



CITY OF PHILADELPHIA

DEPARTMENT OF PUBLIC PROPERTY

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - BRIAN ABERNATHY

COMMISSIONER - PUBLIC PROPERTY - BRIDGET COLLINS-GREENWALD

PRESIDENT & CEO OF ZOOLOGICAL SOCIETY OF PHILADELPHIA - VIKRAM H. DEWAN

RENOVATIONS TO:

Animal Hospital Mechanical Upgrades

3400 W. GIRARD AVE, PHILA, PA 19104

DPP PROJECT NO. 71-19-4365-01

ARCHITECT



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 150 S. Independence Mall West, Suite 1200
 Philadelphia, PA 19106
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 CONTACT PERSON: Traci Luckenbill

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ABBREVIATIONS

A/C	Air Conditioning	GA	Gauge	R	Radius
ACT	Acoustical Ceiling Tile	GALV	Galvanized	RD	Roof drain
AFF	Above Finished Floor	GC	General contractor	REF	Reference, Refrigerator
ALT	Alternate	GFRG	Glass Fiber Reinforced Concrete	REQD	Required
ALUM	Aluminum	GFRG	Glass Fiber Reinforced Gypsum	REV	Revision
ANOD	Anodize	GWB	Gypsum Wallboard	RM	Room
APPROX	Approximate	HC	Hollow Core	RO	Rough opening
AP	Access Panel	HM	Hollow Metal	RTU	Roof Top Unit
ARCH	Architect, Architecture	HORIZ	Horizontal	RWC	Rainwater conductor
BD	Board	HP	High Point	SAB	Sound Attenuation Blanket
BITUM	Bituminous	HT	Height	SCHED	Schedule
BLKG	Blocking	HVAC	Heating, Ventilation, and Air Conditioning	SFRM	Sprayed Fire-Resistant Materials
BO	Bottom Of	INSUL	Insulation	SIM	Similar
CAB	Cabinet	INV	Invert	SPEC	Specification
CFCI	Contractor Furnished / Contractor Installed	INT	Interior	SF	Square foot
CG	Corner Guard	JAN	Janitor	STL	Steel
CJ	Control Joint	LAV	Lavatory	STOR	Storage
CLG	Ceiling	LP	Low Point	STRUCT	Structure, Structural
CL	Centerline	M	Mechanical	SST	Stainless Steel
CMU	Concrete Masonry Unit	MAX	Maximum	TEMP	Temporary, Temperature
COL	Column	MECH	Mechanical	TLT	Toilet
CONC	Concrete	MFR	Manufacturer	TO	Top of
CONT	Continuous	MIN	Minimum	TOP	Top of Parapet
CPT	Carpet	MISC	Miscellaneous	TOW	Top of wall
CT	Ceramic Tile	MM	Millimeter	TYP	Typical
CW	Curtain Wall	MO	Masonry Opening	UL	Underwriters Laboratory
DBL	Double	MTL	Metal	UON	Unless Otherwise Noted
DF	Drinking Fountain	NIC	Not in contract	VB	Vinyl Base
DIA	Diameter	NO	Number	VCT	Vinyl Composition Tile
DIM	Dimension	NOM	Nominal	VERT	Vertical
DN	Down	NTS	Not to scale	VIF	Verify In Field
DS	Downspout	OC	On Center	VWC	Vinyl Wall covering
DTL	Detail	OD	Outside Diameter	W/	With
DWG	Drawing, Drawings	OH	Opposite Hand	WC	Water Closet
EJ	Expansion Joint	OHD	Overhead	WD	Wood
EL	Elevation	OFOI	Owner Furnished / Owner Installed	WO	Window Opening
ELEC	Electric, Electrical	OFCI	Owner Furnished / Contractor Installed	WP	Waterproofing
ELEV	Elevator	OPP	Opposite	XPS	Extruded Polystyrene
EPS	Expanded Polystyrene	OTS	Open To Structure		
EM	Emergency	PLAM	Plastic Laminate		
EQ	Equal	PLBG	Plumbing		
EWC	Electric Water Cooler	PNT	Paint		
EXP	Exposed	PT	Pressure Treated		
EXG	Existing	PTD	Painted		
EXT	Exterior	PLWD	Plywood		
FEC	Fire Extinguisher Cabinet	PVC	Polyvinyl chloride		
FHC	Fire Hose and Valve Cabinet				
FD	Floor drain				
FLR	Floor				
FRP	Fiberglass Reinforced Plastic				
FP	Fire Protection				
FT	Feet				
FIP	Foamed-In-Place				

SYMBOLS

	Room name	ROOM TAG: NAME, NUMBER, AREA
	101	
	150 SF	
	101	DOOR TAG
	11	PARTITION TYPE TAG
	11	WINDOW TYPE TAG
	X	TOILET ACCESSORY TAG
	X	KEYNOTE TAG (REFER TO ASSOCIATED SHEET NOTES)
	11	FFE TAG
	1 A101 SIM	DETAIL NUMBER & SHEET REFERENCE (SIM: SIMILAR, OPP: OPPOSITE, MIR: MIRRORRED)
	1 Ref	EXTERIOR ELEVATION TAG: DRAWING NUMBER & SHEET REFERENCE
	1 Ref	INTERIOR ELEVATION TAG: DRAWING NUMBER & SHEET REFERENCE
	1 Ref	SECTION TAG REFERENCE
	1 Ref	ELEVATION LEVEL REFERENCE
	1 Ref	SPOT ELEVATION REFERENCE
	1 Ref	CENTERLINE
	1 Ref	SHEET DRAWING REFERENCE: NUMBER, NAME, & SCALE
	1 Ref	View Name
	1 Ref	1/8" = 1'-0"

DRAWING LIST

SHEET LIST	
SHEET NUMBER	SHEET NAME
_CS	PROJECT COVER SHEET
A1.1	ROOF PLAN AND DETAILS
S1.1	PARTIAL ROOF TOP FRAMING PLAN
M0.0	MECHANICAL COVER SHEET
MD1.0	MECHANICAL ROOF DEMOLITION WORK
MD2.0	MECHANICAL BASEMENT DEMOLITION
M1.0	MECHANICAL ROOF NEW WORK
M2.0	MECHANICAL BASEMENT NEW WORK
M4.1	MECHANICAL CONTROLS
E0.1	ELECTRICAL SYMBOLS AND ABBREVIATIONS
ED1.0	ELECTRICAL ROOF PLAN - DEMOLITION
ED2.0	ELECTRICAL BASEMENT PLAN - DEMOLITION
E1.0	ELECTRICAL NEW WORK ROOF PLAN
E2.0	ELECTRICAL NEW WORK BASEMENT PLAN
E5.0	ELECTRICAL SINGLE LINE DIAGRAM
E6.0	ELECTRICAL DETAILS AND DIAGRAMS

