

Request for Proposals (RFP)

Gifford Playground Renovations

575 Tomlinson Road, Philadelphia, PA 19116

December 20, 2018

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Application Process

On behalf of the City of Philadelphia ("City"), the Philadelphia Redevelopment Authority ("PRA") is pleased to issue this Request for Proposals ("RFP") for qualified prime contractors (each, an "Applicant" and together, the "Applicants") for Gifford Playground Renovation project located at 575 Tomlinson Road, Philadelphia, PA 19116. This project is part of the City's Rebuilding Community Infrastructure Program ("Rebuild").

Submission Deadline

Applicants must submit a response/proposal (a "Response") no later than **January 24, 2019** at 3:00 PM; absolutely no Response will be accepted after that time.

Mandatory Pre-Bid Meeting

All Applicants must attend the mandatory pre-bid meeting at Gifford Playground, 575 Tomlinson Road, Philadelphia, PA 19116 at 10:00 A.M. on **January 10, 2019**.

The names and contact information for all attendees at the pre-bid meeting will be posted on PRA's website as public information within a few days of the pre-bid meeting.

Questions/Requests for Additional Information

PRA will accept questions and requests for additional information directed in writing to RFP@pra.phila.gov **up to 3 PM on January 14, 2019**. Questions, responses, and additional information will be posted on the PRA Website within **3 business days** of this date.

Related Parties

Applicants may submit only one Response to this RFP. Individuals or businesses that are legally related to each other or to a common entity may not submit separate Responses. The PRA and City, in their sole and absolute discretion, retain the right to reject any Response where:

1. Applicants or principals of Applicants are substantially similar or substantially related parties; or;
2. The PRA and City have determined that the Applicant has violated these conditions or the spirit of these conditions.

Submission Process

Responses will only be accepted in either of the following:

1. Online Submission – via the electronic portal on PRA's website (<http://www.philadelphiaredevelopmentauthority.org/>); or
2. Hard Copy Submission – Submit 3 original copies of the Response and one electronic copy on a USB Flash Drive to the PRA via hand delivery or registered mail. Files on the USB Flash Drive may only be in Microsoft Word or Adobe PDF. Applicants may hand deliver or send their Response via registered mail to:



Robert LaBrum
Director, Design & Construction
Philadelphia Redevelopment Authority
1234 Market Street, 16th Floor
Philadelphia, PA 19107

Disqualification

Responses will be disqualified if:

1. They are submitted after the specified deadline;
2. They are submitted by some means other than the two formats listed above. For electronic Responses, the PRA website portal is the only means that will be accepted. Responses sent via email, Dropbox or other electronic venues will be disqualified;
3. If the Response package is incomplete.

Bid Price

The PRA will award this Project to the Response determined to be the most responsive based on the criteria explained below. Bid price is one of these criteria, though the Project will not necessarily be awarded to the lowest bidder. Bidders must complete and submit the Construction Bid Proposal Form located in Attachment A, Division 0 (Bidding and Contract Requirements).

Bid Bonds

Bidders must complete and submit the Bid Bond Form located in Attachment A, Division 0 (Bidding and Contract Requirements).

Schedule

The timeline for this opportunity is as follows:

Event	Date
RFP posted	December 20, 2018
Mandatory Pre-Bid Meeting	January 10, 2019; 10:00 AM
Questions and requests for additional information due	January 14, 2019; 3:00 PM
Responses due	January 24, 2019; 3:00 PM
Respondent selected (Estimate)	February 2019

PRA reserves the right, in its sole discretion, to alter this schedule as it deems necessary or appropriate.

Project Description/Scope of Work

The PRA is seeking Applicants for the Gifford Playground Renovation project located 575 Tomlinson Road, Philadelphia, PA 19116. The work includes, but is not limited to, the demolition and removal of existing playground area, asphalt, concrete, fencing, etc.; Grading and drainage of project area; Installation of new asphalt, concrete paving, fencing, landscaping, safety surface, playground equipment, and sprayground.



For completed scope of work please refer to the Project Drawings and the Specifications. This project is part of the City's Rebuilding Community Infrastructure Program ("Rebuild").

Response Submission Requirements

1. **Construction Bid Proposal Form** located in Attachment A, Division 0 (Bidding and Contract Requirements).
2. **Bid Bond** located in Attachment A, Division 0 (Bidding and Contract Requirements).
3. **Experience (Not to exceed two pages)**: Describe past experiences with providing similar projects. Please cite projects performed for the City of Philadelphia or other public/governmental agencies. Please include examples of projects that were completed on time and on budget.
4. **Approach to Project Delivery (Not to exceed one page)**: Describe your approach to carrying out the scope of work on time/budget, and strategies that make your firm qualified to best perform these services. Please include a detailed Project timeline.
5. **Economic Inclusion (Not to exceed one page)**. Provide a narrative describing Applicant's past performance in engaging certified Minority Business Enterprises ("MBE"), Woman Business Enterprises ("WBE"), and/or Disabled Business Enterprises ("DSBE") in subcontracting and in procuring goods and services; in addition, describe the Applicant's past performance in hiring local, diverse workforce, both in-house and with subcontractors. If Applicant is a Certified MBE, WBE or DBE; please submit information to confirm Certification as part of bid proposal. Please include contract and workforce participation goals and achievements on previous projects. Provide a plan for meeting contract and workforce participation goals (subcontractors, etc) for this Project.
6. **Declarations and Other Information**. Response must also include the completed forms identified in the Declarations and Other Information below.

Evaluation & Selection

PRA intends to award this Project to the Applicant that best demonstrates the level of experience, skill and competence required to perform the services called for in this RFP in the most efficient, cost-effective, and professional manner **and in a manner, that is consistent with the contract and workforce participation goals of the Rebuild initiative**. The PRA will initially review the Responses to determine compliance with the Response Submission Requirements. Only Responses that comply with these requirements will be considered for evaluation. If no Response meets these requirements, the PRA may allow all Applicants to supplement their Responses to conform to these requirements.

PRA will evaluate Applicants based on the following factors:

1. Complete application and eligibility of applicant including compliance with all requirements listed in this RFP;
2. Appropriateness of firm for the scope of work, and ability to carry out the work in a high-quality standard on time and budget;
3. Prior experience, including competence and proven track record working with City of Philadelphia and/or other public agencies;
4. Track record of economic inclusion in contracting and workforce;
5. Bid price;
6. Any other factors the PRA considers relevant to the evaluation of the responses; and



7. Financial capability

Events of Disqualification or Default

Subsequent to the selection of an Applicant, and before execution of the Contract, the PRA may treat any of the following as an event of disqualification or default:

1. Unilateral withdrawal by the selected Applicant;
2. Failure to proceed substantially in accordance with the Response as submitted;
3. Failure by the Applicant for any reason whatsoever to timely execute the Contract when tendered;
4. Material misrepresentation, omission, or inaccuracy contained in any document submitted either as part of the Response, or subsequent thereto. For the purposes of this section, the PRA places particular importance on the information required by the Applicant in the City of Philadelphia Questionnaire & Financial Statement for Qualifying Bidders and the Campaign Contribution Disclosure Forms;
5. Failure to provide in a timely manner the additional material required after selection throughout the PRA selection process.

Upon the happening of an event of disqualification or default by the selected Applicant, PRA shall have the right, at its election, to:

1. Rescind its selection; or
2. Declare null and void a Contract that may already have been executed.

Declarations and Other Information

Economic Opportunity Plan

This Project will require the selected Applicant to execute an Economic Opportunity Plan ("EOP"), committing to exhaust its best and good faith efforts to reach goals for diverse business inclusion and to employ an appropriate diverse workforce. The specific goals for this Project will be determined in consultation with the City's Office of Economic Opportunity. Adopted as part of City Council Resolution No. 180124 (2018), was a Rebuild Master Economic Opportunity Plan, which establishes certain goals for contracting and diverse employment for the Rebuild program. The Master EOP excerpt below is included in the Rebuild Project Statement, which is Attachment G of this RFP:



II. Rebuild Diversity and Inclusion Goals

A. Participation Goals for Diverse Business Inclusion

In order to achieve Diverse Business Inclusion in Rebuild, each contract between PAID and Project User will require an EOP containing participation ranges for M/W/DSBEs. Goals for Rebuild are informed by the City's most current Annual Disparity Study as follows:

Professional services contracts: 25-30% minority and 15-20% women

Construction contracts: 30-35% minority and 15-20% women

EOPs will contain individualized participation ranges for both MBEs and WBEs according to project scope and dollar value.

B. Employment Goals for Diverse Workforce

Project User agrees to exhaust its Best and Good Faith Efforts to employ an appropriately diverse workforce which will include minority persons and females at all tiers of employment and management. Project User shall also cause its Participants to employ an appropriately diverse workforce. For this Plan, an appropriately diverse workforce is one which reflects the local availability and historic utilization of Philadelphia residents, and also recognizes underutilization of diverse workers across all trades. The following are expressed as hourly project goals:

Total minority journeyman hours 45% (African American journeymen 27%, Hispanic journeymen 15%, and Asian journeymen 3%); and of the foregoing total minority workforce hours, 60% laborer hours and 40% skilled hours.

Total women journeyman hours 5%, skilled and laborer.

Total minority apprentice workforce hours 50%, skilled and laborer and total women apprentice workforce hours 5%, skilled and laborer.

Local construction workforce: 50-60%.

Tax Clearance and Conflict of Interest Form

Applicants, upon request of the PRA, must provide evidence satisfactory to the PRA that all municipal taxes, including business taxes, real estate, school, water and sewer charges, if applicable, are current for both the individual Applicant and the Applicant's firm, and that neither is currently indebted to the City; will at any time during the term of the contract be indebted to the City, for or on account of any delinquent taxes, liens, judgments, fees or other debts for which no written agreement or payment plan satisfactory to the City has been established. Please complete the Philadelphia Tax Status Certification and Conflict of Interest form (Attachment D) and submit it with your Response.

Compliant with City of Philadelphia Revenue Department

Bidders must have a current City of Philadelphia Business Activity License and have a valid contractor's license.



Campaign Contribution Disclosure Forms

Please complete the applicable disclosure forms (Attachment E) and submit with your proposal.

City of Philadelphia Questionnaire & Financial Statement for Qualifying Bidders

Please complete the applicable questionnaire and financial statements (Attachment H) and submit with your proposal.

Insurance Requirements

Please submit a certificate of insurance evidencing the required coverages as outlined in Attachment F with your Response. If, for any reason, you cannot comply with the insurance requirements, please provide the reasons for your inability to do so and the PRA will consider any deviations from the insurance requirements on a case-by-case basis.

By submitting a Response to this RFP, an Applicant affirmatively acknowledges: (i) its acceptance of the terms and conditions of this RFP; (ii) the PRA may exercise in its sole discretion the following rights; and (iii) the PRA may exercise the following rights at any time and without notice to any Applicant:

1. to reject any and all Responses;
2. to supplement, amend, substitute, modify or re-issue the RFP with terms and conditions materially different from those set forth here;
3. to cancel this RFP with or without issuing another RFP;
4. to extend the time period for responding to this RFP;
5. to solicit new Responses;
6. to conduct personal interviews with any Applicant to assess compliance with the selection criteria;
7. to request additional material, clarification, confirmation or modification of any information in any and all Responses;
8. to negotiate any aspect of a Response, including price;
9. to terminate negotiations regarding any and all Responses at any time;
10. to expressly waive any defect or technicality in any Response;
11. to rescind a selection prior to Contract execution if the PRA determines that the Response does not conform to the specifications of this RFP;
12. to rescind a selection prior to Contract execution if the PRA determines that the specifications contained in this RFP are not in conformity with law or that the process in selection of an Applicant or Response was not in conformity with law or with the legal obligations of the PRA;
13. in the event a Contract is awarded, the successful Applicant or Applicants shall procure and maintain during the life of the Contract liability insurance in an amount to be determined prior to the award of the Contract;
14. in the event a Contract is awarded, all Applicants agree to perform their services as an independent contractor and not as an employee or agent of the PRA;
15. in the event a Contract is awarded, all Applicants agree that no portion of performance of the contract shall be subcontracted without the prior written approval of the PRA; and
16. each Applicant agrees to indemnify, protect and hold harmless the PRA from any and all losses, injuries, expenses, demands and claims against the PRA or the City sustained or alleged to have been sustained in connection with or resulting from (i) the submission of the Applicant's Response; (ii) the delivery by the Applicant to the PRA of any other documents or information; and (iii) any other conduct undertaken by the Applicant in furtherance of or in relation to the Applicant's proposal. Each Applicant agrees that its duty to indemnify and hold



harmless shall not be limited to the terms of any liability insurance, if any, required under this RFP or subsequent contract.

The PRA is under no obligation whatsoever to Applicant as a result of this RFP. The RFP does not represent any commitment on the part of the PRA to Applicant or the Project. In no event shall the PRA be responsible for any cost, expense or fee incurred by or on behalf of Applicant in connection with the RFP. Applicant shall be solely responsible for all such costs, expenses and fees.

NOTICE: The PRA is subject to the Pennsylvania Right to Know Law. Any information provided in your Response to this may be subject to disclosure to the public. Documents provided in response to this RFP may also be required to be disclosed by applicable law, subpoena, and/or court order.





CITY OF PHILADELPHIA

DEPARTMENT OF PARKS AND RECREATION

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - MICHAEL DIBERARDINIS

COMMISSIONER - PUBLIC PROPERTY - BRIDGET COLLINS-GREENWALD

COMMISSIONER OF PARKS AND RECREATION - KATHRYN OTT LOVELL

RENOVATIONS TO:

GIFFORD PLAYGROUND

575 TOMLINSON ROAD

PHILADELPHIA, PA

DPP PROJECT NO. 16-14-4230-01

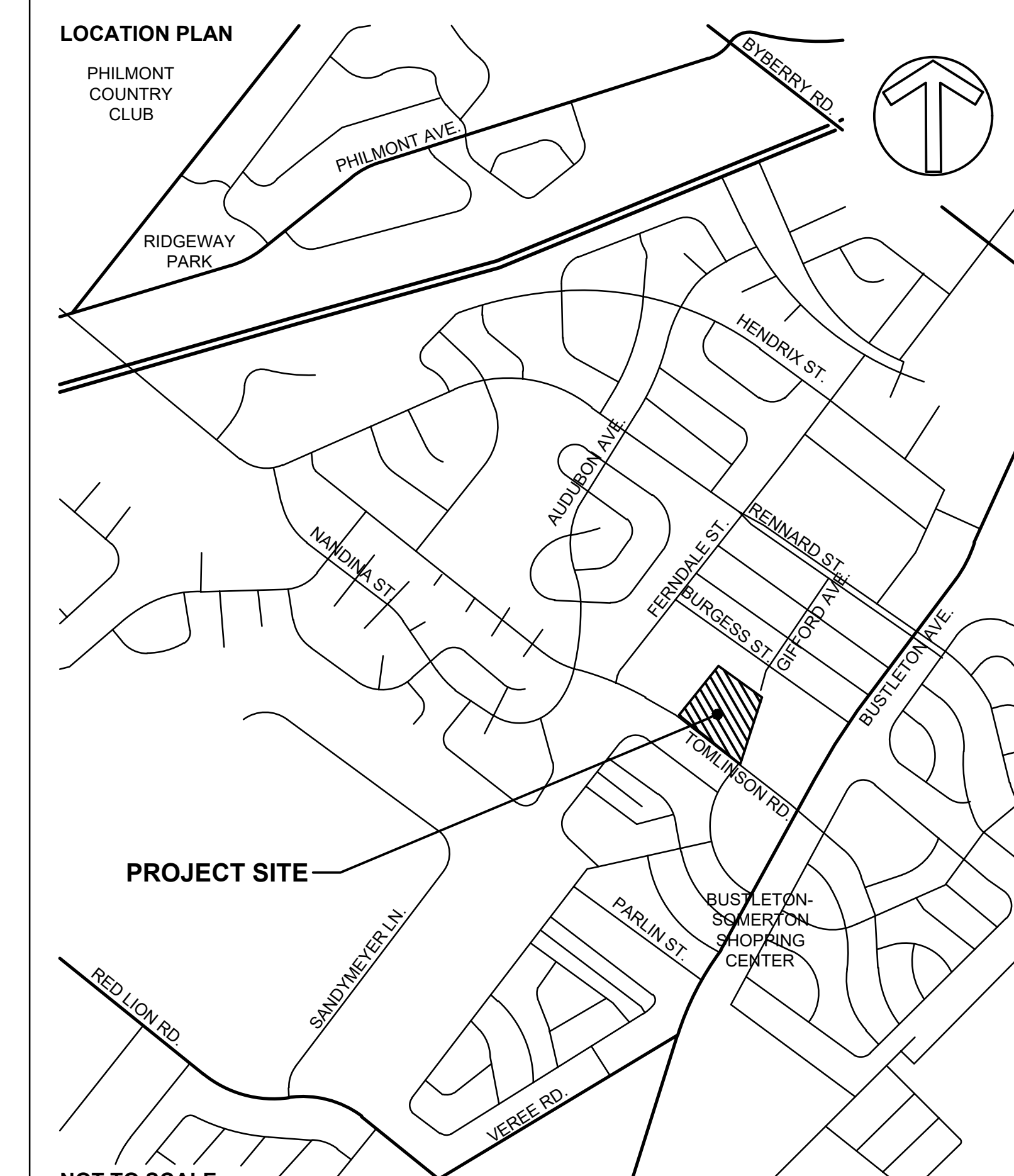
LANDSCAPE ARCHITECT & CIVIL ENGINEER:



GILMORE & ASSOCIATES, INC.
 DESIGN, LANDSCAPE ARCHITECTURE,
 ENGINEERING & TECHNICAL CONSULTING
 ONE PENN CENTER AT SUBURBAN STATION
 1617 JFK BOULEVARD, SUITE 425
 PHILADELPHIA, PA 19103
 PHONE: (800)-344-5667

ABBREVIATIONS		SYMBOLS	
TBR	TO BE REMOVED	FBO	FURNISHED BY OTHERS
PT	POINT OF TANGENCY	FIXT	FIXTURE
PC	POINT OF CURVE	FR	FROM RECORD
DI	DUCTILE IRON	FT	FOOT OR FEET
CI	CAST IRON	FTG	FOOTING
RCP	REINFORCED CONCRETE PIPE	GA	GAUGE
PVC	POLYVINYL CHLORIDE	GALV	GALVANIZED
INV.	INVERT ELEVATION	GR	GRADE
T.G.	TOP OF GRATE ELEVATION	HT	HEIGHT
C.O.	CLEAN OUT	CAL	CALIPER
FFE	FINISH FLOOR ELEVATION	GAL	GALLON
JNT	JOINT	QT	QUART
EXP	EXPANSION	HDPE	HIGH DENSITY POLYETHYLENE
CJ	CONTROL JOINT	PE	POLYETHYLENE
EJ	EXPANSION JOINT	HORIZ	HORIZONTAL
CONST	CONSTRUCTION	VERT	VERTICAL
CIP	CAST-IN-PLACE	R	RADIUS OR RISER
CL	CENTERLINE	RAD	RADIUS
CONC	CONCRETE	KJ	KEYED JOINT
COND	CONDUIT	LP	LOW POINT
CTR	CENTER	MET	METAL
PNT	POINT	SS	STAINLESS STEEL
CU YD	CUBIC YARD	MFR	MANUFACTURER
DEP	DEPRESSED	MIN	MINIMUM
DN	DOWN	MISC	MISCELLANEOUS
DIA	DIAMETER	NIC	NOT IN CONTRACT
DWL	DOWEL	CCL	CONTRACT LIMIT LINE
EA	EACH	LOD	LIMIT OF DISTURBANCE
EL	ELEVATION	LOW	LIMIT OF WORK
ELEC	ELECTRIC	NO.#	NUMBER
EQ	EQUAL	NTS	NOT TO SCALE
EF	EACH FACE	OC	ON CENTER
EW	EACH WAY	PERF	PERFORATED
EX	EXISTING	POB	POINT OF BEGINNING
UD	UNDERDRAIN	SCH	SCHEDULE
FG	FINISH GRADE	SCHED	SCHEDULE
		SF	SQUARE FOOT

DRAWING LIST	
CS-1	COVER SHEET
G-1.0	GENERAL AND PLAN NOTES
L-1.0	EXISTING FEATURES & DEMOLITION PLAN
L-2.0	OVERALL SITE IMPROVEMENT PLAN
L-2.1	PLAYGROUND AREA ENLARGEMENT PLAN
L-2.2	SPRAY AREA ENLARGEMENT PLAN
L-2.3	SPRAYGROUND PIPING PLAN
L-3.0	OVERALL SITE LAYOUT PLAN
L-4.0	GRADING & DRAINAGE PLAN
L-4.1	SPRAYGROUND GRADING & DRAINAGE PLAN
L-5.0	EROSION & SEDIMENTATION CONTROL PLAN
L-5.1	EROSION & SEDIMENTATION CONTROL NOTES AND DETAILS
L-6.0	LANDSCAPE PLANTING PLAN
D-1.0	SITE CONSTRUCTION DETAILS
D-2.0	SITE CONSTRUCTION DETAILS
D-3.0	SITE CONSTRUCTION DETAILS
D-4.0	SITE CONSTRUCTION DETAILS
E-1	ELECTRICAL PLANS AND DETAILS



PROJECT APPROVED

COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY

DEPUTY COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY

PROJECT DIRECTOR/PPP-CAPITAL PROJECTS DIVISION

ART COMMISSION

HISTORICAL COMMISSION

SEALS

KEVIN M. SELGER, RLA - PA LICENSE 002685

CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY

1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING

PHILADELPHIA PENNSYLVANIA

PROJECT NO. 16-12-4230-01 DRAWING NO.

CONSULTANT PROJECT NO. 14-02041-07

DATE 12/10/2018

SCALE AS NOTED

DRAWN BY MDS

CHECKED BY KMS

CS-1

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE REFERRED TO THE CONTRACTOR'S SET OF PLANS BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL PLANS, SPECIFICATIONS, AND WORK ASSOCIATED WITH THIS PROJECT.
- EXISTING FEATURES BACKGROUND AND EXISTING CONDITIONS INFORMATION IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY. ALL LOCATIONS ARE TO BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD. NO DIGGING OR EXCAVATIONS WERE DONE IN THE PREPARATION OF THE EXISTING FEATURES BACKGROUND OR EXISTING CONDITIONS INFORMATION. THEREFORE, ALL UNDERGROUND UTILITIES SHOWN OR DEPICTED SHOULD BE CONSIDERED APPROXIMATE IN LOCATION, DEPTH AND SIZE. THE POTENTIAL EXISTS FOR OTHER UNDERGROUND UTILITIES AND OR FACILITIES NOT SHOWN HEREON. ALL THE DESIGNERS AND CONTRACTORS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED HEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 187, HOUSE BILL 2627, AMENDING THE ACT OF DECEMBER 17, 1974 (P.L. 852, NO. 287) PN 1460 1996 EFFECTIVE 12/19/96.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES/FACILITIES PRIOR TO START OF WORK AND SHALL COMPLY WITH THE REQUIREMENTS OF P.L. 852, NO. 287, DECEMBER 10, 1974 AS LAST AMENDED ON MARCH 29, 2007, PENNSYLVANIA ACT 181, GILMORE & ASSOCIATES INC. HAS OBTAINED A PA-ONE CALL SERIAL NUMBER 20183382907 FOR DESIGN PURPOSES ONLY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. CONTRACTOR SHALL CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776 AT LEAST 3 WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK.
- DO NOT SCALE DRAWINGS. ALL MEASUREMENTS SHALL BE TAKEN FROM DIMENSIONS SHOWN ON THE DRAWING. WHERE DIMENSIONS BETWEEN SMALL SCALE AND DETAIL DRAWINGS DIFFER, NOTIFY THE DESIGN PROFESSIONAL FOR CLARIFICATION. FIELD VERIFY ALL DIMENSIONS AND NOTIFY DESIGN PROFESSIONAL OF ANY DISCREPANCIES.
- INSTALL ALL MANUFACTURED ITEMS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS COMPLETE WITH ALL ITEMS AND COMPONENTS AS REQUIRED FOR A COMPLETE INSTALLATION.
- ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE O.S.H.A. (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
- THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR ARE RESPONSIBLE FOR PROVIDING THE APPROPRIATE CONTRACT DOCUMENTS (PLANS, SPECIFICATIONS, AND OTHER INFORMATION) TO THE VARIOUS SUBCONTRACTORS AND TRADES IN ORDER FOR THEM TO COORDINATE AND PERFORM THE WORK.
- THE GENERAL AND ELECTRICAL CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANY REGULATIONS AND REQUIREMENTS FOR UTILITIES AFFECTED BY THE PROJECT AND PAY ALL REQUIRED FEES AND COSTS ASSOCIATED WITH THOSE UTILITIES.
- THE CONTRACTOR(S) SHALL OBTAIN ALL PERMITS RELATING TO THIS PROJECT PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY ALL CONTRACTORS TO MEET ALL OF THE REQUIREMENTS OF FEDERAL, STATE, AND LOCAL AUTHORITIES, HEALTH DEPARTMENT, AND UTILITY COMPANIES IN ADDITION TO THE INFORMATION STATED IN THESE PLANS, THE SPECIFICATIONS, AND THE CONTRACT DOCUMENTS.
- IN THE CASE OF CONFLICT BETWEEN ANY PART OF THESE PLANS, THE SPECIFICATIONS, OR THE CONTRACT DOCUMENTS, OR IF DISCREPANCIES ARE DISCOVERED THE CONTRACTOR SHALL NOTIFY THE PPR COORDINATOR AND DESIGN PROFESSIONAL IMMEDIATELY BY PHONE AND IN WRITING AND SHALL REQUEST A WRITTEN DETERMINATION PRIOR TO PROCEEDING WITH THE WORK INVOLVED. IF THE WORK PROCEEDS WITH THE KNOWLEDGE OF A DISCREPANCY AND WITHOUT A WRITTEN DETERMINATION, SUCH WORK WILL NOT BE CONSIDERED IN COMPLIANCE WITH THESE PLANS, THE SPECIFICATIONS, AND CONTRACT DOCUMENTS.
- ALL WORK WITHIN A RIGHT OF WAY (R.O.W.) OR EASEMENT SHALL BE DONE IN ACCORDANCE WITH THE AGENCY OR ENTITY HAVING JURISDICTION OR OWNERSHIP OF THAT R.O.W. OR EASEMENT. CONTRACTOR SHALL OBTAIN ALL PERMITS, APPROVALS, INSPECTIONS, ETC. FROM THE AGENCY OF ENTITY HAVING JURISDICTION FOR THIS WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROTECT EXISTING STRUCTURES AND FACILITIES, INCLUDING UTILITIES, NOT DESIGNATED FOR DEMOLITION OR REPLACEMENT/UPGRADE SUCH AS BUILDINGS, PIPES, INLETS/MANHOLES, CABLES/WIRES, CONDUITS, APRONS, PAVEMENTS, BRIDGES, UTILITIES, TREES, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE TAKEN IN UNDERCUT AREAS. THE CONTRACTOR(S) SHALL REPLACE OR REPAIR, AS DIRECTED BY THE DESIGNER, ANY STRUCTURES OR FACILITIES DAMAGED DURING CONSTRUCTION. ANY STRUCTURES OR FACILITIES DAMAGED DURING CONSTRUCTION OF THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGED ITEMS.
- THE CONTRACTOR(S) SHALL PROVIDE POSITIVE PROTECTION (MATS/SHEET COVERINGS) FOR ALL EXPOSED EXCAVATIONS TO PROTECT FROM INSTABILITY AND DETEIORATION DUE TO RAIN, WIND OR SNOWICE.
- THE CONTRACTOR SHALL PROVIDE SURFACE DRAINAGE CHANNELS OR DIVISION DIKES, SLUMPS AND SLUMP PUMPS AND/OR OTHER DEWATERING MEASURES AS REQUIRED TO PROTECT ALL EXCAVATIONS FROM FLOODING. FLOODING OF ANY EXCAVATION OF THE SUBGRADE WILL BE CAUSE FOR COMPLETE REPREPARATION AND REAPPROVAL OF THE SUBGRADE.
- THE CONTRACTOR SHALL PROTECT POURED-IN-PLACE RUBBER SAFETY SURFACES DURING INSTALLATION AND AFTER THEY ARE INSTALLED. CONTRACTOR SHALL PREVENT SOIL OR OTHER DEBRIS FROM BEING DEPOSITED ON THESE SURFACES. IF THESE SURFACES ARE DAMAGED, HAVE HAD DEBRIS PLACED ON THEM, OR HAVE OTHER FOREIGN RESIDUES DEPOSITED ON THEM THE SURFACES SHALL BE CLEANED OR REPLACED TO THE SATISFACTION OF PHILADELPHIA PARKS AND RECREATION OR THE DESIGN PROFESSIONAL, AT THE GENERAL CONTRACTOR'S EXPENSE.
- ALL ORGANIC, WET, SOFT AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM PAVEMENT SUBGRADE AND BACKFILLED WITH SUITABLE GRANULAR, FREE DRAINING MATERIAL. NO PAVEMENTS OR SLABS SHALL BE PLACED ONTO SUBGRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST ENTER AN EXPOSED EXCAVATION AFTER SUBGRADE APPROVAL, THE SUBGRADE SHALL BE REINSPECTED BY THE INDEPENDENT TESTING AND INSPECTION AGENCY AFTER REMOVAL OF WATER OR FROST.
- THE CONTRACTOR(S) SHALL MAINTAIN ALL EROSION CONTROLS DURING CONSTRUCTION.
- THE CONTRACTOR(S) SHALL ERECT PROTECTIVE DEVICES, SUCH AS TEMPORARY CHAIN-LINK FENCING, TO PROTECT THE SITE FROM UNAUTHORIZED PERSONS FROM ENTERING THE WORK SITE.
- THE CONTRACTOR(S) SHALL MAINTAIN ACCESS TO THE EXISTING RECREATION CENTER AT ALL TIMES TO THE DESIGNATED DOORWAY(S) DIRECTED BY THE CITY OF PHILADELPHIA REPRESENTATIVE.
- THE CONTRACTOR(S) SHALL COORDINATE THE TEMPORARY SHUT-DOWN OF DOORWAYS WITH THE DPP COORDINATOR AND WITH THE RECREATION CENTER MANAGER. AT MINIMUM, EACH SIDE OF THE BUILDING SHALL HAVE AT LEAST ONE UNOBSTRUCTED DOORWAY THAT CAN BE UTILIZED FOR EMERGENCY EGRESS AT ALL TIMES. TEMPORARY SHUT DOWNS OF DOORWAYS SHALL BE MINIMIZED TO PERFORM THE NECESSARY WORK ADJACENT TO THE EXISTING DOORWAYS. WORK MAY CONTINUE IN THESE AREAS AFTER THE DOORWAY IS REOPENED FOR EMERGENCY EGRESS PURPOSES. IT IS NOT INTENDED THAT THE DOORWAYS WITHIN THIS WORK AREA WILL BE USED FOR NORMAL ACCESS, ONLY FOR EMERGENCY EGRESS PURPOSES.
- THE CONTRACTOR(S) ARE RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES TO REMAIN. NO EXISTING, MATERIALS, SOIL, OR OTHER DEBRIS SHALL BE STORED UNDER THE DRIPLINE OF THE TREE. IF TREES ARE DAMAGED, ITEMS ARE STORED OR AREA UNDER THE DRIP IS DISTURBED, OTHER THAN DISTURBANCE CALLED FOR ON THE PLANS, IT IS THE CONTRACTOR'S RESPONSIBILITY CORRECT THE DAMAGE TO THE SATISFACTION OF THE PPR COORDINATOR OR THE DESIGN PROFESSIONAL.
- IF IT BECOMES NECESSARY TO CLOSE A PORTION OF THE ADJACENT STREET OR SIDEWALK DURING CONSTRUCTION, THE CONTRACTOR(S) SHALL NOTIFY THE LOCAL AUTHORITY HAVING JURISDICTION. THE CONTRACTOR(S) SHALL OBTAIN ALL PERMITS REQUIRED FOR THIS WORK OR CLOSURE.
- THE CONTRACTOR(S) SHALL KEEP ALL PUBLIC AREAS CLEAN OF DEBRIS ON A DAILY BASIS. THE CITY OF PHILADELPHIA MAINTAINS THE RIGHT TO CLEAN THE PROJECT SITE FOR CONTRACTOR NON-COMPLIANCE AT CONTRACTOR'S EXPENSE.
- ALL MATERIAL REMOVED FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A LAWFUL MANNER ACCORDING TO APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.
- THE CONTRACTOR(S) SHALL COMPLY WITH THE CLEAN FILL REQUIREMENTS AS NOTED ON THIS DRAWING AND PER APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS.

