

CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

MAYOR - JAMES F. KENNEY

MANAGING DIRECTOR - BRIAN ABERNATHY

COMMISSIONER - PUBLIC PROPERTY - BRIDGET COLLINS-GREENWALD

PRESIDENT & CEO OF ZOOLOGICAL SOCIETY OF PHILADELPHIA - VIKRAM H. DEWAN

RENOVATIONS TO:

Animal Hospital Mechanical Upgrades

3400 W. GIRARD AVE, PHILA, PA 19104

DPP PROJECT NO. 71-19-4365-01

ARCHITECT



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ELECTRICAL ENGINEER

DGW Electrical Engineering, Inc. 232 Cecelia Acres Drive Ivyland, PA 18974 phone: 215.354.9161 CONTACT PERSON: Darius Plichta

ABBREVIATIONS SYMBOLS Radius Air Conditioning ROOM TAG: NAME, NUMBER, AREA Acoustical Ceiling Tile GALV Roof drain 101 Galvinized AFF Above Finished Floor General contractor REF Reference, Refrigerator 150 SF Alternate Glass Fiber Reinforced Concrete REQD Required Glass Fiber Reinforced Gypsum REV ALUM Aluminum Revision DOOR TAG ANOD Anodize Gypsum Wallboard **APPROX** Approximate Rough opening Access Panel Hollow Core RTU Roof Top Unit PARTITION TYPE TAG **ARCH** НМ Architect, Architecture Hollow Metal Rainwater conducter HORIZ Horizontal High Point Sound Attenuation Blanket SCHED **BITUM** Bituminous Height Schedule WINDOW TYPE TAG Sprayed Fire-Resistant Materials **BLKG** Heating, Ventilation, SFRM Blocking and Air Conditioning Bottom Of **SPEC** Specification TOILET ACCESSORY TAG Insulation Square foot Cabinet STL CFCI Contractor Furnished / INT STOR Interior Storage Contractor Installed STRUCT Structure, Structural KEYNOTE TAG (REFER TO ASSOCIATED SHEET NOTES) Corner Guard Stainless Steel Control Joint CLG Ceiling Temporary, Temperature FFE TAG Low Point TLT Toilet Concrete Masonry Unit TO Top of COL Column Mechanical TOP Top of Parapet CONC Concrete Maximum TOW Top of wall DETAIL NUMBER & SHEET REFERENCE CONT Continuous Mechanical TYP (SIM: SIMILAR, OPP: OPPOSITE, MIR: MIRRORED) Carpet MFR Manufacturer CT Ceramic Tile Minimum Underwriters Laboratory CW Curtain Wall Miscellaneous Unless Otherwise Noted Millimeter Masonry Opening **EXTERIOR ELEVATION TAG:** Double MTL A101 DRAWING NUMBER & SHEET REFERENCE **Drinking Fountain** Vinyl Composition Tile Diameter Not in contract **VERT** Vertical DIM Dimension Number Verify In Field DN Nominal Vinyl Wall covering DS Downspout Not to scale DTL Detail DWG Drawing, Drawings On Center Water Closet OD INTERIOR ELEVATION TAG: **Outside Diameter** WD Wood DRAWING NUMBER & SHEET REFERENCE Opposite Hand Expansion Joint WO Window Opening Overhead Elevation Waterproofing Owner Furnished . **ELEC** Electric, Electrical Owner Installed **ELEV** Elevator Extruded Polystyrene Owner Furnished / **Expanded Polystyrene** Contractor Installed Emergency SECTION TAG REFERENCE Opposite \A101 OTS Open To Structure **EWC** Electric Water Cooler Exposed __ Name__ Elevation **ELEVATION LEVEL REFERENCE** Plastic Laminate PLBG Plumbing Fire Extinguisher Cabinet SPOT ELEVATION REFERENCE Fire Hose and Valve Cabinet Pressure Treated Painted PLWD Plywood CENTERLINE Fiberglass Reinforced Plastic Polyvinyl chloride

View Name

1/8" = 1'-0"

SHEET DRAWING REFERENCE:

NUMBER, NAME, & SCALE

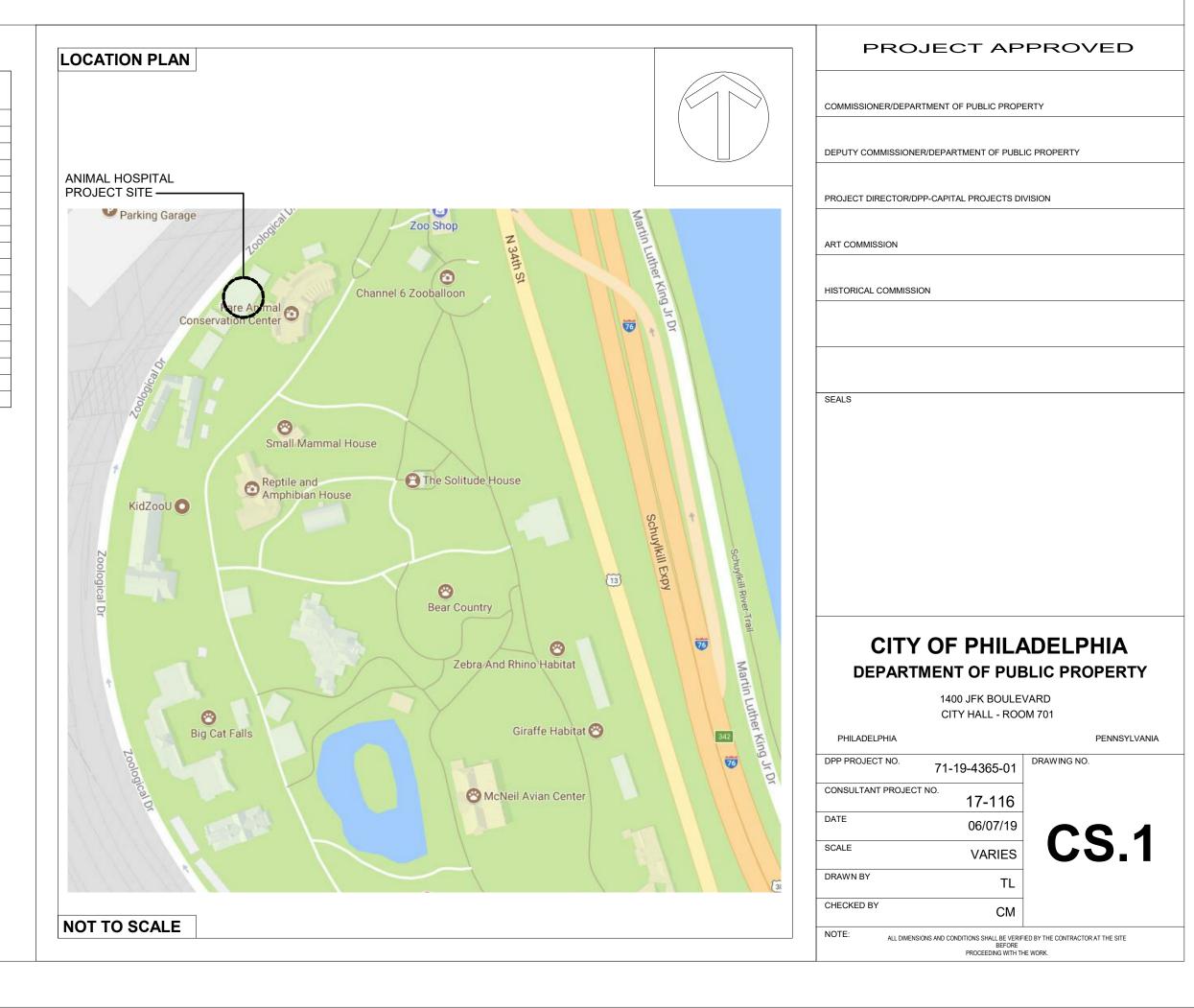
Fire Protection

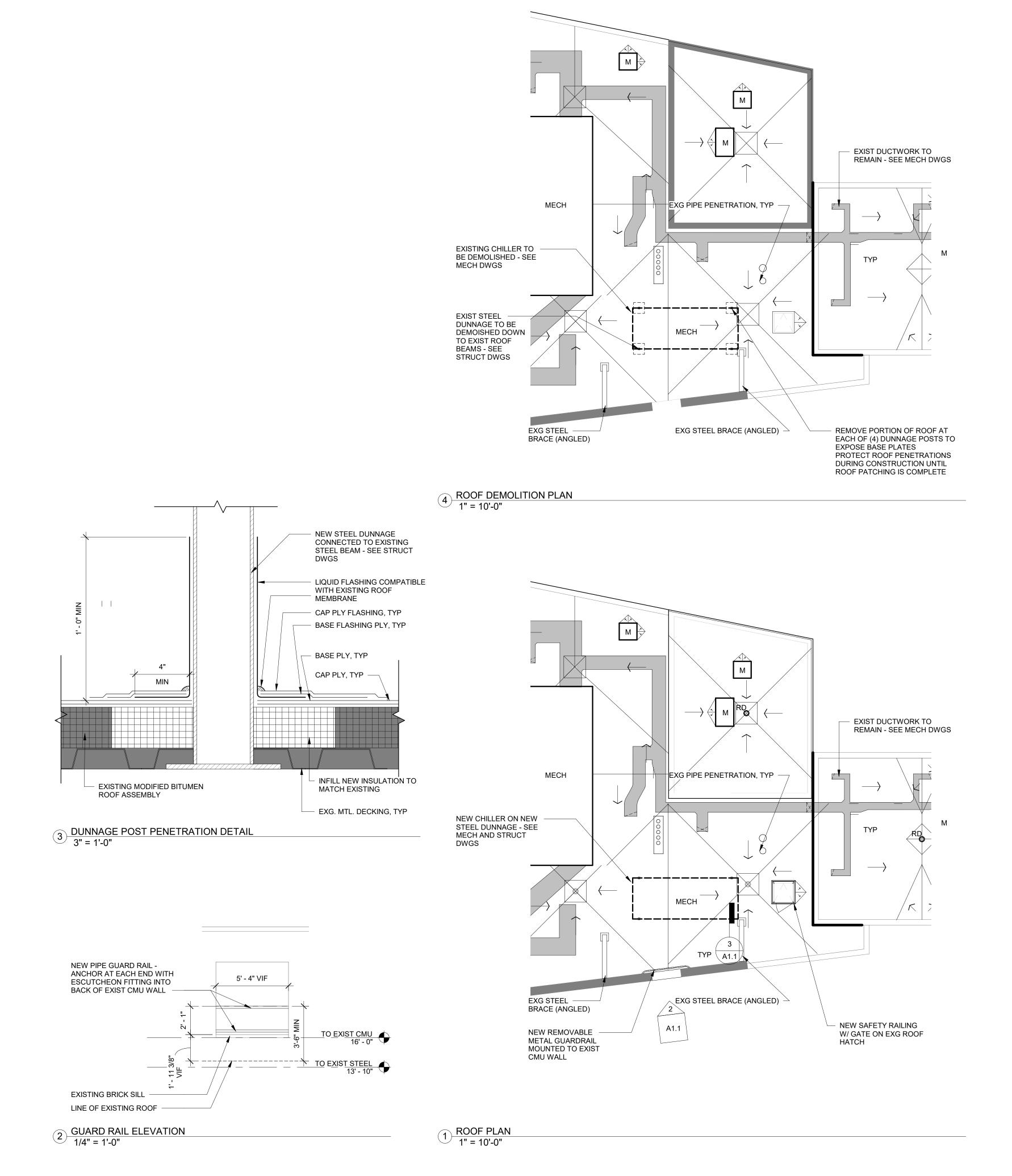
Foamed-In-Place

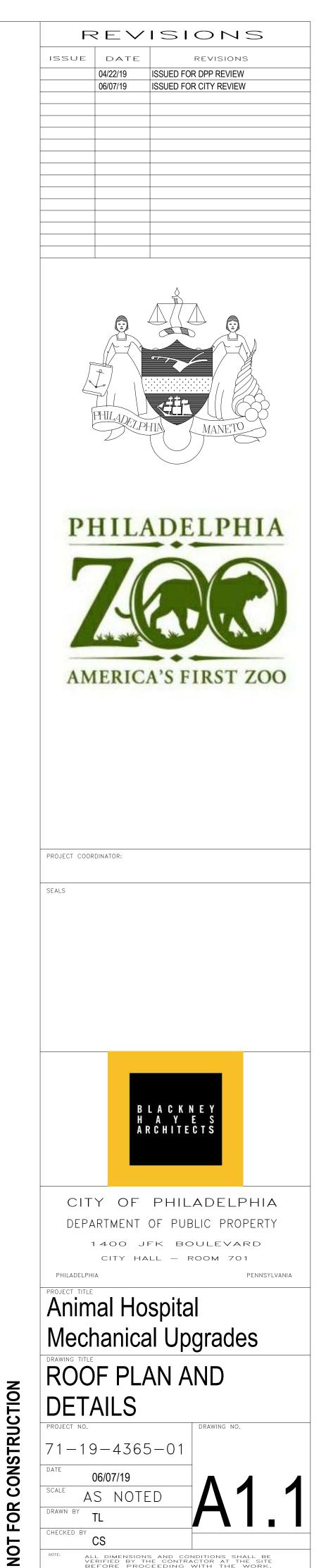
Feet

FIP

	SHEET LIST						
SHEET NUMBER	SHEET NAME						
CS	PROJECT COVER SHEET						
 A1.1	ROOF PLAN AND DETAILS						
S1.1	PARTIAL ROOF TOP FRAMING PLAN						
M0.0	MECHANICAL COVER SHEET						
MD1.0	MECHANICAL ROOF DEMOLITION WORK						
MD2.0	MECHANICAL BASEMENT DEMOLITION						
M1.0	MECHANICAL ROOF NEW WORK						
M2.0	MECHANICAL BASEMENT NEW WORK						
M4.1	MECHANICAL CONTROLS						
E0.1	ELECTRICAL SYMBOLS AND ABREVIATIONS						
ED1.0	ELECTRICAL ROOF PLAN - DEMOLITION						
ED2.0	ELECTRICAL BASEMENT PLAN - DEMOLITION						
E1.0	ELECTRICAL NEW WORK ROOF PLAN						
E2.0	ELECTRICAL NEW WORK BASEMENT PLAN						
E5.0	ELECTRICAL SINGLE LINE DIAGRAM						
E6.0	ELECTRICAL DETAILS AND DIAGRAMS						