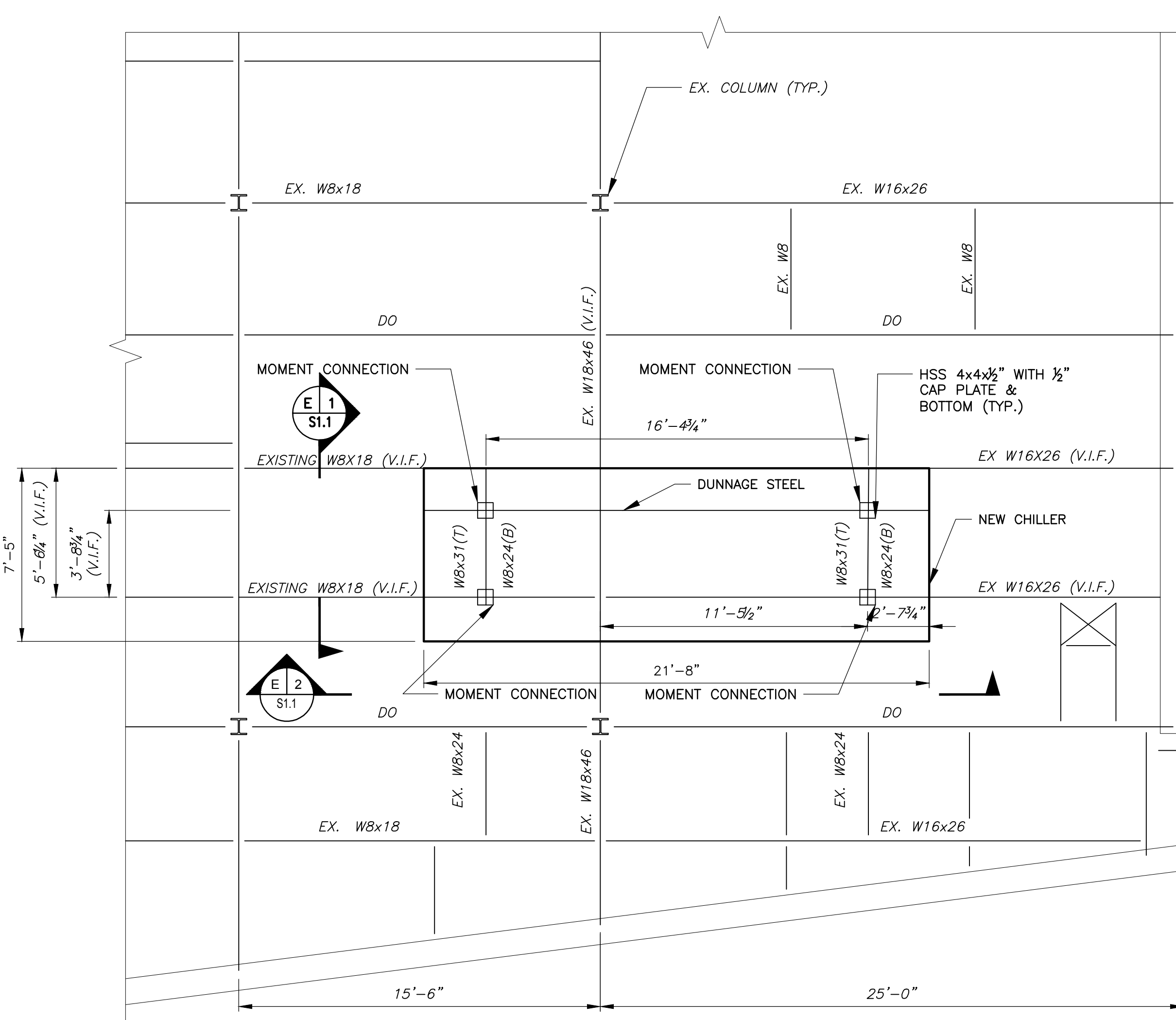
LOCATION PLAN



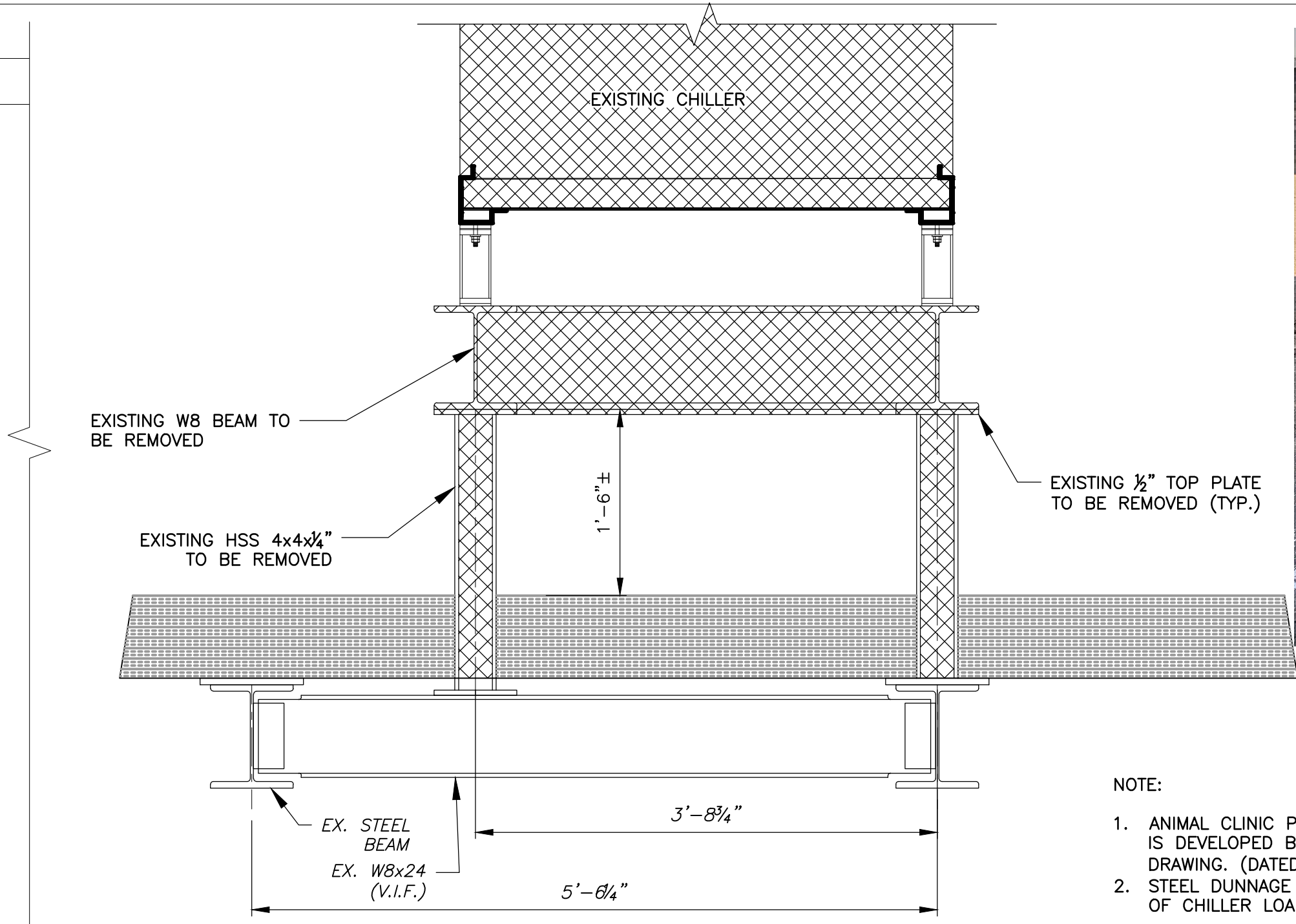
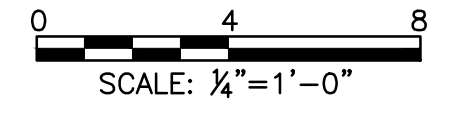
PROJECT APPROVED

COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY	
DEPUTY COMMISSIONER/DEPARTMENT OF PUBLIC PROPERTY	
PROJECT DIRECTOR/DPP-CAPITAL PROJECTS DIVISION	
ART COMMISSION	
HISTORICAL COMMISSION	
SEALS	
CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY	
1400 JFK BOULEVARD CITY HALL - ROOM 701	
PHILADELPHIA	PENNSYLVANIA
DPP PROJECT NO. 71-19-4365-01	DRAWING NO.
CONSULTANT PROJECT NO. 17-116	DATE 06/07/19
SCALE VARIES	DRAWN BY TL
CHECKED BY CM	
NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.	

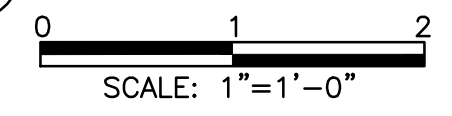
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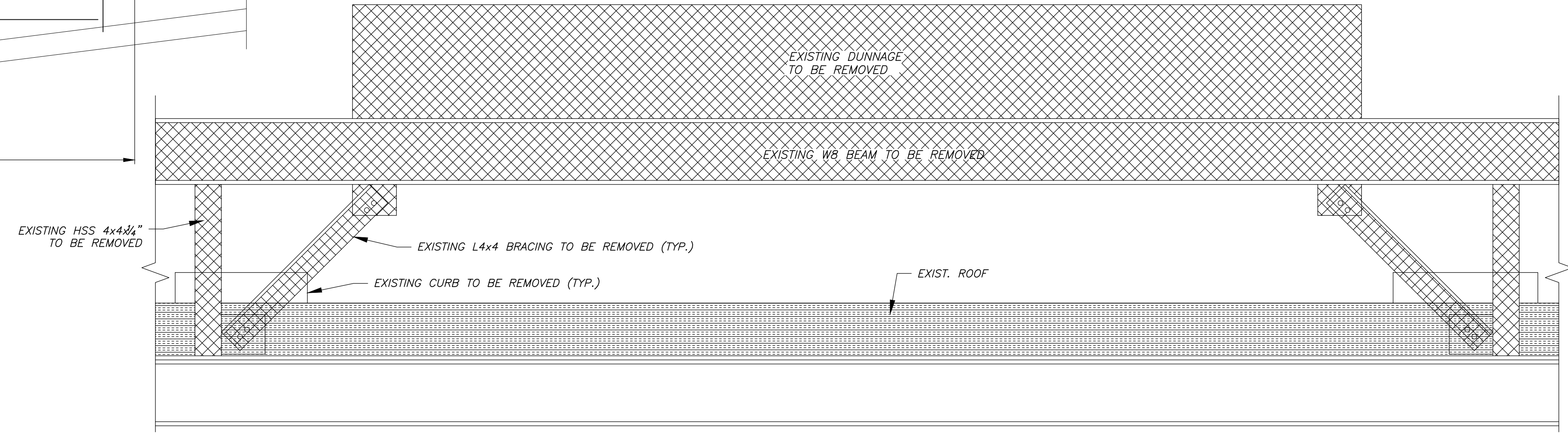
ANIMAL CLINIC PARTIAL ROOF TOP FRAMING PLAN