DEMOLITION NOTES:

- THE CONTRACTOR(S) SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER, OWNER'S REPRESENTATIVE AND DESIGN PROFESSIONAL OF ANY DISCREPANCIES. COMMENCEMENT WITH ANY WORK MEANS CONTRACTOR HAS ACCEPTED EXISTING AND FIELD CONDITIONS.
- IN ACCORDANCE WITH PENNSYLVANIA STATE LAW, NOTIFY ALL UTILITY COMPANIES (1-800-242-1776 PENNSYLVANIA ONE CALL SYSTEM) AT LEAST (3) THREE BUSINESS DAYS IN ADVANCE OF BEGINNING CONSTRUCTION.
- THE CONTRACTOR(S) SHALL OBTAIN ALL REQUIRED PERTINENT PERMITS FOR THIS WORK AND COMPLY AND ADHERE TO ALL APPLICABLE REGULATIONS SET FORTH.
- PERFORM DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND ORDINANCES AND WITH NATIONAL STANDARD SAFETY REQUIREMENTS FOR DEMOLITION.
- DO NOT INTERFERE WITH THE USE OF ADJACENT BUILDING OR SITE AREAS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROTECT EXISTING STRUCTURES AND FACILITIES, INCLUDING UTILITIES, NOT DESIGNATED FOR DEMOLITION OR REPLACEMENT/UPGRADE SUCH AS BUILDINGS, PIPES, INLETS/MANHOLES, CABLES/WIRES, CONDUITS, APRONS, PAVEMENTS, BRIDGES, UTILITIES, TREES, ETC. FROM DAMAGE WHICH MIGHT OCCUR DURING CONSTRUCTION. EXTREME CARE SHALL BE TAKEN IN UNDERCUT AREAS. THE CONTRACTOR SHALL REPLACE OR REPAIR, AS DIRECTED BY THE DESIGNER, ANY STRUCTURES OR FACILITIES DAMAGED DURING CONSTRUCTION. THE LIFE OF THE CONTRACT. NO PAYMENT WILL BE MADE FOR REPLACEMENT OR REPAIR OF DAMAGED ITEMS.
- PREVENT MOVEMENT, SETTLEMENT, OR DAMAGE TO ADJACENT WALKWAYS, PAVEMENT, STRUCTURES, OR OTHER SITE ELEMENTS TO REMAIN. ANY MOVEMENT, DAMAGE, OR SETTLEMENT THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- PROTECT ALL EXISTING PLANT MATERIALS FROM DAMAGE UNLESS THEY ARE INDICATED TO BE REMOVED**. DO NOT PARK OR STORE CONSTRUCTION VEHICLES, EQUIPMENT, AND/OR MATERIALS UNDER THE CANOPY (WITHIN THE DRIP LINE) OF ANY TREE TO REMAIN. ANY DAMAGE SHALL BE REPAIRED OR THE PLANT MATERIAL REPLACED WITH PLANTS OF THE SAME SIZE BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER. ANY REPLACEMENT PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- PROVIDE, ERECT AND MAINTAIN BARRICADE AND LIGHTING AS REQUIRED BY APPLICABLE REGULATION TO PROTECT OCCUPANTS OF BUILDING/FACILITY AND WORKERS.
- DEMOLISH AND REMOVE WORK IN A MANNER WHICH ALLOWS FOR INTRODUCTION OF NEW ADJACENT WORK WITH-OUT DAMAGING EDGE CONDITIONS TO THE EXISTING WORK.
- DEMOLITION OF EXISTING UTILITIES INCLUDES THE REMOVAL OF PIPE, UTILITY STRUCTURES, DRAINS, MANHOLES, ENCASEMENT, FITTINGS, VALVES, ETC.
- DISPOSE OF ALL UNSALVABLE MATERIAL AND DEBRIS RESULTING FROM THE WORK OFF OF THE SITE AND THE WORK AREAS CLEAN AND READY FOR NEW WORK.
- MAINTAIN UTILITY SERVICES TO ACTIVE EXISTING BUILDINGS AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PERIOD. COORDINATE WITH THE OWNER AND UTILITY PROVIDERS FOR ALL SHUTDOWNS FOR UTILITY CONNECTION AND RELOCATION WORK.
- ALL UTILITIES NOT SCHEDULED/INDICATED FOR DEMOLITION WITHIN THE LIMIT OF DEMOLITION WORK AREA SHALL BE PROTECTED AND MAINTAINED DURING CONSTRUCTION.
- SEE EROSION AND SEDIMENTATION CONTROL PLANS, NOTES AND DETAILS FOR EROSION CONTROL MEASURES AND CONSTRUCTION SEQUENCE.
- ALL MATERIALS DEMOLISHED, UNLESS IDENTIFIED TO BE SAVED OR SALVAGED (CONCRETE, PAVING, ROOT MAT, FENCING AND ALL OTHER DEBRIS) SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PER FEDERAL, STATE, AND LOCAL REGULATIONS. ALL COSTS OF HAULING, DISPOSAL, AND TIPPING FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR AS PART OF THE BASE BID.
- ALL MATERIALS IDENTIFIED TO BE SALVAGED SHALL BE REMOVED WITH CARE TO PREVENT AND MINIMIZE DAMAGE AND SHALL BE STORED ON-SITE FOR REUSE OR FOR RETRIEVAL BY OWNER OR THE OWNER'S REPRESENTATIVE.
- ALL QUANTITIES OF DEMOLITION SHALL BE DETERMINED BY THE CONTRACTOR AND COVERED IN THE BASE BID. CONTRACTOR SHALL MAKE NECESSARY SITE INSPECTIONS PRIOR TO BID TO VERIFY ALL QUANTITIES AND CONDITIONS TO HISHER SATISFACTION.
- SAWCUT AND TRIM ALL EXISTING CONCRETE AND ASPHALT PAVEMENT EDGES PRIOR TO INSTALLING NEW PAVING. ENDS OF DAILY NEW ASPHALT PAVEMENT INSTALLATIONS SHALL BE SAWCUT AND TRIMMED NEATLY TO RECEIVE AND INTERSECT NEXT AREA OF NEW ASPHALT PAVEMENT.
- ALL EXCAVATED MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A LAWFUL MANNER.
- REFER TO THE GENERAL NOTES SHEET FOR MORE INFORMATION ON MAINTAINING BUILDING ACCESS AND EGRESS FROM DOORWAYS DURING CONSTRUCTION.

SITE LAYOUT NOTES:

- VERIFY ALL DIMENSIONS AND ACCEPT SITE CONDITIONS PRIOR TO COMMENCING WORK. COMMENCING WORK MEANS THE CONTRACTOR(S) HAVE ACCEPTED SITE CONDITIONS.
- ALL DIMENSIONS ARE FROM FACE OF BUILDING/CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. WALKWAYS ABUTTING CURBS OR WALLS SHALL BE MEASURED FROM THE BACK OF THE CURB/WALL.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- ALL RADI AND DIMENSIONS ARE TO THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL UNLESS OTHERWISE NOTED WITH (B-B), WHICH INDICATES BACK OF CURB, WALL, ETC.
- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR LAYOUT AS DETAILED IN THESE CONSTRUCTION DOCUMENTS FOR THIS PROJECT.
- THE NEW PAVING SHALL PROVIDE A SMOOTH TRANSITION TO EXISTING PAVING WITHOUT ABRUPT CHANGE IN GRADE.

PLAYGROUND NOTES:

NOTE:
GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE PREPARATION OF THE PLAYGROUND AREA AND SHALL COORDINATE ALL WORK WITH THE PLAYGROUND EQUIPMENT INSTALLATION CONTRACTOR'S WORK. GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF PLAYGROUND SURFACING AS INDICATED ON THE PLANS.

- PLAYGROUND EQUIPMENT, SAFETY ZONES, AND CRITICAL FALL HEIGHTS LISTED ARE PER DRAWINGS AND INFORMATION PROVIDED BY GAM TIME, 150 PLAYCORE DRIVE SE, FORT PAYNE, ALABAMA 35967, PHONE: AND BY MRC, P.O. BOX 440, NEWTOWN SQUARE, PA 19073, PHONE: (800) 726-4793.
- UTILIZE PLAYGROUND EQUIPMENT INSTALLATION DRAWINGS AND INSTRUCTIONS PROVIDED BY THE MANUFACTURER FOR PLAYGROUND EQUIPMENT LAYOUT AND ASSEMBLY.
- SAFETY ZONES SHALL MEET THE REQUIREMENTS OF THE PUBLIC PLAYGROUND SAFETY HANDBOOK PUBLISHED BY THE UNITED STATES CONSUMER PRODUCT SAFETY COMMISSION.
- PLAYGROUND EQUIPMENT SHALL MEET THE REQUIREMENTS OF THE PUBLIC PLAYGROUND SAFETY HANDBOOK PUBLISHED BY THE UNITED STATES CONSUMER PRODUCT SAFETY COMMISSION AND THE REQUIREMENTS OF ASTM F1487.
- SAFETY SURFACE DEPTHS SHALL MEET OR EXCEED THE FALL HEIGHT REQUIREMENTS FOR THE VARIOUS PLAYGROUND EQUIPMENT PIECES/UNITS SPECIFIED PER ASTM F1487.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF "PLAYGROUND WARNING SIGN" AS DETAILED ON DETAIL 2/DRAWING D-2

SPRAY GROUND NOTES:

- CONTRACTOR SHALL PROVIDE AND INSTALL ALL COMPONENTS OF THE SPRAY GROUND SYSTEM, INCLUDING BUT NOT LIMITED TO: SPRAY COMPONENTS, WATER SUPPLY PIPING, ELECTRICAL CONDUIT AND WIRING, CONTROLLER, POWER SUPPLY, VALVES, MANIFOLDS, BACKFLOW PREVENTORS, ETC. FOR PROPER FUNCTION OF THE SPRAY GROUND SYSTEM.
- ALL WATER PIPING, SPRAY COMPONENTS, VALVES, MANIFOLDS, ETC. SHALL BE INSTALLED BY A LICENSED/CERTIFIED PLUMBER.
- PIPING INDICATED ON THIS PLAN IS SCHEMATIC AND SHALL BE MEASURED AND VERIFIED ON SITE.
- WATER SUPPLY LINES FROM SPRAY COMPONENTS SHALL HAVE POSITIVE DRAINAGE TOWARD SYSTEM, LOW-POINT, 1.0% MINIMUM FOR DRAINAGE AND WINTERIZING. CONTRACTOR TO PROVIDE DRAINAGE VALVE(S) SO ALL SUPPLY LINES CAN BE DRAINED COMPLETELY FOR WINTER. CONTRACTOR SHALL VERIFY LOW-POINT DEPTH FOR POSITIVE DRAINAGE.
- CONTRACTOR SHALL INSTALL WATER METER IN BELOW GRADE VAULT/PIST AS APPROVED BY THE PHILADELPHIA WATER DEPARTMENT.
- CONTRACTOR SHALL INSTALL REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE IN ABOVE GRADE METAL, HEATED, AND LOCKABLE ENCLOSURE AS APPROVED BY THE PHILADELPHIA WATER DEPARTMENT (PWD) AND THE PWD CROSS CONNECTION CONTROL STANDARDS.
- CONTRACTOR SHALL MEET PHILADELPHIA WATER DEPARTMENT AND PHILADELPHIA PUMPING CODE REQUIREMENTS FOR SPRAY GROUND WATER SERVICE CONNECTION TO CITY WATER SERVICE.
- CONTRACTOR SHALL COORDINATE AND OBTAIN APPROVAL FOR ANY SERVICE SHUT-DOWNS OR DISRUPTIONS WITH RECREATION CENTER AND CITY OF PHILADELPHIA PROJECT COORDINATORS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE PRIOR TO SHUT-DOWN OR DISRUPTION.
- GPW PROVIDED IN THE SPRAY COMPONENT VALVE TABLE IS FOR LOW FLOW NOZZLES.
- CONTRACTOR SHALL BOND ALL SPRAY COMPONENTS TOGETHER WITH BONDING WIRE AND BASE PLATE TO NEAREST GROUNDED LIGHT POLE.
- CONTRACTOR SHALL VERIFY SITE WATER PRESSURE PRIOR TO COMMENCING WORK. PREVIOUS MEASUREMENTS INDICATE SITE PRESSURE IS AT APPROXIMATELY 30 TO 40 PSI. NOTIFY PPR PROJECT COORDINATOR AND DESIGN PROFESSIONAL IF DEVIATIONS EXCEED PLUS OR MINUS 5 PSI.
- INSTALL FLOW BALANCING THROTTLING BALL VALVES AS INDICATED ON PLAN, TO PROVIDE EQUALIZED FLOWS AT SPRAY FEATURES IF NOT INCLUDED AS PART OF SPRAY MANIFOLD.
- VERIFY ELEVATIONS OF COMPONENTS AND FINAL FINISH GRADES OF CONCRETE PAVING PRIOR TO INSTALLING COMPONENTS.
- DIMENSIONS PROVIDED ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD.
- CONTRACTOR SHALL COORDINATE AND OBTAIN APPROVAL FOR ANY SERVICE SHUT-DOWNS OR DISRUPTIONS WITH RECREATION CENTER AND CITY OF PHILADELPHIA PROJECT COORDINATORS. CONTRACTOR SHALL PROVIDE A MINIMUM OF 10 WORKING DAYS NOTICE PRIOR TO SHUT-DOWN OR DISRUPTION.
- ALL WATER PIPING SHALL BE PRESSURE TESTED (12SPSI FOR 4 HOURS) AFTER TRENCHES ARE BACKFILLED SUFFICIENTLY TO HOLD PIPING FIRMLY IN POSITION WITH NO FITTINGS BACKFILLED. ANY LEAKAGE DISCOVERED SHALL BE CORRECTED AND PIPING SHALL BE RETESTED UNTIL SATISFACTORY RESULTS ARE OBTAINED.

GENERAL EARTHWORK, GRADING, AND DRAINAGE NOTES:

- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- UNLESS OTHERWISE NOTED, MINIMUM SLOPE SHALL BE 1/8" INCH PER FOOT OR 2% AND A MAXIMUM SLOPE SHALL NOT EXCEED 3:1 (H:V) OR 33% FOR NON-PAVED SURFACES.
- GRADES ON DESIGNATED HANDICAPPED ACCESSIBLE AREAS/ROUTES SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT.
- GRADE EARTHEN, NON-PAVED, SURFACES TO A SMOOTH FINISH. SLOPE LAWN AREAS IN SWALES TO A GENTLE CROWN ALONG THE CENTERLINE UNLESS OTHERWISE SHOWN.
- GRADE ALL SEEDED FINE LAWN AREAS FLUSH WITH FINISH GRADE. ADJUST FINISHED GRADE TO THE PROPER DEPTH WHERE SO-D ABUTS PAVED AREAS.
- GRADE ALL TREES/SHRUB/GROUNDCOVER PLANTING BEDS TO 3 INCHES BELOW TOP OF ABUTTING CURBS, PAVING, OR LAWN AREAS TO ALLOW FOR MULCHING.
- ADJUST EXISTING AND NEW MANHOLE, CATCH BASINS, AND DRAINS RIM/GRATE ELEVATIONS TO NEW GRADE ELEVATIONS (PAVEMENT OR SOIL).
- ELIMINATE ROUGH AND LOW AREAS TO ENSURE POSITIVE DRAINAGE.
- PIPE SLOPES ARE APPROXIMATE; CONTRACTOR SHALL USE INVERTS TO INSTALL GRAVITY LINES.
- ELEVATIONS AND LOCATIONS OF ROOF RAIN WATER CONDUCTORS/DRAINS AT THE FACE OF THE BUILDING ARE APPROXIMATE. COORDINATE WITH MECHANICAL/PLUMBING DRAWINGS FOR SLEEVE LINE PENETRATION LOCATIONS AND INVERT ELEVATIONS FOR CONNECTIONS AT THE BUILDING FACE.
- FINISHED SURFACES SHALL BE GRADED SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE. SURFACE FINISHES NOT MEETING THIS STANDARD OR NOT DEEMED ACCEPTABLE BY THE DESIGNER OR OWNER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF SLOPE REQUIREMENTS CANNOT BE MET. AT NO TIME WILL SLOPES IN EXCESS OF THOSE ABOVE THE MAXIMUM ALLOWED BE ACCEPTED, UNLESS PRIOR APPROVAL IS RECEIVED IN WRITING BY THE DESIGNER.
- PLANS INDICATE ALL FINISH GRADE ELEVATIONS. PROVIDE SUBGRADE ELEVATIONS AS REQUIRED BY PLANS, DETAILS, OR SPECIFICATIONS. PROVIDE PROPERLY COMPACTED SUBGRADES OF NATIVE SOIL OR APPROVED FILL. SUBGRADES SHALL BE INSPECTED BY A QUALIFIED INSPECTOR TO ENSURE COMPACTION REQUIREMENTS ARE MET. NATIVE SOILS, FILL, OR SUBGRADES DEEMED INSUFFICIENT SHALL BE REMOVED AND REPLACED WITH APPROPRIATE MATERIAL.
- COORDINATE GRADING WORK WITH WORK OF OTHER TRADES OR WORK BY OTHERS AS REQUIRED TO COMPLETE THE PROJECT.
- REFER TO CLEAN FILL REQUIREMENTS NOTES ON THIS DRAWING FOR INFORMATION ON CLEAN FILL IMPORT OR EXPORT.
- MAINTAIN POSITIVE DRAINAGE AND ELIMINATE LOW SPOTS.

GENERAL UTILITY TRENCHING NOTES:

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND / OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.
- SOILS EXCAVATED FROM EXISTING SURFACE LAYER SHOULD BE STOCKPILED SEPARATELY AND RETURNED AS FINAL SURFACE LAYER FOLLOWING TRENCH BACKFILLING.
- PLACE SILT FENCE DOWN-SLOPE OF THE PROPOSED TRENCHING ACTIVITIES. PLACE EXCAVATED MATERIALS ON THE UPSLOPE SIDE OF THE TRENCH.
- TOPSOIL SHALL BE REMOVED AND STOCKPILED SEPARATELY FROM BACKFILL SOILS. TOPSOIL SHALL BE REPLACED UPON FINAL GRADING FOR STABILIZATION.
- THE DAY FOLLOWING TRENCH BACKFILL, THE DISTURBED AREA SHALL BE GRADED TO FINAL CONTOURS AND STABILIZED IMMEDIATELY IN ACCORDANCE WITH 'SEEDING & MULCHING SCHEDULE.
- REMOVE SILT FENCE AFTER AREA IS STABILIZED. ANY AREAS DISTURBED DURING THE REMOVAL OF THE SILT FENCE SHALL BE REESTABLISHED IMMEDIATELY.

CLEAN FILL REQUIREMENTS NOTES:

CLEAN FILL REQUIREMENTS: THE SITE WILL NEED TO IMPORT OR EXPORT MATERIAL FROM THE SITE, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND DETERMINATION OF CLEAN FILL WILL REST WITH THE CONTRACTOR.

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).

CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS AS NOTED IN TABLES FP-1A AND FP-1B FOUND IN THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTIONS POLICY "MANAGEMENT OF FILL."

ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.

ENVIRONMENTAL DUE DILIGENCE: THE LANDOWNER/APPLICANT MUST PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO: VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTIONS POLICY "MANAGEMENT OF FILL."

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTIONS MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTER 387 RESIDUAL WASTE MANAGEMENT OR CHAPTER 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE. THESE REGULATIONS ARE AVAILABLE ON-LINE AT WWW.PACODE.COM.

GENERAL LANDSCAPING NOTES:

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS EQUIPMENT, INCIDENTALS AND CLEAN UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, BE DENSELY FOLIATED, HAVE VIGOROUS ROOT SYSTEMS AND BE FREE OF DEFECTS AND INJURIES.
- ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE OF THE PLANT MATERIAL SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION.
- PROVISIONS SHALL BE MADE FOR A GUARANTEE OF AT LEAST ONE (1) YEAR FOR TREES AND SHRUBS. REPLACEMENT SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE. INsofar AS IT IS PRACTICABLE.
- PLANT MATERIALS SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE 1990 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYSMAN INC. OR LATEST EDITION.
- ALL PLANTS SHALL BE PLANTED IN TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH A LEVEL THAT AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PLANTING PIT.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO PLACEMENT OF LANDSCAPE MATERIAL. CONTRACTOR SHALL NOT PLACE LANDSCAPING MATERIAL ON TOP OF UTILITY PIPING.
- PLAN QUANTITIES SUPERSUDEE PLANT LIST.
- PLANTING PLAN SHALL BE USED FOR PLANT AND LANDSCAPE INSTALLATION ONLY.

REVISIONS

ISSUE	DATE	REVISIONS
1	9/4/15	85% DPP REVIEW
2	12/10/18	ISSUE FOR CONSTRUCTION



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 West Mifflin, Pennsylvania
 15122 - 1078
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PA ONE CALL NUMBER (FOR DESIGN ONLY): 20183382907
 DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH SEAL: KEVIN M. SELGER, RLA - PA LICENSE 002685

DESIGN CONSULTANT: GILMORE & ASSOCIATES, INC.

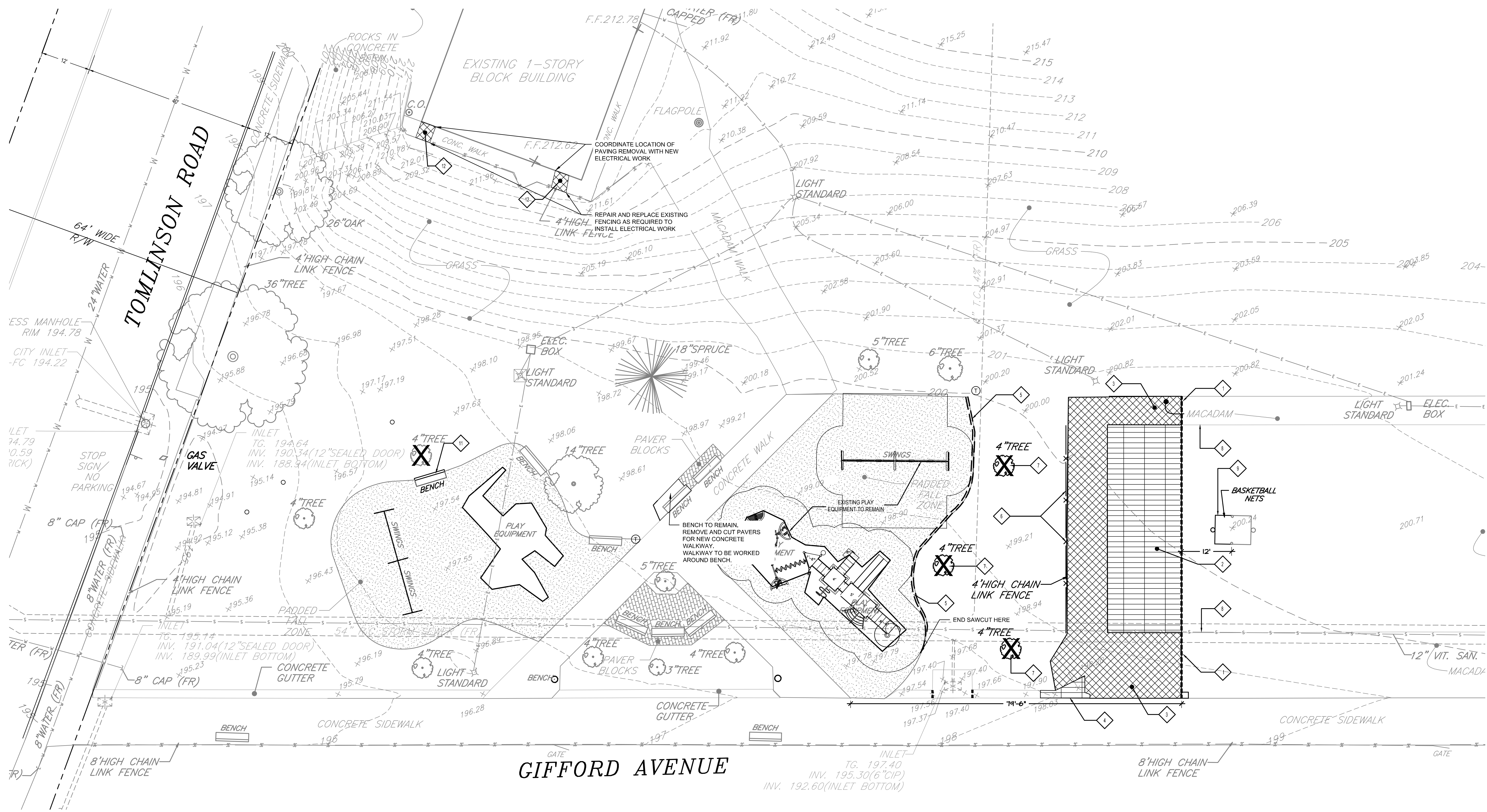
GILMORE & ASSOCIATES, INC.
 DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
 ONE PENN CENTER AT SUBURBAN STATION
 1617 JFK BOULEVARD, SUITE 820
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CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01
 PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
 575 TOMLINSON ROAD, PHILA. PA

