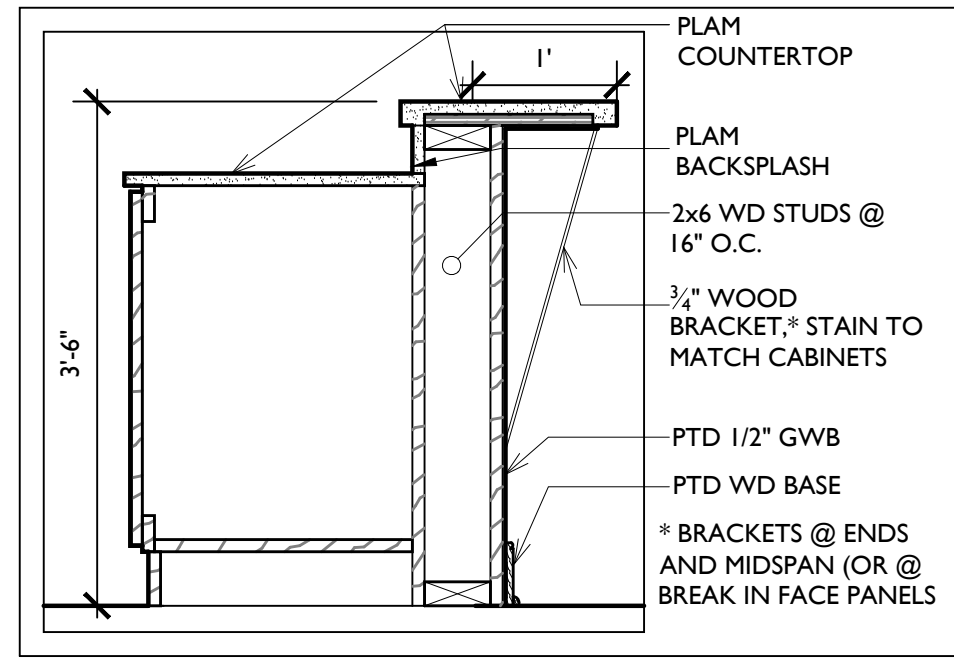
B3 EXISTING REAR EXTERIOR WALL DTL
3/4" = 1'-0"



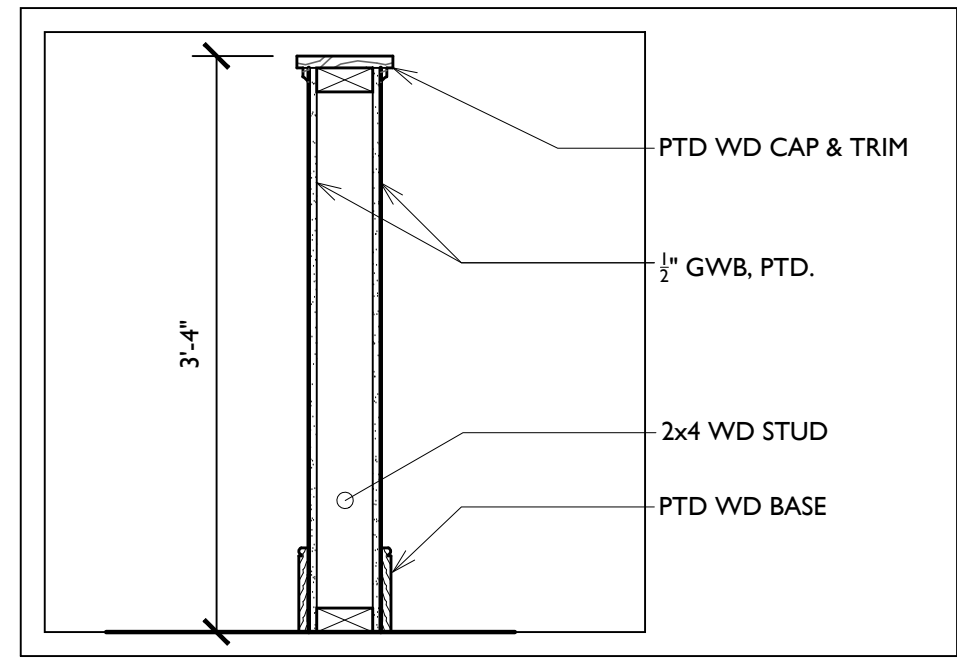
B4 TYPICAL STAIR SECTION
1/4" = 1'-0"



