

POINT BREEZE SCATTERED SITES REHABS

PHILADELPHIA REDEVELOPMENT AUTHORITY RENOVATIONS TO 2325 WATKINS STREET, PHILADELPHIA, PA

CODE INFORMATION

1. CITY OF PHILADELPHIA ZONING CODE:

- ZONING DISTRICT RSA-5
- BUILDING USE: SINGLE-FAMILY RESIDENCE
- MIN. LOT WIDTH: 16'-0"
- MIN. LOT AREA: 1440 SF
- MIN. % OPEN SPACE: 30% (INTERMEDIATE), 20% (CORNER)
- FRONT SETBACK: MATCH EX'G. ADJACENT BUILDINGS, 3RD STORY SETBACK MUST BE 8'-0" FROM PROPERTY LINE IF BOTH IMMEDIATELY ADJACENT STRUCTURES ARE TWO STORIES IN HEIGHT.
- REAR YARD: THE GREATER OF 9FT OR 20% OF LOT DEPTH
- HEIGHT: 38 FT

2. INTERNATIONAL BUILDING CODE + INTERNATIONAL RESIDENTIAL CODE, 2009:

- USE GROUP: RESIDENTIAL R3
- CONSTRUCTION TYPE: VB
- FIRE DISTRICT: CITY OF PHILADELPHIA
- CONSTRUCTION TYPE PERMITTED WITHIN FIRE DISTRICT: YES
- BUILDING HEIGHT & FIRE AREA LIMITATIONS

CONSTRUCTION USE GROUP	ALLOWABLE CLASSIFICATION	ALLOWABLE AREA S.F.	ALLOWABLE HEIGHT
R3	TYPE VB	UNLIMITED	3 STORIES

- BASEMENTS, HABITABLE SLEEPING ATTICS & SLEEPING ROOMS EMERGENCY EGRESS WINDOW SIZE REQUIREMENTS:

- MIN. NET CLEAR OPENING = 5.7 SF (5.0 SF ON GRADE FLOOR)
- MIN. NET CLEAR OPENING HEIGHT = 24 INCHES
- MIN. NET CLEAR OPENING WIDTH = 20 INCHES
- MAX. SILL HEIGHT = 44 INCHES
- STAIR REQUIREMENTS:
- MAX. RISER = 8 1/4 INCHES, MIN. TREAD 9 INCHES, MIN. WIDTH = 36 MAX. RISER VARIATION 3/8 INCH
- MIN. CLEAR HEADROOM = 6'-8" APPROX. 3/4" NOSING PROJECTION FOR CLOSED RISERS.
- HANDRAILS - REQUIRED ON ONE SIDE ONLY
- MIN. HEIGHT = MEASURED ABOVE NOSING: 34 INCHES, MAX. HEIGHT = 38 INCHES.
- GUARDRAILS - REQUIRED FOR STAIRS, PORCHES, BALCONIES, OR RAISED FLOORS MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
- MIN. HEIGHT = 36 INCHES MIN. AT BALCONIES AND FLOORS, 34" INCHES MIN. ABOVE NOSING OF STAIRS.
- MAX. OPENING BETWEEN INTERMEDIATE RAILS 4 INCHES
- SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED IN IMMEDIATE VICINITY OF BEDROOM/SLEEPING AREAS, IN ALL BEDROOMS, WITHIN EACH STORY INCLUDING THE BASEMENT.

3. BUILDING AREAS:

	GSF	NSF	# BEDROOMS	# BATHROOMS
BASEMENT:				
FIRST FL:	498 S.F.	405 S.F.	2	x
SECOND FL:	527 S.F.	433 S.F.		i
TOTAL:	1523 S.F.	820 S.F.	2	i

LOCATION MAP (NTS)



SYMBOL KEY

+ 461.0	EXISTING SPOT ELEVATION	100-A	DOOR/OPENING NUMBER
TB-2	TEST BORING	2'8"	NEW DOOR/DOOR SIZE
HIGH POINT OF ROOF EL. 20'-0"	LEVEL LINE	A1	REVISION NUMBER
2	COLUMN CENTER LINE	EXISTING CONSTRUCTION	EXISTING CONSTRUCTION
F1 A1.1	INTERIOR ELEVATIONS	NEW CONSTRUCTION	NEW CONSTRUCTION
F1 A1.1	WALL SECTION	CENTER LINE, FLOOR LINE	CENTER LINE, FLOOR LINE
F1 A1.1	BUILDING SECTION	PROPERTY LINE	PROPERTY LINE
I A1.1	DETAIL REFERENCE	OVERHEAD CONDITIONS	OVERHEAD CONDITIONS
F1 A1.1	ELEVATION	ITEMS TO BE DEMOLISHED	ITEMS TO BE DEMOLISHED
BEDROOM ROOM NAME CPT FLOOR FINISH		BREAK LINE	BREAK LINE
		DIMENSION TO CENTER LINE	DIMENSION TO CENTER LINE
		DIMENSION LINE	DIMENSION LINE
		EQUIPMENT NUMBER	EQUIPMENT NUMBER
		ANGLE	ANGLE
		PLATE	PLATE
		CENTER LINE	CENTER LINE
		RADIUS POINT	RADIUS POINT
		SPECIAL NOTE	SPECIAL NOTE
		HOSE BIB	HOSE BIB

ABBREVIATIONS

AB ANCHOR BOLT	EA EACH EXPANSION JOINT	LAM LAMINATED	SCHED SCHEDULE
ABV ABOVE	EJ ELECTRIC(AL)	LT LIGHT	SC SOLID CORE
ACT ACOUSTIC CEILING TILE	ELEC ELEVATION	LVR LOUVER	SF SQUARE FEET
ADJ ADJACENT	EL ELEVATOR/ELEVATION	MANUF MANUFACTURE(R)	SHT SHEET
AFF ABOVE FINISHED FLOOR	EQ EQUAL	MAT MATERIAL	SIM SIMILAR
ALUM ALUMINUM	EST ESTIMATED	MECH MECHANICAL	SL SEALANT
ACP ACOUSTIC CEILING PANELS	ETR EXISTING TO REMAIN	MO MASONRY OPENING	SL & BR SEALANT & BACKER ROD
ARCH ARCHITECT(URAL)	EWC EXHAUST COOLER	MR MOISTURE RESISTANT	SLF SHEET LINOLEUM FLOORING
@ AT	EXG EXISTING	MRBL MARBLE	SP SUMP PUMP
BACKSPL BACKSPLASH	EXIST EXISTING	MSNRY MASONRY	SPECS SPECIFICATIONS
BD BOARD	EXH EXHAUST	MTD MOUNTED	STC SOUND TRANSMISSION CLASS
BTWN BETWEEN	EXT EXTERIOR	NEC NECESSARY	STD STANDARD
BLDG BUILDING	FD FLOOR DRAIN	NIC NOT IN CONTRACT	STL STEEL
BLK BLOCK	FE FIRE EXTINGUISHER	NO NUMBER	STN STONE
BLKG BLOCKING	FEC FIRE EXTINGUISHER CABINET	NRC NOISE REDUCTION COEFFICIENT	STSL STAINLESS STEEL
BO BOTTOM OF	FIN FINISH(ED)	NTS NOT TO SCALE	STRUC STRUCTURE(AL)
BOC BOTTOM OF CURB	FLD FIELD	OC ON CENTER	SUSP SUSPEND(ED)
BOT BOTTOM	FLSG FLASHING	OD OUTSIDE DIAMETER	SVF SHEET VINYL FLOORING
BRK BRICK	FLR FLOOR	OPPHD OPPOSITE HAND	T TREAD
BSMT BASEMENT	FO FACE OF	OPNG OPENING	TA TOILET ACCESSORY
BUR BUILT UP ROOFING	FR FRAME	ORIG ORIGINAL	THK THICK/THICKNESS
CAB CABINET	FRT FLAME RETARDANT TREATED	PERF PERFORATED	THRES THRESHOLD
CB CATCH BASIN	FRTG FIRE RATING	PL PLATE	TO TOP OF
CEM CEMENT	FUR FURRING	PLAM PLASTIC LAMINATE	TOC TOP OF CURB
CER CERAMIC	GA GAUGE	PLSTR PLASTER	TYP TYPICAL
CJ CONTROL JOINT	GALV GALVANIZED	PLYWD PLYWOOD	UL UNDERWRITERS LABORATORIES
CL CENTER LINE	GC GENERAL CONTRACTOR	PNL PANEL	UNO UNLESS NOTED OTHERWISE
CLG CEILING	GL GLASS	PR PAIR	VB VAPOR BARRIER
CMU CONCRETE MASONRY UNIT	GWB GYPSUM WALL BOARD	PT PRESSURE TREATED	VCB VINYL COVE BASE
COL COLUMN	GYP GYPSUM	PTD PAINTED	VCT VINYL COMPOSITE TILE
COMP COMPOSITE/COMPOSITION	HC HOLLOW CORE	QT QUARRY TILE	VERT VERTICAL
CONC CONCRETE	HDW HARDWARE	R RADIUS/RISE	VIF VERIFY IN FIELD
CONTR CONTRACT(OR)	HM HOLLOW METAL	RCB RUBBER COVE BASE	W/ WITH
CORR CORRIDOR	HOR HORIZONTAL	RD ROOF DRAIN	W/O WITHOUT
CPT CARPET	HT HEIGHT	RECP RECEPTACLE	WD WOOD
CS COURSE	HDWD HARDWOOD	REFRB REFURBISH	WDW WINDOW
CTR COUNTER	ID INSIDE DIAMETER	REIN REINFORCED/REINFORCING	WVP WATERPROOFING
CT CERAMIC	INSUL INSULATION	RELOC RELOCATE	WRB WATER RESISTIVE BARRIER
DTL DETAIL	INT INTERIOR	REM REMOVE(D)	WSC WAINSCOT
DIA DIAMETER	JT JOINT	REQD REQUIRED	WWF WELDED WIRE FABRIC
DIM DIMENSION	JST JOIST	RF MEM ROOFING MEMBRANE	
DN DOWN		RO ROUGH OPENING	
DS DOWNSPOUT		RWC RAINWATER CONDUCTOR	
DR DOOR			
DWG DRAWING			