E 1 | S1.1 ELEVATION (DEMOLITION)



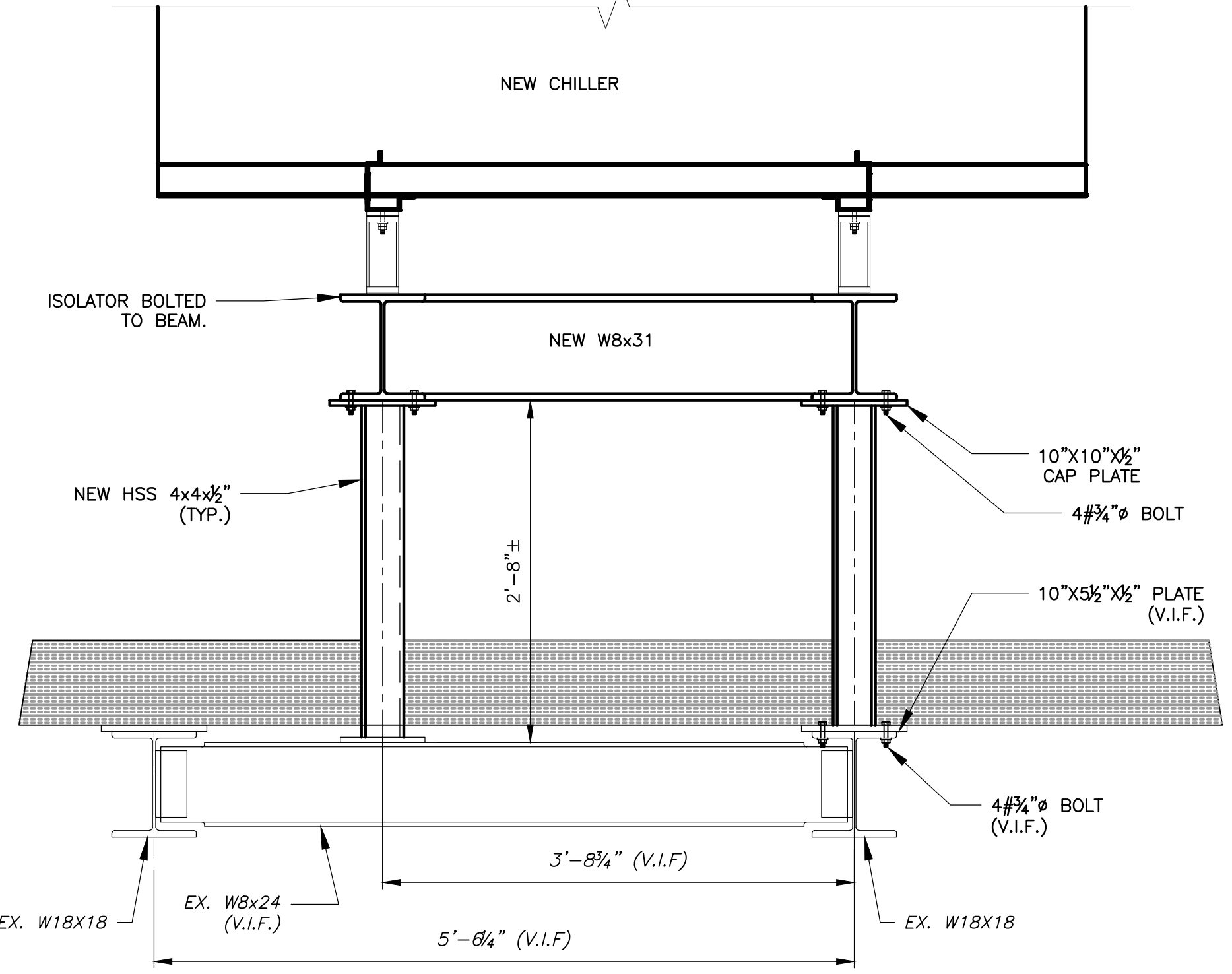
- NOTE:
1. ANIMAL CLINIC PARTIAL ROOF FRAMING PLAN IS DEVELOPED BASED ON EXISTING S2 DRAWING. (DATED FEB 21ST 1996).
 2. STEEL DUNNAGE IS DESIGNED FOR 13,214# OF CHILLER LOAD.



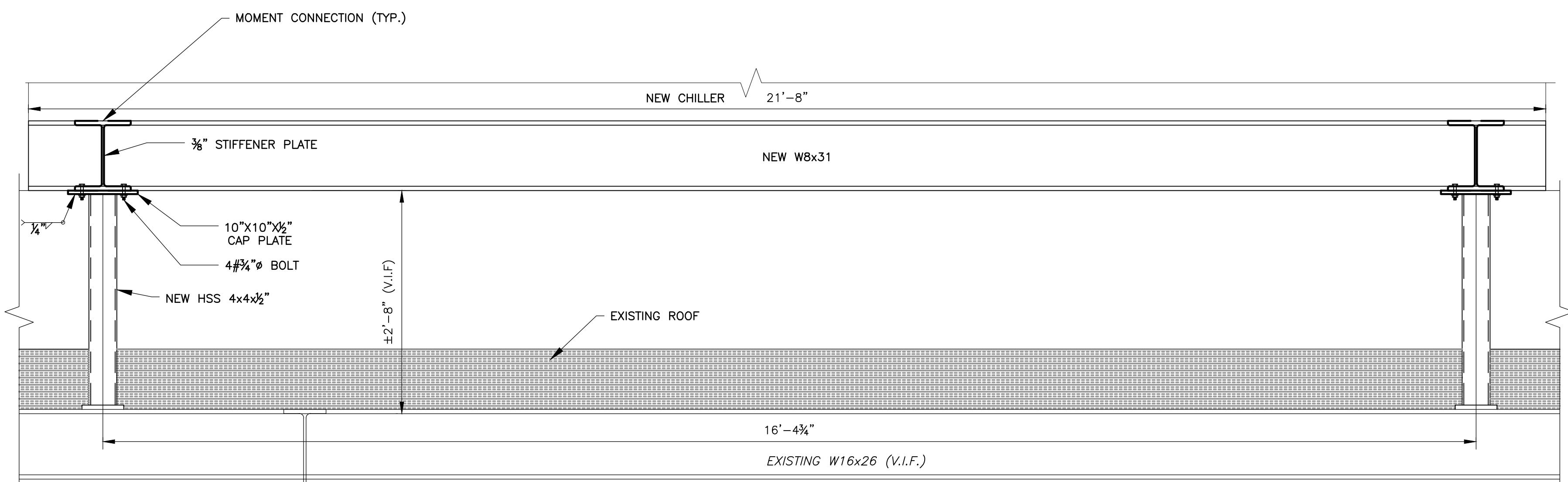
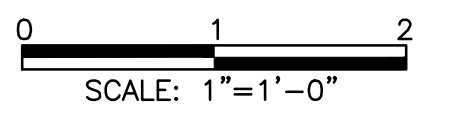
E 2 | S1.1 ELEVATION (DEMOLITION)



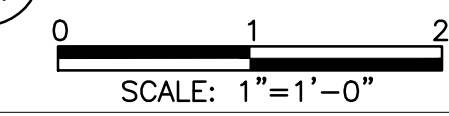
TO BE DEMOLISHED



E 1 | S1.1 ELEVATION (PROPOSED)



E 2 | S1.1 ELEVATION (PROPOSED)



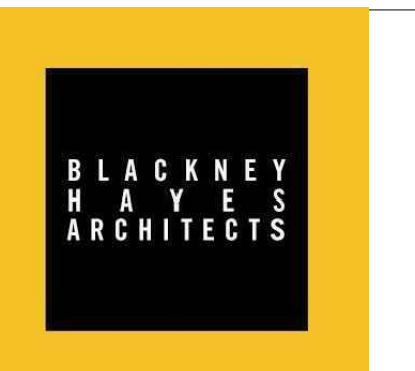
REVISIONS		
ISSUE	DATE	REVISIONS
	04/22/19	ISSUED FOR DPP REVIEW
	06/07/19	ISSUED FOR CITY REVIEW