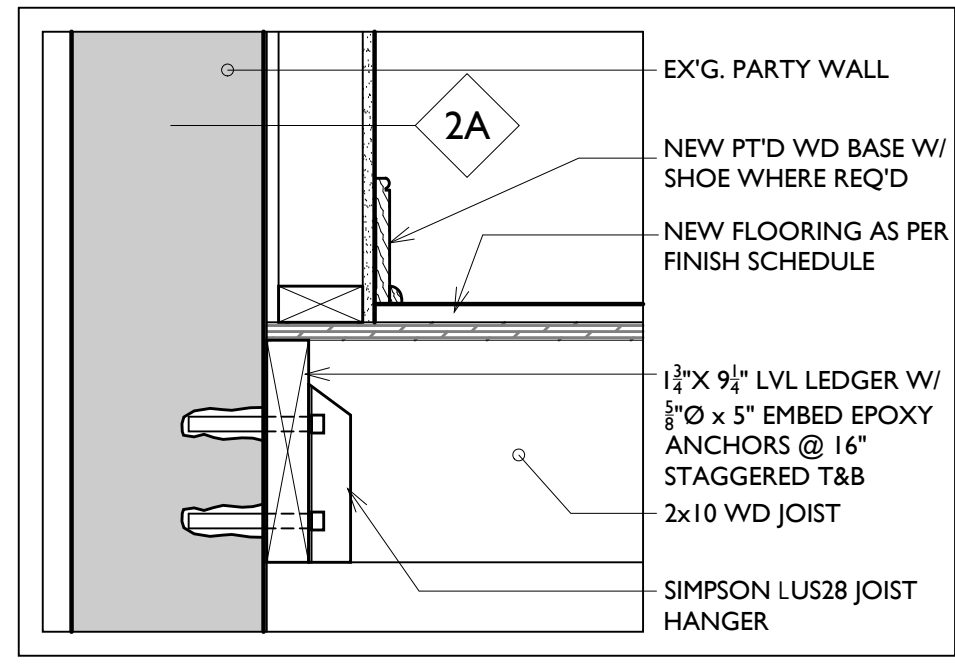
B5 NEW EXTERIOR RATED WALL SECTION
3/4" = 1'-0"