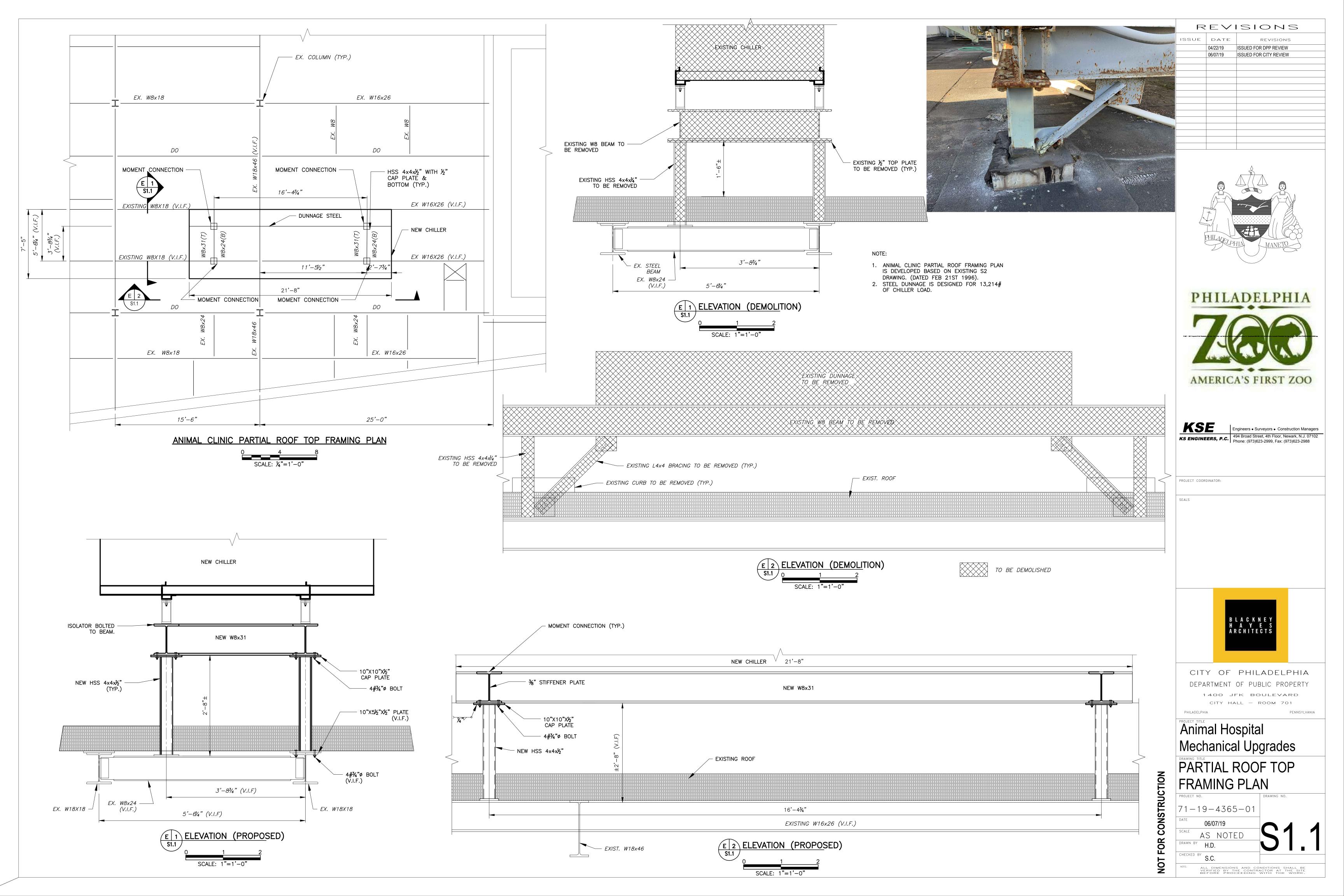


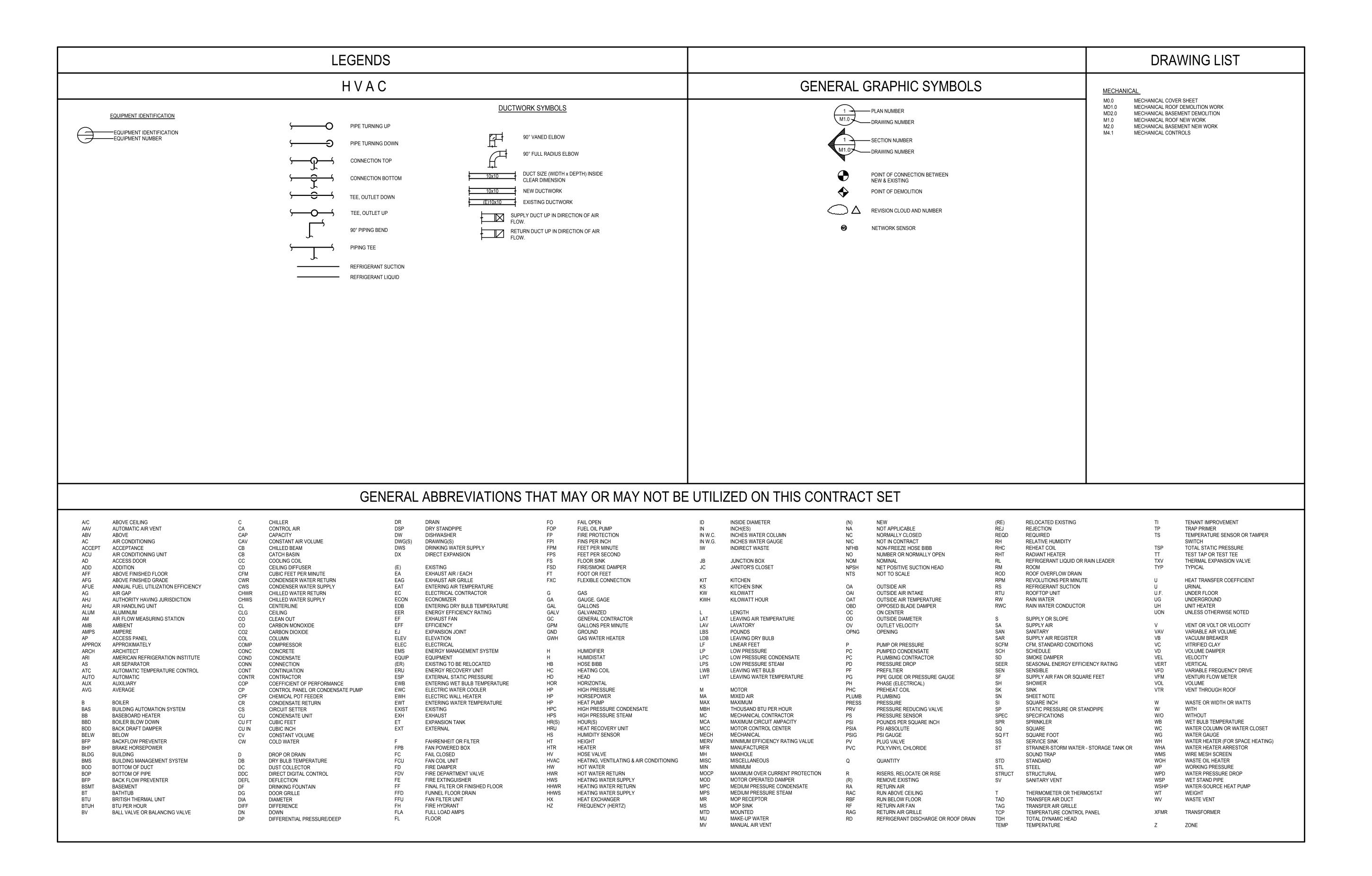




71-19-4365-01

AS NOTED





R	EVI	SIONS
ISSUE	DATE	REVISIONS
	04/22/19	ISSUED FOR DPP REVIEW
	06/07/19	ISSUED FOR CITY REVIEW





MP Engineer
Wick Fisher White

Federal Reserve Bank Building 100 N. Independence Mall West Suite 5 SE

Philadelphia, PA 19106

Tele: 215-627-0200 WFW PROJECT # - 190019

PROJECT COORDINATOR:

SEALS



CITY OF PHILADELPHIA

DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEVARD

CITY HALL — ROOM 701

PHILADELPHIA PENN

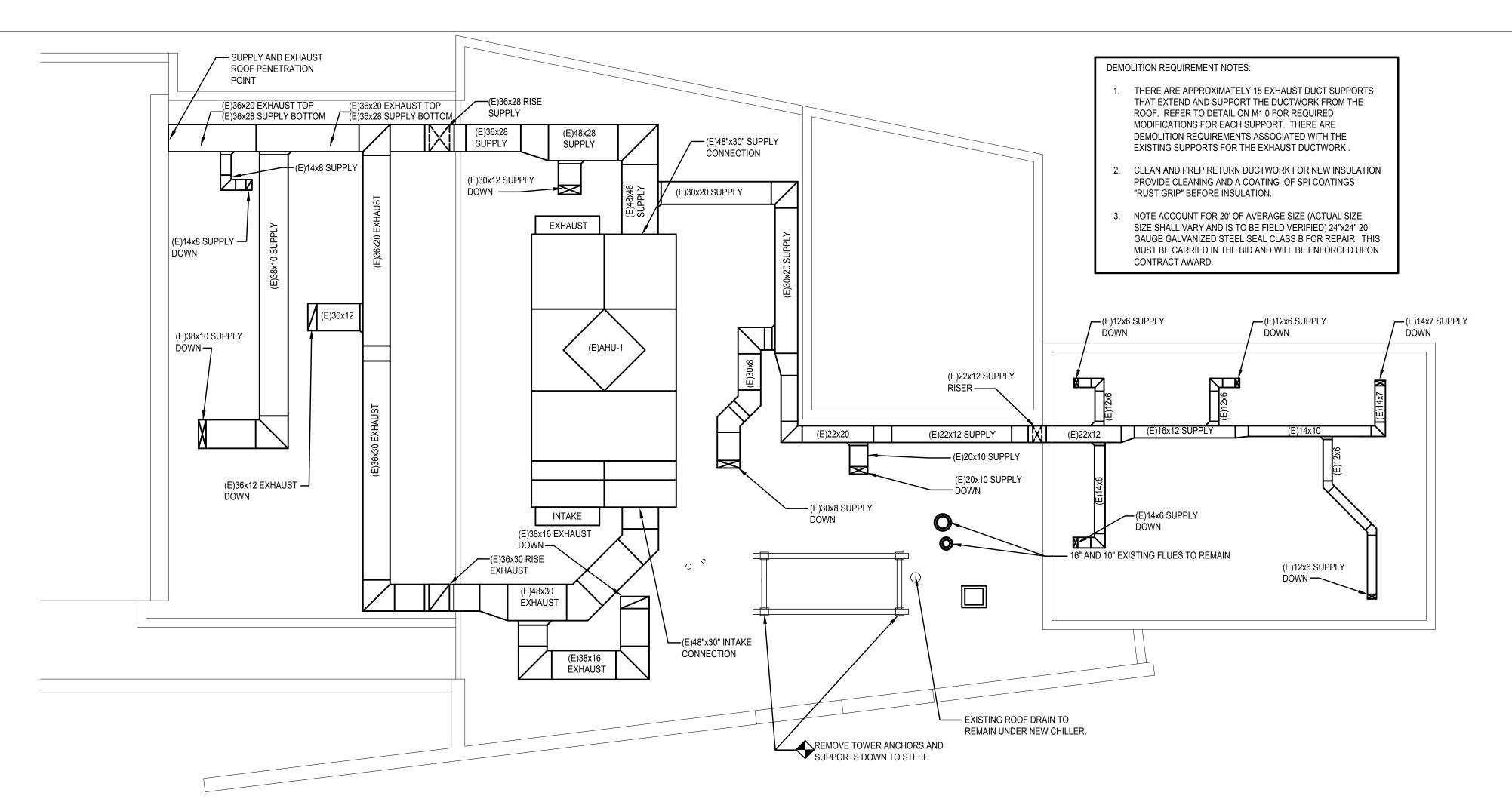
Animal Hospital
Mechanical Upgrades

MECHANICAL COVER SHEET

71-19-4365-01

06/07/19

DRAWN BY AO



MECHANICAL ROOF PLAN DEMOLITION

CUT AND CAP MAKE-UP WATER PIPING. DRAIN AND ISOLATE TO BELOW THE ROOF STRUCTURE. NOTE REMOVE INSULATION AND ASSOCIATED HEAT TRACING BACK TO SOURCE PANEL. REMOVE ALL PIPING TO CUT AND CAP 5" AND 6" CONDENSER WATER RETURN AND SUPPLY AT THESE TOWER AND CAP BELOW ROOF STRUCTURE. SEAL BOOT TIP WEATHER TIGHT TO CAP BASE POINTS. SEAL FOR FUTURE CONNECTION. REMOVE INSULATION AND HEAT TRACING BACK TO SOURCE PANEL EXISTING GOOSE NECK NOTE: ONCE CONDENSER WATER PIPING HAS BEE DRAINED (BY MC), CLEAR RISER OF ANY VENT AND SIDE VENT TO REMAIN WITH PIPE CURB. -EXISTING DEBRIS (LIKE A LOOSE JETTER NOZZLE) BEFORE TREATMENT AND RE-USE. REMOVE AND CAP EXISTING REFRIGERANT BARREL VENTS FROM REMOVED CHILLER. DON'T REMOVE UNTIL THE CHILLER IS DEACTIVATED AND EVACUATED. -----— EXISTING FLUES TO REMAIN — EXISTING ROOF HATCH (E)CT-1 ______ - EXISTING ROOF DRAIN TO DRAIN AND REMOVE EXISTING TOWER. THE EXISTING DUNNAGE -EXISTING DUNNAGE. REFER TO SHALL BE REMOVED BY GC AS NOTED STRUCTURAL DRAWINGS ON THE STRUCTURAL DRAWINGS REMOVE PIPE SUPPORT CURBS AND PATCH ROOF TO MATCH EXISTING. THIS PROCESS MUST BE COMPLETED

MECHANICAL ROOF PLAN - DEMOLITION CHILLER 1/8" = 1'-0"

BY A CERTIFIED ROOFER IN THE CITY OF PHILADELPHIA. TYPICAL FOR 2.

DEMOLITION GENERAL NOTES:

- POINTS OF CONNECTION OF ADDITIONS, ALL SERVICES, PIPING, CONTRACTOR SHALL FIELD VERIFY CONDITIONS AT THE SITE.
- MATERIALS TO BE REMOVED, SHOULD THE OWNER OPT TO KEEP ANY MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
- THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
- MAINTAIN EXISTING UTILITIES INDICATED OR REQUIRED TO REMAIN. KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- 7. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN SCHEDULED WITH THE OWNER.
- REMOVALS, DISCONNECTIONS, AND RELOCATIONS SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE INVOLVED AND SHALL BE EMPLOYED BY A CONTRACTOR LICENSED IN THE TRADE INVOLVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED TRADE PRACTICES.
- FOR THE PRESENT BUILDING AND ITS CONTENTS. TEMPORARY DUSTPROOF BARRIERS AND BARRICADES SHALL BE ERECTED WHERE REQUIRED FOR PROTECTION OF PERSONNEL, PROTECTION FROM DUST
- LIMIT DUST AND DIRT RISING AND SCATTERING TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 13. ALL EXISTING EQUIPMENT REQUIRED TO BE REUSED SHALL BE CLEANED, RECONDITIONED, CALIBRATED AND ADJUSTED. IN ALL INSTANCES WHERE CONTRACTOR FINDS THAT EXISTING EQUIPMENT IS DEFECTIVE TO THE POINT WHERE IT CANNOT BE PROPERLY RESTORED AND WILL NOT OPERATE PROPERLY, HE SHALL REPORT THE SPECIFIC

- DEMOLITION/RELOCATIONS: EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND RELOCATIONS OF SERVICES, EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
- WHERE EXISTING WALLS, FLOORS OR CEILINGS ARE REMOVED OR PENETRATED, AND WHERE EXISTING END WALLS OF THE BUILDING ARE CONDUIT, CONTROL OR SWITCH DEVICES, OR OTHER HVAC, PLUMBING EQUIPMENT SHALL BE REMOVED (OR RELOCATED WHERE THEY MUST REMAIN IN SERVICE, OR SERVE, AREAS BEYOND THE IMMEDIATE WORK)
- PRIOR TO DEMOLITION CONTRACTOR SHALL REVIEW WITH OWNER ALL
- DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN
- WHERE CONDITIONS PROHIBIT TOTAL REMOVAL OF THE WORK. THE REMAINING PORTION SHALL BE CUT FLUSH WITH THE SURROUNDING SURFACE AND BE CAPPED, PLUGGED OR SEALED AND THE SURROUNDING SURFACE SHALL BE REFINISHED IN AN APPROVED
- 8. DO NOT REMOVE EXISTING STRUCTURAL WORK. DO NOT REMOVE OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN THE MANNER INTENDED OR RESULTING IN DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
- 10. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO REMAIN, TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK.
- 11. PROTECTION: PROVIDE ADEQUATE PROTECTION WHERE REQUIRED AND DIRT, FOR SECURITY, FIRE AND WEATHER PROTECTIVE REASONS.
- 12. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO
- ITEMS OR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR DIRECTIONS



REVISIONS

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ISSUED FOR DPP REVIEW

ISSUED FOR CITY REVIEW

ISSUE DATE



MP E<u>ngineer</u>

Wick Fisher White Federal Reserve Bank Building 100 N. Independence Mall West Suite 5 SE

Philadelphia, PA 19106

Tele: 215-627-0200 WFW PROJECT # - 190019

PROJECT COORDINATOR:

BLACKNEY HAYES ARCHITECTS

CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

CITY HALL - ROOM 701

Animal Hospital

Mechanical Upgrades

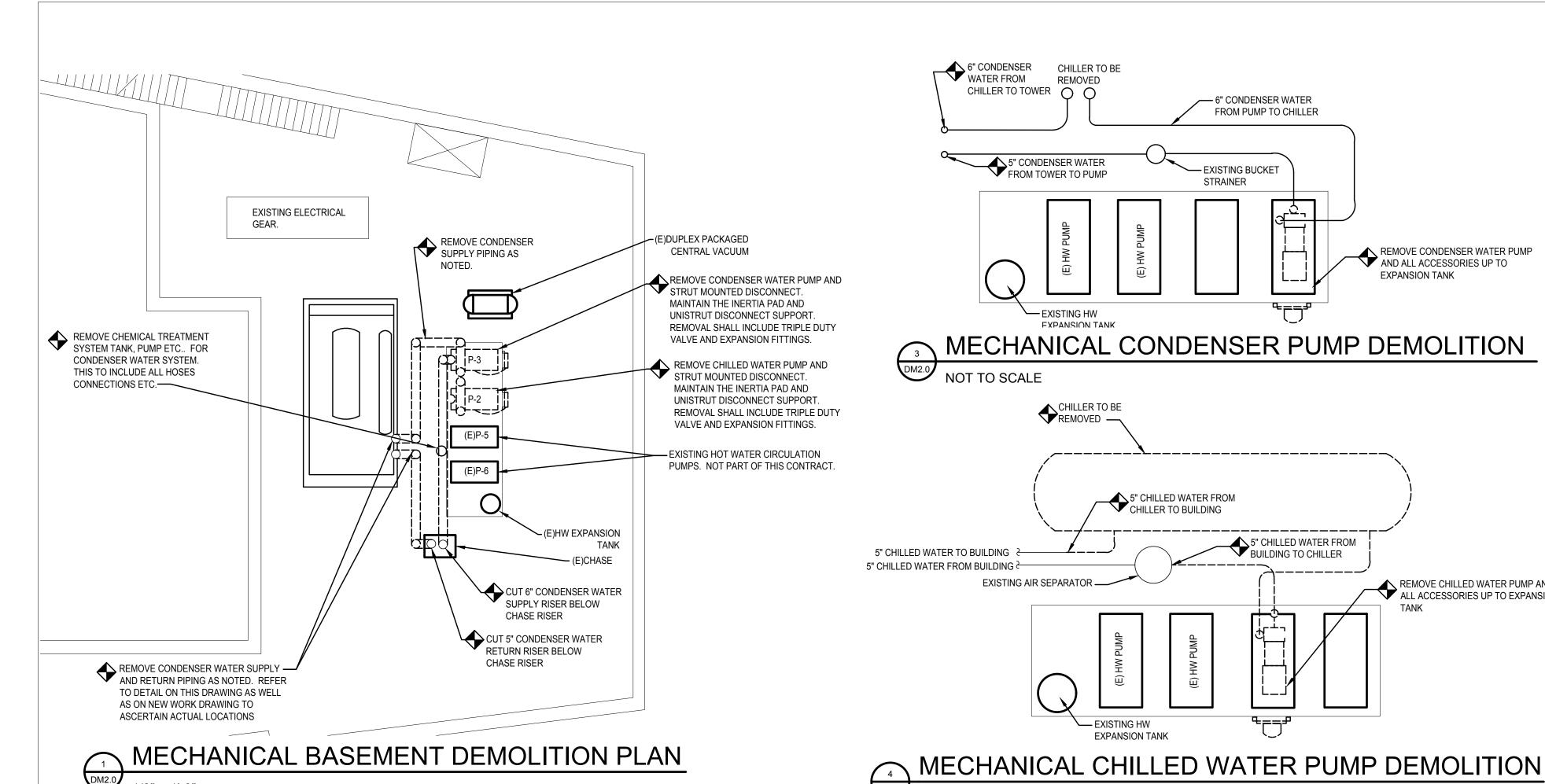
™ECHANICAL ROOF DEMOLITION WORK

71-19-4365-01

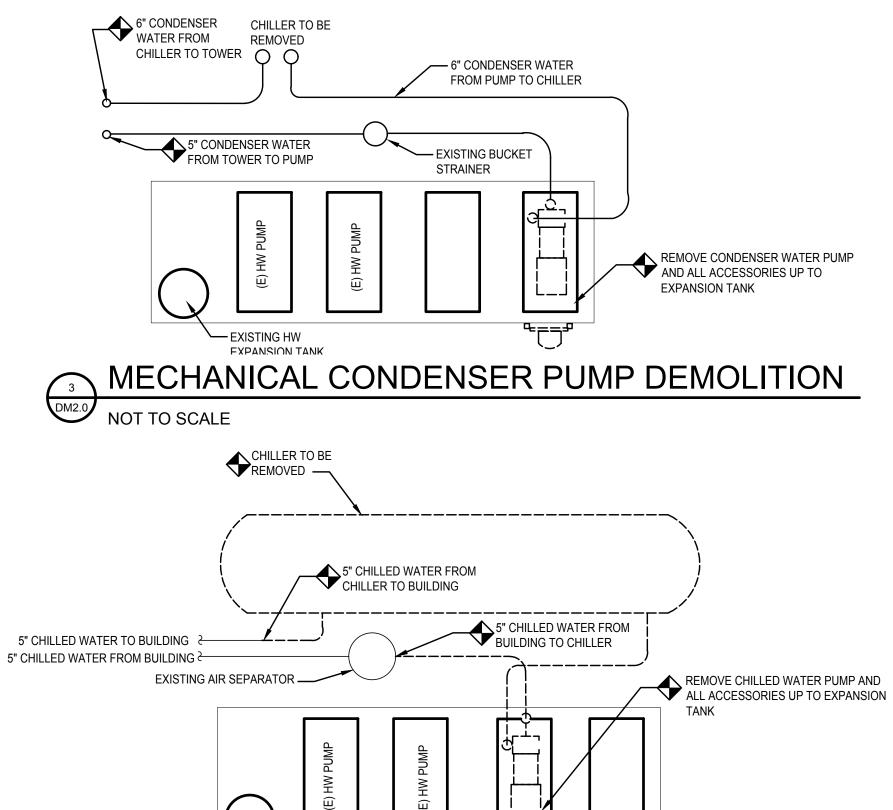
AS NOTED



ANIMAL HOSPITAL LOCATION



TO EXISITNG TOWER



— EXISTING HW

DISCONNECT POINTS REMOVE EXISTING CHILLED WATER PUMP REMOVE EXISTING CONDENSER WATER PUMP REMOVE/CUT EXISTING CHILLED WATER SUPPLY PIPE AT THIS MAINTAIN EXISTING INERTIAN PAD. MAINTAIN EXISTING INERTIAN PAD.

REMOVE EXISTING CHILLER AS NOTED.

THIS NOTES LOCATION OF THE BARREL

MECHANICAL PUMP DEMOLITION SECTION

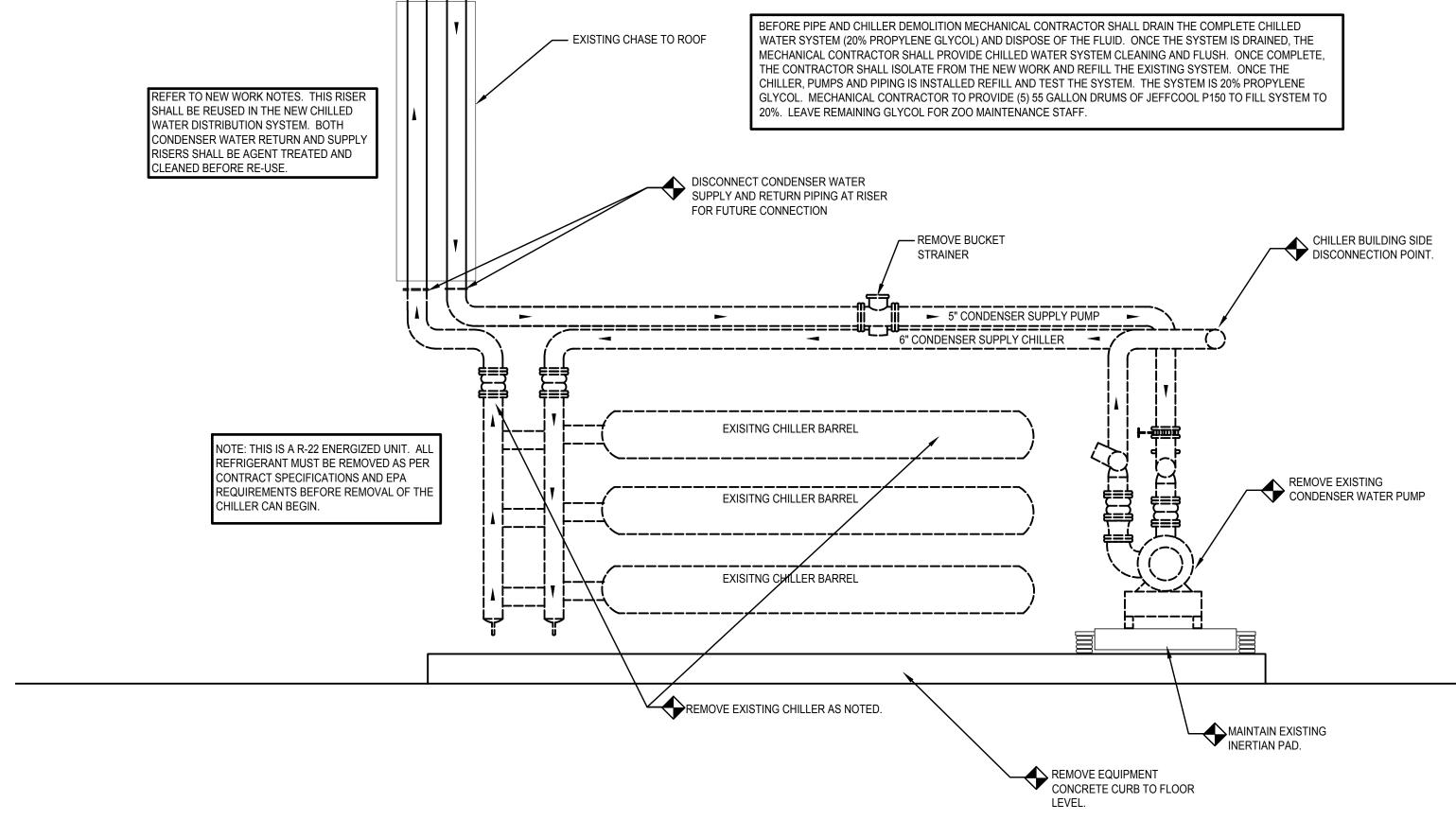
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- DEMOLITION/RELOCATIONS: EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND RELOCATIONS OF SERVICES. EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
- COORDINATE ALL EQUIPMENT REMOVAL WITH ZOO PERSONNEL PRIOR TO DEMOLITION CONTRACTOR SHALL REVIEW WITH OWNER ALL
- MATERIALS TO BE REMOVED, SHOULD THE OWNER OPT TO KEEP ANY 10. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
- 4. DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
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- REMAIN, TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK.
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- 12. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO

ENVIRONMENTAL PROTECTION.

- ALL EXISTING EQUIPMENT REQUIRED TO BE REUSED SHALL BE CLEANED, RECONDITIONED, CALIBRATED AND ADJUSTED. IN ALL INSTANCES WHERE CONTRACTOR FINDS THAT EXISTING EQUIPMENT IS DEFECTIVE TO THE POINT WHERE IT CANNOT BE PROPERLY RESTORED AND WILL NOT OPERATE PROPERLY. HE SHALL REPORT THE SPECIFIC ITEMS OR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR DIRECTIONS
- 14. CLEAR AND SCOPE THE 5" AND 6" CONDENSER WATER SUPPLY AND RETURN RISER IN THE CHASE FROM THE BASEMENT TO THE ROOF. ASSURE THAT THERE IS NO FOREIGN OBJECTS IN THE PIPING. PROVIDE A WRITTEN REPORT TO ARCHITECT WITH ANY FOUND OBJECTS OR DEFECTS IN THE PIPING (BREAKS) BEFORE NEW WORK CAN BEGIN.



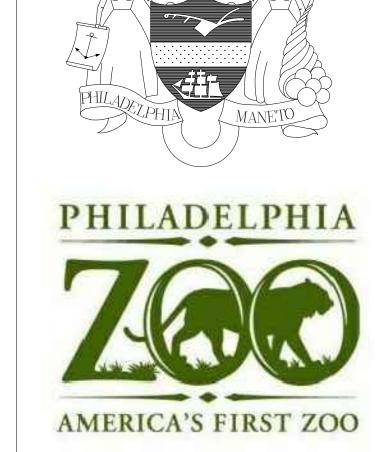
MECHANICAL CONDENSER/CHILLER WATER DEMOLITION SECTION VIEW



ANIMAL HOSPITAL LOCATION



REVISIONS REVISIONS ISSUED FOR DPP REVIEW ISSUED FOR CITY REVIEW



MP Engineer

Wick Fisher White Federal Reserve Bank Building 100 N. Independence Mall West

Suite 5 SE Philadelphia, PA 19106

Tele: 215-627-0200

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BLACKNEY HAYES ARCHITECTS

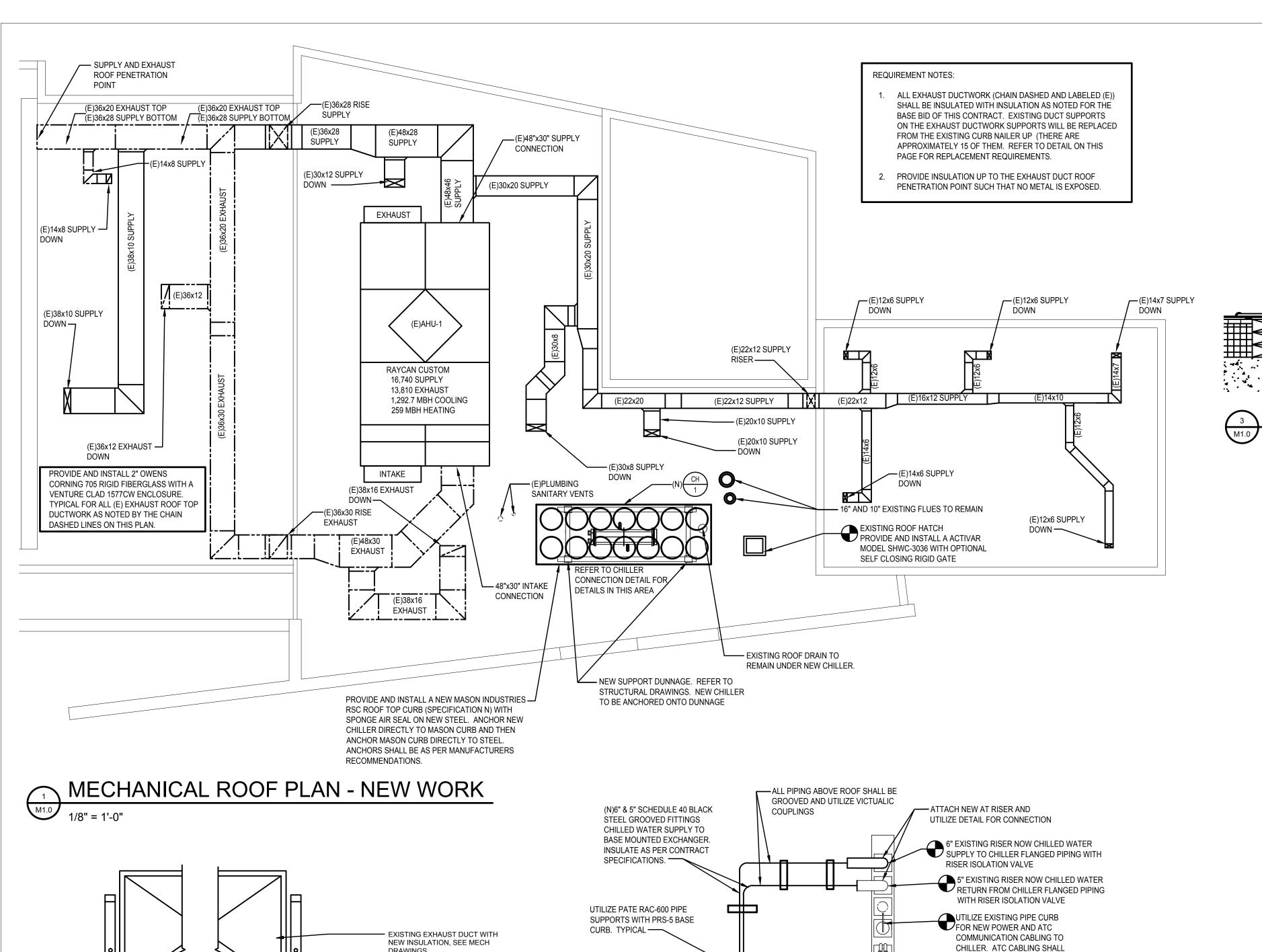
CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEVARD CITY HALL - ROOM 701

Animal Hospital Mechanical Upgrades

MECHANICAL BASEMENT DEMOLITION

71-19-4365-01 AS NOTED



ALL EXTERNAL PIPING SHALL BE ____

INSULATION WITH A PVC JACKET

WITH 20 GAUGE GALVANIZED

STEEL SLEEVES AT SUPPORTS

(N)6" & 5" SCHEDULE 40 BLACK

STEEL GROOVED FITTINGS

CHILLED WATER SUPPLY TO

BASE MOUNTED EXCHANGER.

INSULATE AS PER CONTRACT

PROVIDE CHILLED WATER RETURN AND SUPPLY RISER AT THIS POINT TO MATCH THE HEIGHT OF THE HEAT EXCHANGER

CONNECTION POINT. ALL PIPING TO BE

PROVIDE PATE PIPE SUPPORT ____

CONNECTION SIZE IS 6". UTILIZE —

INCREASING COUPLING (5" TO 6")

FOR CHILLED WATER RETURN

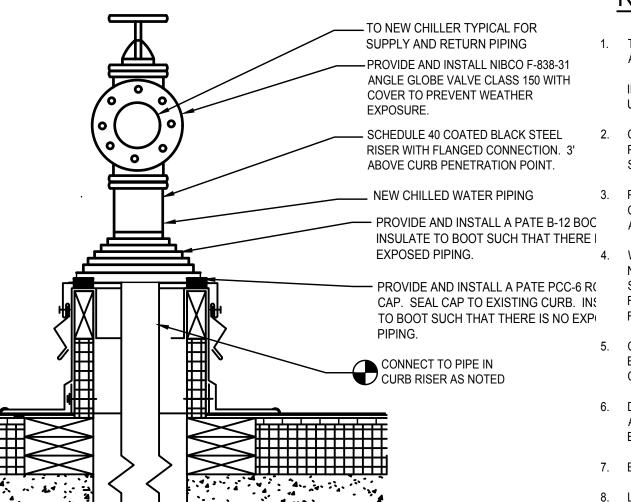
BETWEEN RISE AND

EXCHANGER CONNECTION

SPECIFICATIONS.

INSTALLED WITH 2" RIGID

TYPICAL.



MECHANICAL RISER BOOT DETAIL

SCOPE OF WORK THIS DRAWING

FURNISH HOMELAND MFG SC-540

PROVIDE W.R. MEDOWS WHITEWALK 3/4"

DASHED AREA. PROVIDE (2) SPARE

3/4"x3'x5' SECTIONS TO BE PLACED AT

THICK ROOF TRAFFIC PADS COVERING

TREAD

. — — — — — -

OWNER DISCRETION

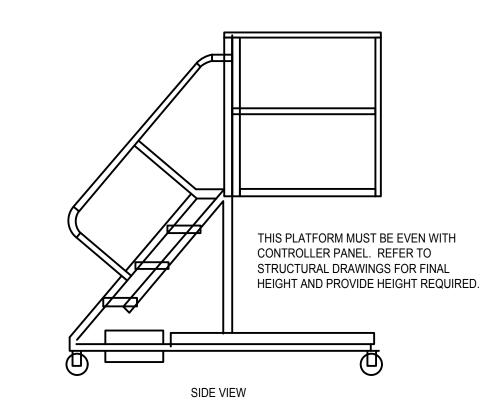
CANTILEVER LADDER WITH SERRATED

EXISTING

- PROVIDE AND INSTALL NEW CHILLER ON NEW STRUCTURAL STEEL AS NOTED.
- PROVIDE AND INSTALL A NEW MASON INDUSTRIES SPRING ISOLATOR CURB TO NEW DUNNAGE (STEEL) AND THEN ANCHOR
- CHILLER TO CURB. PROVIDE NEW PIPING FROM EXISTING "RE-UTILIZED" COOLING TOWER CONDENSER PIPING TO NEW CHILLER AS SHOWN IN DETAILS. SUPPORT ALL NEW PIPING WITH PATE PIPE CURBS AS
- INSTALL NEW INSULATION ON ALL EXHAUST DUCTWORK AS WELL AS ALL NEW PIPING AS NOTED. THIS TO INCLUDE
- REPLACEMENT OF ROOF TOP DUCT SUPPORTS FROM CURB U PROVIDE AND INSTALL A NEW ROOF HATCH FENCE AND SUPPORT AS NOTED. THIS TO BE ANCHORED DIRECTLY TO THE EXISTING ROOF HATCH. EXISTING "HATCH" OPENING MUST BE
- ALL ROOF TOP DUCTWORK (THIS TO INCLUDE SUPPLY AND RETURN) SHALL BE CLEANED AS NOTED IN SPECIFICATION SECTION 23000 "SUMMARY OF WORK HVAC".