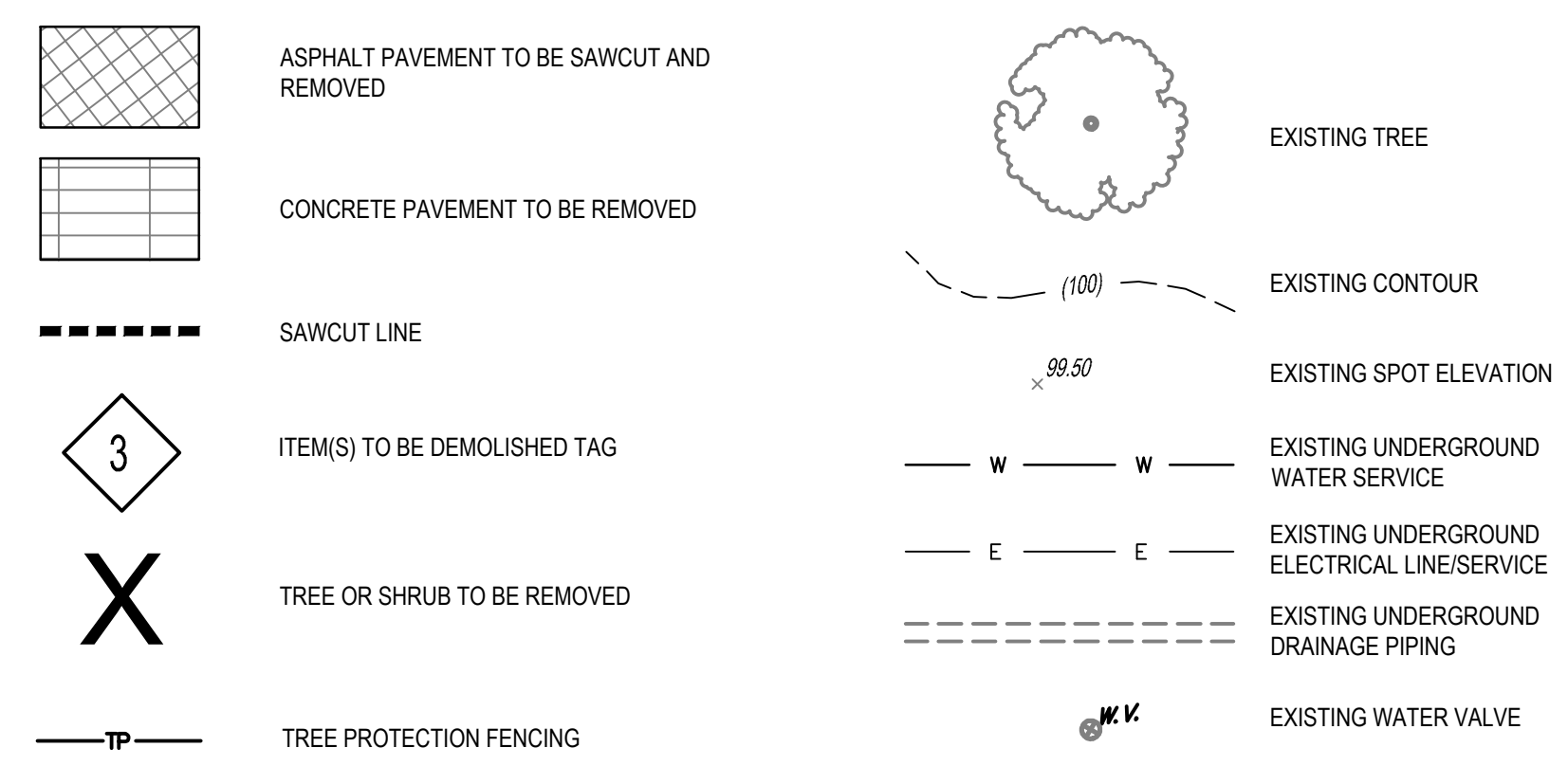
GENERAL NOTES

DPP PROJECT NO.: 16-14-4230-01 DRAWING NO.:
 CONSULTANT PROJECT NO.: 2014-02041-07
 DATE: 12/10/2018
 SCALE: AS NOTED
 DRAWN BY: MDS
 CHECKED BY: KMS
 NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.
G-1.0



1 EXISTING FEATURES AND DEMOLITION PLAN
SCALE: 1" = 10'

DEMOLITION PLAN LEGEND



DEMOLITION PLAN KEY

- SAWCUT LINE (TYP). SAWCUTS SHALL BE MADE CLEAN, STRAIGHT, AND PERPENDICULAR TO THE SURFACE, UNLESS OTHERWISE NOTED.
- SAWCUT AND REMOVE CONCRETE HALF BASKETBALL COURT PAVING AND BASE MATERIAL TO SUBGRADE. COORDINATE SAWCUT LOCATION WITH PROPOSED IMPROVEMENTS.
- SAWCUT AND REMOVE EXISTING ASPHALT SKIRT AROUND CONCRETE BASKETBALL COURTS UP TO EXISTING CONCRETE WALKWAY.
- SAWCUT AND REMOVE CONCRETE GUTTER. SAWCUTS SHALL BE MADE PERPENDICULAR TO EXISTING CONCRETE WALKWAY. COORDINATE LOCATION OF SAWCUTS WITH PROPOSED IMPROVEMENTS AND/OR EXISTING FEATURES.
- CUT BACK EDGE OF EXISTING SAFETY SURFACE 6" MAX. AND PREPARE EDGE TO BOND WITH PROPOSED ADDITIONAL PLAY SURFACING.
- COMPLETELY REMOVE FENCE INCLUDING POSTS, CROSSBARS, FABRIC, FOOTINGS, AND ANY OTHER ASSOCIATED PARTS NECESSARY FOR INSTALLATION.
- REMOVE TREE. DIG OUT AND COMPLETELY REMOVE STUMP OR GRIND STUMP AND ROOT FLARE BELOW SURFACE 12" MIN.
- COVER OR GRIND PAVEMENT MARKINGS. COORDINATE REMOVAL WITH PROPOSED PAVEMENT MARKINGS.
- REMOVE BASKETBALL HOOP AND NET FROM REMOVED HALF BASKETBALL COURT.
- REMOVE PAVERS/BRICKS AS NECESSARY FOR PROPOSED SPRAYGROUND WALKWAY. RETAIN BRICKS FOR RE-USE ON SITE.
- REMOVE BENCH
- SAWCUT AND REMOVE EXISTING CONCRETE PAVING

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DESIGN CONSULTANT:

GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1617 JFK BOULEVARD, SUITE 820
PHILADELPHIA, PA 19103
PHONE: (800) 344-9667

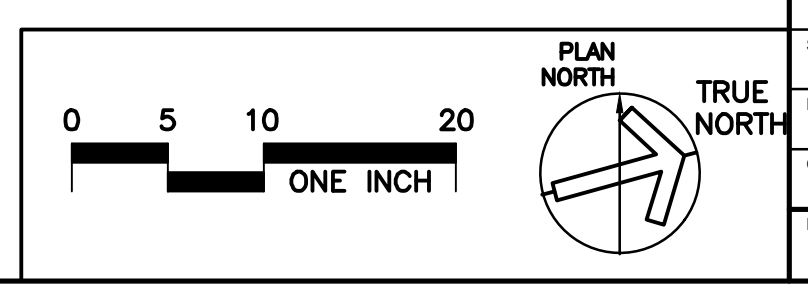
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01
PROJECT TITLE: **IMPROVEMENTS TO GIFFORD PLAYGROUND**
575 TOMLINSON ROAD, PHILA. PA

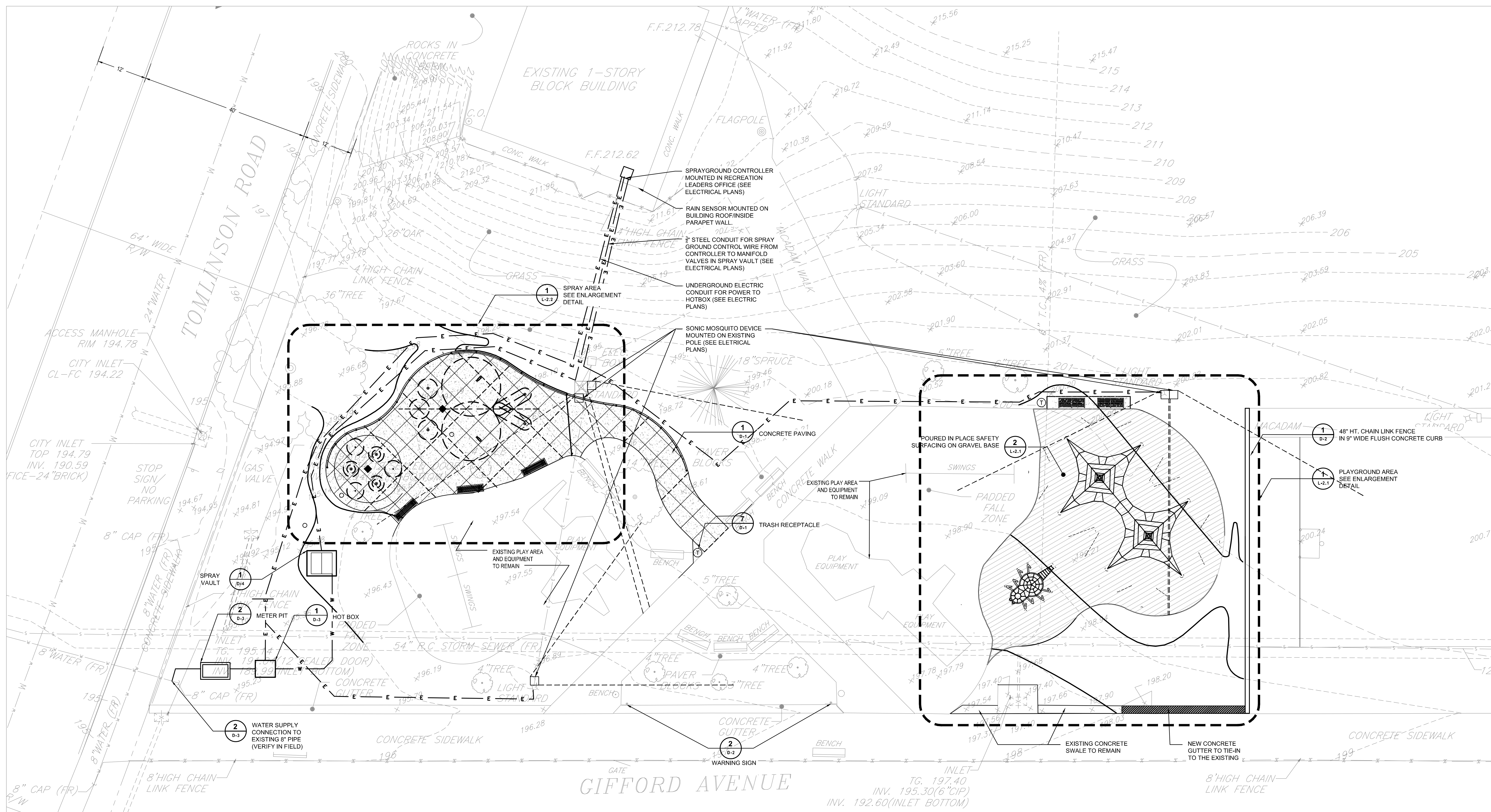
DRAWING TITLE: **EXISTING FEATURES AND DEMOLITION PLAN**

DPP PROJECT NO.: 16-14-4230-01
CONSULTANT PROJECT NO.: 2014-02041-07
DATE: 12/10/2018
SCALE: AS NOTED
DRAWN BY: MDS
CHECKED BY: KMS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



L-1.0



MATERIALS PLAN LEGEND

- SITE DETAIL TAG
- LAWN (SOD)
- CONCRETE WALKWAY PAVEMENT
- DECORATIVE SPRAYGROUND CONCRETE PAVEMENT
- POURED-IN-PLACE RUBBER SURFACING (OVER GRAVEL BASE)
- 48' HT. CHAIN LINK FENCE
- SONIC MOSQUITO DEVICE ZONE

GENERAL NOTES:

1. REFER TO DRAWING G-1 FOR GENERAL NOTES FOR THE PROJECT.
2. REFER TO DRAWING G-1 FOR LAYOUT, MATERIAL, AND PLAYGROUND NOTES.
3. PLAYGROUND RUBBER SURFACING COLORS/PATTERNS SHALL BE LAID-OUT/SPRAY PAINTED/MARKED OUT ON SBR CUSHION COURSE PRIOR TO SURFACE COURSE INSTALLATION FOR APPROVAL BY LANDSCAPE ARCHITECT.
4. SOD ALL DISTURBED AREAS NOT SCHEDULED FOR PAVING OR SURFACING.

REVISIONS

ISSUE	DATE	REVISIONS
1	9/4/15	85% DPP REVIEW
2	12/10/18	ISSUE FOR CONSTRUCTION



PENNSYLVANIA ONE CALL SYSTEM, INC.
 925 Oak Run Road
 West Mifflin, Pennsylvania
 15122-1078

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PA ONE CALL NUMBER FOR DESIGN ONLY: 20183382907

DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH SEAL:

KEVIN M. SELGER, RLA - PA LICENSE 002685

CIVIL ENG. SEAL:

DESIGN CONSULTANT:

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 DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
 ONE PENN CENTER AT SUBURBAN STATION
 1617 JFK BOULEVARD, SUITE 820
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 PHONE: (800) 344-6667

CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

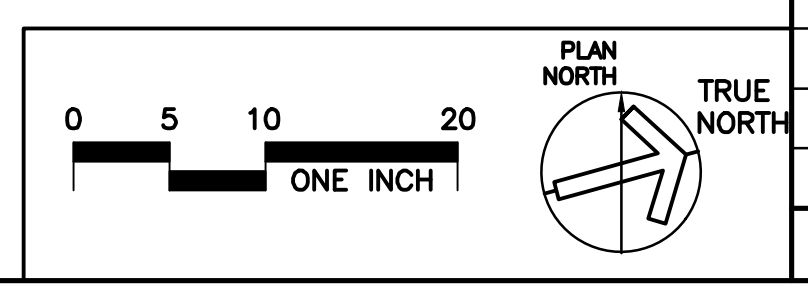
DPP PROJECT NUMBER: 16-14-4230-01
 PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
 575 TOMLINSON ROAD, PHILA. PA

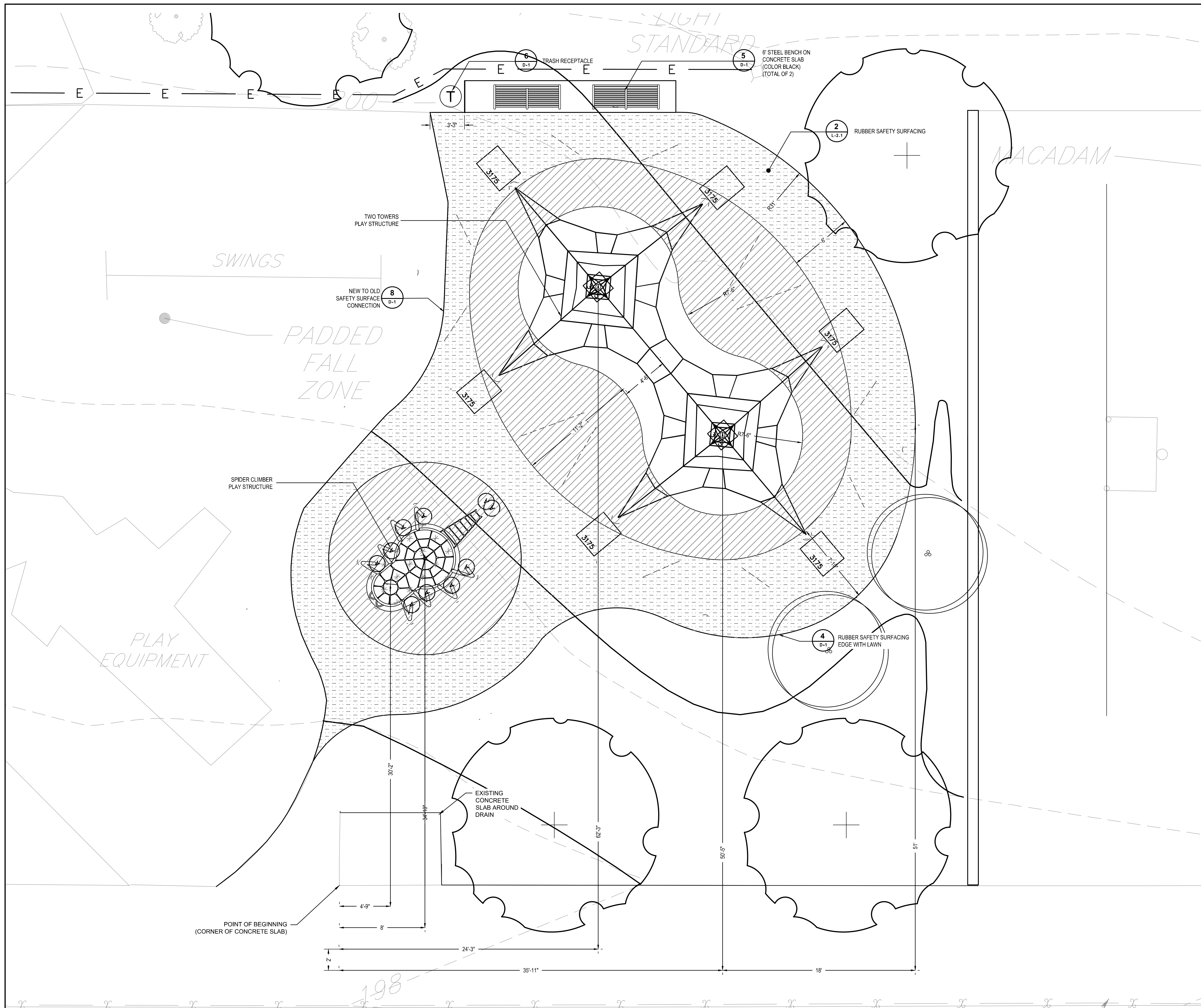
OVERALL SITE IMPROVEMENT PLAN

DPP PROJECT NO.: 16-14-4230-01
 CONSULTANT PROJECT NO.: 2014-02041-07
 DATE: 12/10/2018
 SCALE: AS NOTED
 DRAWN BY: MDS
 CHECKED BY: KMS

DRAWING NO.: **L-2.0**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.





1 PLAYGROUND AREA ENLARGEMENT PLAN
SCALE: 1" = 4'

SYMBOL	NO.	COLOR NAME	PERCENT BY WEIGHT
GREEN TPV RUBBER SURFACING			
[Symbol]	RH-11	BRIGHT GREEN	35%
	RH-10	STANDARD GREEN	20%
	RH-41	BRIGHT YELLOW	20%
		BLACK	25%
YELLOW TPV RUBBER SURFACING			
[Symbol]	RH-41	BRIGHT YELLOW	45%
	RH-50	ORANGE	30%
		BLACK	25%
BLUE TPV RUBBER SURFACING			
[Symbol]	RH-22	SKY BLUE	35%
	RH-20	STANDARD BLUE	25%
	RH-41	BRIGHT YELLOW	15%
		BLACK	25%

2 POURED-IN-PLACE RUBBER SURFACE COLOR MIXTURE TABLE
SCALE: NTS

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West Mifflin, Pennsylvania
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PA ONE-CALL NUMBER (FOR DESIGN ONLY): 20183382907

DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH. SEAL

KEVIN M. SELGER, RLA - PA LICENSE 002685

DESIGN CONSULTANT:

GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1617 JFK BOULEVARD, SUITE 820
PHILADELPHIA, PA 19103
PHONE: (800) 344-9667

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01
PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
575 TOMLINSON ROAD, PHILA. PA

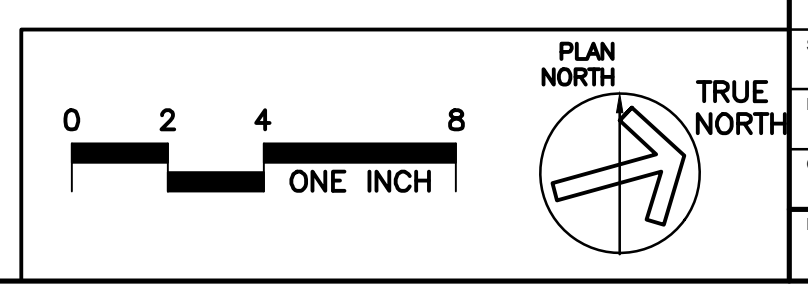
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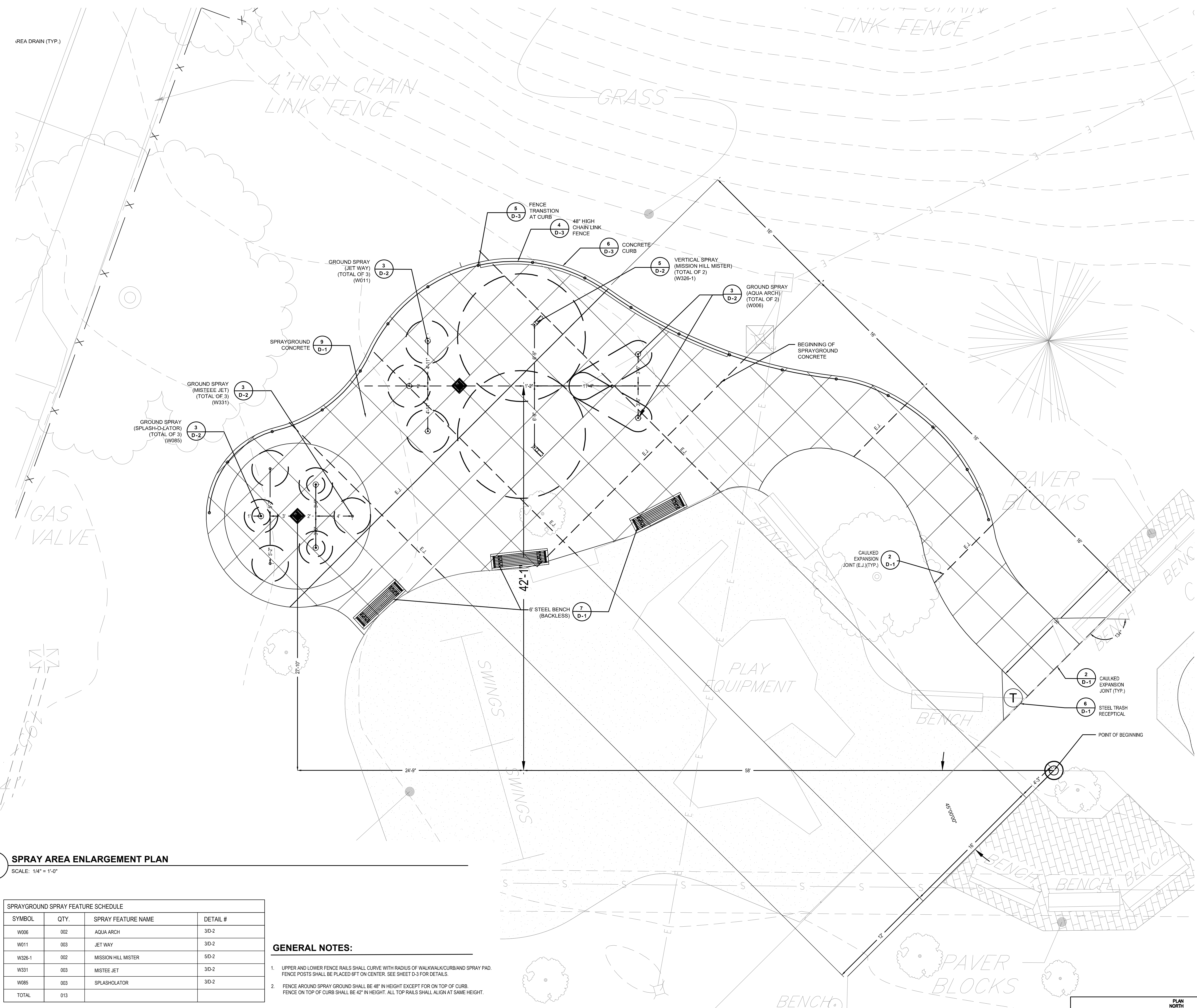
DPP PROJECT NO.: 16-14-4230-01
CONSULTANT PROJECT NO.: 2014-02041-07
DATE: 12/10/2018
SCALE: AS NOTED
DRAWN BY: MDS
CHECKED BY: KMS

L-2.1

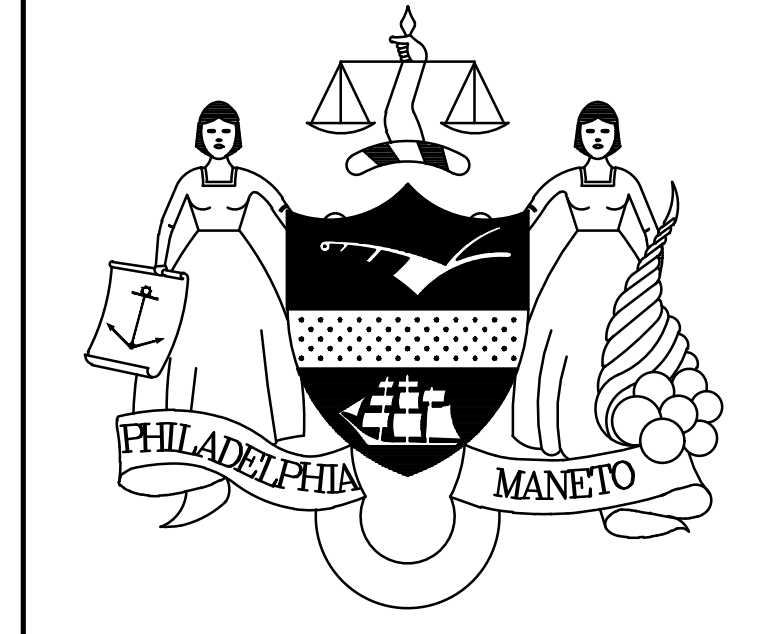
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- GENERAL NOTES:**
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 - REFER TO DRAWING G-1 FOR LAYOUT, MATERIAL, AND PLAYGROUND NOTES.
 - PLAYGROUND RUBBER SURFACING COLORS/PATTERNS SHALL BE LAND-OUT/SPRAY PAINTED/MARKED OUT ON SBR CUSHION COURSE PRIOR TO SURFACE COURSE INSTALLATION FOR APPROVAL BY LANDSCAPE ARCHITECT.





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 19380

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PA ONE-CALL NUMBER (FOR DESIGN ONLY): 20183382907
 DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH. SEAL
 PENNSYLVANIA REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
 KEVIN M. SELGER, RLA - PA LICENSE 002685

CIVIL ENG. SEAL
 DESIGN CONSULTANT:
 GILMORE & ASSOCIATES, INC.
 DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
 ONE PENN CENTER AT SUBURBAN STATION
 1617 JFK BOULEVARD, SUITE 820
 PHILADELPHIA, PA 19103
 PHONE: (800) 344-9567

CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA
 DPP PROJECT NUMBER: 16-14-4230-01
 PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
 575 TOMLINSON ROAD, PHILA. PA

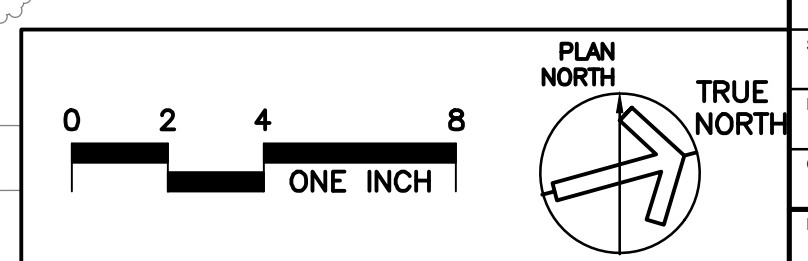
DRAWING TITLE: SPRAY AREA ENLARGEMENT PLAN
 DPP PROJECT NO.: 16-14-4230-01
 CONSULTANT PROJECT NO.: 2014-02041-07
 DATE: 12/10/2018
 SCALE: AS NOTED
 DRAWN BY: MDS
 CHECKED BY: KMS
 DRAWING NO.: L-2.2
 NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

1 SPRAY AREA ENLARGEMENT PLAN
 SCALE: 1/4" = 1'-0"

SPRAYGROUND SPRAY FEATURE SCHEDULE			
SYMBOL	QTY.	SPRAY FEATURE NAME	DETAIL #
W006	002	AQUA ARCH	3/D-2
W011	003	JET WAY	3/D-2
W326-1	002	MISSION HILL MISTER	5/D-2
W331	003	MISTEE JET	3/D-2
W085	003	SPLASHOLATOR	3/D-2
TOTAL	013		

- GENERAL NOTES:**
- UPPER AND LOWER FENCE RAILS SHALL CURVE WITH RADIUS OF WALKWALK/CURB/AND SPRAY PAD. FENCE POSTS SHALL BE PLACED 6FT ON CENTER. SEE SHEET D-3 FOR DETAILS.
 - FENCE AROUND SPRAY GROUND SHALL BE 48" IN HEIGHT EXCEPT FOR ON TOP OF CURB. FENCE ON TOP OF CURB SHALL BE 42" IN HEIGHT. ALL TOP RAILS SHALL ALIGN AT SAME HEIGHT.