DRAWING LIST

CS COVER SHEET
A1.1 FLOOR PLANS, DEMO PLANS & FRAMING PLANS
A1.2 REFLECTED CEILING PLANS
A2.1 INTERIOR AND EXTERIOR ELEVATIONS
A4.1 STAIR AND WALL SECTIONS & DETAILS
A6.1 SCHEDULES AND DETAILS
A6.2 SCHEDULES AND DETAILS

GENERAL NOTES

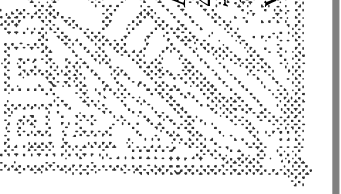
- REMOVE ALL DEBRIS AND VEGETATION FROM SITE. DEMOLISH ALL EXISTING REAR YARD PAVING + CURBS, COMPLETE. DEMOLISH GARDEN/SITE WALLS UNLESS INDICATED TO REMAIN ON PLANS. COORDINATE WITH NEIGHBORING PROPERTIES AS REQUIRED. INSTALL NEW 4" CONC. PAVING WITH LANDSCAPING BEDS AS INDICATED ON PLANS. SLOPE CONC. PAVING TO NEW AREA DRAIN.
- DEMO EXISTING ROOF SYSTEM, COMPLETE. INSTALL NEW LOW-SLOPE MODIFIED BITUMEN ROOF WITH GRANULAR WHITE COATING. FURNISH AND INSTALL NEW ALUM. COPING, SCUPPER AND DOWNSPOUTS, TYP.
- DEMO ALL INTERIOR WALLS, FINISHES & TRIM, HVAC, PLUMBING & ELECTRICAL SYSTEMS. DEMO ALL EXISTING WINDOWS AND INSTALL NEW WINDOWS IN EX'G OPENINGS. INSTALL NEW EXTERIOR DOORS, WITH STORM DOORS AT ALL REAR DOORS AND SECURITY STORM DOOR WHERE INDICATED AT FRONT DOORS.
- DEMO ALL EXISTING NON-FUNCTIONING CHIMNEYS, COMPLETE.
- NEW INTERIOR PARTITIONS ARE TO BE WALL TYPE (B) U.O.N. PROVIDE NEW INTERIOR STANDING AND RUNNING TRIM AND DOORS.
- INSTALL CLOSET ROD & SHELF AT ALL CLOSETS EXCEPT AT LINEN CLOSETS. INSTALL NEW VENTILATED WHITE WIRE SHELVING AT ALL LINEN CLOSETS, (5) SHELVES PER LINEN CLOSET.
- ALL STAIRS SHALL HAVE 9" TREADS WITH 1" OVERHANG, 8 1/4" MAX. RISERS, & 80" HEAD CLEARANCES FROM FRONT OF TREAD TO BOTTOM OF CEILING.
- AIR SEAL ALL DRYWALL ASSEMBLIES. INSTALL CONTINUOUS SEALANT ALONG: (1) ALL EXTERIOR WALL BOTTOM AND TOP PLATES, (2) ALL TOP PLATES AT INSULATED CEILINGS, (3) ROUGH OPENING PERIMETERS, (4) BOTH SIDES OF THE FIRST INTERIOR STUD OF PARTITION WALLS, (5) ALL RECESSED LIGHT FIXTURES IN INSULATED CEILINGS, AND (6) ALL ELECTRIC BOX PENETRATIONS.
- DEMO ALL EXISTING FENCES. COORDINATE W/ NEIGHBORING PROPERTIES. INSTALL NEW 6'-0" WOOD SHADOWBOX STYLE PERIMETER FENCE W/ 3'-0" SWINGING GATE AT ALL REAR YARDS.
- CLEAN AND REPOINT ALL BRICK FRONT FACADES.
- DEMO EXISTING SLABS IN BASEMENTS AND EXCAVATE FOR NEW SLAB AND DRAINAGE FILL. DO NOT EXCAVATE BELOW THE LEVEL OF THE BOTTOM OF THE EXISTING BASEMENT FOUNDATION WALLS. INSTALL NEW 4" CONC SLAB ON 4" DRAINAGE FILL & VAPOR BARRIER WITH PERIMETER PERFORATED DRAIN PIPE SLOPED TO DRAIN TO NEW SUMP PIT.
- PARGE INTERIOR FACE OF ALL EXISTING BASEMENT WALLS.
- PARGE INTERIOR FACE OF ALL EXISTING MASONRY WALLS AT FIRST FLOOR AND SECOND FLOOR INCLUDING PARTY WALL.
- CONTRACTOR TO CONTACT PENNSYLVANIAN ONE CALL SYSTEM, 1-800-242-1776, FOR LOCATION OF ALL SITE UTILITIES IN SIDEWALK AND STREET PRIOR TO THE START OF ANY EXCAVATION.

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE AS SHOWN ON THE CONTRACT DOCUMENTS. THE WORK SHALL COMPLY WITH APPLICABLE CODES AND REGULATIONS HAVING JURISDICTION. © 2014 CICAADA ARCHITECTURE/PLANNING, INC.

REVISIONS	DESCRIPTION	DATE	BY
No. 1	ADDENDUM #1	09/17/14	MB

CONSULTANTS	DATE	BY

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40 W. EVERGREEN AVE. STE. 104, PHILADELPHIA, PA 19118
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PROJECT: POINT BREEZE SCATTERED SITES REHABS
PHILADELPHIA REDEVELOPMENT AUTHORITY
PHILADELPHIA, PA

SHEET TITLE: COVER SHEET
2325 WATKINS ST.
PROJECT NO.: 419.00

SCALE	AS NOTED
DRAWN BY:	TS
APPROVED:	MB
DATE:	07/28/2014
DRAWING NO.:	



LIGHTING/POWER SYMBOLS:

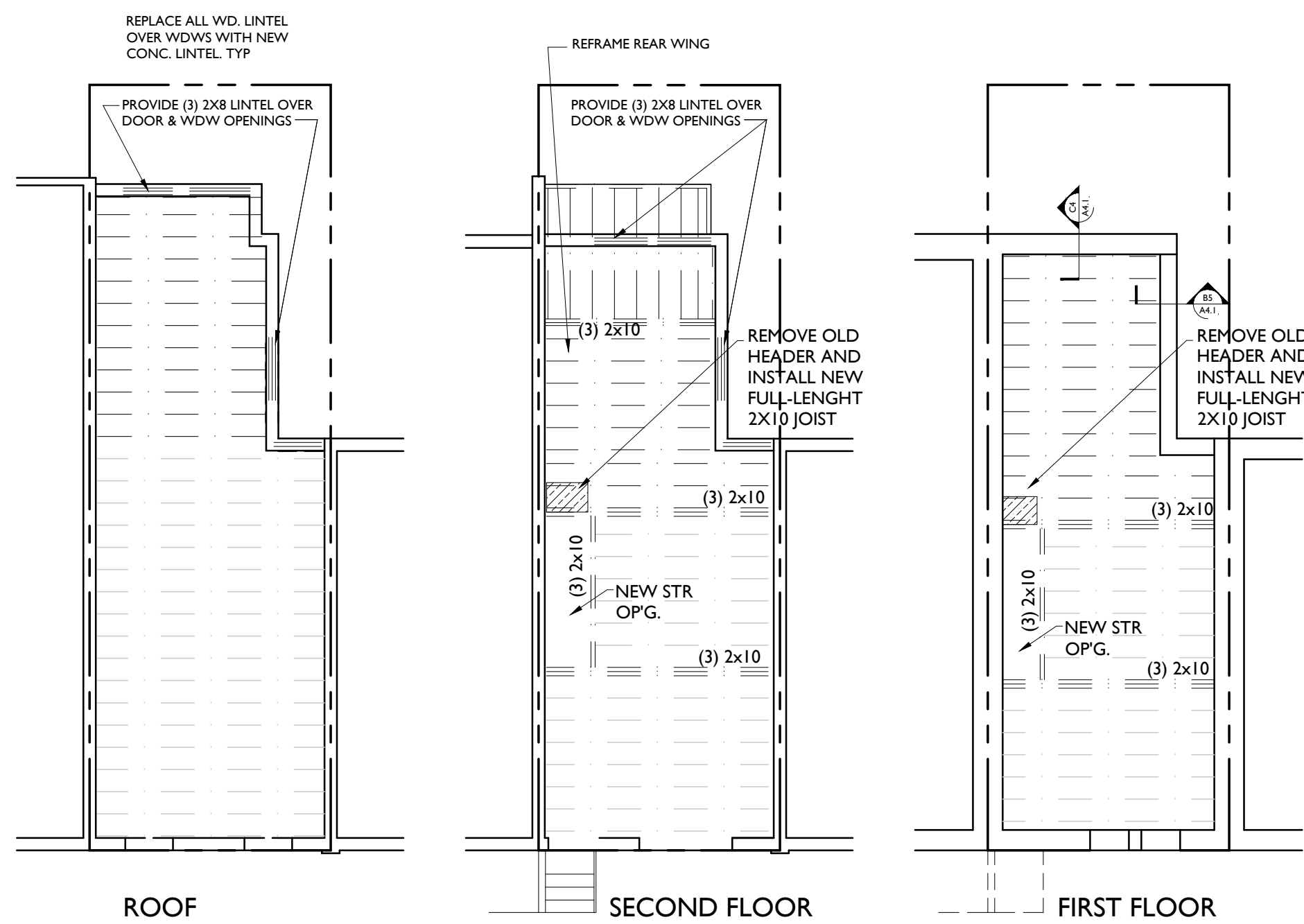
	TELEPHONE/DATA		SWITCH		ELEC PANEL
	TV CABLE		EXHAUST FAN		DOOR BELL
	RECESSED FIXTURE		ELECTRIC OUTLET		2X4 SURFACE FLUORESCENT
	WALL-MTD FIXTURE		SMOKE DETECTOR		UNDERCABINET LIGHT SIZE TO SUIT CONDITIONS
	PENDANT FIXTURE		SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR		
	JUNCTION BOX		CEILING-MTD FIXTURE		
	HOSE BIB		CEILING FAN w/ Light		