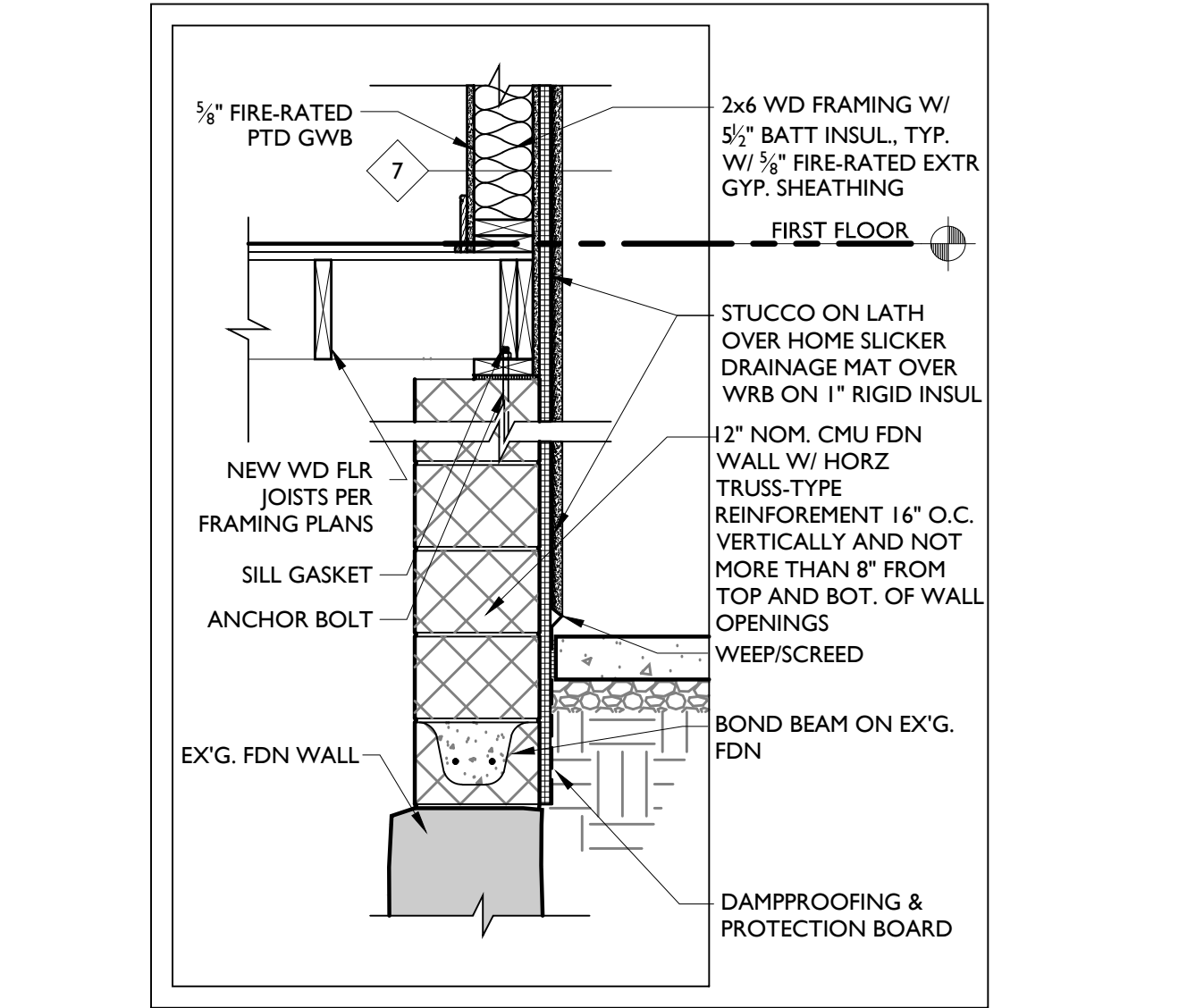
C1 KITCHEN BREAKFAST BAR DETAIL
3/4" = 1'-0"



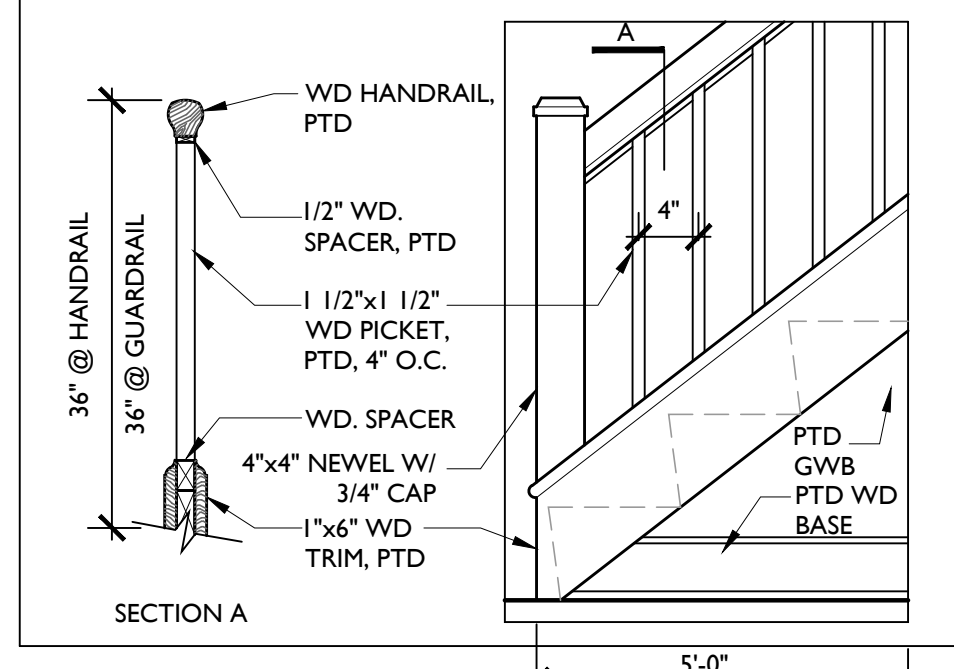
C2 KNEE WALL DETAIL
1" = 1'-0"