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PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
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 1400 JFK BOULEVARD
 CITY HALL - ROOM 701
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Animal Hospital Mechanical Upgrades
 DRAWING TITLE
PARTIAL ROOF TOP FRAMING PLAN

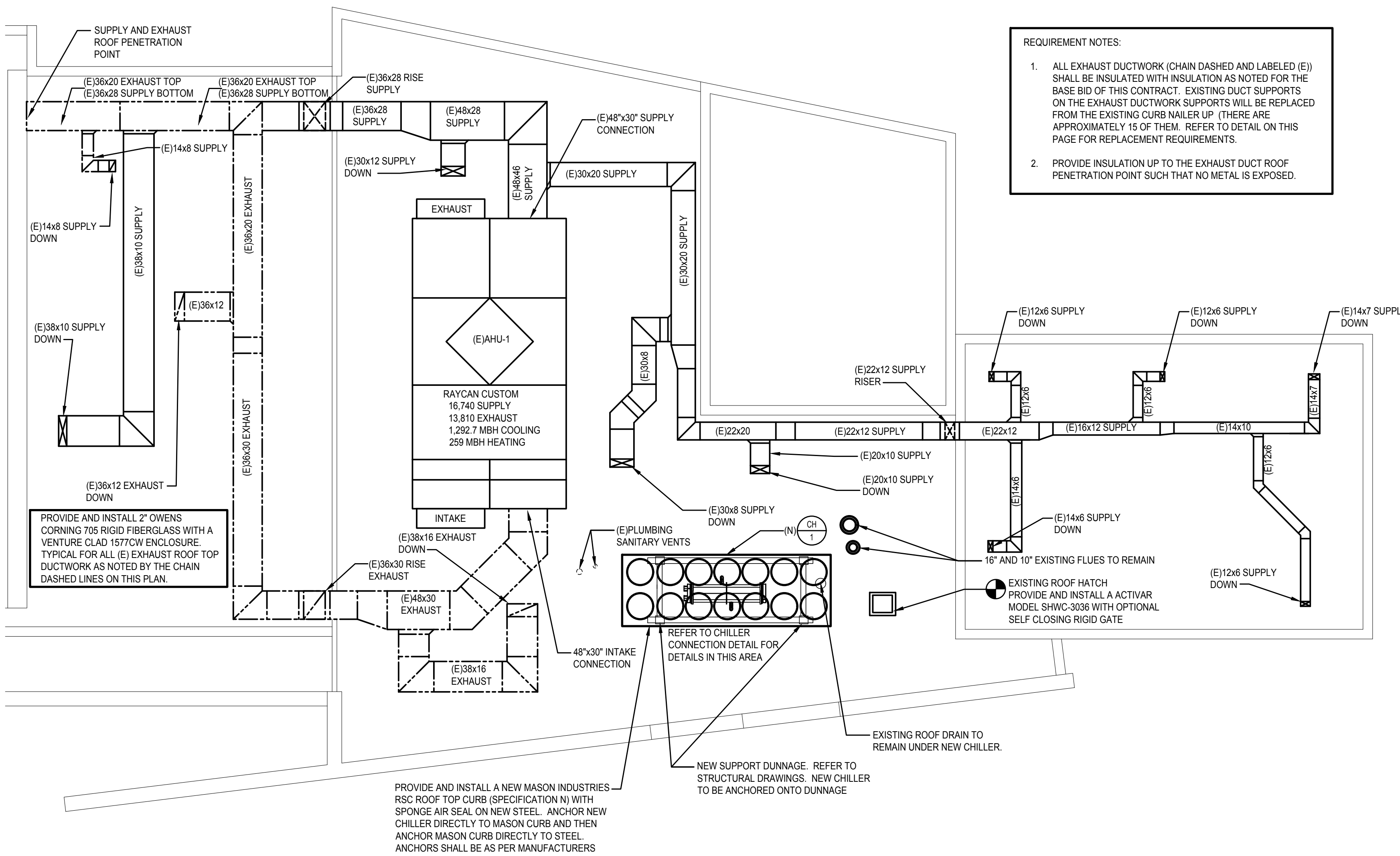
PROJECT NO.
71-19-4365-01

DATE
 06/07/19
 SCALE
 AS NOTED
 DRAWN BY
 H.D.
 CHECKED BY
 S.C.

S1.1

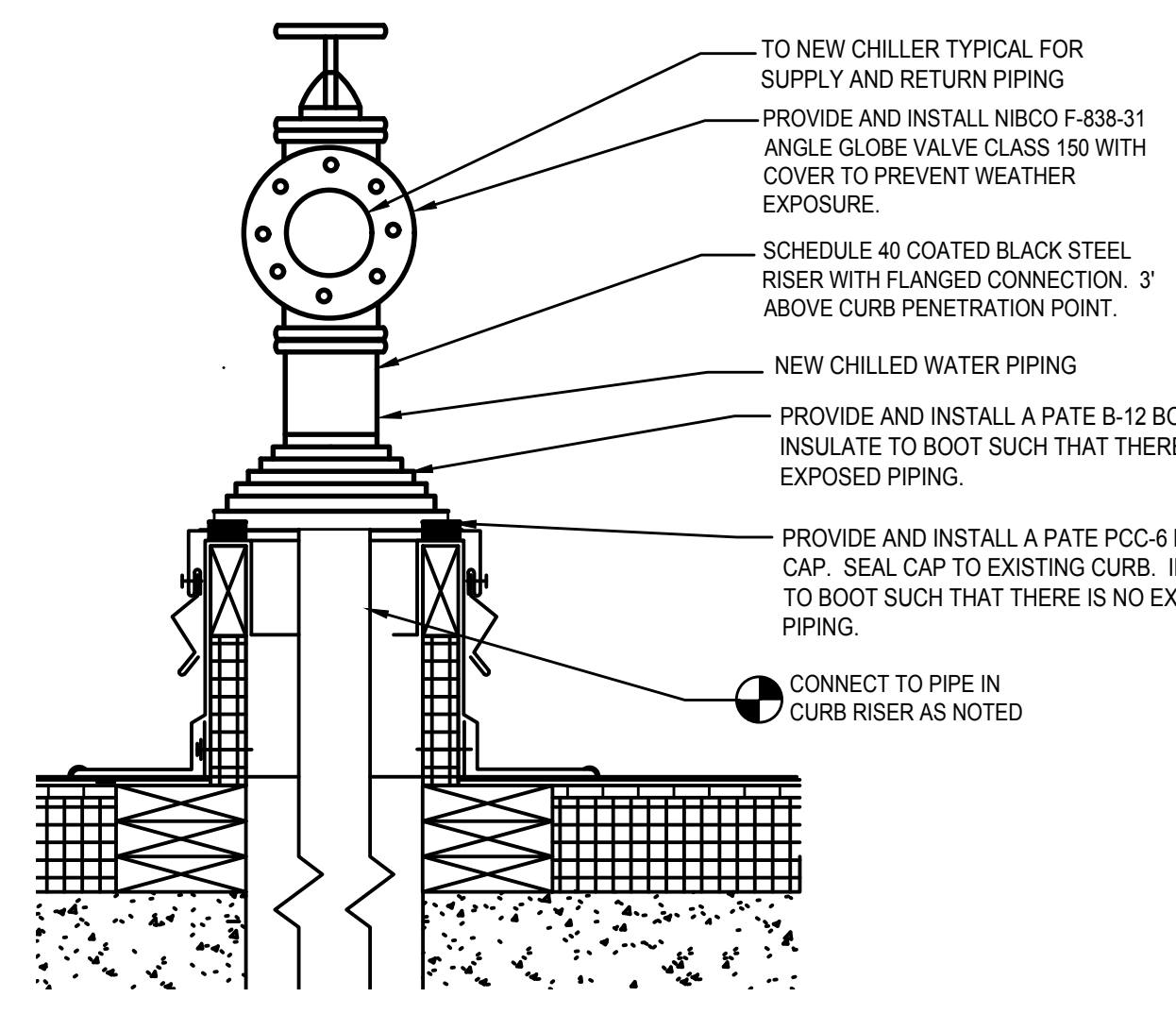
NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



REQUIREMENT NOTES:

- ALL EXHAUST DUCTWORK (CHAIN DASHED AND LABELED (E)) SHALL BE INSULATED WITH INSULATION AS NOTED FOR THE BASE BID OF THIS CONTRACT. EXISTING DUCT SUPPORTS ON THE EXHAUST DUCTWORK SUPPORTS WILL BE REPLACED FROM THE EXISTING CURB NAILER UP (THERE ARE APPROXIMATELY 15 OF THEM. REFER TO DETAIL ON THIS PAGE FOR REPLACEMENT REQUIREMENTS).
- PROVIDE INSULATION UP TO THE EXHAUST DUCT ROOF PENETRATION POINT SUCH THAT NO METAL IS EXPOSED.