2 SPRAYGROUND SPRAY FEATURE SCHEDULE
 SCALE: NTS



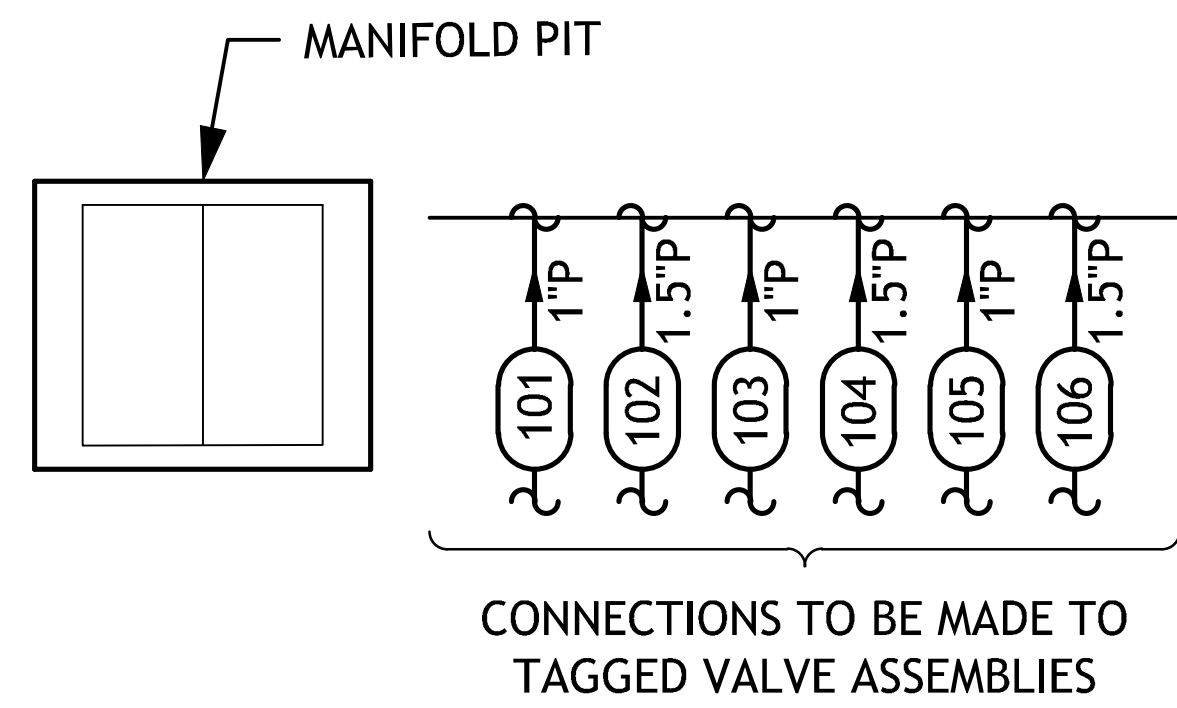
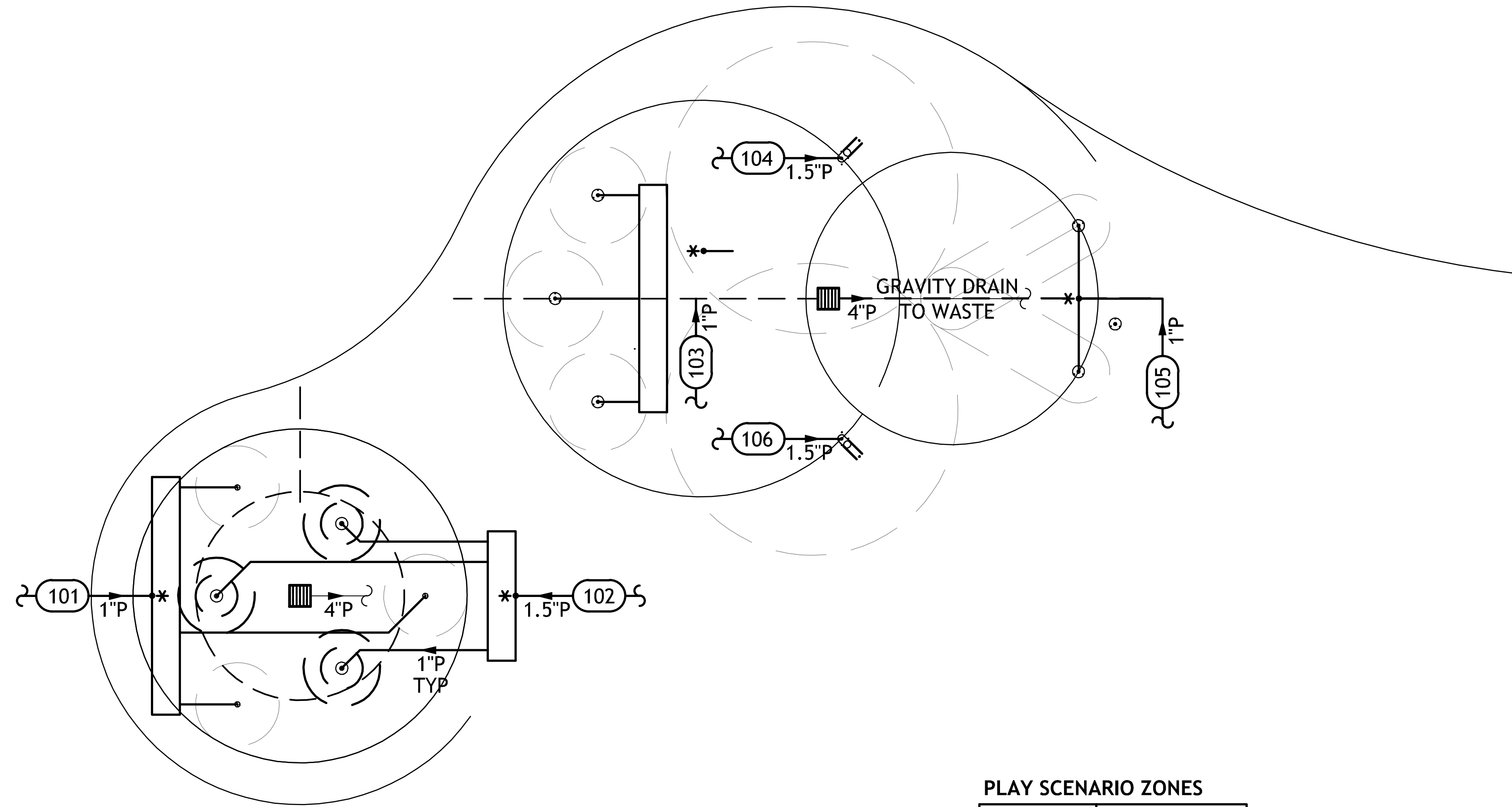
DESCRIPTION	QTY
W006C AQUA ARCH 4' HIGH - 7' THROW 2 GPM (4) @ 3 PSI	2
W011C JET WAY 4' HIGH 3 GPM (9) @ 2 PSI	3
W085 SPLASH-O-LATOR 4' HIGH 7 GPM (21) @ 3 PSI	3
W331 MISTEEEE 1 GPM (3) @ 20 PSI	3
W326-1 MISSION HILL MISTER 13 GPM (26) @ 20 PSI	2
W200 PLAIN DRAIN	3

TOTAL GPM 63

NOTES:

1. THIS DRAWING IS DIAGRAMMATIC IN NATURE. LOCATIONS RECOMMENDED FOR PLAY COMPONENTS AND DRAINS ARE APPROXIMATE. PIPING AND CONDUIT RUNS ARE SCHEMATIC. JOB CONDITIONS AND LOCAL CODES MUST DETERMINE FINAL ROUTING.
2. PIPING, CONDUIT, AND WIRE ARE BY INSTALLER.
3. PIPE SIZES ASSUME 100' MAXIMUM RUNS. LONGER RUNS MUST BE EVALUATED BY WATER ODYSSEY. CONTRACTOR RESPONSIBLE FOR VERIFICATION OF PIPE SIZE BETWEEN DISCHARGE MANIFOLD AND FEATURES. VELOCITY NOT TO EXCEED 8FT/SECOND.
4. SYMBOL "*" INDICATES THAT THE TEE MUST BE PLACED IN THE CENTER OF THE PIPING RUN TO ENSURE BALANCED FLOW.
5. WET DECK AREA MUST BE POURED AND FORMED SO THAT WATER SHED AREA SLOPES TOWARD DRAINS.

POTABLE MECHANICAL EQUIPMENT	
DSC-0-8-W-A SEQUENCING CONTROLLER WIRELESS / PRE-WIRED STAND MOUNTED	1
WMAFS-06 FLANGED WALL MOUNTED DISTRIBUTION MANIFOLD (3) 1" DISCHARGES & (3) 1.5" DISCHARGES STAND MOUNTED PRE-WIRED	1
WVB-6072-8 ABOVE GRADE MANIFOLD ENCLOSURE BOX	1
05-0507 PRESSURE REDUCING VALVE 80 GPM MAX @ 20 PSI	1

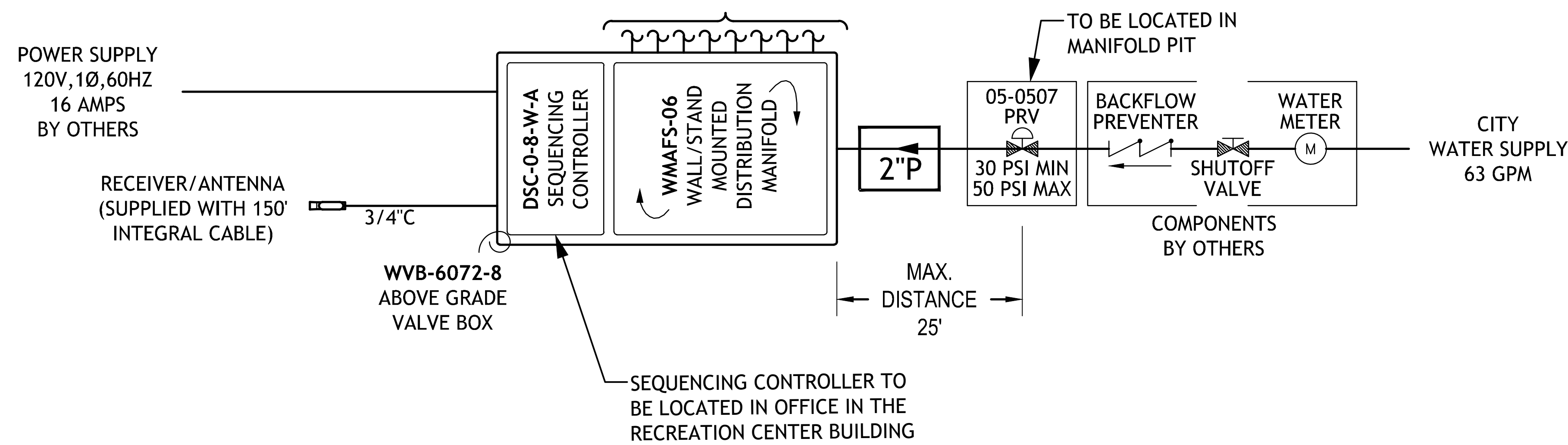


PLAY SCENARIO ZONES

ACTIVATOR LABEL	NONE
ACTIVATOR LOCATION	NO ACTIVATORS
MANIFOLD VALVE ASSEMBLY LABEL	(101)
	THRU
	(106)

"REFER TO ELECTRICAL SCHEMATICS AND PROGRAMMING SHEET FOR WIRING CONNECTIONS TO BE MADE TO TAGGED SOLENOID VALVE ASSEMBLIES"

PROGRAM NOT SPECIFIED FEATURES CYCLE AND/OR RANDOM WITH 'CLOCK'



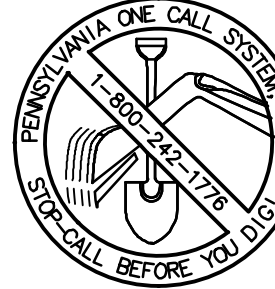
REVISIONS

ISSUE	DATE	REVISIONS
1	9/4/15	85% DPP REVIEW
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PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Main Street
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19382 - 1078



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NOTICE TO UTILITIES BEFORE YOU EXCAVATE,
DRILL, BURY OR GRADE!

PA ONE-CALL NUMBER (FOR DESIGN ONLY): 20183382907

DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH SEAL



KEVIN M. SELGER, RLA - PA LICENSE 002685

CIVIL ENG. SEAL

DESIGN CONSULTANT:

GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE
ARCHITECTURE & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1617 JFK BOULEVARD, SUITE 820
PHILADELPHIA, PA 19103
PHONE: (800) 344-9867

CITY OF PHILADELPHIA

DEPARTMENT OF PUBLIC PROPERTY

1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01

PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND

575 TOMLINSON ROAD, PHILA. PA

DRAWING TITLE: SPRAY AREA PIPING PLAN

DPP PROJECT NO.: 16-14-4230-01

CONSULTANT PROJECT NO.: 2014-02041-07

DATE: 12/10/2018

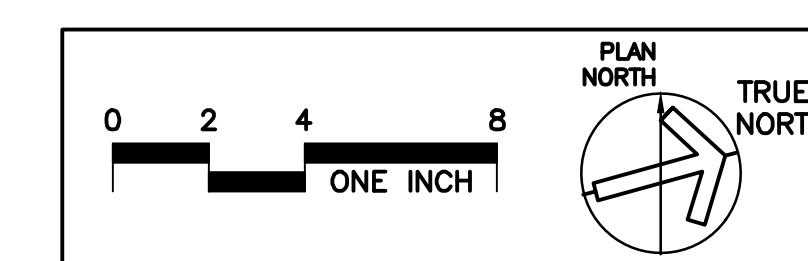
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DRAWN BY: MDS

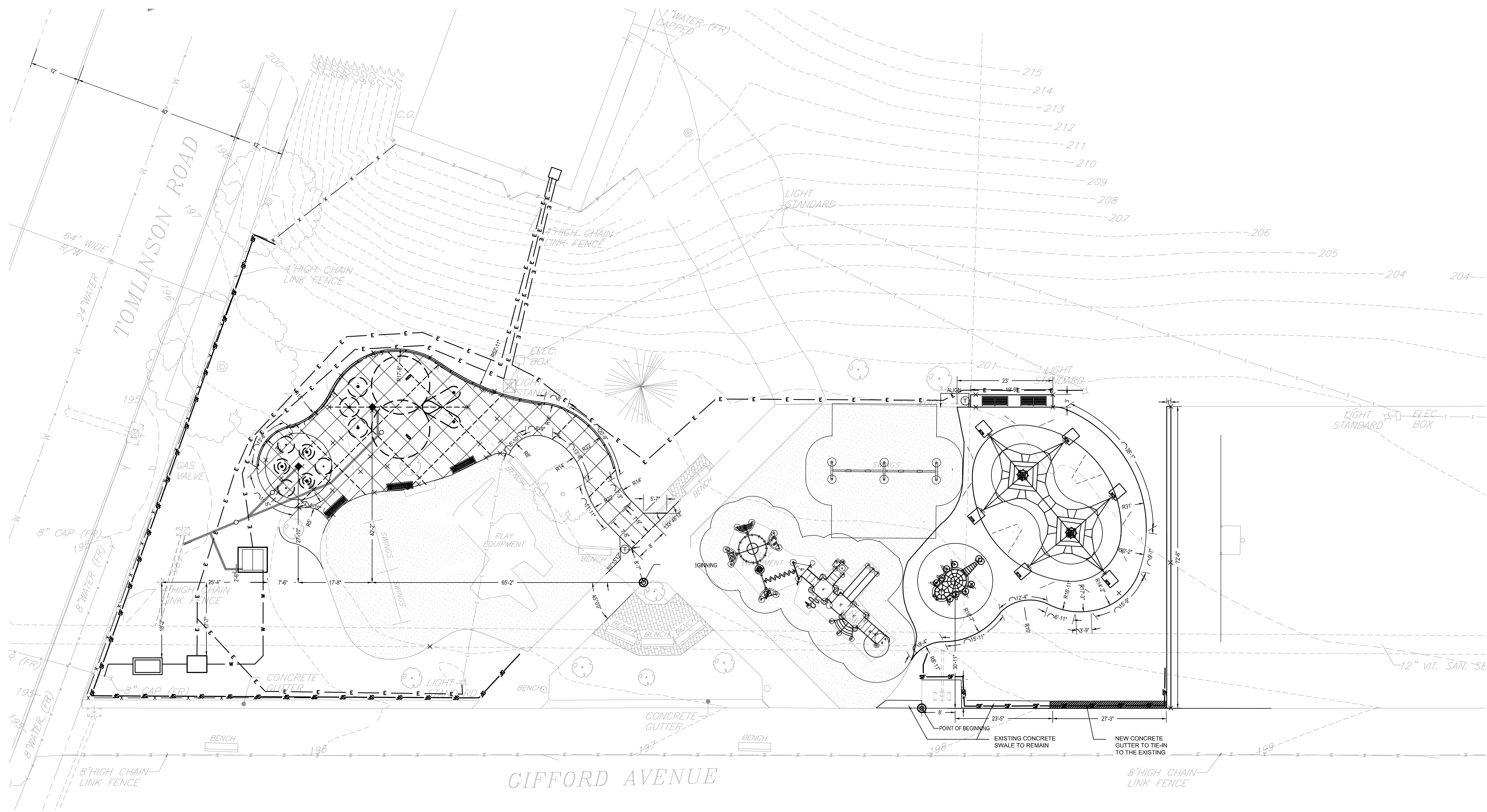
CHECKED BY: KMS

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

1 SPRAY AREA PIPING PLAN
SCALE: 1/4" = 1'-0"



L-2.3



1 OVERALL SITE LAYOUT PLAN
SCALE: 1" = 10'

REVISIONS		
ISSUE	DATE	REVISIONS
1	9/4/15	85% DPP REVIEW
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PA ONE-CALL NUMBER (FOR DESIGN ONLY): 20183382907
DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH. SEAL

KEVIN M. SELGER, RLA - PA LICENSE 002685

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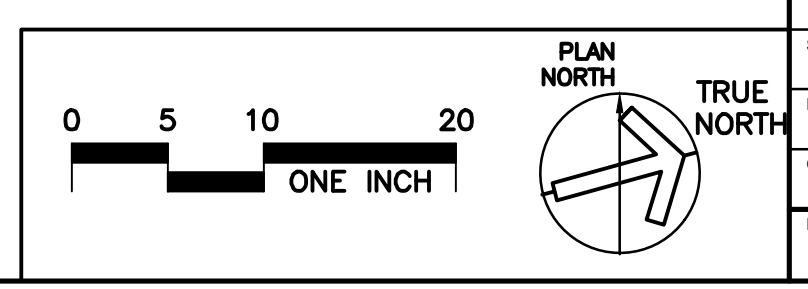
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DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01
PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
575 TOMLINSON ROAD, PHILA. PA

DRAWING TITLE: OVERALL SITE LAYOUT PLAN

DPP PROJECT NO.: 16-14-4230-01
CONSULTANT PROJECT NO.: 2014-02041-07
DATE: 12/10/2018
SCALE: AS NOTED
DRAWN BY: MDS
CHECKED BY: KMS

DRAWING NO.:
DATE:
SCALE:
DRAWN BY:
CHECKED BY:



L-3.0

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DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH SEAL:

KEVIN M. SELGER, RLA - PA LICENSE 002685

DESIGN CONSULTANT:

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CITY OF PHILADELPHIA
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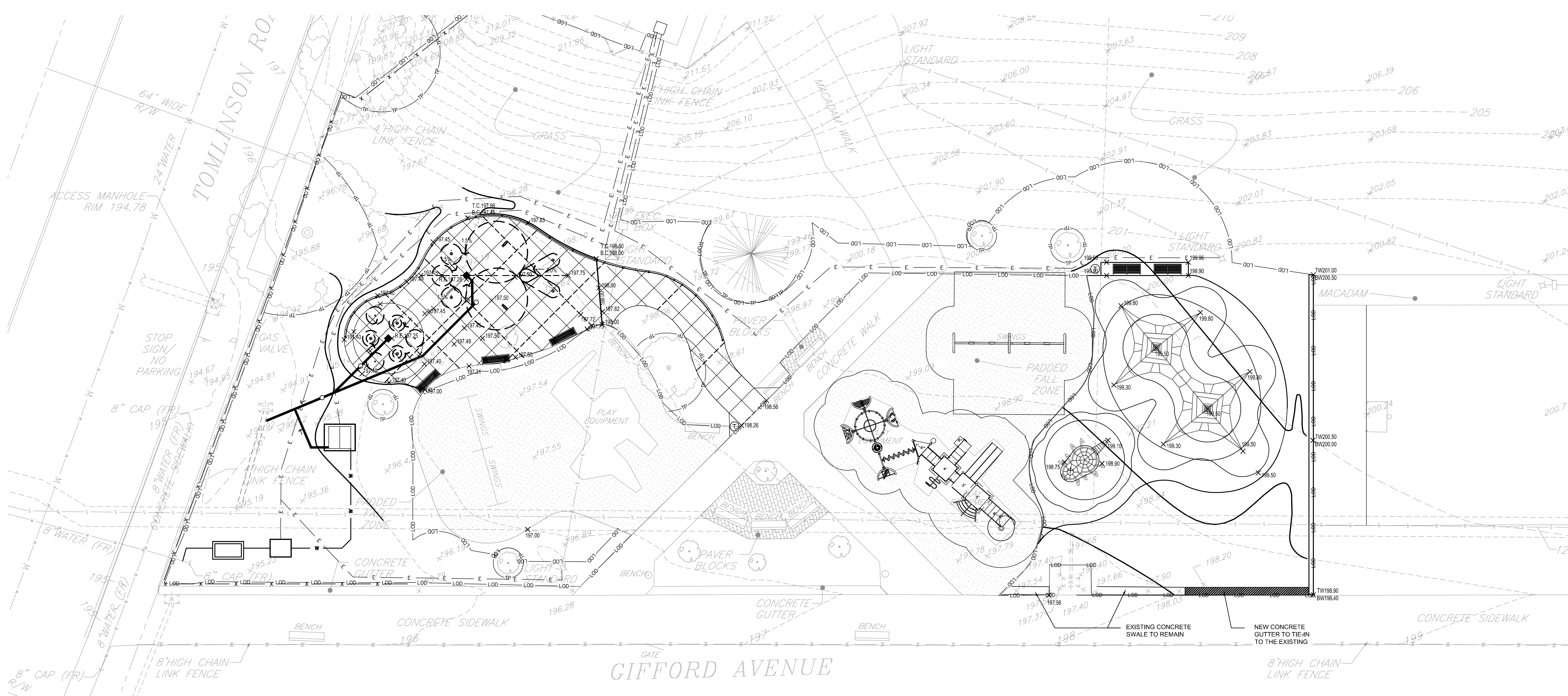
DPP PROJECT NUMBER: 16-14-4230-01
 PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
 575 TOMLINSON ROAD, PHILA. PA

DRAWING TITLE: GRADING & DRAINAGE PLAN

DPP PROJECT NO.: 16-14-4230-01
 CONSULTANT PROJECT NO.: 2014-02041-07
 DATE: 12/10/2018
 SCALE: AS NOTED
 DRAWN BY: MDS
 CHECKED BY: KMS

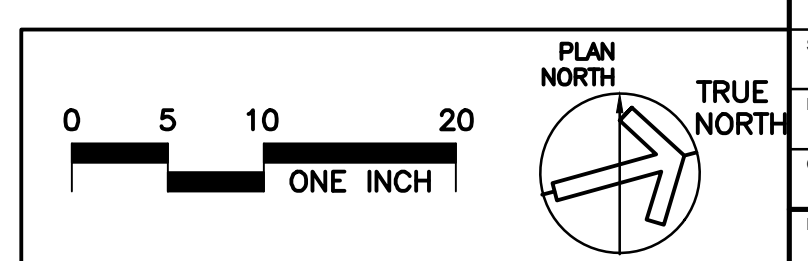
DRAWING NO.: **L-4.0**

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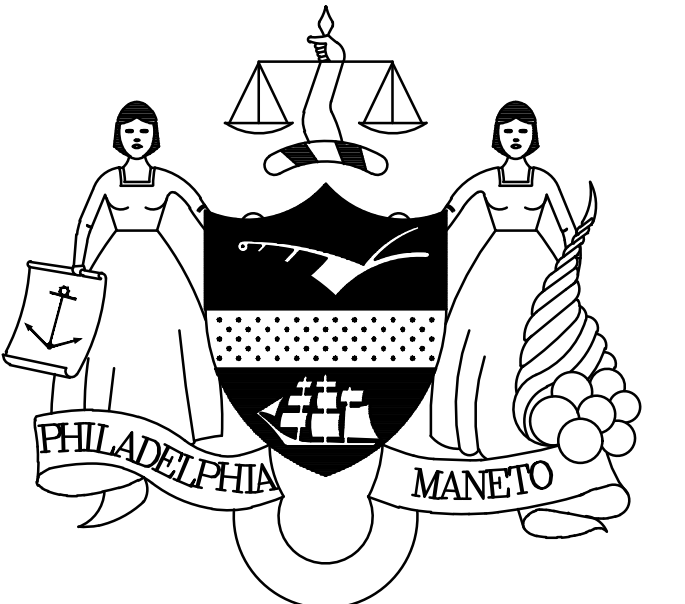


GRADING AND DRAINAGE PLAN LEGEND

- PROPOSED CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED SOLID DRAINAGE PIPE AND SLOPE
- PROPOSED PERFORATED DRAINAGE PIPE AND SLOPE
- PROPOSED 12" AREA DRAIN
- PROPOSED PVID CLEANOUT
- EXISTING GAS MAIN
- EXISTING WATER MAIN
- EXISTING BRICK COMBINED SANITARY & STORM SEWER
- EXISTING ELECTRIC
- EXISTING STORM
- EXISTING STORM INLET



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 West Mifflin, Pennsylvania
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LAND ARCH. SEAL

KEVIN M. SELGER, RLA - PA LICENSE 002685

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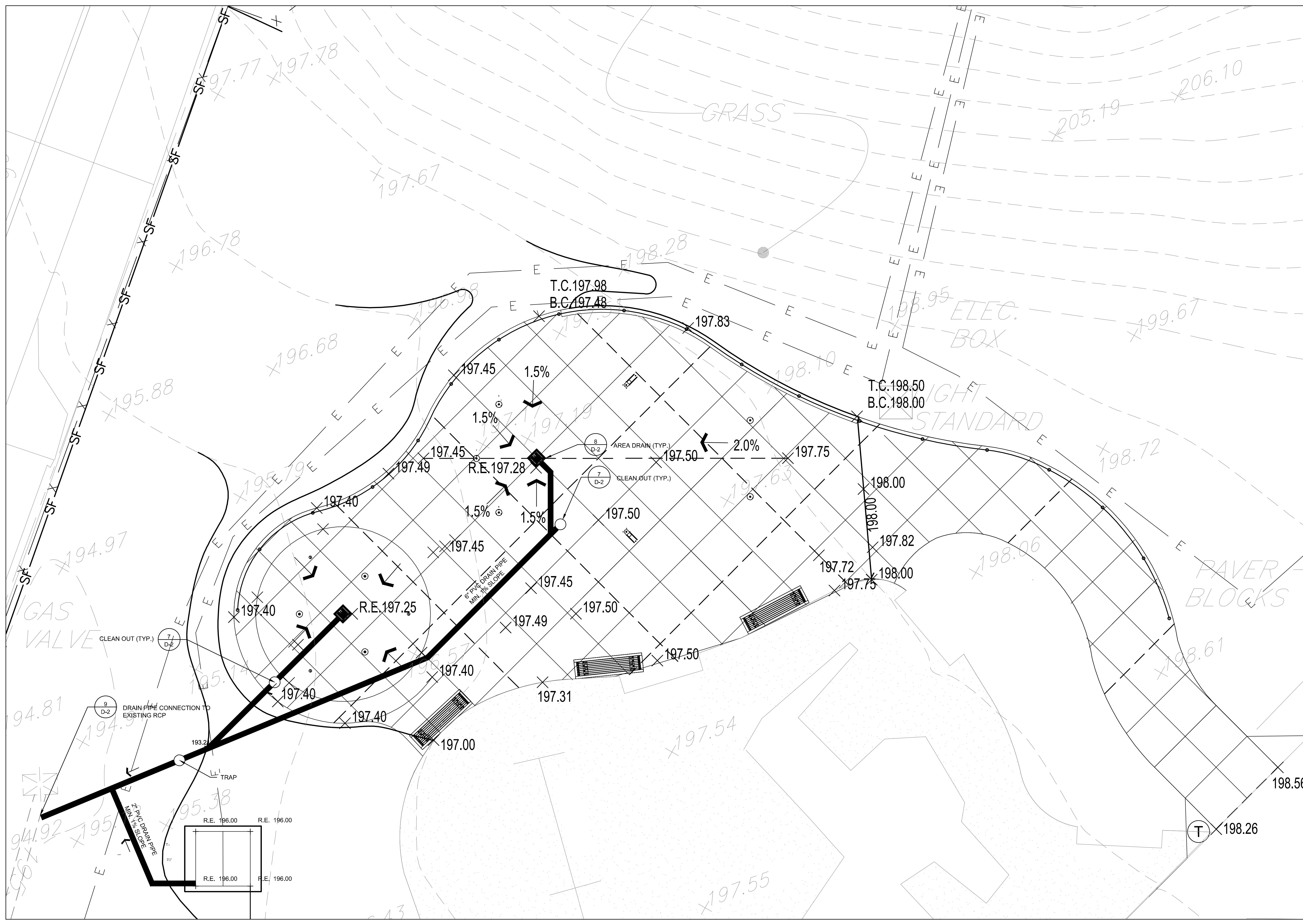
CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC PROPERTY
 1515 ARCH STREET
 11TH FLOOR, ONE PARKWAY BUILDING
 PHILADELPHIA, PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01
 PROJECT TITLE: **IMPROVEMENTS TO GIFFORD PLAYGROUND**
 575 TOMLINSON ROAD, PHILA. PA