NEW WORK GENERAL NOTES:

- . THE FOLLOWING CODES AND STANDARDS SHALL BE FOLLOWED FOR ALL WORK AND INTENT IN THIS PROJECT:
- INTERNATIONAL MECHANICAL CODE, 2018. UDSA ANIMAL WELFARE ACT AND ANIMAL WELFARE REGULATIONS, NOV 2013.
- 2. CONSIDER DRAWINGS AND SPECIFICATIONS AS SUPPLEMENTING EACH OTHER. PERFORM OR FURNISH WORK SPECIFIED BUT NOT SHOWN, OR SHOWN BUT NOT SPECIFIED, AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
- 3. PROVIDE MINOR ITEMS. ACCESSORIES OR DEVICES AS NECESSARY FOR COMPLETION AND PROPER OPERATION OF SYSTEMS WHETHER OR NOT THEY ARE SPECIFICALLY CALLED FOR BY SPECIFICATIONS OR DRAWINGS.
- 4. WORK INCLUDES PROVIDING ALL LABOR, MATERIAL, EQUIPMENT AND SERVICE NECESSARY AND REASONABLY INCIDENTAL TO PROPER COMPLETION OF ALL SYSTEMS AS SHOWN ON DRAWINGS AND AS SPECIFIED. PROVIDE MEANS TO FURNISH AND INSTALL COMPLETE AND IN PLACE; WORD "FURNISH" MEANS TO FURNISH AT SITE OF WORK UNLESS OTHERWISE STATED.
- 5. COORDINATE WORK AND EQUIPMENT OF MECHANICAL TRADES WITH WORK AND EQUIPMENT OF ALL OTHER TRADES SPECIFIED ELSEWHERE TO ASSURE COMPLETE AND SATISFACTORY INSTALLATION.
- 6. DRAWINGS ARE DIAGRAMATIC AND INDICATE ARRANGEMENTS AND APPROXIMATE SIZES AND RELATIVE LOCATIONS OF PRINCIPLE APPARATUS, EQUIPMENT, DEVICES AND SERVICES TO BE PROVIDED.
- 7. EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD BY CONTRACTOR.
- 8. LAYOUT OF EQUIPMENT INDICATED ON DRAWINGS SHALL BE CHECKED AND COMPARED AGAINST ALL DRAWINGS AND SPECIFICATIONS OF ALL TRADES AND EXACT LOCATIONS DETERMINED USING APPROVED SHOP DRAWINGS OF SUCH EQUIPMENT. WHERE PHYSICAL INTERFERENCE OCCUR, CONSULT WITH ENGINEER AND PREPARE DATED. DIMENSIONED DRAWINGS CORRECTING SUCH INTERFERENCES. SUBMIT TO ENGINEER FOR REVIEW OF SUCH DRAWINGS AND DISTRIBUTE SAME AS REQUIRED.
- 9. WORK SHALL BE GUARANTEED TO BE FREE FROM LEAKS OR DEFECTS. DEFECTIVE MATERIALS, WORKMANSHIP AND DAMAGE TO WORK OF ALL DIVISIONS RESULTING FROM SAME SHALL BE REPLACED OR REPAIRED AS DIRECTED FOR DURATION OF STIPULATED GUARANTEED PERIODS. DURATION OF GUARANTEE FOLLOWING DATE OF BENEFICIAL USE OF SYSTEMS SHALL BE ONE YEAR, UNLESS SPECIFIED OTHERWISE
- 10. ALL MECHANICAL EQUIPMENT AND ACCESSORIES INDICATED ARE TO ESTABLISH A MINIMUM STANDARD OF QUALITY. CONTRACTOR SHALL PROVIDE ALL EQUIPMENT THAT COMPLIES WITH ALL BUILDING STANDARDS OR AS REQUESTED BY OWNER AND COMPLIES WITH ALL APPLICABLE CODES AND ORDINANCES.
- 11. ALL EQUIPMENT, CONTROLS, AIR DEVICES, DUCTWORK, SUPPORTS, ETC ARE **NEW UNLESS INDICATED OTHERWISE**







ANIMAL HOSPITAL LOCATION



AMERICA'S FIRST ZOO

MP Engineer

Wick Fisher White

Federal Reserve Bank Building

100 N. Independence Mall West

Suite 5 SE

Philadelphia, PA 19106

Tele: 215-627-0200

WFW PROJECT # - 190019

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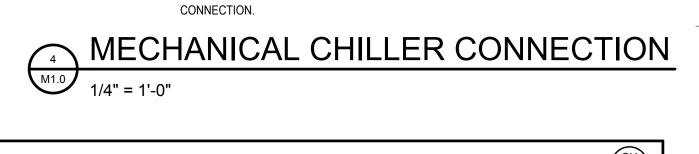
Animal Hospital Mechanical Upgrades

MECHANICAL ROOF NEW WORK

1-19-4365-01

AS NOTED

ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.



SUPPORT JUST BEFORE

RISE AND JUST AFTER |

TURN AS NOTED.

BE ENCASED IN CONDUIT.

PROVIDE BOLTED SUPPORT BETWEEN I-BEAM —

SUPPORT AND NEW STEP LADDER. SUPPORT

TO CONNECT AROUND LADDER LEGS TO

PREVENT MOVEMENT WHEN IN SERVICE.

CONNECTION TO BE IN TWO PLACES.

C	CHILLER SCHEDULE														
	CHILLED WATER						ELECTRICAL								
CH. NO.	NOMINAL TONS	TYPE	GPM	EWT	LWT	PD (FT.)	PROPYLENE GLYCOL	TOTAL KW 95 F	VOLTAGE	MCA	MOP	EER BTU/W-H	WEIGHT OPERATING	DIMENSIONS LENGTH X WIDTH X HEIGHT	BASIS OF DESIGN/MODEL
1	170	SCREW	353	54	44	11.4	20%	189.4	208/3/60	770	1000	14.36	13,214LB	232"x90"x93"	TRANE / RTAC170 HIGH EFFICIENCY 2-PASS

HEAVY DUT HVAC SINGLE

SERVICE COMPANY. PROVIDI

OF EXISTING ROOF CURB TO

EXISTING DUCT. CAPACITY

SPACING OF SUPPORTS NOT

ANCHOR TO EXISTING CURB NAILER

— (E)MODIFIED BITUMEN MEMBRANE

✓ THROUGH COUNTER FLASHING COVER.

FIXED WIDTH TO MATCH WIDT

SUPPORT BY UNISTRUT

PROVIDE COMPLETE COAT COILS REFER TO SPECIFICATION SECTION 230993 AND 236423 FOR SPECIFIC DETAILS

ALL DUCT SUPPORTS FOR EXHAUST DUCTS ARE NEW AND SHALL BE PROVIDED AND

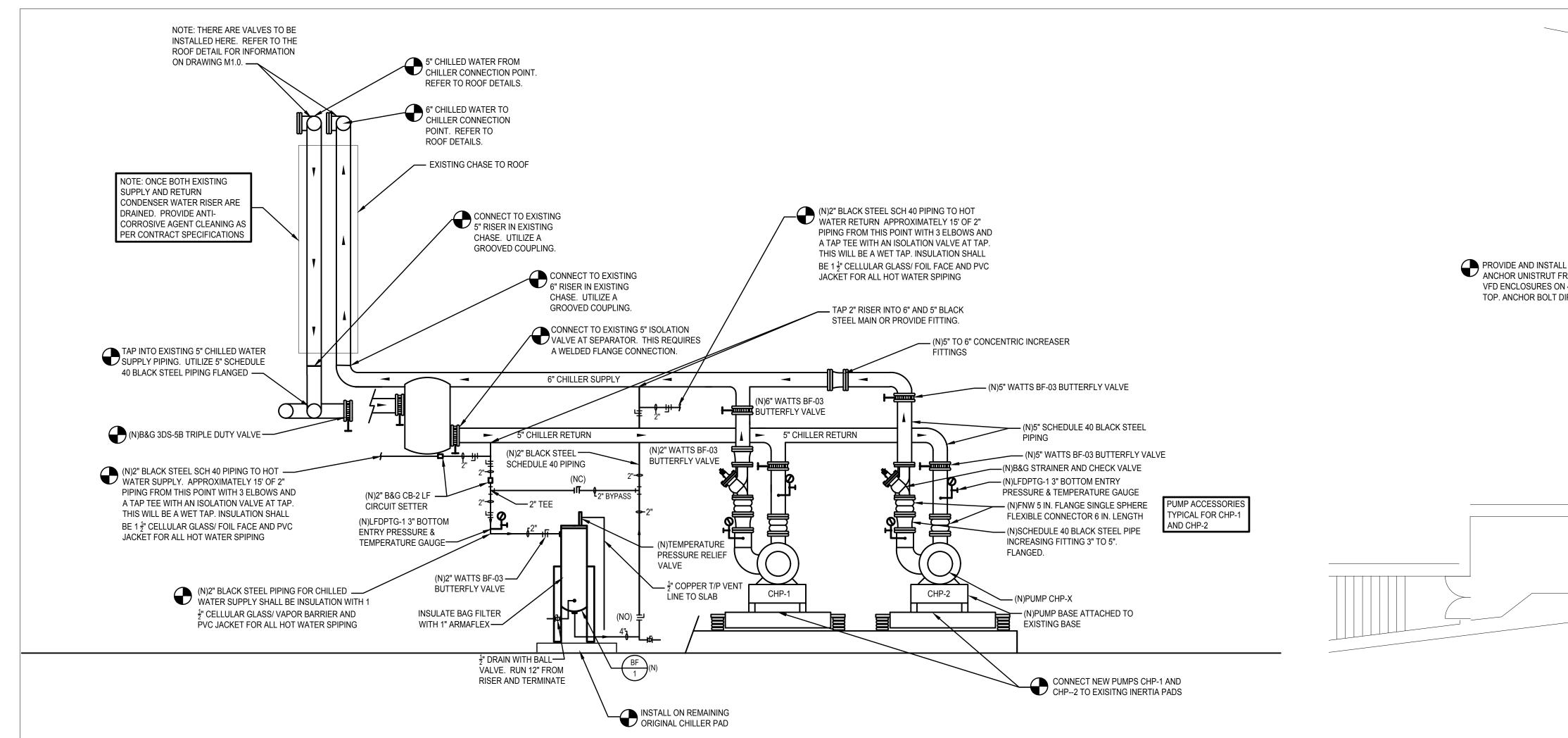
INSTALLED AS PART OF THIS CONTRACT BY

THE MECHANICAL CONTRACTOR.

EXISTING CURB

MECHANICAL DUCT ROOF SUPPORT DETAIL

NOT TO SCALE



MECHANICAL NEW WORK PUMP CONNECTION AND FILTER SECTION

C	CHILLED WATER PUMP SCHEDULE																	
PUMP	LOCATION	SERVICE	CONNECTIO	CTION SIZE (IN.)					PUMP DUTY SPEED POINT	ELECTRICAL					MANUFACTURER & MODEL NO.			
NO.	LOCATION		SUCTION	DISCHARGE				HEAD E (FT)	EFFICIENCY	Y DESIGN (RPM)	ON POWER (HP)	VOLTS	PHASE	HZ	MOTOR FRAME	FLA	MOCP	WAND ACTONER & WODEL NO.
CHP-1	BASEMENT MECHANICAL ROOM	CHILLER CH-1/BUILDING	3" FLANGED	4" FLANGED	e-1510 3BD	353	99.7	75 FT	79	1770	15	208	3	60	NEMA254	46.2	100	BG-E1510-3BD-SS-254T-S
CHP-2	BASEMENT MECHANICAL ROOM	CHILLER CH-1/BUILDING	3" FLANGED	4" FLANGED	e-1510 3BD	353	99.7	75 FT	79	1770	15	208	3	60	NEMA254	46.2	100	BG-E1510-3BD-SS-254T-S

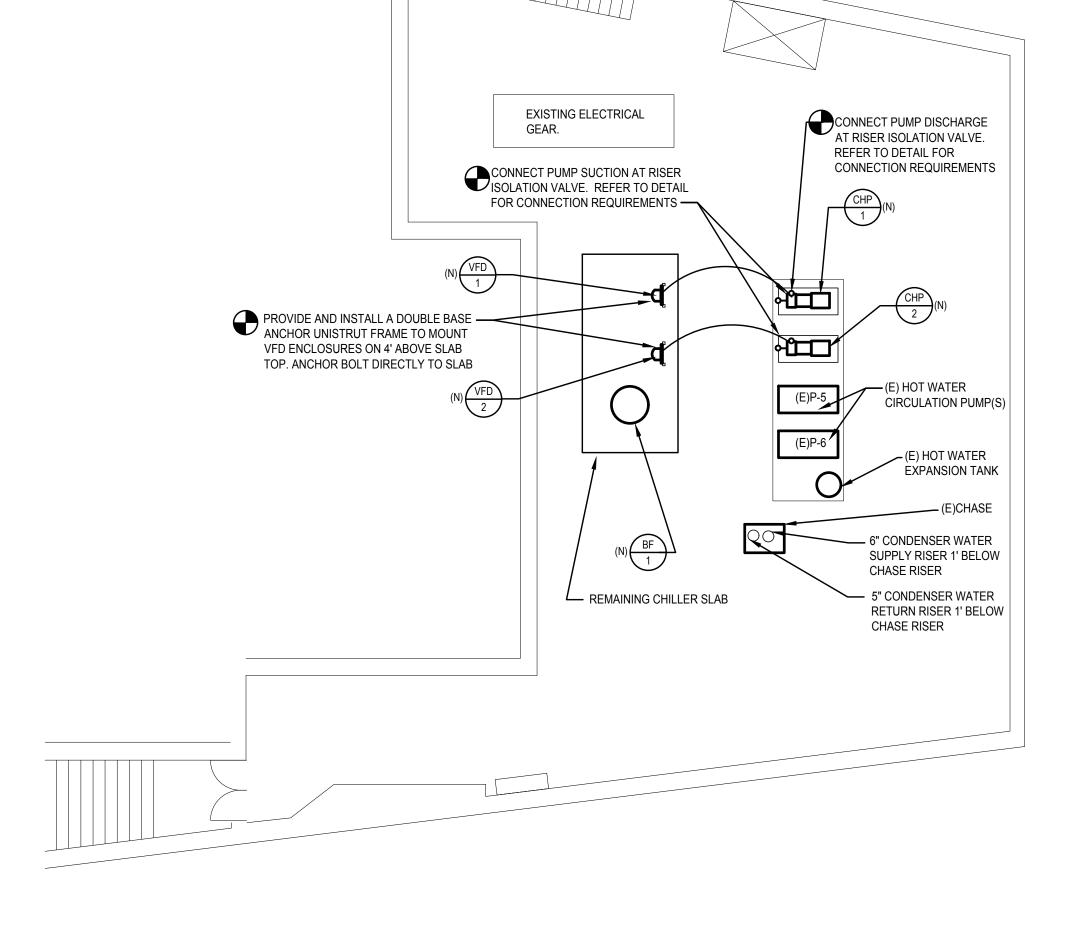
- NOTE: 1. PUMP SHALL BE BASE ON 20% PROPYLENE GLYCOL AND 80% WATER.
 - 2. PROVIDE AND INSTALL A BELL AND GOSSETT STRAINER AND CHECK VALVE AS NOTED IN DETAIL.
 - 3. PROVIDE AND INSTALL A BELL AND GOSSETT MODEL FE-3X (Part 115122) 4" PUMP SIDE, 5" SYSTEM SIZE CARBON STEEL FLANGE/FLANGE SUCTION DIFFUSER AS NOTED IN DETAIL

Р	PUMP VFD SCHEDULE															
VFD NO.	LOCATION	SERVICE	CAPACITY KW	RATED CURRENT (AMPS)	MAIN POWER (VOLTS)	PHASE	OUTPUT CAPACITY % PER 1 MIN	FREQUENCY	ENCLOSURE TYPE	ANALOG INPUT				DIGITAL OUTPUT		MANUFACTURER & MODEL NO.
VFD-1	BASEMENT MECHANICAL ROOM	CHP-1	11.5	46.2	200-240	3	110	0-1000	IP66	2	6	1	2	2	BACNET MCA 109	ABB-ACS355-03U-46A2-2+J400-MUL1-R4
VFD-2	BASEMENT MECHANICAL ROOM	CHP-2	11.5	46.2	200-240	3	110	0-1000	IP66	2	6	1	2	2	BACNET MCA 109	ABB-ACS355-03U-46A2-2+J400-MUL1-R4

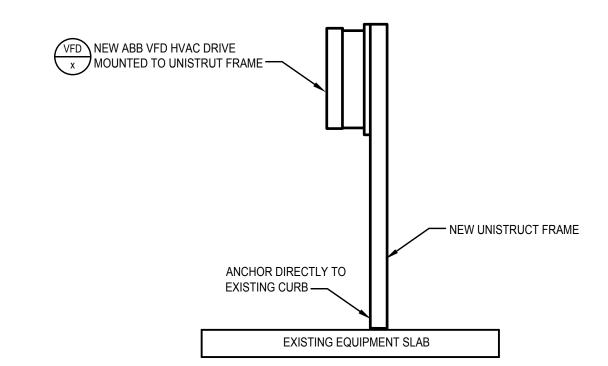
- NOTE: 1. MOUNT AS NOTED IN DETAIL ON UNISTRUT SUPPORT AS NOTED ON OLD CHILLER PAD.
 - 2. COMMUNICATION TO ATC MUST BE MS/TP WITH DISCOVERABLE INPUT OUTPUT OBJECT FILE. PROVIDE MOUNTING KIT

	B	AG FILT	ER S	CH	ED	UL	E					BF #
	BF NO.	LOCATION	SERVICE	BAG STYLE	TYPICAL FLOW	VOLUME (GALLONS)	MATERIAL	BAG LENGTH (INCHES)	SPARE BAGS	SUPPORT LEGS	PAINT COLOR	MANUFACTURER & MODEL NO.
В	3F-1	BASEMENT MECHANICAL ROOM	CHILLED WATER	DOUBLE	160	7.2	CARBON STEEL	31.5	2	CARBON STEEL	FLAT BLACK	FULFLO CBC1D2T

- NOTE: 1. PROVIDE AND INSTALL A B&G CB-2 LF CIRCUIT SETTER (NPT) IN BAG SYSTEM RETURN PIPING.
 - 2. PROVIDE A SEPARATE CONCRETE CURB AS NOTED ON DETAIL FOR BAG FILTER.