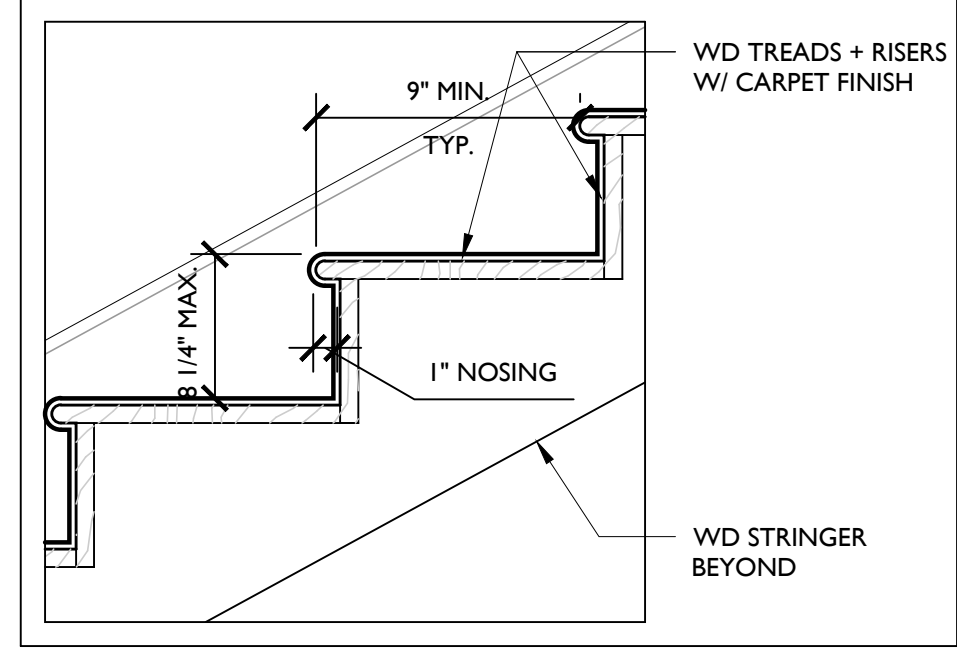
C3 DTL @ NEW WD JOIST @ EX'G. BEARING WALL
1 1/2" = 1'-0"



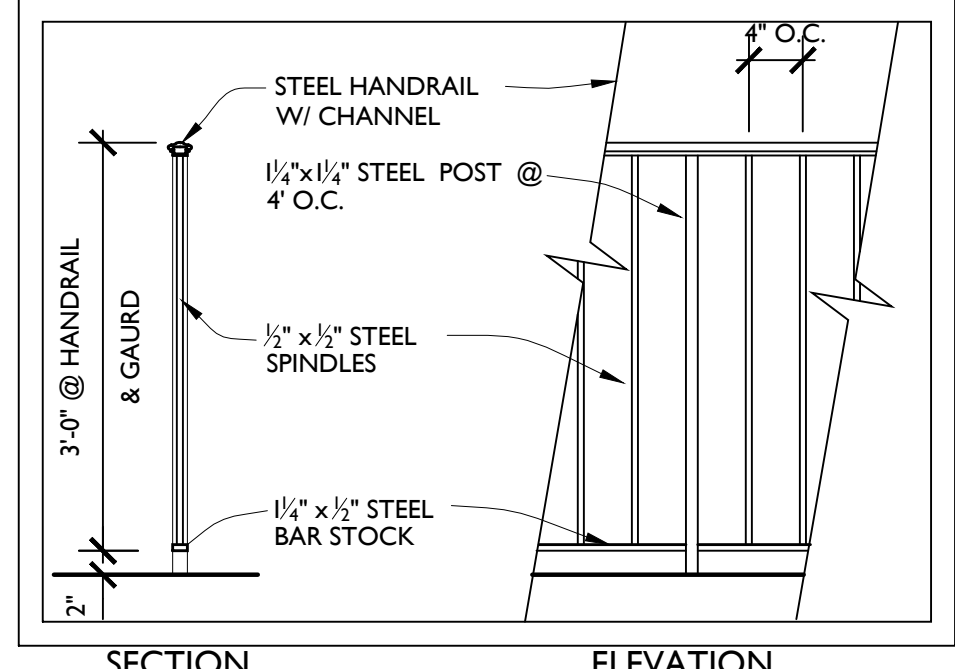
C4 DTL @ BOND BEAM ON EX'G. FDN WALL
3/4" = 1'-0"