DRAWING TITLE: **SPRAYGROUND GRADING & DRAINAGE ENLARGEMENT**

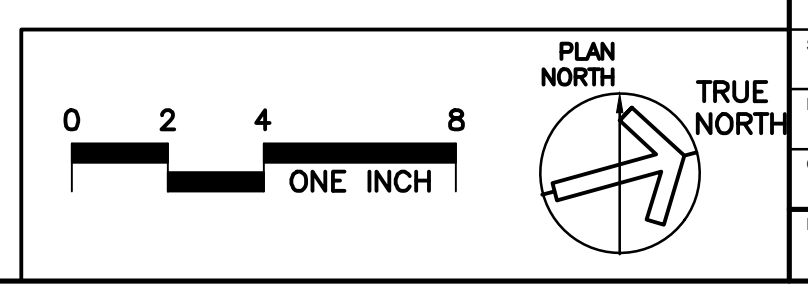
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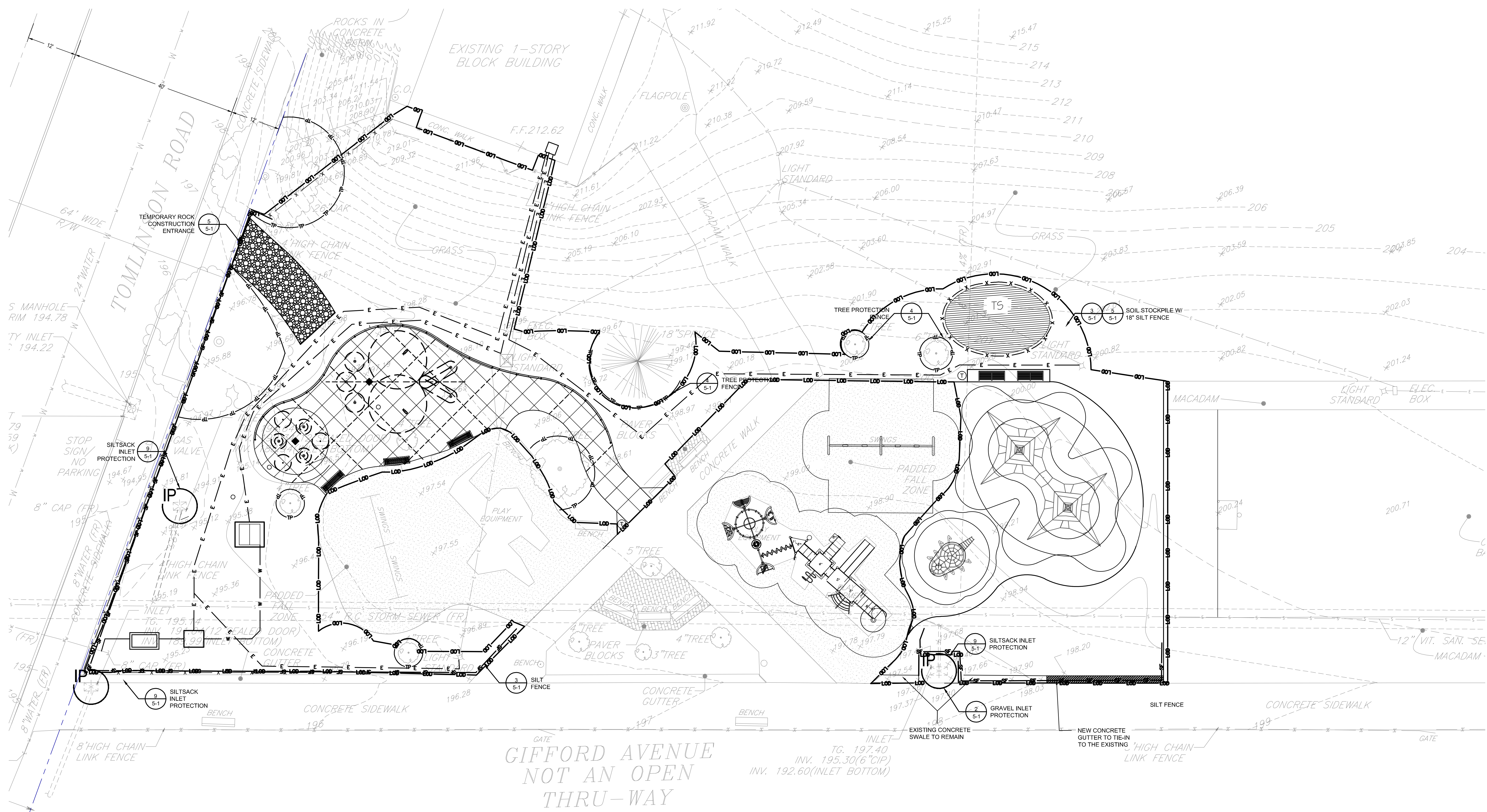
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GRADING AND DRAINAGE PLAN LEGEND

	PROPOSED CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED SOLID DRAINAGE PIPE AND SLOPE
	PROPOSED 12" AREA DRAIN
	PROPOSED PWD CLEANOUT
	EXISTING GAS MAIN
	EXISTING WATER MAIN
	EXISTING BRICK COMBINED SANITARY & STORM SEWER
	EXISTING ELECTRIC
	EXISTING STORM
	EXISTING STORM INLET
	EXISTING STORM INLET





1 EROSION AND SEDIMENTATION CONTROL PLAN
SCALE: 1" = 10'

EROSION AND SEDIMENTATION CONTROL PLAN LEGEND

- FILTER BAG INLET PROTECTION (TYP.)
- GRAVEL INLET PROTECTION (TYP.)
- 12" SILT SOXX INLET PROTECTION (TYP.)
- SILT FENCE (TYP.)
- TREE PROTECTION FENCE (TYP.)
- TEMPORARY ROCK CONSTRUCTION ENTRANCE (TYP.)
- LIMIT OF DISTURBANCE (11340.00 SF)
- LEGAL RIGHT-OF-WAY
- TOPSOIL STOCKPILE WITH 18" SILT FENCE

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON USDA-NRCS WEB SOIL SURVEY

SYMBOL	MAPPING UNITS	SLOPE	LAND CAPABILITY	HYDRIC SOIL	HSG	DEPTH TO		LIMITATIONS FOR CONSTRUCTION
						BEDROCK	WATER TABLE	
Ub	URBAN LAND	0-8%	Bs	NO	D	> 12"	> 6"	NOT LIMITED

*NOTE: ENTIRE SITE IS CLASSIFIED AS URBAN LAND (Ub).

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- A. FOLLOW THE PROCEDURE OUTLINED IN THE CONSTRUCTION SEQUENCE.
- B. GENERAL:
 1. AN INDUSTRIAL WASTE PERMIT WILL BE REQUIRED SHOULD PUMPING TO CITY-OWNED INFRASTRUCTURE BECOME NECESSARY DURING CONSTRUCTION.
 2. INLET PROTECTION SHOULD BE PROVIDED FOR ALL INLETS OWNED BY PWD THAT ARE LOCATED WITHIN ONE BLOCK OF THE PROJECT SITE.
 3. PWD IS NOT RESPONSIBLE FOR ANY CLEANING OR REPAIRS NEEDED ON CITY-OWNED INFRASTRUCTURE DUE TO FAILURE OF ANY EROSION AND SEDIMENT CONTROL PRACTICES. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL EROSION AND SEDIMENT CONTROL FACILITIES UNTIL THE SITE IS STABILIZED.
 4. INSPECTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT BEST MANAGEMENT PRACTICES SHALL OCCUR ON A WEEKLY BASIS, BEFORE ANY ANTICIPATED PRECIPITATION EVENTS, AND AFTER ALL PRECIPITATION EVENTS.
 5. THE ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED ON SITE. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.
 6. THE LIMITS OF CLEARING SHALL BE MARKED ON-SITE BY MEANS OF YELLOW NYLON ROPE ATTACHED TO 4-FOOT STAKES, ON 8-FOOT CENTERS. A FORTY-EIGHT INCH HIGH SNOW FENCE OR OTHER SUITABLE FENCE, SUCH AS SUPER SILT FENCE, MOUNTED ON STEEL POSTS LOCATED EIGHT FEET ON-CENTER, SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION AREA. WHEN THE FENCING HAS BEEN INSTALLED, CLEARING AND OTHER CONSTRUCTION ACTIVITIES MAY COMMENCE. THE FENCING ALONG THE TREE PROTECTION AREA SHALL BE MAINTAINED UNTIL ALL WORK AND CONSTRUCTION HAS BEEN COMPLETED. ANY DAMAGES TO THE PROTECTIVE FENCING SHALL INCLUDE SIGNS POSTED EVERY 200 FEET ALONG THE FENCE WHICH SHALL SAY: "PROTECTED AREA - DO NOT MOVE OR REMOVE THIS FENCE. NO CONSTRUCTION ACTIVITIES OR STORAGE OF MATERIALS OR EQUIPMENT BEYOND THIS POINT."
 7. ANY SEDIMENT OR MUD THAT IS TRACKED ONTO THE PUBLIC ROADWAY MUST BE CLEANED OFF IMMEDIATELY BY BROOMING AND/OR SHOVELING TO THE SATISFACTION OF PWD. AT THE EXPENSE OF THE DEVELOPER AND/OR RESPONSIBLE CONTRACTOR.
8. NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAVE THE SITE/PROPERTY WITHOUT FIRST BEING FILTERED.
9. FILTER FABRIC FENCE SHOULD BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION SHOULD BE EXTENDED AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO MAIN BARRIER ALIGNMENT. SUPPORT STAKES SHALL BE SPACED AT A MAXIMUM OF 8 FEET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FILTER FENCE.
10. ROCK FILTER OUTLETS MUST BE PROVIDED IMMEDIATELY WHERE SILT FENCING HAS BEEN UNDERMINED OR OVERTOPPED.
11. ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH ROCK FILTER OUTLET. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE OUTLET.
12. THE PROJECT RECEIVING WATERCOURSE IS LOWER SCHUYLKILL RIVER. THE CHAPTER 93 CLASSIFICATION IS WWF.
13. AS-BUILT DRAWINGS OF THE STORMWATER FACILITIES WILL BE REQUIRED FROM THE SITE CONTRACTOR TO CONFIRM BASIN VOLUMES AND CONTROL STRUCTURES.
14. PERMANENT GRASS SHALL BE ESTABLISHED BY SEEDING AND MULCHING OR SOODING FOLLOWING FINAL GRADING PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION FERTILIZER SHALL BE APPLIED ACCORDING TO SEEDING AND MULCHING SCHEDULE.
15. SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEDED. A BURAP OR STRAW COVER WILL BE APPLIED TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY.
16. THE ABOVE PROCEDURE SHALL BE REPEATED AFTER EACH SIZEABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT MONTHLY INTERVALS THEREAFTER, INSPECTIONS AND NECESSARY CLEANING WILL BE DONE. TRASH THAT IS REMOVED FROM ANY OF THE CONTROL DEVICES SHALL BE DISPOSED OF AT AN APPROVED DISPOSAL AREA. SILT THAT HAS ACCUMULATED SHALL BE REMOVED AND ALLOWED TO DRY AND USED AS FILL WHEREVER REQUIRED ON THE SITE.
17. SOIL COMPACTION SHOULD BE MINIMIZED ON-SITE, EVEN IN AREAS NOT PURPOSED FOR INFILTRATION. LIMIT THE USE OF HEAVY EQUIPMENT IN PROPOSED SMP #1-3 AS NOTED IN CONSTRUCTION SEQUENCE.

RESPONSIBILITIES FOR FILL MATERIALS

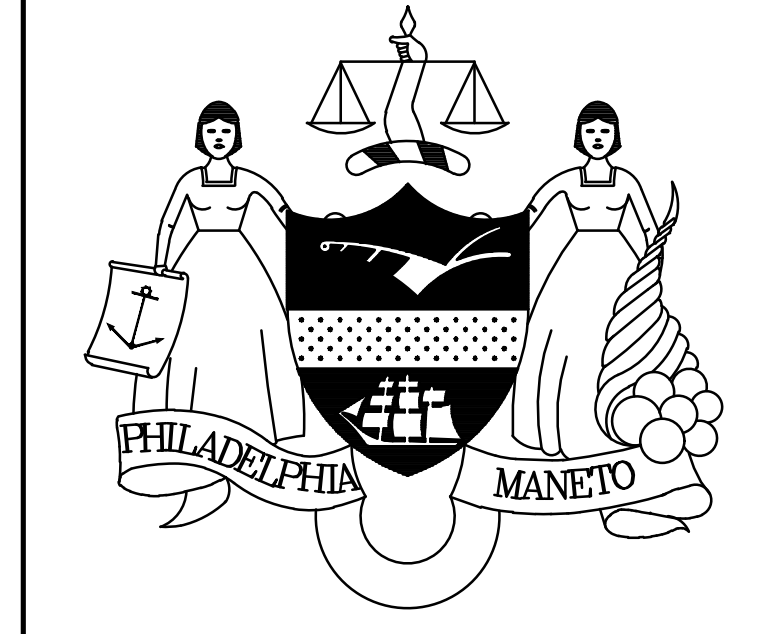
1. THE OPERATOR MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT ANY NECESSARY FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH PADEP'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258-2182-773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT WWW.DEFWEBSITE.PA.US.
2. CLEAN FILL IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSED, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM THE WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE).
3. CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN PADEP'S POLICY "MANAGEMENT OF FILL".
4. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE PADEP FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. A COPY OF FORM FP-001 CAN BE FOUND AT WWW.DEFWEBSITE.PA.US.
5. ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREEN, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS.
6. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF PADEP'S POLICY "MANAGEMENT OF FILL".
7. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE MUNICIPAL OR RESIDUAL WASTE REGULATIONS IN 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
8. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION.

MAINTENANCE & STABILIZATION

1. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
2. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
3. AT THE END OF EACH WORKING DAY, ANY SEDIMENT TRACKED OR CONVEYED ONTO A PUBLIC ROADWAY SHALL BE REMOVED AND REDEPOSITED ONTO THE CONSTRUCTION SITE. REMOVAL CAN BE COMPLETED THROUGH USE OF MECHANICAL OR HAND TOOLS, BUT MUST NEVER BE WASHED OFF THE ROAD BY USE OF WATER.
4. HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
5. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
6. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
7. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENEWING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
8. CONTRACTOR TO MAINTAIN WRITTEN DOCUMENTATION OF ALL INSPECTIONS AND REPAIR/REPLACEMENT OF BEST MANAGEMENT PRACTICES.
9. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

REVISIONS

ISSUE	DATE	REVISIONS
1	9/4/15	85% DPP REVIEW
2	12/10/18	ISSUE FOR CONSTRUCTION



PENNSYLVANIA ONE CALL SYSTEM, INC.
935 Valley Forge Blvd
West Chester, Pennsylvania
19382-1078

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776
NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, OR CUT OR GROUND!

PA ONE-CALL NUMBER (FOR DESIGN ONLY): 20183382907
DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH SEAL
PENNSYLVANIA REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
KEVIN M. SELGER, RLA - PA LICENSE 002685

DESIGN CONSULTANT:
GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1617 JFK BOULEVARD, SUITE 820
PHILADELPHIA, PA 19103
PHONE: (800)344-9667

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA, PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01
CONSULTANT PROJECT NO: 2014-4230-01
DATE: 12/10/2018

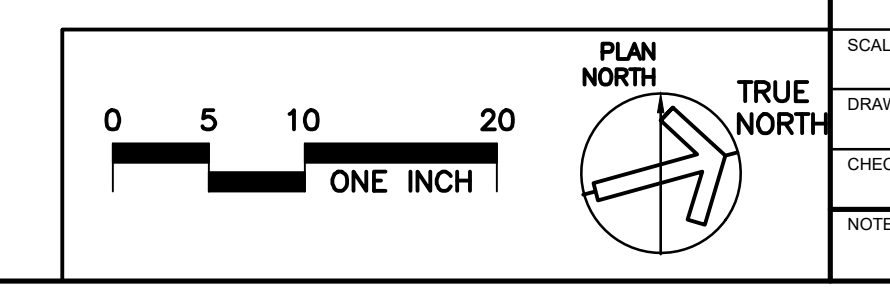
IMPROVEMENTS TO GIFFORD PLAYGROUND
575 TOMLINSON ROAD, PHILA. PA

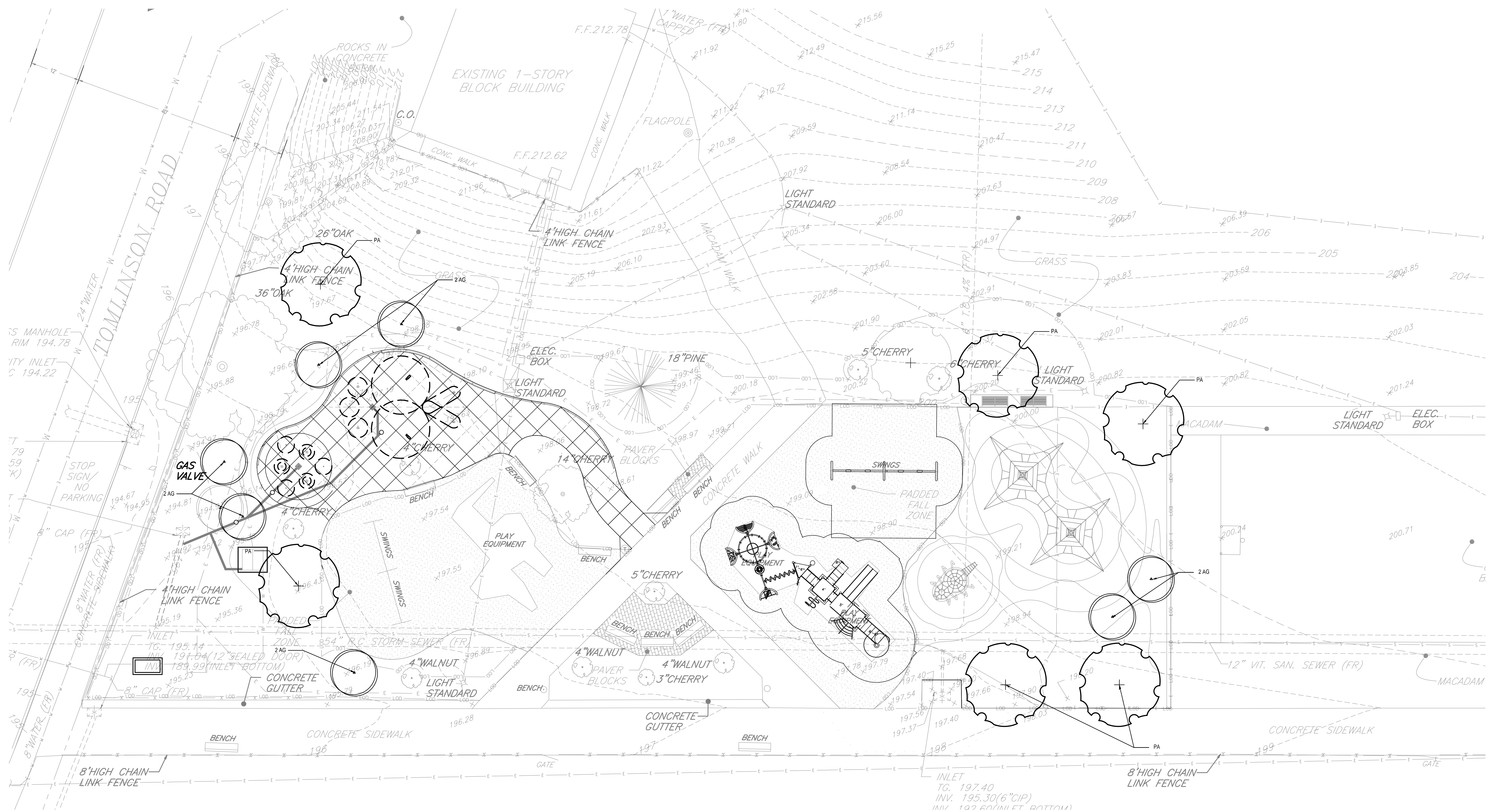
EROSION & SEDIMENTATION CONTROL PLAN

DPP PROJECT NO: 16-14-4230-01
CONSULTANT PROJECT NO: 2014-4230-01
DATE: 12/10/2018
SCALE: AS NOTED
DRAWN BY: MDS
CHECKED BY: KMS

DRAWING TITLE: **L-5.0**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

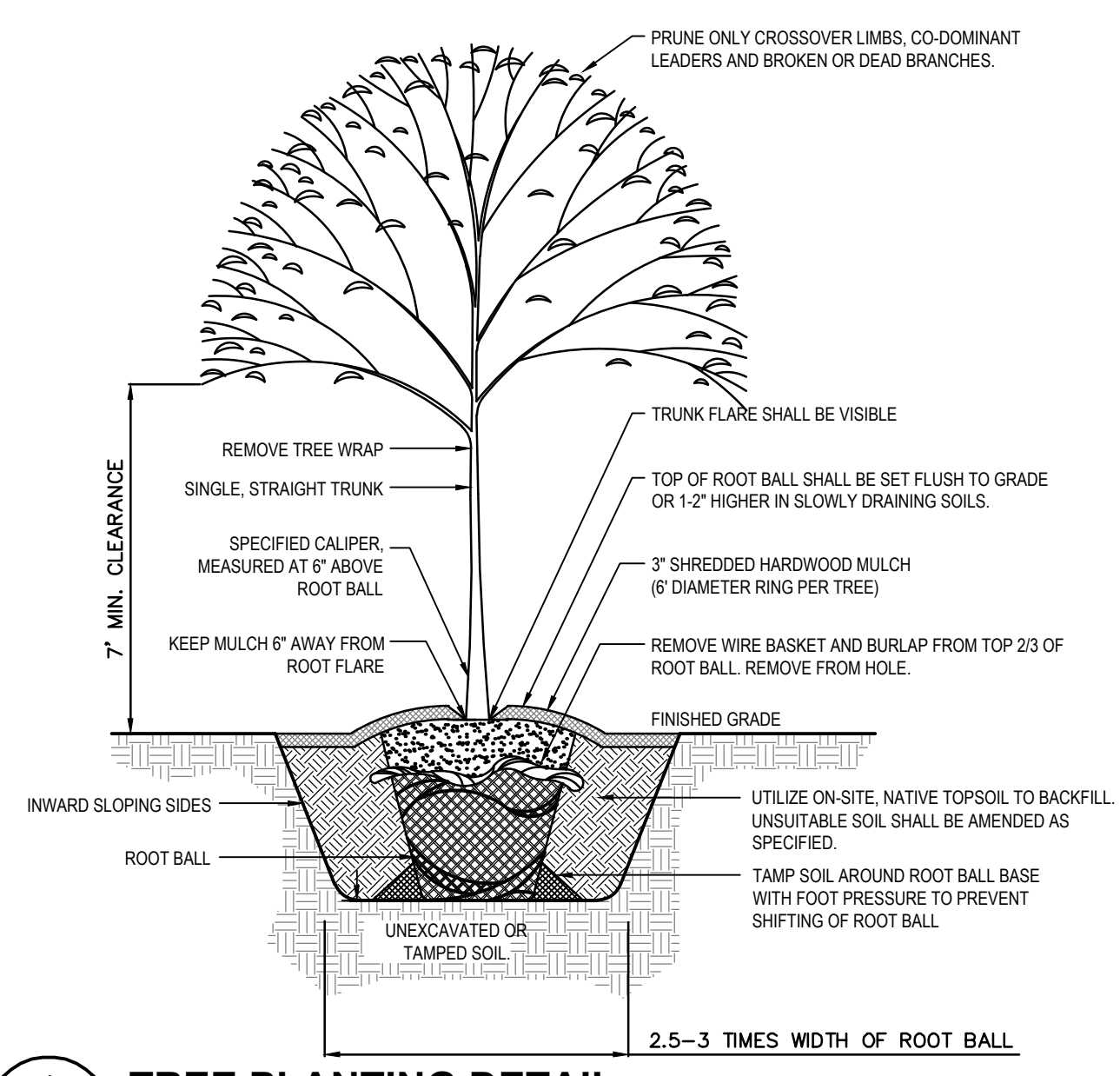




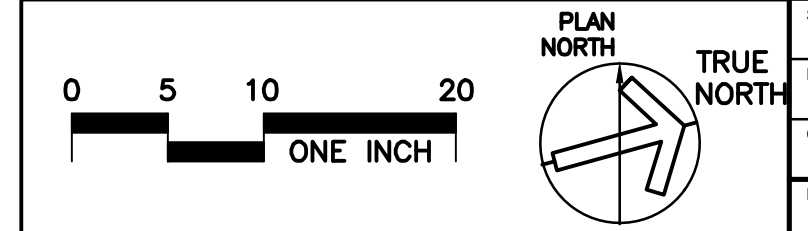
1 LANDSCAPE PLANTING PLAN
SCALE: 1" = 10'

PLANT SCHEDULE						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT
CANOPY TREES						
PA	6	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	3" CALIPER MIN.	AS SHOWN	BBB
ORNAMENTAL TREES						
AG	7	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	12' HT. MIN.	AS SHOWN	BBB

GENERAL NOTES:
1. CONTRACTOR SHALL PROVIDE AND INSTALL SOG IN AREAS DESIGNATED AS WELL AS ANY DISTURBED LAWN AREAS WITHIN THE LIMIT OF DISTURBANCE.



1 TREE PLANTING DETAIL
SCALE: NTS



REVISIONS		
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PENNSYLVANIA ONE CALL SYSTEM, INC.
525 Oak Run Road
West Mifflin, Pennsylvania
15122-1076

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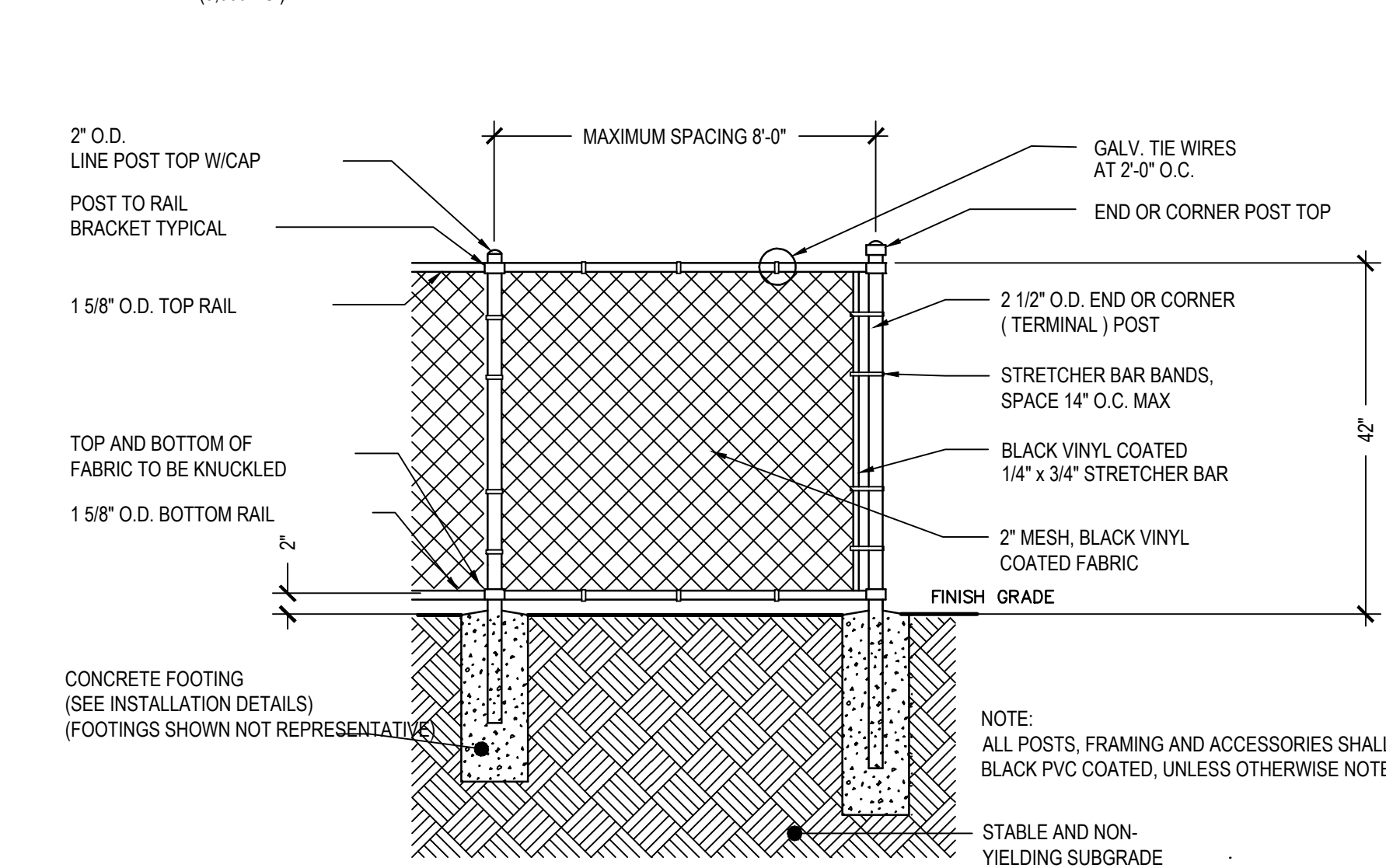
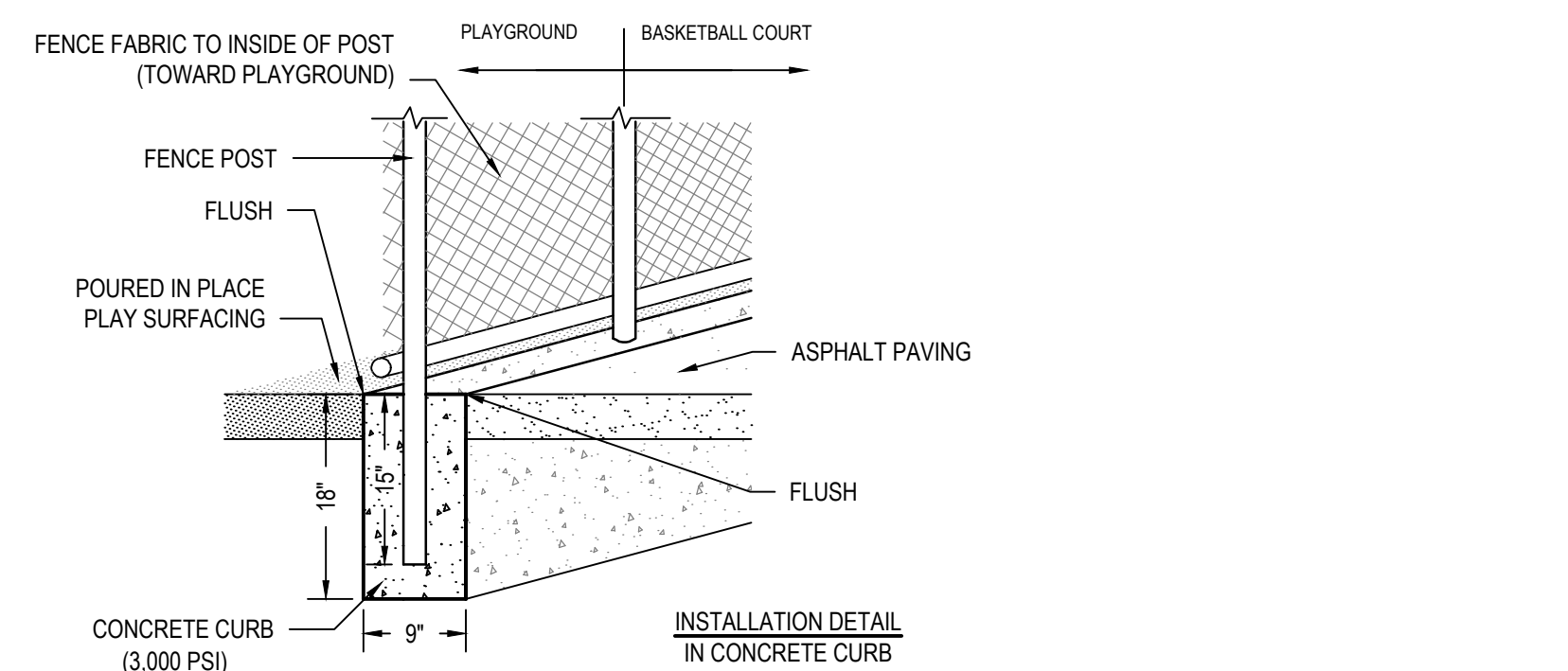
PA ONE-CALL NUMBER (FOR DESIGN ONLY): 20183382907
DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH SEAL
KEVIN M. SELGER, RLA - PA LICENSE 002685