MECHANICAL RISER BOOT DETAIL
NOT TO SCALE

SCOPE OF WORK THIS DRAWING

- PROVIDE AND INSTALL NEW CHILLER ON NEW STRUCTURAL STEEL AS NOTED.
- PROVIDE AND INSTALL A NEW MASON INDUSTRIES SPRING ISOLATOR CURB TO NEW DUNNAGE (STEEL) AND THEN ANCHOR CHILLER TO CURB.
- PROVIDE NEW PIPING FROM EXISTING "RE-UTILIZED" COOLING TOWER CONDENSER PIPING TO NEW CHILLER AS SHOWN IN DETAILS. SUPPORT ALL NEW PIPING WITH PATE PIPE CURBS AS NOTED.
- INSTALL NEW INSULATION ON ALL EXHAUST DUCTWORK AS WELL AS ALL NEW PIPING AS NOTED. THIS TO INCLUDE REPLACEMENT OF ROOF TOP DUCT SUPPORTS FROM CURB UP.
- PROVIDE AND INSTALL A NEW ROOF HATCH FENCE AND SUPPORT AS NOTED. THIS TO BE ANCHORED DIRECTLY TO THE EXISTING ROOF HATCH. EXISTING "HATCH" OPENING MUST BE CLEAR.
- ALL ROOF TOP DUCTWORK (THIS TO INCLUDE SUPPLY AND RETURN) SHALL BE CLEANED AS NOTED IN SPECIFICATION SECTION 23000 "SUMMARY OF WORK HVAC".

NEW WORK GENERAL NOTES:

- THE FOLLOWING CODES AND STANDARDS SHALL BE FOLLOWED FOR ALL WORK AND INTENT IN THIS PROJECT:
INTERNATIONAL MECHANICAL CODE, 2018.
UDSA ANIMAL WELFARE ACT AND ANIMAL WELFARE REGULATIONS, NOV 2013.
- CONSIDER DRAWINGS AND SPECIFICATIONS AS SUPPLEMENTING EACH OTHER. PERFORM OR FURNISH WORK SPECIFIED BUT NOT SHOWN, OR SHOWN BUT NOT SPECIFIED, AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
- PROVIDE MINOR ITEMS, ACCESSORIES OR DEVICES AS NECESSARY FOR COMPLETION AND PROPER OPERATION OF SYSTEMS WHETHER OR NOT THEY ARE SPECIFICALLY CALLED FOR BY SPECIFICATIONS OR DRAWINGS.
- WORK INCLUDES PROVIDING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICE NECESSARY AND REASONABLY INCIDENTAL TO PROPER COMPLETION OF ALL SYSTEMS AS SHOWN ON DRAWINGS AND AS SPECIFIED. PROVIDE MEANS TO FURNISH AND INSTALL COMPLETE AND IN PLACE; WORD "FURNISH" MEANS TO FURNISH AT SITE OF WORK UNLESS OTHERWISE STATED.
- COORDINATE WORK AND EQUIPMENT OF MECHANICAL TRADES WITH WORK AND EQUIPMENT OF ALL OTHER TRADES SPECIFIED ELSEWHERE TO ASSURE COMPLETE AND SATISFACTORY INSTALLATION.
- DRAWINGS ARE DIAGRAMMATIC AND INDICATE ARRANGEMENTS AND APPROXIMATE SIZES AND RELATIVE LOCATIONS OF PRINCIPLE APPARATUS, EQUIPMENT, DEVICES AND SERVICES TO BE PROVIDED.
- EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD BY CONTRACTOR.
- LAYOUT OF EQUIPMENT INDICATED ON DRAWINGS SHALL BE CHECKED AND COMPARED AGAINST ALL DRAWINGS AND SPECIFICATIONS OF ALL TRADES AND EXACT LOCATIONS DETERMINED USING APPROVED SHOP DRAWINGS OF SUCH EQUIPMENT, WHERE PHYSICAL INTERFERENCE OCCUR. CONSULT WITH ENGINEER AND PREPARE DATED, DIMENSIONED DRAWINGS CORRECTING SUCH INTERFERENCES. SUBMIT TO ENGINEER FOR REVIEW OF SUCH DRAWINGS AND DISTRIBUTE SAME AS REQUIRED.
- WORK SHALL BE GUARANTEED TO BE FREE FROM LEAKS OR DEFECTS. DEFECTIVE MATERIALS, WORKMANSHIP AND DAMAGE TO WORK OF ALL DIVISIONS RESULTING FROM SAME SHALL BE REPLACED OR REPAIRED AS DIRECTED FOR DURATION OF STIPULATED GUARANTEE PERIODS. DURATION OF GUARANTEE FOLLOWING DATE OF BENEFICIAL USE OF SYSTEMS SHALL BE ONE YEAR, UNLESS SPECIFIED OTHERWISE.
- ALL MECHANICAL EQUIPMENT AND ACCESSORIES INDICATED ARE TO ESTABLISH A MINIMUM STANDARD OF QUALITY. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT THAT COMPLIES WITH ALL BUILDING STANDARDS OR AS REQUESTED BY OWNER AND COMPLIES WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL EQUIPMENT, CONTROLS, AIR DEVICES, DUCTWORK, SUPPORTS, ETC ARE NEW UNLESS INDICATED OTHERWISE.