KEY NOTES

- 01 CLOSET ROD AND SHELF.
- 02 NEW CONCRETE PAVING WITH CONTROL JOINTS AS SHOWN.
- 03 NEW EXTERIOR STAIR AND LANDING WITH HANDRAIL SEE DET. E4/A.1
- 04 NEW GUTTER/SCUPPER, DOWNSPOUT, CAST IRON BOOT AND AREA DRAIN. PROVIDE NEW STORMWATER LINE AND CLEANOUT IN BASEMENT.
- 05 NEW 6'-0" WOOD SHADOWBOX TYPE FENCE AND 3'-0" W GATE W/ LOCKING HARDWARE.
- 06 NEW HOSE BIBB.
- 07 NEW 4" CONCRETE SLAB; SLOPE TO SUMP PUMP. EXCAVATE TO ACHIEVE MIN. 7'-6" CLG HT IN BASEMENT. INSTALL NEW 4" PERF. DRAINAGE PIPE AROUND SLAB PERIMETER + CONNECT TO SUMP PUMP.
- 08 SEED + SOD PLANTING BED.
- 09 PROVIDE WASHER/DRYER HOOK-UPS BOX.
- 10 NEW EXTERIOR STAIR AND LANDING.
- 11 NEW BLOCK VENT.

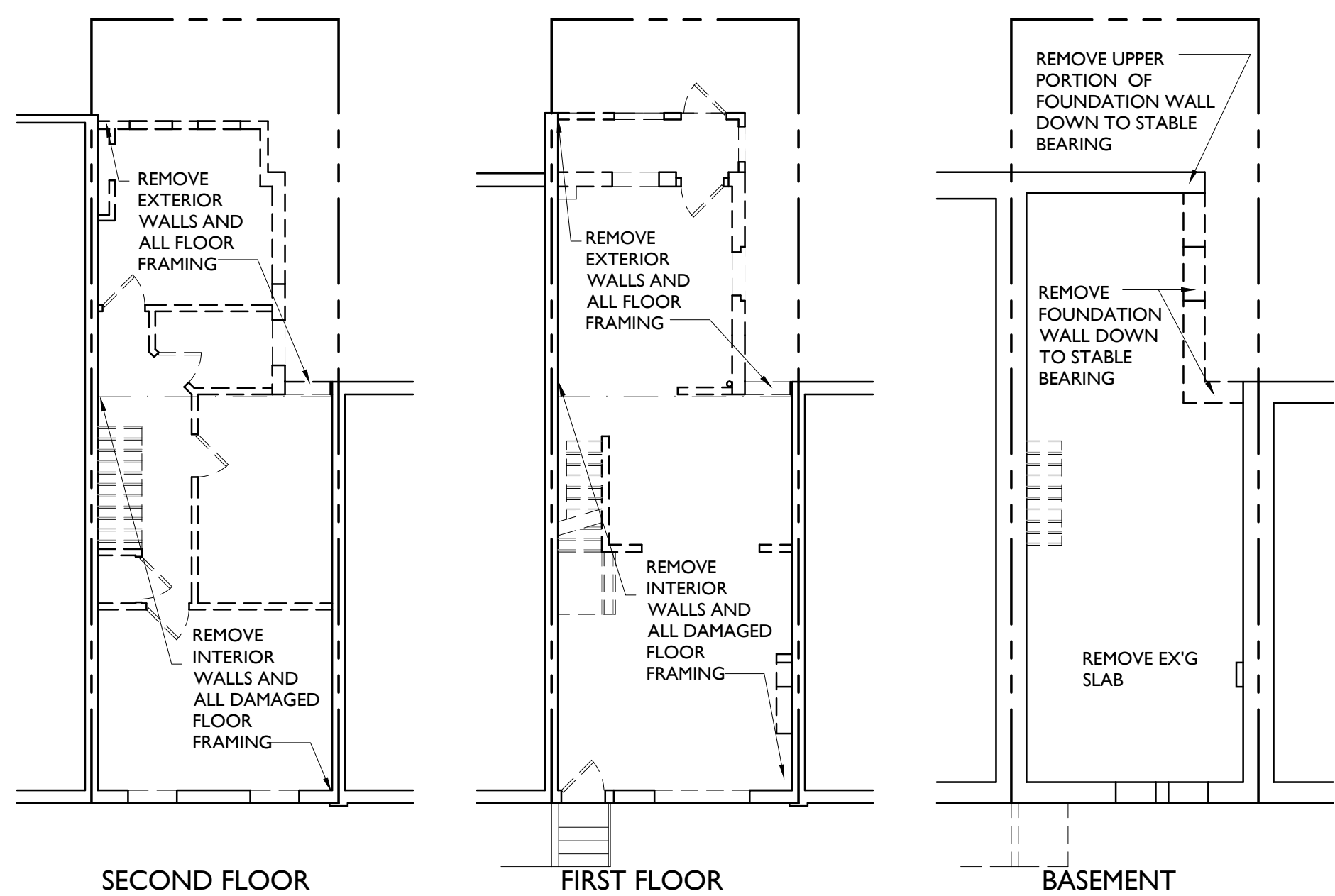
DRAWING KEY

	NEW PARTITION
	NEW WORK
	EX'G. TO REMAIN
	EX'G. TO BE DEMOLISHED
	2 HR FIRE RATED CONSTR.
	SUPPLY GRILLE
	RETURN GRILLE
	SUPPLY DUCT
	RETURN DUCT
	WALL RETURN

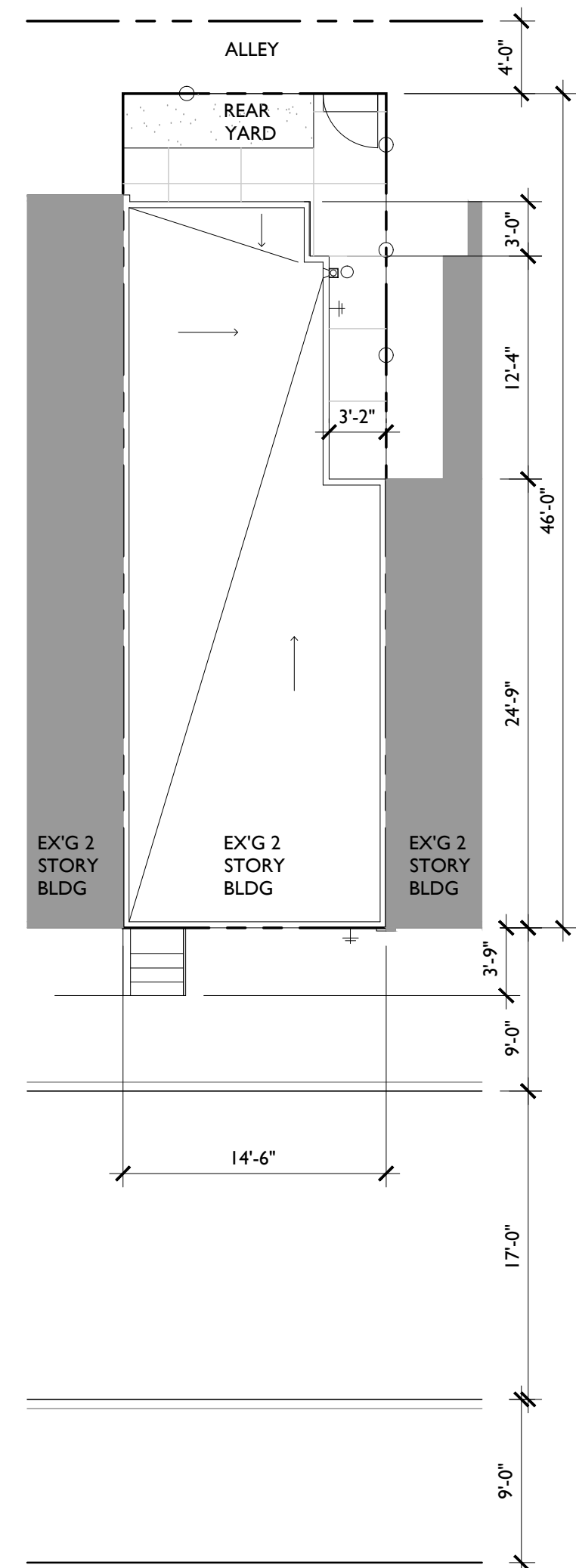


C1 STRUCTURAL FRAMING PLANS
1/8" = 1'-0"