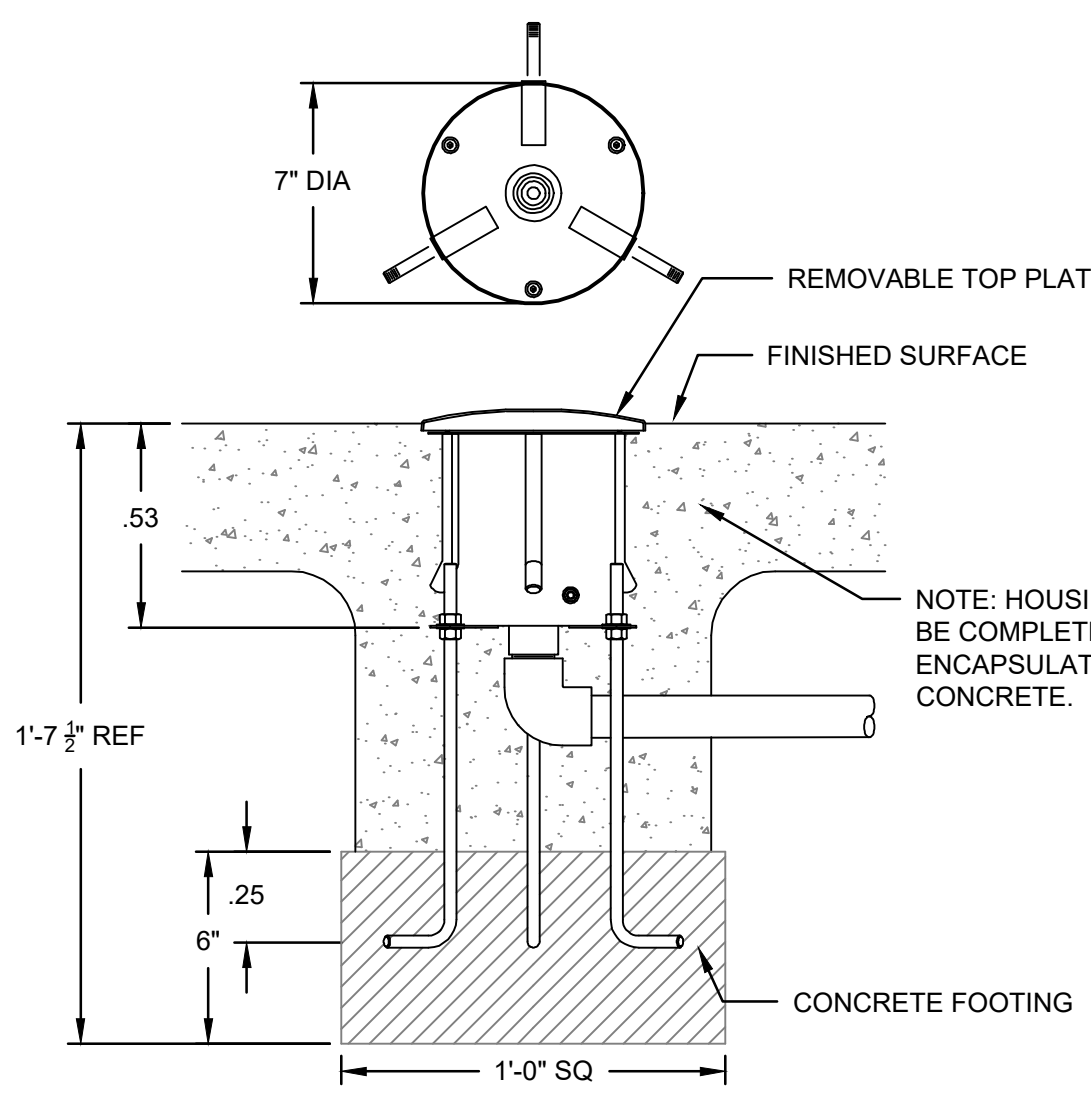
DESIGN CONSULTANT:
GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1617 JFK BOULEVARD, SUITE 820
PHILADELPHIA, PA 19103
PHONE: (800) 344-6667

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
PHILADELPHIA, PENNSYLVANIA
DPP PROJECT NUMBER: 16-14-4230-01
PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
575 TOMLINSON ROAD, PHILA. PA

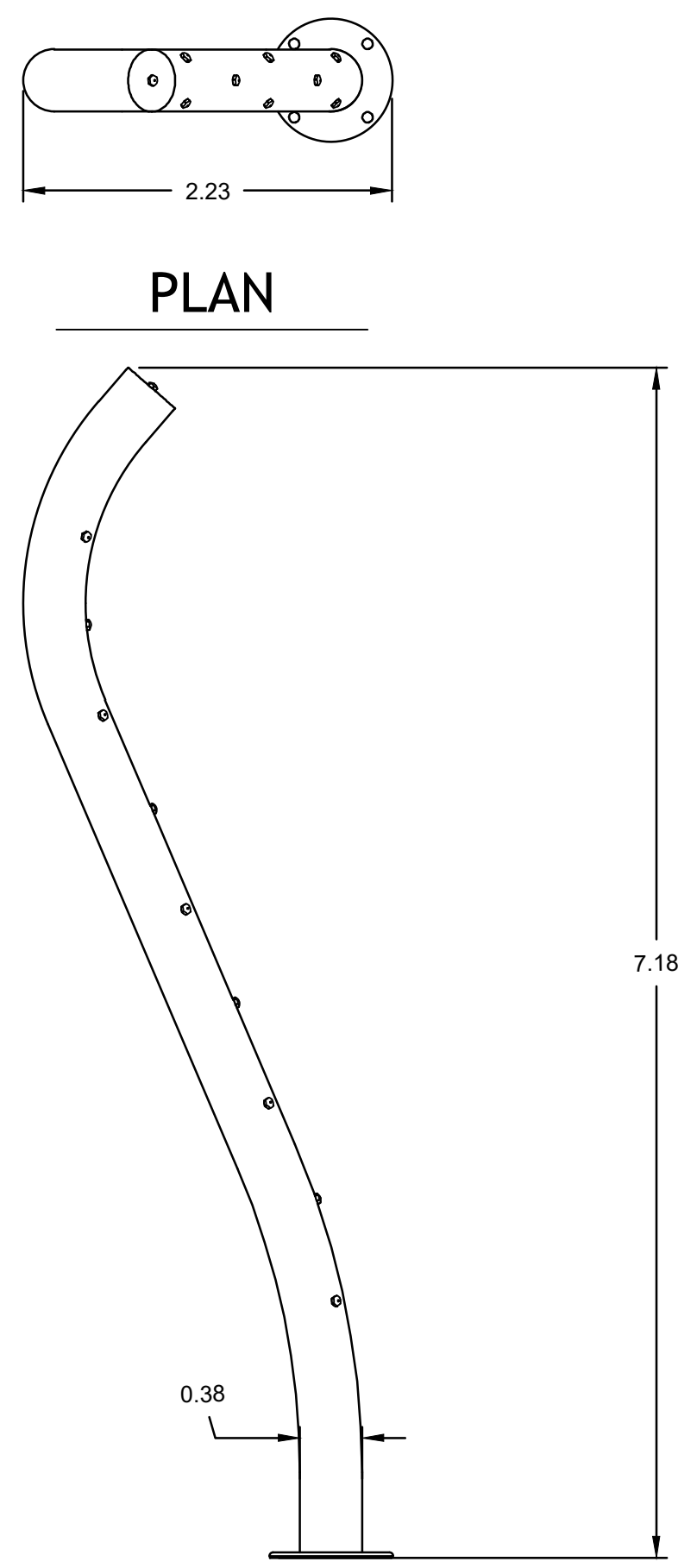
LANDSCAPE PLANTING PLAN
DPP PROJECT NO.: 16-14-4230-01
CONSULTANT PROJECT NO.: 2014-02041-07
DATE: 12/10/2018
SCALE: AS NOTED
DRAWN BY: MDS
CHECKED BY: KMS
DRAWING NO.: **L-6.0**
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



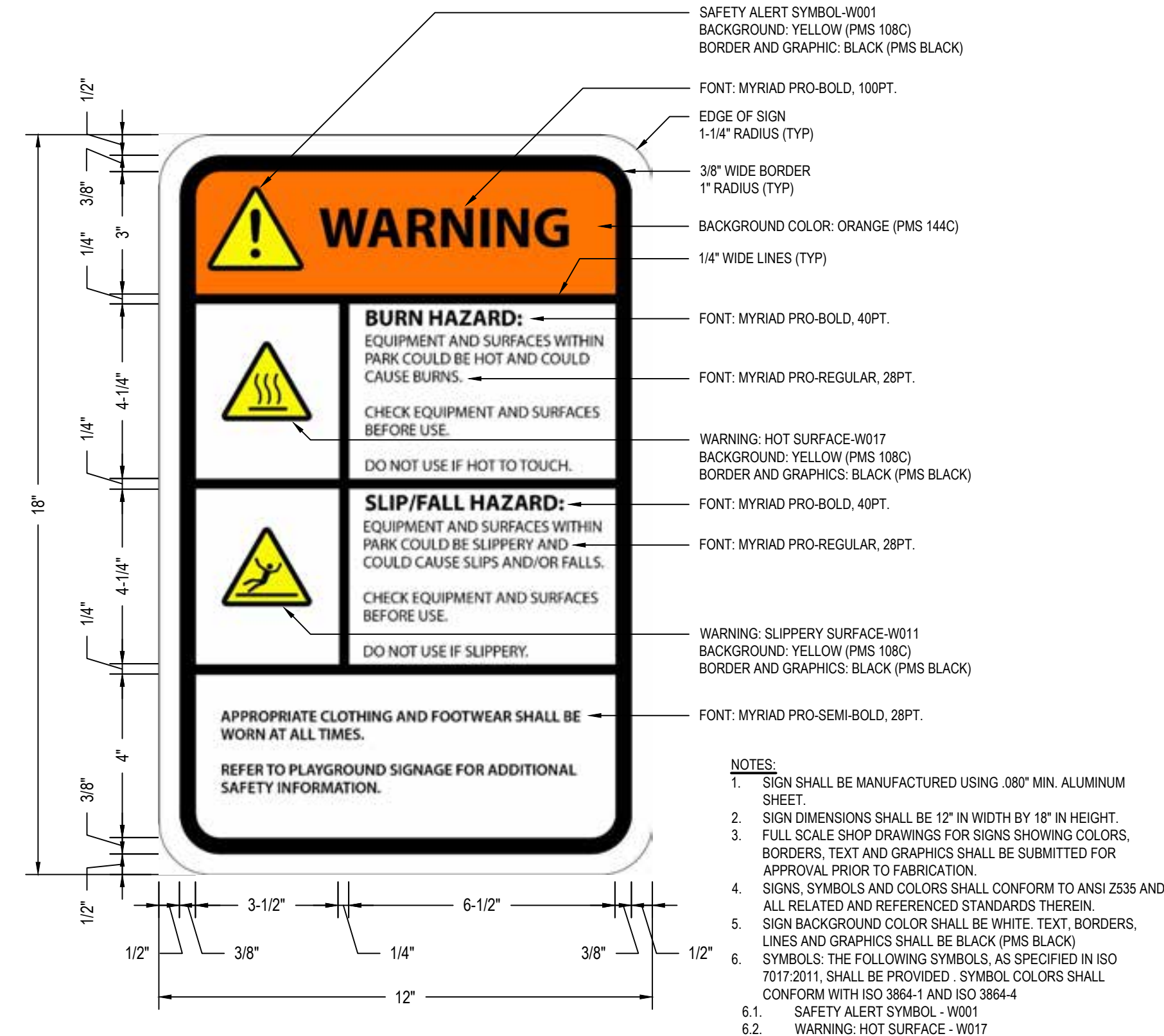
1 42" HEIGHT CHAIN LINK FENCE DETAIL
D-2.0 SCALE: NTS



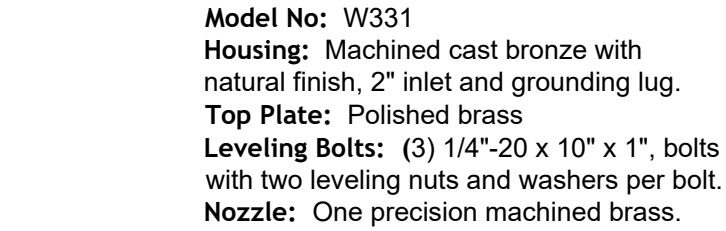
3 GROUND SPRAY INSTALL DETAIL (AQUA ARCH, JET WAY, SPLASHOLATOR)
D-2.0 SCALE: NTS



5 POST SPRAY FEATURE INSTALL DETAIL (MISSION HILL MISTER)
D-2.0 SCALE: NTS



2 PLAYGROUND WARNING SIGNAGE DETAIL
D-2.0 SCALE: NTS



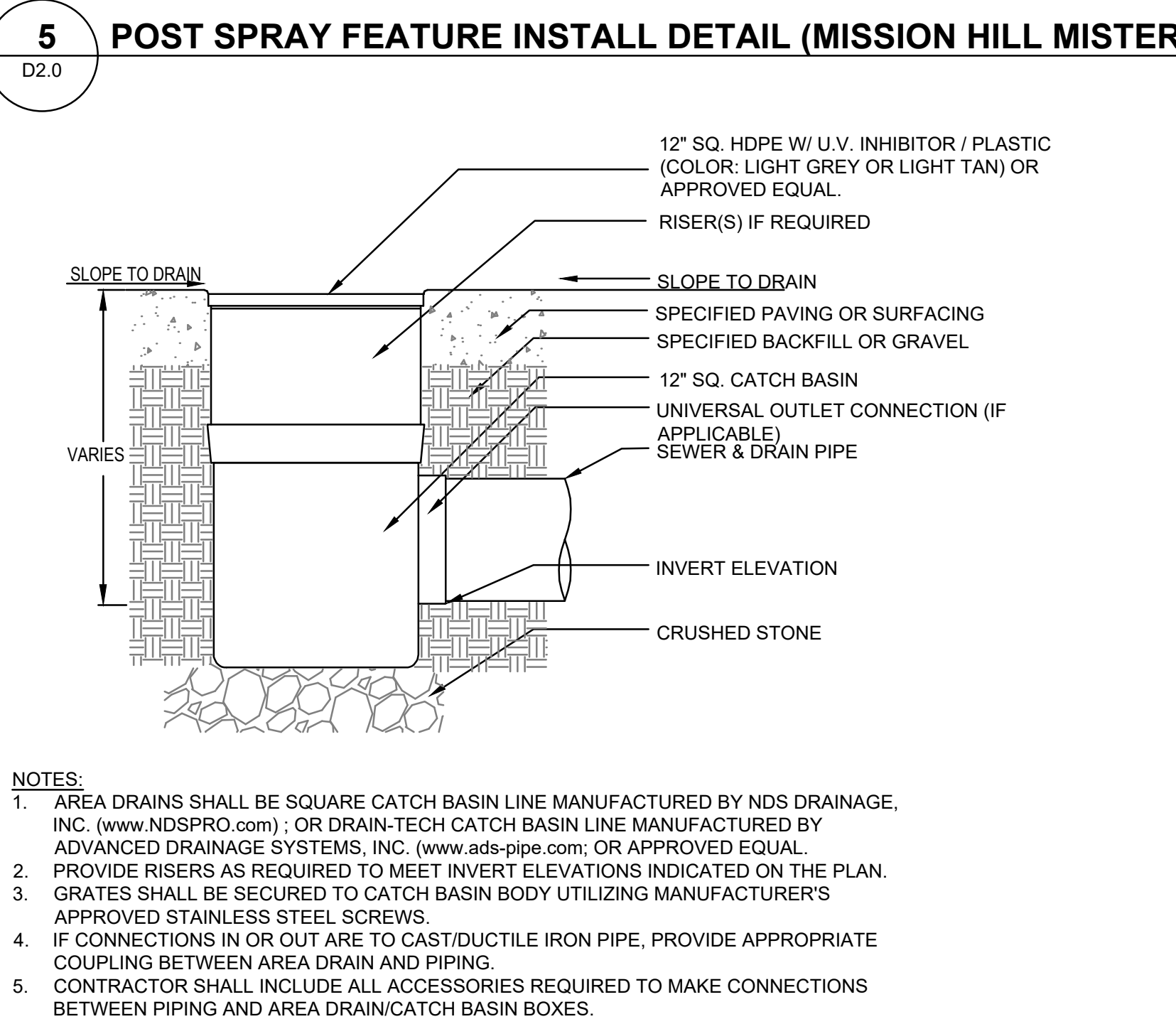
7 DRAIN CLEANOUT
D-2.0 SCALE: NTS

SPECIFICATIONS
AQUA ARCH
Model Number: W006
Interactive Water Effect: Shall be an arching solid stream effect with 360° directional adjustability.
Housing: 20 gauge deep-drawn type 304 stainless steel with grounding connection and 1" FPT inlet. Supplied with 4, 3/8" x 12" x 2" anchor bolts with two leveling nuts and washers per bolt and wood pour template.
Gaskets: 70 durometer EPDM o-ring.
Construction Cover: Reusable 7" diameter HDPE (high density polyethylene).
Top Plate: 7" diameter slightly domed cast bronze with interchangeable nozzle assembly and UV stabilized, textured elastomeric urethane coating with a UV and chlorine resistant sealer coat.
Top Plate Anchors: Three 1/2" x 5" machined brass with 30° hook bend.
Color: (Specify red, dark blue, light blue, yellow, green, orange, or purple.)
Fasteners: Tamper-resistant 18/8 stainless steel.
Nozzle: Precision machined brass.

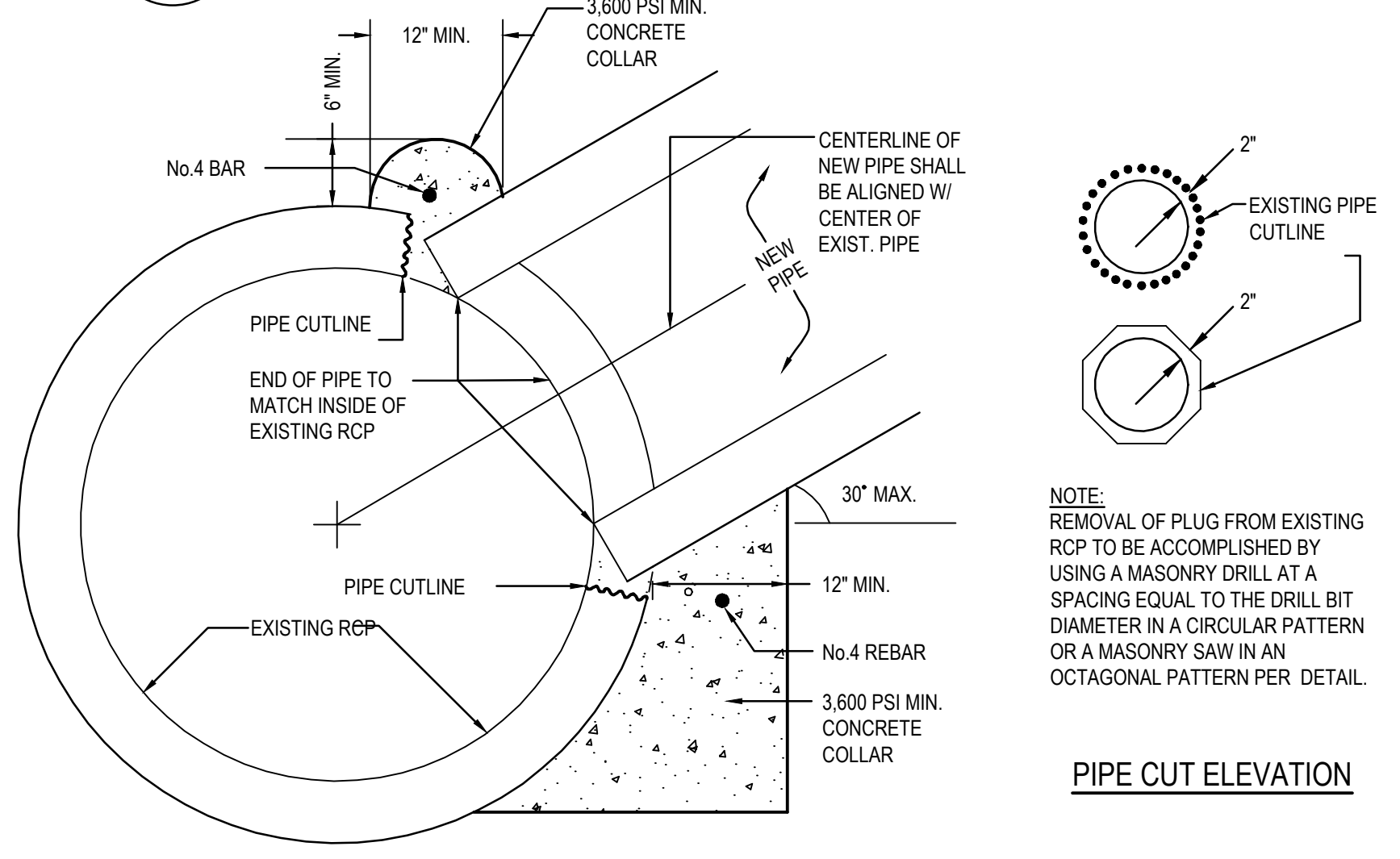
JET WAY
Model Number: W011
Interactive Water Effect: Shall be a vertical aerated stream of water.
Housing: 20 gauge deep-drawn type 304 stainless steel with grounding connection and 1" FPT inlet. Supplied with 4, 3/8" x 12" x 2" anchor bolts with two leveling nuts and washers per bolt and wood pour template.
Gaskets: 70 durometer EPDM o-ring.
Construction Cover: Reusable 7" diameter HDPE (high density polyethylene).
Top Plate: 7" diameter slightly domed cast bronze with interchangeable nozzle assembly and UV stabilized, textured elastomeric urethane coating with a UV and chlorine resistant sealer coat.
Top Plate Anchors: Three 1/2" x 5" machined brass with 30° hook bend.
Color: (Specify red, dark blue, light blue, yellow, green, orange, or purple.)
Fasteners: Tamper-resistant 18/8 stainless steel.
Nozzle: Precision machined brass.

SPLASH-O-LATOR
Model Number: W085
Interactive Water Effect: Shall be a surging splash effect.
Housing: 20 gauge deep-drawn type 304 stainless steel with grounding connection and 1" FPT inlet. Supplied with 4, 3/8" x 12" x 2" anchor bolts with two leveling nuts and washers per bolt and wood pour template.
Gaskets: 70 durometer EPDM o-ring.
Construction Cover: Reusable 7" diameter HDPE (high density polyethylene).
Top Plate: 7" diameter slightly domed cast bronze with interchangeable nozzle assembly and UV stabilized, textured elastomeric urethane coating with a UV and chlorine resistant sealer coat.
Top Plate Anchors: Three 1/2" x 5" machined brass with 30° hook bend.
Color: (Specify red, dark blue, light blue, yellow, green, orange, or purple.)
Fasteners: Tamper-resistant 18/8 stainless steel.
Nozzle: Precision machined brass.

W320-1
Interactive Water Effect: Shall be a misting nozzle effect.
Shaft: 4" type 304 stainless steel pipe with a double bend and machined type 304 base plate.
Anchor Base: Type 304 stainless steel machined to mate with shaft base plate with grounding connection and 2" FPT inlet. Supplied with 4, 3/8" x 12" x 2" 18/8 stainless steel anchor bolts with two leveling nuts and washers per bolt and wood pour template.
Gaskets: 70 durometer EPDM o-ring.
Fasteners: Tamper-resistant 18/8 stainless steel.
Finish: Textured elastomeric urethane with a UV and chlorine resistant sealer coat.
Color: (Specify red, dark blue, light blue, yellow, green, orange, or purple.)
Nozzles: (2) Machined cast bronze and brass.