REVISIONS

ISSUE	DATE	REVISIONS
	04/22/19	ISSUED FOR DPP REVIEW
	06/07/19	ISSUED FOR CITY REVIEW

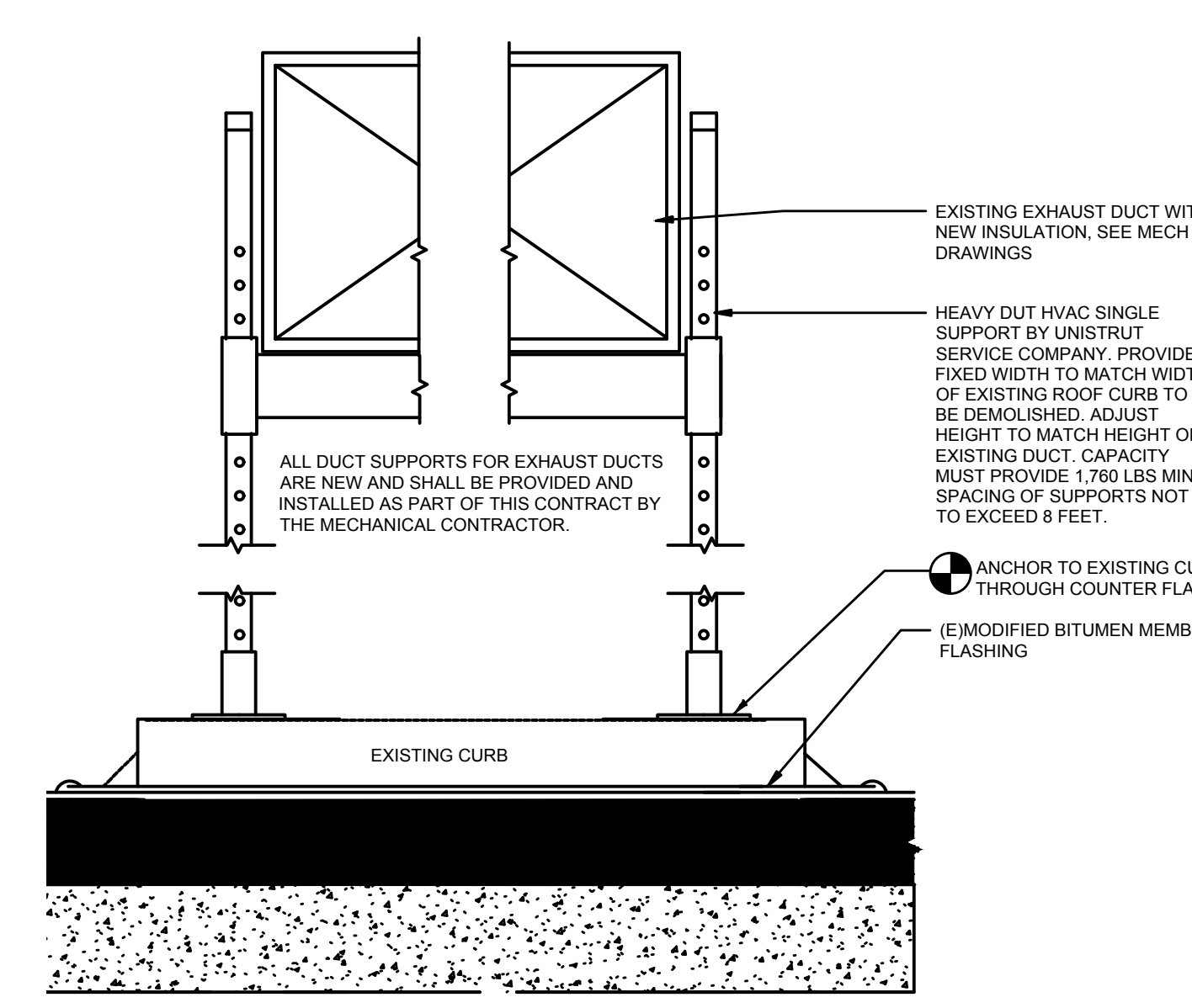


PHILADELPHIA ZOO
AMERICA'S FIRST ZOO

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WFW PROJECT # - 190019

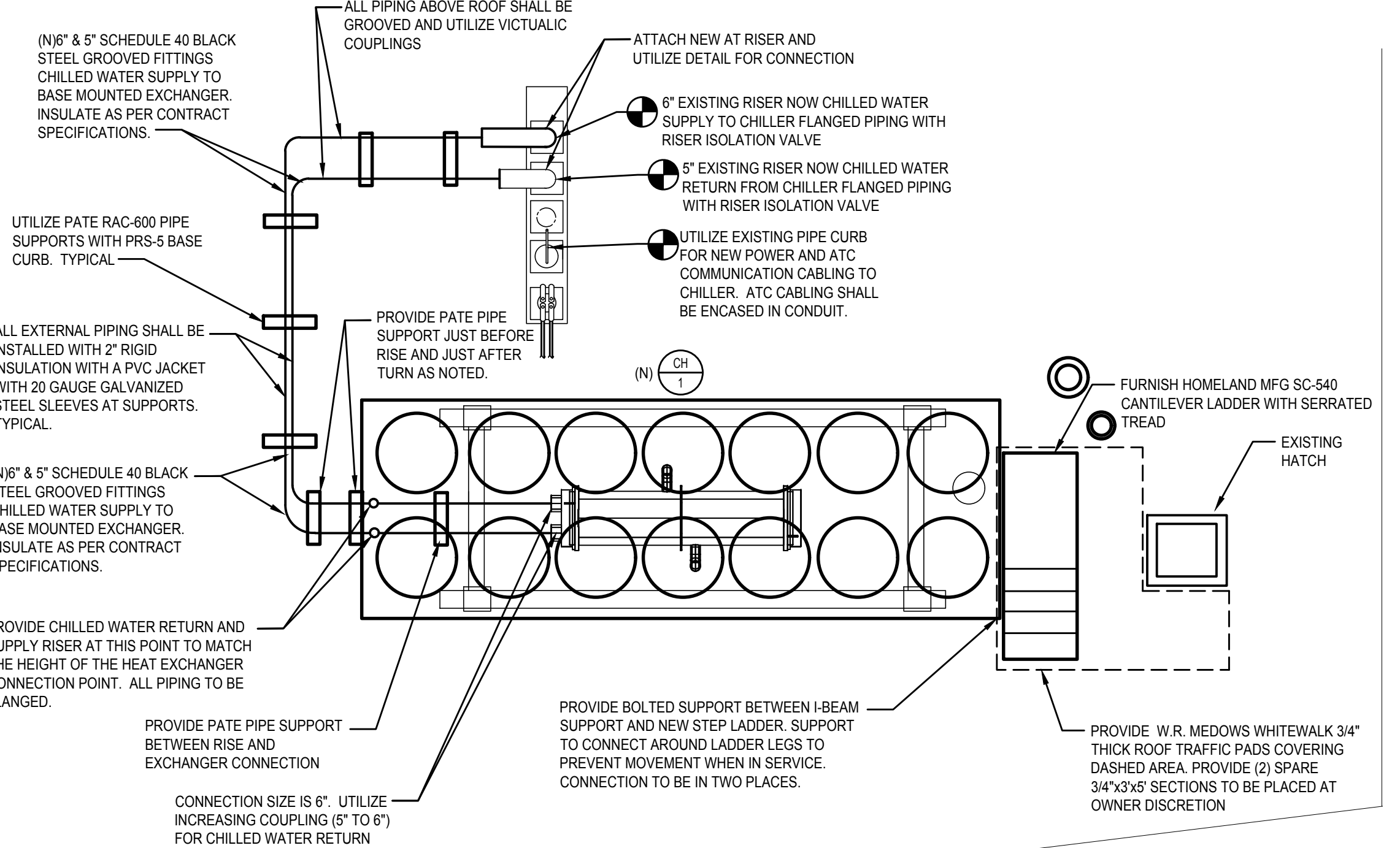
MECHANICAL ROOF PLAN - NEW WORK

1/8" = 1'-0"



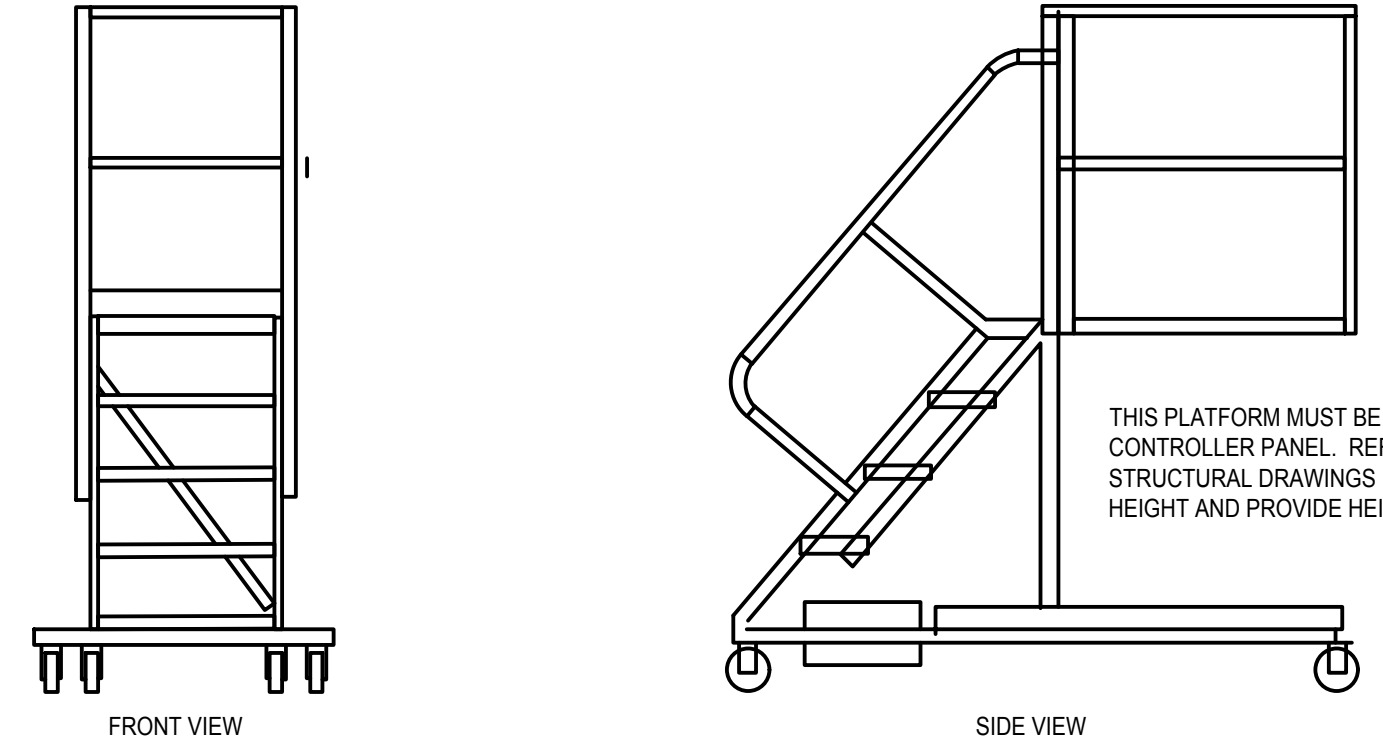
MECHANICAL DUCT ROOF SUPPORT DETAIL

NOT TO SCALE



MECHANICAL CHILLER CONNECTION

1/4" = 1'-0"