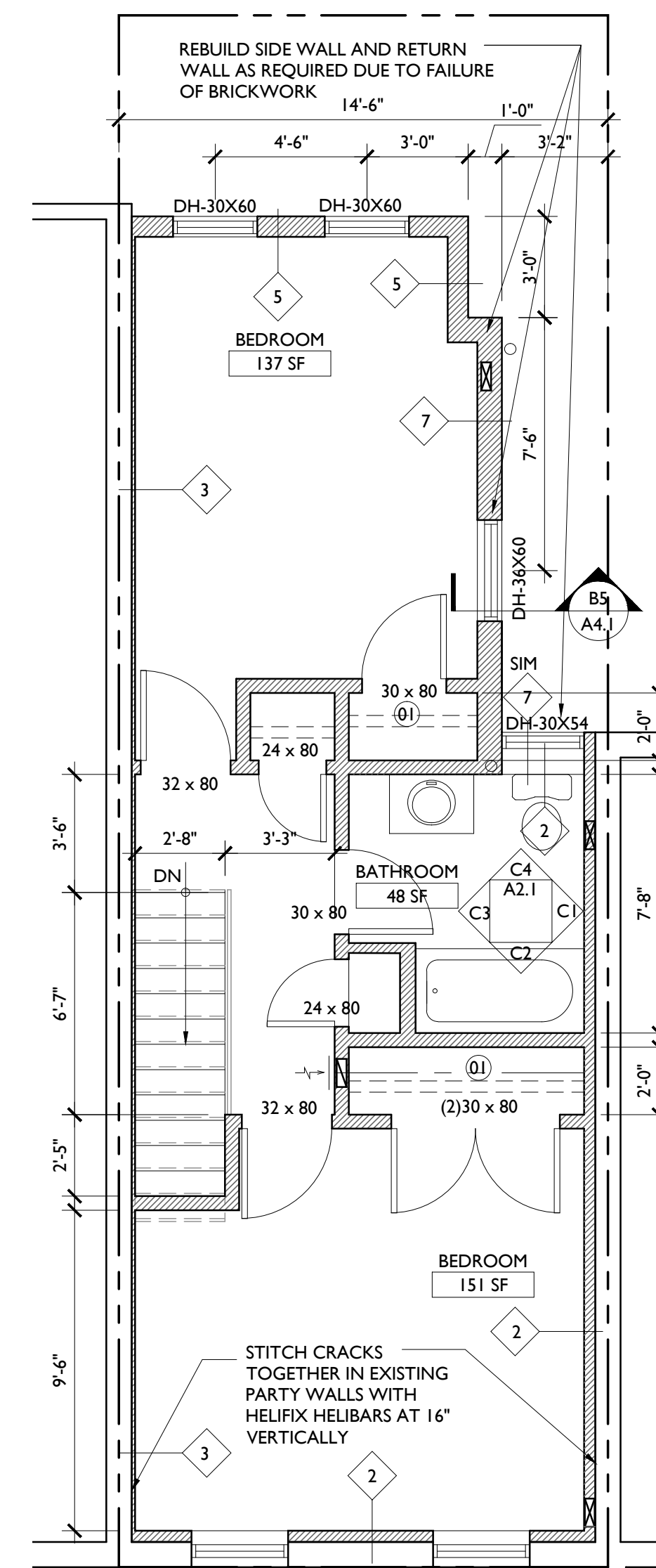
DEMO - FRAMING NOTE
I. DEMO TO STRUCTURE. AT REAR WING DEMO EXISTING EXTERIOR WALLS AND ALL FLOOR AND ROOF FRAMING. AT FRONT SECTION OF BUILDING REMOVE ALL DAMAGED FLOOR JOISTS AND ROOF RAFTERS. ASSUME 67% REPLACEMENT OF EXISTING JOIST AND RAFTERS WHERE NEEDED WITH 2X10 FRAMING 16" O.C.. REFRAME REAR WING AS INDICATED W/ 2X10'S 16" O.C. AND AS REQUIRED FOR NEW STAIR OPENINGS. SEE SECTION B4/A4.1 AND DETAILS E2 & E3/A4.1.



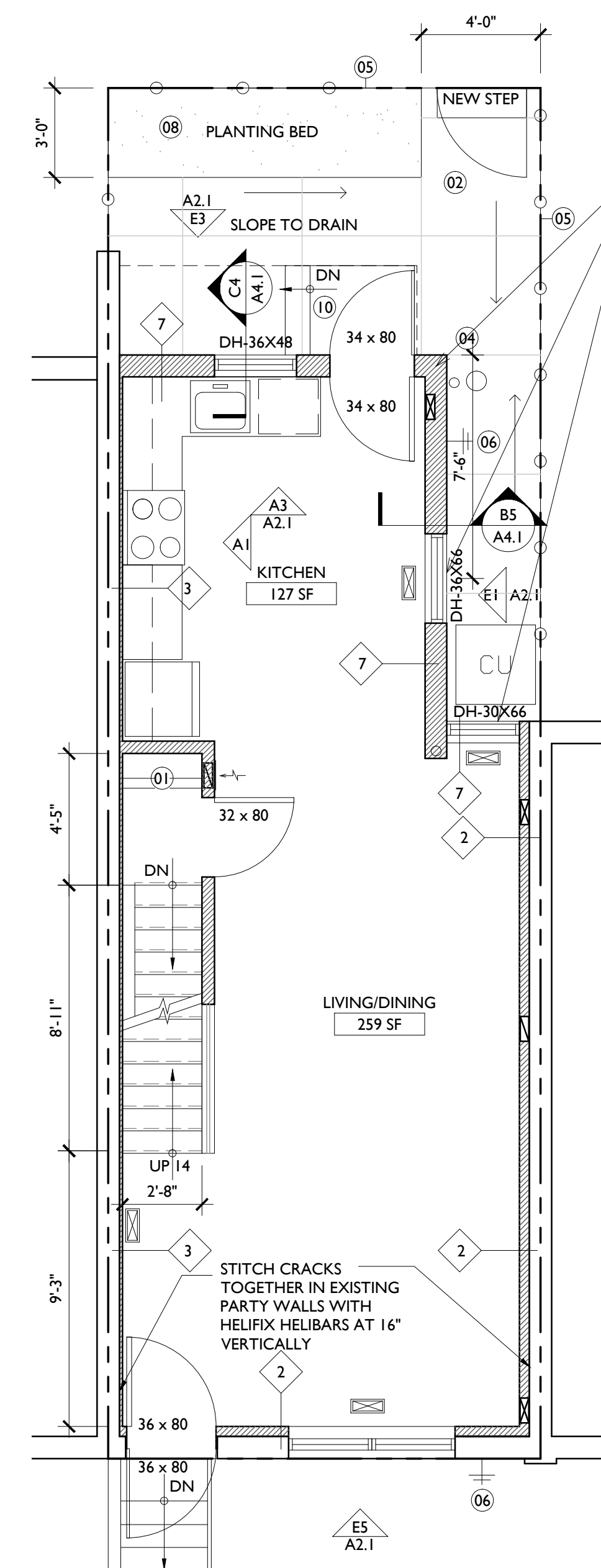
E1 DEMOLITION PLANS
1/8" = 1'-0"



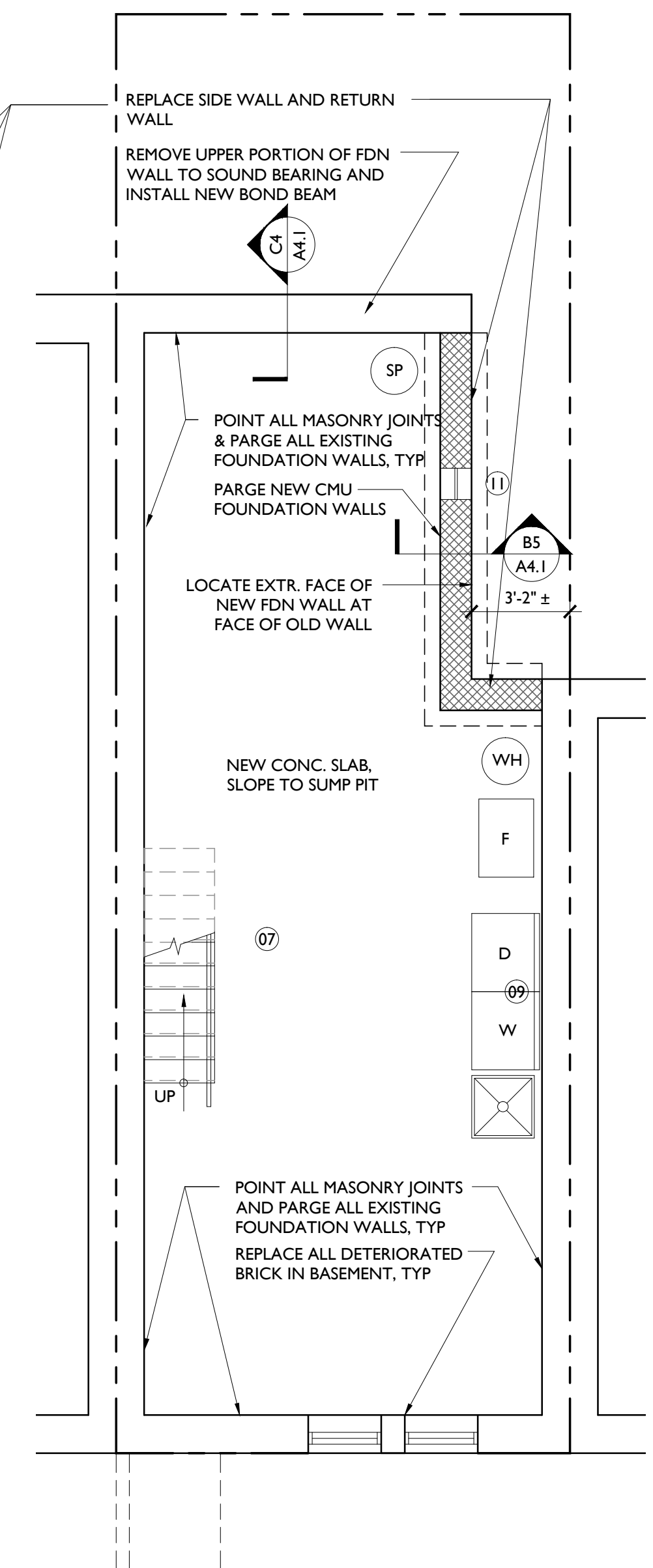
E3 ROOF/SITE PLAN
1/8" = 1'-0"



E4 SECOND FLOOR PLAN
1/4" = 1'-0"