MECHANICAL BASEMENT PLAN - CONDENSER WATER PIPING 1/8" = 1'-0"



MECHANICAL NEW WORK VFD SUPPORT DETAIL

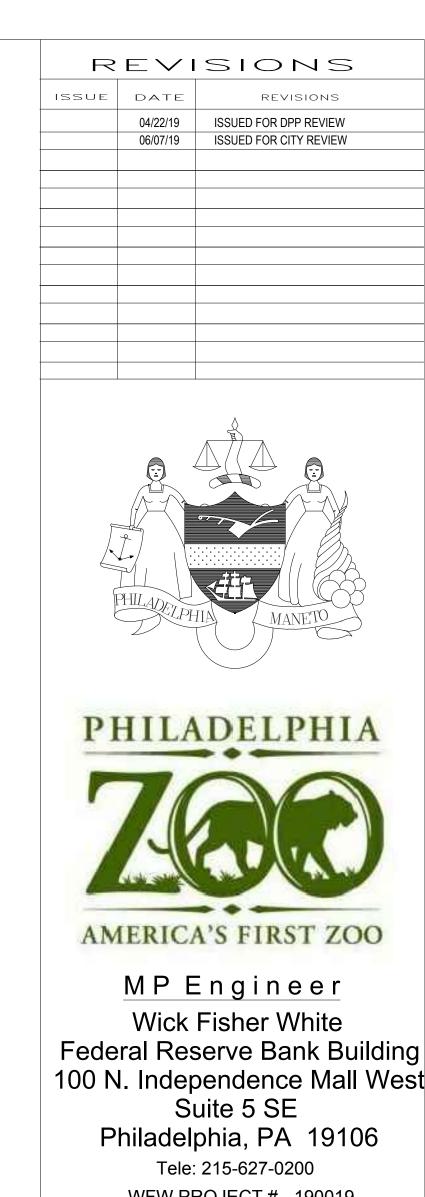
NOT TO SCALE

SCOPE OF WORK THIS DRAWING

- PROVIDE AND INSTALL NEW PUMPS AS NOTED. PROVIDE AND INSTALL NEW BAG FILTER AS NOTED.
- PROVIDE NEW PIPING FROM CHILLER RISER TO PUMPS AND THEN TO BUILDING AS NOTED.
- PROVIDE AND INSTALL A INSULATION AS REQUIRED. PROVIDE AND INSTALL VFD'S AS NOTED.
- REFER TO CONTRACT SPECIFICATIONS FOR FURTHER WORK IN THIS AREA.



ANIMAL HOSPITAL LOCATION



REVISIONS

100 N. Independence Mall West Suite 5 SE

Philadelphia, PA 19106 Tele: 215-627-0200

WFW PROJECT # - 190019 PROJECT COORDINATOR:

BLACKNEY HAYES ARCHITECTS

CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

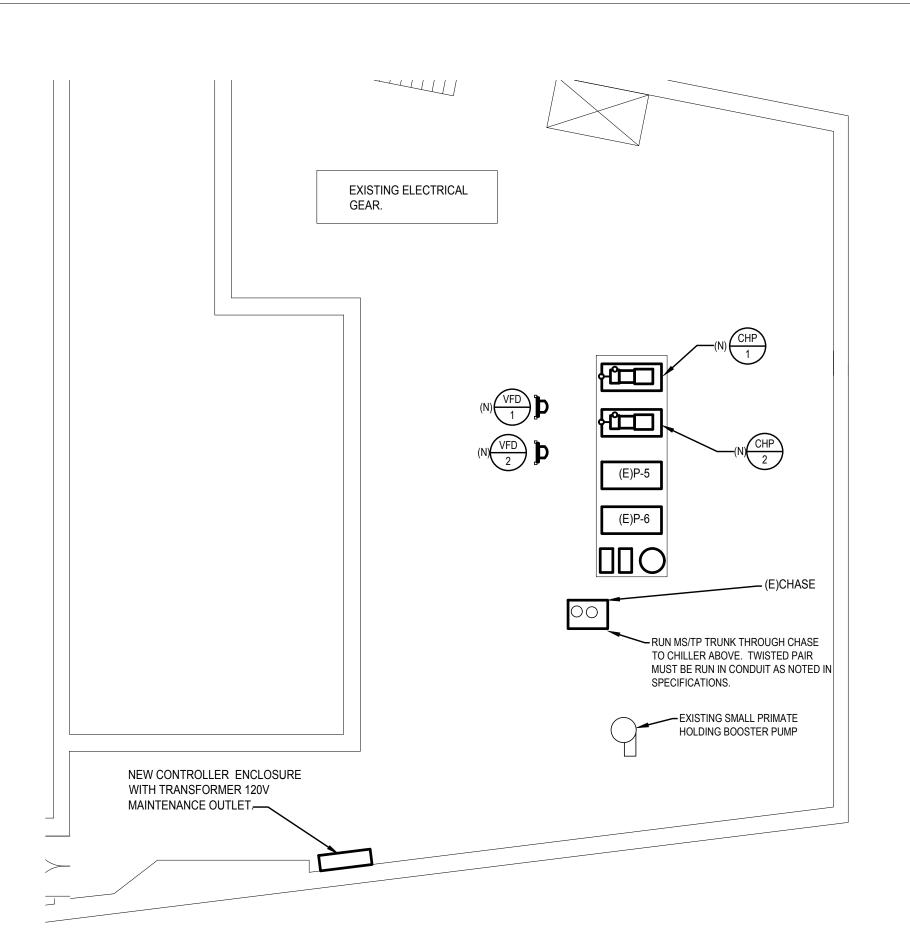
1400 JFK BOULEVARD CITY HALL - ROOM 701

Animal Hospital Mechanical Upgrades

MECHANICAL BASEMENT ₽NEW WORK

1-19-4365-01

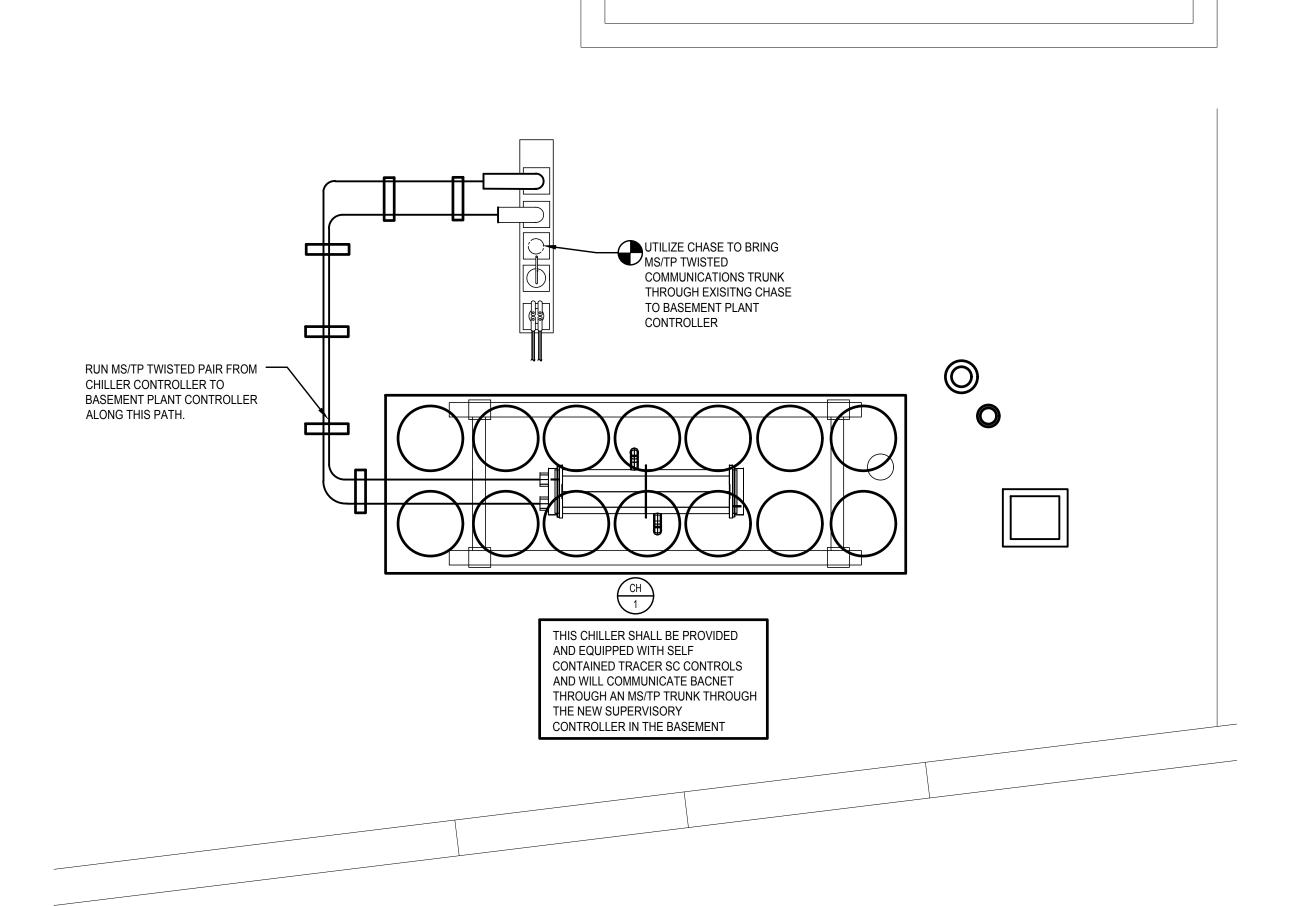
AS NOTED



(N)ZOO IT IP TO JACE — **ENCLOSURE** (N)JOHNSON CONTROLS FX-80 TRANE TRACER SC CONTROLLER — BACNET INTERFACE (N)MS/TP TRUNK ALL EXTERIOR — — (N) 120V DUPLEX MAINTENANCE OUTLET COMMUNICATION PIPING SHALL VFD-2— BE ENCASED IN ½" ALUMINUM RIGID CONDUIT. MOUNTED NEXT TO IN SHAFT FROM -EXISTING ATC PANEL BASEMENT TO ROOF EXISTING SMALL PRIMATE CHILLED WATER BOOSTER -(N)EXTERIOR AMBIENT TEMPERATURE/HUMIDITY SENSOR

MECHANICAL NEW CONTROLS PANEL NOT TO SCALE

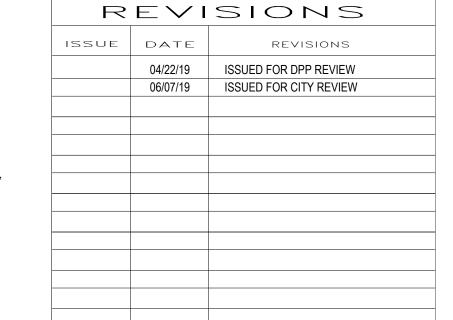
MECHANICAL BASEMENT CONTROLS GENERAL LAYOUT 1/8" = 1'-0"



ANIMAL HOSPITAL LOCATION

CONTRACT REQUIREMENTS:

- 1. REFER TO SPECIFICATION SECTION 230993 FOR REQUIREMENTS IN THIS BUILDING FOR CONTROLS
- 2. IT IS A CONTRACT REQUIREMENT TO REMOVE ALL EXISTING CONTROLS ASSOCIATED WITH THE CHILLERS AND PUMPS. THIS TO INCLUDE ALL SENSORS, VALVES, CONTROLLERS, ETC.. TRANSFORMERS CAN BE RE-USED IN EXISTING







MP Engineer Wick Fisher White

Federal Reserve Bank Building 100 N. Independence Mall West Suite 5 SE

Philadelphia, PA 19106 Tele: 215-627-0200 WFW PROJECT # - 190019



CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEVARD

Animal Hospital Mechanical Upgrades

MECHANICAL
CONTROLS

PROJECT NO.

71-19-4365-01

DATE 06/07/19

SCALE AS NOTED

DRAWN BY AO
CHECKED BY AO

NOT ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

MECHANICAL ROOF CONTROLS GENERAL LAYOUT

1/8" = 1'-0"

NOTES: 1. SEE LIGHTING FIXTURE SCHEDULE FOR MANUFACTURER TYPES AND MOUNTING.

LEGEND

(NOT ALL SYMBOLS MAY BE USED ON DRAWINGS)

A	LIGHTING FIXTURE, RECESSED, SURFACE OR PENDENT MOUNTED. CAPITAL LETTER INDICATES FIXTURE TYPE (SEE FIXTURE SCHEDULES ON DWG. E-XX).	
NL NL	LIGHTING FIXTURE ON NIGHT LIGHT CIRCUIT	
0	DOWNLIGHT FIXTURE	REFER TO ELECTRICAL
8	EXIT LIGHT, CEILING MOUNTED. (ARROWS INDICATE DIRECTION OF EXIT).	LIGHTING PLANS AND ARCHITECHTURAL DWGS. FOR EXACT MOUNTING OF
	EXIT LIGHT, WALL MOUNTED. (ARROWS INDICATE DIRECTION OF EXIT).	LIGHTING FIXTURES.
So	WATT STOPPER DUAL TECHNOLOGY OCCUPANCY SENSOR - WALL MOUNTED WITH MANUAL OVERRIDE SWITCH	
S	SWITCH, SINGLE POLE	
S 3	SWITCH, THREE POLE	
S ₄	SWITCH, FOUR POLE	RECESSED WALL MOUNT TOP OF BOX 48" A.F.F.
S _P	SWITCH AND PILOT LIGHT COMBINATION, SWITCH SAME AS SINGLE POLE TOGGLE, PILOT LIGHT, RED NEON, 1/25 W, 125 OR 277 VOLT, RECESSED WALL MOUNTED.	TYPICAL, LOWER CASE LETTER INDICATES ASSOCIATED LIGHTING FIXTURE.
SK	SWITCH, SAME AS SINGLE POLE TOGGLE, EXCEPT KEY OPERATED.	
SD a	DIMMER SWITCH, INCANDESCENT 120 VOLT, WATTAGE SIZE AS NOTED IN SPECIFICATIONS.	
SM	SWITCH-MANUAL MOTOR STARTER WITH THERMAL OVERLOAD.	
OS	WATT STOPPER DUAL TECHNOLOY OCCUPANCY SENSOR #DT200 CEILING MTD	
OS PIR	WATT STOPPER PIR OCCUPANCY SENSOR WPIR - SMALL BATHROOMS WATT STOPPER PIR OCCUPANCY SENSOR #CI-205-1 - VESTIBULE CEILING MTD	
OS US	WATT STOPPER ULTRASONIC OCCUPANCY SENSOR #WT-1105- STALL BATHROOMS WATT STOPPER ULTRASONIC OCCUPANCY SENSOR #WT-2255-CORRIDORS - CEILING MOUNTED	
OS W	WATT STOPPER DUAL TECHNOLOGY OCCUPANCY SENSOR - WALL MOUNTED WITH OVERRIDE SWITCH	
(OS)	WATT STOPPER DUAL TECHNOLOGY OCCUPANCY SENSOR - CEILING MTD, 360 DEG	
⊖ = GFI	RECEPTACLE, DUPLEX, 125 VOLT, 20 AMPERE, 2 POLE, 3 WIRE, GROUNDING TYPE. GFI=GROUND FAULT INTERRUPTER.	
	DOUBLE DUPLEX RECEPTACLE RECESSED WALL MOUNTED. 2P, 3W, 125 VOLT, 20 AMPERE	
\\ \\ \	SAME AS ABOVE EXCEPT MTD. IN RECESSED FLOOR BOX.	
lacksquare	DATA OUTLET WITH DEVICE IN PLATE, MOUNTED IN RECESSED FLOOR BOX & WIRED TO DATA SYSTEM. D = DUMB TERMINAL OUTLET	
\mathbf{A}_{D}	SAME AS ABOVE EXCEPT WALL MOUNTED 16" AFF TO BOTTOM OF BOX. D = DUMB TERMINAL OUTLET	
-	RECEPTACLE, SINGLE, 125 VOLT, 20 AMPERE, 2 POLE, 3 WIRE, GROUNDING TYPE.	
Ф	RECEPTACLE, SINGLE CLOCK OUTLET WITH HANGER, 125 VOLT, 15 AMPERE, 2 POLE, 3 WIRE, GROUNDING TYPE, WALL MOUNTED 7'-4'TOP OF BOX, CLOCK BY GENERAL CONTRACTOR.	REFER TO ELECTRICAL POWER PLANS AND ARCHITECHTURAL DRAWINGS FOR EXACT MOUNTING LOCATIONS OF
=	WALL MOUNTED RECESSED RECEPT, 2P, 3W, 125 VOLTS, 20 AMPS, MOUNT BOTTOM OF BOX 16" A.F.F.	OUTLETS.
\rightleftharpoons_{IG}	SAME AS ABOVE EXCEPT ISOLATED GROUND.	
\bigcirc	SPECIAL PURPOSE OUTLET, NEMA RATING AS INDICATED ON DRAWINGS.	
H	TELEPHONE OUTLET WITH JACK DEVICE IN PLATE, RECESSED WALL MOUNTED, 16" A.F.F. WIRED TO THE TELEPHONE SYSTEM	
⋈ w	SAME AS ABOVE EXCEPT MOUNT 48" TO TOP OF BOX.	
lacksquare	TELEPHONE OUTLET WITH JACK DEVICE IN PLATE, MOUNTED IN RECESSED FLOOR BOX & WIRED TO TELEPHONE SYSTEM CABINET.	
K	DATA OUTLET WITH JACK DEVICE IN PLATE, RECESSED WALL MOUNTED, WIRED TO THE DATA SYSTEM	
머	SAFETY SWITCH, NON-FUSED, HEAVY DUTY.	
	SAFETY SWITCH, FUSED, HEAVY DUTY.	VOITAGE 8175 NUMBER 05
\boxtimes	MOTOR STARTER, COMBINATION TYPE WITH DISCONNECT MEANS (CIRCUIT BREAKER, FUSED SWITCH OR NON-FUSED SWITCH).	VOLTAGE, SIZE, NUMBER OF POLES, FUSE SIZE OR CIRCUIT BREAKER SIZE AS REQUIRED.
\boxtimes	CONTACT, MAGNETIC.	SILE, INC. OIZE / TO REQUIRED.
	WIREMOLD RACEWAY 4000 WITH DIVIDER	