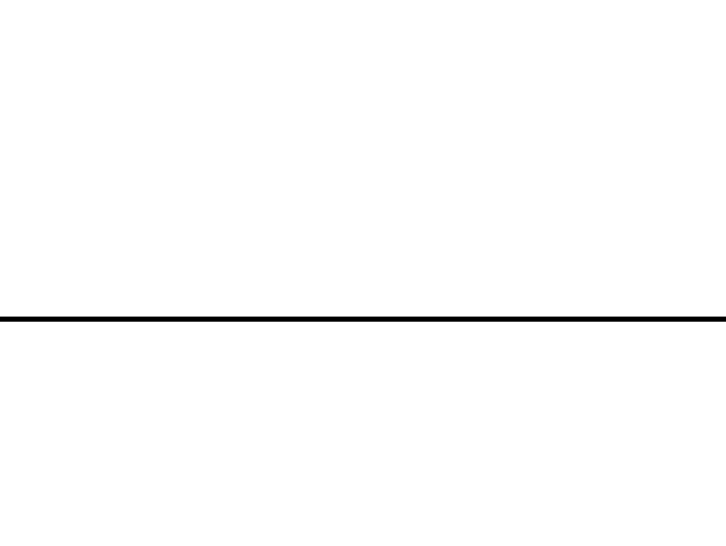


8 PIPE TRENCH AND BEDDING DETAIL
D-2.0 SCALE: NTS



9 STORM DRAIN PIPE CONNECTION TO EXISTING RCP DETAIL
D-2.0 NOT TO SCALE

REVISIONS		
ISSUE	DATE	REVISIONS
1	9/4/15	85% DPP REVIEW
2	12/10/18	ISSUE FOR CONSTRUCTION



PENNSYLVANIA ONE CALL SYSTEM, INC.
925 Main Street
West Chester, Pennsylvania
19380

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PA ONE-CALL NUMBER (FOR DESIGN ONLY): 2018382907

DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA



KEVIN M. SELGER, RLA - PA LICENSE 002685

CIVIL ENG. SEAL

DESIGN CONSULTANT:
GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1617 JFK BOULEVARD, SUITE 820
PHILADELPHIA, PA 19103
PHONE: (800)344-9667

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
PHILADELPHIA, PENNSYLVANIA
DPP PROJECT NUMBER: 16-14-4230-01
PROJECT TITLE: IMPROVEMENTS TO GIFFORD PLAYGROUND
575 TOMLINSON ROAD, PHILA. PA

SITE CONSTRUCTION DETAILS

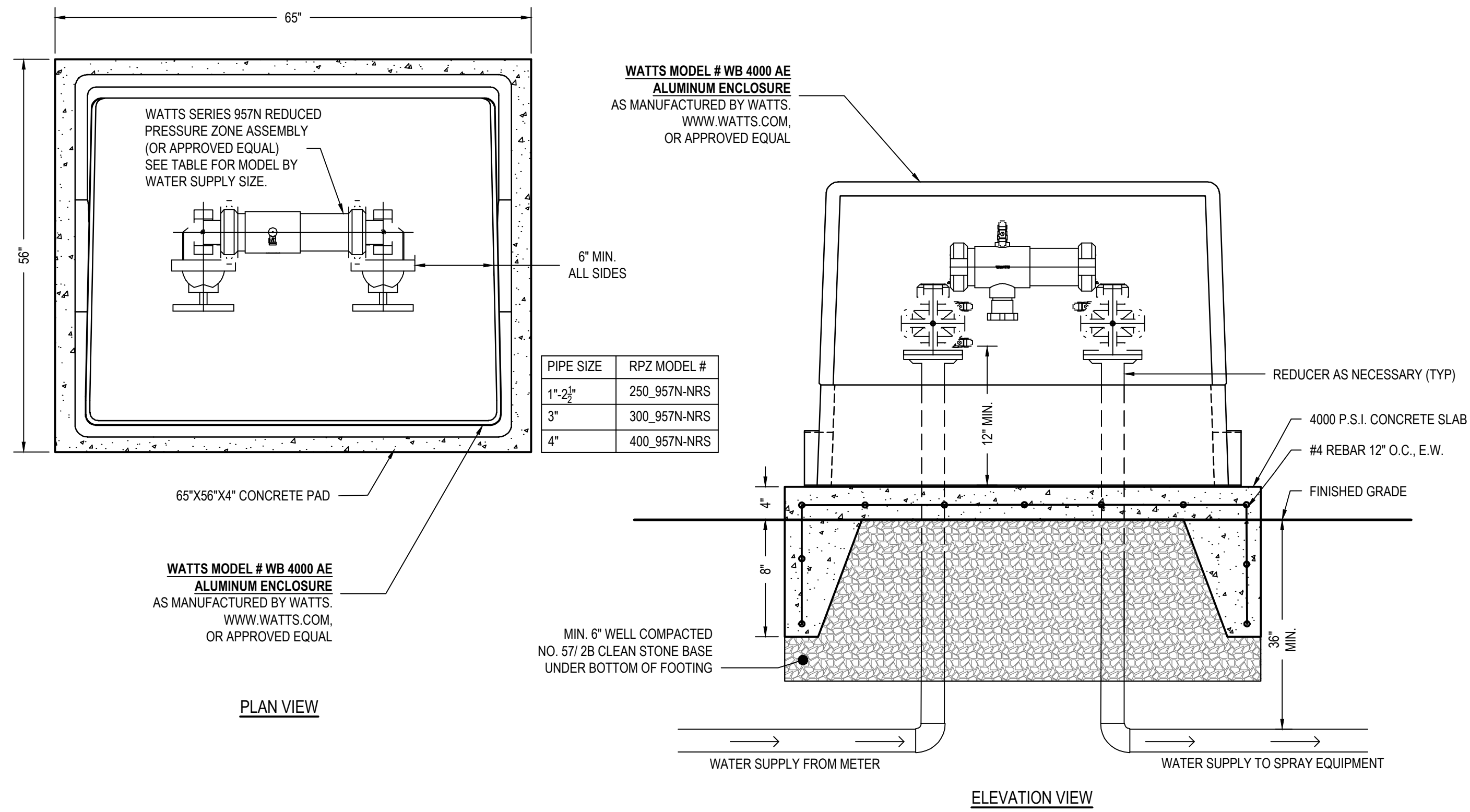
DPP PROJECT NO.: 16-14-4230-01
CONSRANT PROJECT NO.: 2014-02041-07
DATE: 12/10/2018
SCALE: AS NOTED
DRAWN BY: MDS
CHECKED BY: KMS

DRAWING TITLE: **IMPROVEMENTS TO GIFFORD PLAYGROUND**
575 TOMLINSON ROAD, PHILA. PA

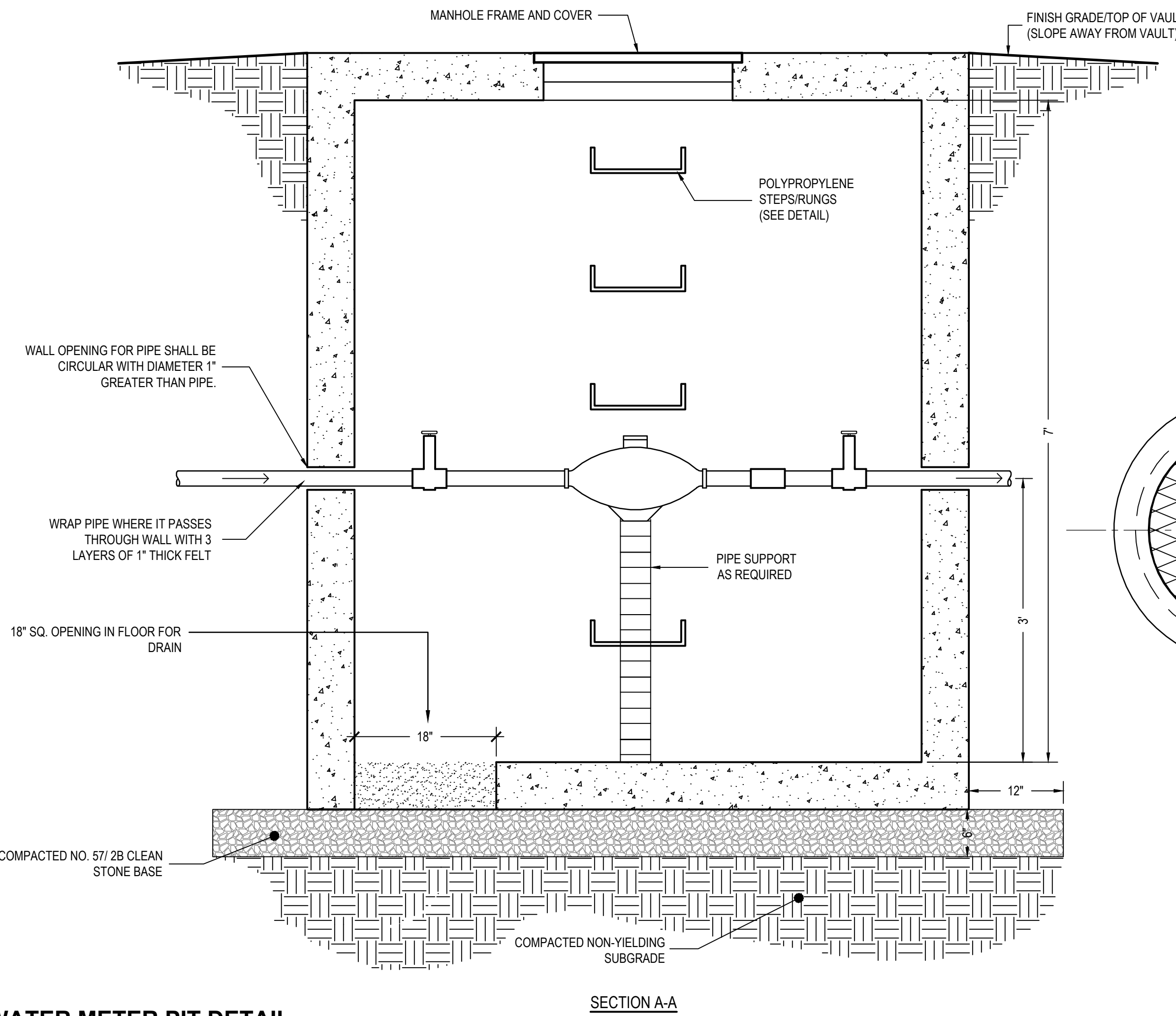
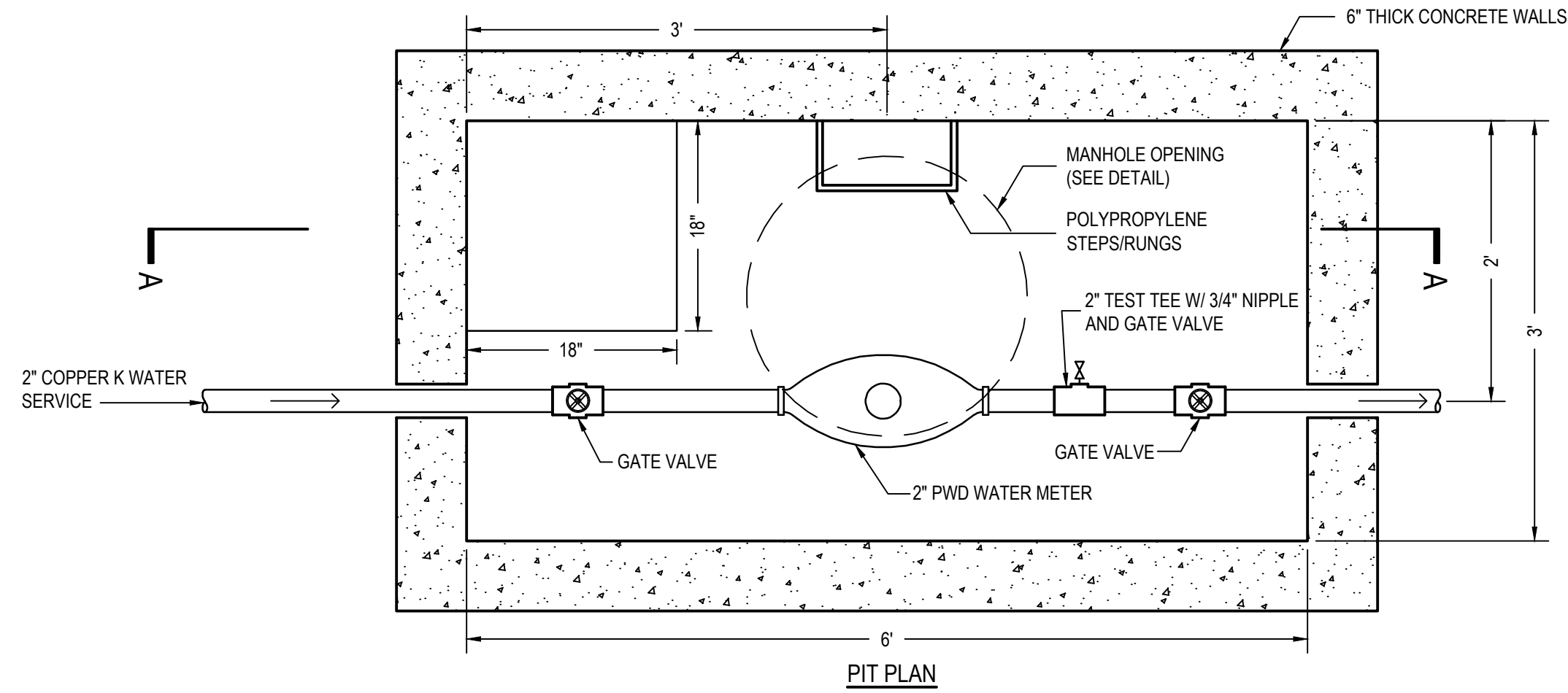
DRAWING NO.: **D-2.0**

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

- NOTES:**
- REFER TO ELECTRICAL PLANS
 - ALL INSTALLATIONS SHALL FOLLOW MANUFACTURER'S SPECIFICATIONS.
 - HEAT IS PROVIDED BY A 1000 WATT, 120V SINGLE PHASE HEATER.
 - HEATER SHALL BE SIZED TO MAINTAIN EQUIPMENT AT +40°F, IN ACCORDANCE WITH N.F.P.A. 3-3.1.8 & 3-6.1.3.2
 - HEAT SOURCE SHALL BE MOUNTED A MINIMUM OF 7" ABOVE THE SLAB UNLESS IT IS UL OR ETL CERTIFIED AND NEC APPROVED FOR SUBMERSION.
 - POWER SOURCE SHALL BE INSTALLED INSIDE THE ENCLOSURE BY OTHERS, PROTECTED WITH A GROUND FAULT INTERRUPTING RECEPTACLE (GFI) OR GFI CIRCUIT.
 - FOUR INTERNAL BRACKETS AND CONCRETE ANCHORS ARE SUPPLIED WITH THE ENCLOSURE.
 - ENCLOSURE SHALL BE PROVIDED IN ALUMINUM.
 - ALL CONNECTIONS, JOINTS, ETC. SHALL MEET THE REQUIREMENTS OF THE PHILADELPHIA WATER DEPARTMENT AND PHILADELPHIA PLUMBING CODE.
 - PROVIDE SUPPORT OF ELEVATED PIPING AS REQUIRED.

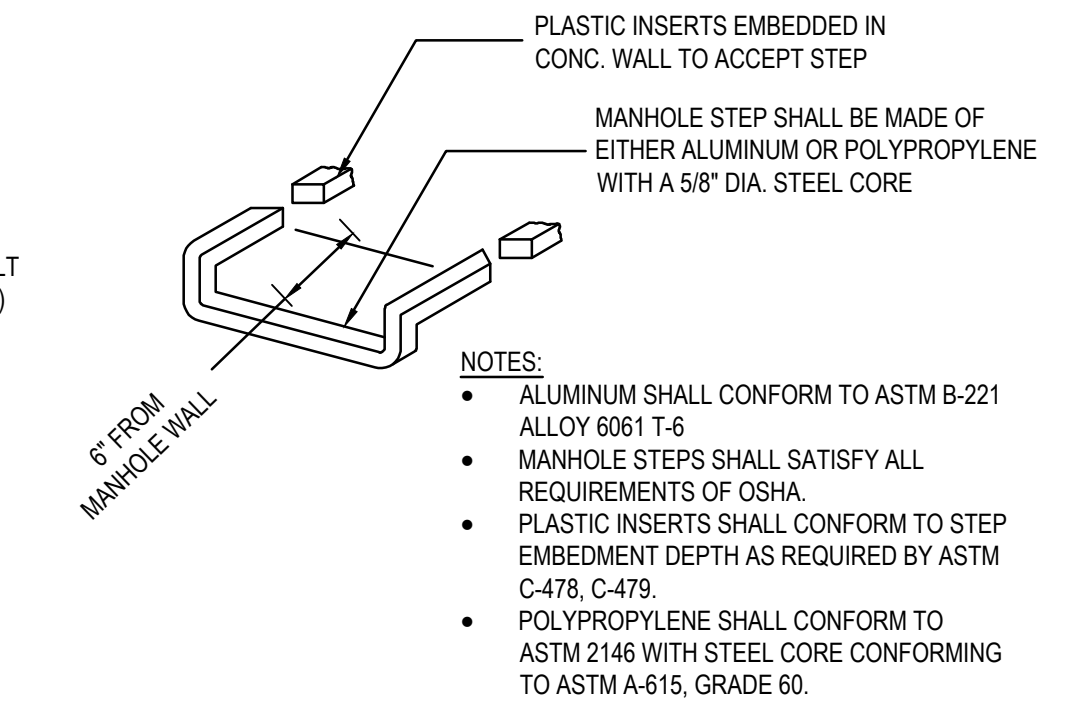


1 REDUCED PRESSURE ZONE ASSEMBLY IN HOT BOX DETAIL
D-3.0 SCALE: NTS

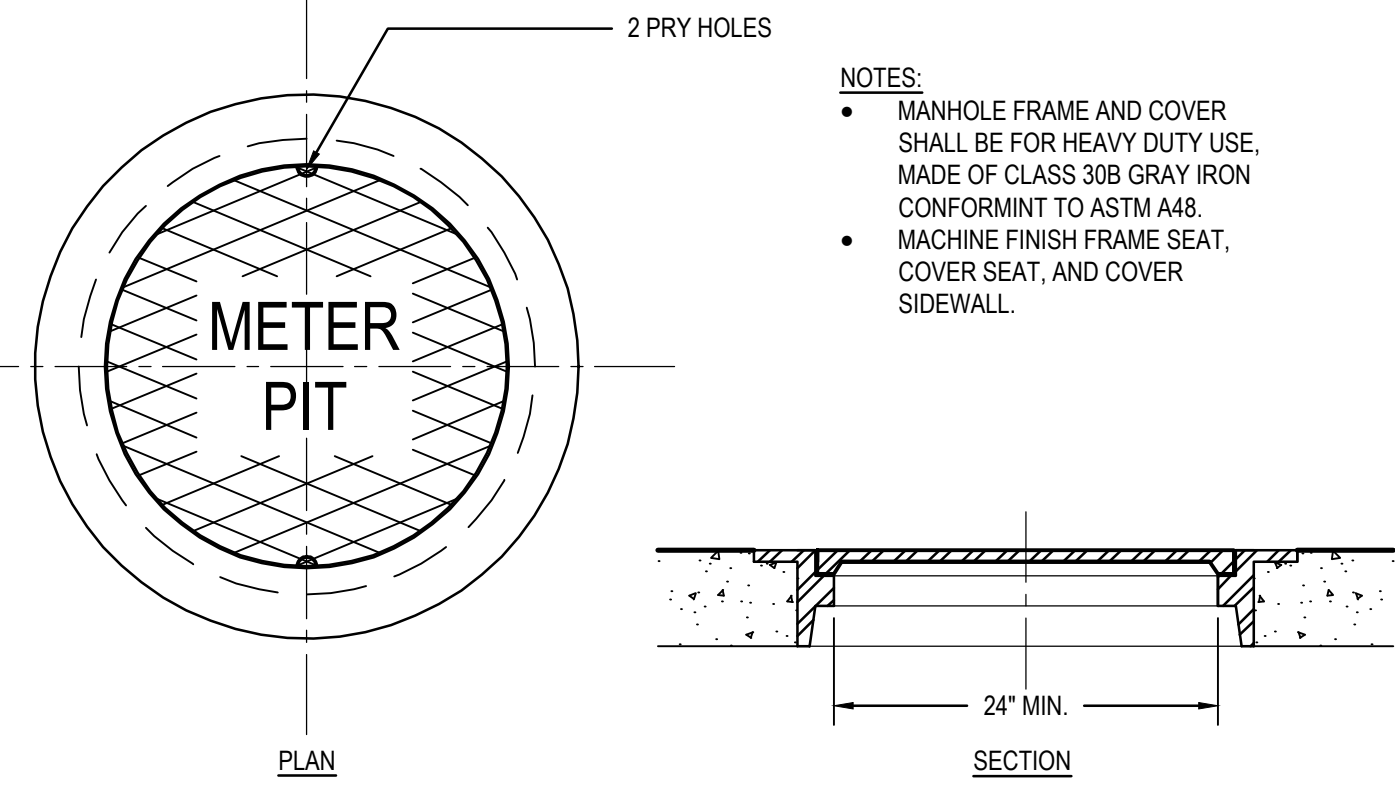


2 2" WATER METER PIT DETAIL
D-3.0 SCALE: NTS

- NOTES/SPECIFICATIONS:**
- THE METER PIT SHALL BE PRECAST CONCRETE BOX STRUCTURE. CONCRETE SHALL OBTAIN A STRENGTH OF 4000 PSI IN 28 DAYS. REINFORCING STEEL HAS A YIELD STRENGTH OF 60,000 PSI. THE PRECAST STRUCTURE SHALL MEET ASTM C-913.
 - PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES.
 - ALL PIPE OR CONDUIT PENETRATIONS SHALL BE GROUTED SOLID WITH NON-SHRINK GROUT, UNLESS OTHERWISE NOTED.
 - ALL CONNECTIONS, JOINTS, ETC. SHALL MEET THE REQUIREMENTS OF THE PHILADELPHIA WATER DEPARTMENT AND PHILADELPHIA PLUMBING CODE.
 - PROVIDE SUPPORT OF ELEVATED PIPING AS REQUIRED.
 - CONTRACTOR SHALL VERIFY ELEVATION AND DEPTHS OF THE PIT AND LINES WILL PROVIDE POSITIVE DRAINAGE TO PIT.
 - CONTRACTOR SHALL KEEP DRAINAGE GRAVEL BELOW PIT FROM BEING CONTAMINATED WITH FINE MATERIALS AND SOIL.
 - CONTRACTOR SHALL MEET PHILADELPHIA WATER DEPARTMENT REQUIREMENTS FOR ALL WATER SERVICE CONNECTION(S) TO EXISTING CITY WATER SERVICE TO RECREATION CENTER.
 - DIMENSIONS PROVIDED ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD.

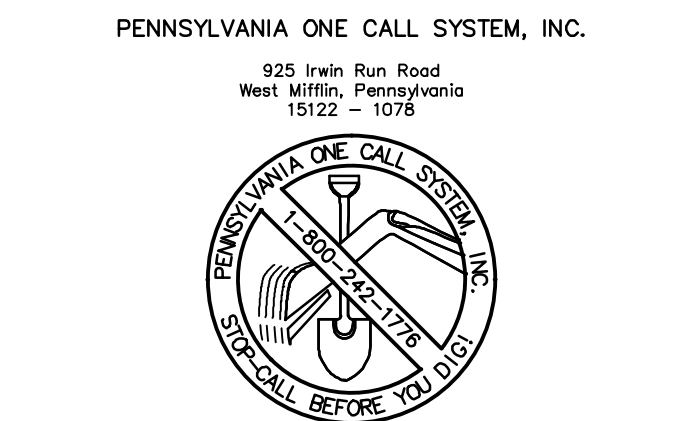


MANHOLE STEPS



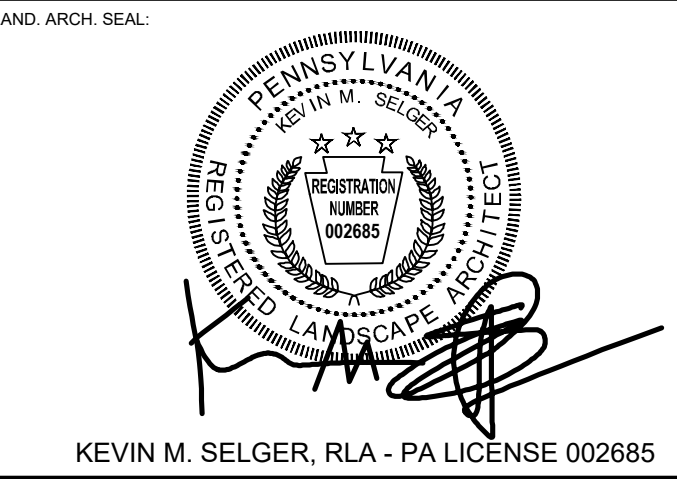
MANHOLE COVER AND FRAME

- NOTES:**
- ALUMINUM SHALL CONFORM TO ASTM B-221 ALLOY 5083 T-6
 - MANHOLE STEPS SHALL SATISFY ALL REQUIREMENTS OF OSHA
 - PLASTIC INSERTS SHALL CONFORM TO STEP EMBEDMENT DEPTH AS REQUIRED BY ASTM C-478, C-479.
 - POLYPROPYLENE SHALL CONFORM TO ASTM 2146 WITH STEEL CORE CONFORMING TO ASTM A-615, GRADE 60.



PA ONE-CALL NUMBER (FOR DESIGN ONLY): 20183382907

DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA



CIVIL ENG. SEAL:

GILMORE & ASSOCIATES, INC.
DESIGN, ENGINEERING, LANDSCAPE ARCHITECTURE & TECHNICAL CONSULTING
ONE PENN CENTER AT SUBURBAN STATION
1617 JFK BOULEVARD, SUITE 820
PHILADELPHIA, PA 19103
PHONE: (800)344-9667

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY

1515 ARCH STREET
PHILADELPHIA, PENNSYLVANIA

DPP PROJECT NUMBER: 16-14-4230-01

IMPROVEMENTS TO GIFFORD PLAYGROUND
575 TOMLINSON ROAD, PHILA. PA

SITE CONSTRUCTION DETAILS

DPP PROJECT NO.: 16-14-4230-01

CONTRACT PROJECT NO.: 2014-02041-07

DATE: 12/10/2018

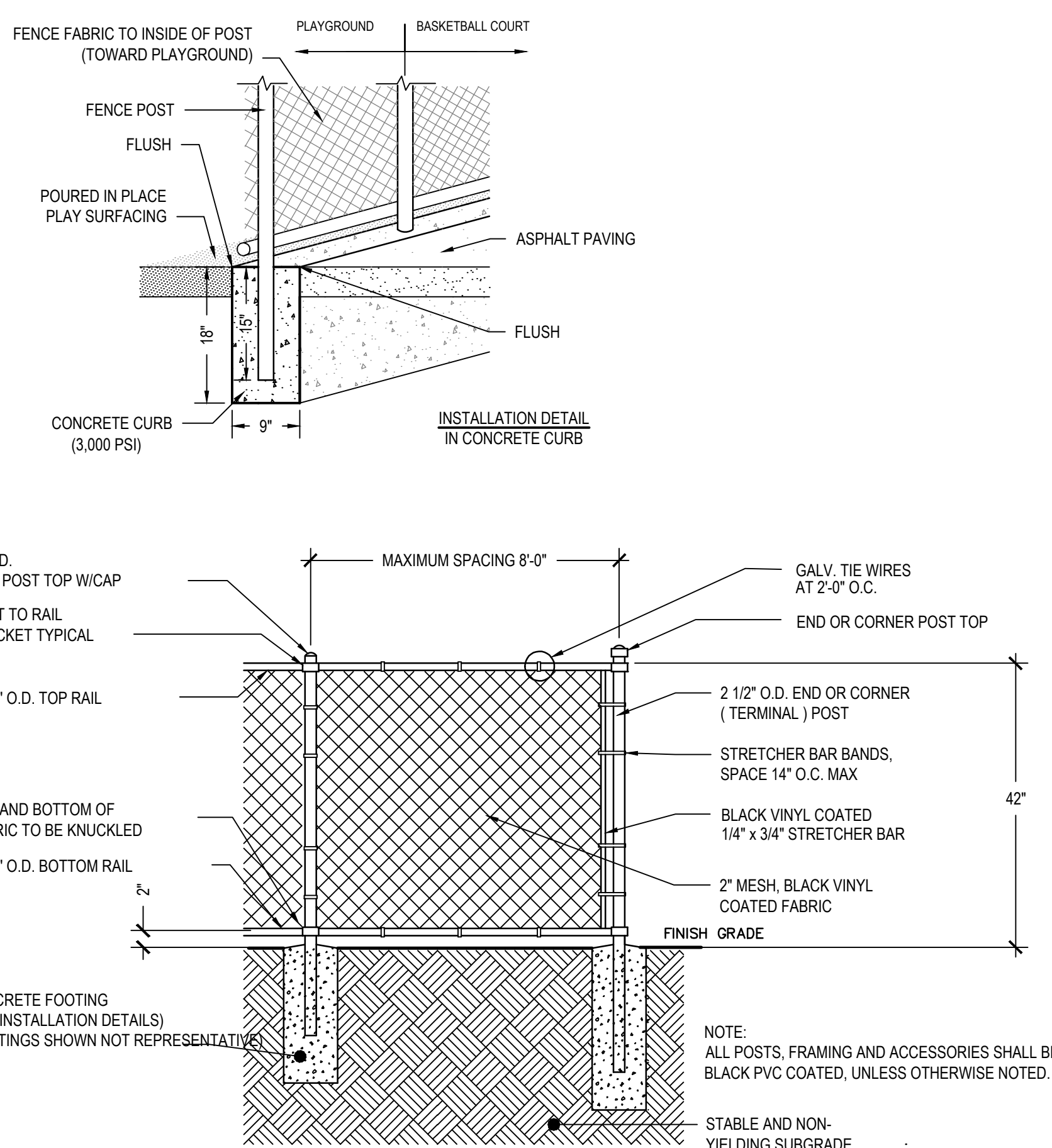
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DRAWN BY: MDS

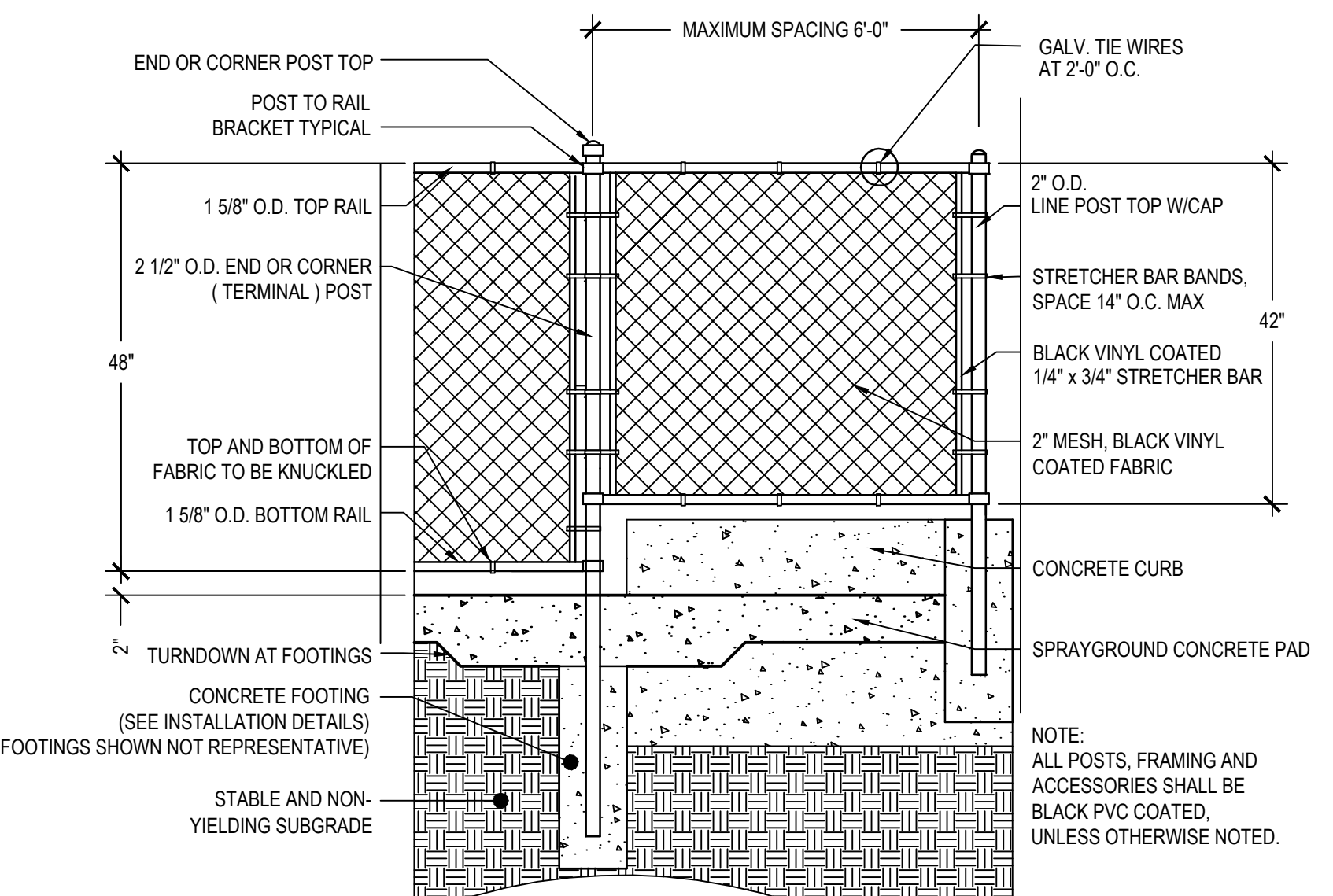
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NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