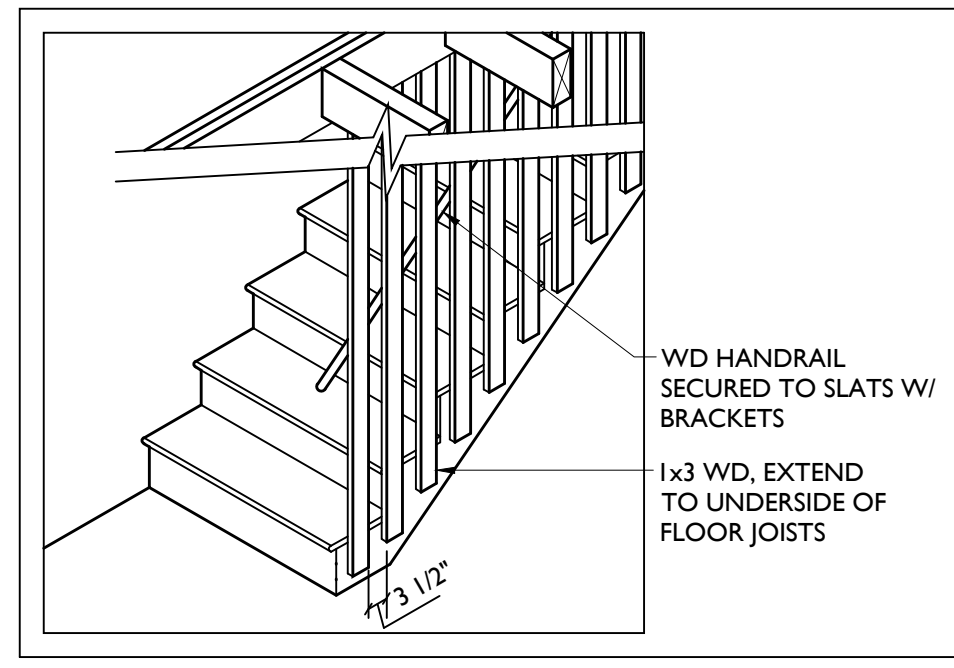
D1 NEW STAIR DETAIL
3/4" = 1'-0"



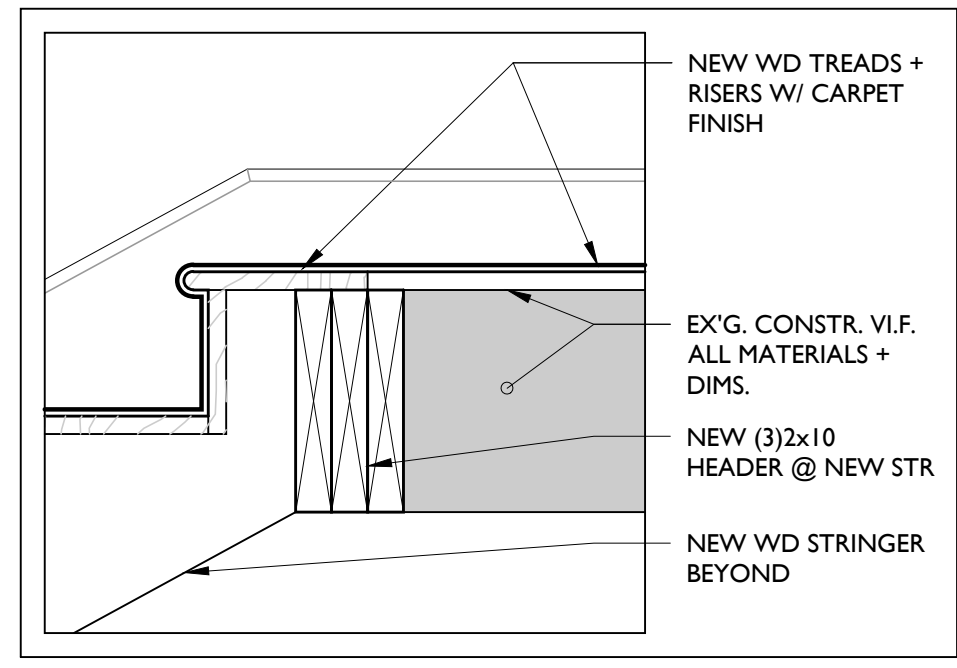
D2 NEW STAIR DETAIL
1 1/2" = 1'-0"