E5 FIRST FLOOR PLAN
1/4" = 1'-0"



E6 BASEMENT FLOOR PLAN
1/4" = 1'-0"

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REVISIONS:
No. DATE BY DESCRIPTION
1 09/17/14 MB

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PROJECT:
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PHILADELPHIA REDEVELOPMENT AUTHORITY
PHILADELPHIA, PA

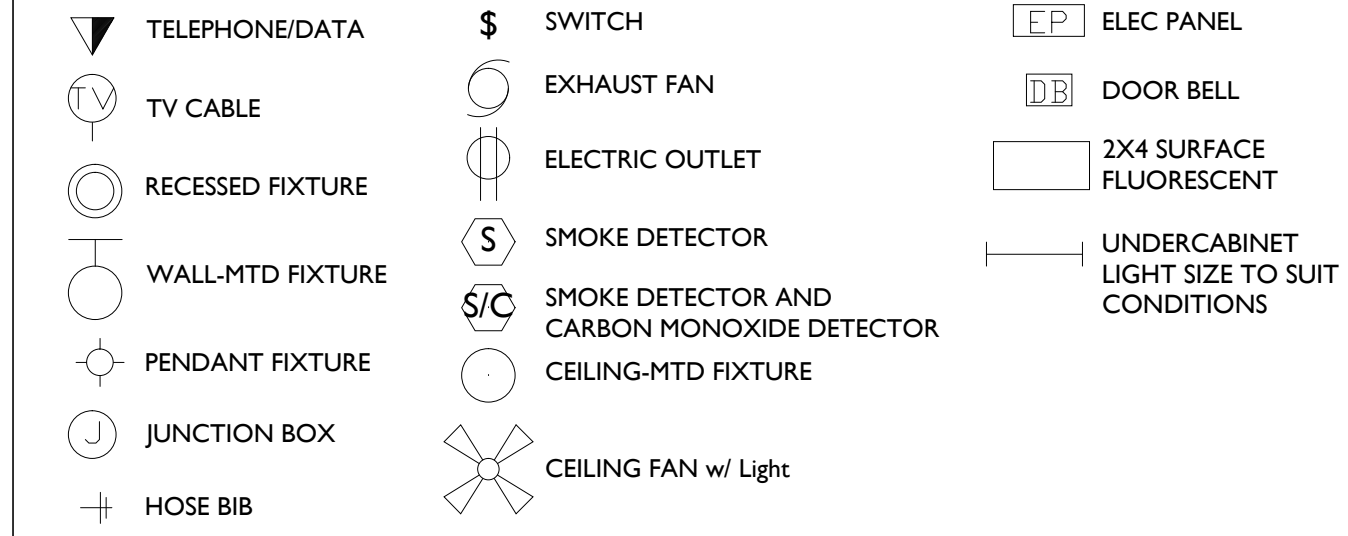
SHEET TITLE:
FLOOR PLANS, DEMO & FRAMING
2325 WATKINS ST.

PROJECT NO.: 419.00

SCALE: AS NOTED
DRAWN BY: TS
APPROVED: MB
DATE: 07/28/2014
DRAWING NO:

A1.1

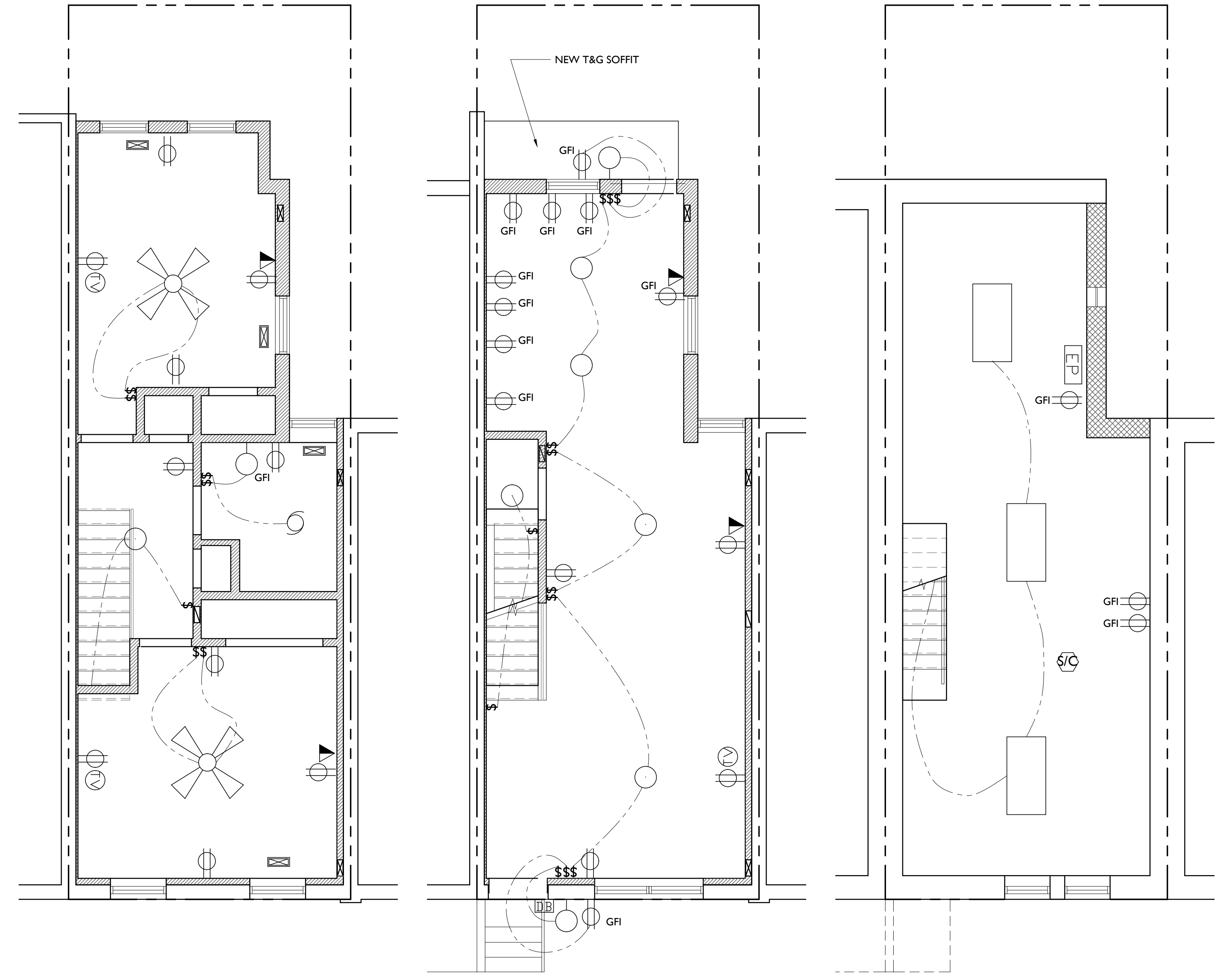
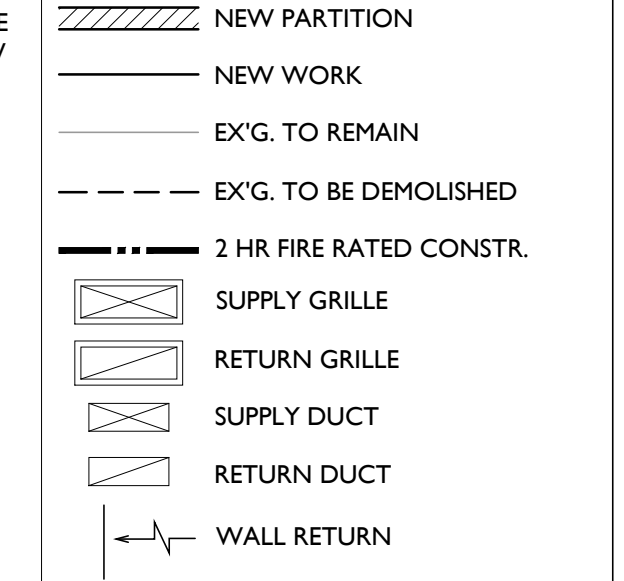
LIGHTING/POWER SYMBOLS:



KEY NOTES

- 01 CLOSET ROD AND SHELF.
- 02 NEW CONCRETE PAVING WITH CONTROL JOINTS AS SHOWN.
- 03 NEW EXTERIOR STAIR AND LANDING WITH HANDRAIL SEE DET. E4/A.1
- 04 NEW GUTTER/SCUPPER, DOWNSPOUT, CAST IRON BOOT AND AREA DRAIN. PROVIDE NEW STORMWATER LINE AND CLEANOUT IN BASEMENT.
- 05 NEW 6'-0" WOOD SHADOWBOX TYPE FENCE AND 3'-0"W GATE W/ LOCKING HARDWARE.
- 06 NEW HOSE BIBB.
- 07 NEW 4" CONCRETE SLAB; SLOPE TO SUMP PUMP. EXCAVATE TO ACHIEVE MIN. 7'-6" CLG HT IN BASEMENT. INSTALL NEW 4" PERF. DRAINAGE PIPE AROUND SLAB PERIMETER + CONNECT TO SUMP PUMP.
- 08 SEED + SOD PLANTING BED.
- 09 PROVIDE WASHER/DRYER HOOK-UPS BOX.
- 10 NEW EXTERIOR STAIR AND LANDING.
- 11 NEW BLOCK VENT.