HOMELAND MFG SC-540 DETAIL

NOT TO SCALE

CHILLER SCHEDULE

CH. NO.	NOMINAL TONS	TYPE	CHILLED WATER					ELECTRICAL				WEIGHT OPERATING	DIMENSIONS LENGTH X WIDTH X HEIGHT	BASIS OF DESIGN/MODEL	
			GPM	EWT	LWT	PD (FT.)	PROPYLENE GLYCOL	TOTAL KW 95 F	VOLTAGE	MCA	MOP				EER BTU/W-H
1	170	SCREW	353	54	44	11.4	20%	189.4	208/3/60	770	1000	14.36	13,214LB	232"x90"x93"	TRANE / RTAC170 HIGH EFFICIENCY 2-PASS

PROVIDE COMPLETE COAT COILS REFER TO SPECIFICATION SECTION 230993 AND 236423 FOR SPECIFIC DETAILS



ANIMAL HOSPITAL LOCATION

NOT FOR CONSTRUCTION

BLACKNEY HAYES ARCHITECTS

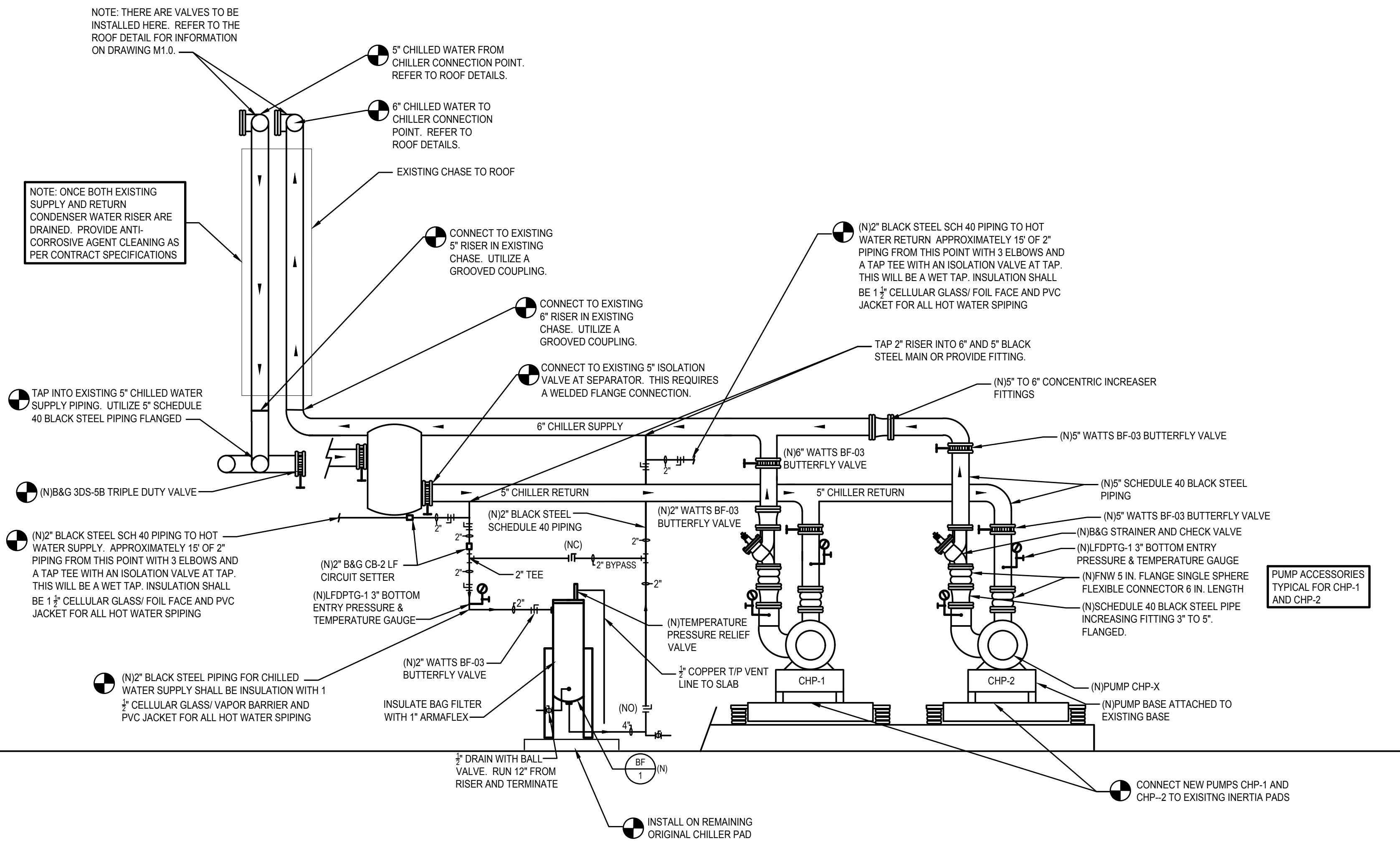
CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY
1400 JFK BOULEVARD
CITY HALL - ROOM 701
PHILADELPHIA, PENNSYLVANIA

Animal Hospital Mechanical Upgrades

MECHANICAL ROOF NEW WORK

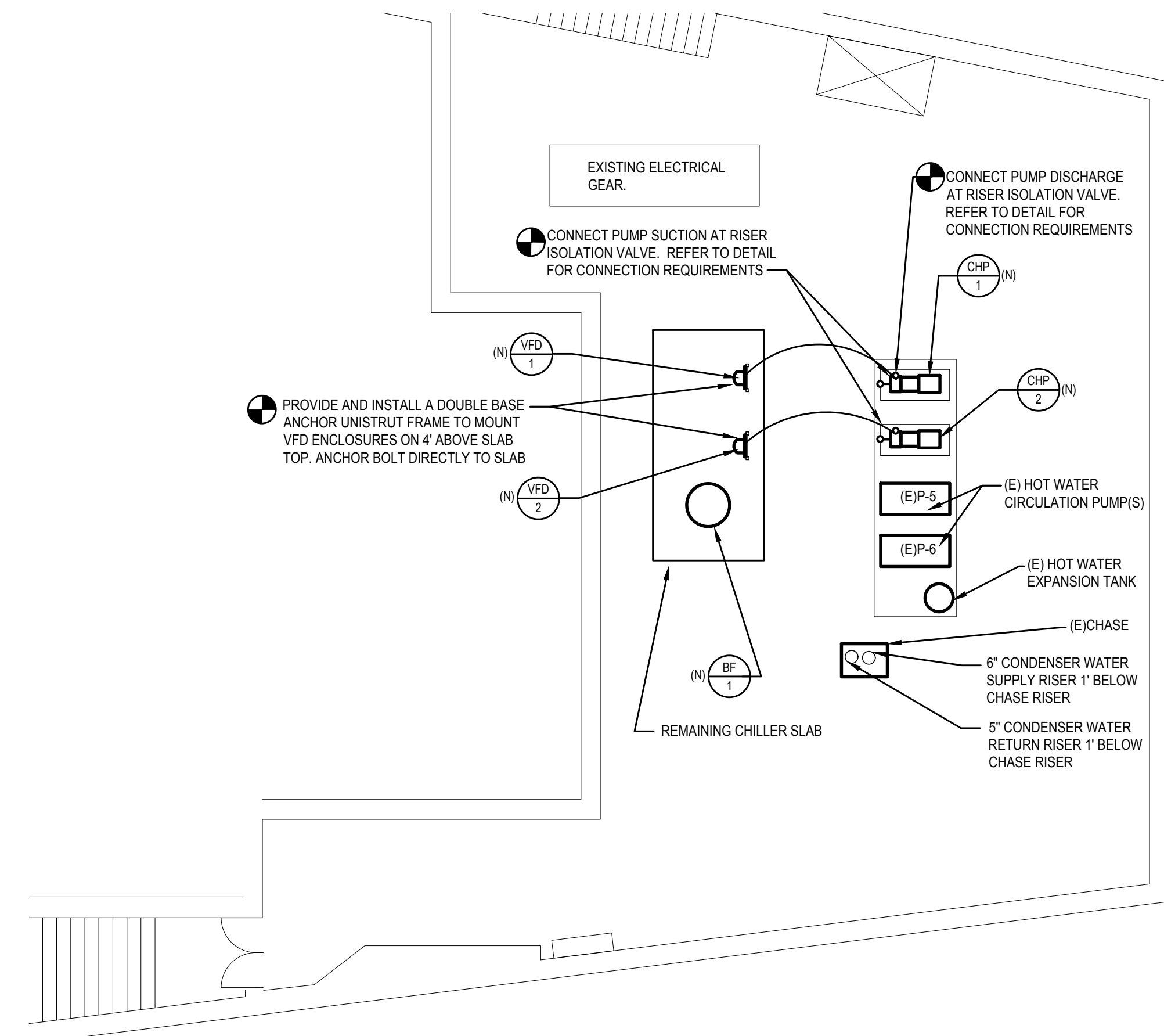
PROJECT NO. 71-19-4365-01
DATE 06/07/19
SCALE AS NOTED
DRAWN BY AO
CHECKED BY AO