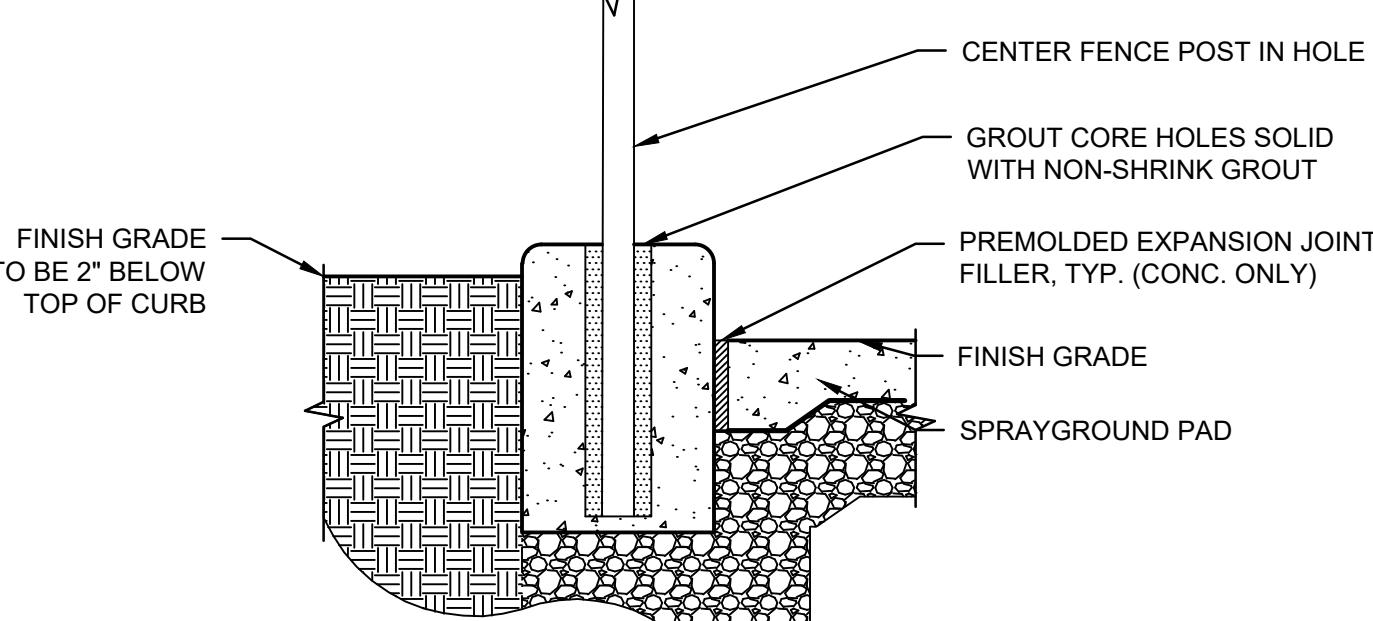
D-3.0



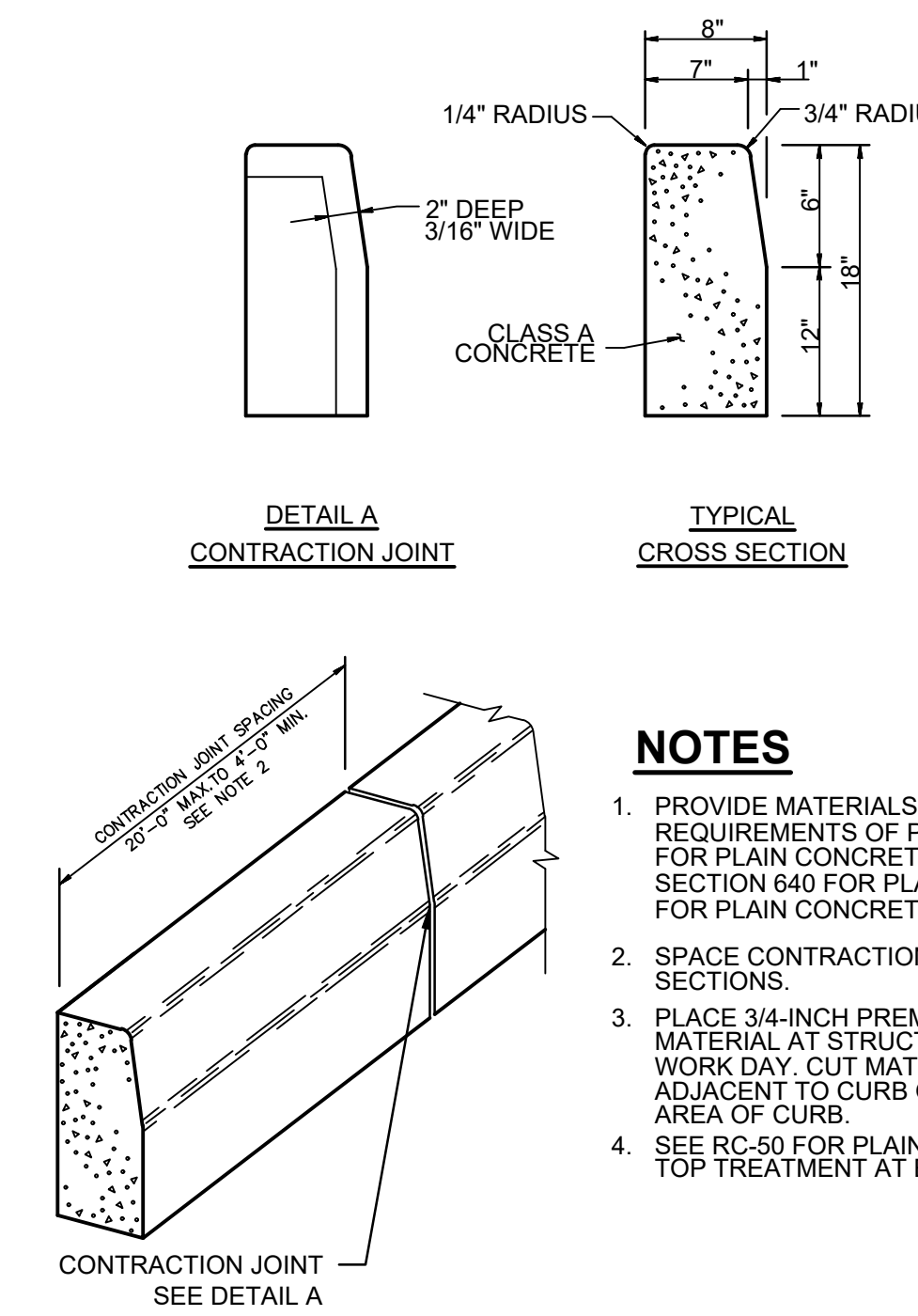
4 42" HEIGHT CHAIN LINK FENCE DETAIL
D-3.0 SCALE: NTS



5 FENCE TRANSITION AT CURB DETAIL
D-3.0 SCALE: NTS

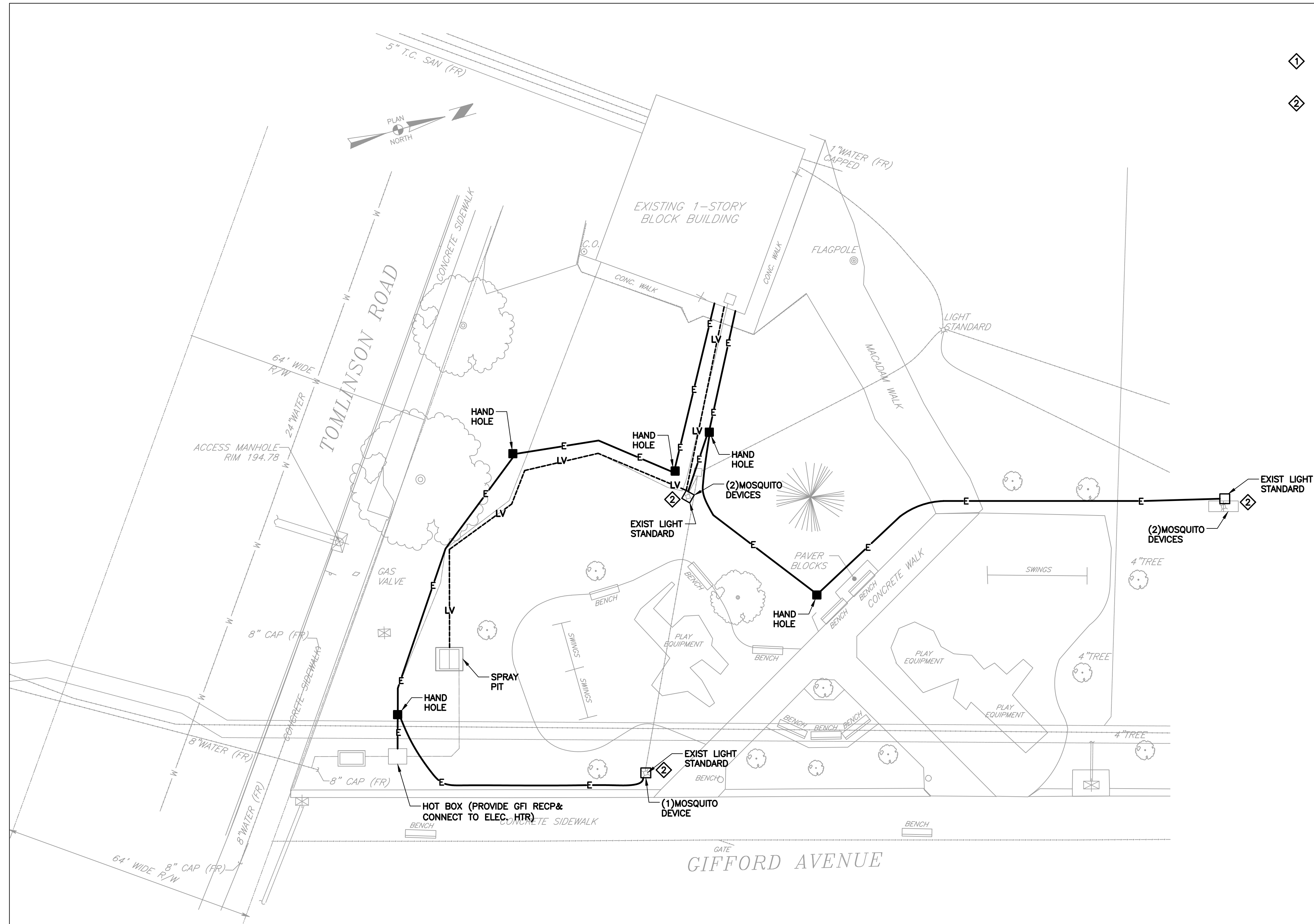


6 CURB TO SPRAYGROUND DETAIL
D-3.0 SCALE: NTS

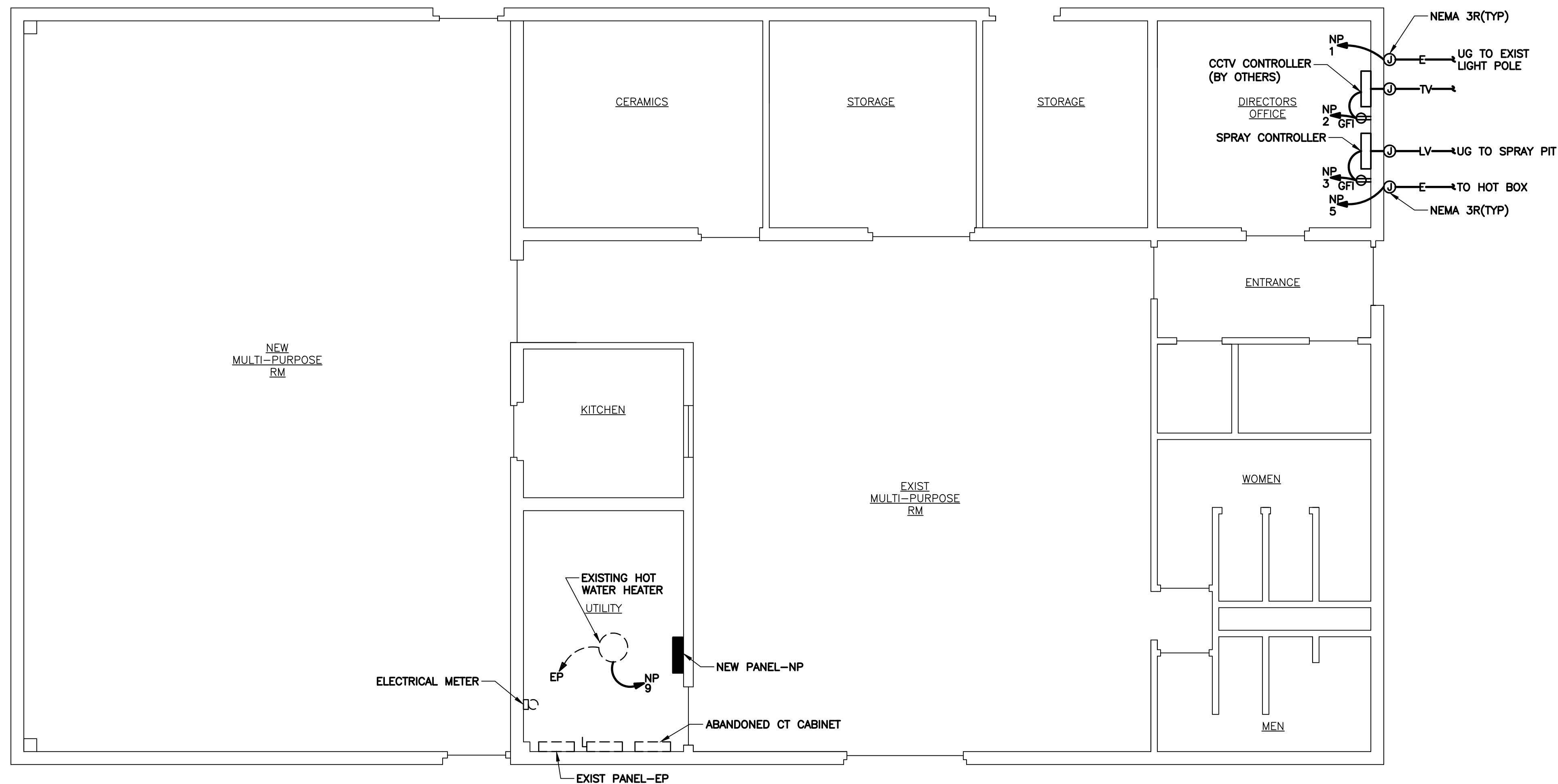


3 STANDARD CONCRETE CURB DETAIL
D-3.0 TYPICAL

- NOTES**
- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTION 830 FOR PLAIN CONCRETE CURB AND DEPRESSED CURB, SECTION 840 FOR PLAIN CONCRETE CURB AND FOR PLAIN CONCRETE CURB GUTTER.
 - SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 - PLACE 3/4-INCH PREMOIDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
 - SEE RC-50 FOR PLAIN CONCRETE CURB SLOPED TOP TREATMENT AT END OF STRUCTURES.



1 SITE PLAN
E-1 SCALE: 1/16"=1'-0"



3 FLOOR PLAN - POWER
E-1 SCALE: 1/4"=1'-0"

NOTES:

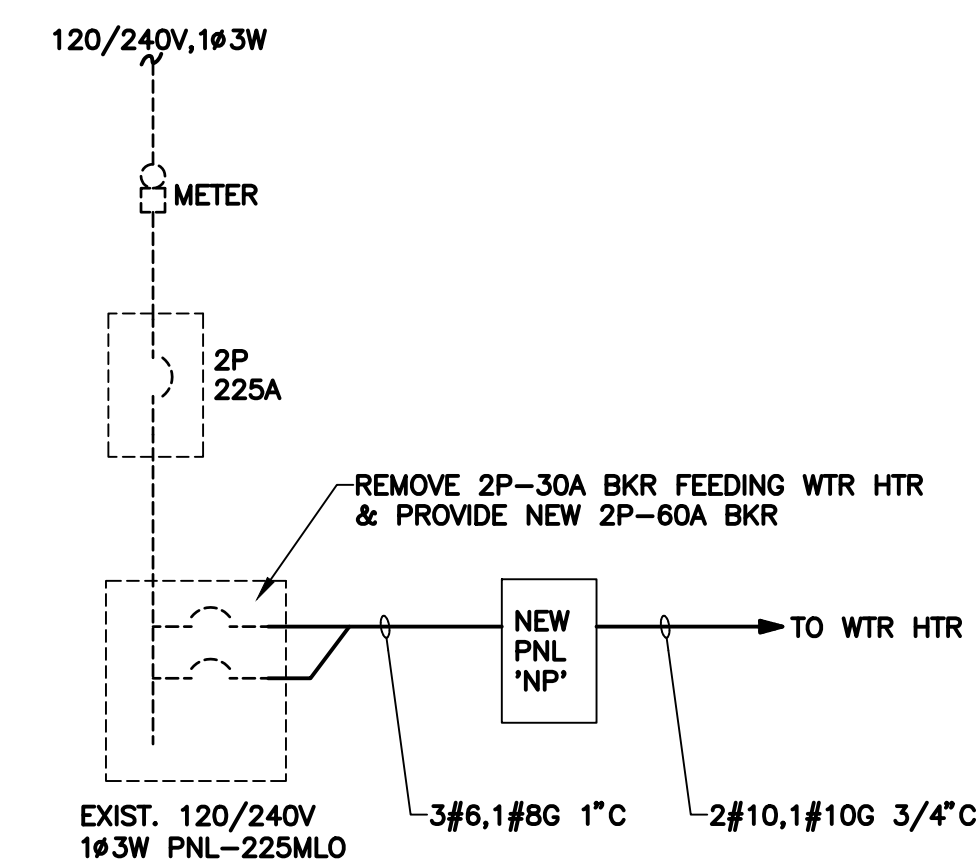
- ◇ BOND ALL SPRAY FIXTURES IN SPRAY AREA AND SPRAY CONTROLLER WITH #8 COPPER WIRE, TO THE BUILDING GROUND.
- ◇ PROVIDE GFI OUTLET W/IN USE COVER MTD ON POLE 15' ABOVE GRADE FOR MOSQUITO POWER.

LEGEND:

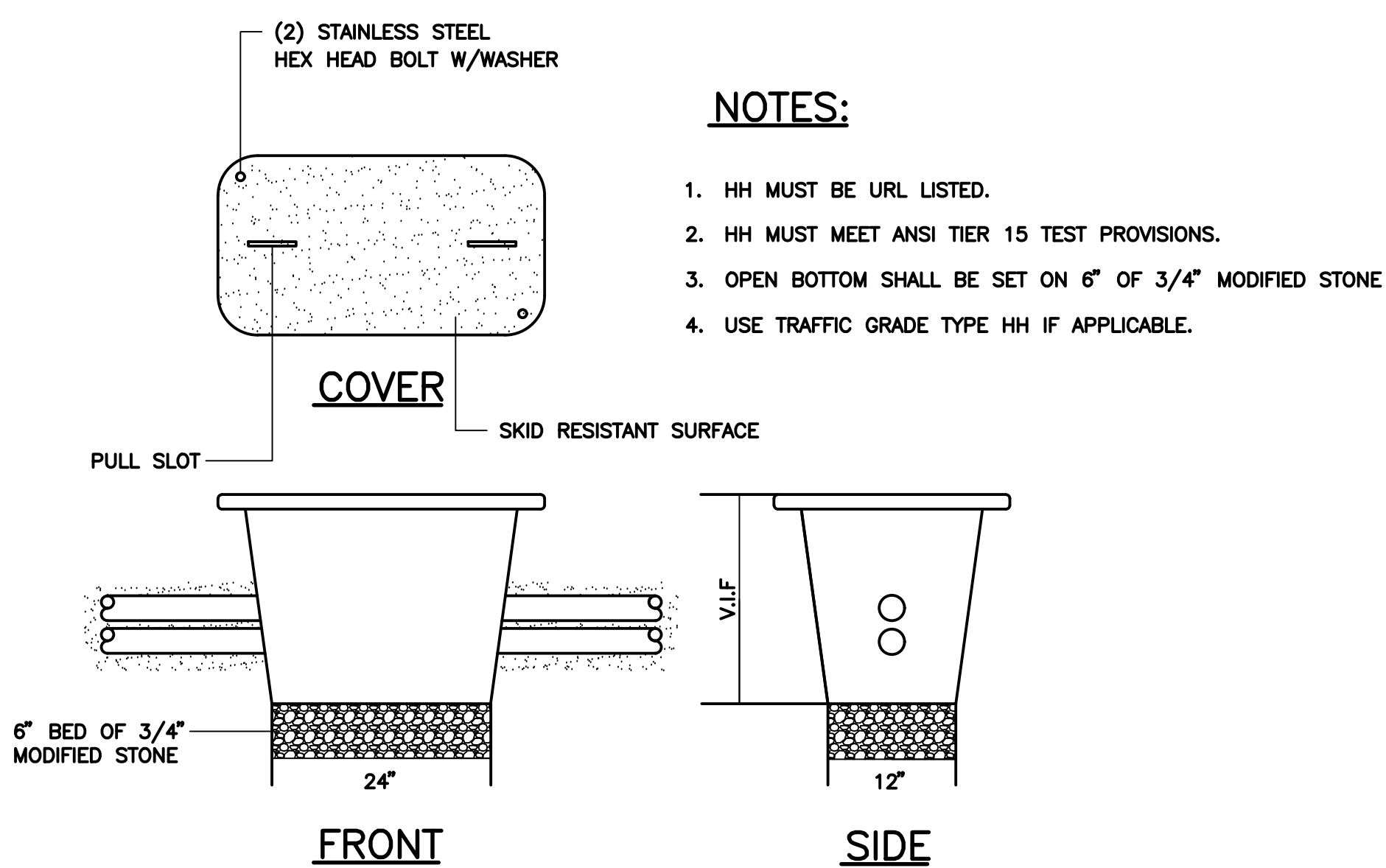
- E— NEW UNDERGROUND ELECTRICAL LINE - 2#10,1#10G IN 1" C
- NEW 12"x24"x24" DEEP FIBERGLASS IN GROUND HAND HOLE WITH COVER (QUAZITE OR EQUAL)
- TV— NEW UNDERGROUND CCTV LINE--PROVIDE 1" W/PULL WIRE (BY OTHERS)
- ⊕ DUPLEX OUTLET
- ⊕ DUPLEX RECEPTACLE GFCI W/IN USE COVER
- LV— NEW U.G. LOW VOLTAGE LINE FOR SPRAY EQUIP--SEE SITE CIVL DWG.
- HOME RUN
- ⊙ JUNCTION BOX

SCHEDULE FOR POWER PANEL NP				General Panel Data 120/240V, 1Ø, 3W 10KAIC 100A MLO			
Circuit Number	LOAD SERVED			CIRCUIT PROTECTOR			WIRING DATA
	Type of Load	KVA	Volts	Quan.	Amps	Poles	
1	MOSQUITO DEVICE (4)	.3		1	20	1	12
2	CCTV CONTROLLER	.4		1	20	1	12
3	SPRAY CONTROLLER	1.5		1	20	1	12
4	SPARE			1	20	1	
5	HOT BOX, MOSQUITO	1.0		1	20	1	10
6-8	SPARE			3	20	1	
9	EXIST WTR HTR	4.5		1	30	2	10

2 PANEL SCHEDULE
E-1 SCALE: NTS



4 SINGLE LINE DIAGRAM
E-1 SCALE: NTS



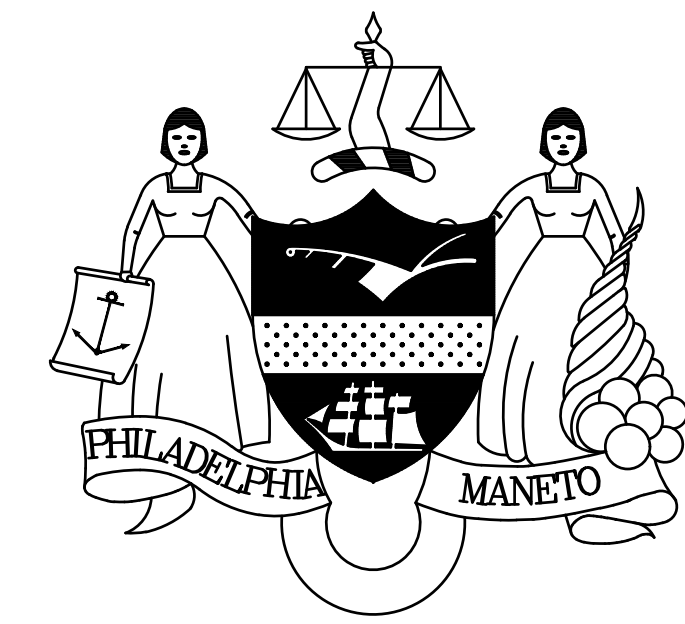
NOTES:

1. HH MUST BE URL LISTED.
2. HH MUST MEET ANSI TIER 15 TEST PROVISIONS.
3. OPEN BOTTOM SHALL BE SET ON 6" OF 3/4" MODIFIED STONE
4. USE TRAFFIC GRADE TYPE HH IF APPLICABLE.

5 HAND HOLE DETAIL
E-1 SCALE: NTS

REVISIONS

ISSUE	DATE	REVISIONS
1	9/4/15	85% DPP REVIEW



PENNSYLVANIA ONE CALL SYSTEM, INC.

925 Irish Run Road
West Chester, Pennsylvania
19382 - 1076

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NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.

PA ONE-CALL NUMBER (FOR DESIGN ONLY) 20152361233

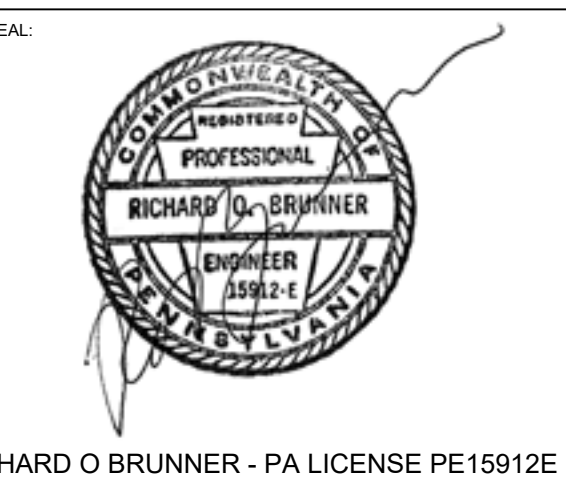
DPP PROJECT COORDINATOR: FRANCESCO CERRAI, RLA

LAND ARCH SEAL:



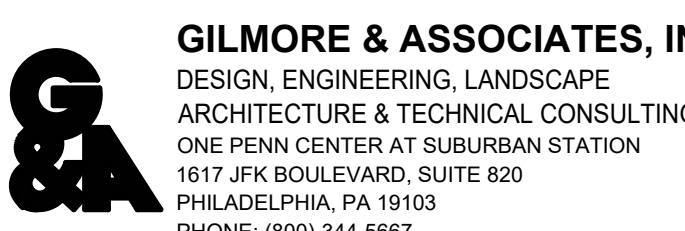
KEVIN M. SELGER, RLA - PA LICENSE 002685

ELEC. ENG. SEAL:



RICHARD O BRUNNER - PA LICENSE PE15912E

DESIGN CONSULTANT:



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GILLAN & HARTMANN, INC.
MECHANICAL AND ELECTRICAL CONSULTING ENGINEERS
140 WHITAKER AVENUE
MONT CLARE, PA 19453
610-355-0101 FAX: 610-355-7520
EMAIL: ghmail@gillan-hartmann.com

GILLAN & HARTMANN PROJECT NUMBER 2015265

CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1515 ARCH STREET
11TH FLOOR, ONE PARKWAY BUILDING
PHILADELPHIA PENNSYLVANIA

DPP PROJECT NUMBER 16-14-4230-01

PROJECT TITLE
IMPROVEMENTS TO GIFFORD PLAYGROUND
575 TOMLINSON ROAD, PHILA, PA

DRAWING TITLE
ELECTRICAL PLANS & DETAILS

DPP PROJECT NO: 16-14-4230-01 DRAWING NO:

CONSULTANT PROJECT NO: 2014-02041-07

DATE: 9/17/2015

SCALE: AS NOTED

DRAWN BY: DJP

CHECKED BY: ROB

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

E-1