DRAWING KEY

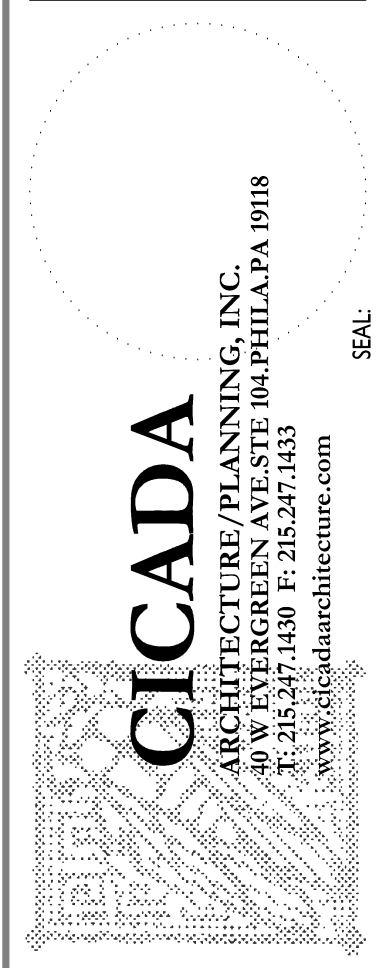


E4 REFLECTED CEILING PLANS
1/4" = 1'-0"

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REVISIONS:	NO.	DATE	DESCRIPTION
	1	09/17/14	ADDENDUM #1
	2		
	3		
	4		
	5		
	6		

CONSULTANTS:

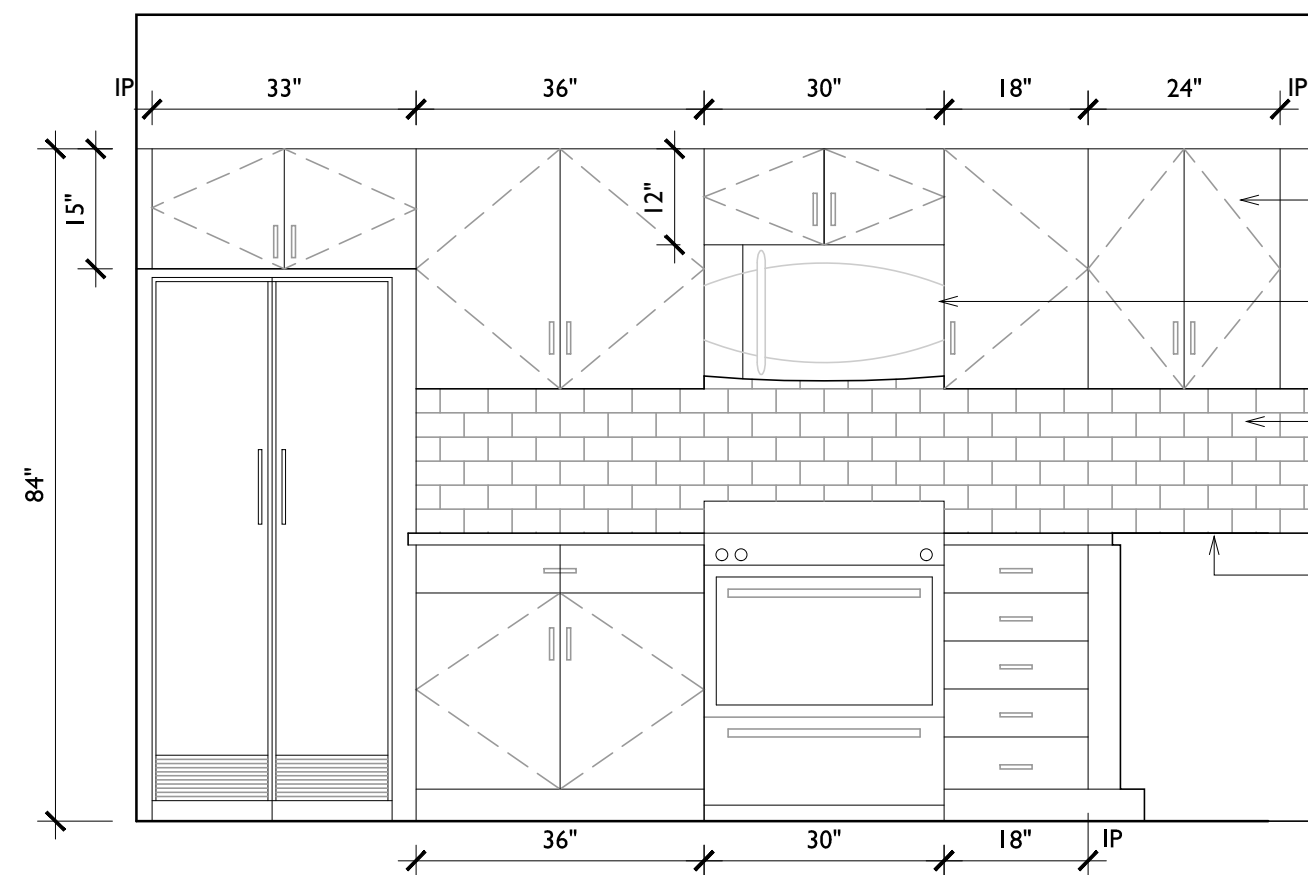


PROJECT:
POINT BREEZE
SCATTERED SITE
REHABS
PHILADELPHIA REDEVELOPMENT AUTHORITY
PHILADELPHIA, PA

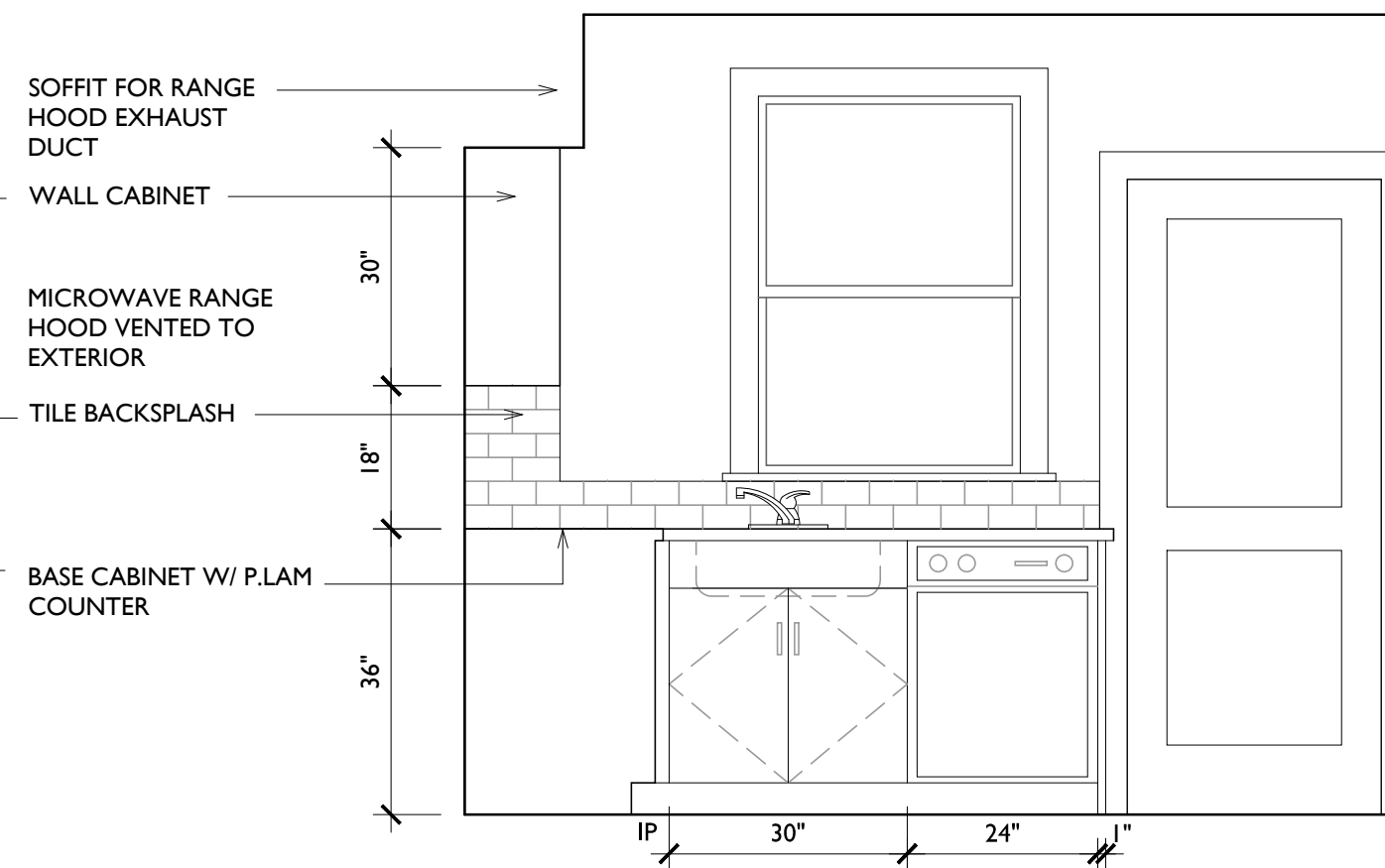
SHEET TITLE:
REFLECTED CIG PLAN
2325 WATKINS ST.