DRAWING NO. M1.0



1 MECHANICAL NEW WORK PUMP CONNECTION AND FILTER SECTION

M2.0 NOT TO SCALE



2 MECHANICAL BASEMENT PLAN - CONDENSER WATER PIPING

M2.0 1/8" = 1'-0"

CHILLED WATER PUMP SCHEDULE

PUMP NO.	LOCATION	SERVICE	CONNECTION SIZE (IN)		TYPE SIZE	DUTY POINT DESIGN FLOW (GPM)	DUTY POINT MINIMUM FLOW (GPM)	DUTY POINT HEAD (FT)	DUTY POINT EFFICIENCY	PUMP SPEED DESIGN (RPM)	DUTY POINT (HP)	ELECTRICAL					MANUFACTURER & MODEL NO.	
			SUCTION	DISCHARGE								VOLTS	PHASE	HZ	MOTOR FRAME	FLA		MOCB
CHP-1	BASEMENT MECHANICAL ROOM	CHILLER CH-1 BUILDING	3" FLANGED	4" FLANGED	1510 3BD	353	99.7	75 FT	79	1770	15	208	3	60	NEMA254	46.2	100	BG-E1510-3BD-SS-254T-S
CHP-2	BASEMENT MECHANICAL ROOM	CHILLER CH-1 BUILDING	3" FLANGED	4" FLANGED	1510 3BD	353	99.7	75 FT	79	1770	15	208	3	60	NEMA254	46.2	100	BG-E1510-3BD-SS-254T-S

- NOTE: 1. PUMP SHALL BE BASE ON 20% PROPYLENE GLYCOL AND 80% WATER.
 2. PROVIDE AND INSTALL A BELL AND GOSSETT STRAINER AND CHECK VALVE AS NOTED IN DETAIL.
 3. PROVIDE AND INSTALL A BELL AND GOSSETT MODEL FE-3X (Part 115122) 4" PUMP SIDE, 5" SYSTEM SIZE CARBON STEEL FLANGE/FLANGE SUCTION DIFFUSER AS NOTED IN DETAIL.

PUMP VFD SCHEDULE

VFD NO.	LOCATION	SERVICE	CAPACITY KW	RATED CURRENT (AMPS)	MAIN POWER (VOLTS)	PHASE	OUTPUT CAPACITY % PER 1 MIN	OUTPUT FREQUENCY (HZ)	ENCLOSURE TYPE	ANALOG INPUT	DIGITAL INPUT	ANALOG OUTPUT	DIGITAL OUTPUT	DIGITAL OUTPUT	RS485 PROTOCOL	MANUFACTURER & MODEL NO.
VFD-1	BASEMENT MECHANICAL ROOM	CHP-1	11.5	46.2	200-240	3	110	0-1000	IP66	2	6	1	2	2	BACNET MCA 109	ABB-ACS355-03U-46A2-2+J400-MUL1-R4
VFD-2	BASEMENT MECHANICAL ROOM	CHP-2	11.5	46.2	200-240	3	110	0-1000	IP66	2	6	1	2	2	BACNET MCA 109	ABB-ACS355-03U-46A2-2+J400-MUL1-R4

- NOTE: 1. MOUNT AS NOTED IN DETAIL ON UNISTRUT SUPPORT AS NOTED ON OLD CHILLER PAD.
 2. COMMUNICATION TO ATC MUST BE MS/TP WITH DISCOVERABLE INPUT OUTPUT OBJECT FILE.
 3. PROVIDE MOUNTING KIT

BAG FILTER SCHEDULE

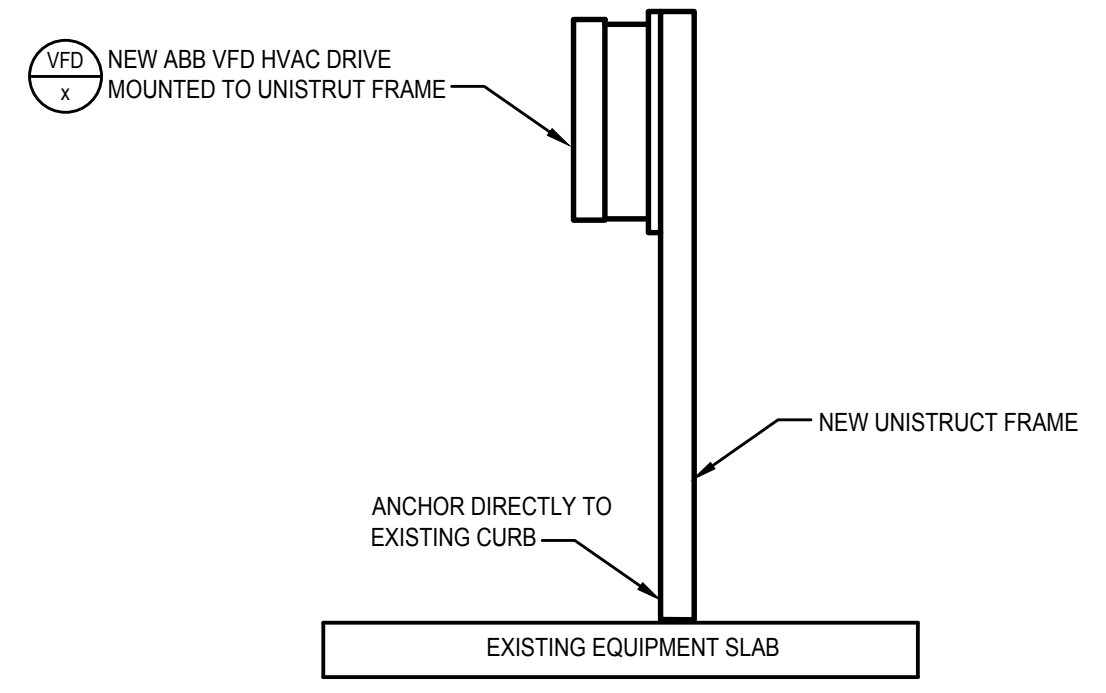
BF NO.	LOCATION	SERVICE	BAG STYLE	TYPICAL FLOW	VOLUME (GALLONS)	MATERIAL	BAG LENGTH (INCHES)	SPARE BAGS	SUPPORT LEGS	PAINT COLOR	MANUFACTURER & MODEL NO.
BF-1	BASEMENT MECHANICAL ROOM	CHILLED WATER	DOUBLE	160	7.2	CARBON STEEL	31.5	2	CARBON STEEL	FLAT BLACK	FULFLO CBC10DT

- NOTE: 1. PROVIDE AND INSTALL A BAG CB-2 LF CIRCUIT SETTER (NPT) IN BAG SYSTEM RETURN PIPING.
 2. PROVIDE A SEPARATE CONCRETE CURB AS NOTED ON DETAIL FOR BAG FILTER.

- SCOPE OF WORK THIS DRAWING**
1. PROVIDE AND INSTALL NEW PUMPS AS NOTED.
 2. PROVIDE AND INSTALL NEW BAG FILTER AS NOTED.
 3. PROVIDE NEW PIPING FROM CHILLER RISER TO PUMPS AND THEN TO BUILDING AS NOTED.
 4. PROVIDE AND INSTALL INSULATION AS REQUIRED.
 5. PROVIDE AND INSTALL VFD'S AS NOTED.
 6. REFER TO CONTRACT SPECIFICATIONS FOR FURTHER WORK IN THIS AREA.

3 MECHANICAL NEW WORK VFD SUPPORT DETAIL

M2.0 NOT TO SCALE



ANIMAL HOSPITAL LOCATION

REVISIONS

ISSUE	DATE	REVISIONS
	04/22/19	ISSUED FOR DPP REVIEW
	06/07/19	ISSUED FOR CITY REVIEW



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 Philadelphia, PA 19106
 Tele: 215-627-0200
 WFW PROJECT # - 190019

PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA
 DEPARTMENT OF PUBLIC WORKS
 1400 JFK BOULEVARD
 CITY HALL - ROOM 701
 PHILADELPHIA PENNSYLVANIA

PROJECT TITLE
Animal Hospital Mechanical Upgrades
 DRAWING TITLE
MECHANICAL BASEMENT NEW WORK

PROJECT NO.
 71-19-4365-01
 DATE
 06/07/19
 SCALE
 AS NOTED
 DRAWN BY
 AO
 CHECKED BY
 AO

M2.0

NOT FOR CONSTRUCTION

NOTE: ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