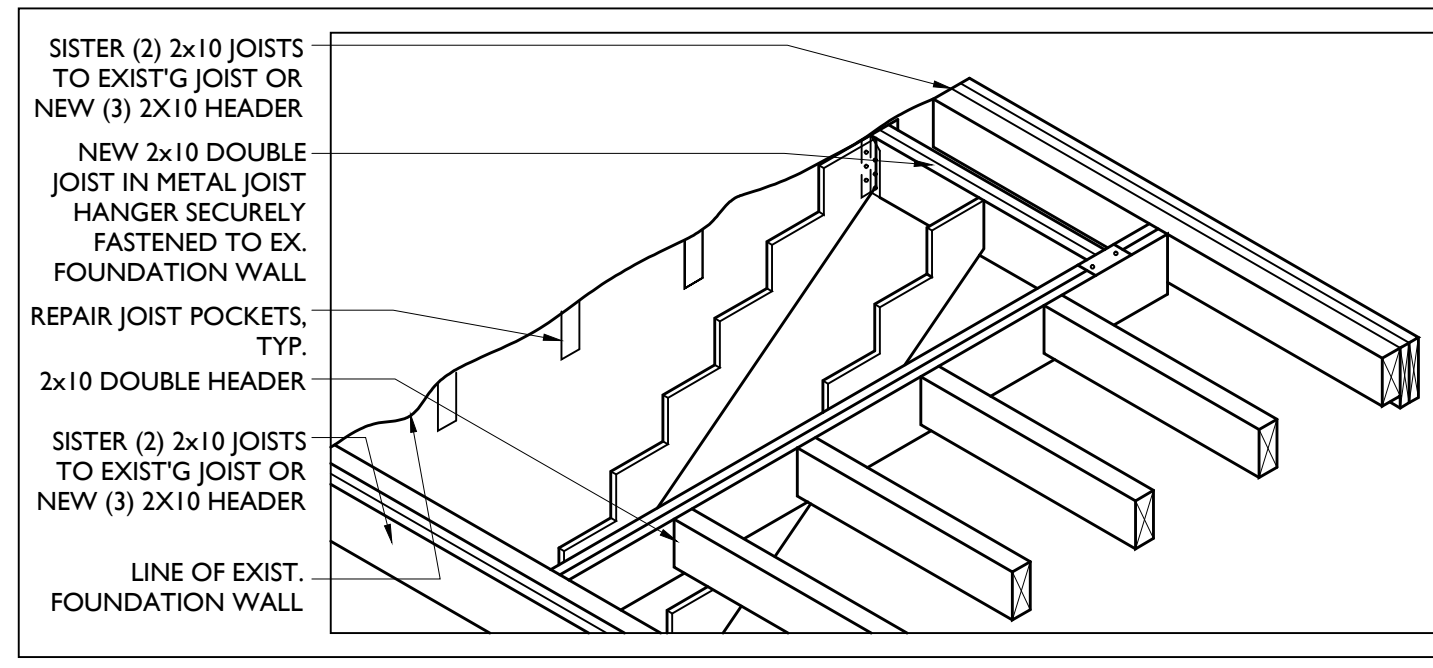
D3 NEW W.L. RAIL/GUARD DTL
3/4" = 1'-0"