SCALE:	AS NOTED
DRAWN BY:	TS
APPROVED:	MB
DATE:	07/28/2014
DRAWING NO.:	419.00

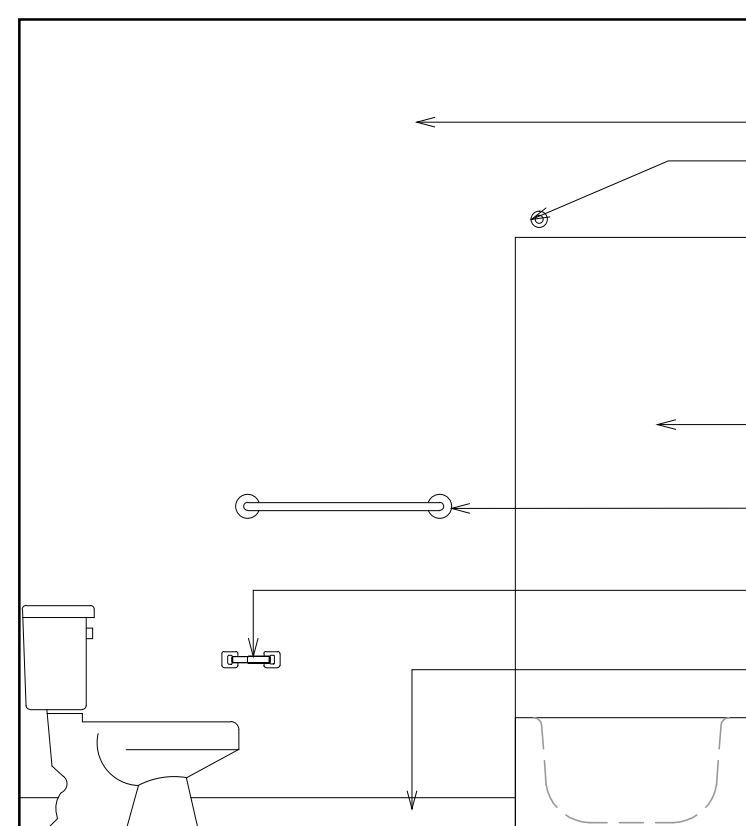
A1.2



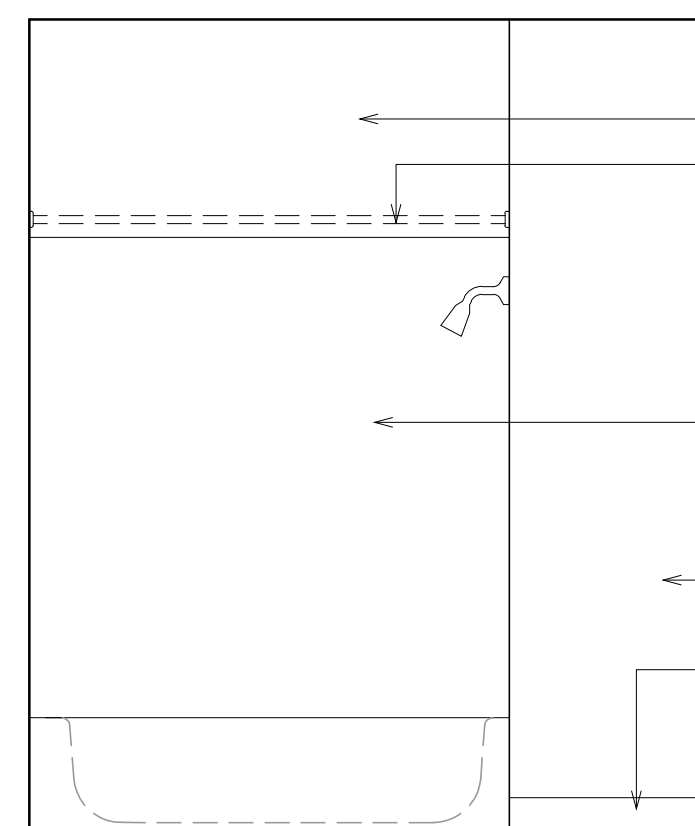
A1 KITCHEN ELEVATION
1/2" = 1'-0"



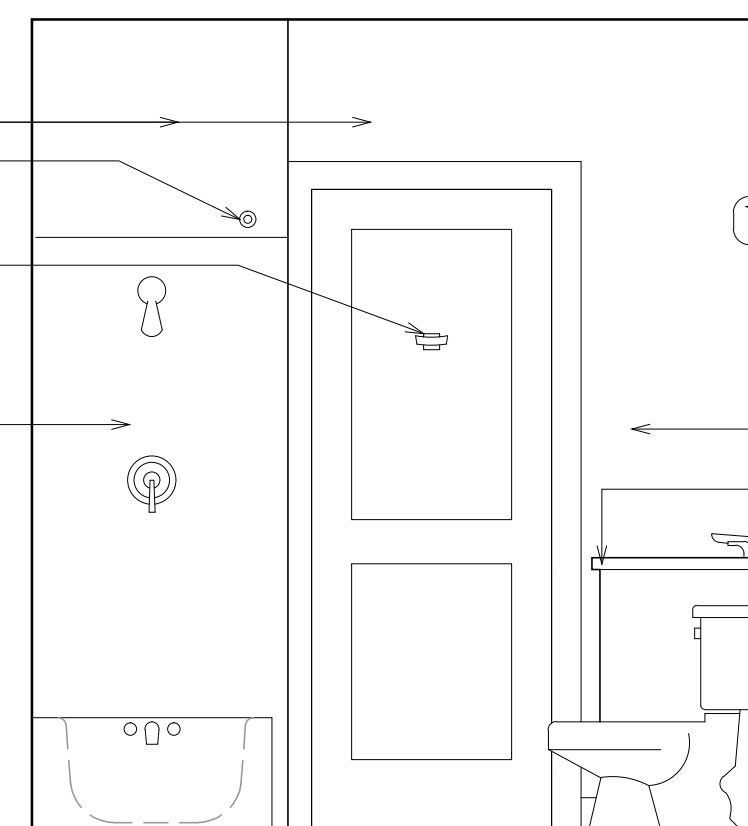
A3 KITCHEN ELEVATION
1/2" = 1'-0"



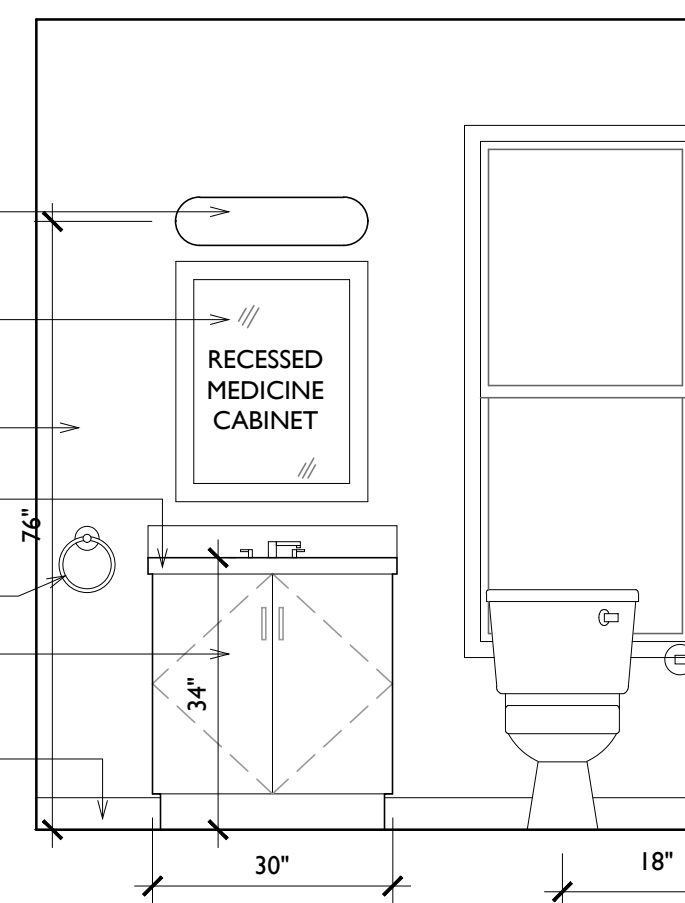
C1 BATH ELEVATION
1/2" = 1'-0"



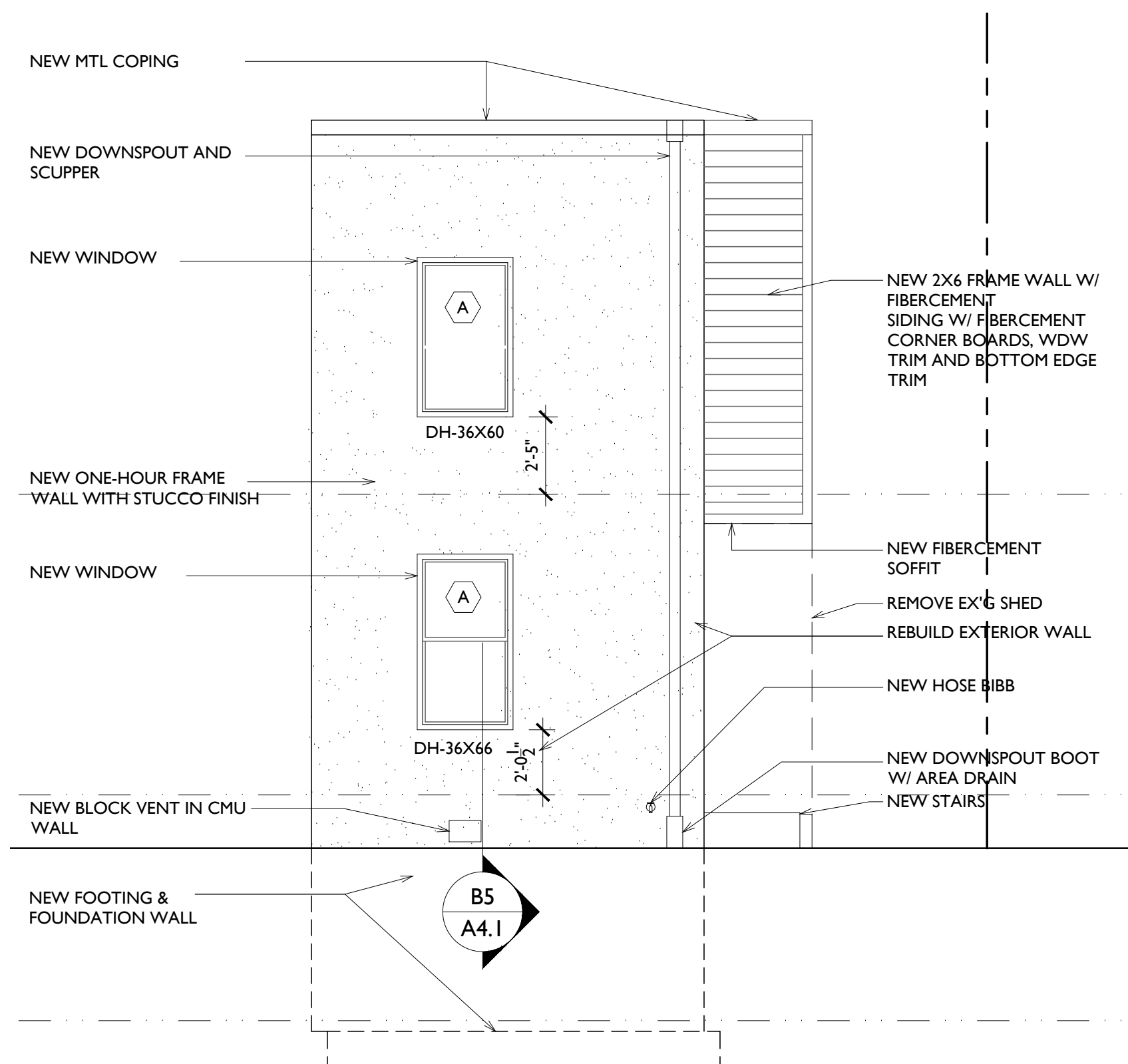
C2 BATH ELEVATION
1/2" = 1'-0"