WIREMOLD RACEWAY 4000 WITH DIVIDER

\sim	MOTOR
Ţ	GROUND POINT.
-	JUNCTION BOX, RECESSED INSTALLATION UNLESS OTHERWISE
(<u>)</u> []	NOTED.
	ELECTRICAL PANEL. 480v, 208v, 3 PHASE, 4 WIRES
 0	CONDUIT WITH WIRE, EXPOSED TURNING DOWN
	CONDUIT WITH WIRE, CONCEALED IN CEILING OR WALLS.
LA-1	HOMERUN CONDUIT WITH WIRE, TO LIGHTING/POWER PANEL, NUMERALS INDICATE BREAKER NUMBER.
	CONDUIT WITH WIRE, CONCEALED BELOW FLOOR
$\left\langle \begin{array}{c} xx \\ xx \end{array} \right\rangle$	EQUIPMENT IDENTITY - MECHANICAL, PLUMBING OR ELECTRICAL.
T	THERMOSTAT.
□ww	TRANSFORMER.
M	METER, ELECTRIC.
Ø	PHASE.
SD	SMOKE DETECTOR, CEILING MOUNTED.
—SD @	DUCT MOUNTED SMOKE DETECTOR
(SD _*	HEAT DETECTOR, CEILING MOUNTED. SMOKE DETECTOR WITH RELAY - WIRE TO ELEVATOR CONTROLLER
HD *	HEAT DETECTOR - WIRE TO ELEVATOR BREAKER SHUNT TRIP
F	FIRE ALARM PULL STATION, MANUAL, WALL MOUNTED, 48" A.F.F.
F	FIRE ALARM COMBINATION, AUDIO/VISUAL, WALL MOUNTED
9	FIRE ALARM STROBE, WALL MOUNTED.
MX	FIRE ALARM MINI HORN/STROBE WALL MOUNTED
FACP	FIRE ALARM CONTROL PANEL, RECESSED WALL MOUNTED. FIRE ALARM ANNUNCIATOR PANEL
FPJ	FIRE JACK AND FIRE FIGHTER'S PHONE.
	FIRE ALARM SPEAKER AND STROBE
	FIRE ALARM SPEAKER
EOL }	END OF LINE RESISTOR.
(\$)	SPEAKER, CEILING MOUNTED.
Ю	SPEAKER, WALL MOUNTED.
FS	SWITCH, FIRE ALARM SYSTEM, (FS) FLOW SWITCH, (PS) PRESSURE SWITCH.
TS	SPRINKLER TAMPER SWITCH, FIRE ALARM SYSTEM.
PA	PUBLIC ADDRESS WALL CONTROL STATION/INTERCOM
TV	TV OUTLET
•	DOOR STRIKE, ELECTRIC.
©	PHOTO CELL.
DH O	DOOR HOLDING DEVICE, ELECTRIC.
K	KEYPAD - ACCESS CONTROL SYSTEM
	INTERCOM STATION
	PUSHBUTTON STATIONS
©	ULTRASONIC OCCUPANCY SENSOR & POWER PACK ASSEMBLY.
Pl	PASSIVE INFRARED LOW TEMPERATURE OCCUPANCY SENSOR & POWER PACK ASSEMBLY.
СР	CONTROL BOX FOR ELECTRONIC WATER FLUSHING SYSTEM FURNISHED BY PLUMBING CONTRACTOR
CP ₁	FIRE PROTECTION WATER FLOW RELEASE CONTROL PANEL, FURNISHED BY PLUMBING CONTRACTOR.
AR	AREA OF REFUGE STATION - RESCUE ASSISTANCE CALL STATION CORNELL 4200 SERIES

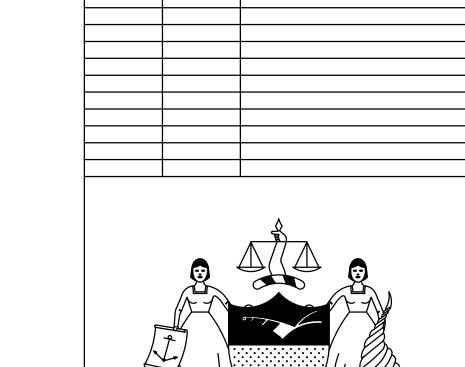
GENERAL NOTES:

- 1. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL LIGHTING, ELECTRIC DEVICES, AND CIRCUITING SHOWN ON THE DRAWINGS.
- 2. ALL WORK SHALL BE NEW AND PERFORMED IN AS NEAT AND AS CLEAN A MANNER AS POSSIBLE AND SHALL COMPLY WITH THE LATEST REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, OSHA AND ALL OTHER GOVERNING AGENCIES HAVING JURISDICTION.
- 3. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND INSTALLATION OF THIS WORK WITH ALL TRADES.
- 4. ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.
- 5. THE CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS IN FIELD AND SHALL REPORT DISCREPANCIES, IF ANY, TO THE ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO STARTING ANY WORK.
- 6. THE CONTRACTOR SHALL COORDINATE HIS WORK VERY CLOSELY WITH ELECTRIC COMPANY FOR ELECTRIC SERVICE AND WITH TELEPHONE COMPANY FOR TELEPHONE SERVICE.
- 7. THE CONTRACTOR, BEFORE SUBMITTING HIS BID ON THE WORK, MUST VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL VISIBLE EXISTING CONDITIONS. AS A RESULT OF HAVING VISITED THE PREMISES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE WORK AS IT RELATES TO SUCH VISIBLE EXISTING CONDITIONS. THE SUBMISSION OF A BID WILL BE CONSIDERED AN ACKNOWLEDGEMENT ON THE PART OF THE BIDDER OF HIS VISITATION TO THE SITE.
- 8. EXACT LOCATION AND MOUNTING OF ALL EQUIPMENT SHALL BE VERIFIED
- 9. CIRCUIT NUMBERS SHOWN ARE FOR IDENTIFICATION ONLY. ACTUAL CIRCUIT NUMBERS MAY VARY, CONTRACTOR SHALL BALANCE PANELS AS CLOSE AS POSSIBLE.
- 10. ALL SPECIAL SYSTEM WIRING REQUIREMENTS SHALL BE AS SPECIFIED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 11. ALL WIRING AND CONDUIT TO BE CONCEALED IN WALLS AND ABOVE FINISHED CEILINGS UNLESS OTHERWISE NOTED. THE EC SHALL COORDINATE WORK WITH THAT OF THE GENERAL CONSTRUCTION CONTRACTOR DURING WALL AND CEILING CONSTRUCTION.

ABBREVIATIONS

Α	AMP	XFMR	TRANSFORMER
AFF	ABOVE FINISHED FLOOR	MTD	MOUNTED
BRKR	BREAKER	PECO	PHILADELPHIA ELECTRIC COMPAN
С	CONDUIT	NIC	NOT IN CONTRACT
CKT	CIRCUIT	UON	UNLESS OTHERWISE NOTED
СВ	CIRCUIT BREAKER	CONV	CONVENIENCE
DWG	DRAWING	RECEPT	RECEPTACLE
EXIST.	EXISTING		
GND	GROUND		
GFI	GROUND FAULT INTERRUPTER		
WP	WEATHERPROOF		
EC	ELECTRICAL CONTRACTOR		

GC GENERAL CONSTRUCTION CONTRACTOR



REVISIONS

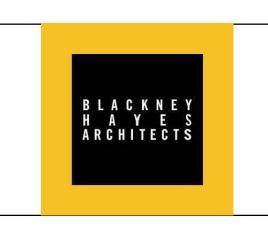
04/22/19 ISSUED FOR DPP REVIEW 06/07/19 ISSUED FOR CITY REVIEW

REVISIONS

ISSUE



PROJECT COORDINATOR
MARC ORGOVAN



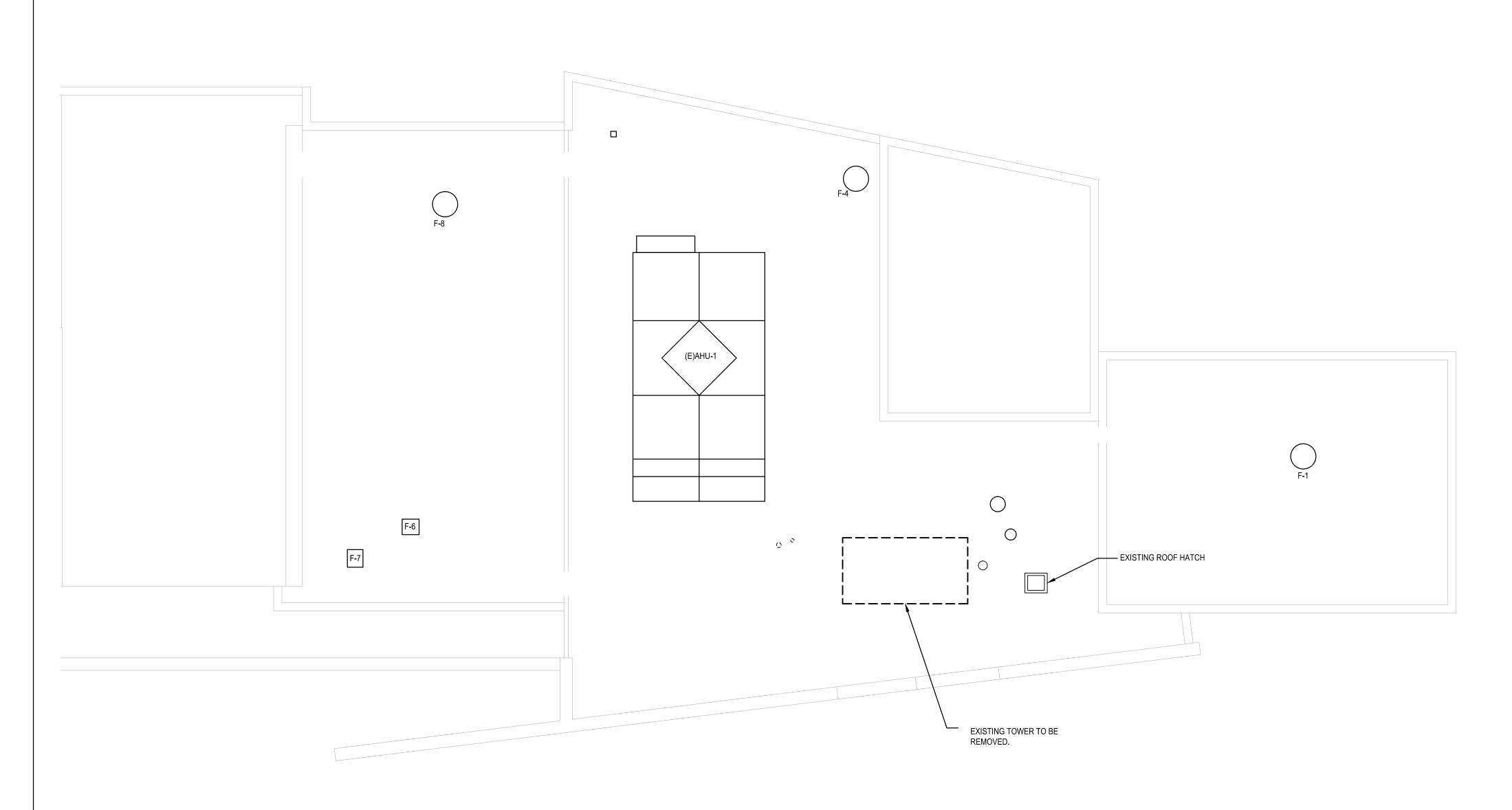
CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

> 1400 JFK BOULEVARD CITY HALL — ROOM 701

Animal Hospital Mechanical Upgrades

ELECTRICAL SYMBOLS AND ABBREVIATIONS

PROJECT	NO.
71 –	19-4365-0
DATE	06/07/19
COALE	



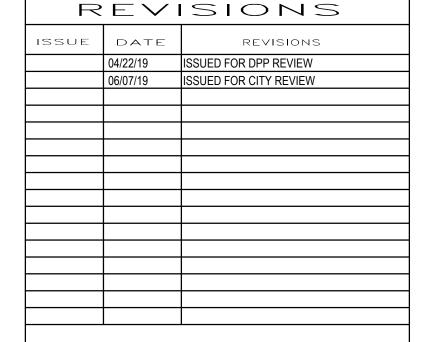
ELECTRICAL DEMOLITION NOTES

- 1. ALL ELECTRICAL DEVICES AND WIRING/CONDUIT ASSOCIATED WITH DEMOLISHED MECHANICAL EQUIPMENT SHALL BE REMOVED. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF DEMOLITION AND ADDITIONAL NOTES.
- 2. E.C. SHALL VERIFY THE PANEL DESIGNATION AND CIRCUIT NUMBER FOR EACH DEVICE TO BE
- 3. ALL SYMBOLS SHOWN LIGHTLY SOLID ARE EXISTING ELECTRICAL DEVICES/EQUIPMENT TO REMAIN.
- 4. ALL WIRING/CONDUIT LEFT UNUSED SHALL BE REMOVED TO ITS POINT OF ORIGIN AND CIRCUIT BREAKER TO BECOME SPARE.
- 5. PANELBOARDS WHICH ARE AFFECTED BY THE DEMOLITION AND NEW WORK SHALL HAVE THE PANEL SCHEDULES REVISED.
- 6. COORDINATE ALL WORK WITH OTHER TRADES.
- 7. ELECTRICAL CONTRACTOR SHALL NOT DISCONNECT ANY EQUIPMENT, OR ELECTRICAL CIRCUITS IN THE RENOVATED AREA WITHOUT PRIOR NOTIFICATION AND PERMISSION FROM MAINTENANCE AND ENGINEERING DEPARTMENT. EXTREME CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCE TO SURROUNDING AREAS.
- 8. VERIFY ALL CONDITIONS AT JOB SITE.



DEMOLITION GENERAL NOTES:

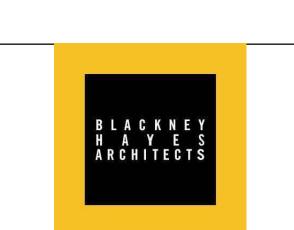
- 1. DEMOLITION/RELOCATIONS: EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND RELOCATIONS OF SERVICES, EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
- 2. WHERE EXISTING WALLS, FLOORS OR CEILINGS ARE REMOVED OR PENETRATED, AND WHERE EXISTING END WALLS OF THE BUILDING ARE POINTS OF CONNECTION OF ADDITIONS, ALL SERVICES, CONDUIT, CONTROL OR SWITCH DEVICES, OR OTHER EQUIPMENT SHALL BE REMOVED (OR RELOCATED WHERE THEY MUST REMAIN IN SERVICE, OR SERVE, AREAS BEYOND THE IMMEDIATE WORK) CONTRACTOR SHALL FIELD VERIFY CONDITIONS AT THE SITE.
- 3. PRIOR TO DEMOLITION CONTRACTOR SHALL REVIEW WITH OWNER ALL MATERIALS TO BE REMOVED, SHOULD THE OWNER OPT TO KEEP ANY MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
- 4. DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
- 5. WHERE CONDITIONS PROHIBIT TOTAL REMOVAL OF THE WORK, THE REMAINING PORTION SHALL BE CUT FLUSH WITH THE SURROUNDING SURFACE AND BE CAPPED, PLUGGED OR SEALED AND THE SURROUNDING SURFACE SHALL BE REFINISHED IN AN APPROVED
- 6. MAINTAIN EXISTING UTILITIES INDICATED OR REQUIRED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- 7. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN SCHEDULED WITH THE OWNER.
- 8. DO NOT REMOVE EXISTING STRUCTURAL WORK. DO NOT REMOVE OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN THE MANNER INTENDED OR RESULTING IN DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.
- REMOVALS, DISCONNECTIONS, AND RELOCATIONS SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE INVOLVED AND SHALL BE EMPLOYED BY A CONTRACTOR LICENSED IN THE TRADE INVOLVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED TRADE PRACTICES.
- 10. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO REMAIN, TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK.
- 11. PROTECTION: PROVIDE ADEQUATE PROTECTION WHERE REQUIRED FOR THE PRESENT BUILDING AND ITS CONTENTS. TEMPORARY DUSTPROOF BARRIERS AND BARRICADES SHALL BE ERECTED WHERE REQUIRED FOR PROTECTION OF PERSONNEL, PROTECTION FROM DUST AND DIRT, FOR SECURITY, FIRE AND WEATHER PROTECTIVE
- 12. CONTRACTOR SHALL TAKE EVERY PRECAUTION AGAINST FIRE BY EMPLOYING FIRE DEPARTMENT TYPE HOSES AND PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY OSHA OR THE OWNER'S INSURANCE
- 13. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 14. ALL EXISTING EQUIPMENT REQUIRED TO BE REUSED SHALL BE CLEANED, RECONDITIONED, CALIBRATED AND ADJUSTED. IN ALL INSTANCES WHERE CONTRACTOR FINDS THAT EXISTING EQUIPMENT IS DEFECTIVE TO THE POINT WHERE IT CANNOT BE PROPERLY RESTORED AND WILL NOT OPERATE PROPERLY, HE SHALL REPORT THE SPECIFIC ITEMS OR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR DIRECTIONS.
- 15. NOT ALL EXISTING EQUIPMENT TO BE REMOVED MAY BE INDICATED, CONTRACTOR SHALL VERIFY ALL REMOVALS WITH ARCHITECT & ZOO