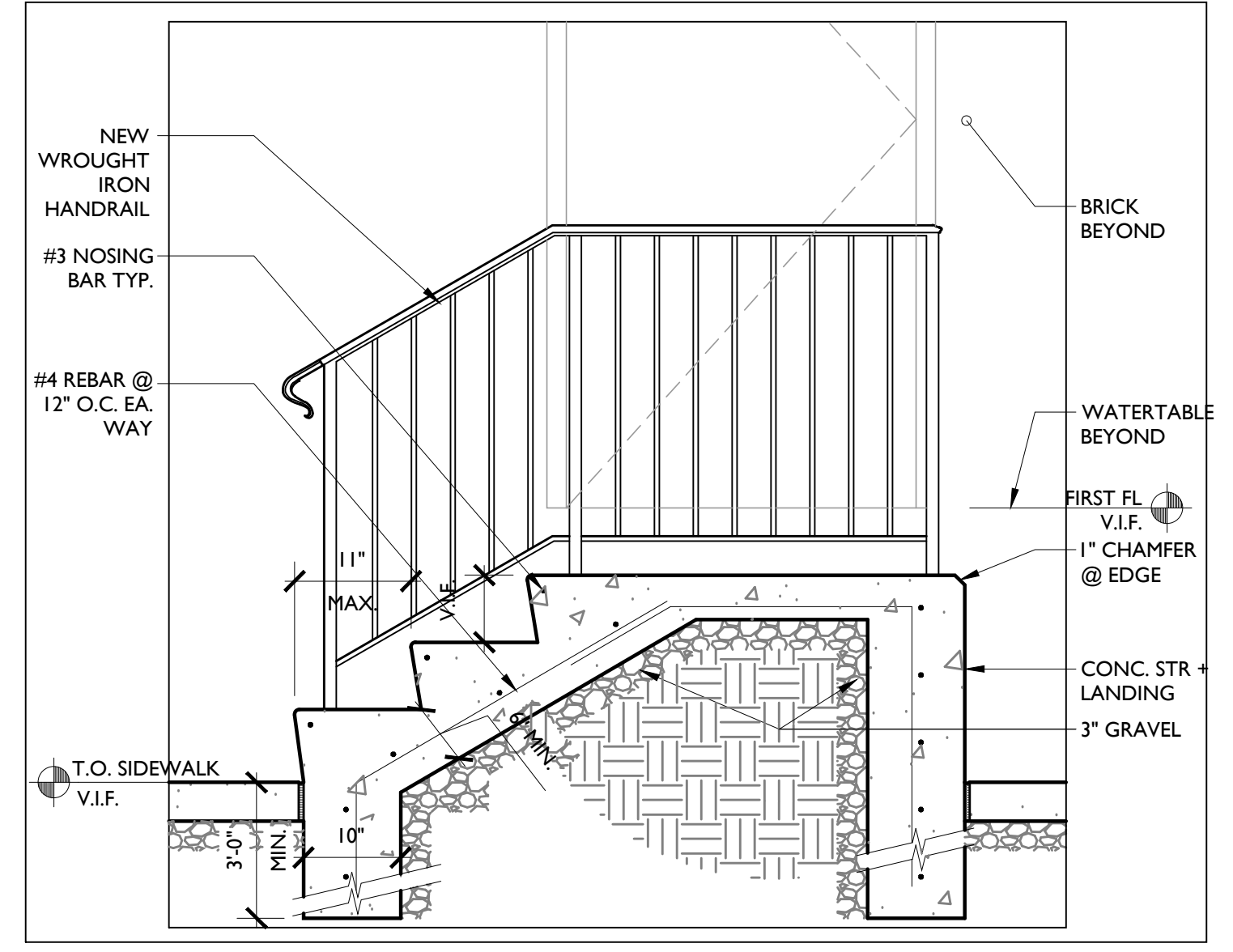
E1 NEW BASEMENT STAIR DETAIL
3/8" = 1'-0"



E2 NEW STAIR DETAIL
1 1/2" = 1'-0"



E3 NEW STAIR DETAIL
3/8" = 1'-0"



E4 NEW EXTERIOR STAIR DTL
3/4" = 1'-0"

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE AS SHOWN ON THE CONTRACT DOCUMENTS. THE WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS. ENGINEERING AUTHORITIES HAVING JURISDICTION. © 2014 CICADA ARCHITECTURE/PLANNING, INC.

REVISIONS:	DESCRIPTION:	BY:	DATE:

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PROJECT: POINT BREEZE SCATTERED SITE REHABS PHILADELPHIA REDEVELOPMENT AUTHORITY PHILADELPHIA, PA

SHEET TITLE: STAIR AND WALL SECTIONS & DETAILS

SCALE: AS NOTED
DRAWN BY: MB
APPROVED: KAR
DATE: 07/28/2014
DRAWING NO:

PROJECT NO.: 419.00

A4.1