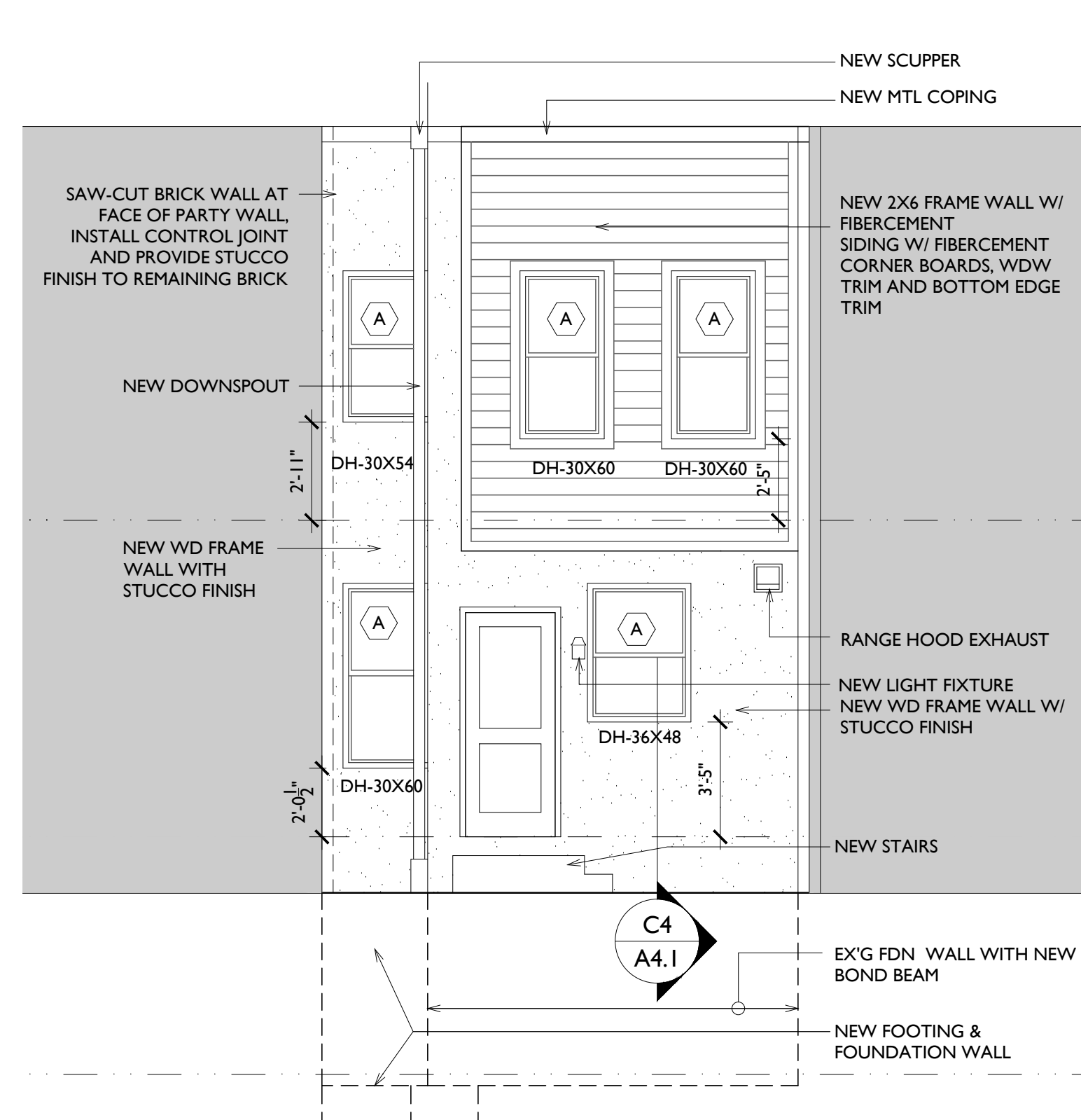
C3 BATH ELEVATION
1/2" = 1'-0"



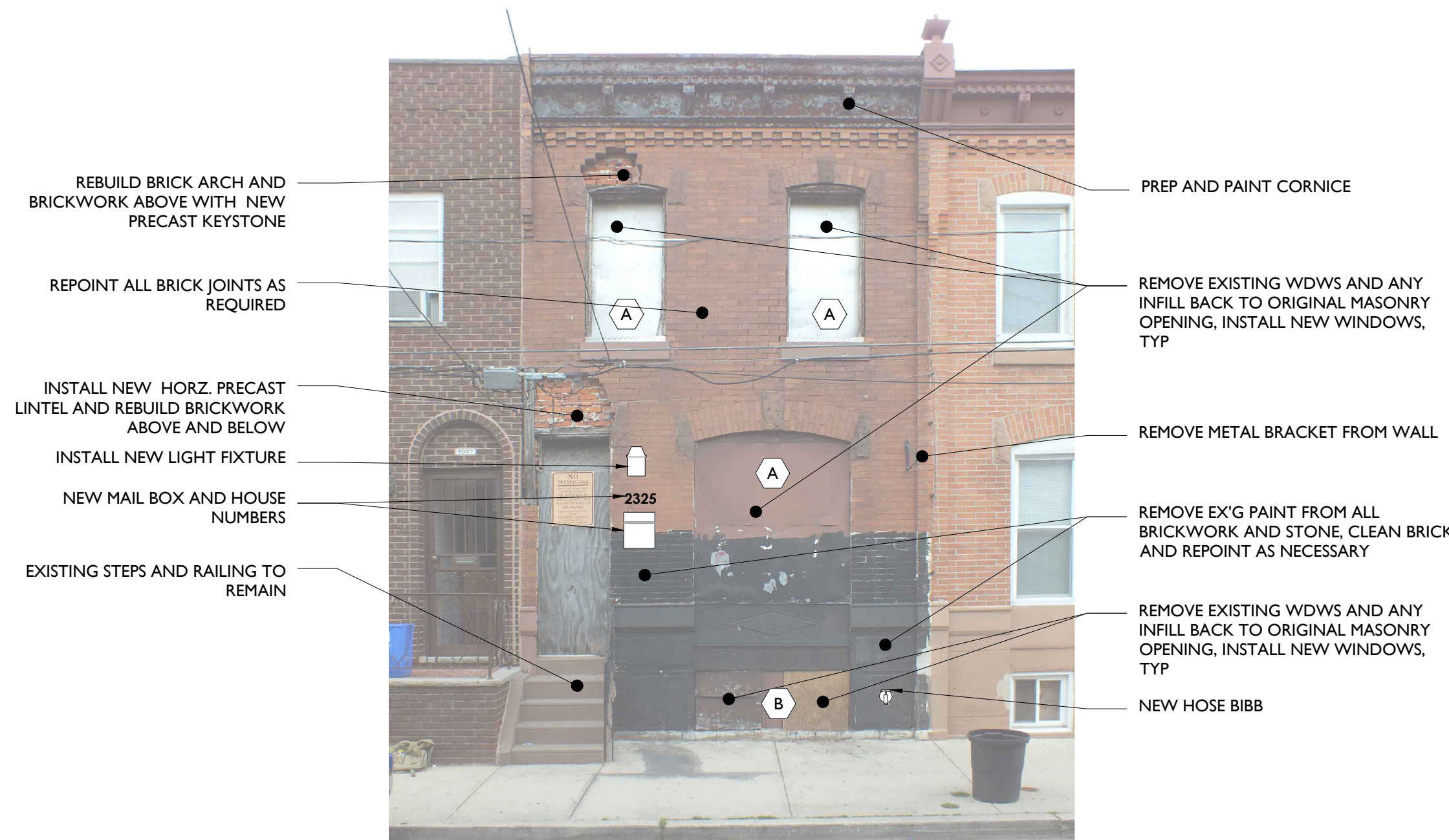
C4 BATH ELEVATION
1/2" = 1'-0"



E1 SIDE ELEVATION
1/4" = 1'-0"



E3 REAR ELEVATION
1/4" = 1'-0"



E5 FRONT ELEVATION
1/4" = 1'-0"

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PROJECT:
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SCATTERED SITE
REHABS
PHILADELPHIA REDEVELOPMENT
AUTHORITY
PHILADELPHIA, PA

SHEET TITLE:
INTERIOR & EXTERIOR
ELEVATIONS
2325 WATKINS ST.

SCALE:	AS NOTED
DRAWN BY:	TS
APPROVED:	MB
DATE:	07/28/2014
DRAWING NO.:	

A2.1