PROJECT COORDINATOR MARC ORGOVAN



CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEVARD CITY HALL — ROOM 701

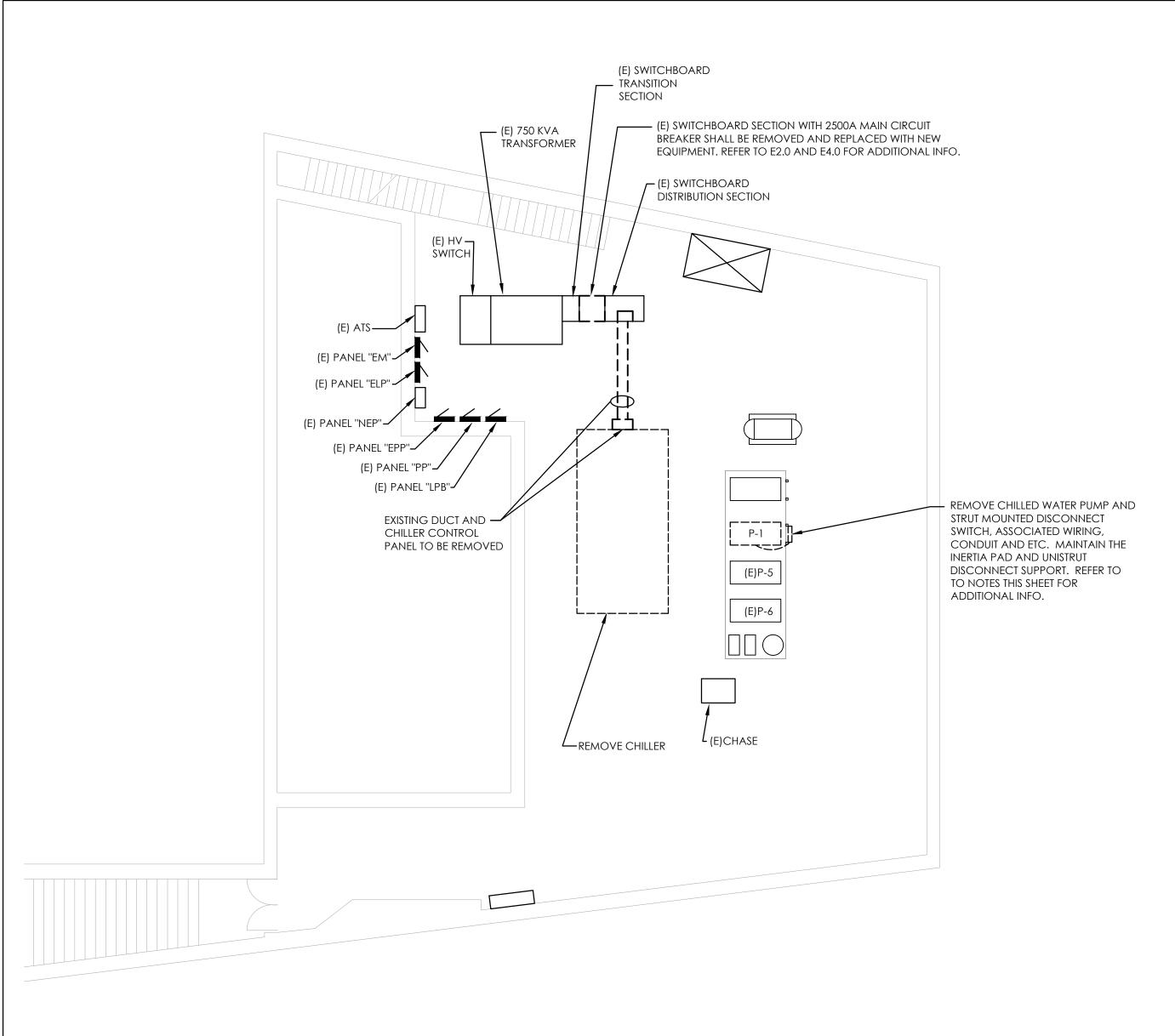
Animal Hospital Mechanical Upgrades

ELECTRICAL ROOF **PLAN - DEMOLITION**

71-19-4365-01

DP/GP

GSP

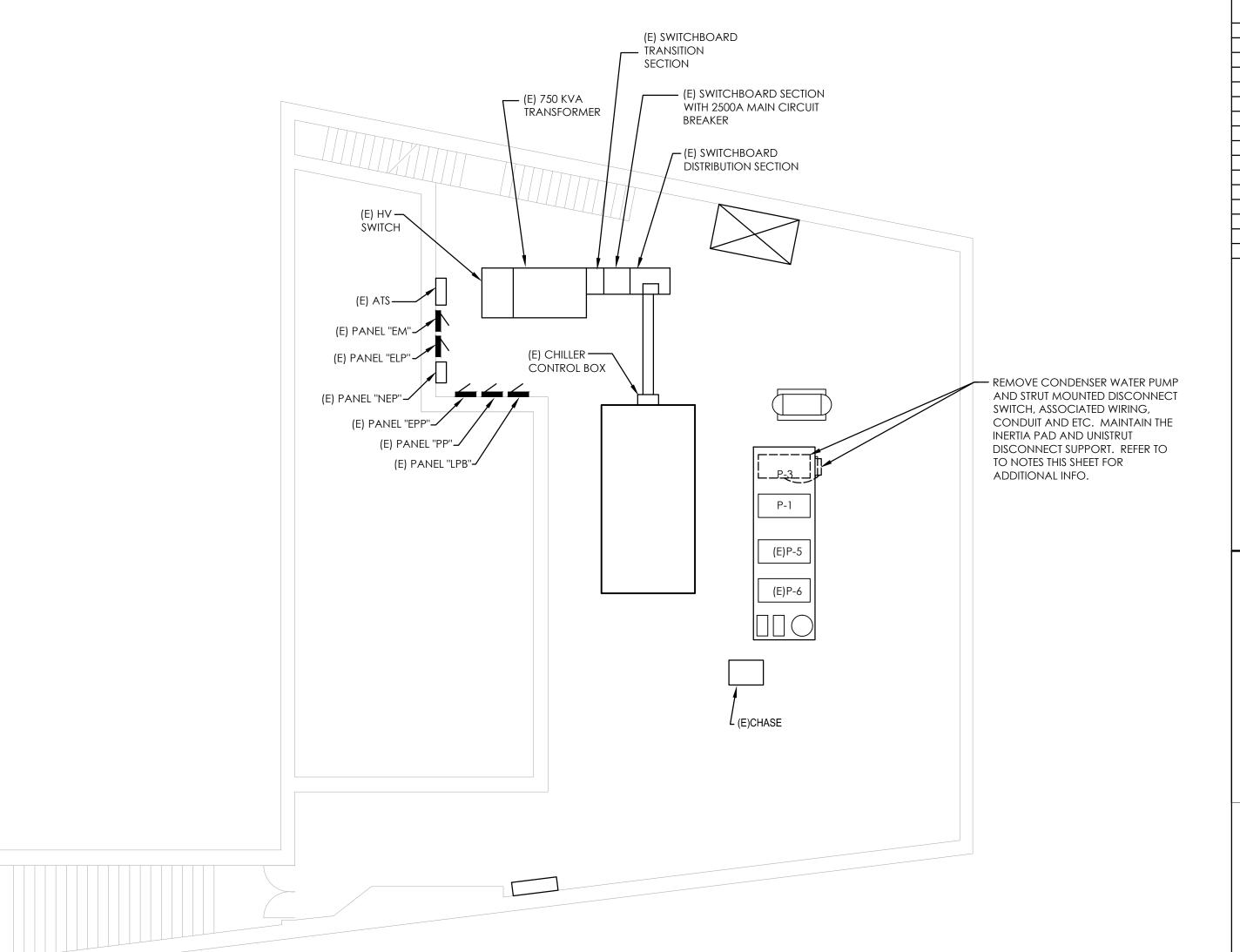




ELECTRICAL BASEMENT PLAN - FINAL PHASE DEMOLITION 1/8" = 1'-0"

ELECTRICAL DEMOLITION NOTES

- 1. ALL ELECTRICAL DEVICES AND WIRING/CONDUIT ASSOCIATED WITH DEMOLISHED MECHANICAL EQUIPMENT SHALL BE REMOVED. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF DEMOLITION AND ADDITIONAL NOTES.
- 2. E.C. SHALL VERIFY THE PANEL DESIGNATION AND CIRCUIT NUMBER FOR EACH DEVICE TO BE
- 3. ALL SYMBOLS SHOWN LIGHTLY SOLID ARE EXISTING ELECTRICAL DEVICES/EQUIPMENT TO REMAIN.
- 4. ALL WIRING/CONDUIT LEFT UNUSED SHALL BE REMOVED TO ITS POINT OF ORIGIN AND CIRCUIT
- 5. PANELBOARDS WHICH ARE AFFECTED BY THE DEMOLITION AND NEW WORK SHALL HAVE THE PANEL SCHEDULES REVISED.
- 6. COORDINATE ALL WORK WITH OTHER TRADES.
- 7. ELECTRICAL CONTRACTOR SHALL NOT DISCONNECT ANY EQUIPMENT, OR ELECTRICAL CIRCUITS IN THE RENOVATED AREA WITHOUT PRIOR NOTIFICATION AND PERMISSION FROM MAINTENANCE AND ENGINEERING DEPARTMENT. EXTREME CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCE TO SURROUNDING AREAS.
- 8. VERIFY ALL CONDITIONS AT JOB SITE.



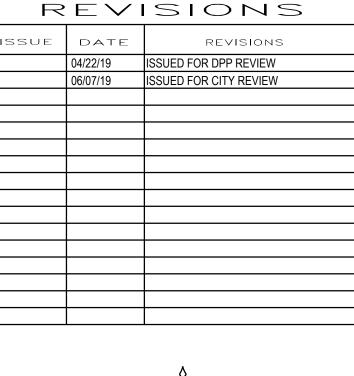


ELECTRICAL BASEMENT PLAN - INITIAL PHASE DEMOLITION 1/8" = 1'-0"

DEMOLITION GENERAL NOTES:

- 1. DEMOLITION/RELOCATIONS: EACH TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND RELOCATIONS OF SERVICES, EQUIPMENT AND MATERIAL RELATING TO THEIR RESPECTIVE TRADE.
- 2. WHERE EXISTING WALLS, FLOORS OR CEILINGS ARE REMOVED OR PENETRATED, AND WHERE EXISTING END WALLS OF THE BUILDING ARE POINTS OF CONNECTION OF ADDITIONS, ALL SERVICES, CONDUIT, CONTROL OR SWITCH DEVICES, OR OTHER EQUIPMENT SHALL BE REMOVED (OR RELOCATED WHERE THEY MUST REMAIN IN SERVICE, OR SERVE, AREAS BEYOND THE IMMEDIATE WORK) CONTRACTOR SHALL FIELD VERIFY CONDITIONS AT THE SITE.
- 3. PRIOR TO DEMOLITION CONTRACTOR SHALL REVIEW WITH OWNER ALL MATERIALS TO BE REMOVED, SHOULD THE OWNER OPT TO KEEP ANY MATERIALS THE CONTRACTOR SHALL REMOVE AND DELIVER THE PARTS TO THE OWNER ON THE SITE WHERE SO DIRECTED. OTHERWISE ALL DEMOLISHED OR REMOVED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND BE DISPOSED OF IN A LEGAL MANNER.
- 4. DEMOLITION SHALL INCLUDE REMOVAL OF ALL PARTS AND PIECES IN THEIR ENTIRETY BACK TO POINTS INDICATED OR IF NOT INDICATED BACK TO THEIR POINT OF SOURCE.
- 5. WHERE CONDITIONS PROHIBIT TOTAL REMOVAL OF THE WORK, THE REMAINING PORTION SHALL BE CUT FLUSH WITH THE SURROUNDING SURFACE AND BE CAPPED, PLUGGED OR SEALED AND THE SURROUNDING SURFACE SHALL BE REFINISHED IN AN APPROVED
- 6. MAINTAIN EXISTING UTILITIES INDICATED OR REQUIRED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- 7. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN SCHEDULED WITH THE OWNER.
- 8. DO NOT REMOVE EXISTING STRUCTURAL WORK, DO NOT REMOVE OPERATIONAL ELEMENTS AND SAFETY-RELATED COMPONENTS IN A MANNER RESULTING IN A REDUCTION OF CAPACITIES TO PERFORM IN THE MANNER INTENDED OR RESULTING IN DECREASED OPERATIONAL LIFE, INCREASED MAINTENANCE, OR DECREASED SAFETY.

- 9. REMOVALS, DISCONNECTIONS, AND RELOCATIONS SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE INVOLVED AND SHALL BE EMPLOYED BY A CONTRACTOR LICENSED IN THE TRADE INVOLVED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ACCEPTED TRADE PRACTICES.
- 10. PROVIDE ADEQUATE TEMPORARY SUPPORT FOR WORK TO REMAIN, TO PREVENT FAILURE. DO NOT ENDANGER OTHER WORK.
- 11. PROTECTION: PROVIDE ADEQUATE PROTECTION WHERE REQUIRED FOR THE PRESENT BUILDING AND ITS CONTENTS. TEMPORARY DUSTPROOF BARRIERS AND BARRICADES SHALL BE ERECTED WHERE REQUIRED FOR PROTECTION OF PERSONNEL, PROTECTION FROM DUST AND DIRT, FOR SECURITY, FIRE AND WEATHER PROTECTIVE REASONS.
- 12. CONTRACTOR SHALL TAKE EVERY PRECAUTION AGAINST FIRE BY EMPLOYING FIRE DEPARTMENT TYPE HOSES AND PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY OSHA OR THE OWNER'S INSURANCE UNDERWRITER.
- 13. USE TEMPORARY ENCLOSURES, OR OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING TO LOWEST PRACTICAL LEVEL. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- 14. ALL EXISTING EQUIPMENT REQUIRED TO BE REUSED SHALL BE CLEANED, RECONDITIONED, CALIBRATED AND ADJUSTED. IN ALL INSTANCES WHERE CONTRACTOR FINDS THAT EXISTING EQUIPMENT IS DEFECTIVE TO THE POINT WHERE IT CANNOT BE PROPERLY RESTORED AND WILL NOT OPERATE PROPERLY, HE SHALL REPORT THE SPECIFIC ITEMS OR EQUIPMENT TO THE ARCHITECT/ENGINEER FOR DIRECTIONS.
- 15. NOT ALL EXISTING EQUIPMENT TO BE REMOVED MAY BE INDICATED, CONTRACTOR SHALL VERIFY ALL REMOVALS WITH ARCHITECT & ZOO







PROJECT COORDINATOR MARC ORGOVAN



CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEVARD CITY HALL — ROOM 701

Animal Hospital

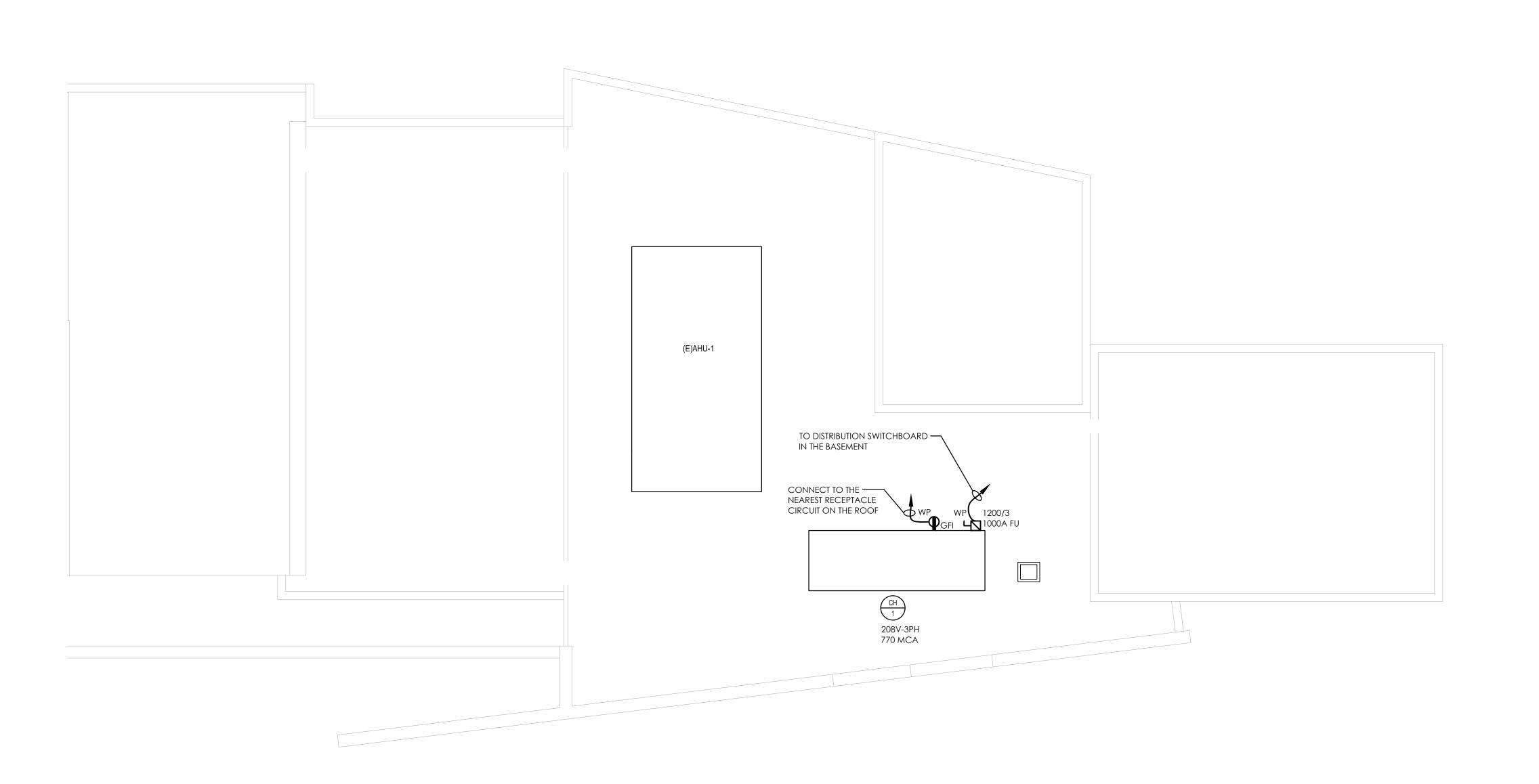
Mechanical Upgrades

ELECTRICAL BASEMENT PLAN - DEMOLITION

71-19-4365-01 06/07/19 DP/GP

GSP

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ELECTRICAL ROOF PLAN - NEW WORK

1/8" = 1'-0"

ISSUE DATE REVISIONS

04/22/19 ISSUED FOR DPP REVIEW

06/07/19 ISSUED FOR CITY REVIEW

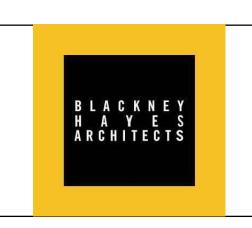




PROJECT COORDINATOR

MARC ORGOVAN

SEAL



CITY OF PHILADELPHIA
DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEV. CITY HALL — ROOM 7

ADELPHIA T. TITLE

Animal Hospital

Mechanical Upgrades

ELECTRICAL NEW WORK ROOF PLAN

71-19-4365-01

DATE 06/07/19

AS NOTED

ON BY

DP/GP

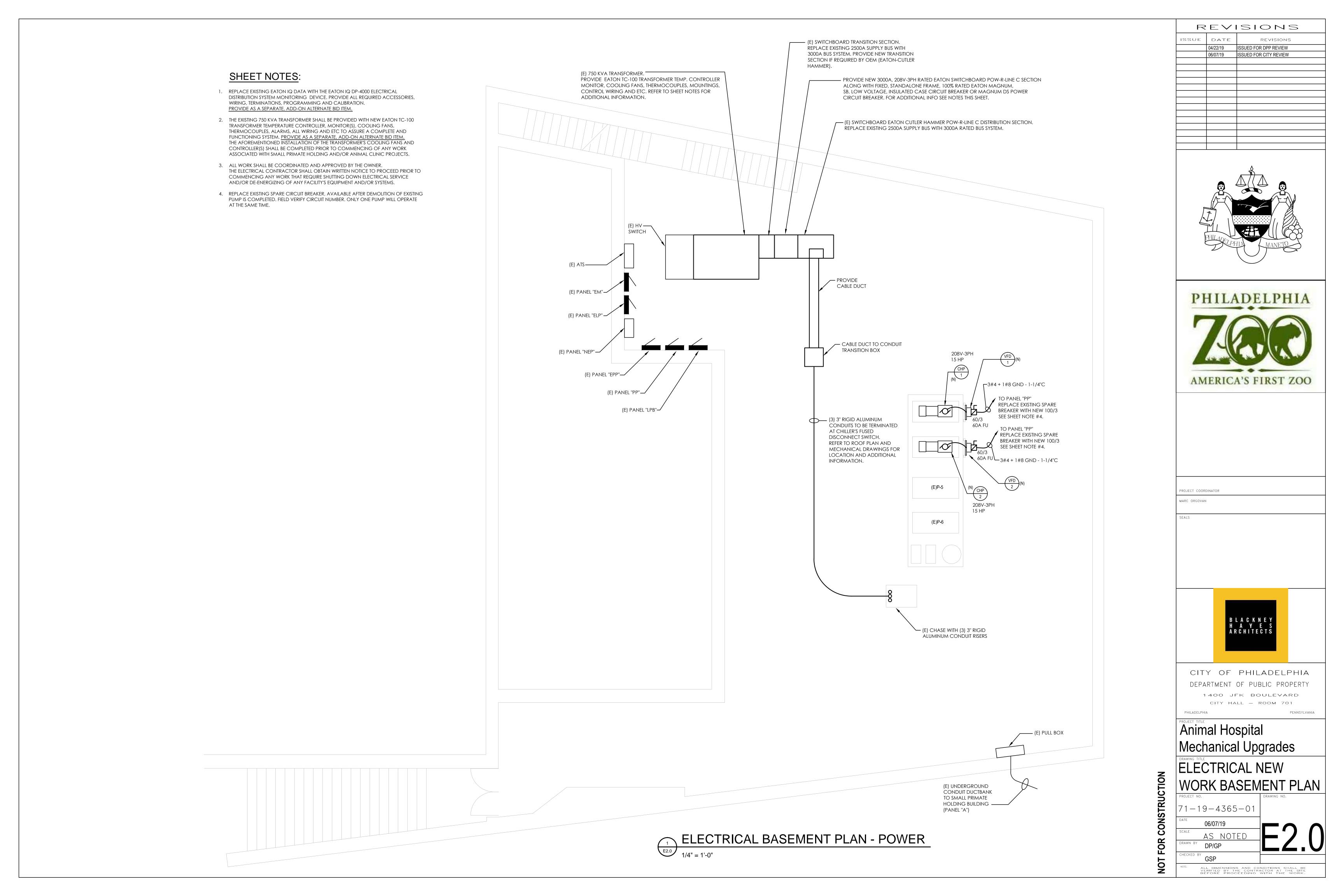
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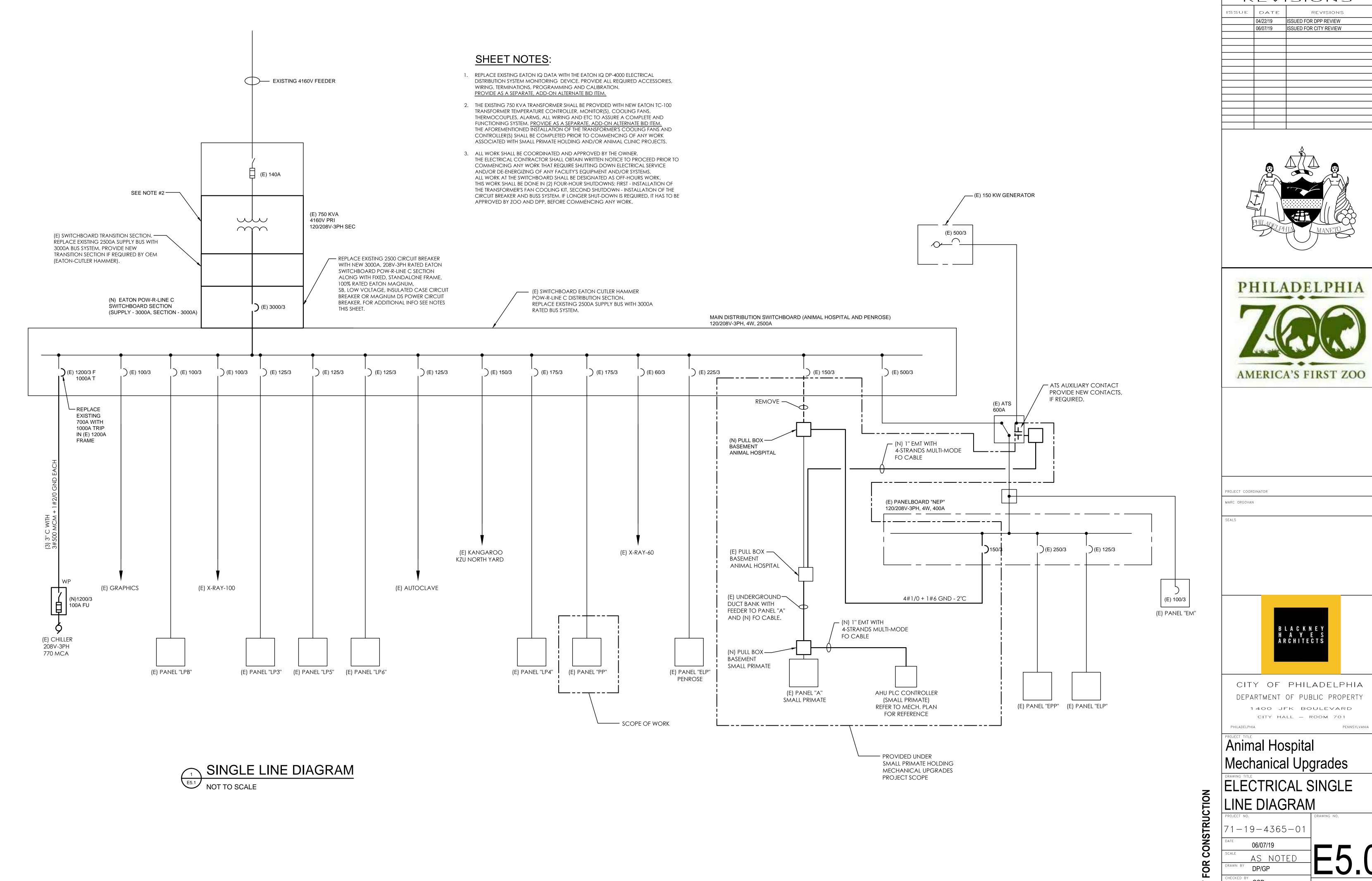
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ALL DIMENSIONS AND CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AT THE SITE BEFORE PROCEEDING WITH THE WORK.

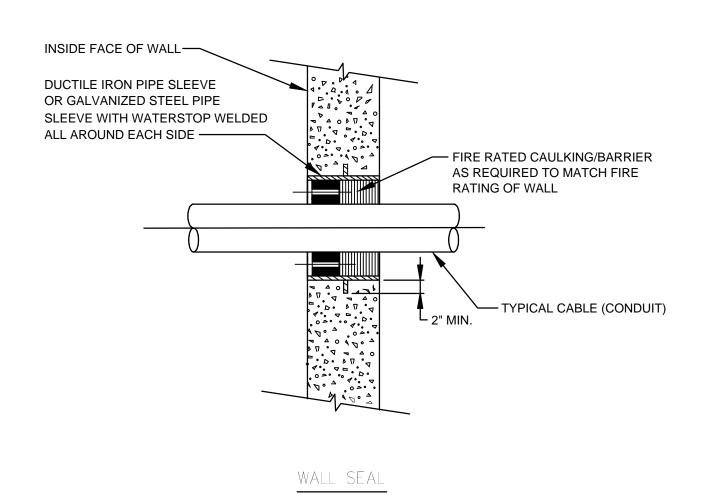
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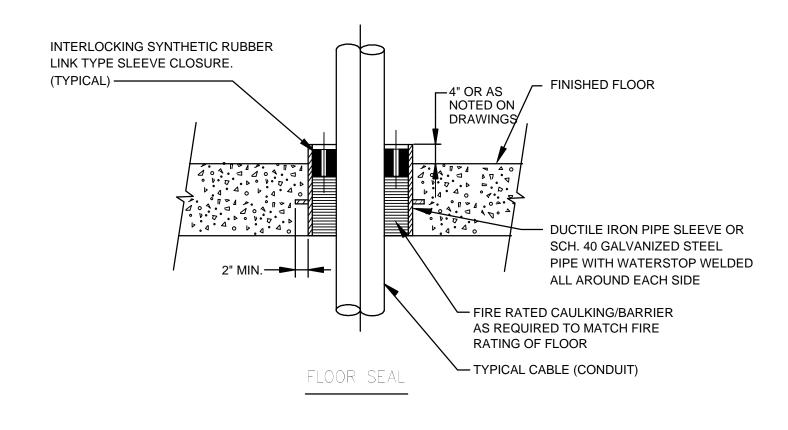




REVISIONS

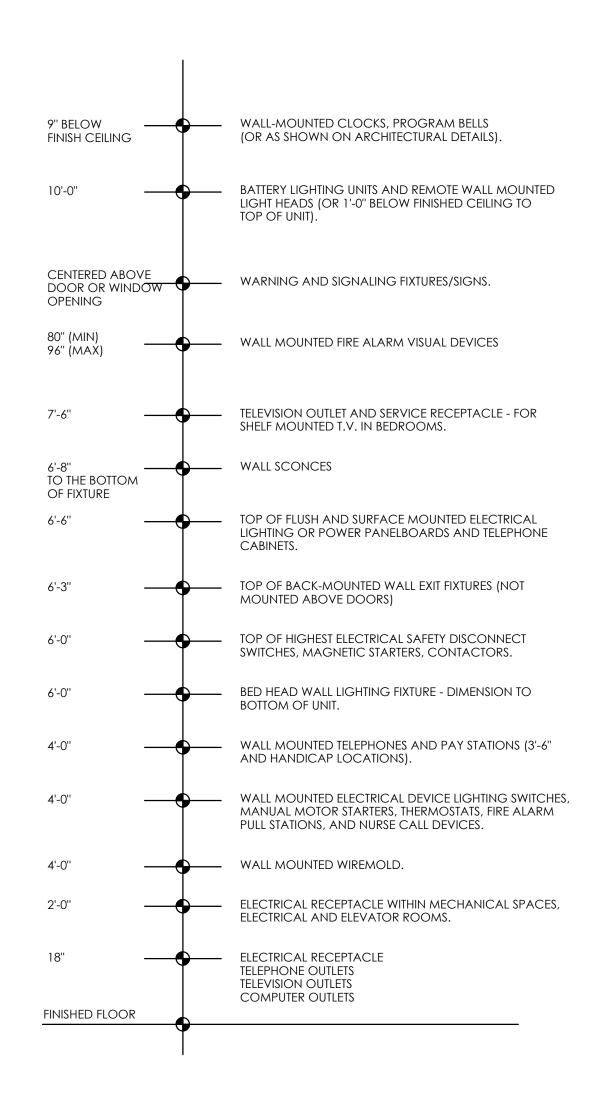






1 TYPICAL DETAIL FOR CABLE OR CONDUIT PASSING THROUGH FLOOR **SLABS OR WALL**

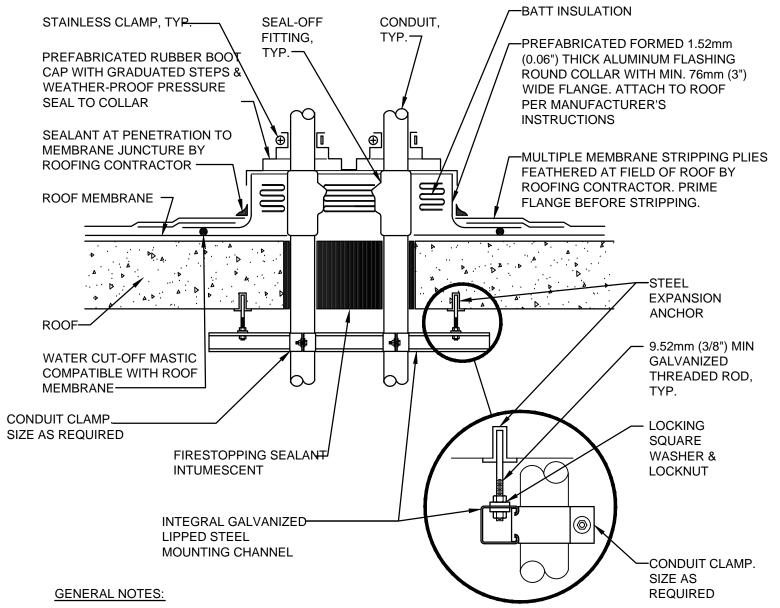
SCALE: NONE



2 TYPICAL STANDARD MOUNTING HEIGHTS DETAIL NOT TO SCALE:

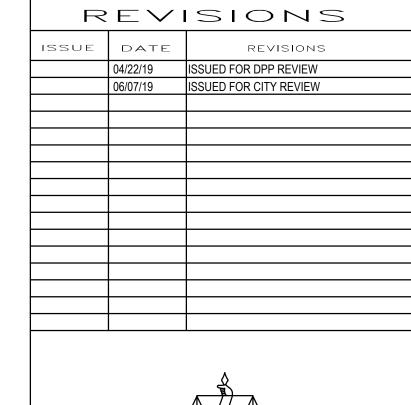
NOTES:

- 1. MOUNTING HEIGHTS TO CENTER OUTLETS UNLESS OTHERWISE NOTED. IN MASONRY WALL CONSTRUCTION THE ABOVE MOUNTING HEIGHTS SHALL BE USED FOR REFERENCE TO NEAREST BLOCK OR BRICK COURSING.
- 2. THE ABOVE MOUNTING HEIGHTS SHALL BE ADHERED TO UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE ON THE DRAWINGS OR SPECIFICATIONS.



- 1. MAINTAIN A MINIMUM CLEARANCE OF 305mm (12") ON ALL SIDES OF ROOF PENETRATION
- 2. FLANGES OF ADJACENT FLASHINGS SHALL NOT BE CUT OR OVERLAPPED.
- 3. VERIFY ROOF & STRUCTURAL SYSTEM WITH ARCHITECT.
- 4. COORDINATE FLASHING INSTALLATION WITH ROOFING CONTRACTOR TO ENSURE

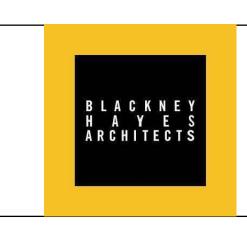








PROJECT COORDINATOR MARC ORGOVAN



CITY OF PHILADELPHIA DEPARTMENT OF PUBLIC PROPERTY

1400 JFK BOULEVARD CITY HALL — ROOM 701

Animal Hospital Mechanical Upgrades

ELECTRICAL DETAILS AND DIAGRAMS

71-19-4365-01

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FROM WALLS, CURBS, AND OTHER PROJECTIONS TO FACILITATE PROPER FLASHING. PROPER METHODS & MATERIALS ARE USED TO MAINTAIN ROOF WARRANTY.